HIGHLANDS COUNTY BOARD OF COUNTY COMMISSIONERS

HEALTH DEPARTMENT ROOF REPLACEMENT

106 N. MAIN AVENUE LAKE PLACID, FL 33852



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ARCHITECTURAL

BEE LINE EXPRESSWAY

A1.1 DEMO ROOF PLAN & NOTES A2.3 PROPOSED ROOF PLAN & NOTES

SITE LOCATION MAP

106 N. MAIN AVENUE LAKE PLACID, FL 33852



NOTE: THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION

OWNER

HIGHLANDS COUNTY BOARD OF COUNTY COMISSIONERS 600 S. COMMERCE AVENUE SEBRING, FL 33870

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ARCHITECT

SWEET SPARKMAN ARCHITECTS, INC. SARASOTA, FLORIDA 34237

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941.952.0084 PHONE 941.952.0201 FAX

APPLICABLE CODES

BUILDING CODE: MECHANICAL CODE: ELECTRICAL CODE: PLUMBING CODE:

FIRE SAFETY CODE:

FUEL GAS CODE:

FLORIDA BUILDING CODE (FBC), SIXTH EDITION (2017) WITH APPLICABLE AMENDMENTS FBC, SIXTH EDITION (2017) MECHANICAL WITH APPLICABLE AMENDMENTS ENERGY CONSERVATION: FBC, SIXTH EDITION (2017) ENERGY CONSERVATION WITH APPLICABLE AMENDMENTS

FBC - CHAPTER 27; NFPA 70 (N.E.C.) WITH APPLICABLE AMENDMENTS FBC, SIXTH EDITION (2017) PLUMBING WITH APPLICABLE AMENDMENTS FBC, SIXTH EDITION (2017) FUEL GAS WITH APPLICABLE AMENDMENTS ACCESSIBILITY CODE: FBC, SIXTH EDITION (2017) ACCESSIBILITY WITH APPLICABLE AMENDMENTS FLORIDA FIRE PREVENTION CODE, FIFTH EDITION WITH APPLICABLE AMENDMENTS

OTHER:

BUILDING CATEGORIZATION & PHYSICAL PROPERTIES				
	FLORIDA BU	ILDING CODE	FLORIDA FIRE PREVENTION CODE	
OCCUPANCY CLASSIFICATION	CHAPTER 3, S	SECTION 302	CHAPTER 6	
OSSIT AND I SEASSII IOA IION		OUP B	GROUP [XX] 	
	CHAF	PTER 6	TABLE A8.2.1.2	
CONSTRUCTION TYPE	TYPE II B (NO CHANGE FROM EXISTING)			
WIND LOADS (FBC CHAPTER 16) * SEE STRUCTURAL.	FBC CHAPTER 16	RISK CATEGORY TABLE 1604.5	N/A	
SEE STRUCTURAL.	140 MPH *	II *	N/A	

FLORIDA PRODUCT APPROVAL / NOA					
CATEGORY	SUBCATEGORY	MANUFACTURER	DOCUMENTATION TYPE		
CATEGORY	SUBCATEGORT	PRODUCT NUMBER	FLORIDA APPROVAL (FL#)		
ROOF	ROOF MEMBRANE	MANUF: SEAMAN CORP. SERIES: FIBERTITE	FL 4930 - R13		

- 1. INCLUSION OF A PRODUCT IN THIS SCHEDULE DOES NOT IMPLY OR PRESUME THAT THE PRODUCT LISTED WILL BE INSTALLED IN THIS PROJECT. ALTERNATE PRODUCTS COMPLYING WITH CODE REQUIREMENTS MAY BE UTILIZED UPON EVALUATION, ACCEPTANCE, AND APPROVAL BY THE BUILDING DEPARTMENT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SUBMIT INFORMATION AND DOCUMENTATION THAT MAY BE REQUIRED BY THE BUILDING DEPARTMENT FOR THE ALTERNATE PRODUCT'S EVALUATION AND APPROVAL.
- INCLUSION OF "APPROVED PRODUCTS" OR ASSOCIATED INFORMATION AND DOCUMENTATION OR BY REFERENCE IN THE CONSTRUCTION DOCUMENTS DOES NOT IMPLY THAT SWEET SPARKMAN ARCHITECTS OR ITS SUBCONSULTANTS HAVE EITHER PRODUCED OR CREATED THE INFORMATION CONTAINED HEREIN. CONSEQUENTLY, SWEET SPARKMAN ARCHITECTS AND ITS SUBCONSULTANTS ACCEPT NO RESPONSIBILITY FOR ANY INFORMATION GIVEN, RELATIVE TO "APPROVED PRODUCTS."
- RESPONSIBILITY FOR ANY PRODUCT'S PERFORMANCE RELATIVE TO STRUCTURAL INTEGRITY DURING HURRICANES BASED ON EVALUATIONS OF CODE COMPLIANCE CONDUCTED BY STATE APPROVED ENTITIES LIES SOLELY WITH THE MANUFACTURERS OF THE
- REFER TO PROJECT DATA ON SHEET NUMBER A0.1 FOR APPLICABLE WIND SPEED CLASSIFICATION AND RISK CATEGORY OF PROJECT. DOCUMENTATION DEMONSTRATING A PRODUCT'S COMPLIANCE WITH THE CODE, AS EVALUATED THROUGH CODE ADOPTED METHODS, HAS BEEN PROVIDED IN THE ABOVE SCHEDULE.

GENERAL NOTES:

- THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR A WATERTIGHT & WEATHERTIGHT BUILDING. THE CONTRACTOR SHALL REVIEW ALL DETAILS RELATING TO THIS INTENT AND BY BIDDING OR ENTERING INTO THIS CONSTRUCTION CONTRACT WARRANTS FOR ONE FULL YEAR THE ADEQUACY OF THESE DETAILS. SHOULD THE CONTRACTOR TAKE EXCEPTION TO THESE DETAILS, HE SHALL NOTIFY THE ARCHITECT PRIOR TO BIDDING. ANY DEVIATION FROM THIS GENERAL INTENT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR A PLUMB, LEVEL, AND SQUARE STRUCTURE UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS GENERAL INTENT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- THE BUILDING SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS AS WELL AS THE DRAWINGS AND SPECIFICATIONS. ANY CODE DEFICIENCIES IN THE DRAWINGS RECOGNIZED BY THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE BIDDING THE PROJECT OR THE COMMENCEMENT OF WORK. THE OWNER SHALL NOT BE RESPONSIBLE FOR CHANGES TO THE WORK DUE TO THE FAILURE OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTION NECESSARY FOR THE PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH APPLICABLE CODES AND GOVERNING REGULATIONS.
- WHERE AS-BUILT DRAWINGS ARE REQUIRED AND SLEEVES OR SYSTEM RACEWAYS/ PIPING PENETRATE MASONRY OR RATED WALLS, CONTRACTOR SHALL INDICATE FINAL LOCATIONS OF SLEEVES AND PENETRATIONS AS-BUILT FOR THE PROJECT RECORD.
- THE CONTRACTOR SHALL VERIFY THE SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES, AS WELL AS POWER, WATER AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT WITH EQUIPMENT MANUFACTURER. DEVIATION OF THE AFOREMENTIONED REQUIREMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- MINIMUM THICKNESS OF WEATHER COATINGS SHALL BE PROVIDED UNLESS SPECIFIED THICKER PER FBC TABLE 1405.2.

DIMENSION NOTES

- ALL DIMENSIONS TO BE VERIFIED IN FIELD. DO NOT SCALE DRAWINGS: ALL WRITTEN DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE AND BE FIELD VERIFIED AND COORDINATED WITH WORK OF ALL TRADES. IF NO DIMENSIONS ARE GIVEN OR DISCREPANCIES FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION BEFORE BIDDING
- IF THE LOCATION OF ANY BUILDING ELEMENT IS NOT OBVIOUS OR CANNOT BE DETERMINED BY DIMENSION, MATHEMATICS, OR AS NOTED ABOVE, CONTACT THE ARCHITECT PRIOR TO LOCATING THE ELEMENT.

SCOPE OF WORK SUMMARY:

- THE ROOF IS APPROXIMATELY 12,570 SQ/FT.
- REMOVAL OF VERTICAL MODIFIED BITUMEN SEGMENTS ON EAST PARAPET
- NEW SINGLE PLY ROOF MEMBRANE SYSTEM EQUIVALENT TO FIBERTITE OR EQUAL, ADHERED DIRECTLY OVER EXISTING MODIFIED BITUMEN ROOF
- NEW FLASHINGS, COPINGS, AND ROOF CANTS AS REQUIRED.
- IN SOME SEGMENTS: ADHERE EXISTING MODIFIED BITUMEN TO EXISTING DECK WITH TWIN LOCK PLASTIC FASTENERS
- SECURE CONDUIT STANDS ADD PIPE SUPPORTS TO PROVIDE POSITIVE DRAINAGE AT (3) CONDENSATE DRAIN LINES

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BOTTOM OF FOOTING				
BOTTOM OF STEEL NTS				
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HVAC HEATING, VENTILATING AND AIR CONDITIONING V VENT PIPE IB INTEGRAL BASE IF INSIDE FACE IJ ISOLATION JOINT IMPACT RESISTANT INV INVERT ISO POLYISOCYANURATE INSUL INSULATION L LONG L LONG L LONG L LONG W/WITH LAMINATED LLY LONG LEG HORIZONTAL LP LIGHTING PANEL; LIQUIFIED PROPANE W WOM WALK OFF MAT WP VENT THROUGH THE ROTH WOND WITH WATER HEATER WOM WALK OFF MAT WOM WALK OFF MAT WOW WALK OFF MAT WOW WORKING POINT				
CONDITIONING V VENT PIPE IB INTEGRAL BASE IF INSIDE FACE IF INSIDE FACE IF INSOLATION JOINT IMP IMPACT RESISTANT INV INVERT ISO POLYISOCYANURATE INSUL INSULATION LAMINATED L LONG L LONG L LONG LEG HORIZONTAL LLV LONG LEG VERTICAL WH WATER HEATER LLV LONG LEG VERTICAL WH WATER HEATER LLV LONG LEG VERTICAL WH WATER HEATER LIGHTING PANEL; LIQUIFIED PROPANE WON WICH WON WICH WON WITH WON WITH WON WALK OFF MAT WON WALK OFF MAT WON WORKING POINT				
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IB INTEGRAL BASE IF INSIDE FACE IMP IMPACT RESISTANT IMP IMPACT RESISTANT INV INVERT INV INVERT INV INVERT INSUL INSULATION INSULATIO		CONDITIONING		VENT DIDE
IF INSIDE FACE IS ISOLATION JOINT ISOLATION JOINT IMP IMPACT RESISTANT INV INVERT INV INVERT INV INVERT INSUL INSULATION INSULATION INSULATION INSULATION INSULATION INSULATION INSULATION INSUL INSULATION INSUL	IB	INTEGRAL BASE		
IJ ISOLATION JOINT VERT VERTICAL IMP IMPACT RESISTANT VIF VERIFY IN FIELD INV INVERT VP VISION PANEL ISO POLYISOCYANURATE VTR VENT THROUGH THE ROOF INSUL INSULATION VWC VINYL WALL COVERING W WIDE; WASHER L LONG W/ WITH LAMINATED WC WATER CLOSET LLH LONG LEG HORIZONTAL WF WIDE FLANGE LLV LONG LEG VERTICAL WH WATER HEATER LP LIGHTING PANEL; LIQUIFIED PROPANE W/O WITHOUT WOM WALK OFF MAT WP WORKING POINT				
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W WIDE; WASHER L LONG W/ WITH LAMINATED WC WATER CLOSET LLH LONG LEG HORIZONTAL WF WIDE FLANGE LLV LONG LEG VERTICAL WH WATER HEATER LP LIGHTING PANEL; LIQUIFIED PROPANE W/O WITHOUT WOM WALK OFF MAT WP WORKING POINT				
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LAM LAMINATED WC WATER CLOSET LLH LONG LEG HORIZONTAL WF WIDE FLANGE LLV LONG LEG VERTICAL WH WATER HEATER LP LIGHTING PANEL; LIQUIFIED PROPANE W/O WITHOUT WOM WALK OFF MAT WP WORKING POINT				
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LLV LONG LEG VERTICAL WH WATER HEATER LP LIGHTING PANEL; LIQUIFIED PROPANE W/O WITHOUT WOM WALK OFF MAT WP WORKING POINT				
LP LIGHTING PANEL; LIQUIFIED PROPANE W/O WITHOUT WOM WALK OFF MAT WP WORKING POINT				WATER HEATER
WOM WALK OFF MAT WP WORKING POINT				
WP WORKING POINT		, 		
uus mee siieeemee				

WEB STIFFENER

WELDED WIRE FABRIC

WS

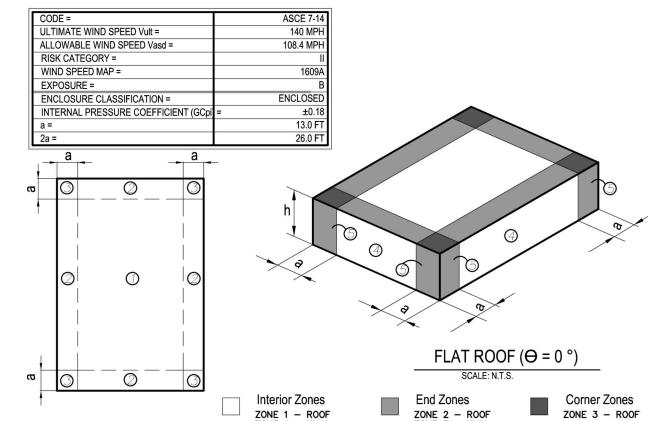
STANDARD ABBREVIATIONS

N.T.S

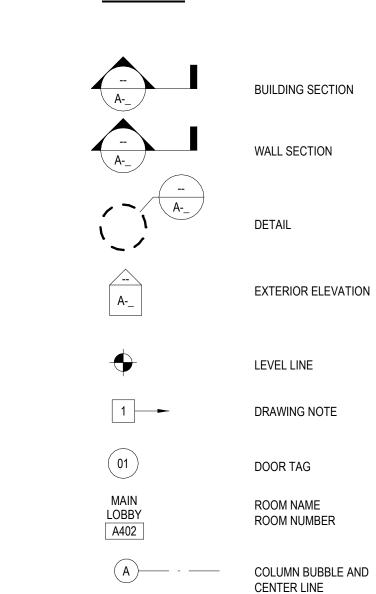
WIND LOAD SCHEDULE

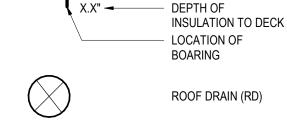
	SCHEDULE OF CO	OMPONENTS AND CLADD	NG LOADS	
ZONE	ZONE DESCRIPTION	TRIBUTARY AREA (SF)	IN (PRESSURE) (+ PSF)	OUT (PRESSUR (- PSF)
		LESS THAN 20	9.34	22.95
1	ROOF INTERIOR ZONE	20 - 100	8.75	22.56
		MORE THAN 100	7.39	21.00
	ROOF, EDGE ZONE	LESS THAN 20	9.34	38.51
		20 - 100	8.75	34.62
2		MORE THAN 100	7.39	24.89
	ROOF, OVERHANG,	LESS THAN 20	-	36.56
		20 - 100	-	35.98
	EDGE ZONE	MORE THAN 100	-	34.62
		LESS THAN 20	9.34	57.96
	ROOF, CORNER ZONE	20 - 100	8.75	47.26
3	,	MORE THAN 100	7.39	24.89
0	ROOF, OVERHANG CORNER ZONE	LESS THAN 20	-	57.96
		20 - 100	-	46.29
		MORE THAN 100	-	19.06
	WALL, INTERIOR ZONE	LESS THAN 20	22.95	24.89
		20 - 100	21.98	23.92
		MORE THAN 100	19.45	21.78
4	PARAPET WALL, INTERIOR ZONE		WINDWARD	LEEWARD
4		LESS THAN 20	59.51	47.84
		20 - 100	57.96	45.90
		MORE THAN 100	54.07	41.23
5	WALL, EDGE ZONE	LESS THAN 20	22.95	30.73
		20 - 100	21.98	28.78
		MORE THAN 100	19.45	23.92
	PARAPET WALL, EDGE ZONE	-	WINDWARD	LEEWARD
		LESS THAN 20	80.90	53.68
		20 - 100	69.24	50.76
		MORE THAN 100	44.34	43.37

NOTE: WIND PRESSURES SHOWN ARE BASED ON Vasd



SYMBOLS





OPENING INDICATOR

NUMBERED EXTERIOR AND INTERIOR SEPARATELY IN SEQUENCE PER FLOOR

DIRECTION OF SLOPED

'X': EXTERIOR

SURFACE

- BOARING NUMBER

STANDARD SYMBOLS



REV DESCRIPTION DATE GRAPHIC SCALE: PROJECT MANAGER: TMS DRAWN BY: A/E OF RECORD:

SHEET TITLE: CODE ANALYSIS, NOTES & LEGENDS, PRODUCT **APPROVAL**

SHEET No.: A0.1

PROJECT NO:

DEMO SHEET NOTES:

 NOTES ON THIS DEMO PLAN APPLY ONLY TO THIS SHEET. NOTES ON THIS DEMO PLAN APPLY UNLT TO THIS SH

 ALL "BOXED" NOTES ON THIS PLAN REFER TO THE DRAWING LIST BELOW.

1 REMOVE EXISTING MODIFIED BITUMEN ROOF SURFACE ON VERTICAL PARAPET WALLS IN

REMOVE EXISTING VERTICAL MODIFIED BITUMEN ROOF SURFACE AT ALL SIDES OF MECH CURBS & OTHER VERTICAL ROOF PENETRATIONS

REMOVE EXISTING METAL FLASHING THROUGHOUT

4 EXISTING HORIZONTAL MODIFIED BITUMEN ROOFING MEMBRANE TO REMAIN. CUT AND REMOVE BLISTERS, CLEAN SURFACE MEMBRANE AS REQUIRED TO ACCEPT NEW ROOF SURFACE. SEE SPEC.

5 CONDENSATE LINES TO REMAIN

6 ALL ROOF ELEMENTS INCLUDING ROOF DRAINS, MECH. CURBS, VENTS, FANS, ETC. TO

REMOVE EXISTING COPING & FLASHING ON VERTICAL PARAPET WALLS IN ITS ENTIRETY

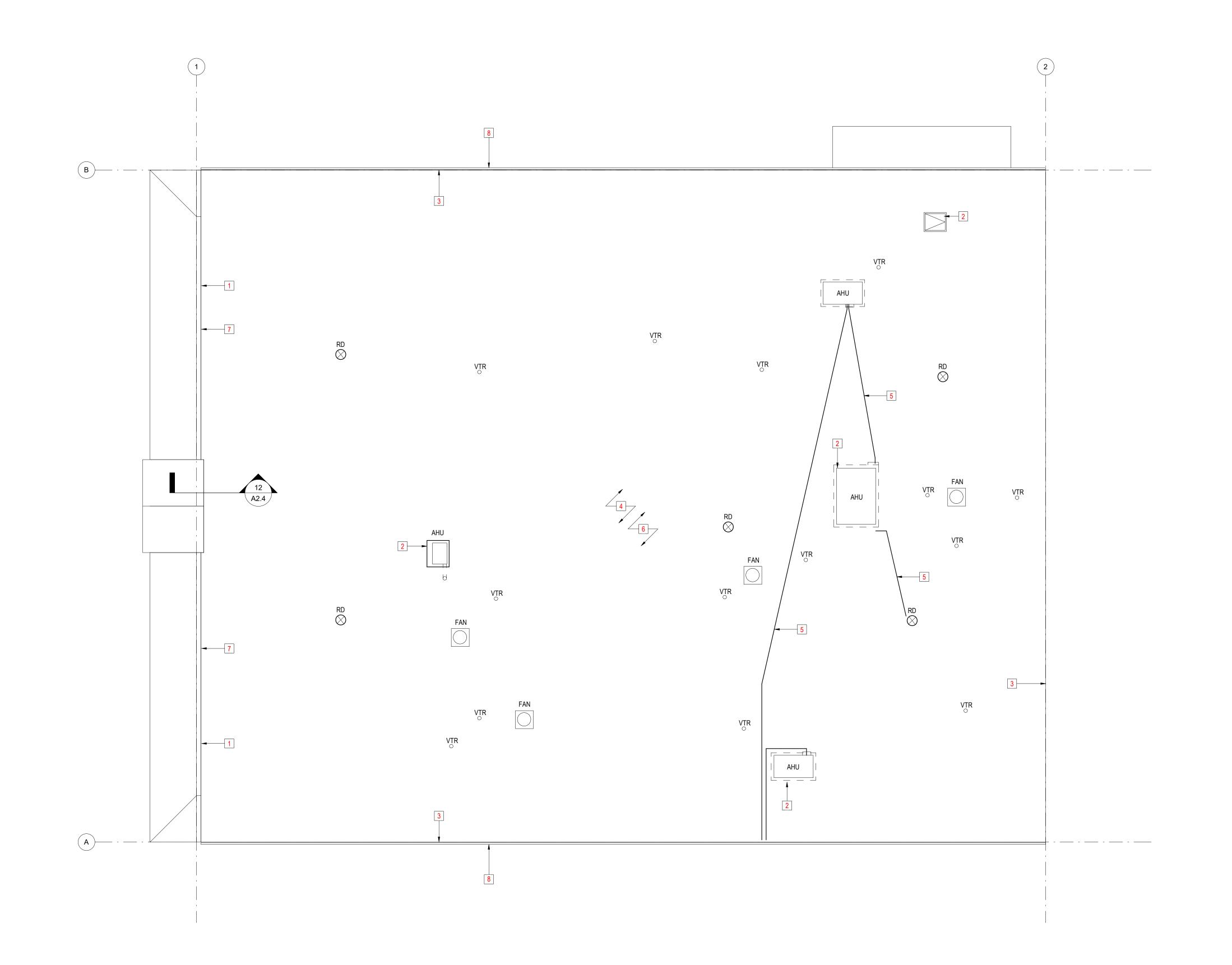
8 EXISTING GUTTERS TO REMAIN

DEMOLITION NOTES:

THE FOLLOWING DEMOLITION NOTES APPLY ONLY TO THE EXTENTS OF THE WORK (ROOF). OBJECTS TO REMAIN $\underline{\textbf{U.N.O}}$.: EXTERIOR WALLS

ALL ROOF TOP EQUIPMENT & CURBS ALL VTR'S AND ROOF DRAINS

- PROPOSE AND COORDINATE WITH THE OWNER, A TIME SCHEDULE OF ALL WORK
- BEFORE ANY DEMOLITION BEGINS, SURVEY THE EXISTING CONDITIONS AND
- INFORM THE ARCHITECT OF ANY DISCREPANCIES IN THE DEMOLITION PLAN. PROTECT THE WORK TO REMAIN. DAMAGE TO EXISTING WORK, MATERIALS AND EQUIPMENT AS A RESULT OF OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT. ALL DAMAGE TO EXISTING WORK, MATERIAL AND FINISH SHALL BE REPLACED BY THE CONTRACTOR WITH MATERIALS OF LIKE TYPE, QUALITY AND FINISH BY SKILLED MECHANICS OF THE TRADES
- INVOLVED AT NO ADDITIONAL COST TO THE OWNER. PROTECTION OF PERSONS AND PROPERTY SHALL BE PROVIDED THROUGHOUT THE PROGRESS OF THE WORK. THE WORK SHALL PROCEED IN SUCH A MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS FOR PERSONNEL. ALL NECESSARY BARRIERS AND WARNING SIGNS SHALL BE PROVIDED AS REQUIRED BY THE BUILDING AUTHORITIES.
- REMOVE ALL DEBRIS FROM THE SITE DAILY AND LEAVE THE SITE IN AN ORDERLY
- ALL STRUCTURAL COLUMNS AND/ OR BEARING WALLS, BEAMS/ PURLIN MAY NOT BE LOCATED ON THE DEMOLITION PLAN. VERIFY ALL MEASUREMENTS AND LOCATIONS OF STRUCTURAL ELEMENTS IN FIELD THAT ARE ASSOCIATED WITH THE DEMOLITION SCOPE OF WORK. STRUCTURAL DEMOLITION IS NOT PART OF THE PROJECT SCOPE. ANY STRUCTURAL CONFLICTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- ANY ROOF DRAIN OR UTILITY CONDUIT/ PIPES SHOULD REMAIN OR BE RELOCATED PER MEP DEMOLITION DRAWINGS.
- IF ANY EXISTING BUILDING MATERIAL OR SUBSTANCE ENCOUNTERED IS SUSPECTED AS BEING HAZARDOUS, CONTACT THE OWNER & THE ARCHITECT IMMEDIATELY SALVAGED MATERIALS, UNLESS OTHERWISE NOTED SHALL BECOME
- THE PROPERTY OF THE CONTRACTOR. 9. ALL ROOF DRAINS ARE TO REMAIN AND BE REUSED UNLESS NOTED OTHERWISE.





GRAPHIC SCALE: PROJECT MANAGER: TMS

REV DESCRIPTION DATE

SHEET TITLE: DEMO ROOF PLAN &

A/E OF RECORD:

PROJECT NO:

SHEET No.:

NOTES

A1.1

1 DEMO ROOF PLAN 1/8" = 1'-0"

