

# WACCAMAW ELEMENTARY SCHOOL INTERIOR RENOVATIONS

251 CLARIDY RD | CONWAY, SC  
ARCHITECT'S PROJECT NUMBER 21.293.00

JANUARY 13, 2023

## CONSTRUCTION DOCUMENTS

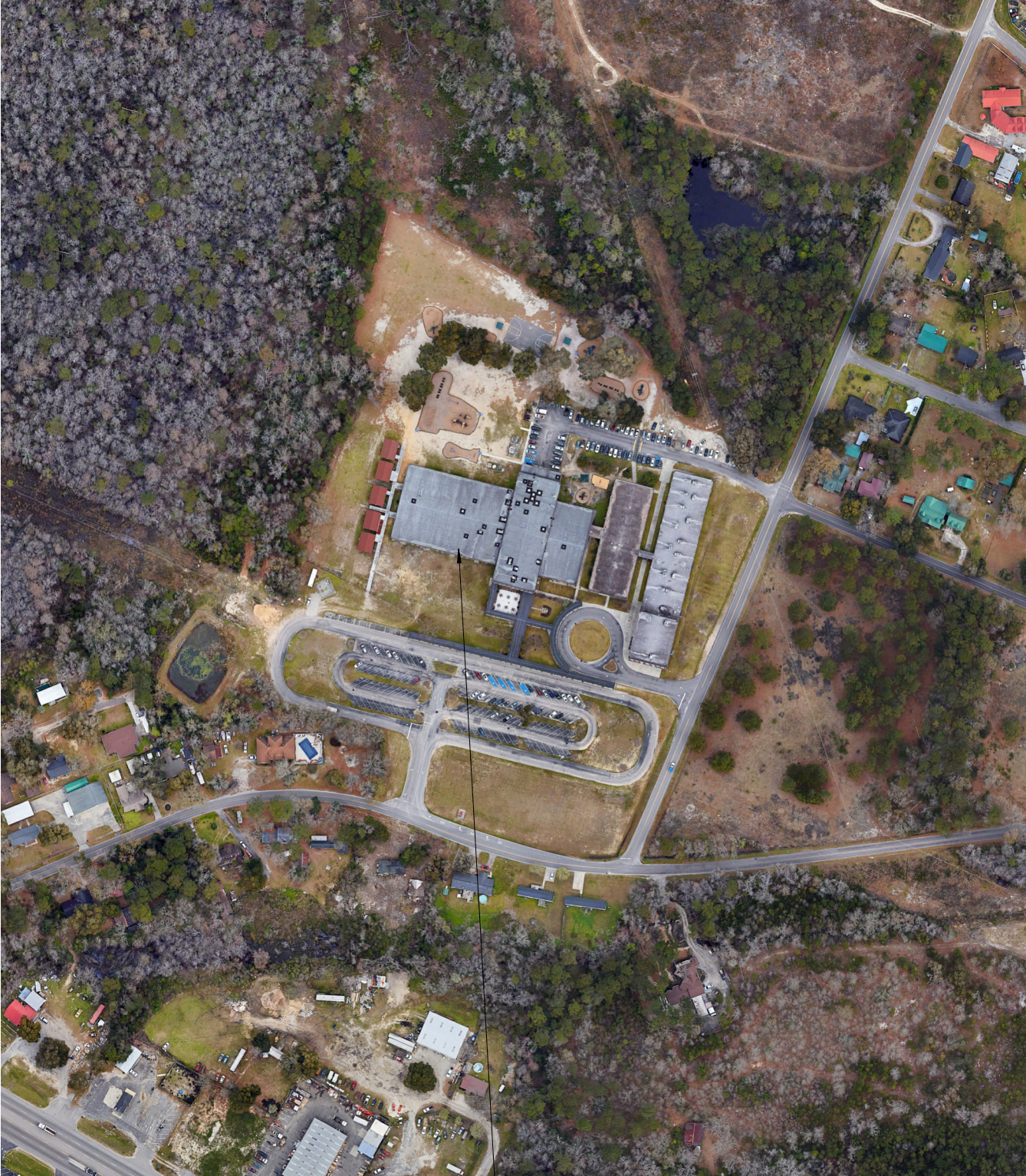


### AREA MAP



PROJECT SITE

### SITE MAP



PROJECT SITE

### PROJECT TEAM

**ARCHITECT**  
**QUACKENBUSH ARCHITECTS + PLANNERS**  
1217 HAMPTON STREET  
COLUMBIA, SC 29201  
T: 803.771.2999

**MECHANICAL, PLUMBING, & ELECTRICAL ENGINEERING**  
**BUFORD GOFF & ASSOCIATES, INC.**  
1331 ELMWOOD AVE., SUITE 200  
COLUMBIA, SC 29201  
T: 803.254.6142

### INDEX OF DRAWINGS

**GENERAL**  
G-000 COVER SHEET, INDEX OF DRAWINGS  
G-100 ABBREVIATIONS, SYMBOLS, PROJECT NOTES  
G-200 ACCESSIBILITY DIAGRAMS

**LIFE SAFETY**  
LS-100 CODE ANALYSIS  
LS-101 CODE ANALYSIS

**ARCHITECTURAL**  
AD-101 FIRST FLOOR DEMOLITION PLAN  
A-101 FLOOR PLAN  
A-400 ENLARGED TOILET PLANS, ROOM FINISH SCHEDULE, FINISH MATERIALS,  
LOADING DOCK DETAIL  
A-720 MILLWORK ELEVATIONS & DETAILS

**PLUMBING**  
PD-101 FIRST FLOOR PLAN - DEMOLITION - PLAN  
P-001 PLUMBING NOTES, LEGENDS & SCHEDULES  
P-101 FIRST FLOOR - PLUMBING

**MECHANICAL**  
M-100 FIRST FLOOR PLAN - DEMOLITION AND RENOVATION - HVAC  
M-101 ENLARGED FLOOR PLANS - DEMOLITION AND RENOVATION - HVAC  
M-200 NOTES, LEGENDS, SCHEDULES AND DETAILS - HVAC

### SCOPE & SCHEDULE

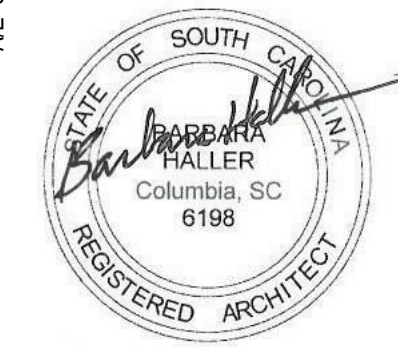
SCOPE SUMMARY	ANTICIPATED SCHEDULE
REMOVAL OF EXISTING BASE AND WALL CABINETS AND ASSOCIATED SINKS TO REPLACE WITH NEW FINISHES, CABINETS, AND SINKS	SUMMER 2023
REPLACEMENT OF EXHAUST FANS AT SINGLE STAFF RESTROOMS	SUMMER 2023
ENCAPSULATE THE FASCIA AT THE LOADING DOCK	SUMMER 2023

\* AS MUCH WORK TO OCCUR OVER SUMMER AS POSSIBLE WITH MATERIAL AVAILABILITY. WORK DURING THE SCHOOL YEAR TO OCCUR IN DEDICATED AREAS AFTER HOURS, WEEKENDS AND BREAKS (WHILE SCHOOL IS NOT OCCUPIED).

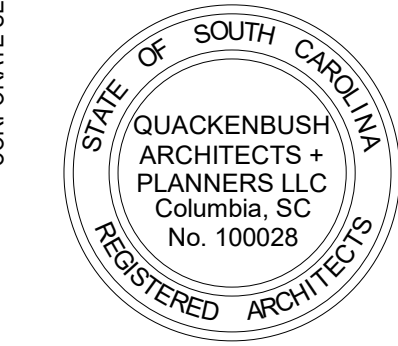
### GENERAL PHASING NOTES

- EMERGENCY EXITS FROM ALL CAMPUS AREAS MUST BE MAINTAINED WITH APPROPRIATE SIGNAGE. EMERGENCY EXITS MUST NEVER BE BLOCKED. A CLEAR EXIT PATHWAY MUST BE MAINTAINED AT ALL TIMES FROM EVERY EXISTING DOOR (AND EXIT WINDOW) DURING DEMOLITION/ CONSTRUCTION WHILE BUILDING IS OCCUPIED.
- UTILITY SERVICES SHALL NOT BE INTERRUPTED WHILE EXISTING BUILDING IS OCCUPIED.
- ALL BUILDING SYSTEMS INCLUDING BUT NOT LIMITED TO EXISTING FIRE ALARM SYSTEMS, SECURITY SYSTEMS, WATER, SEWER, FIRE PROTECTION, IRRIGATION, STEAM PIPING, SPEAKERS, ELECTRICAL CABLE AND DATA WIRING MUST BE MAINTAINED AT ALL TIMES. IF DAMAGED, THE SYSTEM MUST BE REPAIRED AND MADE OPERATIONAL BEFORE LEAVING FOR THE DAY. INFORM OWNER'S REPRESENTATIVE A MINIMUM OF 5 DAYS IN ADVANCE OF ANY KNOWN PERIODS WHERE SYSTEMS WILL BE INOPERABLE. ALL KNOWN DISRUPTIONS ARE TO BE SCHEDULED FOR TIMES BEFORE OR AFTER NORMAL WORKING HOURS.
- TO THE EXTENT POSSIBLE, SCHEDULE NOISY ACTIVITIES TO TAKE PLACE AFTER HOURS, ON WEEKENDS, OR OVER WINTER / SUMMER BREAKS. COORDINATE ALL NOISY ACTIVITIES WITH OWNER.
- CONTRACTOR SHALL PROVIDE DETAILED WORK SCHEDULE FOR DEMOLITION AND NEW CONSTRUCTION. EXIT SIGNS OR TEMPORARY EXIT SIGNS AND DIRECTIONAL SIGNAGE SHALL BE PROVIDED BY THE GENERAL CONTRACTOR TO MAINTAIN EXITING OF BUILDING OCCUPANTS THROUGHOUT THE PROJECT. REFERENCE LIFE SAFETY PLANS FOR DETAILED INFORMATION REGARDING SIGNAGE.
- CONTRACTOR SHALL COMPLY WITH IBC CHAPTER 33. SAFEGUARDS DURING CONSTRUCTION AND IFC CHAPTER 33. FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION DURING ANY DEMOLITION AND CONSTRUCTION.

A/E SEAL



CORPORATE SEAL



PROJECT TITLE

WACCAMAW ELEMENTARY SCHOOL  
INTERIOR RENOVATIONS  
HORRY COUNTY SCHOOL DISTRICT  
251 CLARIDY RD. CONWAY, SC

CONDITIONS OF USE  
THIS DRAWING AND THE DESIGN THEREON ARE THE PROPERTY OF  
QUACKENBUSH ARCHITECTS + PLANNERS.  
THE REPRODUCTION, COPYING, OR USE OF THIS DRAWING WITHOUT WRITTEN  
CONSENT OF QUACKENBUSH ARCHITECTS + PLANNERS IS PROHIBITED AND  
ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.  
COPYRIGHT © 2011 QUACKENBUSH ARCHITECTS + PLANNERS

PHASE  
CONSTRUCTION  
DOCUMENTS

ISSUE DATE 1.13.23  
PROJECT NO. 21.293.00

REVISION DATE

TITLE  
COVER SHEET, INDEX  
OF DRAWINGS

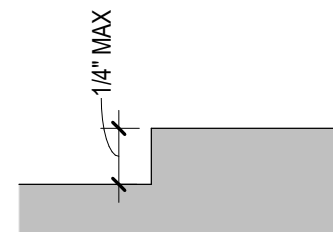
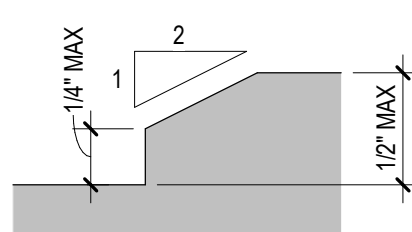
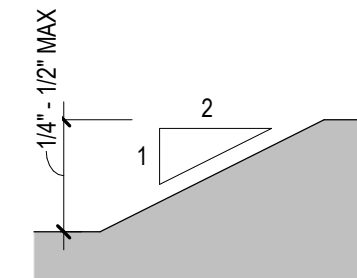
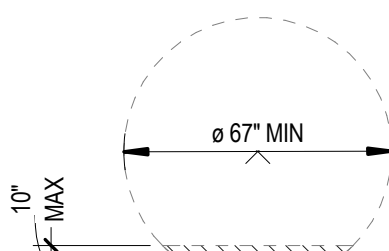
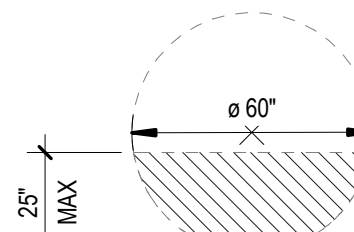
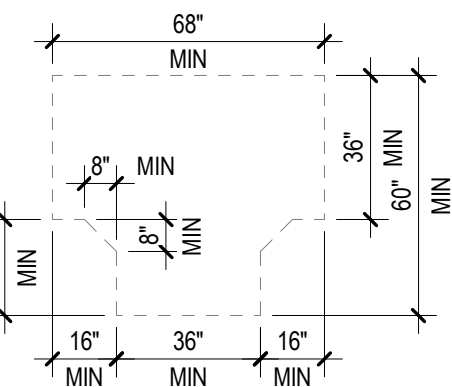
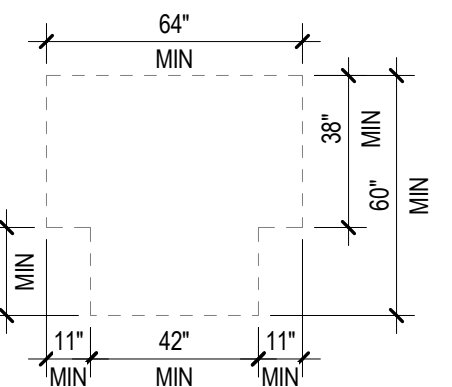
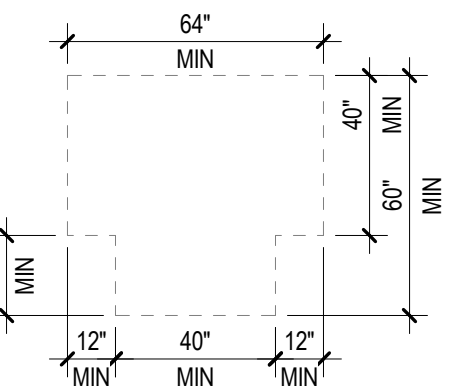
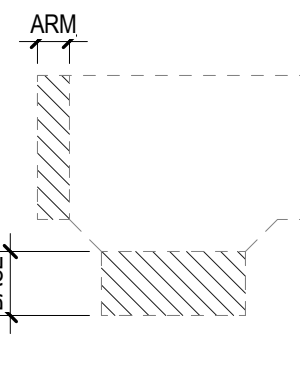
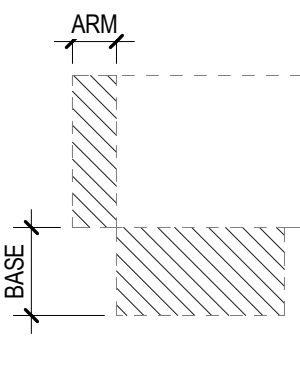
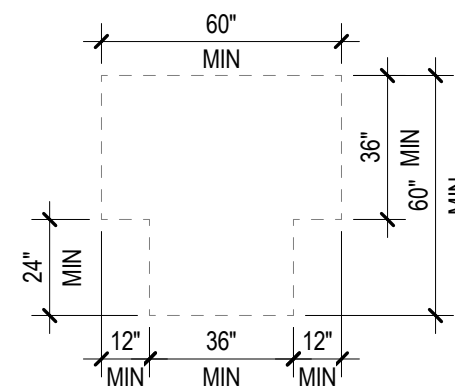
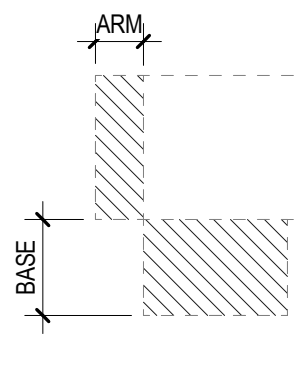
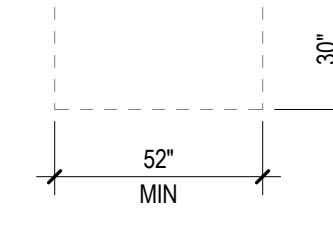
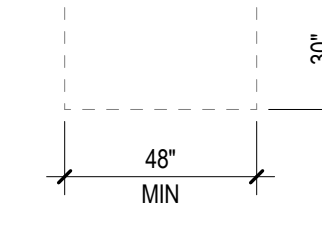
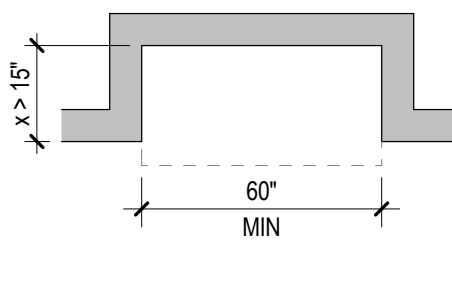
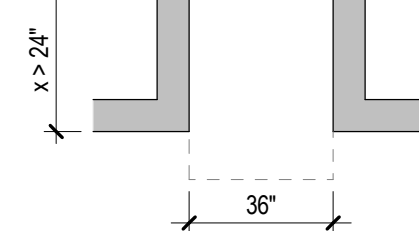
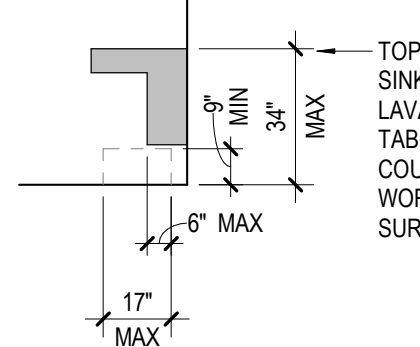
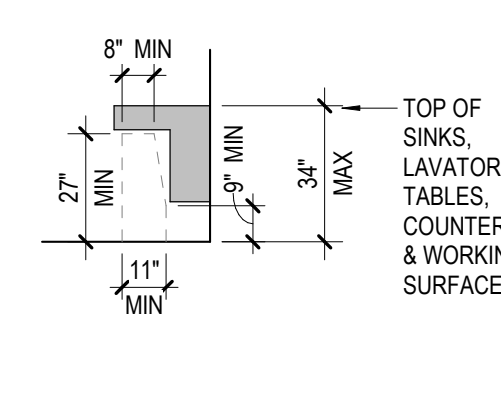
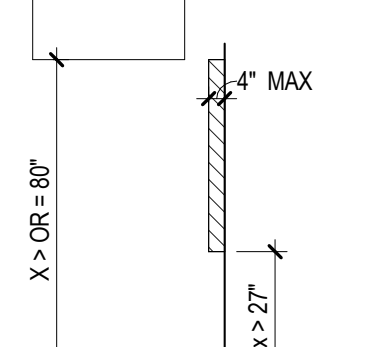
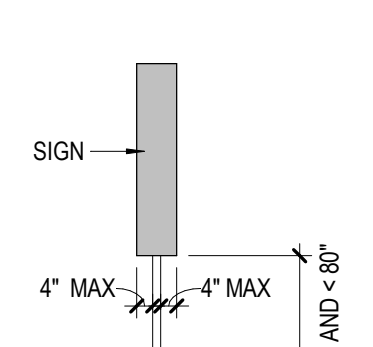
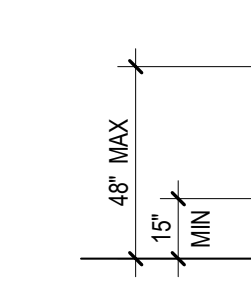
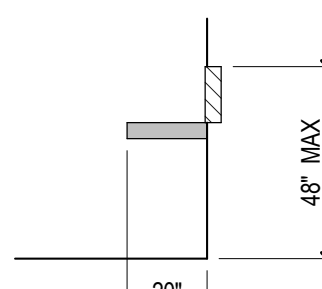
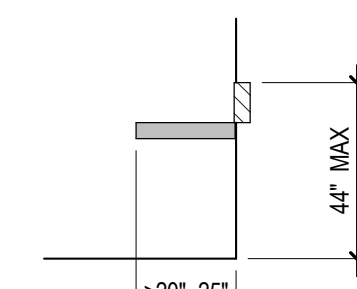
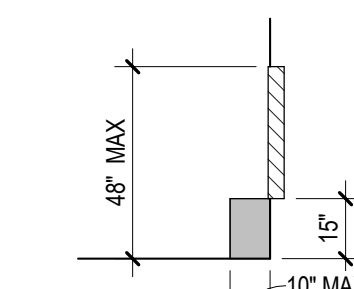
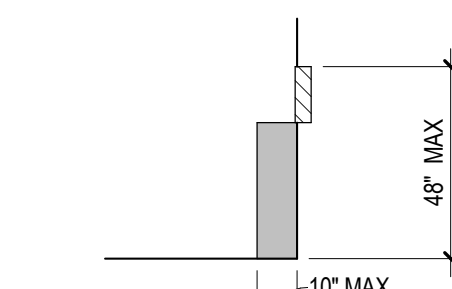
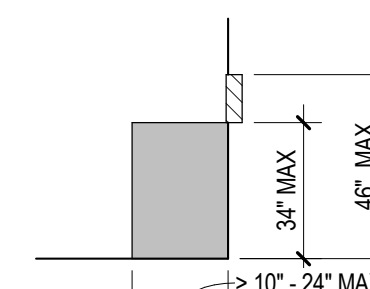
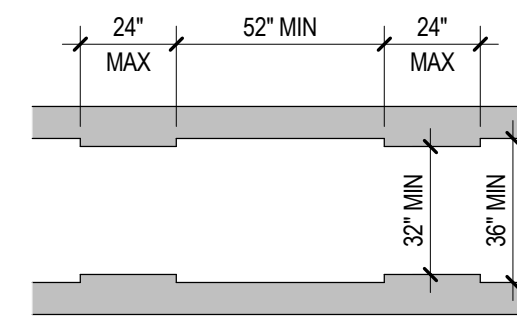
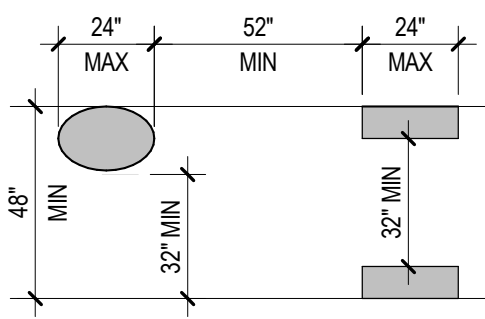
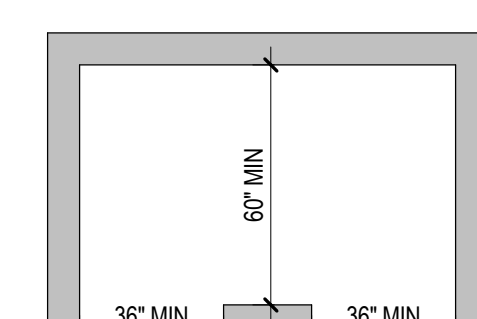
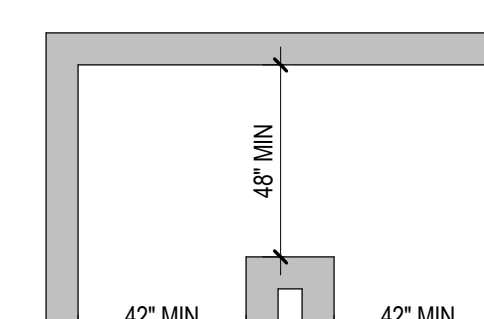
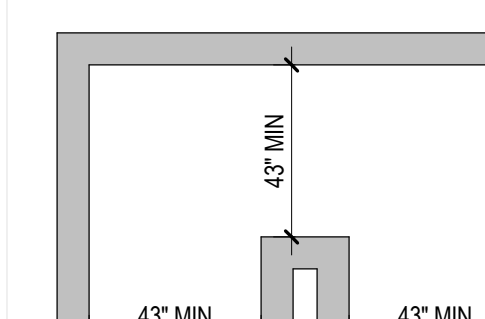
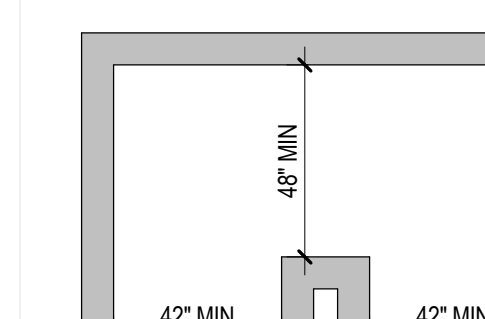
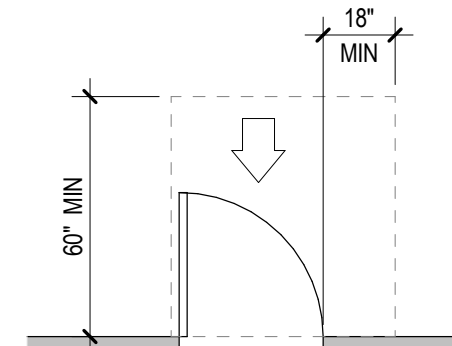
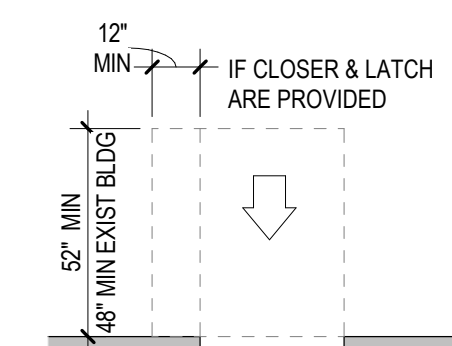
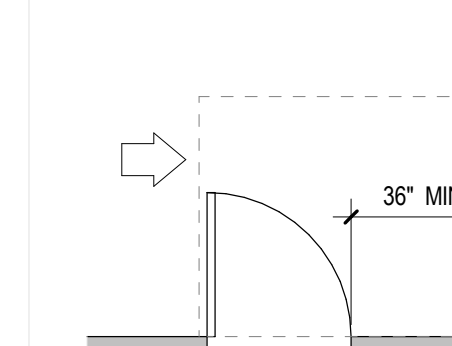
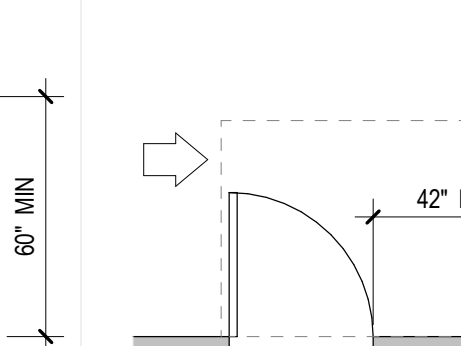
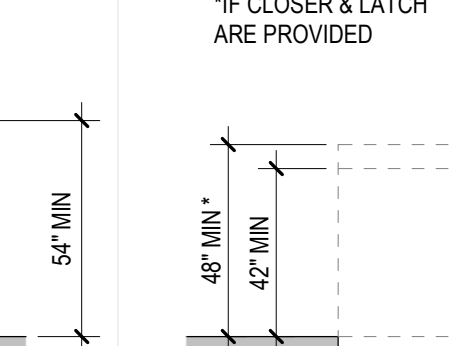
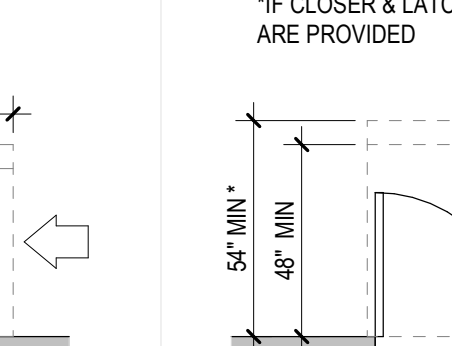
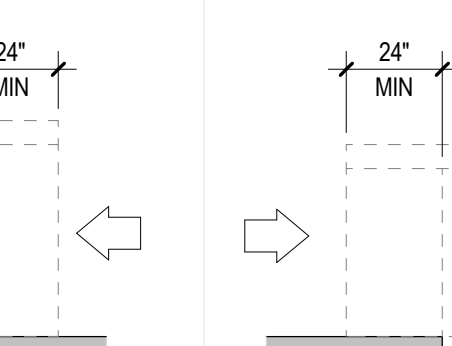
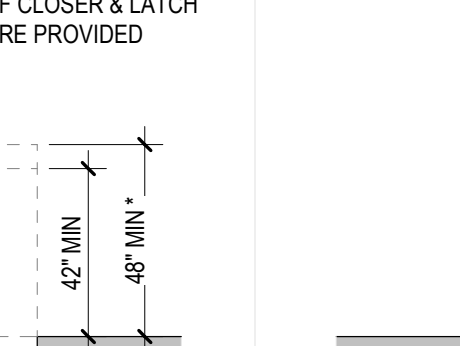
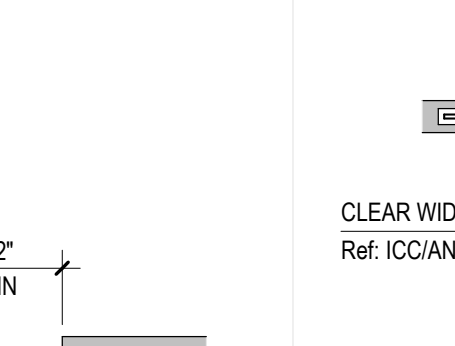
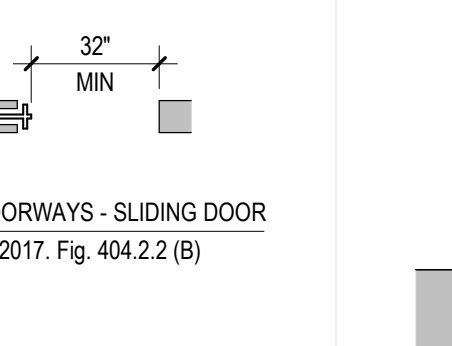
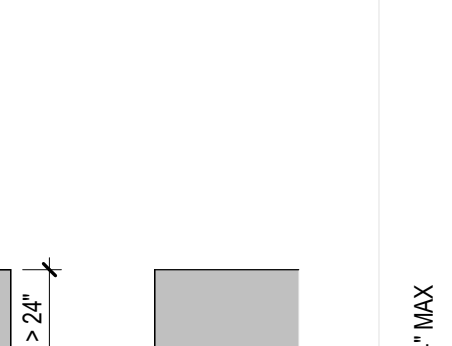
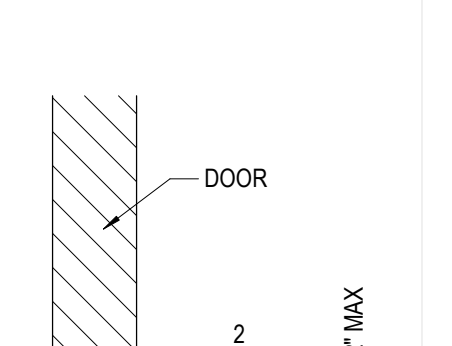
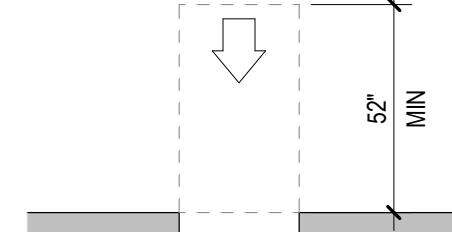
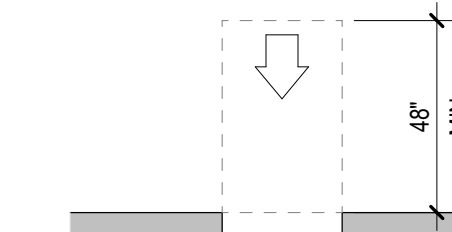
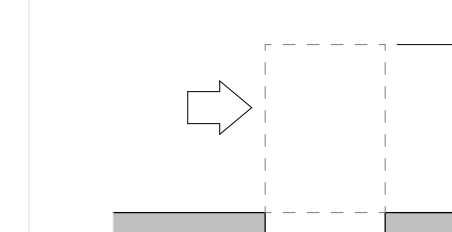
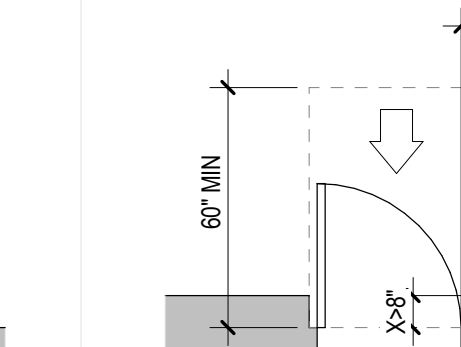
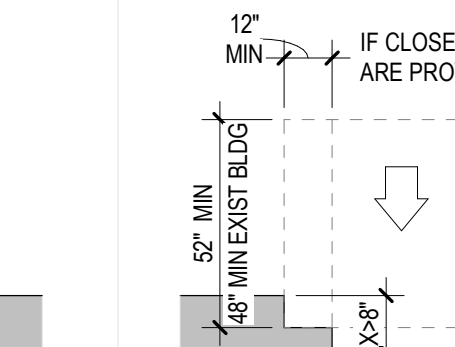
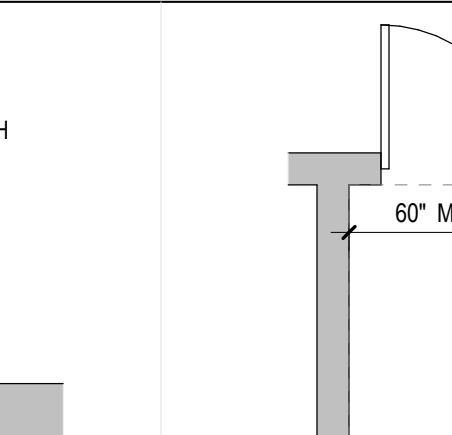
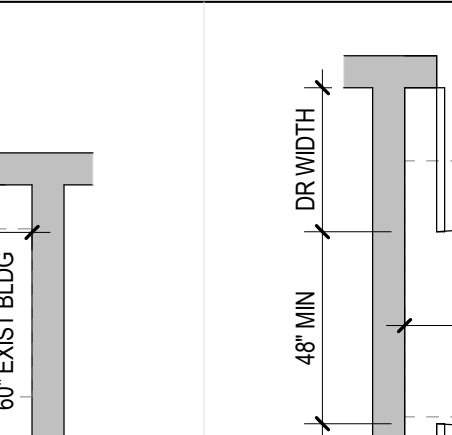
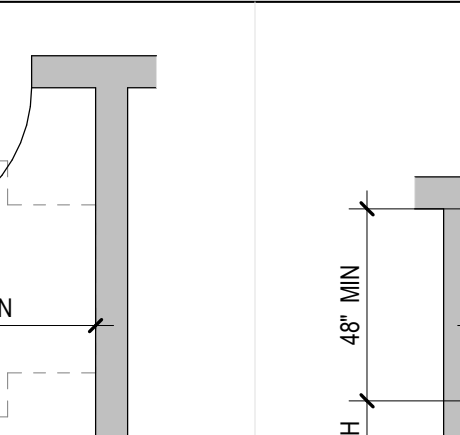
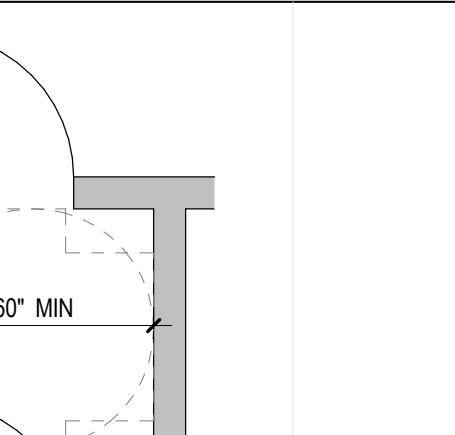
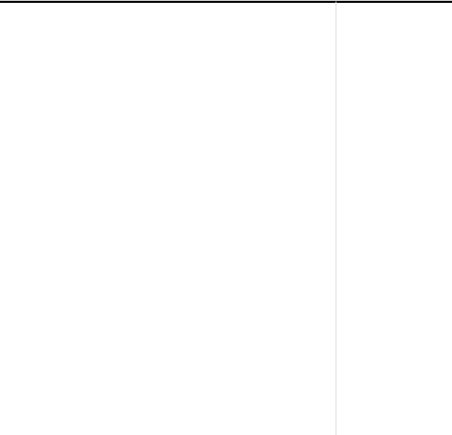
SHEET NO

G-000







<b>303 CHANGES IN LEVEL</b>			<b>304 TURNING SPACE</b>								
 VERTICAL CHANGE IN LEVEL REF: ICC/ANSI A117.1-2017, FIG. 303.2	 BEVELED CHANGES IN LEVEL REF: ICC/ANSI A117.1-2017, FIG. 303.3 (A)	 BEVELED CHANGES IN LEVEL REF: ICC/ANSI A117.1-2017, FIG. 303.3 (B)	 CIRCULAR TURNING SPACE - NEW BUILDINGS SIZE & OVERLAP REF: ICC/ANSI A117.1-2017, FIG. 304.3.1.1	 CIRCULAR TURNING SPACE - EXISTING BUILDINGS SIZE & OVERLAP REF: ICC/ANSI A117.1-2017, FIG. 304.3.1.2	 T-SHAPED TURNING SPACE - NEW BUILDINGS OPTION 1 REF: ICC/ANSI A117.1-2017, FIG. 304.3.2.1 (A)	 T-SHAPED TURNING SPACE - NEW BUILDINGS OPTION 2 REF: ICC/ANSI A117.1-2017, FIG. 304.3.2.1 (B)	 T-SHAPED TURNING SPACE - NEW BUILDINGS OPTION 3 REF: ICC/ANSI A117.1-2017, FIG. 304.3.2.1 (C)	 T-SHAPED TURNING SPACE - NEW BUILDINGS - OVERLAP REF: ICC/ANSI A117.1-2017, FIG. 304.3.2.1.1	 T-SHAPED TURNING SPACE - NEW BUILDINGS - OVERLAP REF: ICC/ANSI A117.1-2017, FIG. 304.3.2.1.1	 T-SHAPED TURNING SPACE - EXISTING BUILDINGS - SIZE REF: ICC/ANSI A117.1-2017, FIG. 304.3.2.2	 T-SHAPED TURNING SPACE - EXISTING BUILDINGS - OVERLAP REF: ICC/ANSI A117.1-2017, FIG. 304.3.2.2.1
<b>305 CLEAR FLOOR SPACE</b>			<b>306 KNEE &amp; TOE CLEARANCE, 606 LAVATORIES &amp; SINKS, 902 SEATING AT TABLES, COUNTER, &amp; WORK SURFACES</b>								
 SIZE OF CLEAR FLOOR SPACE - NEW BUILDINGS REF: ICC/ANSI A117.1-2017, FIG. 305.3.1	 SIZE OF CLEAR FLOOR SPACE - EXIST BUILDINGS REF: ICC/ANSI A117.1-2017, FIG. 305.3.2	 MANEUVERING CLEARANCE IN AN ALCOVE PARALLEL APPROACH REF: ICC/ANSI A117.1-2017, FIG. 305.7.1	 MANEUVERING CLEARANCE IN AN ALCOVE FORWARD APPROACH REF: ICC/ANSI A117.1-2017, FIG. 305.7.2	 TOE CLEARANCE REF: ICC/ANSI A117.1-2017, FIG. 306.2 (A) / 606.2	 KNEE CLEARANCE REF: ICC/ANSI A117.1-2017, FIG. 306.3 (A) / 606.2	 LIMITS OF PROTRUDING OBJECTS REF: ICC/ANSI A117.1-2017, FIG. 307.2			 SINGLE POST-MOUNTED PROTRUDING OBJECT REF: ICC/ANSI A117.1-2017, FIG. 307.3 (A)		
<b>308 REACH RANGES</b>			<b>403 WALKING SURFACES</b>								
 UNOBSTRUCTED FORWARD REACH REF: ICC/ANSI A117.1-2017, FIG. 308.2.1	 20" MAX OBSTRUCTED HIGH FORWARD REACH REF: ICC/ANSI A117.1-2017, FIG. 308.2.2 (A)	 20" - 25" MAX OBSTRUCTED HIGH FORWARD REACH REF: ICC/ANSI A117.1-2017, FIG. 308.2.2 (B)	 UNOBSTRUCTED SIDE REACH REF: ICC/ANSI A117.1-2017, FIG. 308.3.1	 10" MAX OBSTRUCTED HIGH SIDE REACH REF: ICC/ANSI A117.1-2017, FIG. 308.3.2 (A)	 24" MAX OBSTRUCTED HIGH SIDE REACH REF: ICC/ANSI A117.1-2017, FIG. 308.3.2 (B)	 CLEAR WIDTH OF AN ACCESSIBLE ROUTE - NEW BUILDINGS - INTERIOR REF: ICC/ANSI A117.1-2017, FIG. 403.5.1 (A)	 CLEAR WIDTH OF AN ACCESSIBLE ROUTE - NEW BUILDINGS - EXTERIOR REF: ICC/ANSI A117.1-2017, FIG. 403.5.1 (B)	 CLEAR WIDTH AT 180-DEGREE TURN NEW BUILDINGS - OPTION 1 REF: ICC/ANSI A117.1-2017, FIG. 403.5.2.1 (A)	 CLEAR WIDTH AT 180-DEGREE TURN NEW BUILDINGS - OPTION 2 REF: ICC/ANSI A117.1-2017, FIG. 403.5.2.1 (B)	 CLEAR WIDTH AT 180-DEGREE TURN NEW BUILDINGS - OPTION 3 REF: ICC/ANSI A117.1-2017, FIG. 403.5.2.1 (C)	 CLEAR WIDTH AT 180-DEGREE TURN EXISTING BUILDINGS REF: ICC/ANSI A117.1-2017, FIG. 403.5.2.2 (A)
<b>404 DOORS, DOORWAYS AND GATES</b>			<b>404 DOORS, DOORWAYS AND GATES (CONT'D)</b>								
 MANEUVERING CLEARANCE AT MANUAL SWINGING DOOR, FRONT APPROACH - PULL SIDE REF: ICC/ANSI A117.1-2017, FIG. 404.2.3.2 (A)	 MANEUVERING CLEARANCE AT MANUAL SWINGING DOOR, FRONT APPROACH - PUSH SIDE REF: ICC/ANSI A117.1-2017, FIG. 404.2.3.2 (B) (C)	 MANEUVERING CLEARANCE AT MANUAL SWINGING DOOR, HINGE APPROACH - PULL SIDE REF: ICC/ANSI A117.1-2017, FIG. 404.2.3.2 (D)	 MANEUVERING CLEARANCE AT MANUAL SWINGING DOOR, HINGE APPROACH - PUSH SIDE REF: ICC/ANSI A117.1-2017, FIG. 404.2.3.2 (E)	 MANEUVERING CLEARANCE AT MANUAL SWINGING DOOR, LATCH APPROACH - PULL SIDE REF: ICC/ANSI A117.1-2017, FIG. 404.2.3.2 (F)	 MANEUVERING CLEARANCE AT MANUAL SWINGING DOOR, LATCH APPROACH - PUSH SIDE REF: ICC/ANSI A117.1-2017, FIG. 404.2.3.2 (G)	 MANEUVERING CLEARANCE AT MANUAL SWINGING DOOR, LATCH APPROACH - PUSH SIDE REF: ICC/ANSI A117.1-2017, FIG. 404.2.3.2 (H)	 CLEAR WIDTH OF DOORWAYS - HINGED DOOR REF: ICC/ANSI A117.1-2017, FIG. 404.2.2 (A)	 CLEAR WIDTH OF DOORWAYS - SLIDING DOOR REF: ICC/ANSI A117.1-2017, FIG. 404.2.2 (B)	 CLEAR WIDTH OF DOORWAYS - FOLDING DOOR REF: ICC/ANSI A117.1-2017, FIG. 404.2.2 (C)	 CLEAR WIDTH OF DOORWAYS - DOORWAYS WITHIN DOORS REF: ICC/ANSI A117.1-2017, FIG. 404.2.2 (D)	 DOOR THRESHOLD HEIGHT LIMITATIONS REF: ICC/ANSI A117.1-2017, FIG. C404.2.4
<b>404 DOORS, DOORWAYS AND GATES (CONT'D)</b>											
 MANEUVERING CLEARANCE FOR DOORWAYS WITHOUT DOORS OR GATES: FRONT APPROACH - NEW BUILDINGS REF: ICC/ANSI A117.1-2017, FIG. 404.2.3.4 (A)	 MANEUVERING CLEARANCE FOR DOORWAYS WITHOUT DOORS OR GATES: FRONT APPROACH - EXISTING BUILDINGS REF: ICC/ANSI A117.1-2017, FIG. 404.2.3.4 (B)	 MANEUVERING CLEARANCE FOR DOORWAYS WITHOUT DOORS OR GATES: SIDE APPROACH REF: ICC/ANSI A117.1-2017, FIG. 404.2.3.4 (C)	 RECESSED DOORS AND GATES - PULL SIDE REF: ICC/ANSI A117.1-2017, FIG. 404.2.3.5 (A) (D)	 RECESSED DOORS AND GATES - PUSH SIDE REF: ICC/ANSI A117.1-2017, FIG. 404.2.3.5 (B)(C)(E)(F)	 TWO DOORS IN A SERIES - NEW AND EXISTING BUILDINGS REF: ICC/ANSI A117.1-2017, FIG. 404.2.5 (A) (D)	 TWO DOORS IN A SERIES - NEW AND EXISTING BUILDINGS REF: ICC/ANSI A117.1-2017, FIG. 404.2.5 (B) (E)	 TWO DOORS IN A SERIES - NEW AND EXISTING BUILDINGS REF: ICC/ANSI A117.1-2017, FIG. 404.2.5 (C) (F)	 LOCATION OF HARDWARE REF: ICC/ANSI A117.1-2017, 404.2.6.1	 LOCATION OF VISION LITES REF: ICC/ANSI A117.1-2017, 404.2.10		

## GENERAL ACCESSIBILITY NOTES

- ACCESSIBILITY DIAGRAMS ARE FROM ICC A117.1-2017 ACCESSIBILITY AND USABLE BUILDINGS AND FACILITIES.
- ACCESSIBILITY DIAGRAMS ARE INCLUDED FOR INFORMATION TO ASSIST THE CONTRACTOR IN LAYOUT, DIMENSIONS, INSTALLATION OF VARIOUS ELEMENTS AND CLEARANCES REQUIRED INSIDE AND OUTSIDE THE BUILDING.
- DIMENSIONS INDICATED TO BE CLEAR, MINIMUM, OR MAXIMUM SHALL BE INCLUSIVE OF FINISHES APPLIED TO WALLS / FLOORS.
- DIMENSIONS AND CLEARANCES SHOWN MUST BE PROVIDED AT ALL DOORS. CONTRACTOR SHALL REVIEW FIELD LAYOUT AND CONFIRM THAT ALL OF THE APPROPRIATE CLEARANCES ARE PROVIDED. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION. ANY REMEDIAL WORK THAT SHOULD HAVE BEEN AVOIDED BY BRINGING DISCREPANCIES TO THE ARCHITECT'S ATTENTION SHALL BE AT THE CONTRACTORS EXPENSE.

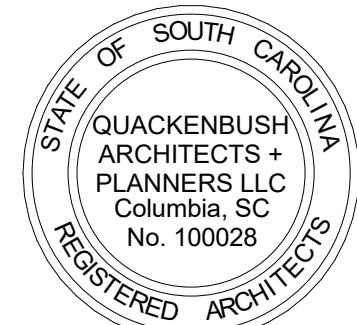
WACCAMAW ELEMENTARY SCHOOL  
INTERIOR RENOVATIONS

HORRY COUNTY SCHOOL DISTRICT

251 CLAUDY RD. CONWAY, SC

CORPORATE SEAL

A/E SEAL



QUACKENBUSH ARCHITECTS + PLANNERS  
1217 HAMPTON | COLUMBIA, SC | 803.771.2999 | quackenbusharchitects.com

PHASE

CONSTRUCTION

DOCUMENTS

ISSUE DATE

1.13.23

PROJECT NO.

21.293.00

REVISION

DATE

TITLE

ACCESSIBILITY  
DIAGRAMS

SHEET NO

G-200



# CODE ANALYSIS

Form F3 – Building Code Analysis			
Date: _____			
SUBMITTAL: <input type="checkbox"/> Schematic <input type="checkbox"/> Design Development <input checked="" type="checkbox"/> Construction Document			
SC CODE EDITION: 2018 ICC CODE EDITION: 2018 ICC A117.1 EDITION: 2017 OSF GUIDE EDITION: 2020			
OTHER CODES/STANDARDS & EDITIONS: _____			

PROJECT DESCRIPTION: [Brief Scope of Work & Include project delivery method (i.e. CMR, etc.)]

Removal of existing base and wall cabinets and associated sinks to replace with new sinks and casework. Replacement of exhaust fans in single staff restrooms. Repair of the fascia at the loading dock. Project to be advertised for bidding.

## BASIC BUILDING CODE INFORMATION

DESIGNATED AREAS OF BUILDING	Building Code	Area 1	Area 2	Area 3	Area 4	Area 5
CONSTRUCTION CLASSIFICATION TYPE	Section 602	TYPE IIB	TYPE IIB	TYPE IIB	TYPE IIB	TYPE IIB
OCCUPANCY GROUP (indicate all)	Section 302	GROUP A & E	GROUP A & E	GROUP E	GROUP A & E	GROUP A & E
MOST RESTRICTIVE OCCUPANCY GROUP	Tables 504.3, 504.4 & 506.2	GROUP E	GROUP E	GROUP E	GROUP E	GROUP E
Does building require incidental Use Area Separation?	Table 509	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Does building have Accessory Occupancy (ies)?	Section 508.2	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
What is the aggregate square footage of the accessory occupancy (ies)?	Section 508.2	SF	%	%	%	%
What percent of the story is the aggregate of the accessory occupancy (ies)?	Section 508.2	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Mixed Occupancy	Section 508	<input type="checkbox"/> Nonseparated <input checked="" type="checkbox"/> Separated	<input type="checkbox"/> Nonseparated <input checked="" type="checkbox"/> Separated	<input type="checkbox"/> Nonseparated <input checked="" type="checkbox"/> Separated	<input type="checkbox"/> Nonseparated <input checked="" type="checkbox"/> Separated	<input type="checkbox"/> Nonseparated <input checked="" type="checkbox"/> Separated

1 of 21

Version April 2021

Form F3 – Building Code Analysis			
EXISTING BUILDING CODE INFORMATION [SCBC]			
DESIGNATED AREAS OF BUILDING	Area 1	Area 2	Area 3
Method of Compliance: (Check only one Option and all items that apply under that Option.)	<input checked="" type="checkbox"/> Option 1: Prescriptive Compliance Method (Ch. 3, 5) <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Change of Occupancy <input type="checkbox"/> Historic Building	<input checked="" type="checkbox"/> Option 1: Prescriptive Compliance Method (Ch. 3, 5) <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Change of Occupancy <input type="checkbox"/> Historic Building	<input checked="" type="checkbox"/> Option 1: Prescriptive Compliance Method (Ch. 3, 5) <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Change of Occupancy <input type="checkbox"/> Historic Building
<input type="checkbox"/> Option 2: Work Area Compliance Method (Ch. 3, 6-12) <input type="checkbox"/> Alteration Level 1 <input type="checkbox"/> Alteration Level 2 <input type="checkbox"/> Alteration Level 3 <input type="checkbox"/> Change of Occupancy <input type="checkbox"/> Additions <input type="checkbox"/> Historic Building	<input type="checkbox"/> Option 2: Work Area Compliance Method (Ch. 3, 6-12) <input type="checkbox"/> Alteration Level 1 <input type="checkbox"/> Alteration Level 2 <input type="checkbox"/> Alteration Level 3 <input type="checkbox"/> Change of Occupancy <input type="checkbox"/> Additions <input type="checkbox"/> Historic Building	<input type="checkbox"/> Option 2: Work Area Compliance Method (Ch. 3, 6-12) <input type="checkbox"/> Alteration Level 1 <input type="checkbox"/> Alteration Level 2 <input type="checkbox"/> Alteration Level 3 <input type="checkbox"/> Change of Occupancy <input type="checkbox"/> Additions <input type="checkbox"/> Historic Building	<input type="checkbox"/> Option 2: Work Area Compliance Method (Ch. 3, 6-12) <input type="checkbox"/> Alteration Level 1 <input type="checkbox"/> Alteration Level 2 <input type="checkbox"/> Alteration Level 3 <input type="checkbox"/> Change of Occupancy <input type="checkbox"/> Additions <input type="checkbox"/> Historic Building
Aggregate area of building: SF	SF	SF	SF
Work area: SF	SF	SF	SF
<input type="checkbox"/> Option 3: Performance Compliance Method (Ch. 3, 13)	<input type="checkbox"/> Option 3: Performance Compliance Method (Ch. 3, 13)	<input type="checkbox"/> Option 3: Performance Compliance Method (Ch. 3, 13)	<input type="checkbox"/> Option 3: Performance Compliance Method (Ch. 3, 13)
Original Building Code and Edition Applicable at the time of Construction	CONSTRUCTED IN 1982	CONSTRUCTED IN 1982	CONSTRUCTED IN 1982
Existing Sprinkler System?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Existing Fire Alarm System?	<input checked="" type="checkbox"/> Manual <input type="checkbox"/> Auto	<input checked="" type="checkbox"/> Manual <input type="checkbox"/> Auto	<input checked="" type="checkbox"/> Manual <input type="checkbox"/> Auto
Seismic Evaluation Required?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

2 of 21

Version April 2021

Form F3 – Building Code Analysis			
Change of Occupancy:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Existing Occupancy Class(s): New Occupancy Classification(s):	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Existing Occupancy Class(s): New Occupancy Classification(s):	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Existing Occupancy Class(s): New Occupancy Classification(s):
Historic Building:	<input type="checkbox"/> Preservation <input type="checkbox"/> Rehabilitation <input type="checkbox"/> Restoration <input type="checkbox"/> Reconstruction	<input type="checkbox"/> Preservation <input type="checkbox"/> Rehabilitation <input type="checkbox"/> Restoration <input type="checkbox"/> Reconstruction	<input type="checkbox"/> Preservation <input type="checkbox"/> Rehabilitation <input type="checkbox"/> Restoration <input type="checkbox"/> Reconstruction

EXISTING BUILDING CODE INFORMATION [SCBC]			
DESIGNATED AREAS OF BUILDING	Area 4	Area 5	
Method of Compliance: (Check only one Option and all items that apply under that Option.)	<input checked="" type="checkbox"/> Option 1: Prescriptive Compliance Method (Ch. 3, 5) <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Change of Occupancy <input type="checkbox"/> Historic Building	<input type="checkbox"/> Option 1: Prescriptive Compliance Method (Ch. 3, 5) <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> Change of Occupancy <input type="checkbox"/> Historic Building	
<input type="checkbox"/> Option 2: Work Area Compliance Method (Ch. 3, 6-12) <input type="checkbox"/> Alteration Level 1 <input type="checkbox"/> Alteration Level 2 <input type="checkbox"/> Alteration Level 3 <input type="checkbox"/> Change of Occupancy <input type="checkbox"/> Additions <input type="checkbox"/> Historic Building	<input type="checkbox"/> Option 2: Work Area Compliance Method (Ch. 3, 6-12) <input type="checkbox"/> Alteration Level 1 <input type="checkbox"/> Alteration Level 2 <input type="checkbox"/> Alteration Level 3 <input type="checkbox"/> Change of Occupancy <input type="checkbox"/> Additions <input type="checkbox"/> Historic Building	<input type="checkbox"/> Option 2: Work Area Compliance Method (Ch. 3, 6-12) <input type="checkbox"/> Alteration Level 1 <input type="checkbox"/> Alteration Level 2 <input type="checkbox"/> Alteration Level 3 <input type="checkbox"/> Change of Occupancy <input type="checkbox"/> Additions <input type="checkbox"/> Historic Building	
Aggregate area of building: SF	SF	SF	
Work area: SF	SF	SF	

3 of 21

Version April 2021

Form F3 – Building Code Analysis				
Original Building Code and Edition Applicable at the time of Construction:	CONSTRUCTED IN 1991			
Existing Sprinkler System?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
Existing Fire Alarm System?	<input checked="" type="checkbox"/> Manual <input type="checkbox"/> Auto			
Seismic Evaluation Required?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
Change of Occupancy:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO Existing Occupancy Classification(s): New Occupancy Classification(s):			
Historic Building:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> Preservation <input type="checkbox"/> Rehabilitation <input type="checkbox"/> Restoration <input type="checkbox"/> Reconstruction			

SUMMARY - BUILDING DESIGN OCCUPANT LOAD				
DESIGNATED AREAS OF BUILDING	Area 1	Area 2	Area 4	Area 5
1 <sup>st</sup> FLOOR				
2 <sup>nd</sup> FLOOR		N/A NO OCCUPANT LOADS CHANGED FROM EXISTING		
3 <sup>rd</sup> FLOOR				
4 <sup>th</sup> FLOOR				
TOTAL	0	0	0	0

Note: Per SC Building Code Chapter 10, list individual spaces occupant load on fire safety plan. Double Click to Edit Table.

4 of 21

Version April 2021

Form F3 – Building Code Analysis					
ALLOWABLE BUILDING AREA					
DESIGNATED AREAS OF BUILDING	Area 1	Area 2	Area 3	Area 4	Area 5
A. Tabular allowable area factor (NS, SI, S1R or SM as applicable) in accordance with IBC Table 506.2	A <sub>1</sub> = SF	A <sub>2</sub> = SF	A <sub>3</sub> = SF	A <sub>4</sub> = SF	A <sub>5</sub> = SF
Allowable Area Increase (Equations 5-1 through 5-5, as applicable)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IBC Section 506.2.1, Equation 5-4 where:	L <sub>1</sub> =	L <sub>2</sub> =	L <sub>3</sub> =	L <sub>4</sub> =	L <sub>5</sub> =
W = (L <sub>1</sub> x W <sub>1</sub> ) + L <sub>2</sub> x W <sub>2</sub> + L <sub>3</sub> x W <sub>3</sub> + ... / F	W <sub>1</sub> =	W <sub>2</sub> =	W <sub>3</sub> =	W <sub>4</sub> =	W <sub>5</sub> =
W = Width of public way or open space	W <sub>1</sub> =	W <sub>2</sub> =	W <sub>3</sub> =	W <sub>4</sub> =	W <sub>5</sub> =
L <sub>1</sub> = Length of a portion of the exterior perimeter wall.	W <sub>1</sub> =	W <sub>2</sub> =	W <sub>3</sub> =	W <sub>4</sub> =	W <sub>5</sub> =
F. Building perimeter that fronts on a public way or open space having a width of 20 feet or more	P =	P =	P =	P =	P =
IBC Section 506.2.3, Equation 5-5 where:	I <sub>1</sub> =	I <sub>2</sub> =	I <sub>3</sub> =	I <sub>4</sub> =	I <sub>5</sub> =
I <sub>1</sub> = Area factor increase factor due to footage	I <sub>1</sub> =	I <sub>2</sub> =	I <sub>3</sub> =	I <sub>4</sub> =	I <sub>5</sub> =
F. Building perimeter that fronts on a public way or open space having a width of 20 feet or more.	P =	P =	P =	P =	P =
P = Perimeter of entire building (feet).	P =	P =	P =	P =	P =
W. Width of public way or open space in accordance with Equation 5-4	W =	W =	W =	W =	W =

EXISTING / NO IMPACT

5 of 21

Version April 2021

Form F3 – Building Code Analysis					
Allowable building area per story in square feet as calculated by Equations 5-1 through 5-3. (Indicated equation used.)	N <sub>1</sub> =	N <sub>2</sub> =	N <sub>3</sub> =	N <sub>4</sub> =	N <sub>5</sub> =
<input type="checkbox"/> IBC Section 506.2.1, Equation 5-1 A <sub>1</sub> = A <sub>1</sub> + (N <sub>1</sub> x I <sub>1</sub> )	S <sub>1</sub> =	S <sub>2</sub> =	S <sub>3</sub> =	S <sub>4</sub> =	S <sub>5</sub> =
<input type="checkbox"/> IBC Section 506.2.3, Equation 5-2 A <sub>1</sub> = [A <sub>1</sub> + (N <sub>1</sub> x I <sub>1</sub> )] x S <sub>1</sub>	S <sub>1</sub> =	S <sub>2</sub> =	S <sub>3</sub> =	S <sub>4</sub> =	S <sub>5</sub> =
<input type="checkbox"/> IBC Section 506.2.4, Equation 5-3 A <sub>1</sub> = [A <sub>1</sub> + (N <sub>1</sub> x I <sub>1</sub> )]	S <sub>1</sub> =	S <sub>2</sub> =	S <sub>3</sub> =	S <sub>4</sub> =	S <sub>5</sub> =
N <sub>1</sub> = Tabular allowable area factor in accordance with Table 506.2 for a non-sprinklered building (regardless of whether the building is sprinklered)	A <sub>1</sub> = SF	A <sub>2</sub> = SF	A <sub>3</sub> = SF	A <sub>4</sub> = SF	A <sub>5</sub> = SF
S <sub>1</sub> = Actual number of building stories above grade plane, not to exceed three (3). For buildings equipped throughout with automatic sprinkler system installed in accordance with SCBC Section 903.3.1.2, use the actual number of building stories above grade plane, not to exceed four (4).	A <sub>1</sub> = SF	A <sub>2</sub> = SF	A <sub>3</sub> = SF	A <sub>4</sub> = SF	A <sub>5</sub> = SF
MAXIMUM AREA PER STORY	SF	SF	SF	SF	SF
AREA AS DESIGNED PER STORY (Repeat for each story)	SF	SF	SF	SF	SF

EXISTING / NO IMPACT

6 of 21

Version April 2021

Form F3 – Building Code Analysis					
BUILDING HEIGHT					
DESIGNATED AREAS OF BUILDING	Building Code	Area 1	Area 2	Area 3	
HEIGHT	-	DESIGNED	ALLOWED	DESIGNED	ALLOWED
In Feet	Table 504.3				
In Stories	Table 504.4				

Note: Allowable Building Height & Number of Stories Above Grade Plane

BUILDING HEIGHT					
DESIGNATED AREAS OF BUILDING	Building Code	Area 4	Area 5		
HEIGHT	-	DESIGNED	ALLOWED	DESIGNED	ALLOWED
In Feet	Table 504.3				
In Stories	Table 504.4				

Note: Allowable Building Height & Number of Stories Above Grade Plane

EXISTING / NO IMPACT

7 of 21

Version April 2021

Form F3 – Building Code Analysis						
GENERAL FIRE PROTECTION REQUIREMENTS						
DESIGNATED AREAS OF BUILDING	Building Code	Area 1	Area 2	Area 3	Area 4	Area 5
SEPARATIONS		ALL WALLS ARE EXISTING				
Fire Wall Required	Section 706	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Fire Barrier Required	Section 707	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Fire Partition Required	Section 708	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Smoke Barriers Required	Section 709	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Smoke Partitions Required	Section 710	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Fireblocking	Section 711	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Draftstopping	Section 712	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Incidental Use Area	Section 509.4	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
One-hour fire barrier	Section 509.4	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Sprinkler system plus smoke resistance	Section 509.4	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
ALARM & DETECTION						
Fire Alarm and Detection System	Section 907	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Mass Notification	Section 907	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Emergency voice/alarm comm.	Section 907	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Emergency Alarm System Required	Section 908	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
SUPPRESSION						
Automatic Sprinkler System	Section 903	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Provided	Section 903	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Required	Section 903	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

EXISTING / NO IMPACT

8 of 21

Version April 2021

Form F3 – Building Code Analysis						
OTHER FIRE AND LIFE SAFETY FEATURES						
DESIGNATED AREAS OF BUILDING	Building Code	Area 1	Area 2	Area 3	Area 4	Area 5
Smoke Control System	Section 909	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Smoke & Heat Removal Required	Section 910	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Fire Department Connections	Section 912	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Carbon Monoxide Detection	Section 915	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Gas Detection Systems	Section 916	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Emergency Responder Radio Coverage	Section 918	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Fire Apparatus Access and Water Line	Section 503 & 507	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
2-way Communication Required	Section 1009.8	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Area of Refuge (e.g. Separation, Two-Way Communication, and Instruction)	Sections 1009.6, 1009.7, 1009.8, 1009.10 & 1009.11	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Exterior Area for Assisted Rescue (e.g. Separation, Openness, and Instruction)	Sections 1009.7, 1009.8, 1009.10 & 1009.11	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Safe Dispersal Area (Add others as needed)	Section 1028.5	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
(Add others as needed)	Section 1028.5	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

EXISTING / NO IMPACT

EXISTING / NO IMPACT

EXISTING / NO IMPACT

EXISTING / NO IMPACT

9 of 21

Version April 2021

Form F3 – Building Code Analysis						
FIRE RESISTANCE RATING OF BUILDING ELEMENTS						
DESIGNATED AREAS OF BUILDING	Building Code	Area 1	Area 2	Area 3	Area 4	Area 5
Primary Structural Frame	Table 601					
Bearing Walls, Exterior	Table 601					
Bearing Walls, Interior	Table 601					
Nonbearing Walls and Partitions, Interior	Table 601					

EXISTING / NO IMPACT

10 of 21

Version April 2021

Form F3 – Building Code Analysis						
FIRE RESISTANCE RATING OF BUILDING ELEMENTS						
DESIGNATED AREAS OF BUILDING	Building Code	Area 1	Area 2	Area 3	Area 4	Area 5
Nonbearing Walls and Partitions, Exterior	Table 602					
Floor Construction and associated secondary members	Table 601					
Roof Construction and associated secondary members	Table 601					
Fire Walls	Section 706					

EXISTING / NO IMPACT



[illegible]
**SOUTH CAROLINA  
STATE DEPARTMENT  
OF EDUCATION**

Form F3 – Building Code Analysis

Note: Expand as Needed. Double Click to Edit & Change.



**SOUTH CAROLINA**  
**STATE DEPARTMENT**  
**OF EDUCATION**

**Form F3 – Building Code Analysis**

**Provide a table for each structure.**

### PLUMBING INFORMATION

<b><u>WATER SYSTEM</u></b>		
Service Line Size	Inches	
Distribution Design Criteria <b>(SCPC Table 604.3)</b>	Fixture Units	
Maximum Flow Rate (SCPC Table 604.4)	GPM	
Backflow	Location Type	
Test Pressure	psi	
<b><u>SANITARY SEWER SYSTEM</u></b>		
Service Line Size	Inches	
Drainage Design Criteria <b>(SCPC Tables 709.1 and 709.2)</b>	Fixture Units	
Maximum Flow Rate	GPD	
Slope (SCPC Table 704.1)	Inches/Ft	

### SUMMARY OF FIXTURES (SCPC Section 403 & Table 403.1)

Water Closets	Male-Required
	Male WC -Provided
	Male Urinal -Provided
	Female-Required
Lavatories	Female-Provided
	Male-Required
	Male-Provided
	Female-Required
Showers	Female-Provided
	Male-Provided
Sinks	Female-Provided
	Male-Provided
Drinking Fountains	Required
	Provided
Family or Assisted-Use Toilet	Required
	Provided
Service Sink	Required
	Provided
Others (list)	Required
	Provided

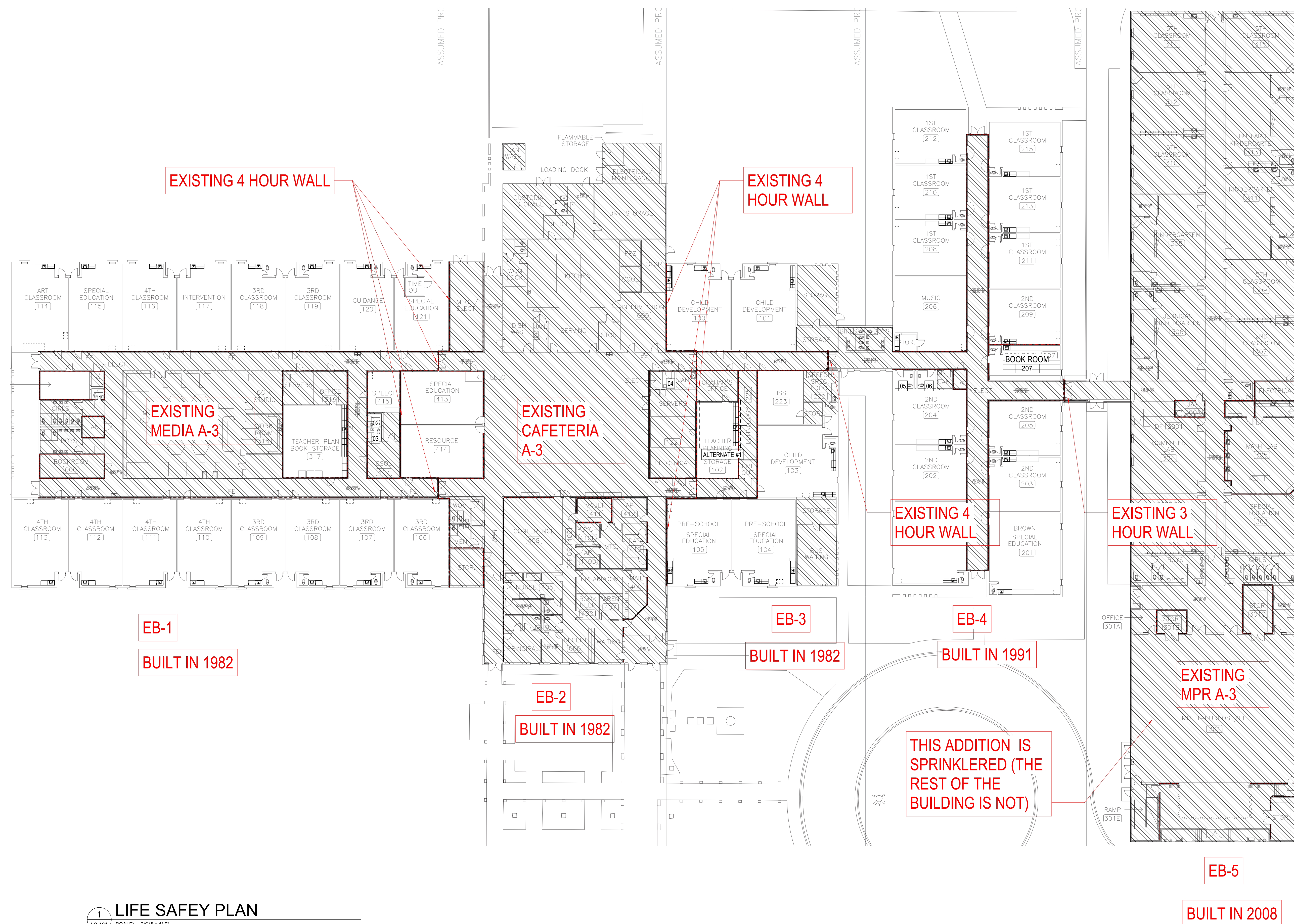
N/A - NO TOILET REVISIONS.

Version April 2021







**SOUTH CAROLINA**  
**STATE DEPARTMENT**  
**OF EDUCATION**

<b>Form F3 – Building Code Analysis</b>		
<b><i>Summary of data from approved ASHRAE 90.1 compliance sheets.</i></b>		
<b>MECHANICAL INFORMATION</b>		
GENERAL INFORMATION		
Building Location		
Climate Zone		
Outdoor Design Temperature		
	Summer	deg F DB deg F WB
	Winter	deg F DB <div style="border: 1px solid red; padding: 2px; display: inline-block;">Avg. E WB N/A</div>
	Summer	% RH
	Winter	deg F DB % RH
Indoor Design Temperature		
OUTSIDE AIR		
Occupied Minimum Outside Air cfm per person		
CO2 Demand Management <input type="checkbox"/> no <input type="checkbox"/> yes		
Supervised Control System <input type="checkbox"/> no <input type="checkbox"/> yes		
<b>MECHANICAL SYSTEMS, SERVICE SYSTEMS &amp; EQUIPMENT</b>		
Briefly describe mechanical system:		
<b>ELECTRICAL INFORMATION</b>		
SERVICE TRANSFORMER <input type="checkbox"/> By Utility KVA Primary		
<input type="checkbox"/> By District Voltage/Phase		
<b>ELECTRIC SERVICE INFORMATION</b>		
Service Voltage/Phase Amperes		
Service Entrance Conductors Size Qty per Phase		
Total Connected Load KVA		
Estimated Maximum Demand KVA		
Available Fault Current in Symmetrical Amperes		
Interrupting Capacity of Service Overcurrent Device		
Grounding electrode system components (NEC 250)		
<b>EMERGENCY SERVICE INFORMATION</b>		
Emergency Generator <input type="checkbox"/> no <input type="checkbox"/> yes KVA		
<input type="checkbox"/> Fuel Voltage/Phase		
Exit/Emergency Lights Backup Power <input type="checkbox"/> Integral Battery		
<input type="checkbox"/> Generator		
Fire Alarm System <input type="checkbox"/> Manual <input type="checkbox"/> Addressable		
<input type="checkbox"/> Automatic <input type="checkbox"/> Class A <input type="checkbox"/> Class B		
LIGHTNING PROTECTION PROVIDED <input type="checkbox"/> no <input type="checkbox"/> yes		



### LIFE SAFETY PLAN LEGEND

ALL WALLS ARE EXISTING - INFORMATION IS BASED ON EXISTING DRAWINGS.  
THERE ARE NO MODIFICATIONS TO EXISTING WALL CONSTRUCTION IN THIS PROJECT.

- |   |   |
|---|---|
|  | <p>ONE-HOUR FIRE-RESISTANCE RATING<br/>(FIRE BARRIER IBC 707 - INCIDENTAL USES, FIRE PARTITION IBC 708, SHAFT ENCLOSURE IBC 713, FLOOR / ROOF ASSEMBLY IBC 711)</p> |
|  | <p>TWO-HOUR FIRE-RESISTANCE RATING<br/>(FIRE WALL IBC 708, FIRE BARRIER IBC 707, SHAFT ENCLOSURE IBC 713, FLOOR / ROOF ASSEMBLY IBC 711)</p>                        |
|  | <p>THREE-HOUR FIRE-RESISTANCE RATING<br/>(FIRE WALL IBC 708)</p>  |
|  | <p>FOUR-HOUR FIRE-RESISTANCE RATING<br/>(FIRE WALL IBC 708)</p>   |

NAME NAME → ROOM / SPACE NAME

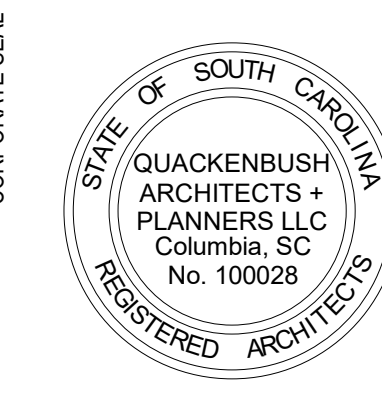
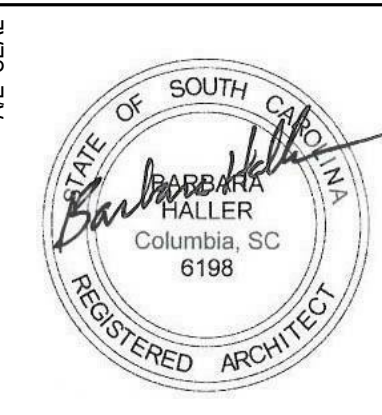
NAME → ROOM / SPACE NUMBER

101

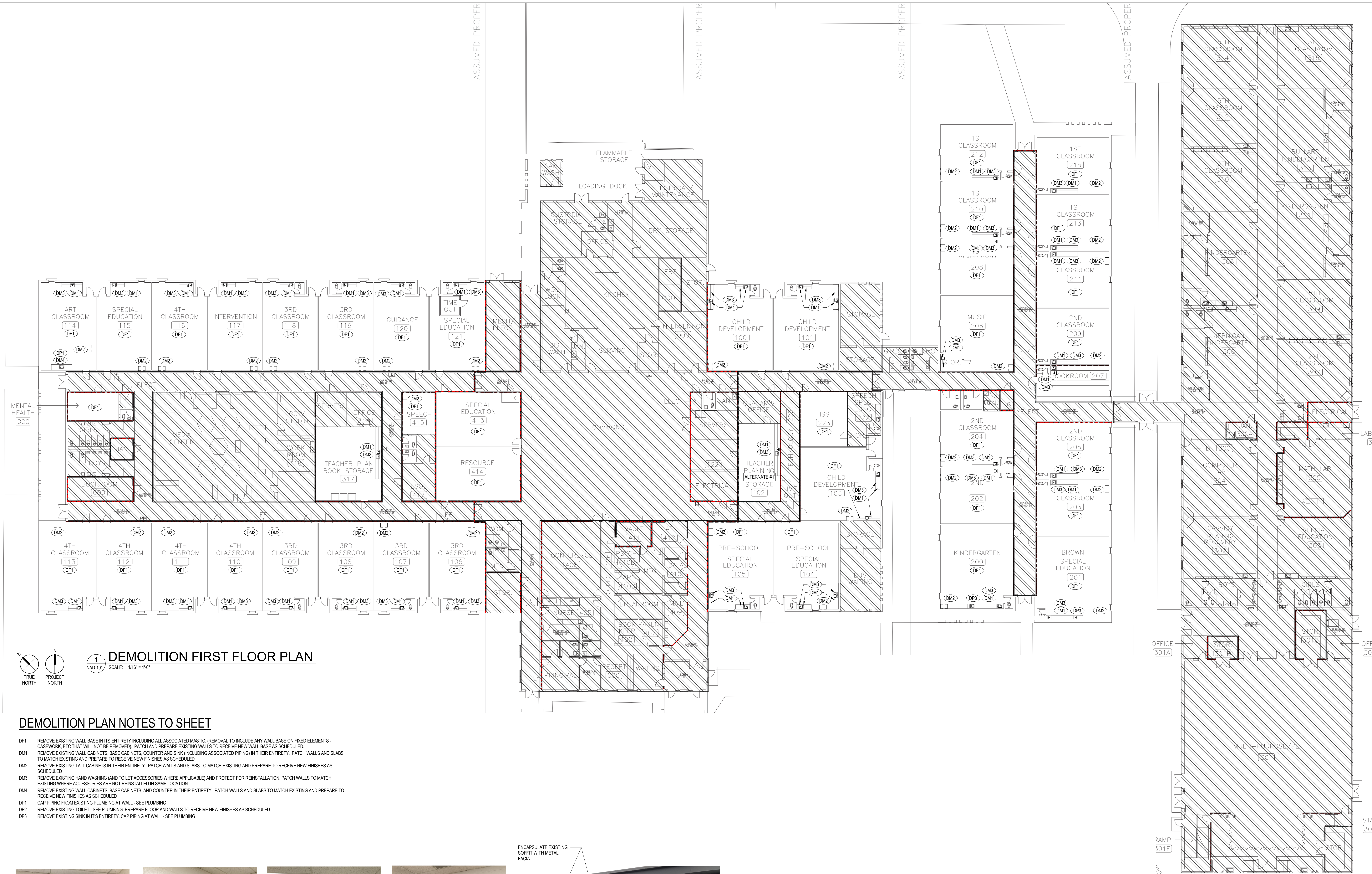
GENERAL NOTES:  
A. IBC 1020.4 EXCEPTION 2 - DEAD END CORRIDOR MAX 50 FEET

OSF HAS ADOPTED THE FOLLOWING CODES:

1. INTERNATIONAL BUILDING CODE (IBC), 2018 EDITION WITH SOUTH CAROLINA MODIFICATIONS
2. INTERNATIONAL EXISTING BUILDING CODE (IEBC), 2018 EDITION
3. INTERNATIONAL FIRE CODE (IFC), 2018 EDITION WITH SOUTH CAROLINA MODIFICATIONS
4. INTERNATIONAL ENERGY CODE OF CONVENTIONS (IECC), 2009 EDITION
5. INTERNATIONAL FUEL GAS CODE (IFGC), 2018 EDITION WITH SOUTH CAROLINA MODIFICATIONS
6. INTERNATIONAL MECHANICAL CODE (IMC), 2018 EDITION WITH SOUTH CAROLINA MODIFICATIONS
7. INTERNATIONAL PLUMBING CODE (IPC), 2018 EDITION WITH SOUTH CAROLINA MODIFICATIONS
8. INTERNATIONAL PRIVATE SEWER DISPOSAL CODE (ISDPC), 2018 EDITION
9. INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC), 2018 EDITION
10. INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS (IRC), 2018 EDITION
11. INTERNATIONAL WILDLAND-URBAN INTERFACE CODE (IWUIC), 2018 EDITION
12. NATIONAL ELECTRICAL SAFETY CODE (NESC), 2012 EDITION WITH SOUTH CAROLINA MODIFICATIONS
13. NATIONAL ELECTRICAL SAFETY CODE, IEEE-263-2017 EDITION
14. ASCE 7/2016
15. ASHRAE 92 AS REFERENCED BY ICC CODES
16. ASHRAE 90.1 AS REFERENCED BY ICC CODES
17. LATEST ADDITION OF ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
18. STATE FIRE MARSHAL, RULES, REGULATIONS, AND POLICIES
19. SOUTH CAROLINA ELEVATOR ACT, 1995, AND REGULATIONS
  - A. SC ELEVATOR CODE REFERENCES ASME SAFETY CODE FOR ELEVATORS, DUMBWATERS, ESCALATORS, AND MOVING WALKS ASME A117.1
20. INTERNATIONAL CODE COUNCIL PERFORMANCE CODE (ICCPC), 2018 EDITION
21. STATE OF SC BUILDING STANDARDS IN FLOOR PLANS
22. THE SOUTH CAROLINA MODULAR BUILDINGS CONSTRUCTION ACT







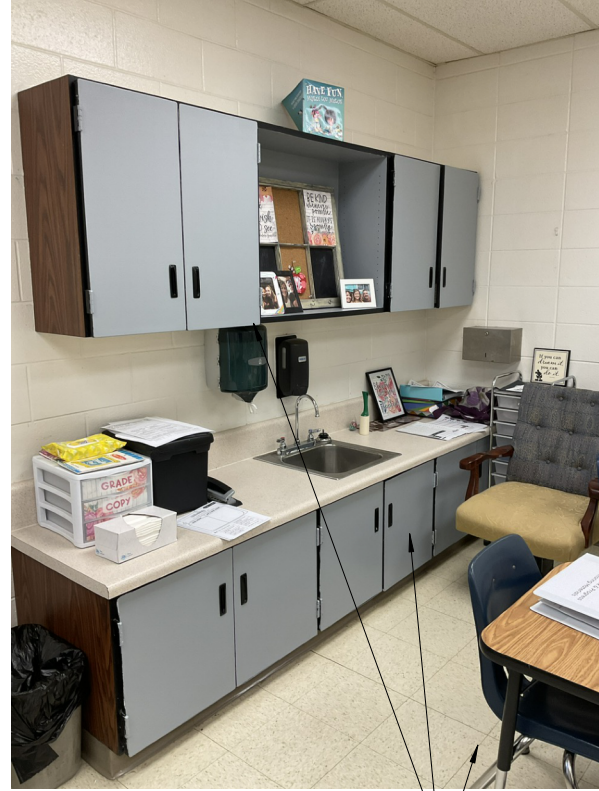
DEMOLITION FIRST FLOOR PLAN  
SCALE: 1/16\"/>

### DEMOLITION PLAN NOTES TO SHEET

- DF1 REMOVE EXISTING WALL BASE IN ITS ENTIRETY INCLUDING ALL ASSOCIATED MISC. (REMOVAL TO INCLUDE ANY WALL BASE ON FIXED ELEMENTS - CASEWORK, ETC THAT WILL NOT BE REMOVED). PATCH AND PREPARE EXISTING WALLS TO RECEIVE NEW WALL BASE AS SCHEDULED.
- DM1 REMOVE EXISTING WALL CABINETS, BASE CABINETS, COUNTER AND SINK (INCLUDING ASSOCIATED PIPING) IN THEIR ENTIRETY. PATCH WALLS AND SLABS TO MATCH EXISTING AND PREPARE TO RECEIVE NEW FINISHES AS SCHEDULED.
- DM2 REMOVE EXISTING TALL CABINETS IN THEIR ENTIRETY. PATCH WALLS AND SLABS TO MATCH EXISTING AND PREPARE TO RECEIVE NEW FINISHES AS SCHEDULED.
- DM3 REMOVE EXISTING HAND WASHING (AND TOILET ACCESSORIES WHERE APPLICABLE) AND PROTECT FOR REINSTALLATION. PATCH WALLS TO MATCH EXISTING WHERE ACCESSORIES ARE NOT REINSTALLED IN SAME LOCATION.
- DM4 REMOVE EXISTING WALL CABINETS, BASE CABINETS, AND COUNTER IN THEIR ENTIRETY. PATCH WALLS AND SLABS TO MATCH EXISTING AND PREPARE TO RECEIVE NEW FINISHES AS SCHEDULED.
- DP1 CAP PIPING FROM EXISTING PLUMBING AT WALL - SEE PLUMBING
- DP2 REMOVE EXISTING TOILET - SEE PLUMBING. PREPARE FLOOR AND WALLS TO RECEIVE NEW FINISHES AS SCHEDULED.
- DP3 REMOVE EXISTING SINK IN ITS ENTIRETY. CAP PIPING AT WALL - SEE PLUMBING



CASEWORK TO BE REMOVED - AND REPLACED WITH NEW CASEWORK  
VCT FLOORING TO BE COVERED WITH NEW CARPET



CASEWORK TO BE REMOVED - AND REPLACED WITH NEW CASEWORK  
VCT FLOORING TO BE COVERED WITH NEW CARPET



CASEWORK TO BE REMOVED - PIPING TO BE CONCEALED WHERE SINK WAS REMOVED - SEE PLUMBING  
VCT FLOORING TO BE COVERED WITH NEW CARPET



BUILT-IN TEACHER CABINET TO BE REMOVED



ENCAPSULATE EXISTING SOFFIT WITH METAL FACIA

### DEMOLITION LEGEND

- EXISTING CASEWORK TO BE REMOVED
- AREA NOT INCLUDED IN SCOPE



PATCH AND REPAIR WALL WHERE  
PIPES ARE REMOVED - SEE  
PLUMBING. PREPARE TO RECEIVE  
NEW FINISHES AS SCHEDULED

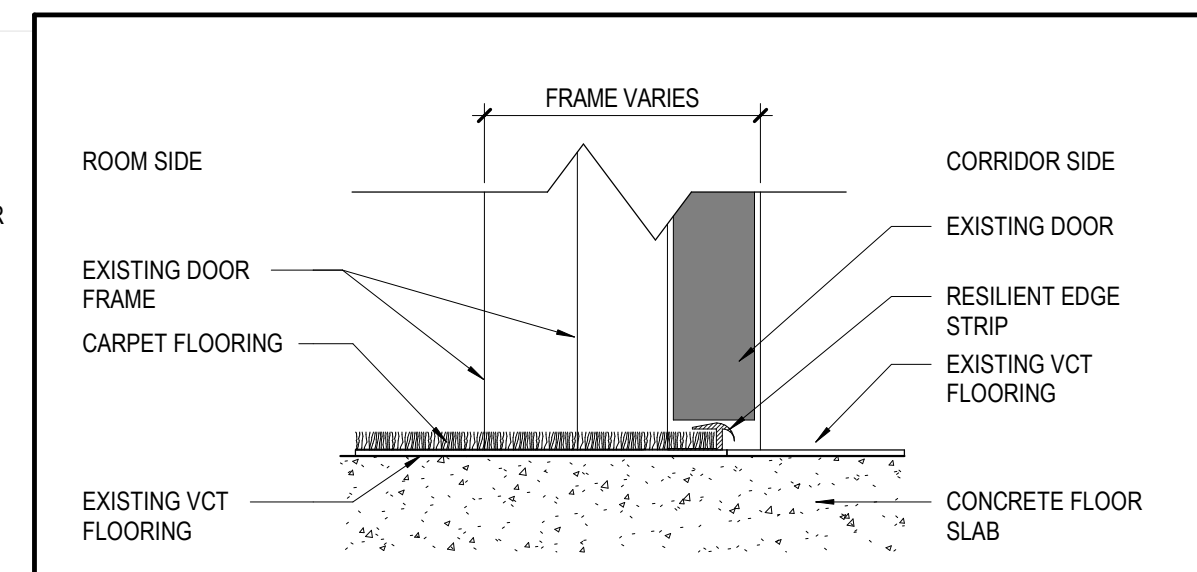
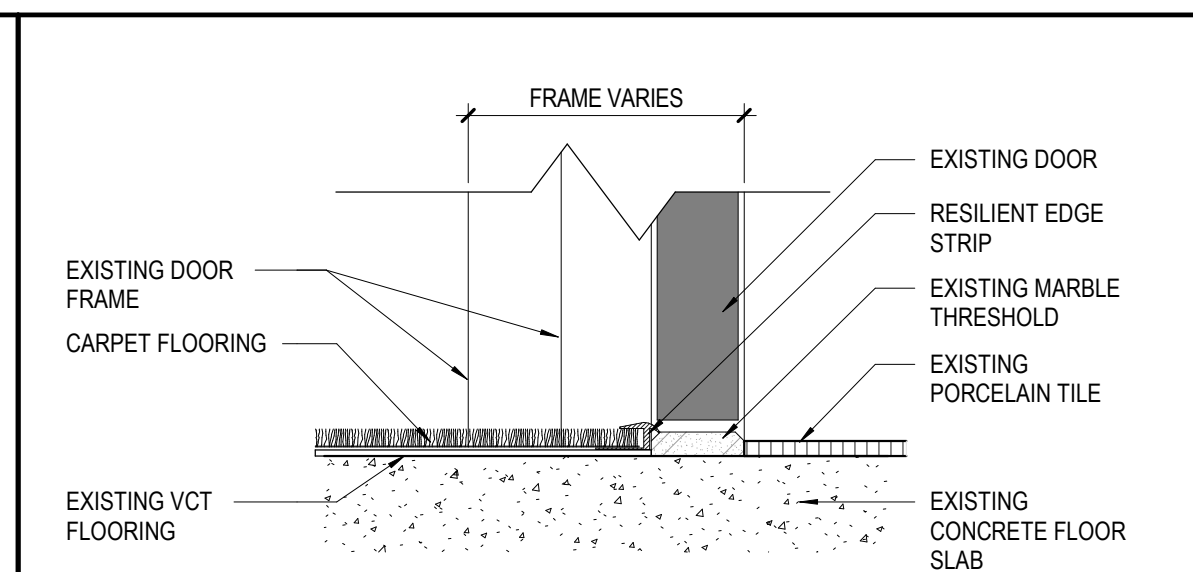
 **FIRST FLOOR PLAN**  
1 A-101 SCALE: 1/16" = 1'-0"

### FLOOR PLAN NOTES

- (PT) INDICATES ROOM TO BE REPAINTED. INCLUDE HOLLOW METAL FRAMES.  
(NF) INDICATES LOCATIONS FOR NEW WALL BASE, AND CARPET FLOORING.  
(WR) WHERE CABINET IS REMOVED, PATCH AND REPAIR FLOORING.  
(S1) S1 DOOR SILL TRANSITION  
(S2) S2 DOOR SILL TRANSITION

### GENERAL FLOOR PLAN NOTES

- A. REFERENCE CASEWORK REPLACEMENT TYPES ON SHEET A-720 MILLWORK ELEVATIONS & DETAILS.  
B. PATCH FLOORING UNDER ALL ACCESSIBLE SINK LOCATIONS AND WHERE CASEWORK WAS REMOVED FOR SMOOTH EVEN FINISH. INSTALL FINISHES AS SCHEDULED.  
C. INSTALL WALL BASE ON THE KICK OF NEW CASEWORK TO MATCH WALL BASE IN ROOM U. O. N.

	S1	CARPET TO RESILIENT	SCALE 3" = 1'-0"
	S2	CARPET TO CERAMIC TILE	SCALE 3" = 1'-0"

TITLE  
FLOOR PLAN

SHEET NO

**A-101**

WACCAMAW ELEMENTARY SCHOOL  
INTERIOR RENOVATIONS

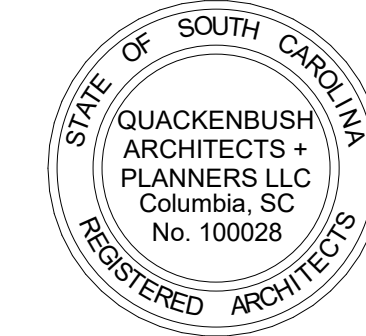
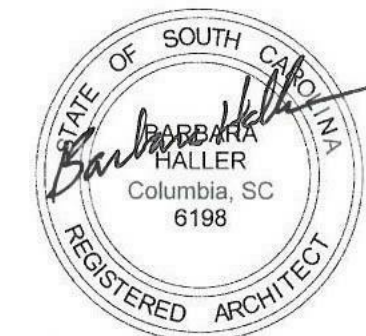
HORRY COUNTY SCHOOL DISTRICT

251 CLAUDY RD. CONWAY, SC

PROJECT TITLE

CORPORATE SEAL

A/E SEAL



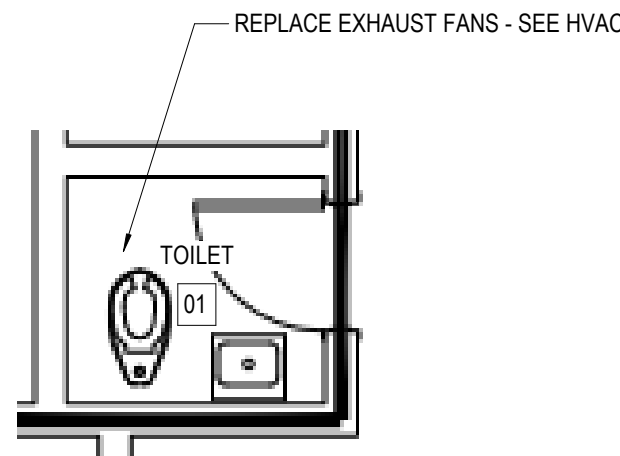
CONDITIONS OF USE  
THIS DRAWING AND THE DESIGN THEREON ARE THE PROPERTY OF  
QUACKENBUSH ARCHITECTS + PLANNERS  
THE REPRODUCTION, COPYING, OR USE OF THIS DRAWING WITHOUT WRITTEN  
CONSENT OF QUACKENBUSH ARCHITECTS + PLANNERS IS PROHIBITED AND  
ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.  
COPYRIGHT TR 2011 QUACKENBUSH ARCHITECTS + PLANNERS

PHASE  
CONSTRUCTION  
DOCUMENTS

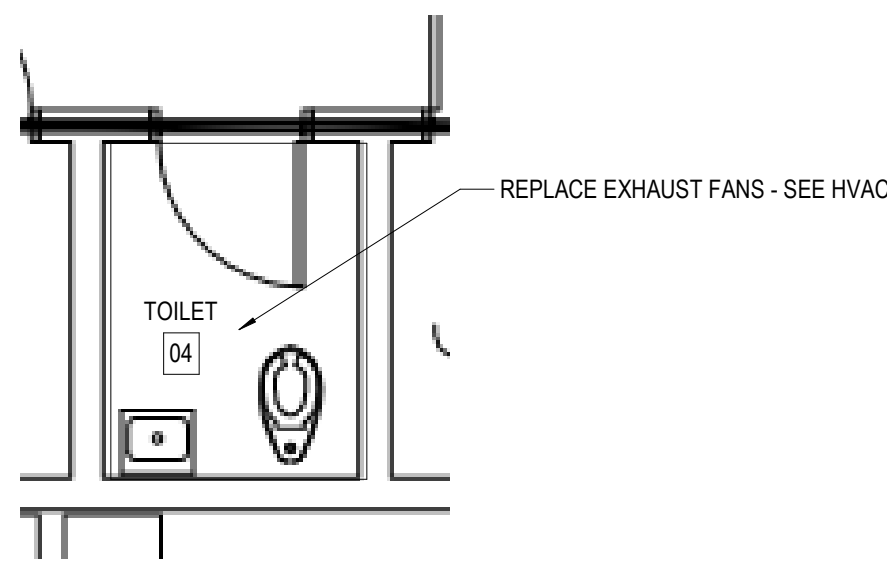
ISSUE DATE 1.13.23  
PROJECT NO. 21.293.00

REVISION DATE

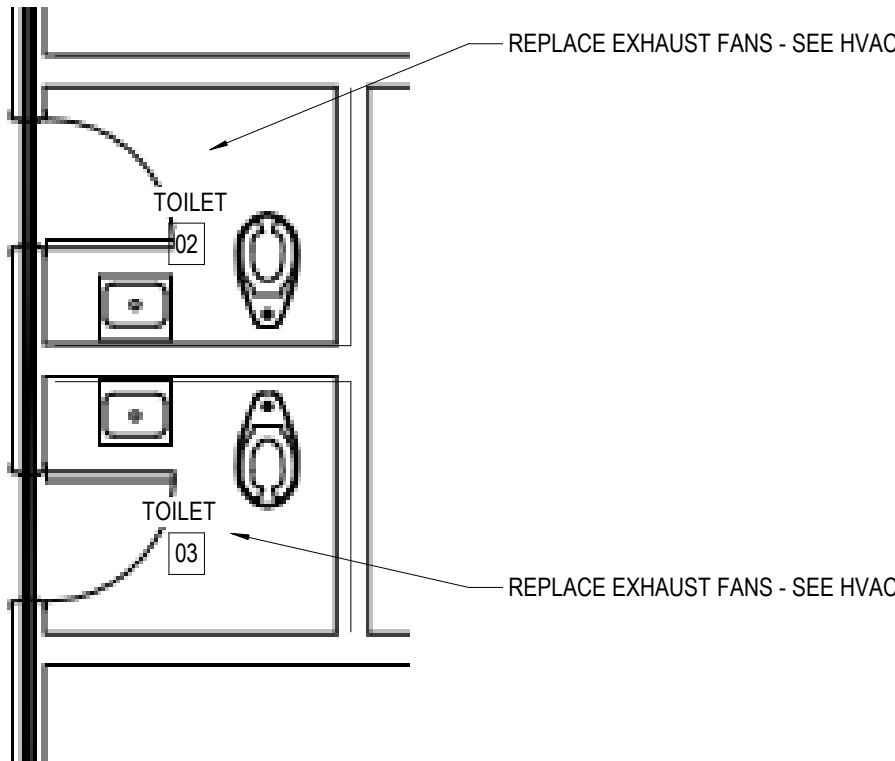




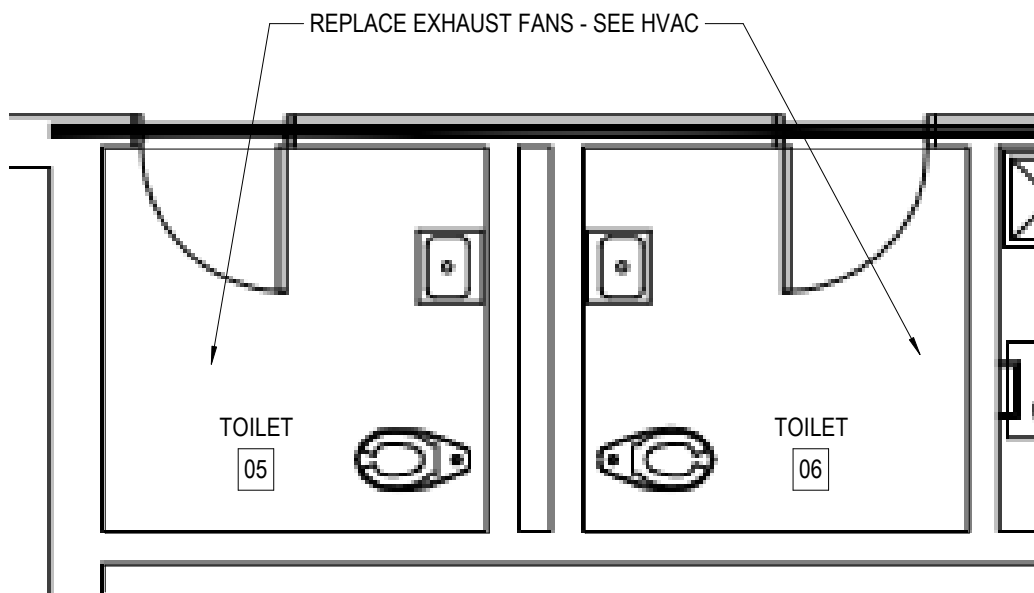
1  
A-400  
STAFF TOILET 01  
SCALE: 1/4" = 1'-0"



3  
A-400  
STAFF TOILET 04  
SCALE: 1/4" = 1'-0"



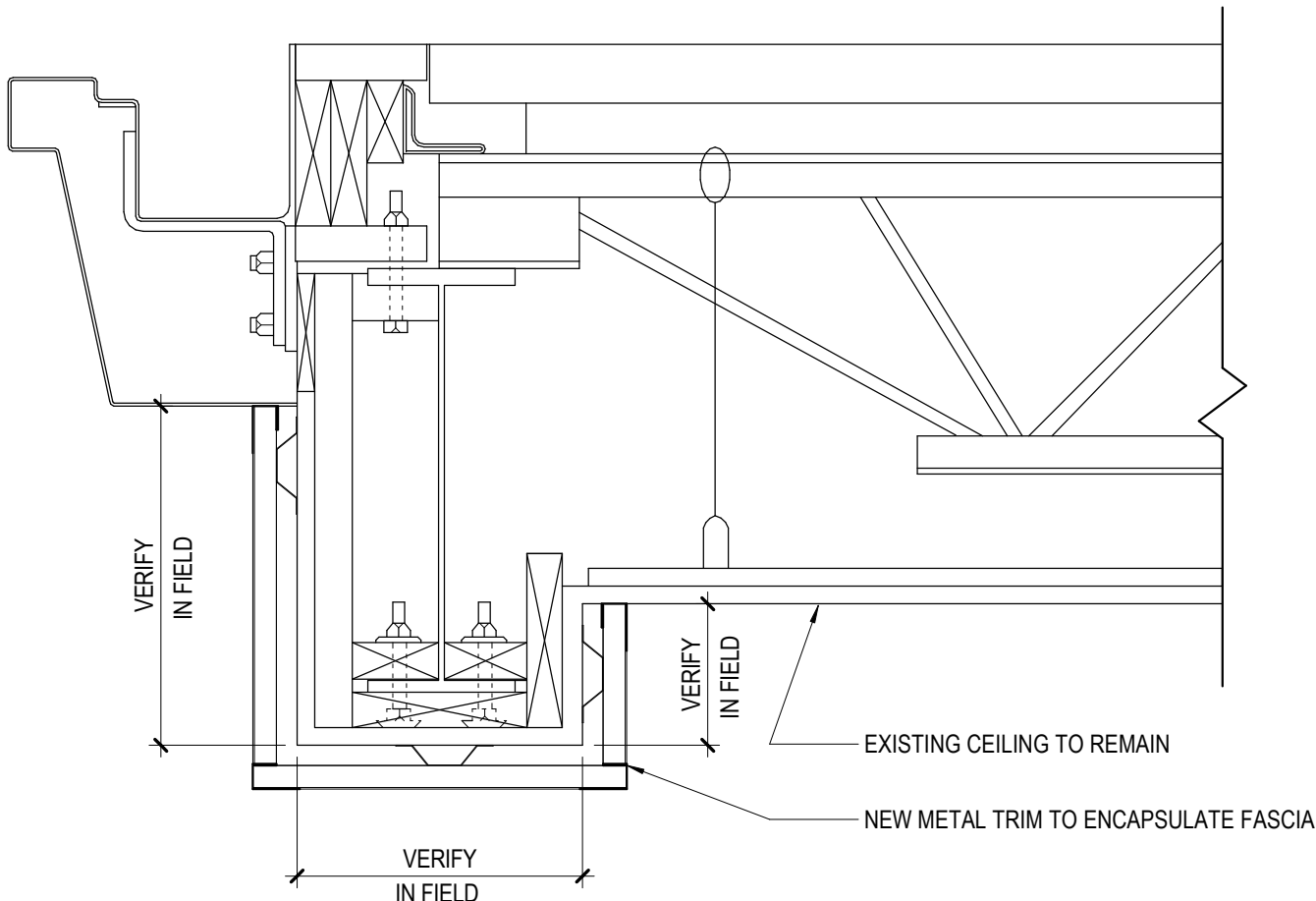
2  
A-400  
STAFF TOILET 02 & 03  
SCALE: 1/4" = 1'-0"



4  
A-400  
STAFF TOILET 05 & 06  
SCALE: 1/4" = 1'-0"

ENCAPSULATE SOFFIT WITH METAL FASCIA

LIGHTING AND CEILING TO REMAIN



5  
A-400  
SECTION AT LOADING DOCK  
SCALE: 1 1/2" = 1'-0"

## ROOM FINISH SCHEDULE

ROOM NO	ROOM NAME	FLOOR FINISH			CEILING	REMARKS
		FLOOR	BASE	WALL FINISH		
100	CHILD DEVELOPMENT	CPT-1	RB-1	P-1, P-2	N/A	
101	CHILD DEVELOPMENT	CPT-1	RB-1	P-1, P-3	N/A	
102	TEACHER PLANNING BOOK STORAGE	NA	NA	TOUCH UP	N/A	ALTERNATE #1
103	CHILD DEVELOPMENT	CPT-1	RB-1	P-1, P-3	N/A	
104	PRE-SCHOOL SPECIAL EDUCATION	CPT-1	RB-1	P-1, P-3	N/A	
105	PRE-SCHOOL SPECIAL EDUCATION	CPT-1	RB-1	P-1, P-2	N/A	
106	3RD CLASSROOM	CPT-1	RB-1	P-1, P-3	N/A	
107	3RD CLASSROOM	CPT-1	RB-1	P-1, P-2	N/A	
108	3RD CLASSROOM	CPT-1	RB-1	P-1, P-3	N/A	
109	3RD CLASSROOM	CPT-1	RB-1	P-1, P-2	N/A	
110	4TH CLASSROOM	CPT-1	RB-1	P-1, P-3	N/A	
111	4TH CLASSROOM	CPT-1	RB-1	P-1, P-2	N/A	
112	4TH CLASSROOM	CPT-1	RB-1	P-1, P-3	N/A	
113	4TH CLASSROOM	CPT-1	RB-1	P-1, P-2	N/A	
114	ART CLASSROOM	CPT-1	RB-1	P-1, P-2	N/A	
115	SPECIAL EDUCATION	CPT-1	RB-1	P-1, P-3	N/A	
116	4TH CLASSROOM	CPT-1	RB-1	P-1, P-2	N/A	
117	INTERVENTION	CPT-1	RB-1	P-1, P-3	N/A	
118	3RD CLASSROOM	CPT-1	RB-1	P-1, P-2	N/A	
119	3RD CLASSROOM	CPT-1	RB-1	P-1, P-3	N/A	
120	GUIDANCE	CPT-1	RB-1	P-1, P-2	N/A	
121	SPECIAL EDUCATION	CPT-1	RB-1	P-1, P-3	N/A	
121A	TIME OUT	CPT-1	RB-1	P-1	N/A	
123	CLASSROOM	CPT-1	RB-1	P-1, P-3	N/A	
200	KINDERGARTEN	CPT-1	RB-1	P-1, P-3	N/A	
201	SPECIAL EDUCATION	CPT-1	RB-1	P-1, P-3	N/A	
202	2ND CLASSROOM	CPT-1	RB-1	P-1, P-2	N/A	
203	2ND CLASSROOM	CPT-1	RB-1	P-1, P-2	N/A	
204	2ND CLASSROOM	CPT-1	RB-1	P-1, P-3	N/A	
205	2ND CLASSROOM	CPT-1	RB-1	P-1, P-3	N/A	
206	MUSIC	CPT-1	RB-1	P-1, P-3	N/A	
206A	MUSIC STORAGE	CPT-1	RB-1	P-1	N/A	
207	BOOK ROOM	EXISTING	EXISTING	TOUCHUP	N/A	
208	1ST CLASSROOM	CPT-1	RB-1	P-1, P-2	N/A	
209	2ND CLASSROOM	CPT-1	RB-1	P-1, P-3	N/A	
210	1ST CLASSROOM	CPT-1	RB-1	P-1, P-3	N/A	
211	1ST CLASSROOM	CPT-1	RB-1	P-1, P-2	N/A	
212	1ST CLASSROOM	CPT-1	RB-1	P-1, P-2	N/A	
213	1ST CLASSROOM	CPT-1	RB-1	P-1, P-3	N/A	
215	1ST CLASSROOM	CPT-1	RB-1	P-1, P-2	N/A	
223	ISS	CPT-1	RB-1	P-1	N/A	
317	TEACHER PLAN BOOK STORAGE	EXISTING	EXISTING	P-1P-2	N/A	
413	SPECIAL EDUCATION	CPT-1	RB-1	P-1, P-3	N/A	
414	RESOURCE	CPT-1	RB-1	P-1, P-2	N/A	
415	SPEECH	CPT-1	RB-1	P-1	N/A	

## INTERIOR FINISH MATERIALS

### CARPET TILE (CPT)

**CPT-1**  
MANUFACTURER: JJ FLOORING GROUP  
TYPE: KINETEX  
STYLE: 1841 CATALYST  
COLOR: 2845 PHASE  
SIZE: 24" X 24"  
INSTALLATION: QUARTER TURN

### PLASTIC LAMINATE (PL)

**PL-1**  
MANUFACTURER: FORMICA  
COLOR: 861-58  
FINISH: MATTE FINISH  
REMARKS: CASEWORK

**PL-2**  
MANUFACTURER: FORMICA  
COLOR: 8529-43 SEA SALT  
FINISH: ARTISAN FINISH  
REMARKS: COUNTER TOPS

### RUBBER BASE (RB)

**RB-1**  
MANUFACTURER: ROPPE  
SERIES: PINNACLE RUBBER WALL BASE  
STYLE: 4" STANDARD COVE  
COLOR: 48 GREY

### PAINT (P)

**P-1**  
MANUFACTURER: SHERWIN WILLIAMS  
COLOR: 7631 CITY LOFT  
REMARKS: GENERAL WALL PAINT COLOR

**P-2**  
MANUFACTURER: SHERWIN WILLIAMS  
COLOR: 7603 POOLHOUSE  
REMARKS: ACCENT COLOR - TEACHING WALL

**P-3**  
MANUFACTURER: SHERWIN WILLIAMS  
COLOR: 7607 SANTORINI BLUE  
REMARKS: ACCENT COLOR - TEACHING WALL

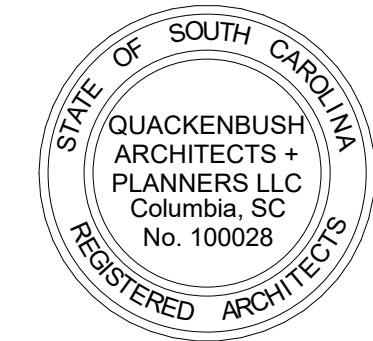
## GENERAL FINISH NOTES

- WHERE SPECIFIC PRODUCTS ARE INDICATED, ITEM DESIGNATION INCORPORATES QUALITY AESTHETIC APPEARANCE. SEE SPECIFICATIONS FOR EQUAL MANUFACTURERS PER PRODUCT TYPE INDICATED. ACTUAL COLOR SELECTION MAY VARY PER BIDDING OUTCOME, DEPENDING ON LOCATION OF ITEM. ALTERNATES SHALL MATCH IN COLOR/TEXTURE, AS WELL AS PERFORMANCE CRITERIA, AS APPROVED BY ARCHITECT.
- WHERE FINISH SCHEDULES INDICATE MULTIPLE COLORS / PATTERNS OF A PARTICULAR FINISH, SEE REMARKS AND FINISH DRAWINGS / ELEVATIONS FOR COMPLETE DESIGNATIONS, LAYOUT AND DIMENSIONS. SEE ENLARGED PLANS FOR REFERENCES.
- SEE FINISH SCHEDULE AND/OR ENLARGED INTERIOR PLANS & ELEVATIONS FOR SPECIFIC PAINT DESIGNATIONS.
- ALL PAINT COLORS AND LOCATIONS ARE TO BE FIELD VERIFIED WITH ARCHITECT PRIOR TO INSTALLATION. PAINT-TO-PAINT COLOR TRANSITIONS ARE TO OCCUR AT INSIDE CORNERS ONLY, UNLESS APPROVED IN THE FIELD BY ARCHITECT.
- PROVIDE FINISH PAINT SYSTEM BEHIND ALL CABINETS, SHELVING, MARKER BOARDS, TACK BOARDS, SMART BOARDS, AND ALL OTHER WALL MOUNTED (SEMI-PERMANENT) ITEMS, UNLESS NOTED OTHERWISE.
- ALL INTERIOR HOLLOW METAL DOOR FRAMES AND WINDOW FRAMES AT AREAS OF WORK TO BE PAINTED TO MATCH EXISTING COLOR UNLESS NOTED OTHERWISE.
- PROVIDE SCHEDULED WALL BASE AT ALL EXPOSED SIDES OF ALL CASEWORK UNLESS NOTED OTHERWISE.
- SCHEDULED BASES SHALL WRAP CORNERS AT DOORS & WINDOWS & RETURN TO JAMB, UNLESS NOTED OTHERWISE.
- SCHEDULED FLOOR FINISHES SHALL TERMINATE AT THE CENTER OF THE DOOR(S) IN THE CLOSED POSITION WHEN FLOOR FINISH CHANGES (MATERIAL OR COLOR). SCHEDULED FLOOR FINISH PATTERN SHALL EXTEND AND ALIGN AT DOORS IF SAME MATERIAL EXTENDS BETWEEN TWO ADJACENT ROOMS.
- SCHEDULED FLOOR FINISHES SHALL EXTEND CONTINUOUSLY UNDERNEATH BASE CABINETRY AND OTHER SEMI-PERMANENT FLOOR MOUNTED ITEMS.
- PROVIDE SELF-LEVELING FLOOR LEVELER AND/OR PATCHING MATERIALS TO MAINTAIN SUBSTRATE LEVELNESS AS REQUIRED BY FLOORING MANUFACTURER AND AS REQUIRED TO MAINTAIN ACCESSIBILITY DIMENSIONS AT FLOOR TRANSITIONS.
- PROVIDE TRANSITION STRIPS AT ALL CONDITIONS WHERE FLOORING MATERIALS CHANGE. ALL TRANSITION STRIPS SHALL MEET ADAAG. WHERE PORCELAIN TILE TRANSITIONS TO ANOTHER FLOORING SURFACE, METAL TRANSITION STRIPS APPROVED DURING SUBMITTAL PROCESS SHALL BE INSTALLED. RUBBER TRANSITION STRIPS SHALL BE PROVIDED AT ALL OTHER FLOORING TRANSITIONS UNLESS NOTED OR DETAILED OTHERWISE.
- PROVIDE PAINT MOCK-UP SAMPLES IN FIELD FOR FINAL SELECTION OF ALL PAINT COLORS, MINIMUM 10X10" FOR WALLS & CEILINGS. PROVIDE LIGHTING EQUAL TO PERMANENT LIGHTING FOR REVIEW.
- PREPARE ALL EXISTING SURFACES AS REQUIRED TO RECEIVE NEW FINISHES AS SCHEDULED.
- WHERE MARKER BOARDS, TACK BOARDS, SMART BOARDS, ETC. ARE REMOVED, PREPARE EXISTING WALL AS REQUIRED TO RECEIVE NEW FINISHES AS SCHEDULED.

ARE SEAL



CORPORATE SEAL



PROJECT TITLE

WACCAMAW ELEMENTARY SCHOOL  
INTERIOR RENOVATIONS  
Horry County School District  
251 CLAUDY RD. CONWAY, SC

CONDITIONS OF USE  
THIS DRAWING AND THE DESIGN THEREON ARE THE PROPERTY OF  
QUACKENBUSH ARCHITECTS + PLANNERS  
THE REPRODUCTION, COPYING, OR USE OF THIS DRAWING WITHOUT WRITTEN  
CONSENT OF QUACKENBUSH ARCHITECTS + PLANNERS IS PROHIBITED AND  
ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

COPYRIGHT TR 2011 QUACKENBUSH ARCHITECTS + PLANNERS

PHASE  
CONSTRUCTION  
DOCUMENTS

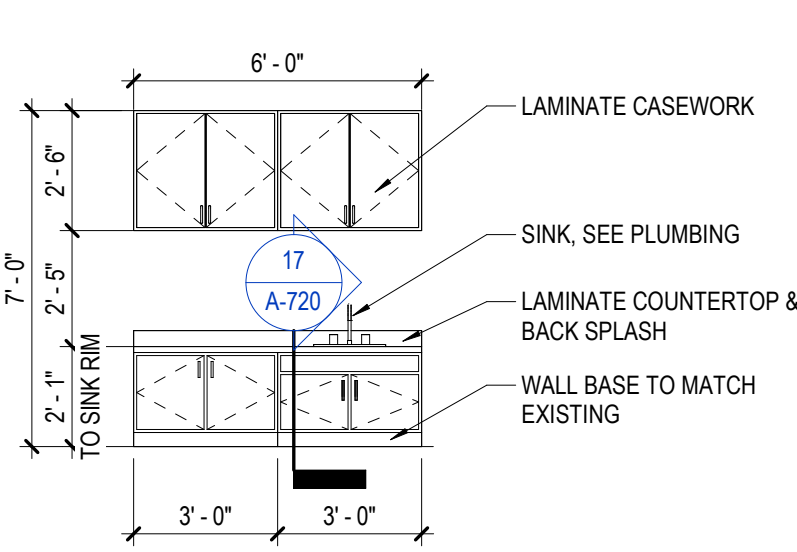
ISSUE DATE 1.13.23  
PROJECT NO. 21.293.00

REVISION DATE

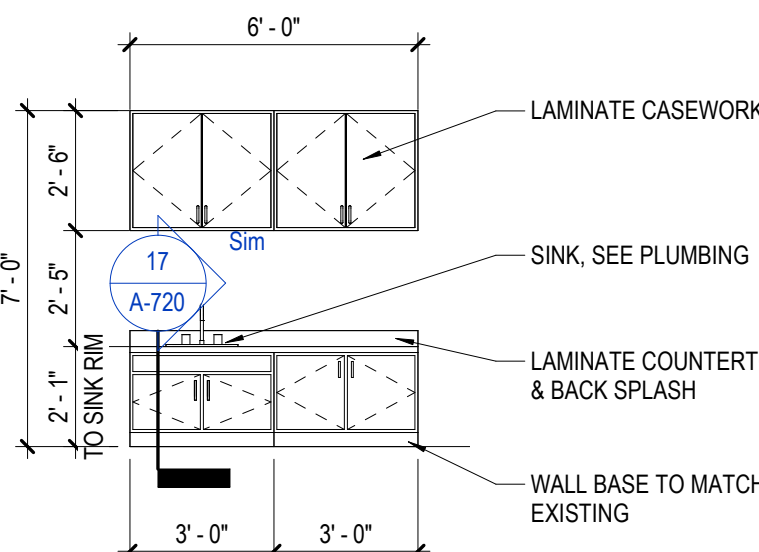
TITLE  
ENLARGED TOILET  
PLANS, ROOM FINISH  
SCHEDULE, FINISH  
MATERIALS, LOADING  
DOCK DETAIL  
SHEET NO

A-400

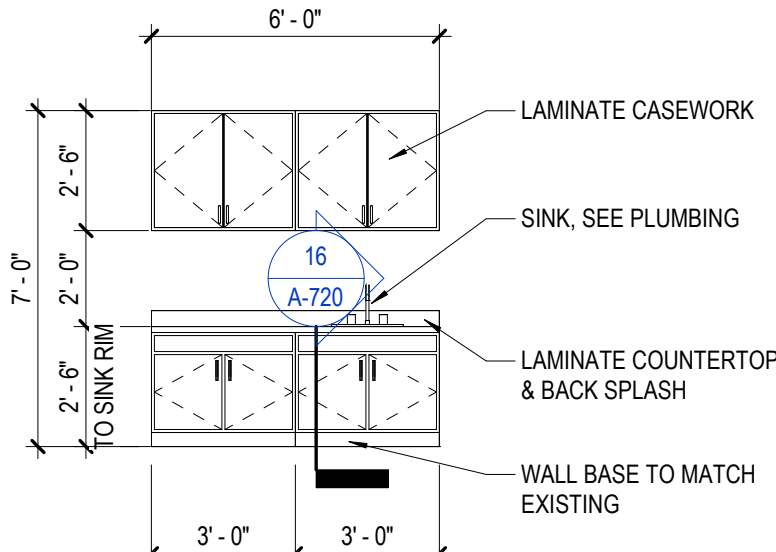




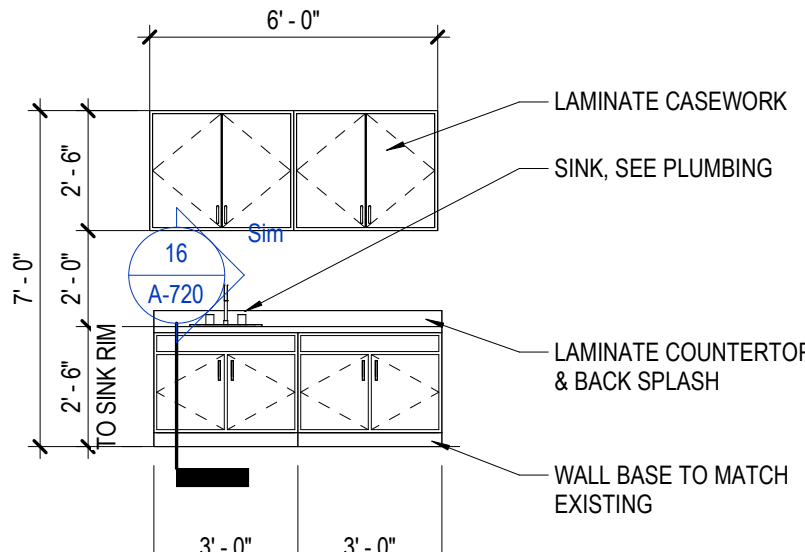
1 CASEWORK TYPICAL 1  
A-720 SCALE: 1/4" = 1'-0"



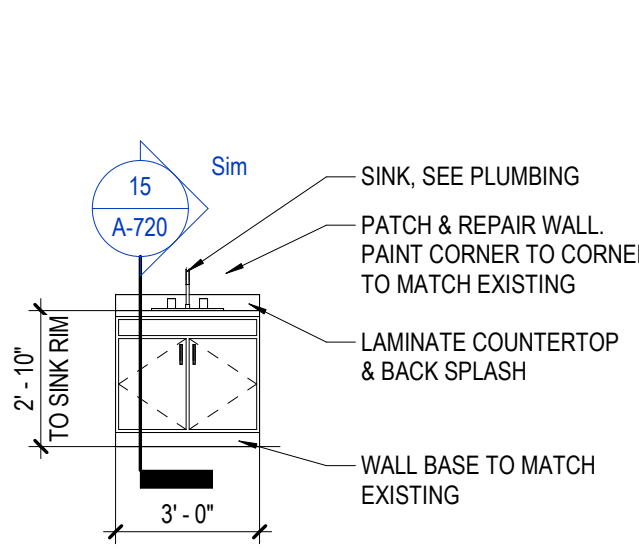
2 CASEWORK TYPICAL 2  
A-720 SCALE: 1/4" = 1'-0"



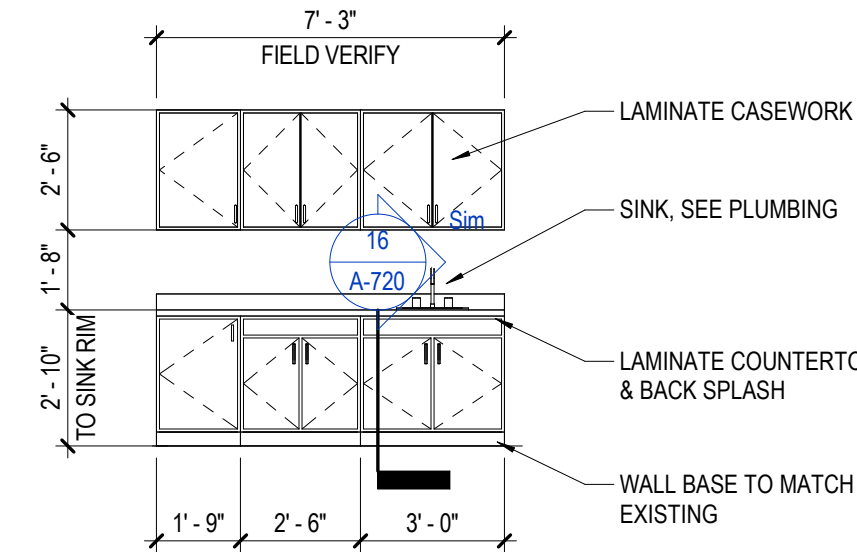
3 CASEWORK TYPICAL 3  
A-720 SCALE: 1/4" = 1'-0"



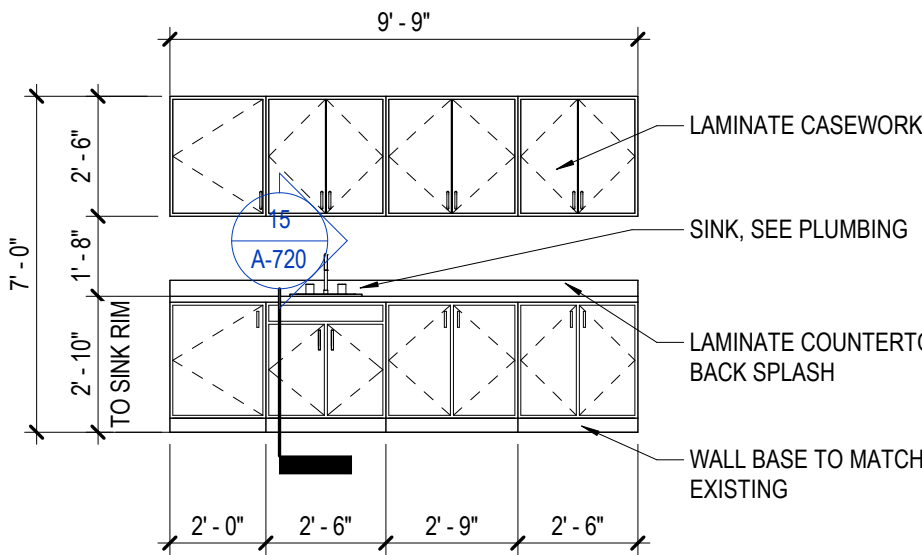
4 CASEWORK TYPICAL 4  
A-720 SCALE: 1/4" = 1'-0"



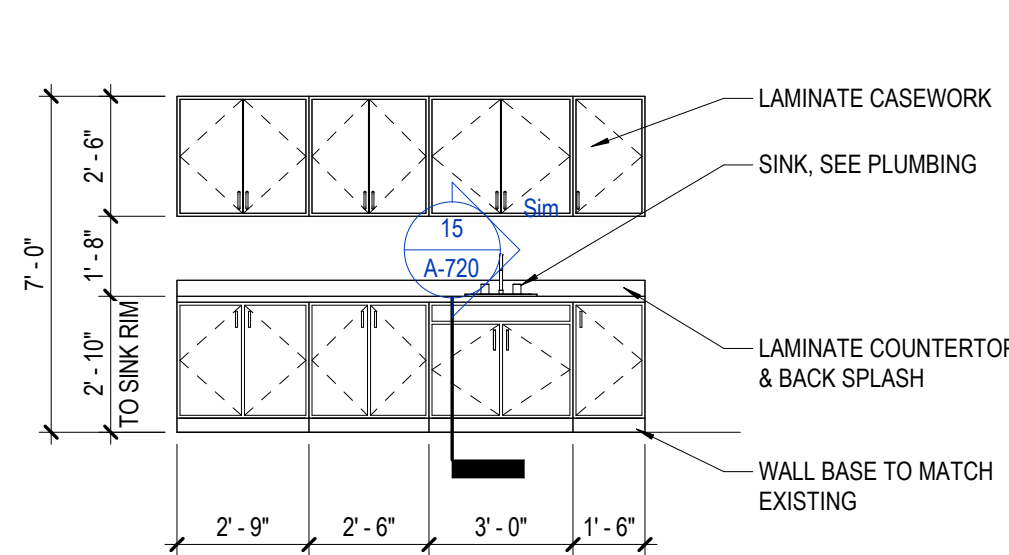
5 CASEWORK TYPICAL 5  
A-720 SCALE: 1/4" = 1'-0"



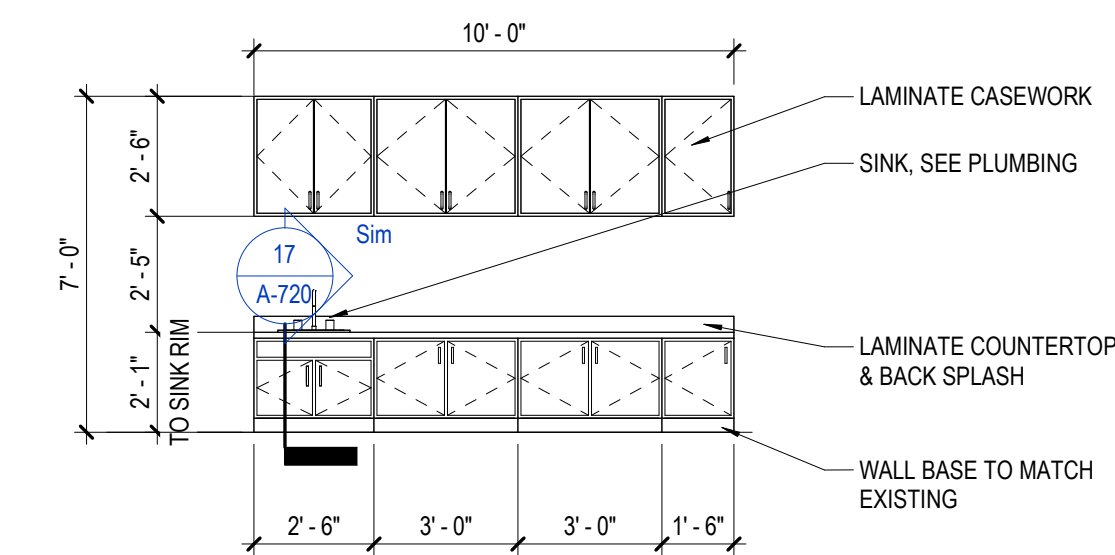
6 CASEWORK 6  
A-720 SCALE: 1/4" = 1'-0"



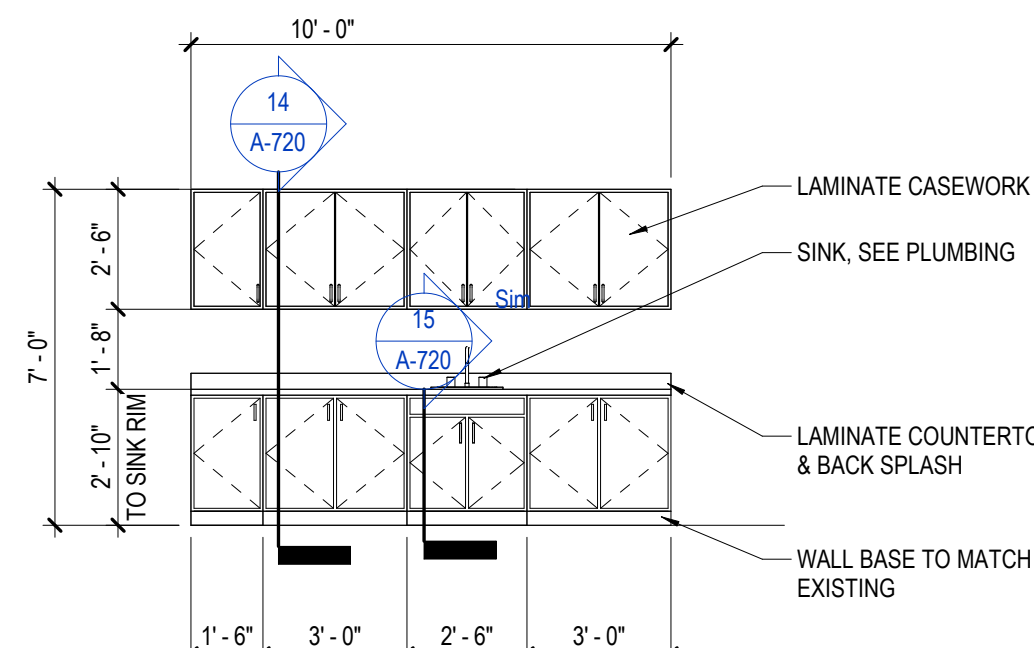
7 CASEWORK 7  
A-720 SCALE: 1/4" = 1'-0"



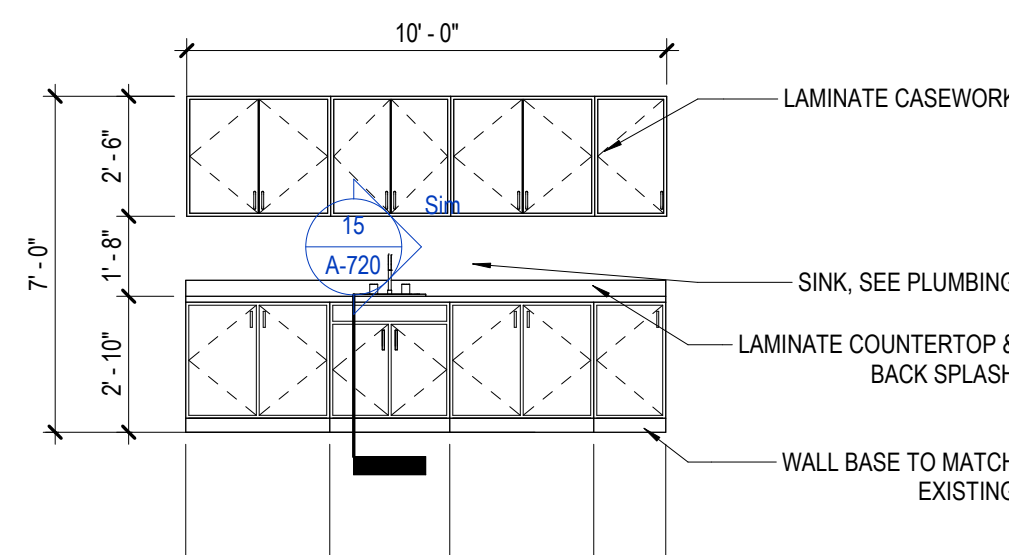
8 CASEWORK 8  
A-720 SCALE: 1/4" = 1'-0"



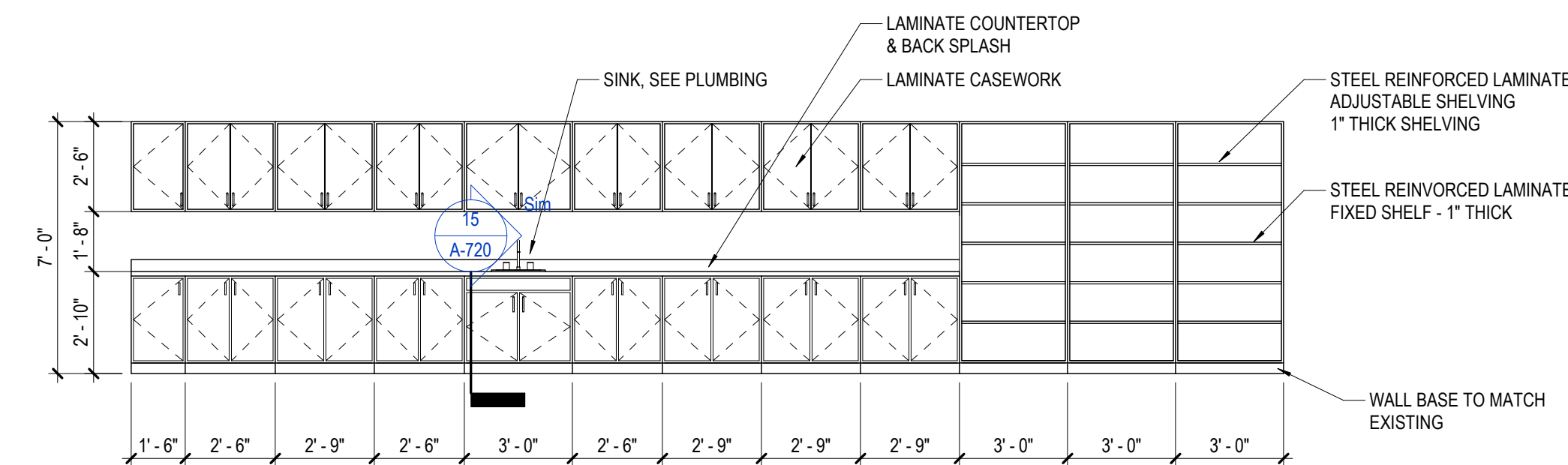
9 CASEWORK 9  
A-720 SCALE: 1/4" = 1'-0"



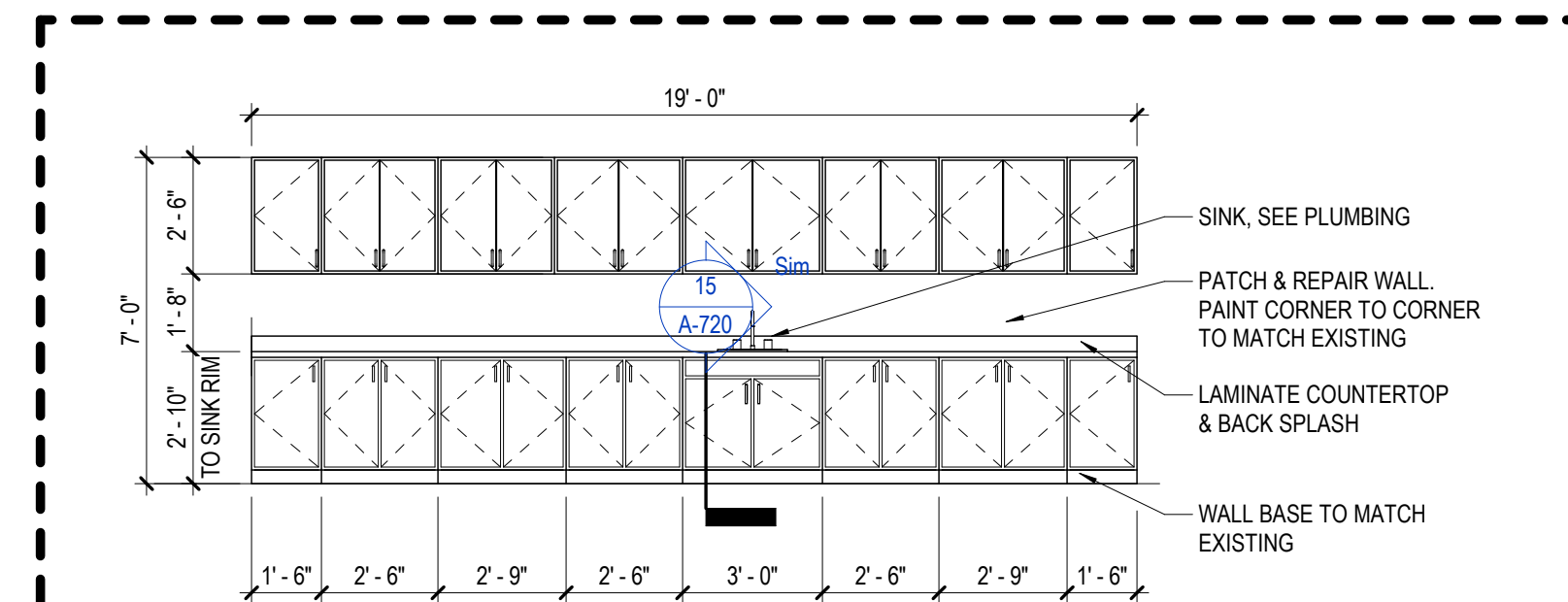
10 CASEWORK 10  
A-720 SCALE: 1/4" = 1'-0"



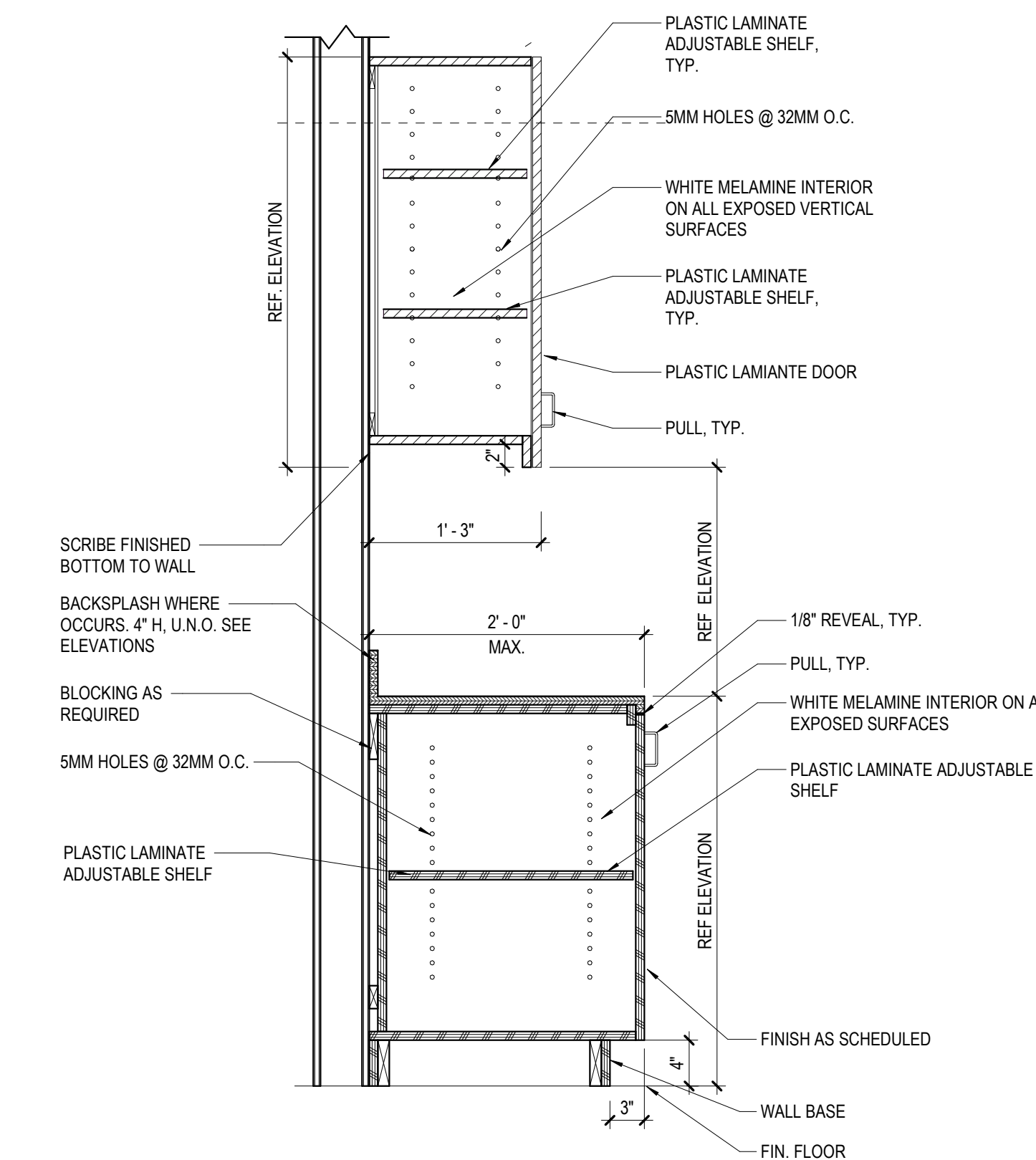
11 CASEWORK 11  
A-720 SCALE: 1/4" = 1'-0"



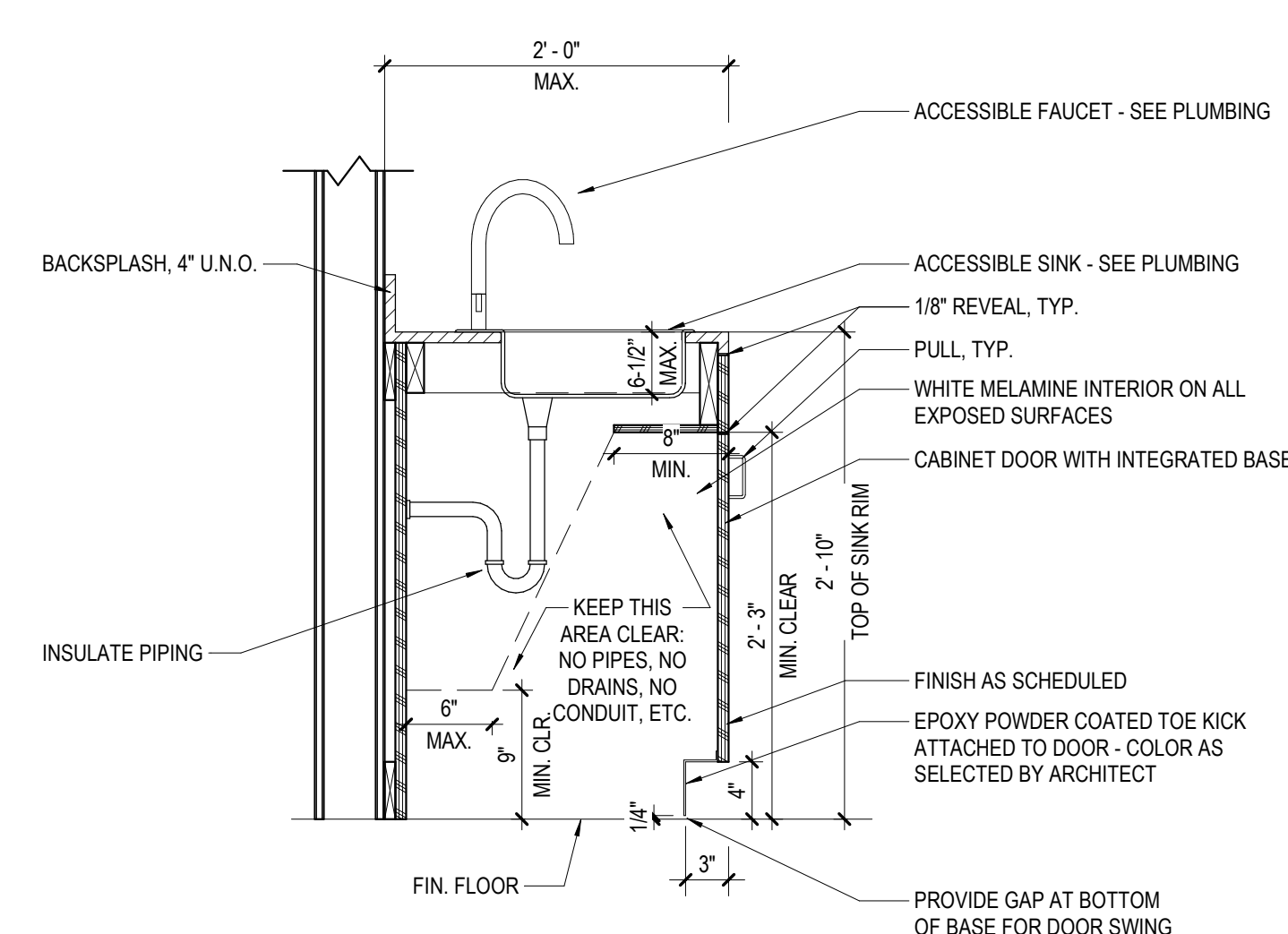
12 CASEWORK 12  
A-720 SCALE: 1/4" = 1'-0"



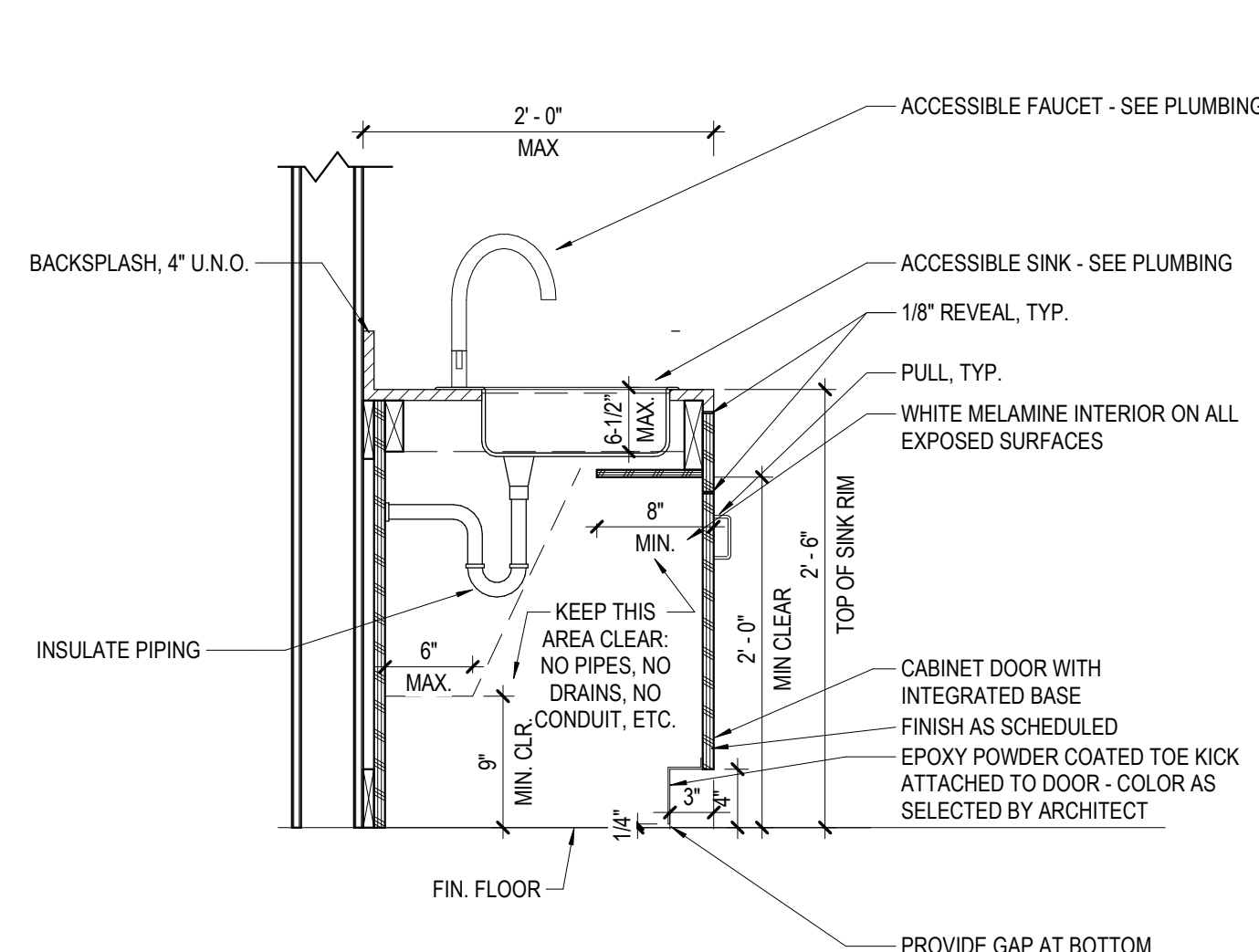
13 ALTERNATE#1 CASEWORK 13  
A-720 SCALE: 1/4" = 1'-0"



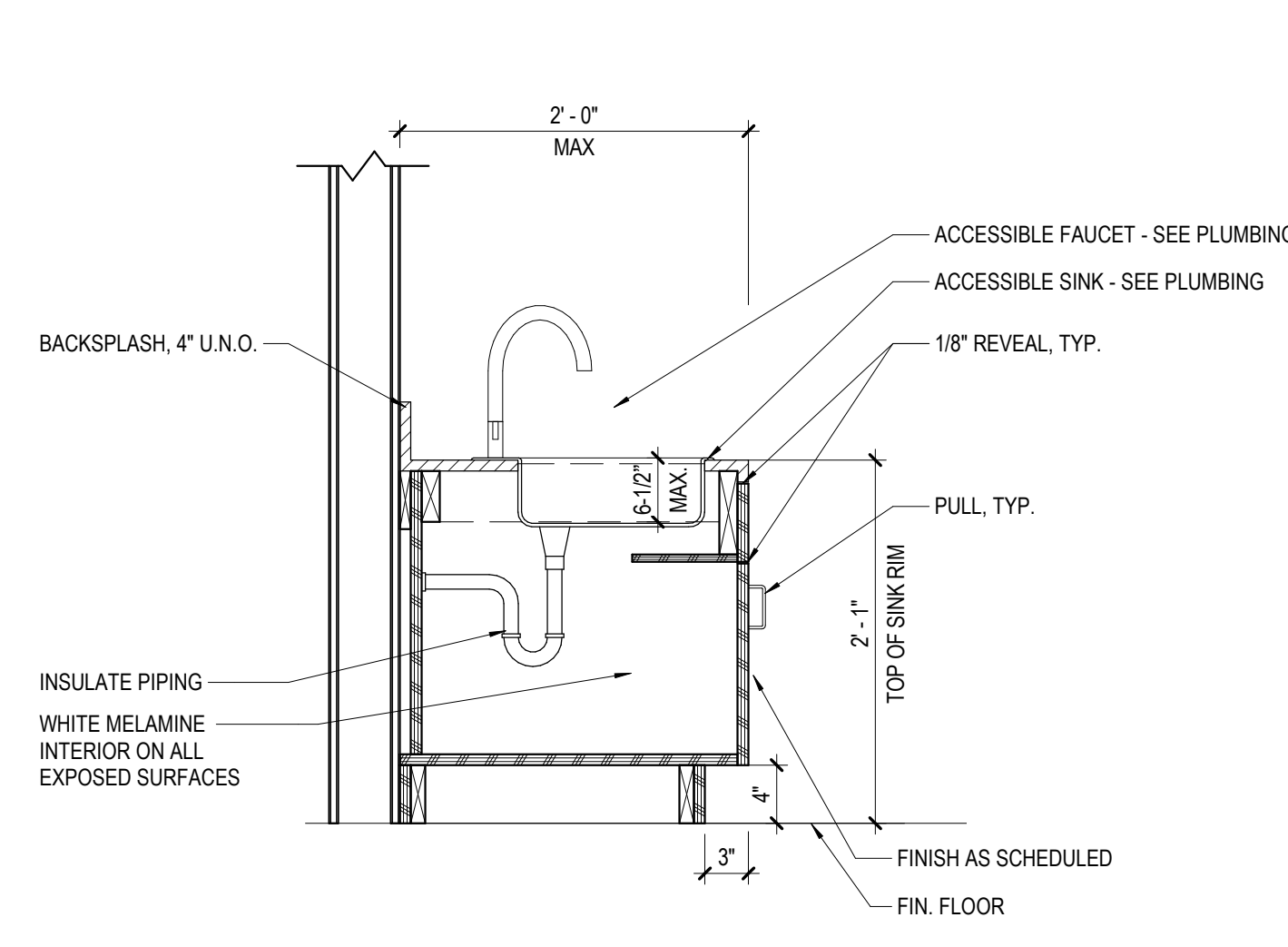
14 TYP BASE AND WALL CABINETS  
A-720 SCALE: 1" = 1'-0"



15 SINK AT 34"H COUNTER  
A-720 SCALE: 1" = 1'-0"



16 SINK AT 30"H COUNTER  
A-720 SCALE: 1" = 1'-0"



17 SINK AT 25"H COUNTER  
A-720 SCALE: 1" = 1'-0"

## GENERAL CASEWORK NOTES

- NOTES APPLY TO ALL CASEWORK & SHELVING SPECIFIED IN DIVISION 6
- MINOR DISCREPANCIES/ DIFFERENCES IN CASEWORK DIMENSIONS ARE ACCEPTABLE. ALL CASEWORK SHALL ALIGN AS SHOWN IN INTERIOR ELEVATIONS.
  - CASEWORK SECTIONS AND DETAILS ARE DIAGRAMMATIC AND MAY VARY BY FABRICATOR OR MANUFACTURER. DISCREPANCIES FROM DESIGN INTENT SHALL BE NOTED IN SUBMITTAL FOR REVIEW AND APPROVAL BY ARCHITECT.
  - SEE FINISH MATERIAL LIST AND ELEVATIONS FOR CASEWORK MATERIAL FINISH SPECIFICATIONS.
  - VERIFY MOUNTING HEIGHTS AND CLEARANCES AT ALL LOCATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THE CONTRACT DRAWINGS.
  - FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION.
  - REFER TO SPECIFICATION SECTIONS FOR ADDITIONAL CONSTRUCTION, INSTALLATION, HARDWARE, FINISH AND/OR OTHER REQUIREMENTS.
  - PROVIDE ALL REQUIRED AND/OR NECESSARY BACKING, BLOCKING AND OTHER STRUCTURAL SUPPORT.
  - ALL END UNITS WITH EXPOSED SIDES SHALL HAVE SCHEDULED FINISH EQUAL TO ALL OTHER EXPOSED SURFACES.
  - PROVIDE CONTINUOUS SEALANT BETWEEN BACKSPLASH & WALL AND BETWEEN BACKSPLASH & COUNTERTOP.
  - PROVIDE FILLER STRIPS AT END OF CASEWORK & WALL. (CONT AT TOP AND BOTTOM OF WALL CABINETS) UNLESS NOTED OTHERWISE. FILLER STRIPS AT BASE CABINETS SHALL FOLLOW TOE KICK PROFILE. FILLER STRIPS SHALL BE Scribed TO ADJACENT SURFACE. FILLER STRIPS SHALL BE A MAXIMUM OF 6" UNLESS NOTED OTHERWISE.
  - PROVIDE 4" BACKSPLASH (TO MATCH COUNTERTOP MATERIAL) AT ALL COUNTERTOPS INCLUDING BACK AND SIDES UNLESS NOTED OTHERWISE.
  - ALL CABINETS AND SHELVING SHALL BE PLASTIC LAMINATE FINISH UNLESS NOTED OTHERWISE.
  - ADJUSTABLE SHELVES IN CABINETS ARE NOT SHOWN FOR CLARITY. SEE CASEWORK SECTIONS FOR SHELVING REQUIREMENTS.
  - CASEWORK FABRICATOR/ MANUFACTURER SHALL VERIFY AND COORDINATE ALL PLUMBING FIXTURES AND ASSOCIATED PIPING TO FIT WITHIN CASEWORK DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
  - ALL BASE CABINETS SHALL HAVE TOE KICK WITH FINISH MATCHING THE BASE CABINET UNLESS NOTED OTHERWISE.
  - VERIFY AND COORDINATE ALL EQUIPMENT SIZES, REQUIRED CLEARANCES, AND SYSTEM ROUGH-IN COMPONENTS. EQUIPMENT MAY BE CONTRACTOR FURNISHED OR OWNER FURNISHED.
  - THE CASEWORK TYPES SHOWN ON THIS SHEET REPRESENT THE STANDARD TYPES WHICH FREQUENTLY OCCUR IN PROJECTS OF THIS NATURE. SOME TYPES MAY NOT BE USED.
  - ALL CASEWORK MODULES BETWEEN 12" AND 24" WIDE INCLUSIVE SHALL BE SINGLE MODULES. MODULE WIDTH VARIES IN INCREMENTS OF 3".
  - ALL CASEWORK MODULES BETWEEN 27" AND 48" WIDE INCLUSIVE SHALL BE DOUBLE MODULES. MODULE WIDTH VARIES IN INCREMENTS OF 3".
  - ALL CASEWORK DOORS AND DRAWERS SHALL BE LOCKABLE. VERIFY WITH KEYING SYSTEM WITH ARCHITECT.

ARE SEAL

CORPORATE SEAL

PROJECT TITLE

WACCAMAW ELEMENTARY SCHOOL  
INTERIOR RENOVATIONS  
HORRY COUNTY SCHOOL DISTRICT  
251 CLAUDY RD. CONWAY, SC

CONDITIONS OF USE  
THIS DRAWING AND THE DESIGN THEREON ARE THE PROPERTY OF  
QUACKENBUSH ARCHITECTS + PLANNERS  
THE REPRODUCTION, COPYING, OR USE OF THIS DRAWING WITHOUT WRITTEN  
CONSENT OF QUACKENBUSH ARCHITECTS + PLANNERS IS PROHIBITED AND  
ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

COPYRIGHT 2011 QUACKENBUSH ARCHITECTS + PLANNERS

PHASE  
CONSTRUCTION  
DOCUMENTS

ISSUE DATE 1.13.23  
PROJECT NO. 21.293.00

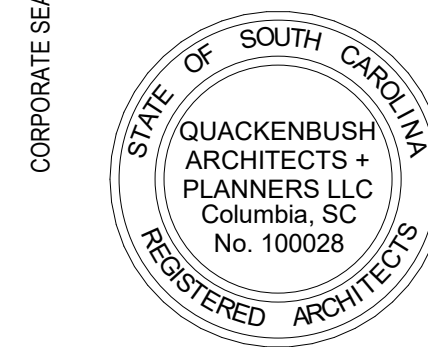
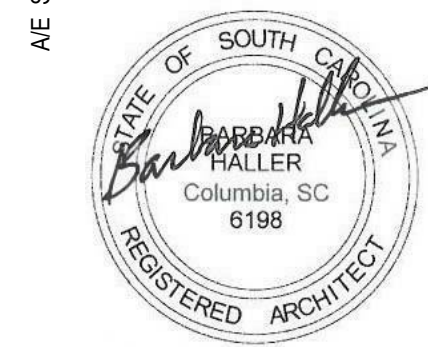
REVISION DATE

TITLE  
MILLWORK  
ELEVATIONS &  
DETAILS

SHEET NO

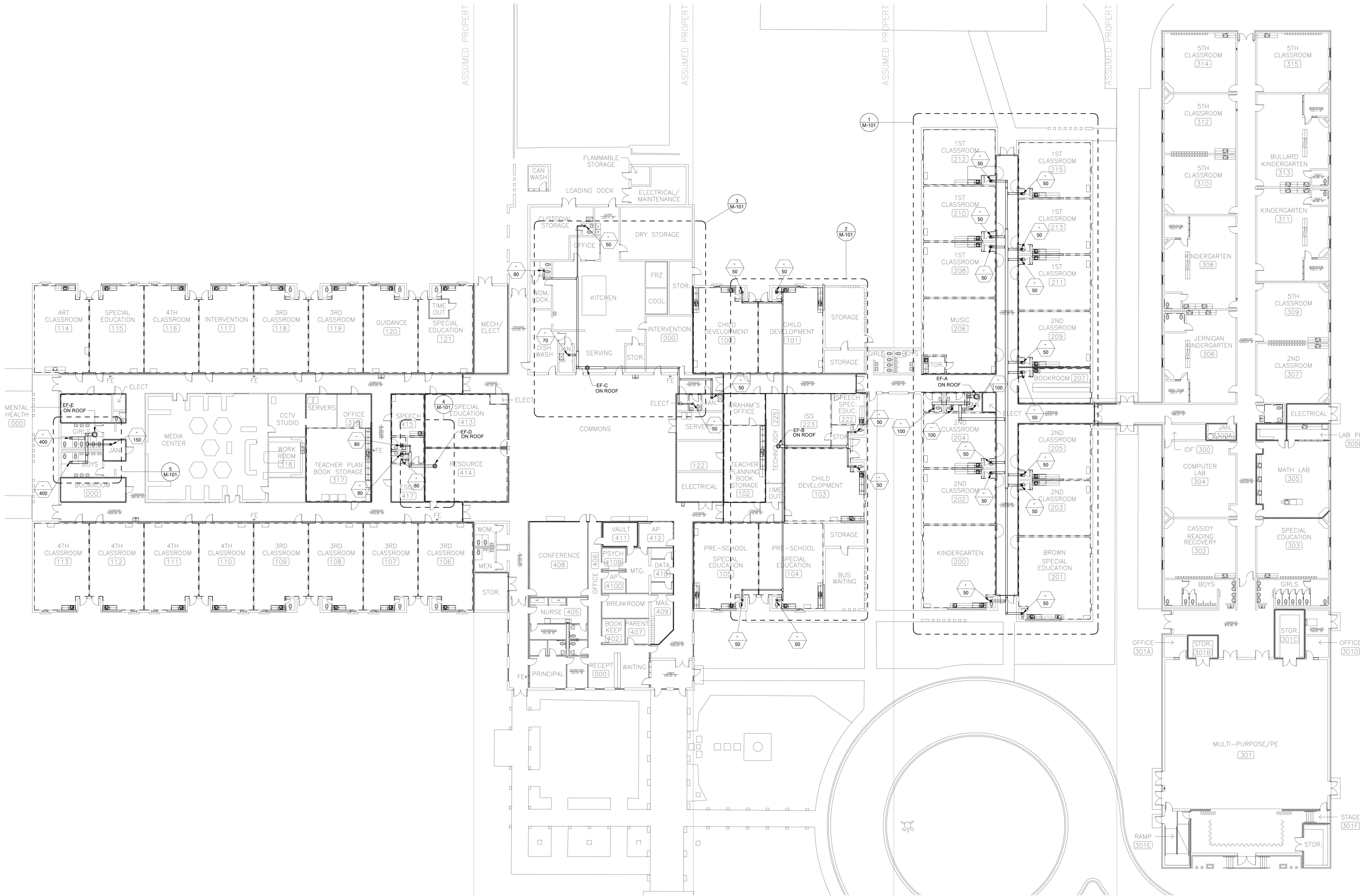
A-720

QUACKENBUSH ARCHITECTS + PLANNERS  
1217 HAMPTON | COLUMBIA, SC | 803.771.2899 | quackenbusharchitects.com





1 FIRST FLOOR PLAN - HVAC  
1/16" = 1'-0"



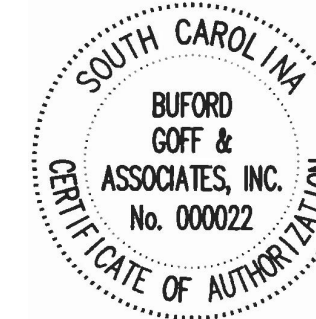
PRE-DEMOLITION TEST AND BALANCE REPORT

1. PRIOR TO ANY DEMOLITION WORK BEING PERFORMED AND PRIOR TO ORDERING ANY NEW FANS, THE T&B CONTRACTOR SHALL PROVIDE TESTING OF THE EXISTING SYSTEMS.
2. THE PRELIMINARY T&B SHALL INCLUDED THE FOLLOWING:
  - A. AIRFLOW AT ALL EXHAUST GRILLES FROM EF-A,B,C,D, AND E
  - B. TOTAL AIRFLOW AND STATIC PRESSURE AT EACH FAN
3. SUBMIT PLANS SHOWING ANY GRILLE DEVIATIONS FROM BID DOCUMENTS.
4. SUBMIT THE T & B REPORT TO THE ARCHITECT/ENGINEER.

A/E SEAL



CORPORATE SEAL



PROJECT TITLE

WACCAMAW ELEMENTARY SCHOOL  
INTERIOR UPGRADES & RENOVATION

HORRY COUNTY SCHOOL DISTRICT

251 CLAUDY RD. CONWAY, SC

CONDITIONS OF USE  
THIS DRAWING AND THE DESIGN THEREON ARE THE PROPERTY OF QUACKENBUSH ARCHITECTS + PLANNERS.  
THE REPRODUCTION, COPYING, OR USE OF THIS DRAWING WITHOUT WRITTEN CONSENT OF QUACKENBUSH ARCHITECTS + PLANNERS IS PROHIBITED AND ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

COPYRIGHT TR 2011 QUACKENBUSH ARCHITECTS + PLANNERS

PHASE  
CONSTRUCTION  
DOCUMENTS

ISSUE DATE 01.13.23  
PROJECT NO. 21.293.00

REVISION DATE

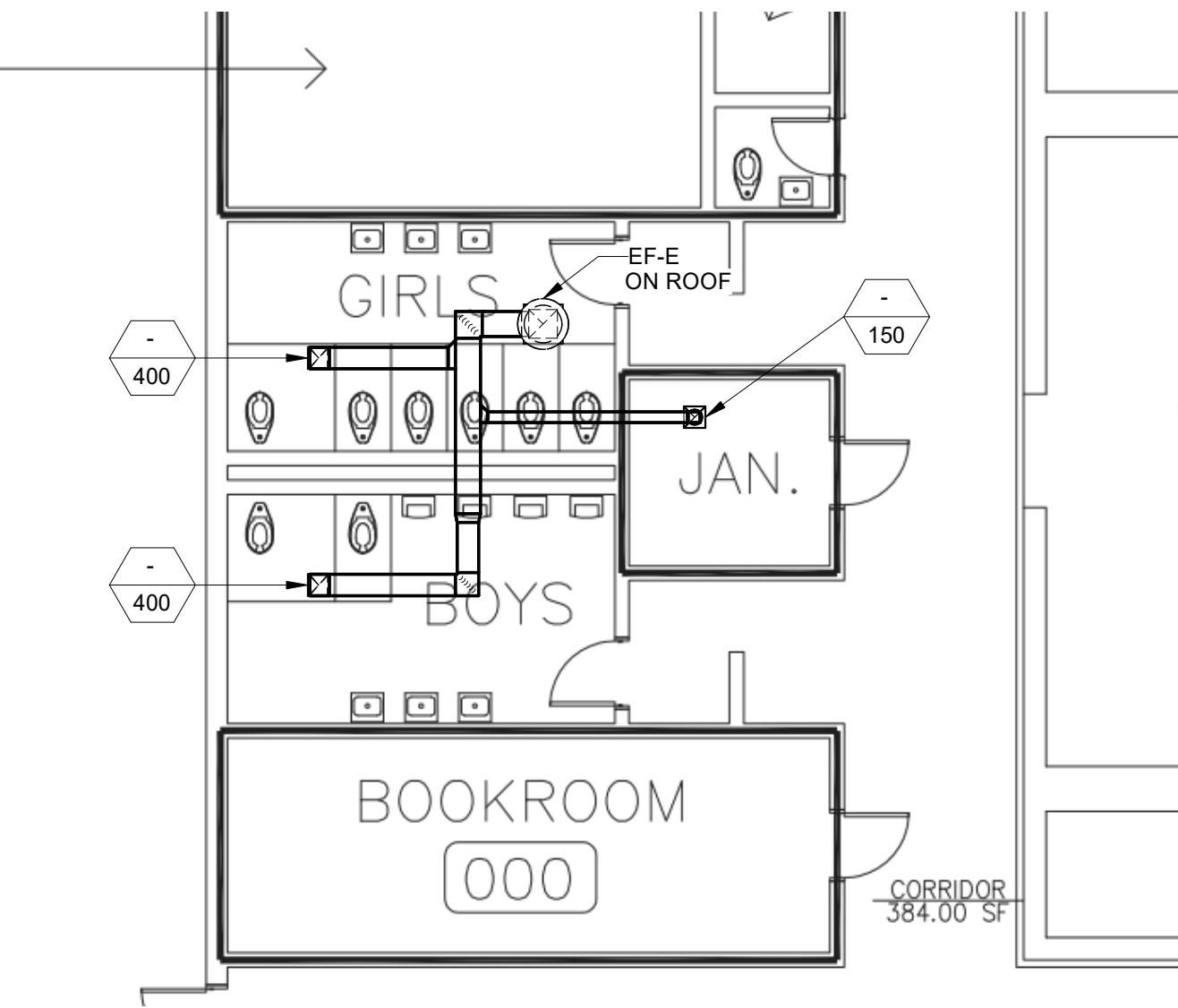
TITLE  
FIRST FLOOR PLAN -  
DEMOLITION AND  
RENOVATION - HVAC

SHEET NO.

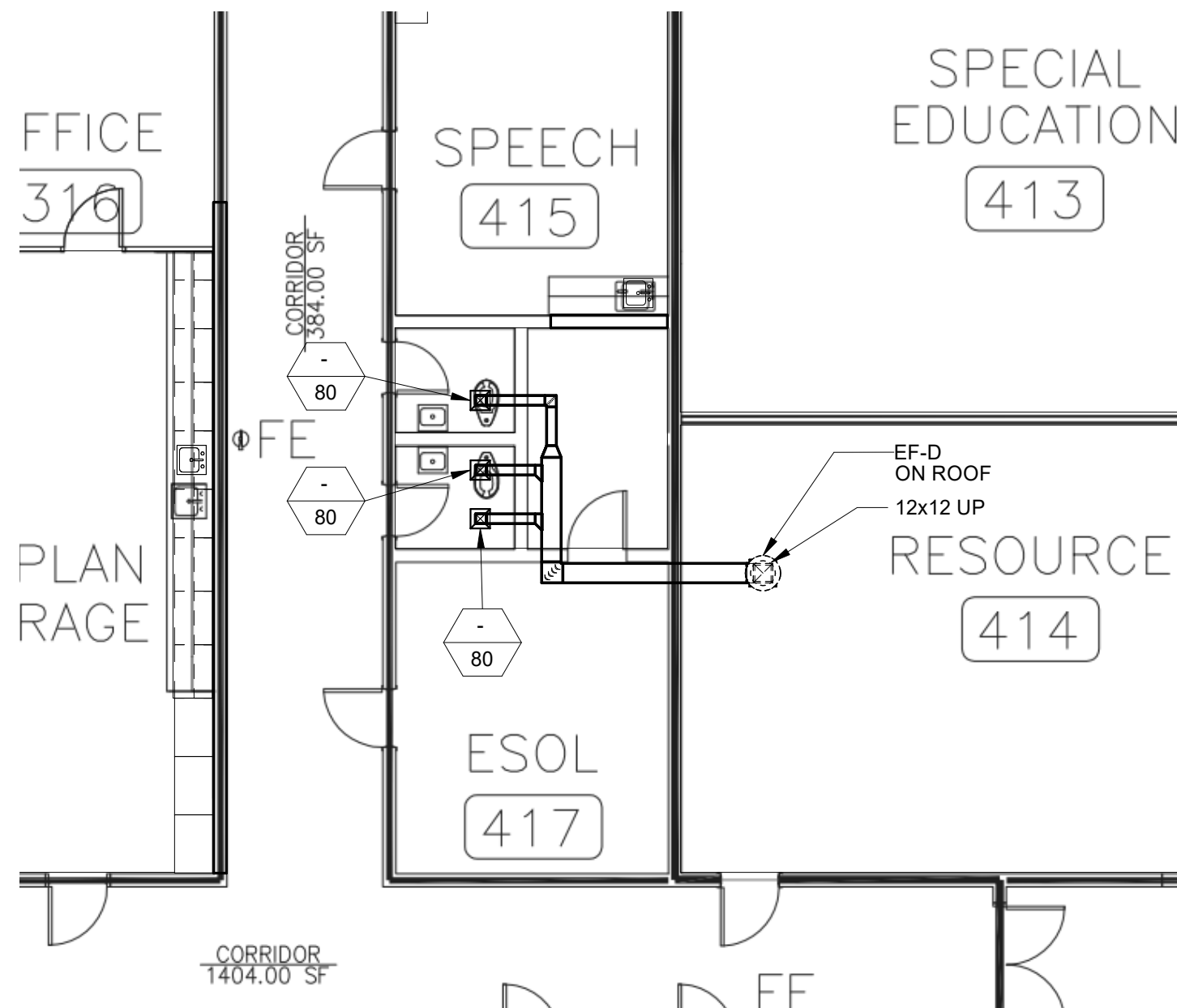
M-100

QUACKENBUSH ARCHITECTS + PLANNERS  
1217 HAMPTON | COLUMBIA, SC | 803.771.2899 | quackenbusharchitects.com

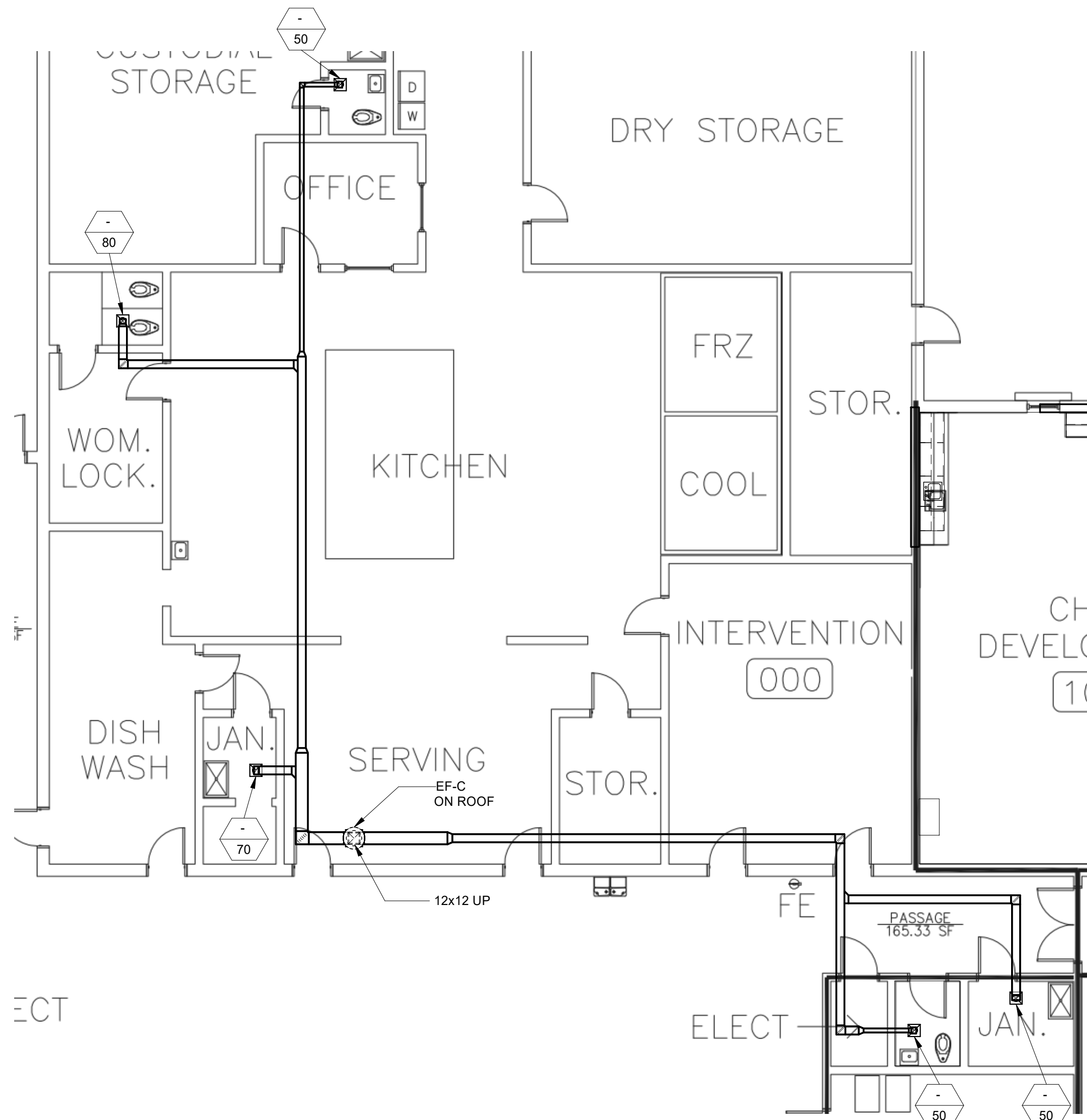




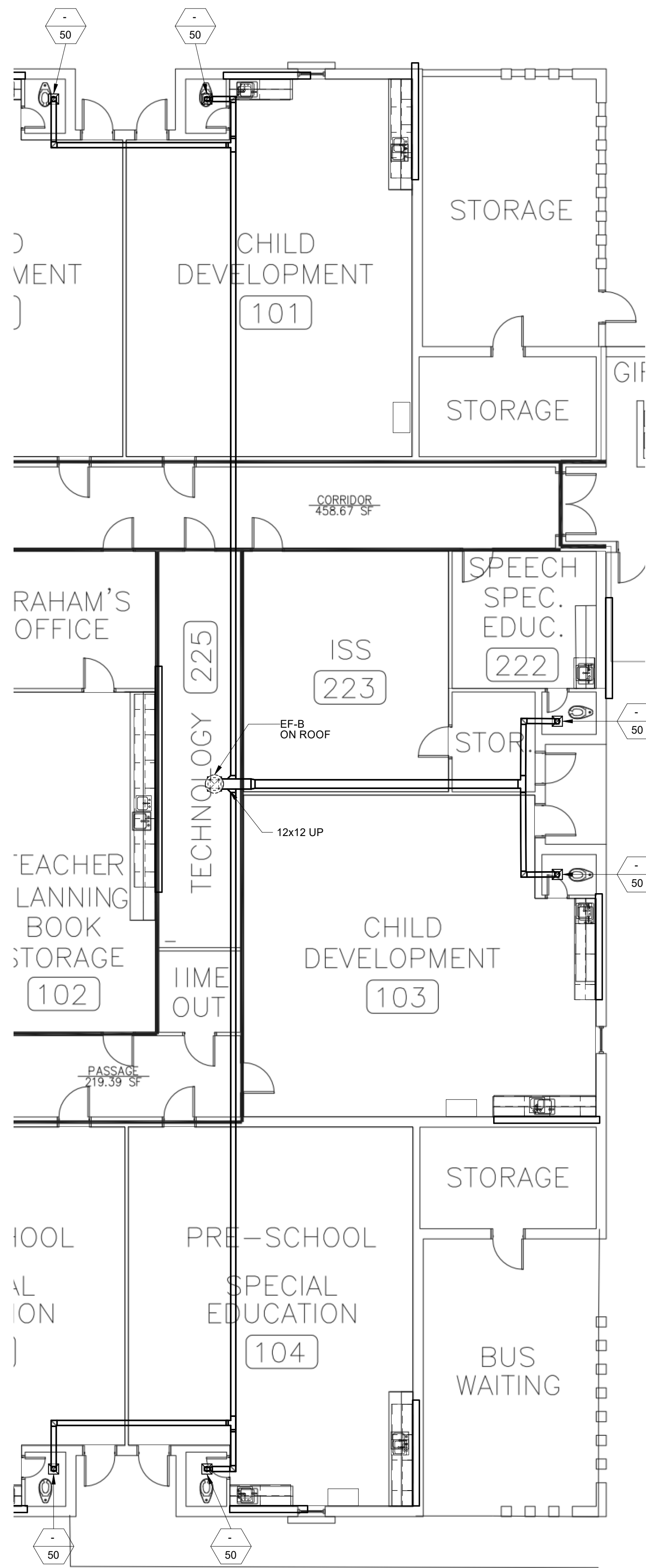
5 ENLARGED PARTIAL FLOOR PLAN - DEMOLITION AND RENOVATION - HVAC  
1/8" = 1'-0"



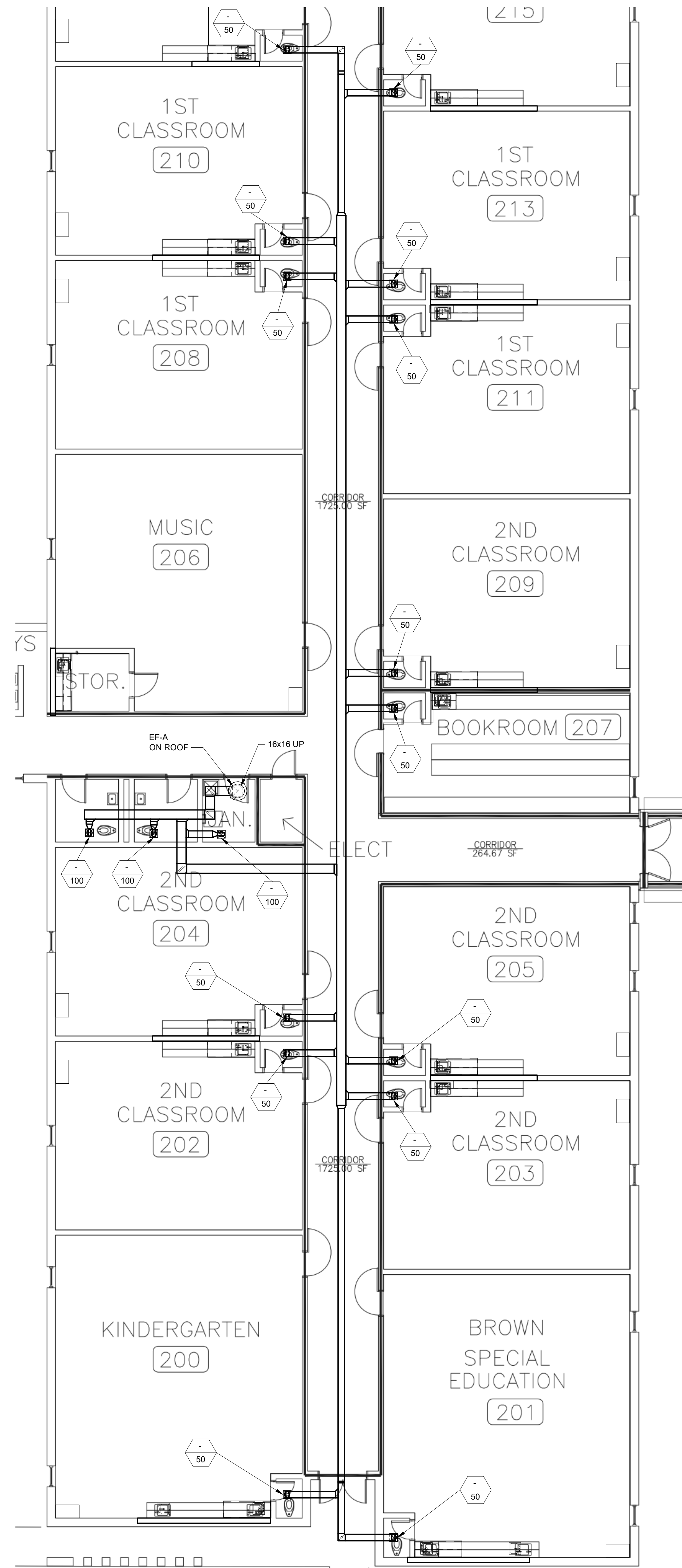
4 ENLARGED PARTIAL FLOOR PLAN - DEMOLITION AND RENOVATION - HVAC  
1/8" = 1'-0"



3 ENLARGED PARTIAL FLOOR PLAN - DEMOLITION AND RENOVATION - HVAC  
1/8" = 1'-0"



2 ENLARGED PARTIAL FLOOR PLAN - DEMOLITION AND RENOVATION - HVAC  
1/8" = 1'-0"



1 ENLARGED PARTIAL FLOOR PLAN - DEMOLITION AND RENOVATION - HVAC  
1/8" = 1'-0"

- NOTES (APPLY TO ALL EXHAUST SYSTEMS ON THIS DRAWING)**
1. REMOVE THE EXISTING ROOFTOP FAN. PROVIDE A CURB ADAPTER FOR THE NEW FAN IF THE NEW FAN SIZE IS LARGER OR SMALLER THAN CAN PROPERLY FIT ON THE EXISTING CURB.
  2. DISCONNECT AND RECONNECT POWER TO THE NEW FAN. IF THE ELECTRICAL CIRCUIT NEEDS TO BE EXTENDED, PROVIDE THE FAN MANUFACTURER'S FITTAIL KIT TO EXTEND THE CIRCUIT.
  3. REBALANCE AIRFLOW TO EACH GRILLE AFTER INSTALLATION OF THE NEW FANS.
  4. CONTROL OF THE NEW FANS SHALL BE THE SAME AS THE EXISTING FANS.

A/E SEAL



CORPORATE SEAL



PROJECT TITLE

WACCAMAW ELEMENTARY SCHOOL  
INTERIOR UPGRADES & RENOVATION  
Horry County School District  
251 CLAUDY RD. CONWAY, SC

CONDITIONS OF USE  
THIS DRAWING AND THE DESIGN THEREON ARE THE PROPERTY OF  
QUACKENBUSH ARCHITECTS + PLANNERS  
THE REPRODUCTION, COPYING, OR USE OF THIS DRAWING WITHOUT WRITTEN  
CONSENT OF QUACKENBUSH ARCHITECTS + PLANNERS IS PROHIBITED AND  
ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

COPYRIGHT TR 2011 QUACKENBUSH ARCHITECTS + PLANNERS

PHASE  
CONSTRUCTION  
DOCUMENTS

ISSUE DATE 01.13.23  
PROJECT NO. 21.293.00

REVISION DATE

TITLE  
ENLARGED FLOOR  
PLANS - DEMOLITION  
AND RENOVATION -  
HVAC

SHEET NO.  
M-101

QUACKENBUSH ARCHITECTS + PLANNERS  
1217 HAMPTON | COLUMBIA, SC | 803.771.2899 | quackenbusharchitects.com



FAN SCHEDULE (NEW)												
FAN #	LOCATION	SERVICE	CFM	ESP	MAX HP	RPM	MAX * SONES	MAX WEIGHT (#)	ELECTRICAL VOLT / PH	CONTROL	MANUFACTURER AND MODEL	REMARKS
EF-A	ROOF	TOILETS	1000	.625	1/4	1725	11.3	150	120/1	⑨	GREENHECK G101	①②③④⑤⑥⑦⑧
EF-B	ROOF	TOILETS	300	.5	1/20	1550	7.6	150	120/1	⑨	GREENHECK G085	①②③④⑤⑥⑦⑧
EF-C	ROOF	TOILETS	350	.5	1/15	1550	7.4	150	120/1	⑨	GREENHECK G090	①②③④⑤⑥⑦⑧
EF-D	ROOF	TOILETS	250	.375	1/20	1550	7.3	150	120/1	⑨	GREENHECK G080	①②③④⑤⑥⑦⑧
EF-E	ROOF	TOILETS/JANITOR	950	.375	1/4	1725	11.2	150	120/1	⑨	GREENHECK G101	①②③④⑤⑥⑦⑧
* SOUND LEVEL DOES NOT INCLUDE ANY UNIT ACOUSTICAL OPTIONS												
① ROOFTOP FAN                      ⑤ DISCONNECT SWITCH                      ⑨ MAINTAIN CONTROL OF FANS PER THE EXISTING FAN CONTROL												
② DIRECT DRIVE                      ⑥ FAN SPEED CONTROLLER												
③ BACKDRAFT DAMPER                      ⑦ ADAPTER CURB												
④ BIRDSCREEN                      ⑧ MANUFACTURERS WIRING PIGTAIL KIT FOR EXTENSION OF POWER WIRING												

9/20

S3201

FAN SCHEDULE (EXISTING) ①												
FAN #	LOCATION	SERVICE	CFM	ESP	HP	RPM	MAX SONES	MAX WEIGHT (#)	ELECTRICAL VOLT / PH	CONTROL	MANUFACTURER AND MODEL	REMARKS
EF-A	ROOF	TOILETS	1000	3/8	1/4	-	-	-	120/1	-	-	
EF-B	ROOF	TOILETS	300	1/8	1/40	-	-	-	120/1	-	-	
EF-C	ROOF	TOILETS	350	1/8	1/30	-	-	-	120/1	-	-	
EF-D	ROOF	TOILETS	250	1/8	1/40	-	-	-	120/1	-	-	
EF-E	ROOF	TOILETS/JAN	950	1/8	1/4	-	-	-	120/1	-	-	
① INFORMATION PROVIDED IS FROM ORIGINAL DESIGN DRAWINGS												

9/20

S3201

EXISTING CURB

ROOF

CURB ADAPTER, NOTE 1

GASKET, NOTE 2

**MECHANICAL SYMBOL LEGEND**

	SUPPLY OR OUTSIDE AIR GRILLE
	RETURN AIR GRILLE
	EXHAUST AIR GRILLE
	DUCT TURNED TO
	DUCT TURNED AWAY
	DUCT CAPPED
	EQUIPMENT LOCATED ON ROOF
	GRILLE SIZE (IF KNOWN)
	AIRFLOW (CFM)

**MECHANICAL ABBREVIATIONS**

CFM	CUBIC FEET PER MINUTE
CLG	CEILING
EF-1	EXHAUST FAN NO.1
EFF	EFFICIENCY
ELEC	ELECTRICAL
ESP	EXTERNAL STATIC PRESSURE
EXT	EXTERNAL
FT	FEET
FLR	FLOOR
HP	HORSE POWER
HP-1	HEAT PIPE NO.1
IN	INCHES
PH	PHASE
SF	SQUARE FOOT
UNO	UNLESS NOTED OTHERWISE
VOLT	VOLTAGE

NOTES:

1. PROVIDE ADAPTER CURB ON TOP OF EXISTING CURB. COORDINATE EXACT SIZE WITH EXISTING CURB AND WITH NEW EQUIPMENT.
2. PROVIDE 1/8" NEOPRENE OR ELASTOMERIC GASKET BETWEEN EXISTING CURB AND ADAPTER CURB.

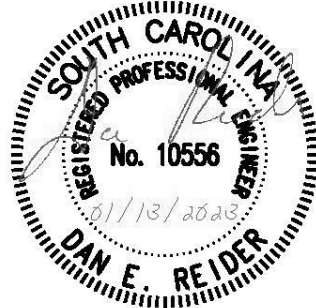
ROOFTOP ADAPTER CURB  
3325E NOT TO SCALE 12/21

SEISMIC AND WIND DESIGN CRITERIA
SEISMIC DESIGN CATEGORY: C
RISK CATEGORY: III
BASIC WIND SPEED: 153 MPH

PROJECT TITLE

WACCAMAW ELEMENTARY SCHOOL  
INTERIOR UPGRADES & RENOVATION  
HORRY COUNTY SCHOOL DISTRICT  
251 CLARBY RD. CONWAY, SC

A/E SEAL



CORPORATE SEAL



CONDITIONS OF USE  
THIS DRAWING AND THE DESIGN THEREON ARE THE PROPERTY OF  
QUACKENBUSH ARCHITECTS + PLANNERS  
THE REPRODUCTION, COPYING, OR USE OF THIS DRAWING WITHOUT WRITTEN  
CONSENT OF QUACKENBUSH ARCHITECTS + PLANNERS IS PROHIBITED AND  
ANY INFRAINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

COPYRIGHT TR 2011 QUACKENBUSH ARCHITECTS + PLANNERS

PHASE  
CONSTRUCTION  
DOCUMENTS

ISSUE DATE 01.13.23  
PROJECT NO. 21.293.00

REVISION DATE

TITLE  
NOTES, LEDGENDS,  
SCHEDULES AND  
DETAILS - HVAC

SHEET NO

M-200



PLUMBING FIXTURE CONNECTION SCHEDULE *								
P-NO.	FIXTURE	COLD WATER SIZE	HOT WATER SIZE	WASTE			VENT SIZE	REMARKS
				DIRECT SIZE	INDIRECT SIZE	DRAIN		
P-1	SINK - SINGLE COMPARTMENT - STUDENT - ADA	1/2"	-	1 1/2"	-	-	-	①②
P-2	SINK - SINGLE COMPARTMENT - COUNTER TOP - ADA	1/2"	1/2"	1 1/2"	-	-	-	①②
<div>REMARKS</div> <div><div>①</div>TIE-IN TO EXISTING WASTE &amp; VENT IN WALL</div> <div><div>②</div>TIE-IN TO EXISTING SUPPLY PIPING IN WALL</div> <div>* GENERAL PLUMBING FIXTURE NOTES (THESE NOTES APPLY TO ALL APPLICABLE PLUMBING FIXTURES):</div> <div><div>a.</div>THE CONTRACT DOCUMENTS ARE INTENDED TO PROVIDE A GUIDE FOR THE PLUMBING CONTRACTOR FOR THE PURPOSES OF BIDDING THIS PROJECT. THE PLUMBING CONTRACTOR SHALL COORDINATE ALL ROUGH-IN LOCATIONS AND FINAL CONNECTION WITH APPROVED SHOP DRAWINGS AND CUT SHEETS.</div> <div><div>b.</div>THE PLUMBING CONTRACTOR SHALL PROVIDE ALL MATERIALS NECESSARY TO PROVIDE FINAL CONNECTIONS TO EQUIPMENT INCLUDING OWNER FURNISHED EQUIPMENT IF ANY.</div> <div><div>c.</div>PROVIDE SUPPLY STOPS, P-TRAPS AND REDUCER FITTINGS. PROVIDE ALL OTHER ACCESSORIES AT EACH PIECE OF EQUIPMENT TO ALLOW THE EQUIPMENT TO OPERATE PROPERLY IN ACCORDANCE WITH ALL PERTINENT CODES AND EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.</div>								

PLUMBING DEMOLITION NOTES	
1.	DRAWINGS SHOW GENERAL INTENT OF DEMOLITION. QUANTITIES, LOCATIONS, SIZES AND EQUIPMENT ARE SHOWN TO INDICATE TYPE OF SYSTEM INSTALLED AND DOES NOT NECESSARILY REPRESENT EXACT CONDITIONS. CONTRACTOR SHALL FIELD VERIFY BEFORE BIDDING.
2.	DEMOLITION OF EQUIPMENT, SYSTEMS AND COMPONENTS SHALL INCLUDE ALL SUPPORTS, PADS, HANGERS, INSULATION, CONTROLS, STARTERS, ACCESSORIES AND APPURTENANCES NOT REQUIRED FOR THE INSTALLATION OF THE NEW SYSTEM.
3.	WHEN PARTIAL DEMOLITION OF A SYSTEM IS INDICATED, THE PART OF THE SYSTEM SHOWN TO BE REMOVED SHALL BE REMOVED TO THE ACTIVE MAIN OR BRANCH IF NOT REQUIRED FOR THE INSTALLATION OF THE NEW SYSTEM. THE ACTIVE MAIN OR BRANCH SHALL BE REPAIRED TO MATCH THE NEW INSTALLATION AS PRACTICAL. IF SYSTEM IS INSULATED, INSULATION SHALL BE PATCHED AND FINISH REPAIR (I.E.: VAPOR BARRIER, COATING, ETC.).
4.	PATCHING OF BUILDING STRUCTURES AND FINISHES SHALL PERTAIN TO ALL WALLS, FLOORS, SLABS, ROOFS, STRUCTURES AND FINISHES. PATCHES SHALL MATCH EXISTING STRUCTURE, FIRE RATING AND FINISH.
5.	ALL OPENINGS CREATED BY THE ABANDONMENT OR REMOVAL OF EXISTING SYSTEMS SHALL BE PATCHED.
6.	ALL WALLS, ROOFS, SLABS, STRUCTURES AND FINISHES WHOSE FINISH IS IRREGULAR DUE TO THE REMOVAL OF SYSTEMS, SUPPORTS, PADS, ACCESSORIES AND APPURTENANCES SHALL BE PATCHED.
7.	ALL FINISHES SHALL MATCH EXISTING FINISH. WHEN FINISH OBVIOUSLY DOES NOT MATCH EXISTING FINISH SUCH AS SHADE OF PAINT, AGE OF FINISH, ETC., THE FINISH SHALL BE APPLIED TO THE PATCH AND THE SURFACE IN ALL DIRECTIONS UNTIL A SURFACE CHANGE OF A MINIMUM 45 DEGREE.
8.	REMOVAL OF SYSTEMS SHALL INCLUDE COMPLETE SYSTEM WHENEVER PRACTICAL. IF NOT, SYSTEM (I.E.: PIPE, CONDUIT, ETC.) SHALL BE REMOVED TO 1 INCH BELOW SURFACE.
9.	WHEN WASTE SYSTEMS ARE REMOVED BUT VENT THRU ROOF ARE SPECIFIED TO REMAIN, VENT SHALL BE SECURED TO ROOF STRUCTURE. VENT SHALL ALSO BE CAPPED ON ROOF AND IN THE BUILDING.

PS132

WACCAMAW ELEMENTARY SCHOOL  
INTERIOR RENOVATIONS  
HORRY COUNTY SCHOOL DISTRICT  
251 CLARBY RD. CONWAY, SC

PROJECT TITLE

CORPORATE SEAL

A/E SEAL

TITLE  
PLUMBING NOTES,  
LEGENDS &  
SCHEDULES

SHEET NO

P-001

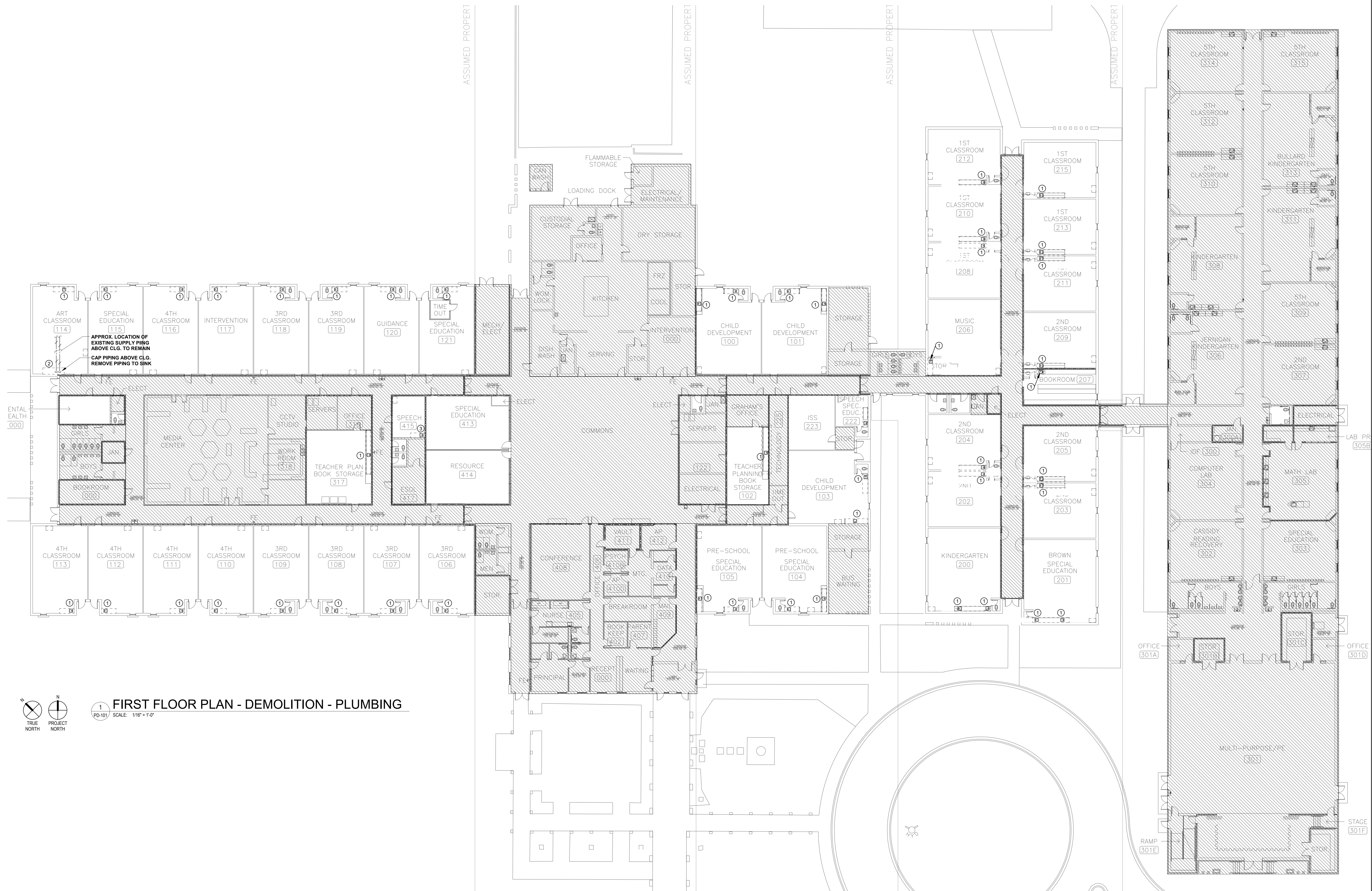
PHASE  
CONSTRUCTION  
DOCUMENTS  
  
ISSUE DATE 01.13.23  
PROJECT NO. 21.293.00

REVISION DATE

CONDITIONS OF USE  
THIS DRAWING AND THE DESIGN THEREON ARE THE PROPERTY OF  
QUACKENBUSH ARCHITECTS + PLANNERS  
THE REPRODUCTION, COPYING, OR USE OF THIS DRAWING WITHOUT WRITTEN  
CONSENT OF QUACKENBUSH ARCHITECTS + PLANNERS IS PROHIBITED AND  
ANY INFREQUENT WILL BE SUBJECT TO LEGAL ACTION.  
COPYRIGHT 19-2019 QUACKENBUSH ARCHITECTS + PLANNERS







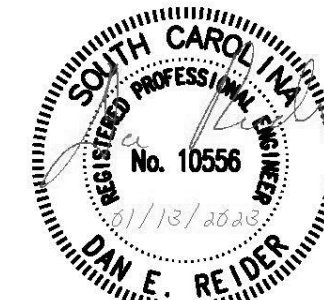
## DEMOLITION NOTES:

- 1 REMOVE EXISTING SINK, FAUCET & PIPING IN CABINET. CLEAN-UP EXISTING EXPOSED PIPING TO RECEIVE NEW FIXTURE & PIPING
- 2 REMOVE EXISTING PIPING IN CLASSROOM. CAP PIPING IN WALL. PATCH WALL. CAP WATER PIPING ABOVE CLG.
- 3 REMOVE EXISTING SINK, FAUCET & ALL PIPING. CAP ALL PIPING IN WALL.

## GENERAL NOTES:

- 1 ALL PIPING SHOWN IS EXISTING PIPING TO REMAIN. SUPPLY MAIN ARE LOCATED ABOVE CEILING UNLESS INDICATED OTHERWISE. ALL EXISTING PIPING SHOWN IN APPROX. LOCATION AND ARE SHOWN FOR INFORMATION ONLY.

A/E SEAL



CORPORATE SEAL



PROJECT TITLE

WACCAMAW ELEMENTARY SCHOOL  
INTERIOR RENOVATIONS  
Horry County School District

251 CLAUDY RD. CONWAY, SC

CONDITIONS OF USE:  
THIS DRAWING AND THE DESIGN THEREON ARE THE PROPERTY OF  
QUACKENBUSH ARCHITECTS + PLANNERS.  
THE REPRODUCTION, COPYING, OR USE OF THIS DRAWING WITHOUT WRITTEN  
CONSENT OF QUACKENBUSH ARCHITECTS + PLANNERS IS PROHIBITED AND  
ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

COPYRIGHT 2011 QUACKENBUSH ARCHITECTS + PLANNERS

PHASE  
CONSTRUCTION  
DOCUMENTS

ISSUE DATE 01.13.23  
PROJECT NO. 21.293.00

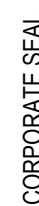
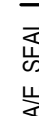
REVISION DATE

TITLE  
FIRST FLOOR PLAN -  
DEMOLITION -  
PLUMBING

SHEET NO

PD-101





WACCAMAW ELEMENTARY SCHOOL  
INTERIOR RENOVATIONS

Horry County School District

251 CLARIDY RD, CONWAY SC



PROVIDE NEW FIXTURE P-1. CONNECT TO EXISTING PIPING IN WALL. REFER TO SPECIFICATIONS FOR FIXTURE INFORMATION.

PROVIDE NEW FIXTURE P-2. CONNECT TO EXISTING PIPING IN WALL. REFER TO SPECIFICATIONS FOR FIXTURE INFORMATION.