

PROJECT ON THE BEHALF OF KNOXVILLE'S COMMUNITY DEVELOPMENT CORP.:
AUSTIN HOMES:
ABATEMENT OF HAZARDOUS MATERIALS

Date of Issue: August 23, 2019

BID FORM

TO: Alex Decker, Director of Project MGT. FROM: _____ bidder
Partners Development _____ address
502 Union Ave. _____
Knoxville, TN 37902 _____ email
adecker@partnersinfo.com _____
_____ phone

PROPOSAL FOR: Abatement services at Austin Homes Housing Complex

The bidder acknowledges in submitting the bid that:

1. The bidder has received, read and understands the requirements of the RFP for abatement services at the Austin Homes Housing Complex and this bid is made in accordance therewith.
2. The bidder has visited the site and become familiar with the local conditions under which the work is to be performed.
3. This is a phased project and the work will take place over a 70-day time period beginning in September and concluding no later than November 16, 2019.
4. Quantities will be determined in the field in cooperation with the owner's representative.

BASE BID: Asbestos Floor Tile & Mastic removal (1 layer of tile) \$ _____ per sq. foot
Asbestos Floor Tile & Mastic removal (2 layers of tile) \$ _____ per sq. foot
Asbestos Floor Tile & Mastic removal (3 layers of tile) \$ _____ per sq. foot
Cost to remove appliance(s) in units & place at sidewalk \$ _____ per appliance
(cost to include removal of refrigerator door)

Bids are to be submitted electronically to: adecker@partnersinfo.com on Tuesday September 3, 2019 by 2:00 PM. Bids received after this date/time will not be considered.

A preconstruction conference and walk-through will be held at Austin Homes on Wednesday August 28, 2019 at 10:00 AM. Contractors are to meet at the mailbox kiosk on Burge Dr (see attached map).

Respectfully Submitted:

Authorized Signature

Date

Type or Print Name and Title

Bidder Company

License # and Expiration Date

1. Details of Desired Work

- KCDC is seeking bids from qualified contractors to remove asbestos containing materials from the interiors of 129 units in 27 buildings within the Austin housing complex. The scope consists of the removal, handling and disposal of asbestos containing floor tile & mastic. This work will occur in advance of a large-scale demolition project scheduled to begin in the fall/winter of 2019. The demolition will be bid separately.
- The anticipated volume of materials to be removed is estimated to be between 100 & 130 thousand square feet of tile & mastic.
- The contractor shall furnish all supervision, labor, materials, tools, equipment, services and permits necessary to perform and complete the task within the project timeline. The timeframe for performing this work will be approximately 70 days and the bidder must have the resources available to complete the abatement by no later than November 16, 2019. The anticipated start date will be September 6, 2019.
- Unit prices shall include the removal of the base kitchen cabinets, hot water heaters and gas furnaces to abate the tile & mastic beneath. A separate unit price to remove the kitchen appliances and place them outside adjacent to the sidewalk is also be included. Unit price shall include the removal of refrigerator doors. The contractor may leave the cabinets and heaters inside the units for disposal during demolition.

2. Summary of Contractor's Responsibilities

- Review the existing conditions and attend the pre-bid conference and site walk through.
- Obtain all necessary permits and licenses, submit any required notifications and arrange for any inspections required by state or local authorities having jurisdiction.
- Perform work in strict accordance with all applicable codes, regulations and laws.
- Provide waste manifests and landfill receipts for ACM disposal.
- Provide an abatement protocol for removing and handling ACM.
- Provide a third-party inspection report verifying that abatement is complete for each building. The report shall be based on a visual observation meeting all applicable rules and regulations of all authorities having jurisdiction.
- Comply with the applicable rules, regulations and laws from all authorities having jurisdiction including the Environmental Protection Agency (EPA) and the State of Tennessee Department of Environment & Conservation
- Provide all necessary equipment, materials, supplies, et cetera needed for the performance of the work.
- Allow only personnel thoroughly trained and skilled to work on the job.
- Provide competent supervision and workers to complete the work.
- Have enough personnel to complete the work in a timely manner.
- Enforce strict discipline and good order among his/her employees.
- Provide at least one employee on every job assignment with the ability to speak, read, write and understand English so KCDC's staff can communicate effectively with them.

3. **Documentation**

The following documentation is required prior to payment for services:

- Worker Roster Sheet
- Worker Licenses and Associated Certifications
- Proof of Medical Clearance to wear respirator
- Project/Job Logs
- Waste Manifests (final payment)
- Certified Payrolls

4. **Storage/Disposal of Hazardous Materials**

- On-site storage is permissible while work is performed if all regulations are followed. Once a building is completed, the asbestos is to be removed from the site. The contractor shall not leave containers, containing asbestos, on site when no one is working. The contractor shall check the container daily to verify that it is secure. The methods used for storage and disposal must comply with all federal, state and local regulations.
- The contractor will pay all disposal charges; these charges are to be included in the pricing. The contractor is responsible for completing the required manifest documentation certifying that all asbestos material has been legally disposed of.
- Copies of all manifests and landfill receipts to document the legal disposal of all material will be submitted prior to final payment being issued. KCDC will provide the successful contractor with apartment numbers and street addresses in order to complete the required paperwork.

5. **Assumptions**

- Water and electricity will be available for contractor use.
- This as a continuous project and so the successful contractor will not have to demobilize until project completion. Contractor will work with owner's representative to develop a phasing schedule.
- The units will be empty of furnishings except for appliances, furnaces and water heaters

6. **Permits**

The supplier shall obtain and pay for or cause its subcontractors to obtain and pay for all permits required to complete required work. In addition, supplier shall arrange, schedule and pay for or cause its subcontractors to arrange, schedule and pay for all required final inspections by state, local, or independent certified inspecting authorities. All work covered is to be done in full accord with national, state and local codes and ordinances and orders that are in effect at the time the work is performed.

7. **Bonds**

Bonds are not required.

8. **Time for Completion**

Once KCDC issues the notice to proceed, the supplier will complete the work within 70 calendar days.

- Liquidated damages of \$300.00 per calendar day for each day beyond the scheduled completion date apply and are included in the award. However, KCDC will consider explanatory information if it provides a valid reason for delays in schedule.
- Normal work hours are Monday through Saturday from 7:30 a.m. until 4:00 p.m. Contractor's may work later than 4:00 p.m. however KCDC staff will not be present past 4:00 on Monday through Friday and not at all on Saturdays. Work on Sundays or holidays will require advance approval by KCDC.

9. **Site Examination**

- **A preconstruction conference and walk-through will be held at Austin Homes on Wednesday August 28, 2019 at 10:00 AM. Contractors are to meet at the mailbox kiosk on Burge Dr (see attached map).**
- Suppliers must visit the site and become fully acquainted and familiar with conditions, as they exist and the required operations. The supplier shall make such investigations as necessary so that they may fully understand the scope of the work and related facilities and possible complexities when executing the work.
- The failure or omission of the supplier to receive or examine the solicitation document or any part of the specifications, or to visit the site(s) and acquaint themselves as to the nature and location of the work, the general and local conditions and all matters which may in any way affect performance shall not relieve the supplier of any obligation to perform as specified herein. Supplier understands the intent and purpose hereof and its obligations hereunder and that it shall not make any claim for or have any right to damages resulting from any misunderstanding or misinterpretation of the resulting agreement, or because of any lack of information.

- By submitting a response to this solicitation, each supplier is certifying that they have inspected the site and have read the solicitation and all appendices and addenda. The failure or omission of any supplier to receive or examine any form, instrument, or document shall in no way relieve the supplier from any obligation in respect to its bid.

10. **Storage/Security**

- Once contractor takes possession of a unit, they become responsible for securing the unit until work has been completed.
- Contractor is responsible for the storage of materials and their security.
- The successful supplier is responsible for providing (if necessary) any and all security to equipment, materials, personnel, tools and the site that are required for this job. KCDC is not responsible for damage or losses to equipment, materials, personnel, tools or the site.
- Contractor's employees are not to be on KCDC premises unless they are working on a KCDC project. Acquaintances, family members, assistants or any person not working on KCDC's behalf will not accompany employees on KCDC sites.
- The contractor's employees shall always have proper identification displayed while on KCDC property. All employees must always wear a company uniform or have photo identification badges. Employees parking vehicles (whether corporately or privately owned) must ensure that company identification is on the vehicles. This may be by placards on the vehicle's side, laminated paper with the company name placed on the dashboard or some other means.

11. **Invoicing/Ordering**

- Invoices are to be submitted to KCDC's project manager no later than the last day of the month.

12. **Licensure**

- **General License Information**
Suppliers must possess and maintain proper licensure from the State of Tennessee and all other authorities having jurisdiction throughout the term of this award. City and County licenses may be required-it is your responsibility to obtain and maintain 6such required licenses.

13. **Safety and OSHA Guideline Compliance**

- The supplier is responsible for providing and placing barricades, tarps, plastic, flag tape and other safety/traffic control equipment to protect the public, surrounding areas, equipment and vehicles.

- The safety of staff and the public is of prime concern to KCDC and all costs associated are the supplier's responsibility.
- The supplier shall ensure that its employees exercise all necessary caution and discretion to avoid injury to persons or damage to property.
- Supplier shall use caution signs as required by OSHA Regulation 1910.144 and 1910.145 at no cost to KCDC. Caution signs shall be on-site at commencement of work.
- Supplier shall comply with all other OSHA and TOSHA safety standards that apply.

14. **Smoking Policy**

On July 31, 2018 KCDC implemented a new Smoke Free policy which applies to you and your employees. Specifically, the policy (which is HUD required) mandates:

- No smoking on KCDC property
- No e-vape or similar usage on KCDC property
- The Smoke Free policy applies in personal or corporate vehicles on KCDC's property

HUD definitions include:

- ✓ "Smoking" means inhaling, exhaling, burning, or carrying any lighted or heated cigar, cigarette, or pipe, or any other lighted or heated tobacco or plant product intended for inhalation, including hookahs and marijuana, whether natural or synthetic, in any manner or in any form. "Smoking" also includes the use of an electronic smoking device which creates an aerosol or vapor, in any manner or in any form.
- ✓ "Electronic Smoking Device" means any product containing or delivering nicotine or any other substance intended for human consumption that can be used by a person in any manner for the purpose of inhaling vapor or aerosol from the product. The term includes any such device, whether manufactured, distributed, marketed, or sold as an e-cigarette, e-cigar, e-pipe, e-hookah, or vape pen or under any other product name or descriptor.
- ✓ Property means all buildings, parking lots, streets, structures and **land** owned by KCDC.

15. **Wage Compliance**

The City of Knoxville will be providing funds to KCDC for this project. As a result, the City's prevailing wage requirements are applicable to this contract in lieu of Davis-Bacon requirements.

- a. The supplier agrees to comply with and to post the prevailing wage laws as provided in the "Prevailing Wage Act of 1975," Tennessee Code Annotated § Tennessee Code Annotated 12-4-401 et seq. For the purpose of this contract, the prevailing wage rates

shall be the wage rates incorporated in these documents. KCDC reserves the right to demand the payroll records of supplier at any time to monitor compliance with the wage rate/discrimination clause(s). Failure by supplier to provide KCDC with said records within ten working days of the written notice shall constitute a breach of this contract

- b. The supplier must display the attached wage rates and laws at the job site. Highway classification descriptions are found in the State of Tennessee Department of Labor & Workforce Development's document "Classification of Workers Under Tennessee's Prevailing Wage Law – Highway Construction Crafts." This document can be found at <https://www.tn.gov/workforce/employees/labor-laws/labor-laws-redirect/wages-breaks/prevailing-wage.html>
- c. The supplier and subcontractors shall submit certified payrolls to KCDC each week in which any work occurs. During construction, if the work of the supplier or subcontractor will be interrupted for a week or more, the supplier will place the following statement on the signature sheet of the payroll for the last week in which work occurred: "No additional work will be performed until further notice."
- d. In the event a work stoppage of a week or more occurs which is not anticipated, KCDC shall be furnished the following statement on the signature sheet of the payroll form for the week immediately after the week in which work was interrupted: "No work performed, and no work will be performed until further notice."
- e. When work has ceased in either case as stipulated above, the supplier or subcontractor shall note the following statement on the payroll for the week on which work is resumed: "Last previous work was performed the week ending _____."
- f. Fringe benefits are not required.
- g. KCDC has confirmed that suppliers may use the "Unskilled Laborer" rate of **\$14.84** for asbestos removal workers for this job.
- h. For more information see <https://www.tn.gov/workforce/employees/labor-laws/labor-laws-redirect/wages-breaks/prevailing-wage.html>.

16. **Questions**

Send questions pertaining to this document to adecker@partnersinfo.com with "Hazardous Materials Abatement Services" in the subject line. Inquiries must be received at least three days prior to the bid date. Questions will not be accepted via telephone.



Austin

Knoxville - Knox County - KUB Geographic Information System



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AUSTIN HOMES



1. INSURANCE

The Supplier shall maintain, at Supplier's sole expense, on a primary and non-contributory basis, at all times during the life of the contract insurance coverages, limits, and endorsements described herein. All insurance must be underwritten by insurers with an A.M. Best rating of A- :VI or better. Upon award, the Supplier shall provide Certificate(s) of Insurance and amendatory endorsements to KCDC evidencing said insurance coverages. **See paragraph "g" for exact naming of certificate holder and additional insured.**

The Supplier agrees the insurance requirements herein as well as KCDC's review or acknowledgement, is not intended to and shall not in any manner limit or qualify the liabilities and obligations assumed by the Supplier under this contract. KCDC's failure to require a certificate of insurance, acceptance of a non-conforming certificate, or allowing the Supplier to commence work shall not operate as a waiver of these minimum insurance requirements or the liabilities and obligations assumed by the Supplier under this contract.

- a. **Commercial General Liability Insurance:** occurrence version general liability insurance with a minimum combined single limit of \$1,000,000 per occurrence with \$2,000,000 in the aggregate covering the following perils: bodily injury, personal injury, and broad form property damage including products/completed operations for one year after completion of the Project(s). Limits must apply separately to the work/location in this contract.

Such insurance shall contain or be endorsed to contain a provision that includes **KCDC, its officials, officers, employees, and volunteers** as additional insureds with respect to the Supplier's ongoing and completed operations, providing coverage at least as broad as CG 20 10 07 04 and 20 37 07 04 endorsements. The coverage shall contain no special limitations on the scope of its protection afforded to the listed insureds.

- b. **Commercial Automobile Liability Insurance:** in an amount not less than \$1,000,000 (combined single limit) for all owned, hired, and non-owned vehicles utilized by Supplier in connection with the Project. Coverage is to include coverage for loading and unloading hazards.

Such insurance shall contain or be endorsed to contain a provision that includes **KCDC, its officials, officers, employees, and volunteers** as additional insureds.

- c. **Workers' Compensation Insurance and Employers Liability Insurance:** Workers' Compensation Insurance with statutory limits as required by the State of Tennessee or other applicable laws.
- d. **Environmental Impairment Liability:** Supplier shall maintain environmental impairment liability insurance with limits of not less than \$1,000,000 per occurrence.
- e. **Pollution Liability Insurance:** Supplier shall maintain pollution liability coverage, ISO CG 0039, or equivalent. If the coverage is written on a claims-made form:
1. The "Retro Date" must be shown and must be before the date of the contract or the beginning of contract work.
 2. Insurance must be maintained and evidence of insurance must be provided for at least five (5) years after completion of the contract work and acceptance by KCDC.
 3. If coverage is cancelled or non-renewed and not replaced with another claims-made policy form with a "Retro Date" prior to the contract effective date, Supplier must purchase "extended reporting" coverage for a minimum of five (5) years after completion of contract work.

- f. **Other Insurance Requirements:**

1. Upon award, Supplier shall furnish KCDC with original Certificate(s) of Insurance and amendatory endorsements effecting coverage required by this section.
2. Provide a waiver of subrogation **for each required policy herein**. When required by the insurer, or should a

policy condition not permit Supplier to enter into a pre-loss agreement to waive subrogation without an endorsement, the policy should be endorsed with a Waiver of Transfer of Rights of Recovery Against Others, or its equivalent. This waiver of subrogation requirement shall not apply to any policy which includes a condition specifically prohibiting such an endorsement, or voids coverage should supplier enter into such an agreement on a pre-loss basis.

3. A **minimum 30-day cancellation notice** for all insurances (by endorsement if necessary) is required.
4. Replace certificates, policies, and endorsements for any such insurance expiring prior to completion of services.
5. Maintain such insurance from the time services commence until services are completed or through such extended discovery/reporting/tail period as required. Failure to maintain or renew coverage or to provide evidence of renewal may be treated by KCDC as a material breach of contract.
6. Any deductibles and/or self-insured retentions greater than \$50,000 must be disclosed to and approved by KCDC prior to the commencement of services. Use of large deductibles and/or self-insured retentions will require proof of financial ability as determined by KCDC.
7. All policies must be written on an occurrence basis with the exception of Errors and Omissions Liability (E & O) / Professional Liability and Pollution Liability which may be claims made coverage.

g. Certificate Holder and Additional Insured:

KCDC, its officials, officers, employees, and volunteers
901 N Broadway
Knoxville, TN 37917

- h. Right to Revise or Reject:** KCDC reserves the right to revise any insurance requirement, including but not limited to, limits, coverages, and endorsements based on changes in scope of work/specifications, insurance market conditions affecting the availability or affordability of coverage.
- i. No Representation of Coverage Adequacy:** The coverages, limits or endorsements required herein protect the primary interests of KCDC, and the Supplier agrees in no way should these coverages, limits or endorsements required be relied upon when assessing the extent or determining appropriate types and limits of coverage to protect the Supplier against any loss exposures, whether as a result of the project or otherwise.

Term Sheet - Insurance Requirements
 HazMat Abatement - Austin

Certificate Holder & Additional Insured	KCDC, its officials, officers, employees, and volunteers 901 N Broadway Knoxville, TN 37917
GL	\$1M / \$2M
Auto	\$1M (owned, hired, & non-owned)
WC & Employers Liability	statutory limits
Environmental Impairment Liability	\$1M
Pollution Liability	ISO CG 0039, or equivalent
30-day cancellation	Required– must indicate on COI
Primary non-contributory	Required – must indicate on COI
Waiver of Subrogation	Required – must indicate on COI

Dated: 8/23/2019



August 20, 2019

KCDC Housing Authority
901 North Broadway Street
Knoxville, Tennessee 37917

Attention: Terry McKee

Subject: **Asbestos-Containing Materials Survey**
Austin Homes
Knoxville, Tennessee
GEOservices Project No. 24-19785
Tennessee Asbestos Firm Accreditation # A-F-1822-75151

Dear Mr. McKee,

GEOservices, LLC conducted an asbestos-containing materials (ACM) survey to evaluate the presence of ACM in the proposed demolition of 26 apartment units located on various streets including Mee Street, Old Vine Avenue, Burge Drive, Nelson Avenue, East New Street, West New Street, and South Bell Street in Knoxville, Tennessee. The apartment buildings were built of brick and block exterior walls with asphalt shingle roofing. The interior of the apartments were constructed of block, plaster and drywall walls, tile flooring and plaster and drywall ceilings.

Survey Methodology

On August 7, 2019, Mr. Scott Goan, Mr. Malcolm Randolph, and Mr. Byron Barton conducted a visual assessment of the structures to determine the presence and location of suspect ACM that may be encountered during proposed demolition activities. Mr. Goan, Mr. Randolph, and Mr. Barton then collected a total of 243 samples of the suspect ACM. The samples were placed in new, plastic zippered bags and labeled with a sample number. Samples were selected based on homogeneous areas of the structures to be demolished. Homogeneous areas are materials that are alike in color, texture, usage, and function. The samples were then delivered under chain-of-

custody to Fibercom Laboratory, Inc. in Kingsport, Tennessee for asbestos analysis by Polarized Light Microscopy (PLM).

Results

The Chain of Custody (COC) and analytical results for the sampled materials are provided in Attachment 1. **Table 1** below is a summary of the materials collected during the ACM survey that were found to contain asbestos in concentrations exceeding the threshold value of 1%.

Table 1: Summary of Samples Containing Asbestos

Austin Homes Sampling			
Sample #	Location	Description	Asbestos Type and Content (%)
M-2	Apartment 203 Kitchen	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-7	Apartment 203 Bedroom	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-10	Apartment 210 Kitchen	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-13	Apartment 210 Top of Stairs	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-19	Apartment 230 Kitchen	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-21	Apartment 230 Top of Stairs	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-29	Apartment 231 Kitchen	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-33	Apartment 231 Hallway Upstairs	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-36	Apartment 242 Kitchen	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-41	Apartment 242 Top of Stairs	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-46	Apartment 253 Living Room	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-49	Apartment 253 Top of Stairs	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-53	Apartment 259 Living Room	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-56	Apartment 259 Top of Stairs	9x9 Floor Tile & Mastic	3 Chrysotile (Both)

Austin Homes Sampling			
Sample #	Location	Description	Asbestos Type and Content (%)
M-60	Apartment 271 Living Room	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-63	Apartment 271 Top of Stairs	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-67	Apartment 274 Living Room	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-71	Apartment 274 Top of Stairs	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-75	Apartment 279 Living Room	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-83	Apartment 289 Top of Stairs	12x12 Floor Tile & Mastic	3 Chrysotile (Mastic)
M-86	Apartment 306 Top of Stairs	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-92	Apartment 317 Living Room	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-95	Apartment 317 Top of Stairs	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-99	Apartment 321 Living Room	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-103	Apartment 321 Top of Stairs	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
M-106	Apartment 323 Living Room	9x9 Floor Tile & Mastic	3 Chrysotile (Both)
3	Apartment 202 Upstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
4	Apartment 202 Downstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
14	Apartment 215 Downstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
18	Apartment 215 Upstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
22	Apartment 218 Downstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
30	Apartment 221 Downstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
34	Apartment 221 Upstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
39	Apartment 222 Downstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
44	Apartment 222 Upstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
50	Apartment 223 Downstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)

Austin Homes Sampling			
Sample #	Location	Description	Asbestos Type and Content (%)
53	Apartment 237 Downstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
58	Apartment 237 Upstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
66	Apartment 247 Upstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
71	Apartment 262 Downstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
74	Apartment 262 Downstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
80	Apartment 262 Upstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
88	Apartment 263 Downstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
91	Apartment 263 Upstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
96	Apartment 283 Downstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
104	Apartment 283 Upstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
107	Apartment 302 Upstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
112	Apartment 302 Upstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
115	Apartment 313 Downstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)
120	Apartment 313 Downstairs	Tile/Mastic Bottom Layer	3 Chrysotile (Both)

Conclusions - ACM

The following materials were found by laboratory analysis to be ACM (greater than 1 percent asbestos). A brief description is provided below:

- Dark brown/maroon 9x9 floor tile was found to be ACM. The 9x9 floor tile was found in the majority of units observed under newer 12x12 floor tile. In units where the 9x9 floor tile was not observed on the bottom layer, the underlying black mastic was still present and bonded to the newer tile. Therefore, the floor tile should be presumed in every unit and is required to be removed by a licensed abatement contractor.
- The black mastic under all 9x9 was found to be ACM. The black mastic was observed under all floor tile bonded to the concrete. The black mastic is required to be removed by a licensed abatement contractor.

The units available during the survey are believed to be representative of the entire housing complex. Prior to demolition, the units should be visually observed and checked for consistency with the units observed. Should materials be identified different to those observed in this survey, please contact GEOServices for a final walk through inspection.

The locations should not be considered specific locations but treated as homogeneous areas for the entire structure where material is encountered. All asbestos abatement work shall be performed in accordance with all applicable Federal, State and Local rules and regulations. A licensed abatement contractor must perform the removal of all friable and non-friable ACM.

Please be aware that this ACM survey was limited to materials that were reasonably accessible. A reasonable attempt was made to locate hidden suspect ACM; however, only minor demolition was conducted to locate hidden suspect ACM. GEOServices did not conduct destructive sampling behind fixed walls, above fixed ceilings, pipe chase and/or soffits, or within mechanical equipment that might conceal asbestos containing material. Suspect ACM might be revealed during renovation or demolition activities. Any suspect materials revealed during these activities should be sampled by a certified inspector and analyzed by an approved laboratory. The results of this survey are subject to the approval of the appropriate air quality management agency.

Please note that a 10-day notification must be submitted to agencies having jurisdiction over this project prior conducting demolition or asbestos abatement activity. The Tennessee Department of Environment and Conservation, Division of Air Pollution Control, is responsible for enforcing these regulations for the state of Tennessee with the exception of Davidson, Hamilton, Knox, and Shelby counties. Demolition and asbestos renovation activities conducted in these counties are under the jurisdiction of a local air agency which is the point of contact for notification and permitting requirements. *See more at:* <https://tn.gov/environment/topic/apc-asbestos-information>.

Closure

GEOServices appreciates the opportunity to provide you with environmental services. If you have any questions, please do not hesitate to contact us at your convenience.

Sincerely,
GEOServices, LLC



Scott Goan
Environmental Project Manager
TN Inspector # A-I-91542-68394



Malcolm Randolph
Environmental Professional
TN Inspector # A-I-60395-74243

Attachment: Photo Log/Laboratory Report Results 1 & 2 / Chain of Custody

PHOTO LOG



Photograph 1: View of floor tile and black mastic.



Photograph 2: View of plaster sample from the ceiling.



Photograph 3: Typical view of kitchen area.



Photograph 4: Typical view of upstairs bedroom.



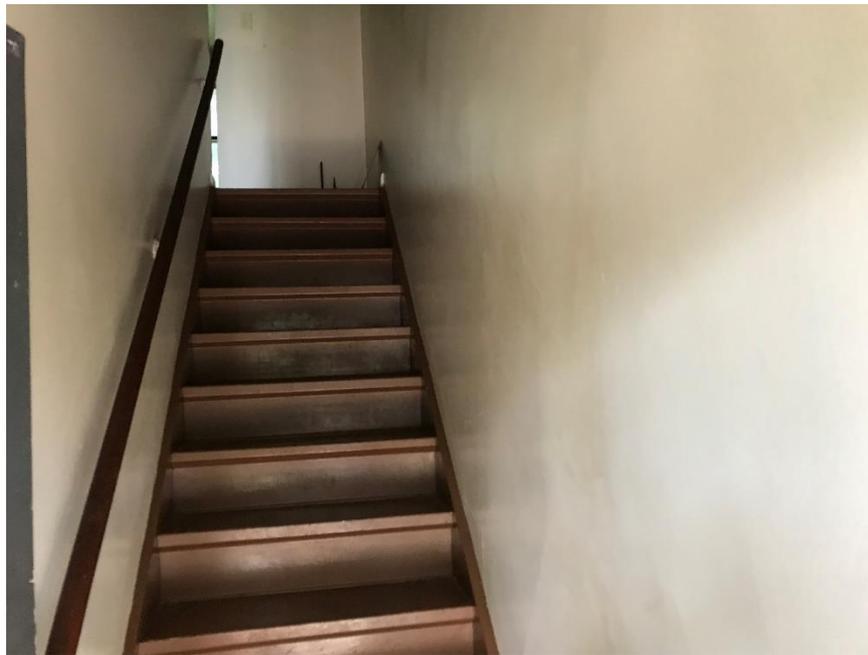
Photograph 5: View of bathroom area.



Photograph 6: View of living room space.



Photograph 7: View of 12x12 floor tile and black mastic.



Photograph 8: View of stairs.



Photograph 9: View of attic access.



Photograph 10: View of attic space with insulation.



Photograph 11: View of plaster walls.



Photograph 12: Another view of sampled floor tile.



Photograph 13: View of upstairs hallway.

Laboratory Report/Chain of Custody



FiberCom Lab #191069

*FINAL REPORT
8/13/19*

Name: GeoServices of Knoxville
Address: 2561 Willow Point Way
Knoxville, Tn. 37931

Project Number: 24-19785
P.O. Number: N/A
Project Name: Austin Homes
Received Date: 8/9/2019 08:45 AM

Dear Scott Goan,

FiberCom would like to thank you for choosing us for the work you recently submitted.

The 113 sample(s) was received on Friday, August 9, 2019 for PLM Analysis. The final report(s) is enclosed for the analysis of the samples received, which contained various materials that were tested for the presence of asbestos.

The results pertain only to the sample identification above and are job specific. The sample may not be fully representative of the larger material in question. The condition of the sample analyzed was acceptable upon receipt unless otherwise noted on this report. Results represent the analysis of samples submitted by the client. Sample location, description, area, ect. was provided by the client. This report shall not be reproduced, except in full, without consent of FiberCom Laboratory, Inc.

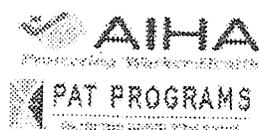
Please refer to the listing below of the pages included in a complete final report.

Sincerely,

A handwritten signature in black ink, appearing to read "RH", is written over a faint circular stamp or watermark.

Robert Houseright
Laboratory Manager FiberCom Laboratory

Final Report Includes: - Cover Letter - Analysis Pages - Chain of Custody
Sample conditions: - 2 samples in Good condition



4540 West Stone Drive Suite B Kingsport, Tn
 Phone: 423-230-0752 / Fax 423-245-1858

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"Organization is listed by the American Industrial Hygiene Association (AIHA) in the Asbestos Analysts Registry Program"

FiberCom Laboratory, Inc. Analytical Request & Report

Sample for: ASBESTOS ID's (PLM)

Location: Austin Homes ACM #24-19785

Date Received: 8/9/19
 Date Reported: 8/13/19

Client: GeoServices-Knoxville

Analytical Results

Sample ID Client/Lab	Sample Location	Client's Description	Asbestos Present	Result	% Asbestos	
M-1	191069-1	Apt. 203 Kitchen	FT & Mastic 12x12 (Top)	No	ND	-
M-2	191069-2	Apt. 203 Kitchen	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-3	191069-3	Apt. 203 Living Room	Plaster Wall	No	ND	-
M-4	191069-4	Apt. 203 Living Room	Plaster Ceiling	No	ND	-
M-5	191069-5	Apt. 203 Bedroom	Plaster	No	ND	-
M-6	191069-6	Apt. 203 Bedroom	FT & Mastic 12x12 (Top)	No	ND	-
M-7	191069-7	Apt. 203 Bedroom	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-8	191069-8	Apt. 203 Kitchen	Plaster Ceiling	No	ND	-
M-9	191069-9	Apt. 210 Kitchen	FT & Mastic 12x12 (Top)	No	ND	-
M-10	191069-10	Apt. 210 Kitchen	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-11	191069-11	Apt. 210 Living Room	Plaster Wall	No	ND	-
M-12	191069-12	Apt. 210 Top Of Stairs	FT & Mastic 12x12 (Top)	No	ND	-
M-13	191069-13	Apt. 210 Top Of Stairs	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-14	191069-14	Apt. 210 Hallway Upstairs	Drywall / Mud Ceiling	No	ND	-
M-15	191069-15	Apt. 210 Bedroom Upstairs	Plaster Wall	No	ND	-
M-16	191069-16	Apt. 210 Stairwell	Plaster Wall	No	ND	-
M-17	191069-17	Apt. 210 Kitchen	Plaster Ceiling	No	ND	-
M-18	191069-18	Apt. 230 Kitchen	FT & Mastic 12x12 (Top)	No	ND	-
M-19	191069-19	Apt. 230 Kitchen	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-20	191069-20	Apt. 230 Top Of Stairs	FT & Mastic 12x12 (Top)	No	ND	-
M-21	191069-21	Apt. 230 Top Of Stairs	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-22	191069-22	Apt. 230 Bedroom Upstairs	Plaster Wall	No	ND	-
M-23	191069-23	Apt. 230 Bedroom Upstairs	Plaster Wall	No	ND	-
M-24	191069-24	Apt. 230 Bedroom Upstairs	Plaster Ceiling	No	ND	-
M-25	191069-25	Apt. 230 Kitchen	Drywall / Mud	No	ND	-

[Handwritten Signature]
 8/13/19

Authorized Signature

Buddy Bellamy / Robert Houseright

QC Blank: Fiberglass

ANALYTICAL METHOD: NIOSH 9002 Issue 2 8/15/94 or EPA 600/R-93/116 PLM

Analyst: Robert Houseright FC request No. FIBL191069 Date: 8/9/19

ND=None Detected (Asbestos Not Found in Representative Sample). The results pertain only to the sample identification above. The sample may not be fully representative of the larger material in question. The condition of the sample analyzed was acceptable upon receipt unless otherwise noted on this report. Results represent the analysis of samples submitted by the client. Sample location, description, area, oct. was provided by the client. This report shall not be reproduced, except in full, without consent of FiberCom Laboratory, Inc.



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FiberCom Laboratory, Inc. Analytical Request & Report

Sample for: ASBESTOS ID's (PLM)

Location: Austin Homes ACM #24-19785

Date Received: 8/9/19
 Date Reported: 8/13/19

Client: GeoServices-Knoxville

Analytical Results

Sample ID Client/Lab	Sample Location	Client's Description	Asbestos Present	Result	% Asbestos
M-26 191069-26	Apt. 230 Kitchen	Drywall / Mud	No	ND	-
M-27 191069-27	Apt. 230	Replacement Floor Tile & Mastic	No	ND	-
M-28 191069-28	Apt. 231 Kitchen	Plaster Wall	No	ND	-
M-29 191069-29	Apt. 231 Kitchen	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-30 191069-30	Apt. 231 Kitchen	FT & Mastic 12x12 (Top)	No	ND	-
M-31 191069-31	Apt. 231 Living Room		No	ND	-
M-32 191069-32	Apt. 231 Living Room		No	ND	-
M-33 191069-33	Apt. 231 Hallway Upstairs	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-34 191069-34	Apt. 231 Hallway Upstairs	FT & Mastic 12x12 (Top)	No	ND	-
M-35 191069-35	Apt. 231 Bedroom Upstairs	Plaster Wall	No	ND	-
M-36 191069-36	Apt. 242 Kitchen	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-37 191069-37	Apt. 242 Kitchen	FT & Mastic 12x12 (Top)	No	ND	-
M-38 191069-38	Apt. 242 Kitchen	Drywall / Mud	No	ND	-
M-39 191069-39	Apt. 242 Kitchen	Plaster Wall	No	ND	-
M-40 191069-40	Apt. 242 Top Of Stairs	FT & Mastic 12x12 (Top)	No	ND	-
M-41 191069-41	Apt. 242 Top Of Stairs	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-42 191069-42	Apt. 242 Upstairs Hall	Drywall / Mud	No	ND	-
M-43 191069-43	Apt. 242 Upstairs Bathroom	Plaster Wall	No	ND	-
M-44 191069-44	Apt. 242 Upstairs Bathroom	Plaster Ceiling	No	ND	-
M-45 191069-45	Apt. 253 Living Room	FT & Mastic 12x12 (Top)	No	ND	-
M-46 191069-46	Apt. 253 Living Room	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-47 191069-47	Apt. 253 Living Room	Plaster Wall	No	ND	-
M-48 191069-48	Apt. 253 Top Of Stairs	FT & Mastic 12x12 (Top)	No	ND	-
M-49 191069-49	Apt. 253 Top Of Stairs	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-50 191069-50	Apt. 253 Upstairs Bathroom	Plaster Wall	No	ND	-

[Handwritten Signature]
 8/13/19

Authorized Signature

Buddy Bellamy / Robert Houseright

QC Blank: Fiberglass

ANALYTICAL METHOD: NIOSH 9002 Issue 2 8/15/94 or EPA 600/R-93/116 PLM

Analyst: Robert Houseright FC request No. FIBL191069 Date: 8/9/19

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Sample for: ASBESTOS ID's (PLM)

Location: Austin Homes ACM #24-19785

Date Received: 8/9/19
 Date Reported: 8/13/19

Client: GeoServices-Knoxville

Analytical Results

Sample ID Client/Lab	Sample Location	Client's Description	Asbestos Present	Result	% Asbestos
M-51 190069-51	Apt. 253 Living Room	Plaster Ceiling	No	ND	-
M-52 190069-52	Apt. 259 Living Room	FT & Mastic 12x12 (Top)	No	ND	-
M-53 190069-53	Apt. 259 Living Room	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-54 190069-54	Apt. 259 Living Room	Plaster Wall	No	ND	-
M-55 190069-55	Apt. 259 Top Of Stairs	FT & Mastic 12x12 (Top)	No	ND	-
M-56 190069-56	Apt. 259 Top Of Stairs	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-57 190069-57	Apt. 259 Bathroom	Plaster Ceiling	No	ND	-
M-58 190069-58	Apt. 259 Bathroom	Plaster Wall	No	ND	-
M-59 190069-59	Apt. 271 Living Room	FT & Mastic 12x12 (Top)	No	ND	-
M-60 190069-60	Apt. 271 Living Room	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-61 190069-61	Apt. 271 Living Room	Plaster Wall	No	ND	-
M-62 190069-62	Apt. 271 Top Of Stairs	FT & Mastic 12x12 (Top)	No	ND	-
M-63 190069-63	Apt. 271 Top Of Stairs	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-64 190069-64	Apt. 271 Bathroom	Plaster Ceiling	No	ND	-
M-65 190069-65	Apt. 271 Kitchen	Drywall / Mud	No	ND	-
M-66 190069-66	Apt. 274 Living Room	FT & Mastic 12x12 (Top)	No	ND	-
M-67 190069-67	Apt. 274 Living Room	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-68 190069-68	Apt. 274 Kitchen	Drywall / Mud	No	ND	-
M-69 190069-69	Apt. 274 Kitchen	Plaster Ceiling	No	ND	-
M-70 190069-70	Apt. 274 Top Of Stairs	FT & Mastic 12x12 (Top)	No	ND	-
M-71 190069-71	Apt. 274 Top Of Stairs	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-72 190069-72	Apt. 274 Hallway Upstairs	Drywall / Mud	No	ND	-
M-73 190069-73	Apt. 274 Bathroom	Plaster Wall	No	ND	-
M-74 190069-74	Apt. 279 Living Room	FT & Mastic 12x12 (Top)	No	ND	-
M-75 190069-75	Apt. 279 Living Room	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both

[Handwritten Signature]
 8/13/19

Authorized Signature

Buddy Bellamy / Robert Houseright

QC Blank: Fiberglass

ANALYTICAL METHOD: NIOSH 9002 Issue 2 8/15/94 or EPA 600/R-93/116 PLM

Analyst: Robert Houseright

FC request No. FIBL191069

Date: 8/9/19

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FiberCom Laboratory, Inc. Analytical Request & Report

Sample for: ASBESTOS ID's (PLM)

Location: Austin Homes ACM #24-19785

Date Received: 8/9/19
 Date Reported: 8/13/19

Client: GeoServices-Knoxville

Analytical Results

Sample ID Client/Lab	Sample Location	Client's Description	Asbestos Present	Result	% Asbestos	
M-76	191069-76	Apt. 279 Kitchen	Plaster Wall	No	ND	-
M-77	191069-77	Apt. 279 Bedroom	Plaster	No	ND	-
M-78	191069-78	Apt. 288 Top Of Stairs	FT & Mastic 12x12 (Top)	No	ND	-
M-79	191069-79	Apt. 288 Hallway Upstairs	FT & Mastic 12x12 (Top)	No	ND	-
M-80	191069-80	Apt. 288 Kitchen Upstairs	Drywall / Mud	No	ND	-
M-81	191069-81	Apt. 288 Kitchen Upstairs	Plaster Wall	No	ND	-
M-82	191069-82	Apt. 288	Plaster Ceiling	No	ND	-
M-83	191069-83	Apt. 289 Top Of Stairs	FT & Mastic 12x12 (Top)	Yes	Chrysotile	3% B Mastic
M-84	191069-84	Apt. 289 Bedroom	Plaster Wall	No	ND	-
M-85	191069-85	Apt. 306 Top Of Stairs	FT & Mastic 12x12 (Top)	No	ND	-
M-86	191069-86	Apt. 306 Top Of Stairs	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-87	191069-87	Apt. 306 Living Room	Plaster Wall	No	ND	-
M-88	191069-88	Apt. 306 Bathroom	Plaster Ceiling	No	ND	-
M-89	191069-89	Apt. 306 Bathroom	Drywall / Mud	No	ND	-
M-90	191069-90	Apt. 306	FT & Mastic (Patch)	No	ND	-
M-91	191069-91	Apt. 317 Living Room	FT & Mastic 12x12 (Top)	No	ND	-
M-92	191069-92	Apt. 317 Living Room	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-93	191069-93	Apt. 317 Living Room	Plaster Wall	No	ND	-
M-94	191069-94	Apt. 317 Top Of Stairs	FT & Mastic 12x12 (Top)	No	ND	-
M-95	191069-95	Apt. 317 Top Of Stairs	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-96	191069-96	Apt. 317 Hallway	Plaster Ceiling	No	ND	-
M-97	191069-97	Apt. 317 Bedroom	Plaster Wall	No	ND	-
M-98	191069-98	Apt. 321 Living Room	FT & Mastic 12x12 (Top)	No	ND	-
M-99	191069-99	Apt. 321 Living Room	FT & Mastic 9x9 (Bottom)	Yes	Chrysotile	3% Both
M-100	191069-100	Apt. 321 Living Room	Plaster Wall	No	ND	-

[Handwritten Signature]
 8/13/19

Authorized Signature
 Buddy Bellamy / Robert Houseright

QC Blank: Fiberglass
 ANALYTICAL METHOD: NIOSH 9002 Issue 2 8/15/94 or EPA 600/R-93/116 PLM
 Analyst: Robert Houseright FC request No. FIBL191069 Date: 8/9/19

ND=None Detected (Asbestos Not Found In Representative Sample). The results pertain only to the sample identification above. The sample may not be fully representative of the larger material in question. The condition of the samples analyzed was acceptable upon receipt unless otherwise noted on this report. Results represent the analysis of samples submitted by the client. Sample location, description, area, ect. was provided by the client. This report shall not be reproduced, except in full, without consent of FiberCom Laboratory, Inc.

PROJECT: **Aurora Homes AOM 24-19785**

DATE: **8-7-19**

ID	LAYER	Sample Description	Appearance	Location	Color	Condition	Duplicate
M-1	2	Flt 1 7/8" x 12" (Top Layer) Kitchen		APT 230	G,Y		
M-2	2	Flt 1 7/8" x 12" (Bottom Layer) Kitchen		" "	G,B		
M-3	1	Plaster from wall (Living Room)		" "	W		
M-4	1	Plaster from ceiling (Living Room)		" "	W		
M-5	1	Plaster from Bedroom		" "	W		
M-6	1	FT 1/2" mesh 12" x 12" (Top Layer) Bedroom		" "	G,Y		
M-7	1	1" x 1" 9" x 9" (Bottom Layer) Bedroom		" "	G,B		
M-8	1	Plaster Ceiling Kitchen		" "	W		
M-9	2	FT 1/2" mesh 12" x 12" (Top) Kitchen		APT 230	G,Y		
M-10	2	" 1" x 1" 9" x 9" (Bottom) Kitchen		" "	G,B		
M-11	1	Plaster Living Room wall		" "	W		
M-12	2	FT 1/2" mesh 12" x 12" (Top) Top of stairs		" "	G,Y		
M-13	2	1" x 1" 9" x 9" (Bottom) " " "		" "	G,B		
M-14	2	Plaster Hallway upstairs (ceiling)		" "	W		
M-15	1	Plaster Bedroom upstairs (wall)		" "	W		
M-16	1	Plaster Stairwell (wall)		" "	W		
M-17	1	Plaster Ceiling Kitchen		" "	W		
M-18	2	FT 1/2" mesh 12" x 12" (Top) Kitchen		APT 230	G,Y		
M-19	2	1" x 1" 9" x 9" (Bottom) Kitchen		" "	G,B		
M-20	2	FT 1/2" mesh 12" x 12" (Top) Top of stairs		" "	G,Y		
M-21	2	1" x 1" 9" x 9" (Bottom) " " "		" "	G,B		
M-22	1	Plaster wall Bedroom (ceiling)		" "	W		
M-23	1	Plaster wall " " "		" "	W		
M-24	1	Plaster Ceiling " " "		" "	W		

PROJECT: Austin Homes AEM 24-19985

DATE: 4-7-19

ID	LAYER	Sample Description	Appearance	Location	Color	Condition	Duplicate
M-25	2	Drwall & mnd (Kitchen)		Appt 230	W		
M-26	2	1" & mnd 1"		11 11	W		
M-27	2	Replacement Tile & Masonic		11 11	Green		
M-28	1	Plaster wall Kitchen		Appt 231	W		
M-29	2	ET & Masonic 9x9 (Bottom) Kitchen		11 11	G/B		
M-30	2	1" & 1" 12x12 (Top) Kitchen		11 11	G/Y		
M-31	1	Plaster wall Living Room		11 11	W		
M-32	2	Drwall & mnd Hallway		11 11	W		
M-33	2	ET & Masonic 12x12 (Bottom) Hallway		11 11	G/B		
M-34	2	1" & 1" 1" 12x12 (Top) Hallway		11 11	G/Y		
M-35	1	Plaster wall Bedroom		11 11	W		
M-36	2	ET & Masonic 12x12 (Top) Kitchen		Appt 242	G/Y		
M-37	2	1" & 1" 9x9 (Bottom) Kitchen		11 11	G/B		
M-38	2	Plaster Kitchen wall		11 11	W		
M-39	1	Plaster 12x12 (Top) Top of door		11 11	G/Y		
M-40	2	1" & 1" 9x9 (Bottom) 11 11 11		11 11	G/B		
M-41	2	Drwall & mnd wall Kitchen		11 11	W		
M-42	1	Plaster 12x12 (Top) Bathroom		11 11	W		
M-43	1	Plaster Living Office Bathroom		11 11	W		
M-44	1	Plaster Living Office Bathroom		11 11	W		
M-45	2	ET & Masonic 12x12 (Top) Living Room		Appt 253	G/Y		
M-46	2	ET & Masonic 9x9 (Bottom) Living Room		11 11	G/B		
M-47	1	Plaster wall Living Room		11 11	W		
M-48	2	ET & Masonic 12x12 (Top) 10'0" of floor		11 11	G/Y		

Mud/Ht Floor Units - Concrete Blw Floor

PROJECT:

Austin Homes ACM

24-19785

DATE:

8-7-19

ID	LAYER	Sample Description	Appearance	Location	Color	Condition	Duplicate
1	M-49	FI & Mortar 9x9 (Bottom) Top of		Appt 253	G/B		
2	M-50	Plaster wall 11x11 BATHROOM		11 11	W		
3	M-51	Plaster Ceiling Living Room		11 11	W		
4	M-52	FI & Mortar 12x12 (Top) Living Room		Appt 259	G/Y		
5	M-53	11 11 9x9 (Bottom) Living Room		11 11	G/B		
6	M-54	Plaster wall Living Room		11 11	W		
7	M-55	FI & Mortar 12x12 (Top) Top of		11 11	G/Y		
8	M-56	11 11 9x9 (Bottom) Top of		11 11	G/B		
9	M-57	Plaster Ceiling Bathroom		11 11	W		
10	M-58	Plaster wall Bathroom		11 11	W		
11	M-59	FI & Mortar 12x12 (Top) Living Room		Appt 271	G/Y		
12	M-60	FI & Mortar 9x9 (Bottom) Living Room		11 11	G/B		
13	M-61	Plaster wall Living Room		11 11	W		
14	M-62	FI & Mortar 12x12 (Top) Top of		11 11	G/Y		
15	M-63	11 11 9x9 (Bottom) 11 11		11 11	G/B		
16	M-64	Plaster Ceiling Bathroom		11 11	W		
17	M-65	Plaster wall Bathroom		11 11	W		
18	M-66	FI & Mortar 12x12 (Top) Living Room		Appt 274	G/Y		
19	M-67	11 11 9x9 (Bottom) 11 11		11 11	G/B		
20	M-68	Plaster wall Kitchen		11 11	W		
21	M-69	Plaster Ceiling Kitchen		11 11	W		
22	M-70	FI & Mortar 12x12 (Top) Top of		11 11	G/Y		
23	M-71	11 11 Mortar 9x9 (Bottom) 11 11 11		11 11	G/B		
24	M-72	Plaster wall Hallway		11 11	W		

PROJECT:

Austin Homes ACM

24-19785

DATE:

8-7-19

ID	LAYER	Sample Description	Appearance	Location	Color	Condition	Duplicate
M-973	1	Plaster wall Bedroom		APT 274	W		
M-974	2	Pl & mastic 12x12 (top) living floor		APT 279	GY		
M-975	2	" " 11 9x9 (bottom) " "		" "	GYB		
M-976	1	Plaster wall kitchen		" "	W		
M-977	1	Plaster Bedroom		" "	W		
M-978	2	Pl & mastic 12x12 (top) total stairs		APT 248	GY		
M-979	2	" " 11 11 11 11 hallway upstairs		" "	GY		
M-980	2	Plaster wall kitchen kitchen		" "	W		
M-981	1	Plaster wall kitchen kitchen		" "	W		
M-982	1	Plaster ceiling		" "	W		
M-983	1	Plaster 5 mastic 12x12 (top) total stairs		APT 249	GYB		
M-984	1	Plaster wall bedroom		" "	W		
M-985	2	Pl & mastic 12x12 (top) total stairs		APT 306	GY		
M-986	1	" " 11 9x9 (bottom) " "		" "	GYB		
M-987	1	Plaster wall living floor		" "	W		
M-988	1	Plaster wall bedroom ceiling		" "	W		
M-989	2	Plaster wall bedroom ceiling		" "	W		
M-990	2	Pl & mastic (patch)		" "	GY		
M-991	2	Pl & mastic 12x12 (top) living floor		APT 317	GY		
M-992	2	" " 11 9x9 (bottom) living floor		" "	GYB		
M-993	1	Plaster wall living floor		" "	W		
M-994	2	Pl & mastic 12x12 (top) total stairs		" "	GY		
M-995	2	" " 11 9x9 (bottom) " "		" "	GYB		
M-996	1	Plaster ceiling hallway		" "	W		



FiberCom Laboratory, Inc. Chain of Custody - Asbestos
4540 B West Stone Drive Kingsport, Tennessee 37660

Phone: (423) 230-0752 Fax: (423) 245-1858
 Email: robtcb4fibercom@embarqmail.com / fibercom@chartertn.net

www.fibercom-laboratory.com

Chain of custody must be filled out completely and signed before analysis can be performed
Approved Organization of American Industrial Hygiene Association (AIHA) and Asbestos Analysts Registry (AAR)

Requestor:	_____	FiberCom	_____
Your Company Name:	GeoServices	Bill to:	Same
Street:	2561 Willow Point Way	Street:	_____
Box #:	_____	Box #:	_____
City/State:	Knoxville, Tn	City/State:	_____
Zip:	37931	Zip:	_____
Phone Results to:	_____	E-Mail Results to:	_____
Name:	_____	Name:	sgoan@geoservicesllc.com
Telephone #:	_____	Name:	bbarton@geoservicesllc.com
Project Name/Number:	Austin Homes Act 264-19 7585	Purchase Order#:	_____
		E-Mail Add.:	_____
Condition of Sample:	Good		

PCM

<input type="checkbox"/>	NIOSH 7400 (f/mm2 - f/cc)
<input type="checkbox"/>	OSHA w/TWA
<input type="checkbox"/>	NIOSH 7402 TEM

PLM

<input checked="" type="checkbox"/>	EPA 600/R-93/116
<input type="checkbox"/>	NVLAP Required

PCM TURNAROUND

72 Hrs-3 Day 48 Hrs-2 Day

24 Hrs-Next Day < 3 Hrs-Same Day

PLM TURNAROUND

48 Hrs-2 Day

24 Hrs-Next Day Same Day
 (Submitted before 12pm)

< 3 Hrs-Same Day

FIBL # 19D1069

DUE DATE
AUG 13 2019

Samples Submitted after 12pm, turnaround will start the following business day

Special Instructions/Comments: _____

Total Samples: 123
 Client Sample # (s) _____

Relinquished: [Signature] Date: 8-7-19 Time: 16:00
 Received: [Signature] Date: 8/9/19 Time: 0745



4540 West Stone Drive Suite B Kingsport, Tn
 Phone: 423-230-0752 / Fax 423-245-1858

E-mail: robtcb4fibercom@embarqmail.com or fibercom@chartertn.net

"Organization is listed by the American Industrial Hygiene Association (AIHA) in the Asbestos Analysts Registry Program"

FiberCom Laboratory, Inc. Analytical Request & Report

Sample for: ASBESTOS ID's (PLM)

Location: Austin Homes ACM #24-19785

Date Received: 8/9/19
 Date Reported: 8/13/19

Client: GeoServices-Knoxville

Analytical Results

Sample ID Client/Lab	Sample Location	Client's Description	Asbestos Present	Result	% Asbestos
1	191065-1	Upstairs Floor 202	No	ND	-
2	191065-2	Upstairs Floor 202	No	ND	-
3	191065-3	Upstairs Floor 202	Yes	Chrysotile	3% Both
4	191065-4	Downstairs Floor 202	Yes	Chrysotile	3% Both
5	191065-5	Downstairs Floor 202	No	ND	-
6	191065-6	Downstairs Floor 202	No	ND	-
7	191065-7	Upstairs 202	No	ND	-
8	191065-8	Upstairs 202	No	ND	-
9	191065-9	Downstairs 202	No	ND	-
10	191065-10	Downstairs 202	No	ND	-
11	191065-11	Downstairs 202	No	ND	-
12	191065-12	Downstairs 202	No	ND	-
13	191065-13	Downstairs 215	No	ND	-
14	191065-14	Downstairs 215	Yes	Chrysotile	3% Both
15	191065-15	Downstairs 215	No	ND	-
16	191065-16	Downstairs 215	No	ND	-
17	191065-17	Downstairs 215	No	ND	-
18	191065-18	Upstairs 215	Yes	Chrysotile	3% Both
19	191065-19	Upstairs 215	No	ND	-
20	191065-20	Upstairs 215	No	ND	-
21	191065-21	Upstairs 215	No	ND	-
22	191065-22	Downstairs 218	Yes	Chrysotile	3% Both
23	191065-23	Downstairs 218	No	ND	-
24	191065-24	Downstairs 218	No	ND	-
25	191065-25	Downstairs 218	No	ND	-

Handwritten signature 8/12/19

Authorized Signature

Buddy Bellamy / Robert Houseright

QC Blank: Fiberglass

ANALYTICAL METHOD: NIOSH 9002 Issue 2 8/15/94 or EPA 600/R-93/116 PLM

Analyst: Robert Houseright FC request No. FIBL191065 Date: 8/9/19

ND=None Detected (Asbestos Not Found in Representative Sample). The results pertain only to the sample identification above. The sample may not be fully representative of the larger material in question. The condition of the sample analyzed was acceptable upon receipt unless otherwise noted on this report. Results represent the analysis of samples submitted by the client. Sample location, description, area, ect. was provided by the client. This report shall not be reproduced, except in full, without consent of FiberCom Laboratory, Inc.



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"Organization is listed by the American Industrial Hygiene Association (AIHA) in the Asbestos Analysts Registry Program"

FiberCom Laboratory, Inc. Analytical Request & Report

Sample for: ASBESTOS ID's (PLM)

Location: Austin Homes ACM #24-19785

Date Received: 8/9/19
 Date Reported: 8/13/19

Client: GeoServices-Knoxville

Analytical Results

Sample ID Client/Lab	Sample Location	Client's Description	Asbestos Present	Result	% Asbestos	
26	191065-26	218 D.S	Drywall Ceiling	No	ND	-
27	191065-27	218 D.S	Drywall Ceiling	No	ND	-
28	191065-28	221 D.S.	FT & M (Top)	No	ND	-
29	191065-29	221 D.S.	FT & M (Top)	No	ND	-
30	191065-30	221 D.S.	FT & M (Bottom)	Yes	Chrysotile	3% Both
31	191065-31	221 D.S.	Plaster Wall	No	ND	-
32	191065-32	221 D.S.	Plaster Ceiling	No	ND	-
33	191065-33	221 U.S.	FT & M (Top)	No	ND	-
34	191065-34	221 U.S.	FT & M (Bottom)	Yes	Chrysotile	3% Both
35	191065-35	221 U.S.	Plaster Wall	No	ND	-
36	191065-36	221 U.S.	Plaster Ceiling	No	ND	-
37	191065-37	222 D.S.	FT & M	No	ND	-
38	191065-38	222 D.S.	FT & M	No	ND	-
39	191065-39	222 D.S.	FT & M	Yes	Chrysotile	3% Both
40	191065-40	222 D.S.	Plaster Wall	No	ND	-
41	191065-41	222 D.S.	Plaster Ceiling	No	ND	-
42	191065-42	222 U.S.	FT & M	No	ND	-
43	191065-43	222 U.S.	FT & M	No	ND	-
44	191065-44	222 U.S.	FT & M	Yes	Chrysotile	3% Both
45	191065-45	222 U.S.	Plaster Wall	No	ND	-
46	191065-46	222 U.S.	Plaster Ceiling	No	ND	-
47	191065-47	222 U.S.	Drywall Ceiling	No	ND	-
48	191065-48	223 D.S.	FT & M	No	ND	-
49	191065-49	223 D.S.	FT & M	No	ND	-
50	191065-50	223 D.S.	FT & M	Yes	Chrysotile	3% Both

Handwritten signature: RB 8/12/19

Authorized Signature

Buddy Bellamy / Robert Houseright

QC Blank: Fiberglass

ANALYTICAL METHOD: NIOSH 9002 Issue 2 8/15/94 or EPA 600/R-93/116 PLM

Analyst: Robert Houseright FC request No. FIBL191065 Date: 8/9/19

ND=None Detected (Asbestos Not Found in Representative Sample). The results pertain only to the sample identification above. The sample may not be fully representative of the larger material in question. The condition of the sample analyzed was acceptable upon receipt unless otherwise noted on this report. Results represent the analysis of samples submitted by the client. Sample location, description, area, ect. was provided by the client. This report shall not be reproduced, except in full, without consent of FiberCom Laboratory, Inc.



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"Organization is listed by the American Industrial Hygiene Association (AIHA) in the Asbestos Analysts Registry Program"

FiberCom Laboratory, Inc. Analytical Request & Report

Sample for: ASBESTOS ID's (PLM)

Location: Austin Homes ACM #24-19785

Date Received: 8/9/19
 Date Reported: 8/13/19

Client: GeoServices-Knoxville

Analytical Results

Sample ID Client/Lab	Sample Location	Client's Description	Asbestos Present	Result	% Asbestos
51	191065-51	237 DS			
		FT & M (Top)	No	ND	-
52	191065-52	237 DS			
		FT & M (Top)	No	ND	-
53	191065-53	237 DS			
		FT & M (Bottom)	Yes	Chrysotile	3% Both
54	191065-54	237 DS			
		Plaster Wall	No	ND	-
55	191065-55	237 DS			
		Plaster Ceiling	No	ND	-
56	191065-56	237 Upstairs			
		Plaster Ceiling	No	ND	-
57	191065-57	237 Upstairs			
		Plaster Wall	No	ND	-
58	191065-58	237 Upstairs			
		FT & M (Bottom)	Yes	Chrysotile	3% Both
59	191065-59	237 Upstairs			
		FT & M	No	ND	-
60	191065-60	237 Upstairs			
		FT & M	No	ND	-
61	191065-61	247 D.S.			
		FT & M	No	ND	-
62	191065-62	247 D.S.			
		Plaster Wall	No	ND	-
63	191065-63	247 D.S.			
		Plaster Ceiling	No	ND	-
64	191065-64	247 U.S.			
		Plaster Ceiling	No	ND	-
65	191065-65	247 U.S.			
		Plaster Wall	No	ND	-
66	191065-66	247 U.S.			
		FT & M (Bottom)	Yes	Chrysotile	3% Both
67	191065-67	247 U.S.			
		FT & M (Top)	No	ND	-
68	191065-68	247 U.S.			
		FT & M (Top)	No	ND	-
69	191065-69	247 U.S.			
		FT & M (Top)	No	ND	-
70	191065-70	262 DS			
		FT & M (Top)	No	ND	-
71	191065-71	262 DS			
		FT & M (Drk. Brown Tile, Bk Mastic)	Yes	Chrysotile	3% Both
72	191065-72	262 DS			
		FT & M (Top)	No	ND	-
73	191065-73	262 DS			
		FT & M (Top)	No	ND	-
74	191065-74	262 DS			
		FT & M (Bottom)	Yes	Chrysotile	3% Both
75	191065-75	262 DS			
		Plaster Wall	No	ND	-

[Handwritten Signature]

Authorized Signature

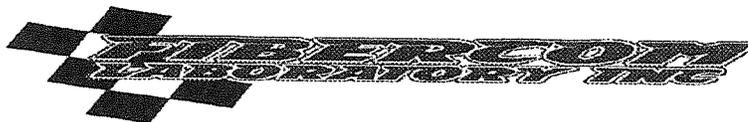
Buddy Bellamy / Robert Houseright

QC Blank: Fiberglass

ANALYTICAL METHOD: NIOSH 9002 Issue 2 8/15/94 or EPA 600/R-93/116 PLM

Analyst: Robert Houseright FC request No. FIBL191065 Date: 8/9/19

ND=None Detected (Asbestos Not Found in Representative Sample). The results pertain only to the sample identification above. The sample may not be fully representative of the larger material in question. The condition of the sample analyzed was acceptable upon receipt unless otherwise noted on this report. Results represent the analysis of samples submitted by the client. Sample location, description, area, ect. was provided by the client. This report shall not be reproduced, except in full, without consent of FiberCom Laboratory, Inc.



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"Organization is listed by the American Industrial Hygiene Association (AIHA) in the Asbestos Analysts Registry Program"

FiberCom Laboratory, Inc. Analytical Request & Report

Sample for: ASBESTOS ID's (PLM)

Location: Austin Homes ACM #24-19785

Date Received: 8/9/19
 Date Reported: 8/13/19

Client: GeoServices-Knoxville

Analytical Results

Sample ID	Client/Lab	Sample Location	Client's Description	Asbestos Present	Result	% Asbestos
76	191065-76	262 D.S.	Plaster Ceiling	No	ND	-
77	191065-77	262 U.S.	FT & M (Top)	No	ND	-
78	191065-78	262 U.S.	FT & M (Top)	No	ND	-
79	191065-79	262 U.S.	FT & M (Top)	No	ND	-
80	191065-80	262 U.S.	FT & M (Bottom)	Yes	Chrysotile	3% Both
81	191065-81	262 U.S.	Plaster Wall	No	ND	-
82	191065-82	262 U.S.	Plaster Ceiling	No	ND	-
83	191065-83	262 U.S.	Drywall	No	ND	-
84	191065-84	263 DS	Plaster Wall	No	ND	-
85	191065-85	263 DS	Plaster Ceiling	No	ND	-
86	191065-86	263 DS	FT & M (Top)	No	ND	-
87	191065-87	263 DS	FT & M (Top)	No	ND	-
88	191065-88	263 DS	FT & M (Bottom)	Yes	Chrysotile	3% Both
89	191065-89	263 DS	FT & M (Bottom)	No	ND	-
90	191065-90	263 US	FT & M (Top)	No	ND	-
91	191065-91	263 US	FT & M (Bottom)	Yes	Chrysotile	3% Both
92	191065-92	263 US	Plaster Wall	No	ND	-
93	191065-93	263 US	Plaster Ceiling	No	ND	-
94	191065-94	283 DS	FT & M (Top)	No	ND	-
95	191065-95	283 DS	FT & M (Top)	No	ND	-
96	191065-96	283 DS	FT & M (Bottom)	Yes	Chrysotile	3% Both
97	191065-97	283 DS	Plaster Wall	No	ND	-
98	191065-98	283 DS	Plaster Ceiling	No	ND	-
99	191065-99	283 Upstairs	FT & M (Top)	No	ND	-
100	191065-100	283 Upstairs	FT & M (Top)	No	ND	-

[Handwritten Signature]
 Authorized Signature
 Buddy Bellamy / Robert Houseright

QC Blank: Fiberglass
 ANALYTICAL METHOD: NIOSH 9002 Issue 2 8/15/94 or EPA 600/R-93/116 PLM
 Analyst: Robert Houseright FC request No. FIBL191065 Date: 8/9/19

ND=None Detected (Asbestos Not Found in Representative Sample). The results pertain only to the sample identification above. The sample may not be fully representative of the larger material in question. The condition of the sample analyzed was acceptable upon receipt unless otherwise noted on this report. Results represent the analysis of samples submitted by the client. Sample location, description, area, ect. was provided by the client. This report shall not be reproduced, except in full, without consent of FiberCom Laboratory, Inc.



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"Organization is listed by the American Industrial Hygiene Association (AIHA) in the Asbestos Analysts Registry Program"

FiberCom Laboratory, Inc. Analytical Request & Report

Sample for: ASBESTOS ID's (PLM)

Location: Austin Homes ACM #24-19785

Date Received: 8/9/19
 Date Reported: 8/13/19

Client: GeoServices-Knoxville

Analytical Results

Sample ID Client/Lab	Sample Location	Client's Description	Asbestos Present	Result	% Asbestos
101	191065-101	283 Upstairs	No	ND	-
102	191065-102	283 Upstairs	No	ND	-
103	191065-103	283 Upstairs	No	ND	-
104	191065-104	283 Upstairs	Yes	Chrysotile	3% Both
105	191065-105	302 Upstairs Only	No	ND	-
106	191065-106	302 Upstairs Only	No	ND	-
107	191065-107	302 Upstairs Only	Yes	Chrysotile	3% Both
108	191065-108	302 Upstairs Only	No	ND	-
109	191065-109	302 Upstairs Only	No	ND	-
110	191065-110	302 Upstairs Only	No	ND	-
111	191065-111	302 Upstairs Only	No	ND	-
112	191065-112	302 Upstairs Only	Yes	Chrysotile	3% Both
113	191065-113	313 Downstairs	No	ND	-
114	191065-114	313 Downstairs	No	ND	-
115	191065-115	313 Downstairs	Yes	Chrysotile	3% Both
116	191065-116	313 Downstairs	No	ND	-
117	191065-117	313 Downstairs	No	ND	-
118	191065-118	313 Downstairs	No	ND	-
119	191065-119	313 Downstairs	No	ND	-
120	191065-120	313 Downstairs	Yes	Chrysotile	3% Both
121	191065-121	313 Downstairs	No	ND	-
122	191065-122	313 Downstairs	No	ND	-
123	191065-123	326 Downstairs	No	ND	-
124	191065-124	326 Downstairs	No	ND	-
125	191065-125	326 Downstairs	No	ND	-

RL 8/12/19
 Authorized Signature
 Buddy Bellamy / Robert Houseright

QC Blank: Fiberglass
 ANALYTICAL METHOD: NIOSH 9002 Issue 2 8/15/94 or EPA 600/R-93/116 PLM
 Analyst: Robert Houseright FC request No. FIBL191065 Date: 8/9/18

ND=None Detected (Asbestos Not Found in Representative Sample). The results pertain only to the sample identification above. The sample may not be fully representative of the larger material in question. The condition of the sample analyzed was acceptable upon receipt unless otherwise noted on this report. Results represent the analysis of samples submitted by the client. Sample location, description, area, ect. was provided by the client. This report shall not be reproduced, except in full, without consent of FiberCom Laboratory, Inc.



FiberCom Laboratory, Inc. Chain of Custody - Asbestos
4540 B West Stone Drive Kingsport, Tennessee 37660

Phone: (423) 230-0752 Fax: (423) 245-1858
 Email: robtcb4fibercom@embarqmail.com / fibercom@chartertn.net

www.fibercom-laboratory.com

Chain of custody must be filled out completely and signed before analysis can be performed
Approved Organization of American Industrial Hygiene Association (AIHA) and Asbestos Analysts Registry (AAR)

Requestor: _____
 Your Company: GeoServices
 Name: _____
 Street: 2561 Willow Point Way
 Box #: _____
 City/State: Knoxville, Tn
 Zip: 37931

FiberCom Bill to: _____
 Street: _____
 Box #: _____
 City/State: _____
 Zip: _____

Phone Results to: _____
 Name: _____
 Telephone #: _____

E-Mail Results to : Name: sjoan@geoservicesllc.com
bbarton@geoservicesllc.com

Project Name/Number: Austin Homes Actn
24-19785

Purchase Order#: _____
 E-Mail Add. : _____

Condition of Sample: Good

PCM NIOSH 7400 (f/mm2 - f/cc)
 OSHA w/TWA
 NIOSH 7402 TEM

PLM EPA 600/R-93/116
 NVLAP Required

PCM TURNAROUND
 72 Hrs-3 Day 48 Hrs-2 Day
 24 Hrs-Next Day < 3 Hrs-Same Day

PLM TURNAROUND
 48 Hrs-2 Day
 24 Hrs-Next Day Same Day
 (Submitted before 12pm)
 < 3 Hrs-Same Day

FIBL # 19D1065

DUE DATE
AUG 13 2019

Samples Submitted after 12pm, turnaround will start the following business day

Special Instructions/Comments: _____

Total Samples: 130
 Client Sample # (s) _____

Relinquished: [Signature] Date: 8-7-19 Time: 16:00
 Received: [Signature] Date: 8/9/19 Time: 0745

2/18/70 LDC



Looked 243 236 235 218

Looked 257 259

Looked 279 282 287 288 289

Looked 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400

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