



HIGHLANDS COUNTY BOARD OF COUNTY COMMISSIONERS

HEALTH DEPARTMENT ROOF REPLACEMENT

106 N. MAIN AVENUE
LAKE PLACID, FL 33852

SWEET SPARKMAN
ARCHITECTS

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ARCHITECTURAL

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A2.4 ROOF DETAILS



SITE LOCATION MAP

106 N. MAIN AVENUE
LAKE PLACID, FL 33852



OWNER

HIGHLANDS COUNTY BOARD OF COUNTY COMMISSIONERS
600 S. COMMERCE AVENUE
SEBRING, FL 33870

MR. RICHARD J. FLEEGER
SUPERINTENDANT OF PARKS & FACILITIES
PHONE: 863.402.6758

ARCHITECT

SWEET SPARKMAN ARCHITECTS, INC.
2168 MAIN STREET
SARASOTA, FLORIDA 34237

CONTACT: TODD M. SWEET, AIA, LEED AP
PRINCIPAL
941.952.0084 PHONE
941.952.0201 FAX

NOTE: THE SCALE OF THESE PLANS MAY HAVE
CHANGED DUE TO REPRODUCTION

HIGHLANDS COUNTY BOARD OF COUNTY COMMISSIONERS - HEALTH
DEPARTMENT ROOF REPLACEMENT
19541 - BIDDING / PERMIT DOCUMENTS - 04.12.2019

TODD SWEET, AIA, LEED AP
FL LIC. #AR0015832

APPLICABLE CODES

Table with columns: CODE, FLORIDA BUILDING CODE (FBC), SIXTH EDITION (2017) WITH APPLICABLE AMENDMENTS, etc.

BUILDING CATEGORIZATION & PHYSICAL PROPERTIES

Table with columns: OCCUPANCY CLASSIFICATION, CONSTRUCTION TYPE, WIND LOADS (FBC CHAPTER 16), etc.

FLORIDA PRODUCT APPROVAL / NOA

Table with columns: CATEGORY, SUBCATEGORY, MANUFACTURER, DOCUMENTATION TYPE, etc.

PRODUCT APPROVAL NOTES

- 1. INCLUSION OF A PRODUCT IN THIS SCHEDULE DOES NOT IMPLY OR PRESUME THAT THE PRODUCT LISTED WILL BE INSTALLED IN THIS PROJECT...

GENERAL NOTES:

- 1. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR A WATERTIGHT & WEATHERTIGHT BUILDING. THE CONTRACTOR SHALL REVIEW ALL DETAILS...

DIMENSION NOTES

- 1. ALL DIMENSIONS TO BE VERIFIED IN FIELD. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE AND BE FIELD VERIFIED AND COORDINATED WITH WORK OF ALL TRADES...

SCOPE OF WORK SUMMARY:

- THE ROOF IS APPROXIMATELY 12,570 SQ/FT. REMOVAL OF VERTICAL MODIFIED BITUMEN SEGMENTS ON EAST PARAPET. NEW SINGLE PLY ROOF MEMBRANE SYSTEM EQUIVALENT TO FIBERTITE OR EQUAL...

ABBREVIATIONS

Large table listing abbreviations and their corresponding full names, such as ABV ABOVE, AC A/C, ACT ACROUSTIC CEILING TILE, etc.

STANDARD ABBREVIATIONS

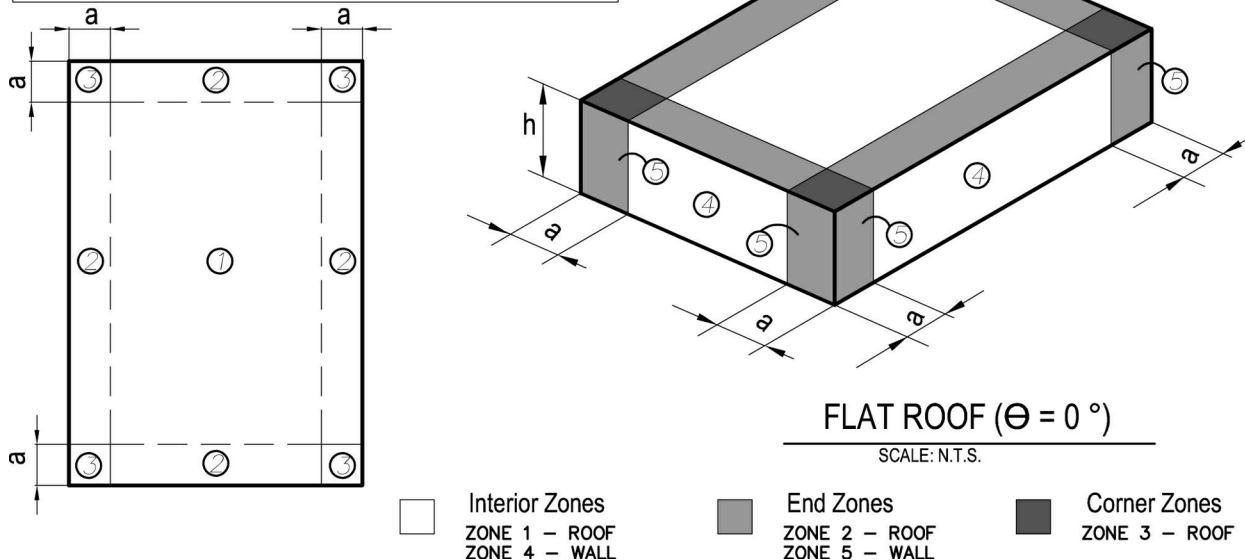
N.T.S

WIND LOAD SCHEDULE

Table with columns: ZONE, ZONE DESCRIPTION, TRIBUTARY AREA (SF), IN (PRESSURE) (+ PSF), OUT (PRESSURE) (- PSF). Rows 1-5 describe different roof and wall zones.

NOTE: WIND PRESSURES SHOWN ARE BASED ON VASD

Table with columns: CODE, ULTIMATE WIND SPEED Vult, ALLOWABLE WIND SPEED VASD, RISK CATEGORY, etc.



SYMBOLS

- Building Section (A-A), Wall Section (A-A), Detail (A-A), Exterior Elevation (A-A), Level Line, Drawing Note (1), Door Tag (01), Room Name (MAIN LOBBY) and Room Number (A402), Opening Indicator (X), Column Bubble and Center Line (A), Direction of Sloped Surface (X101), Boaring Number (00), Depth of Insulation to Deck (X.X'), Location of Boaring (X.X'), Roof Drain (RD).

STANDARD SYMBOLS N.T.S



SPARKMAN ARCHITECTS

SWEET ARCHITECTS

FL A 242000857

TODD M. SWEET

HIGHLANDS COUNTY BOARD OF COUNTY COMMISSIONERS HEALTH DEPARTMENT ROOF REPLACEMENT

PROJECT TITLE

ISSUED FOR: BIDDING / PERMIT DOCUMENTS

DATE: 04.12.2019

REV DESCRIPTION DATE

GRAPHIC SCALE: 0" 1"

SCALE: As indicated

PROJECT MANAGER: TMS

DRAWN BY: SEL

A/E OF RECORD: TMS

PROJECT NO: 19541

SHEET TITLE:

CODE ANALYSIS, NOTES & LEGENDS, PRODUCT APPROVAL

SHEET No.: A0.1

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DEMO SHEET NOTES:

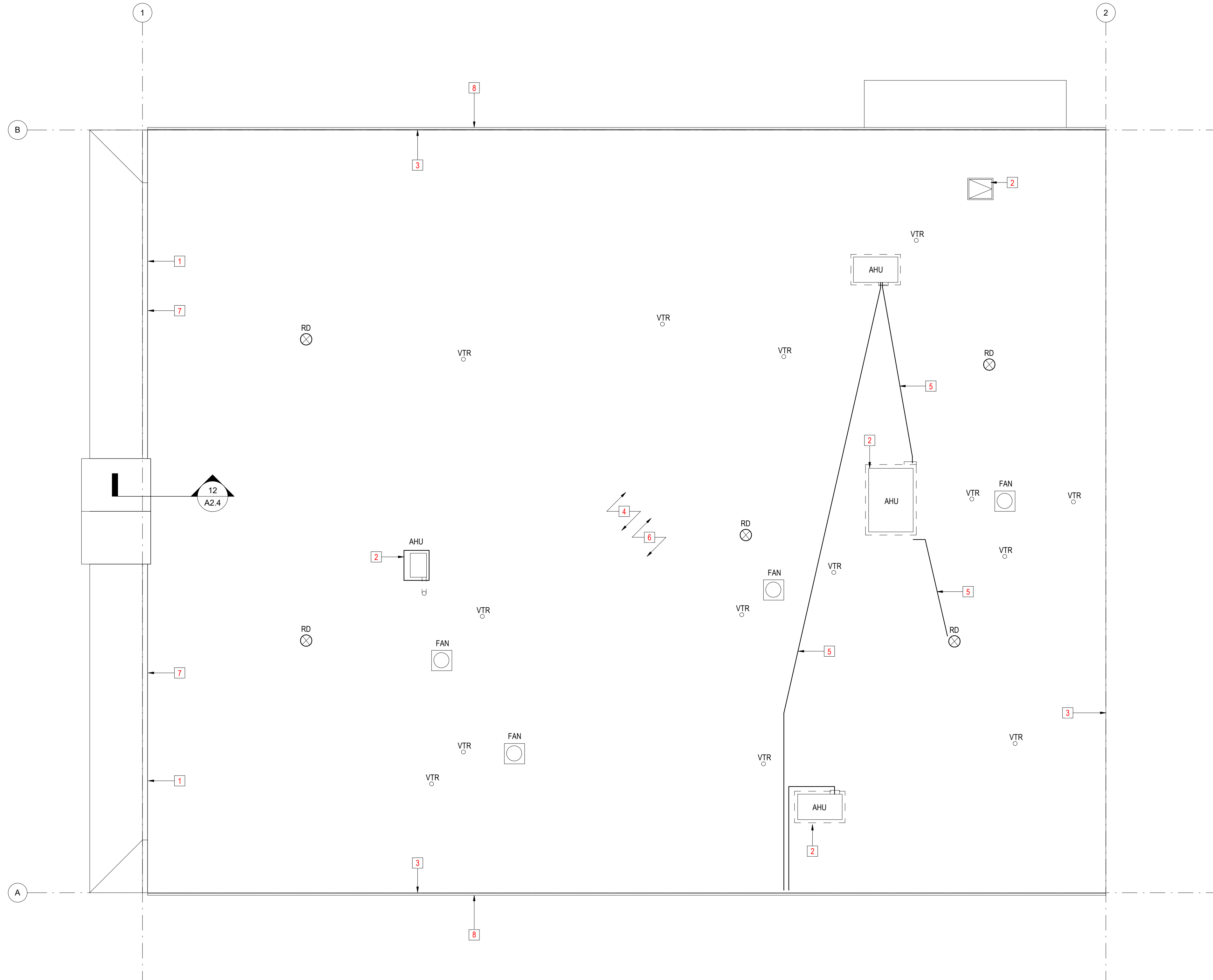
X → • NOTES ON THIS DEMO PLAN APPLY ONLY TO THIS SHEET.
ALL "BOXED" NOTES ON THIS PLAN REFER TO THE
DRAWING LIST BELOW.

- 1 REMOVE EXISTING MODIFIED BITUMEN ROOF SURFACE ON VERTICAL PARAPET WALLS IN ITS ENTIRETY
- 2 REMOVE EXISTING VERTICAL MODIFIED BITUMEN ROOF SURFACE AT ALL SIDES OF MECH CURBS & OTHER VERTICAL ROOF PENETRATIONS
- 3 REMOVE EXISTING METAL FLASHING THROUGHOUT
- 4 EXISTING HORIZONTAL MODIFIED BITUMEN ROOFING MEMBRANE TO REMAIN. CUT AND REMOVE BLISTERS. CLEAN SURFACE MEMBRANE AS REQUIRED TO ACCEPT NEW ROOF SURFACE. SEE SPEC.
- 5 CONDENSATE LINES TO REMAIN
- 6 ALL ROOF ELEMENTS INCLUDING ROOF DRAINS, MECH. CURBS, VENTS, FANS, ETC. TO REMAIN
- 7 REMOVE EXISTING COPING & FLASHING ON VERTICAL PARAPET WALLS IN ITS ENTIRETY
- 8 EXISTING GUTTERS TO REMAIN

DEMOLITION NOTES:

THE FOLLOWING DEMOLITION NOTES APPLY ONLY TO THE EXTENTS OF THE WORK (ROOF).
OBJECTS TO REMAIN **U.N.O.**
EXTERIOR WALLS
ALL ROOF TOP EQUIPMENT & CURBS
ALL VTR'S AND ROOF DRAINS

- 1. PROPOSE AND COORDINATE WITH THE OWNER, A TIME SCHEDULE OF ALL WORK TO BE DONE.
- 2. BEFORE ANY DEMOLITION BEGINS, SURVEY THE EXISTING CONDITIONS AND INFORM THE ARCHITECT OF ANY DISCREPANCIES IN THE DEMOLITION PLAN.
- 3. PROTECT THE WORK TO REMAIN. DAMAGE TO EXISTING WORK, MATERIALS AND EQUIPMENT AS A RESULT OF OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT. ALL DAMAGE TO EXISTING WORK, MATERIAL AND FINISH SHALL BE REPLACED BY THE CONTRACTOR WITH MATERIALS OF LIKE TYPE, QUALITY AND FINISH BY SKILLED MECHANICS OF THE TRADES INVOLVED AT NO ADDITIONAL COST TO THE OWNER.
- 4. PROTECTION OF PERSONS AND PROPERTY SHALL BE PROVIDED THROUGHOUT THE PROGRESS OF THE WORK. THE WORK SHALL PROCEED IN SUCH A MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS FOR PERSONNEL. ALL NECESSARY BARRIERS AND WARNING SIGNS SHALL BE PROVIDED AS REQUIRED BY THE BUILDING AUTHORITIES.
- 5. REMOVE ALL DEBRIS FROM THE SITE DAILY AND LEAVE THE SITE IN AN ORDERLY MANNER.
- 6. ALL STRUCTURAL COLUMNS AND/ OR BEARING WALLS, BEAMS/ PURLIN MAY NOT BE LOCATED ON THE DEMOLITION PLAN. VERIFY ALL MEASUREMENTS AND LOCATIONS OF STRUCTURAL ELEMENTS IN FIELD THAT ARE ASSOCIATED WITH THE DEMOLITION SCOPE OF WORK. STRUCTURAL DEMOLITION IS NOT PART OF THE PROJECT SCOPE. ANY STRUCTURAL CONFLICTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- 7. ANY ROOF DRAIN OR UTILITY CONDUIT/ PIPES SHOULD REMAIN OR BE RELOCATED PER MEP DEMOLITION DRAWINGS.
- 8. IF ANY EXISTING BUILDING MATERIAL OR SUBSTANCE ENCOUNTERED IS SUSPECTED AS BEING HAZARDOUS, CONTACT THE OWNER & THE ARCHITECT IMMEDIATELY SALVAGED MATERIALS UNLESS OTHERWISE NOTED SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- 9. ALL ROOF DRAINS ARE TO REMAIN AND BE REUSED UNLESS NOTED OTHERWISE.



1 DEMO ROOF PLAN
1/8" = 1'-0"



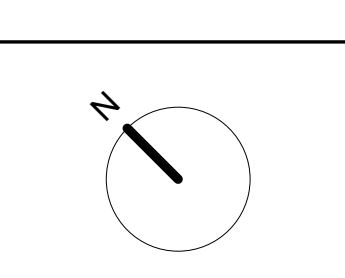
**SPARKMAN
ARCHITECTS**

T 941.952.0084
F 941.952.0201

SWEET

FL A A26000857
2168 MAIN STREET
SARASOTA, FL 34237

TODD M. SWEET
AEC 0019826



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BIDDING / PERMIT DOCUMENTS
04.12.2019

REV	DESCRIPTION	DATE

GRAPHIC SCALE:
0" 1"

SCALE: As indicated
PROJECT MANAGER: TMS
DRAWN BY: SEL
A/E OF RECORD: TMS

PROJECT NO.: 19541
SHEET TITLE:

**DEMO ROOF PLAN &
NOTES**

SHEET No.: **A1.1**
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SHEET NOTES:

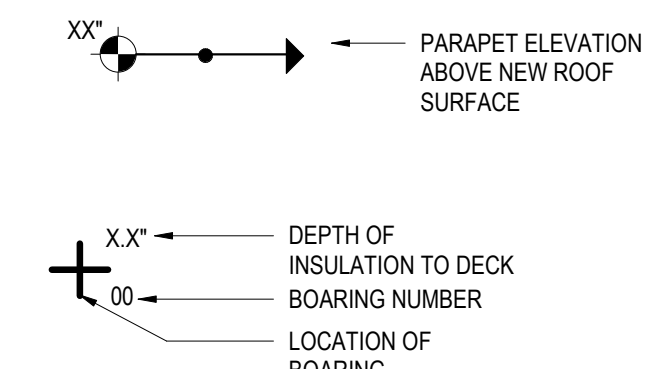
- [X] → NOTES ON THIS PLAN APPLY ONLY TO THIS SHEET.
- ALL "BOXED" NOTES ON THIS PLAN REFER TO THE DRAWING LIST BELOW.

- | | |
|---|---|
| 1 | NEW FIBERTITE ROOF MEMBRANE: PREPARE EXISTING SURFACE TO ACCEPT NEW FIBERTITE MEMBRANE. RHINO BOND SMOOTHBACK FIBERTITE MEMBRANE. SEE SPEC. |
| 2 | PROTECTION WALKWAY SURFACE: SEE SPEC |
| 3 | ADD PIPE SUPPORTS TO PROVIDE POSITIVE DRAINAGE AT ALL CONDENSATE DRAIN LINES, TYP. |

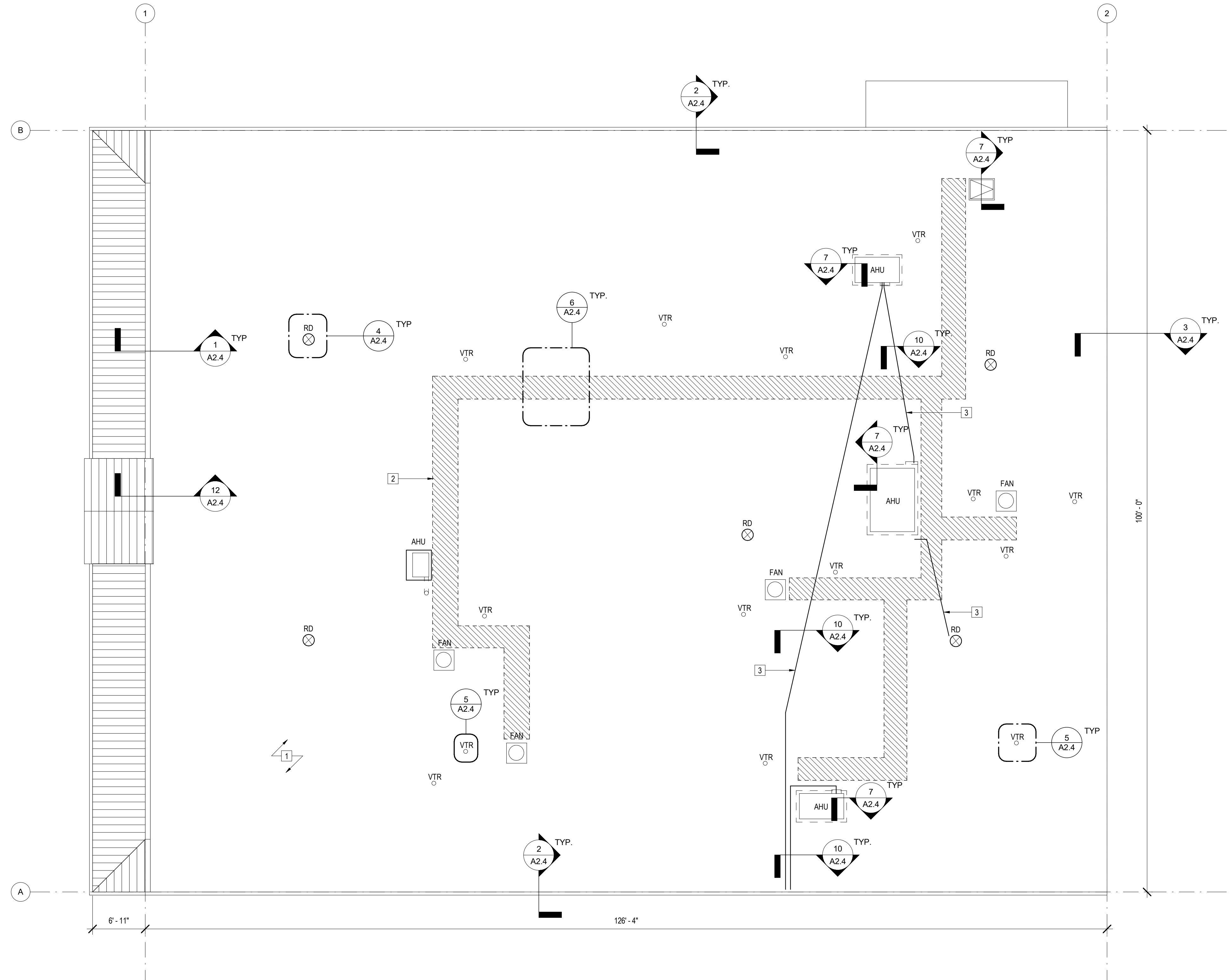
GENERAL NOTES:

1. APPROXIMATE SQUARE FOOTAGE FOR ROOF AREAS HAVE BEEN PROVIDED FOR INFORMATIONAL PURPOSES ONLY. VERIFY IN FIELD.
2. ALL DIMENSIONS ON ROOFTOP EQUIPMENT HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES ONLY. VERIFY ACTUAL DIMENSIONS IN FIELD.
3. RE-INSTALL LIGHTNING PROTECTION USING UL CERTIFIED CONTRACTOR, SEE SPEC.
4. IF NECESSARY, INCREASE ROOF CURB HEIGHTS TO MEET CODE. 8" CLEAR ABOVE TOP OF ROOF SURFACE MINIMUM.
5. ALL METAL COPING TO HAVE WELDED CORNERS U.N.O.
6. COORDINATE ALL ROOFING MEMBRANE INSTALLATION AND ASSOCIATED ACTIVITIES IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION MANUAL.
7. SECURE CONDUIT STANDS.
8. WHERE MODIFIED BITUMEN IS SEPARATING FROM SHEATHING, ADHERE EXISTING MODIFIED BITUMEN ROOF TO EXISTING DECK WITH TWIN LOCK PLASTIC FASTENERS PRIOR TO KEE MEMBRANE INSTALL.
9. FIELD MEASURE AND PROVIDE WALKWAY PROTECTION MATERIAL FROM ALL ROOF ACCESS POINTS TO ALL ROOFTOP EQUIPMENT LOCATIONS.
10. PROVIDE SERVICE PROTECTION PADS AT ALL ROOFTOP EQUIPMENT MAINTENANCE LOCATIONS (PROTECTION PAD TO BE 1/4" NOMINAL THICK MIN, 2'-0" X 4'-0", CONTRASTING COLOR). PROVIDE GAPS IN WALKWAYS AS REQUIRED FOR POSITIVE DRAINAGE.

LEGEND



NOTE:
CORRESPONDS WITH FIBERTITE REPORT. SEE SPEC APPENDIX.



1 ROOF PLAN
1/8" = 1'-0"



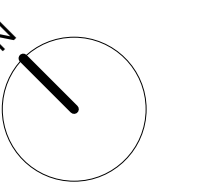
SPARKMAN ARCHITECTS

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F 941.952.0201

SWEET ARCHITECTS

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2168 MAIN STREET
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AEC 0019832



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0" 1"

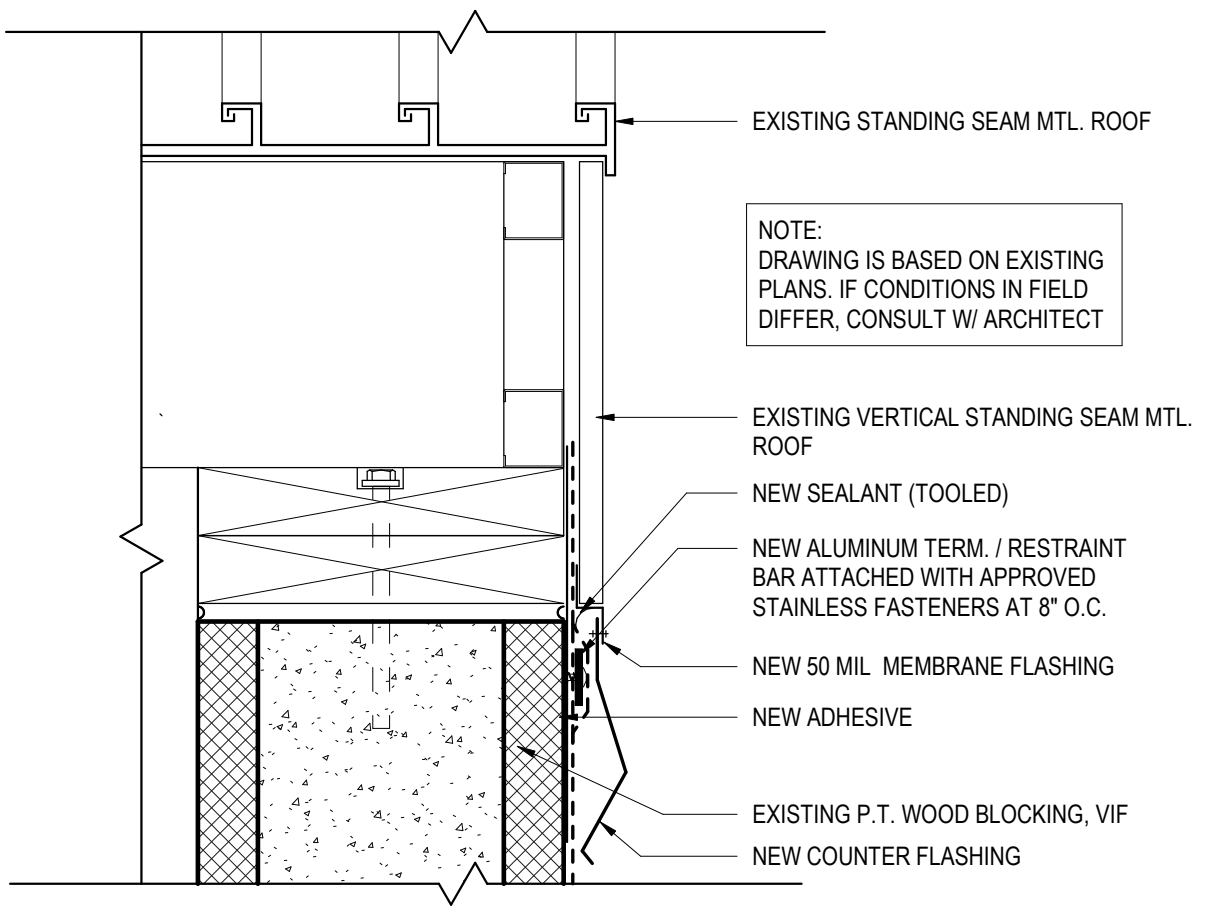
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DRAWN BY: SEL
A/E OF RECORD: TMS
PROJECT NO.: 19541
SHEET TITLE:

PROPOSED ROOF PLAN & NOTES

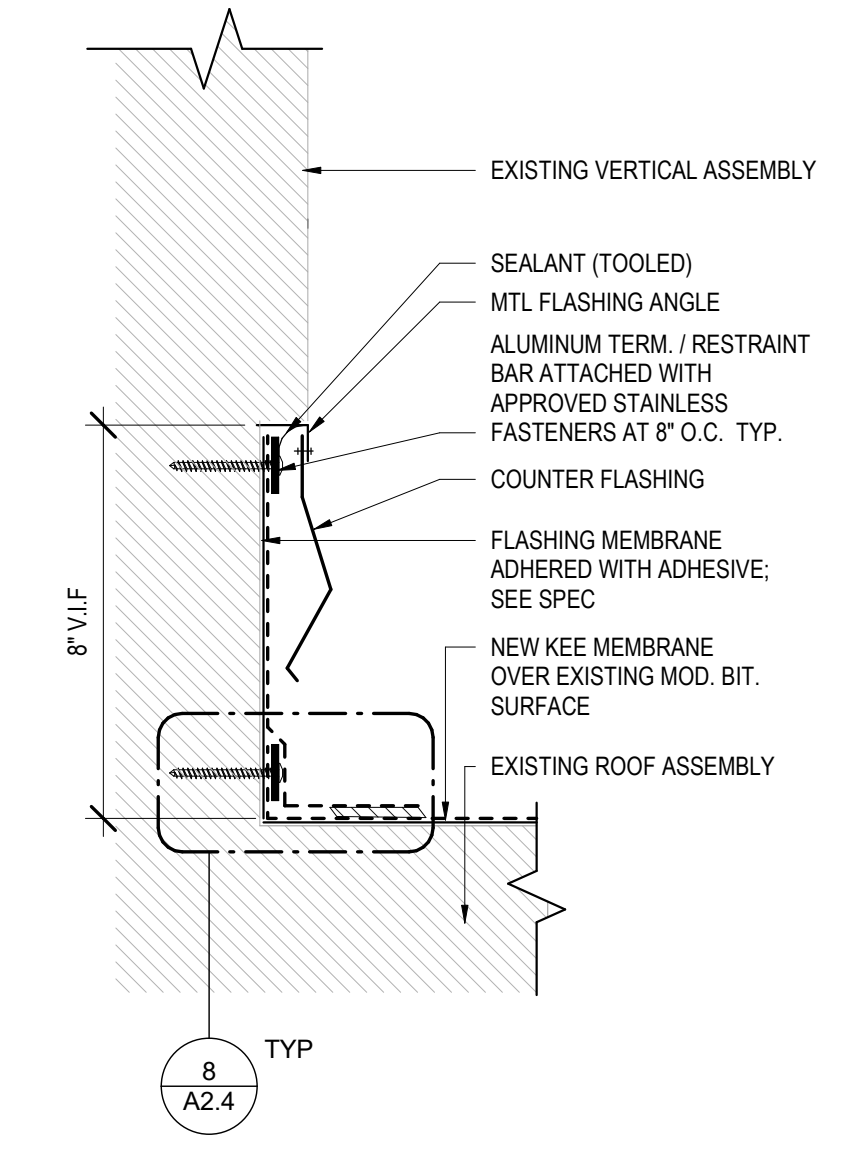
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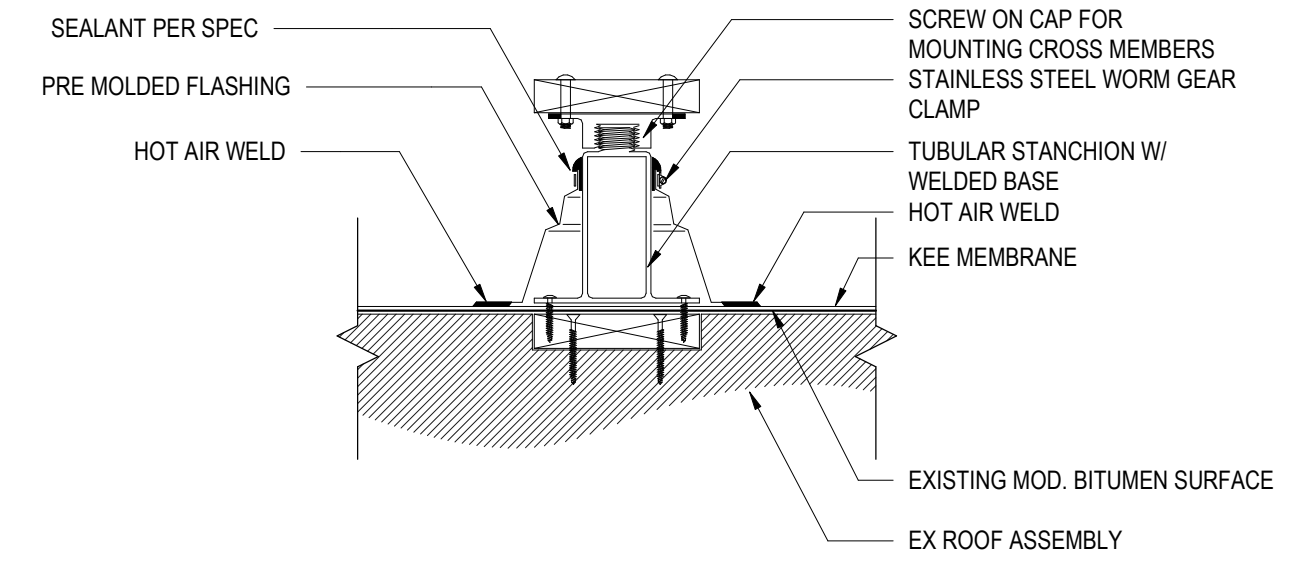
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PROJECT MANAGER: TMS		
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A/E OF RECORD: TMS		
PROJECT NO: 19541		
SHEET TITLE: ROOF DETAILS		
SHEET No.: A2.4		



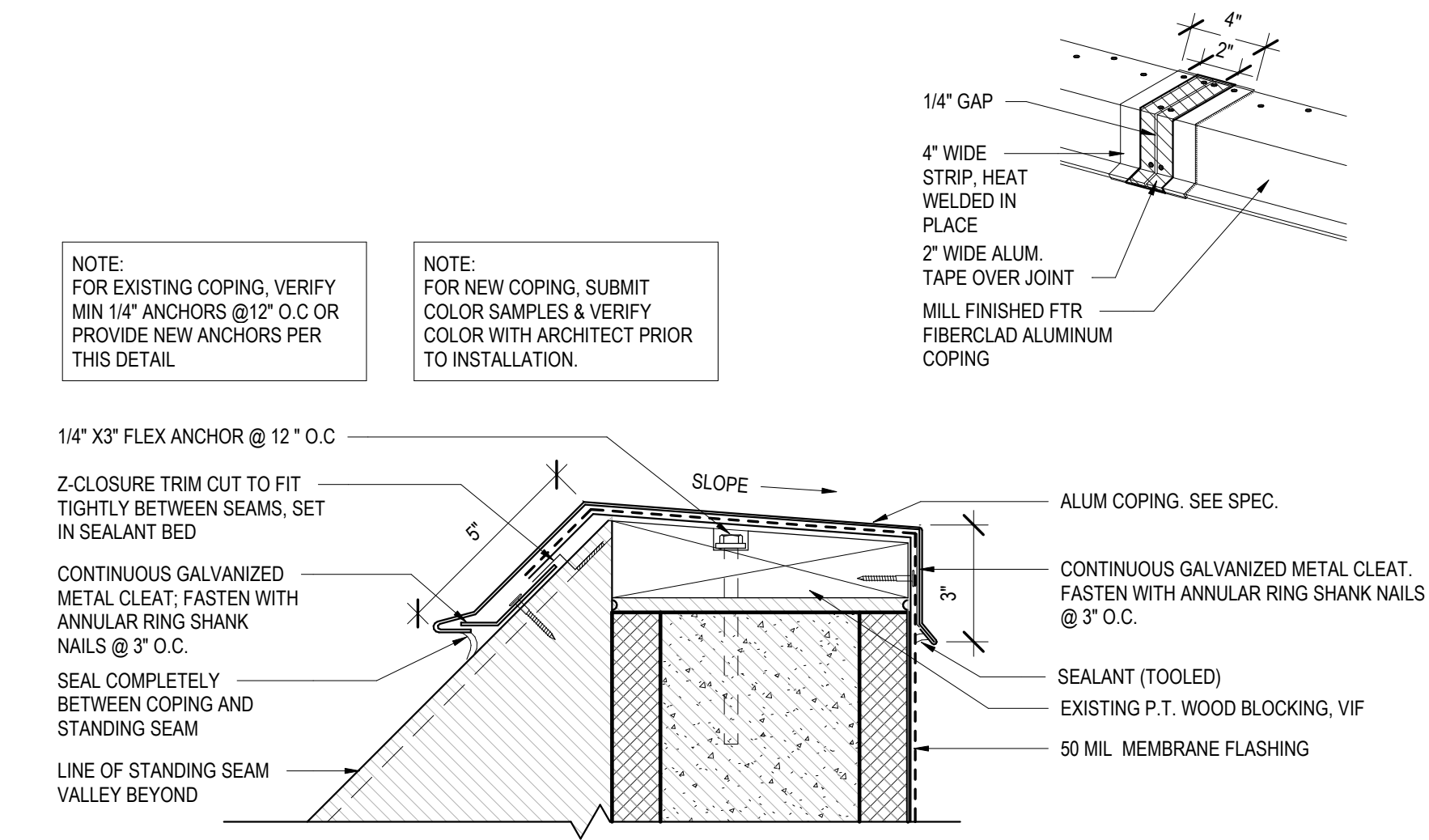
12 MEMBRANE AT EXISTING GABLE
 3" = 1'-0"



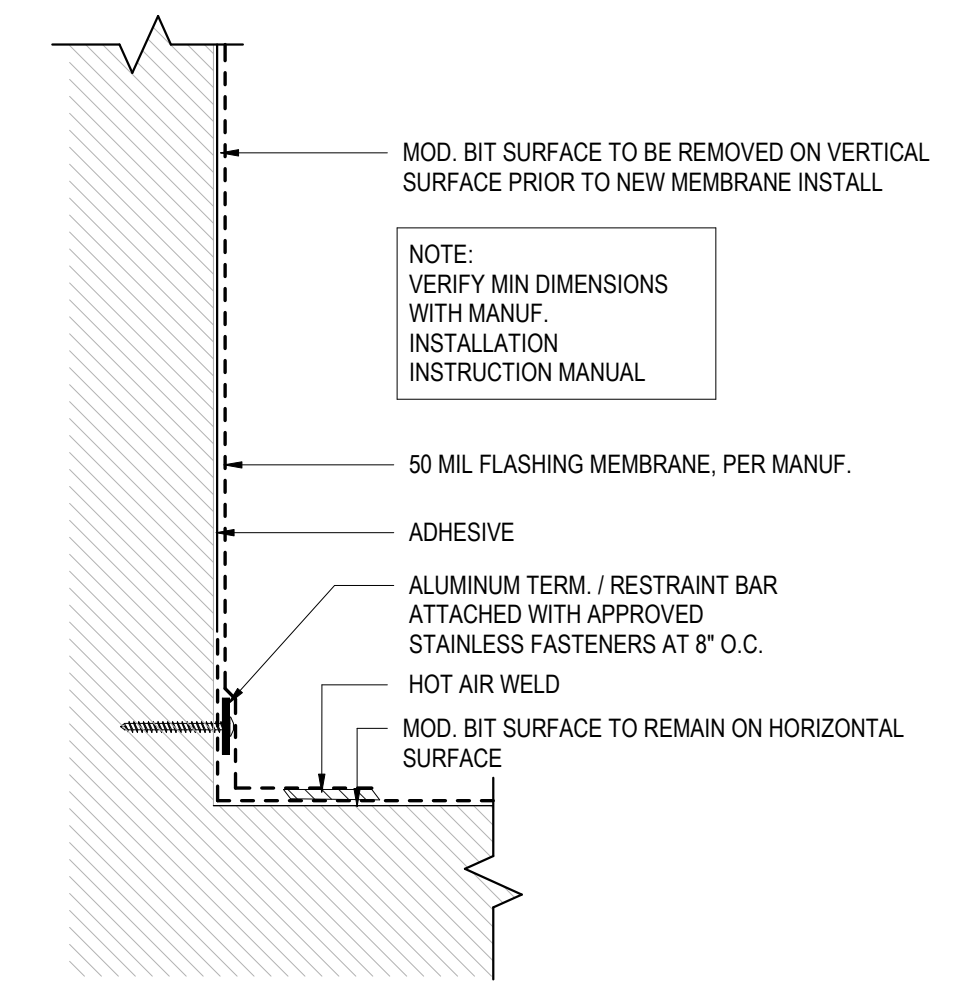
11 WALL BASE FLASHING AT VERTICAL
 3" = 1'-0"



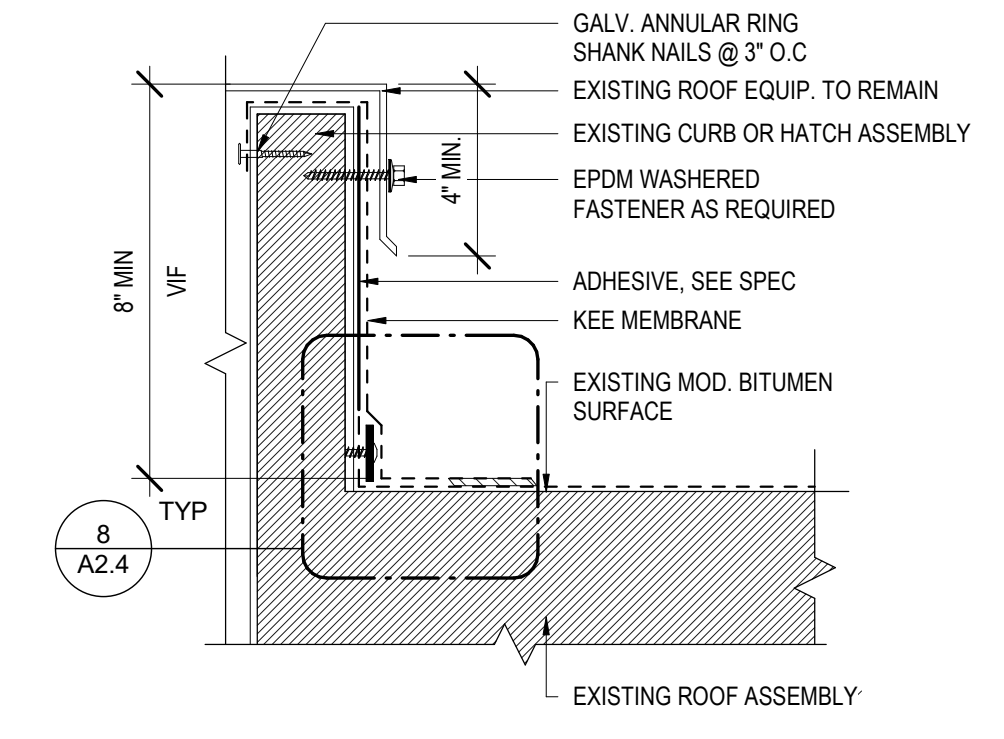
10 CONDENSATE LINE STANCHION
 3" = 1'-0"



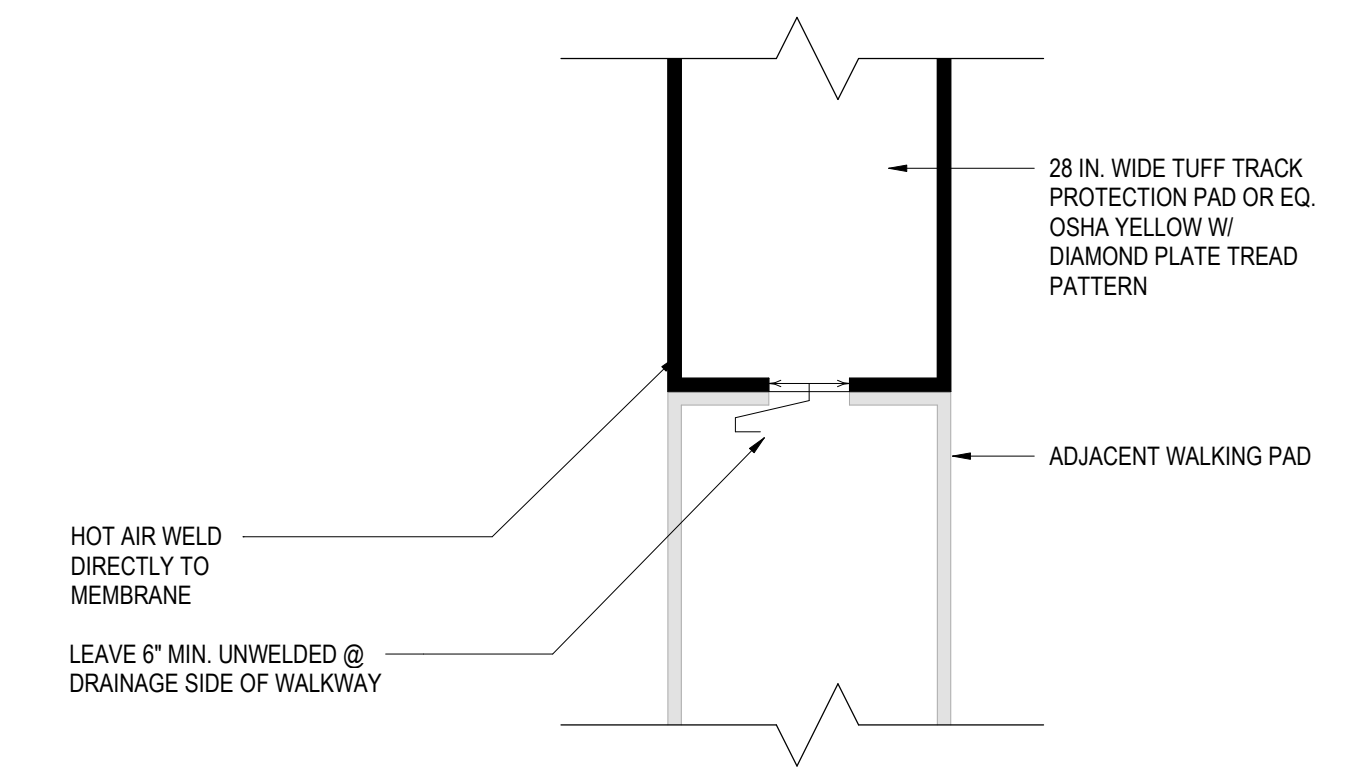
9 EDGE OVER STANDING SEAM
 3" = 1'-0"



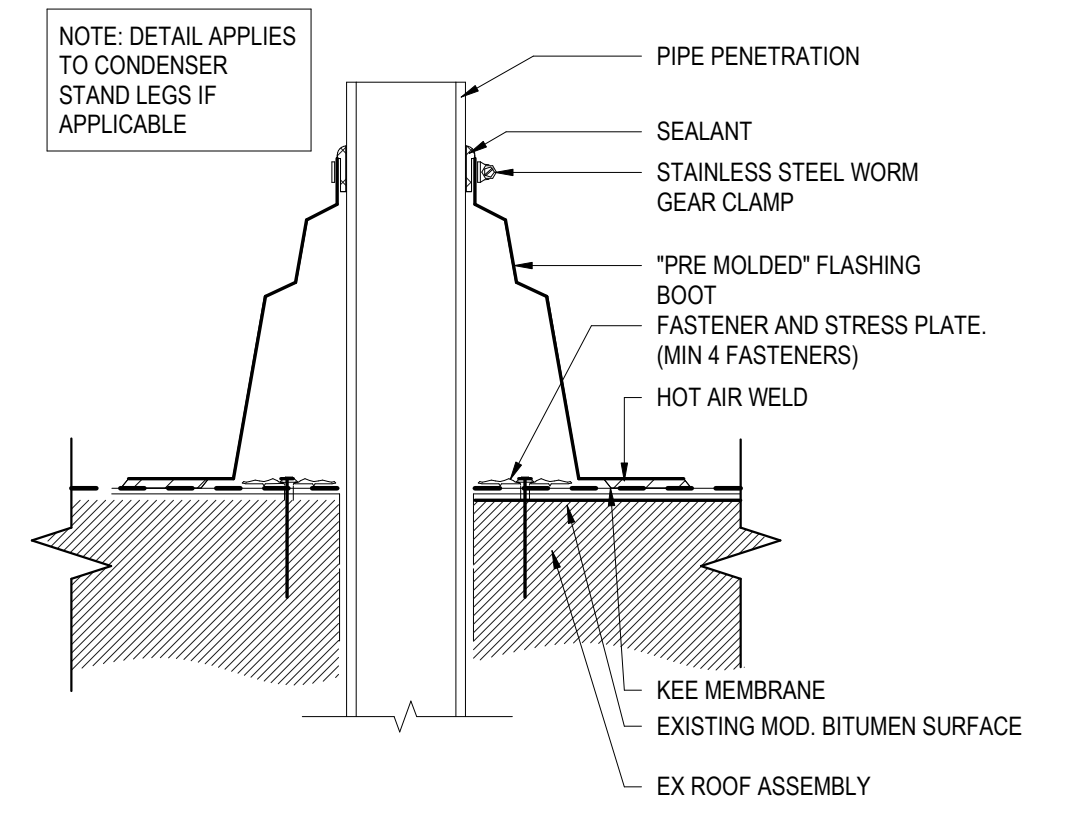
8 TYPICAL WALL BASE FLASHING
 3" = 1'-0"



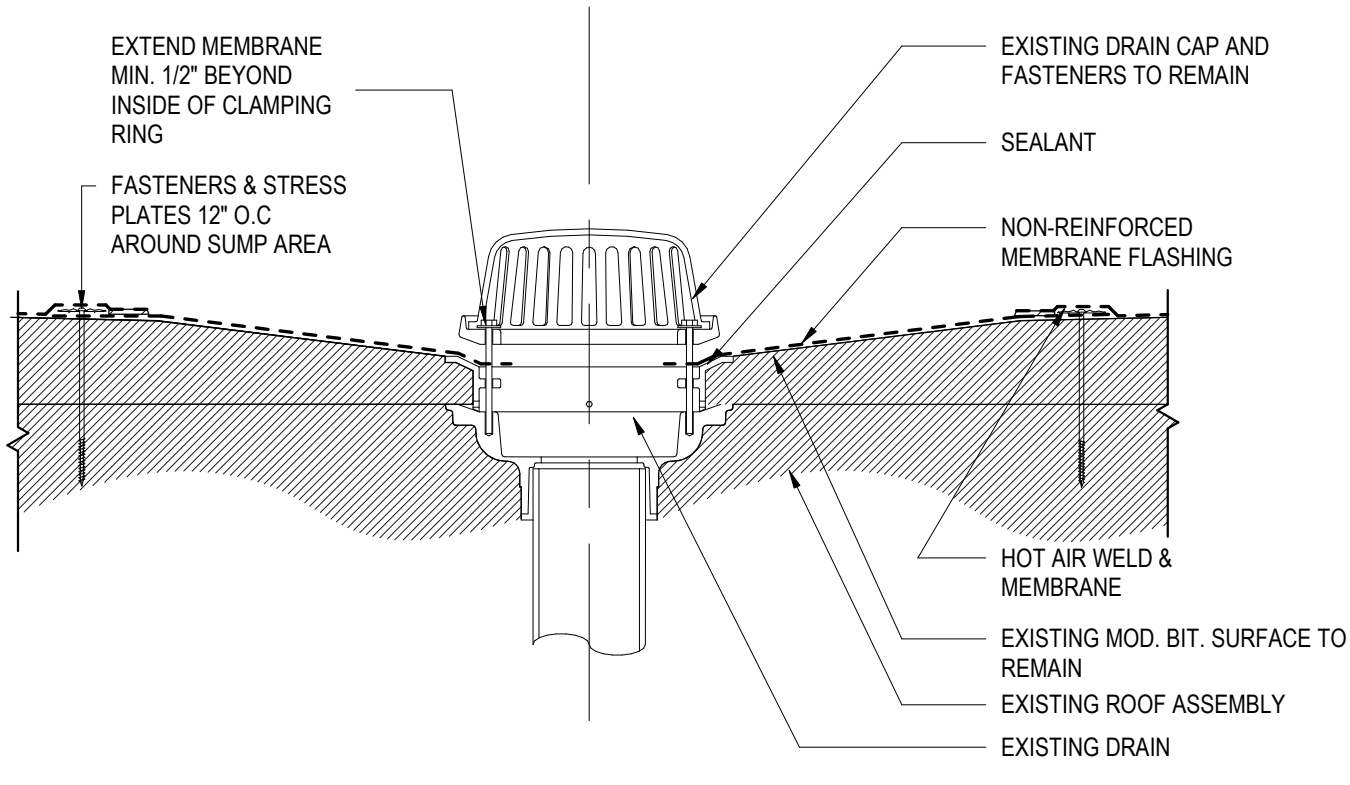
7 TYPICAL CURB FLASHING
 3" = 1'-0"



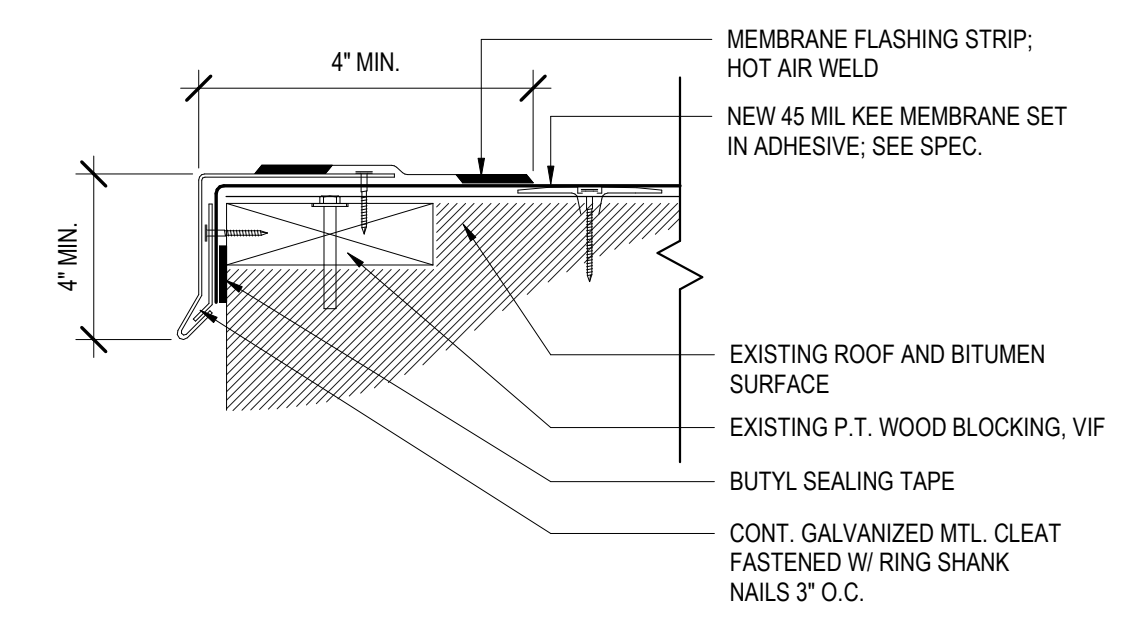
6 WALKPAD
 6" = 1'-0"



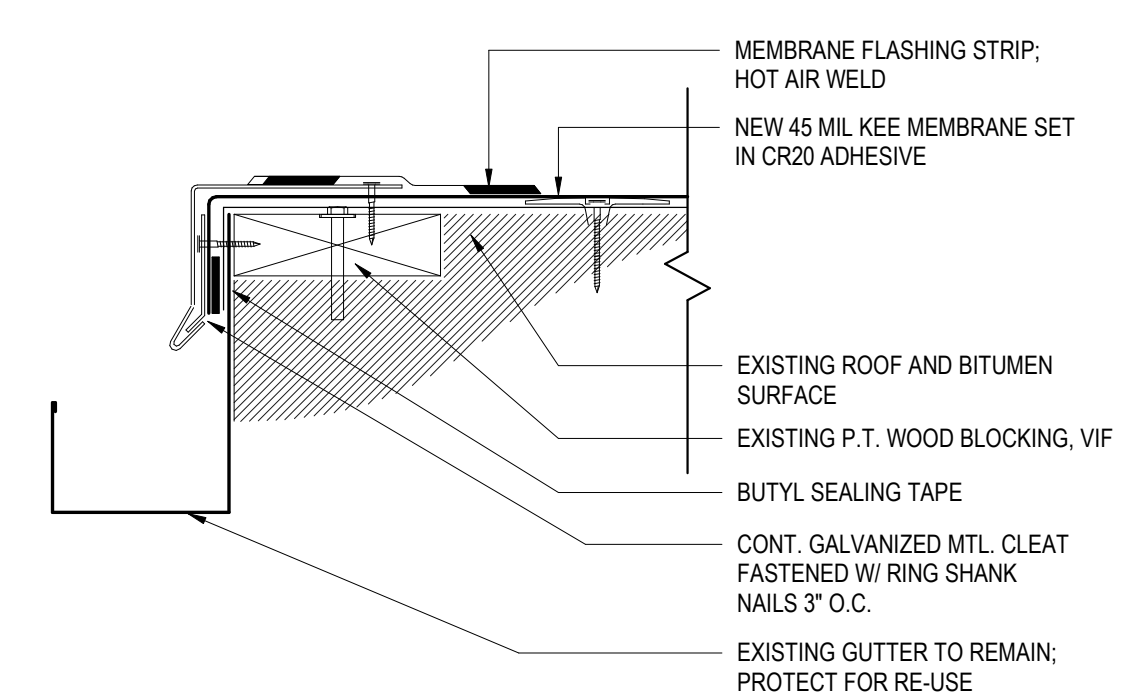
5 TYPICAL FTR VTR FLASHING
 3" = 1'-0"



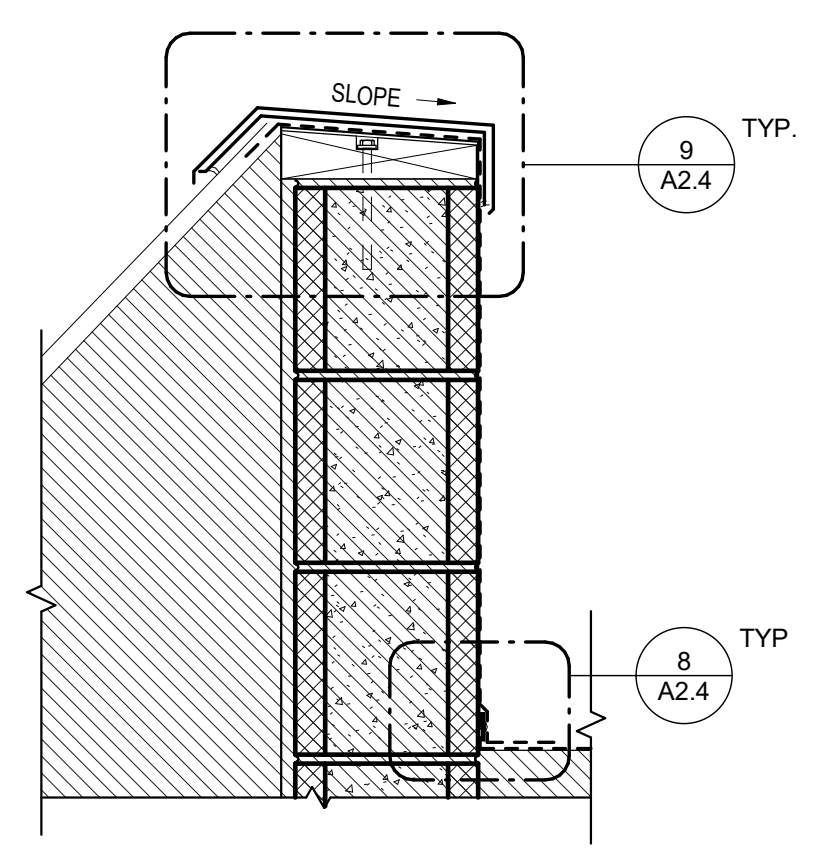
4 TYPICAL ROOF DRAIN FLASHING
 1 1/2" = 1'-0"



3 TYPICAL EDGE CONDITION
 6" = 1'-0"



2 EDGE CONDITION OVER GUTTER
 6" = 1'-0"



1 PARAPET SECTION
 1 1/2" = 1'-0"