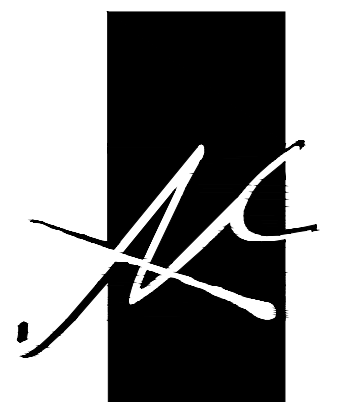


# COMMUNITY DEVELOPMENT RENOVATION FOR ORANGE BEACH BID DOCUMENTS - JUNE 21, 2022



McCOLLOUGH  
ARCHITECTURE, INC.  
P.O. BOX 6310  
GULF SHORES, ALABAMA  
36547-6310  
PHONE: 251-968-7222



AS-BUILT DRAWINGS FOR  
 ORANGE BEACH  
**COMMUNITY DEVELOPMENT CENTER**  
 ALABAMA'S COASTAL CONNECTION  
 ORANGE BEACH, ALABAMA

GENERAL NOTES:
<ol style="list-style-type: none"> <li>1. ALL PRODUCTS, MATERIALS, AND CONSTRUCTION SHALL BE PROVIDED AND/OR INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS' SPECIFICATIONS, GUIDELINES, AND/OR INDUSTRY STANDARDS.</li> <li>2. THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE BUILDER WITH GENERAL GUIDELINES FOR THE SOUND CONSTRUCTION OF THE STRUCTURE INDICATED WITHIN. DEVIATIONS FROM THESE DRAWINGS ARE THE BUILDERS RISK UNLESS APPROVED IN WRITING OR WITH SUPPLEMENTAL DRAWINGS FROM THE ARCHITECT.</li> <li>3. IT IS RECOMMENDED THAT THE SERVICES OF A REGISTERED LAND SURVEYOR BE EMPLOYED FOR THE PROPER PLACEMENT OF THE STRUCTURE IN RELATION TO PROPERTY LINES, SETBACK LINES, EASEMENTS, ETC.</li> <li>4. CONTRACTOR TO SECURE AND PAY FOR ALL NECESSARY FEES AND PERMITS FOR CONSTRUCTION, ELECTRICAL, AND PLUMBING INSPECTORS, ETC.</li> <li>5. DO NOT SCALE DRAWINGS!!! DIMENSIONS OR LINEAR MEASUREMENTS TAKE PRECEDENCE OVER NOTED DIMENSIONS.</li> <li>6. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED WITHIN THESE DOCUMENTS AND SHALL NOTIFY THE ARCHITECT OF ANY VARIATION PRIOR TO THE PURCHASING OF ANY MATERIALS, STARTING FABRICATION, OR BEGINNING CONSTRUCTION.</li> <li>7. PROVIDE TEMPORARY SETTLING BASINS, HAY BALES, AND OTHER METHODS AS APPROPRIATE TO FILTER WATER AT ALL AREAS WHERE STORM WATER LEAVES THE PROJECT. CLEAN UP ALL SOIL WHICH FLOWS OFF SITE AT THE END OF THE DAY.</li> <li>8. ALL EXISTING SITE CONDITIONS ARE TO BE VERIFIED BY CONTRACTOR BEFORE START OF CONSTRUCTION.</li> <li>9. PROVIDE CHEMICAL BARRIER TO BUILDING FROM SUBTERRANEAN TERMITE ATTACK.</li> <li>10. NO QUALIFYING STATEMENTS OR EXCEPTIONS TO PLANS OR NOTES TO BE ALLOWED.</li> <li>11. ALL WORK RELATED DEBRIS SHALL BE REMOVED FROM THE SITE REGULARLY AND PROPERLY.</li> <li>12. THE CONTRACTOR SHALL LEAVE ALL AREAS AND FINISHED SPACES IN A CLEAN AND ACCEPTABLE CONDITION AT THE PROJECT COMPLETION.</li> <li>13. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY w/ OSHA REQUIREMENTS.</li> <li>14. ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES FOR CONSTRUCTION, ELECTRICAL, PLUMBING, AND MECHANICAL.</li> <li>15. ALL PRODUCTS, MATERIALS AND CONSTRUCTION SHALL BE PROVIDED AND/OR INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, GUIDELINES, AND/OR INDUSTRY STANDARDS.</li> </ol>

DRAWING INDEX	
SHEET NO.	SHEET TITLE
T1.0	TITLE SHEET & GENERAL NOTES
ARCHITECTURAL	
A1.1 A3.1	RENOVATION ROOF PLAN RENOVATION EXTERIOR ELEVATIONS
ROOF DETAIL DRAWINGS	
AD101 A100 A101 A101 A500 A500.2 A500.1 A500.2	DEMOLITION ROOF PLAN OVERVIEW ROOF PLAN RE-ROOF PLAN ALTERNATE 1 RE-ROOF PLAN ROOF DETAILS ROOF DETAILS ALTERNATE 1 ROOF DETAILS ALTERNATE 1 ROOF DETAILS
STRUCTURAL	
S1	FOUNDATION/ FRAMING

APPLICABLE BUILDING CODES	
LOCAL OFFICIAL HAVING JURISDICTION IS ORANGE BEACH, ALABAMA	
2018	INTERNATIONAL RESIDENTIAL CODE
2018	INTERNATIONAL FUEL GAS CODE
2018	INTERNATIONAL MECHANICAL CODE
2018	INTERNATIONAL PLUMBING CODE
2018	INTERNATIONAL BUILDING CODE
2017	NATIONAL ELECTRICAL CODE

DESIGN TEAM
MCCOLLOUGH ARCHITECTURE, INC. 4790 Main Street, Suite F-209 Orange Beach, Alabama ARCHITECT: Sted McCollough, AIA (251)968-7222 stedm@mcarcht.com
WATERMARK DESIGN GROUP, LLC 2970 Cottage Hill Road, Suite 200 Mobile, Alabama ARCHITECT: John A. McArthur, III, "Sandy", AIA (251) 378-6175 smcarthur@watermarkarch.com THOMPSON ENGINEERING, INC. 2970 Cottage Hill Road, Suite 190 Mobile, Alabama 36606 BUILDING ENVELOPE: Bryce Moore (251) 665-5425 bmoore@thompsonengineering.com Connor Harkey, RRO (251) 285-8252 charkey@thompsonengineering.com
LANE & HATCHER ENGINEERS, LLC 5125 Oak Glen Drive Pace, Florida STRUCTURAL ENGINEER: Alan Hatcher (850)393-0937 Civeng95@aol.com

JOB NO.:  
 DRAWN: CLT  
 CHECKED: SBM  
 DATE: 2022.06.21  
 REVISION:

SCALE: NA

SHEET NO.:  
T1.0  
 TITLE SHEET

**AS-BUILT DRAWINGS FOR  
ORANGE BEACH  
COMMUNITY DEVELOPMENT CENTER  
ALABAMA'S COASTAL CONNECTION  
ORANGE BEACH, ALABAMA**

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DRAWN: CLT  
CHECKED: SBM  
DATE: 2022.06.21  
REVISION:

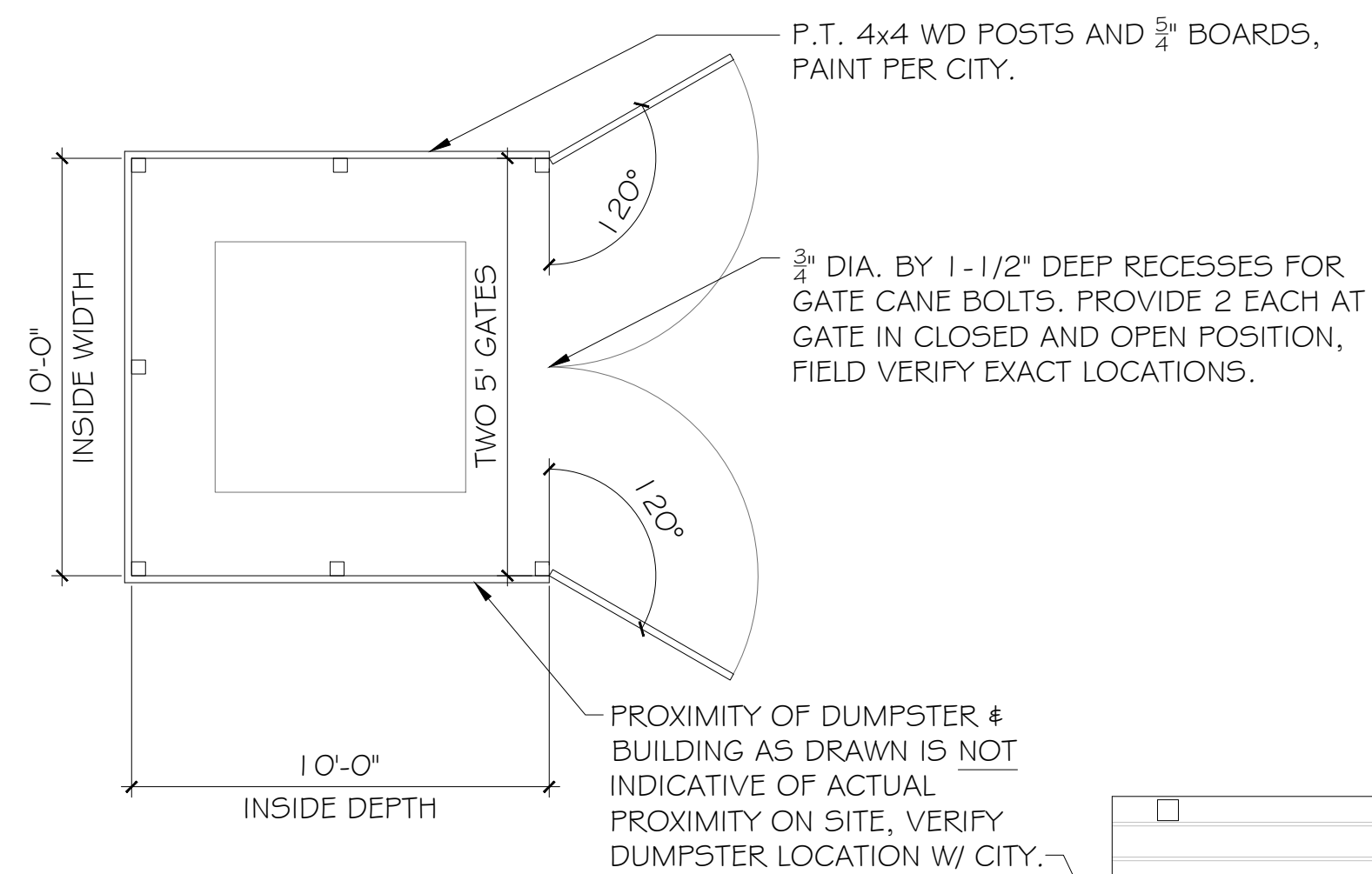
SCALE: 1/4" = 1'-0"

SHEET NO.:

**A1.1**

RENOVATION  
ROOF PLAN

NOTE: EXISTING DUMPSTER ENCLOSURE TO BE REMOVED. NEW 6' TALL DUMPSTER ENCLOSURE PER THIS DRAWING. VERIFY EXACT LOCATION AND DIMENSIONS WITH CITY

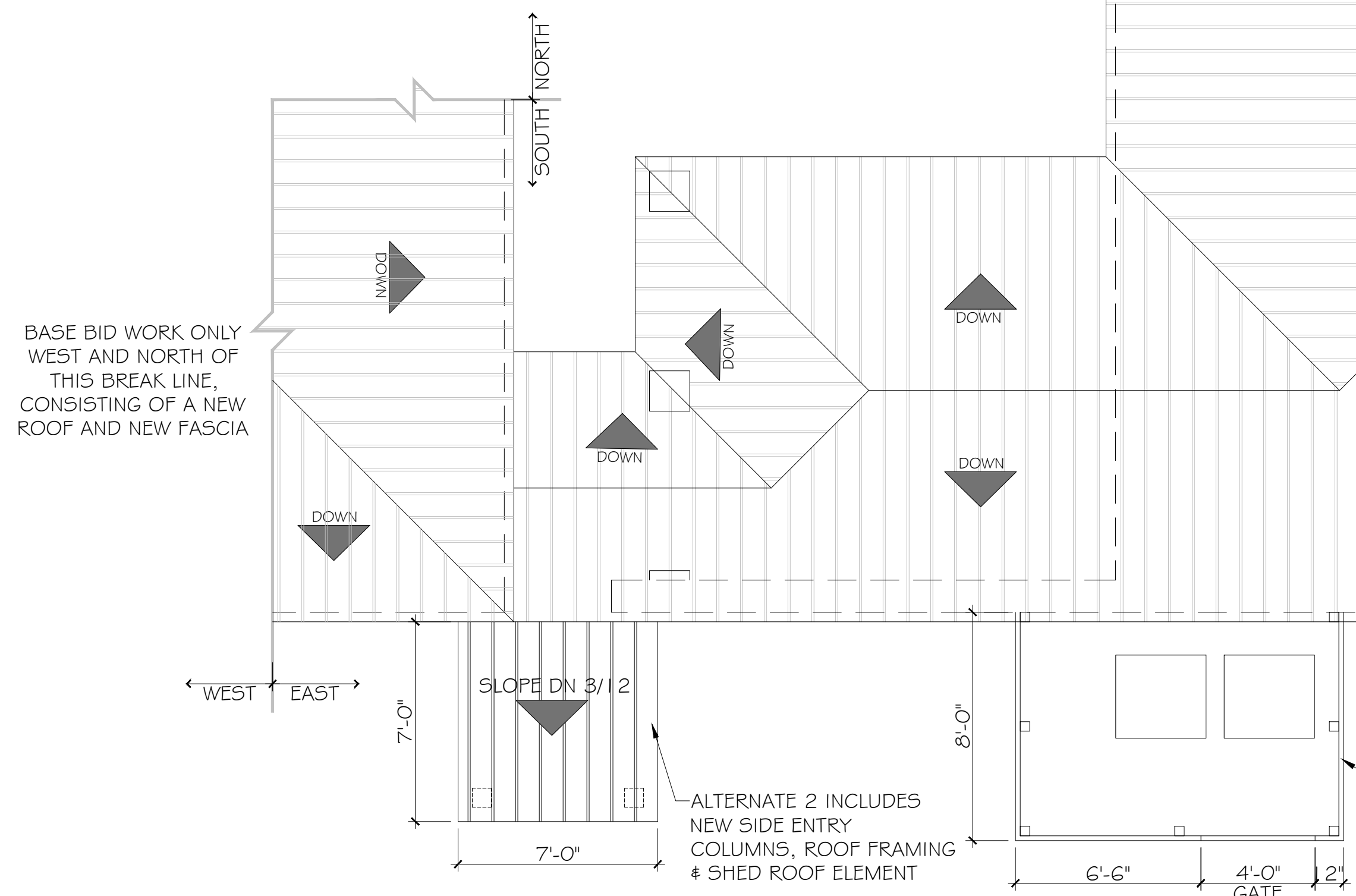


**2 DUMPSTER PLAN ALTERNATE 3**  
SCALE: 1/4"=1'-0"

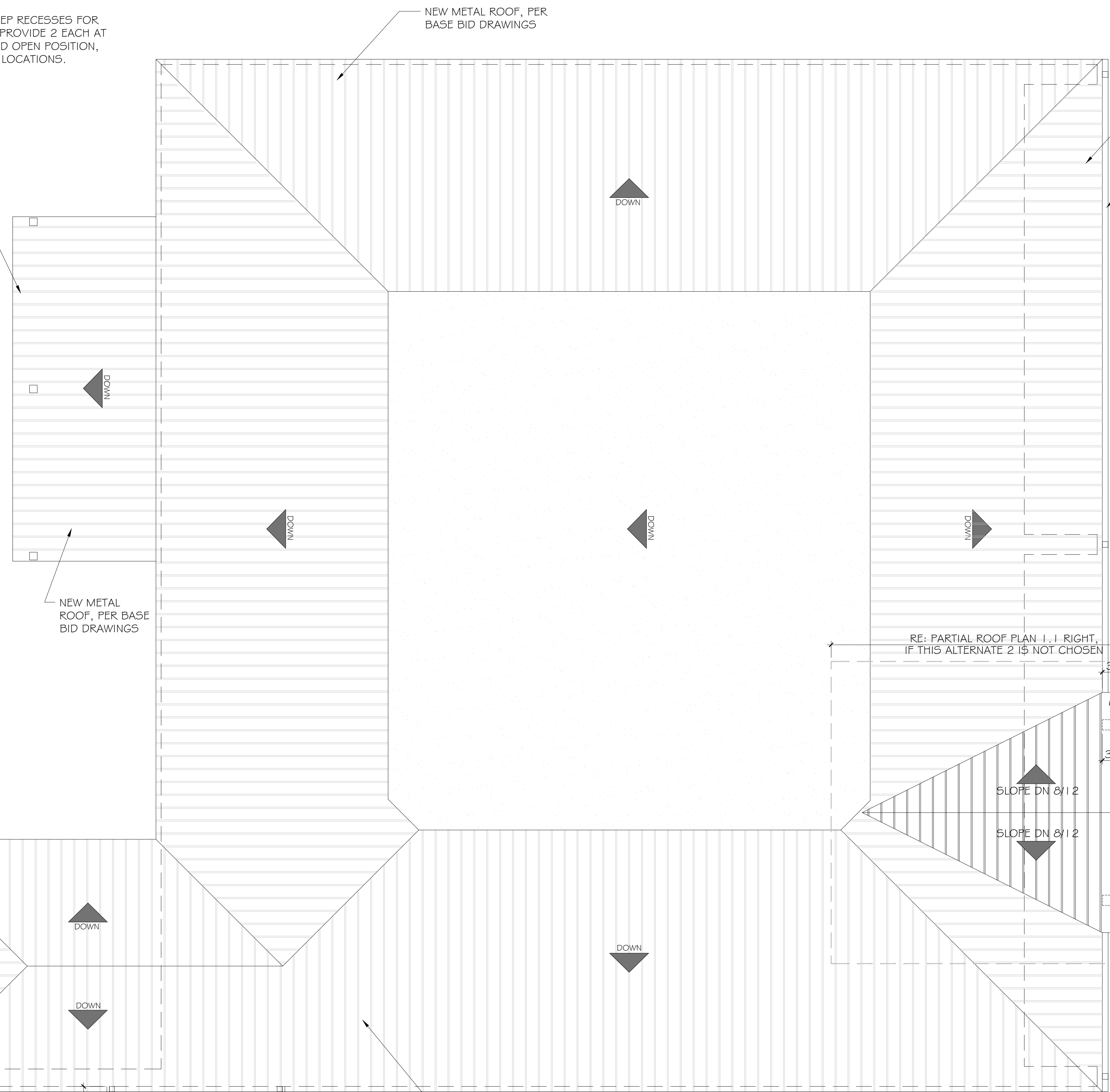
ALTERNATE 4 NOTE: (4) EXTERIOR POSTS AND (2) SHED ROOFS ON WESTERNMOST SIDE OF WEST WING TO RECEIVE THE SAME TREATMENT AS ALL OTHER POSTS AND SHED ROOFS IN THE PROJECT. VERIFY EXISTING SHED ROOF COLUMNS AND BEAM ARE NOT DAMAGED OR ROTTEN. REMOVE EXISTING BASE TRIM AND COLUMN WRAP AND REPLACE WITH NEW HARDIE WRAP, VERIFY WITH CITY.



**3 WESTERNMOST FACADE**  
SCALE: N.T.S.

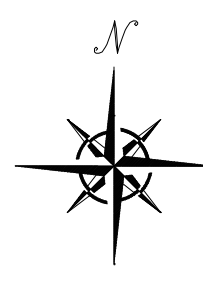


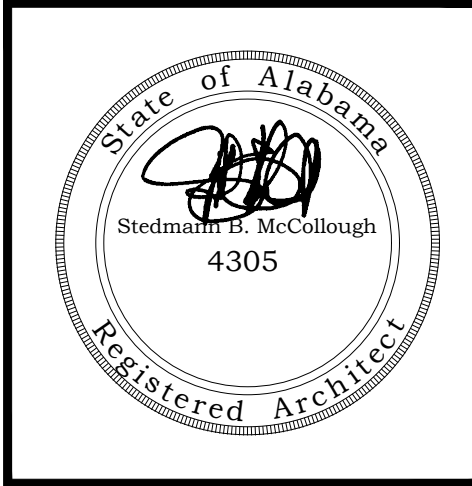
**1 ROOF PLAN BASE BID & ALTERNATES**  
SCALE: 1/4"=1'-0"



**1.1 ROOF PLAN BASE BID ONLY**  
SCALE: 1/4"=1'-0"

NOTE: ALL PAINT COLORS PER CITY DIRECTION

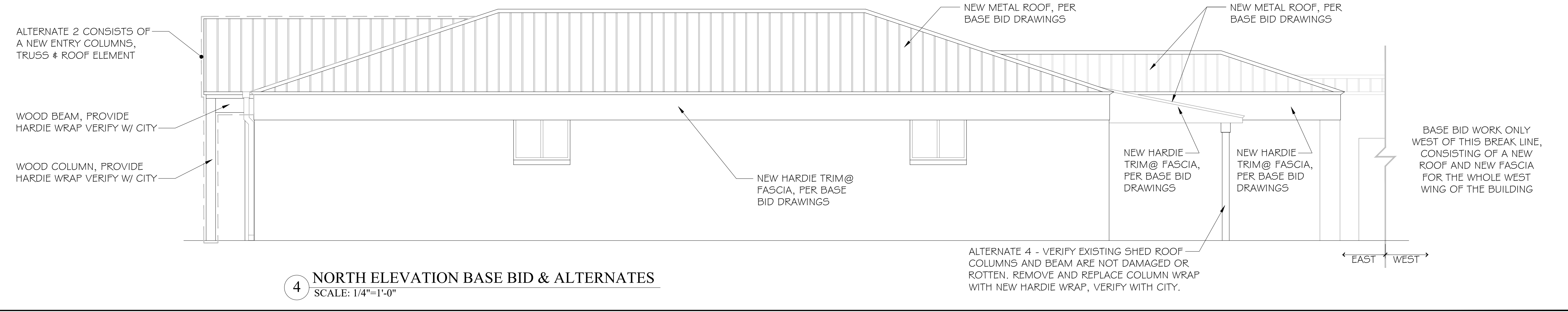
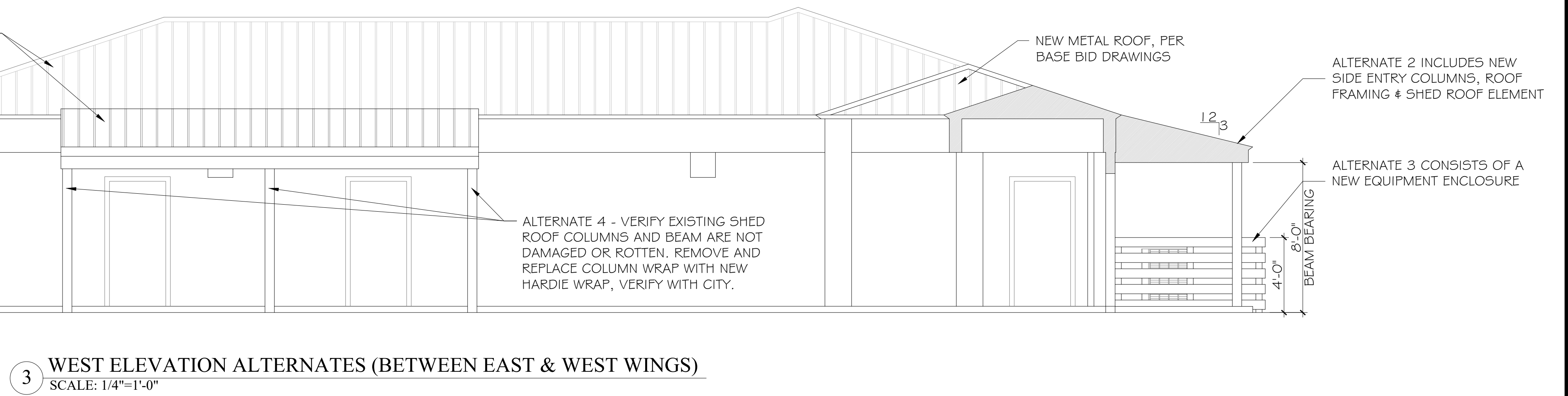
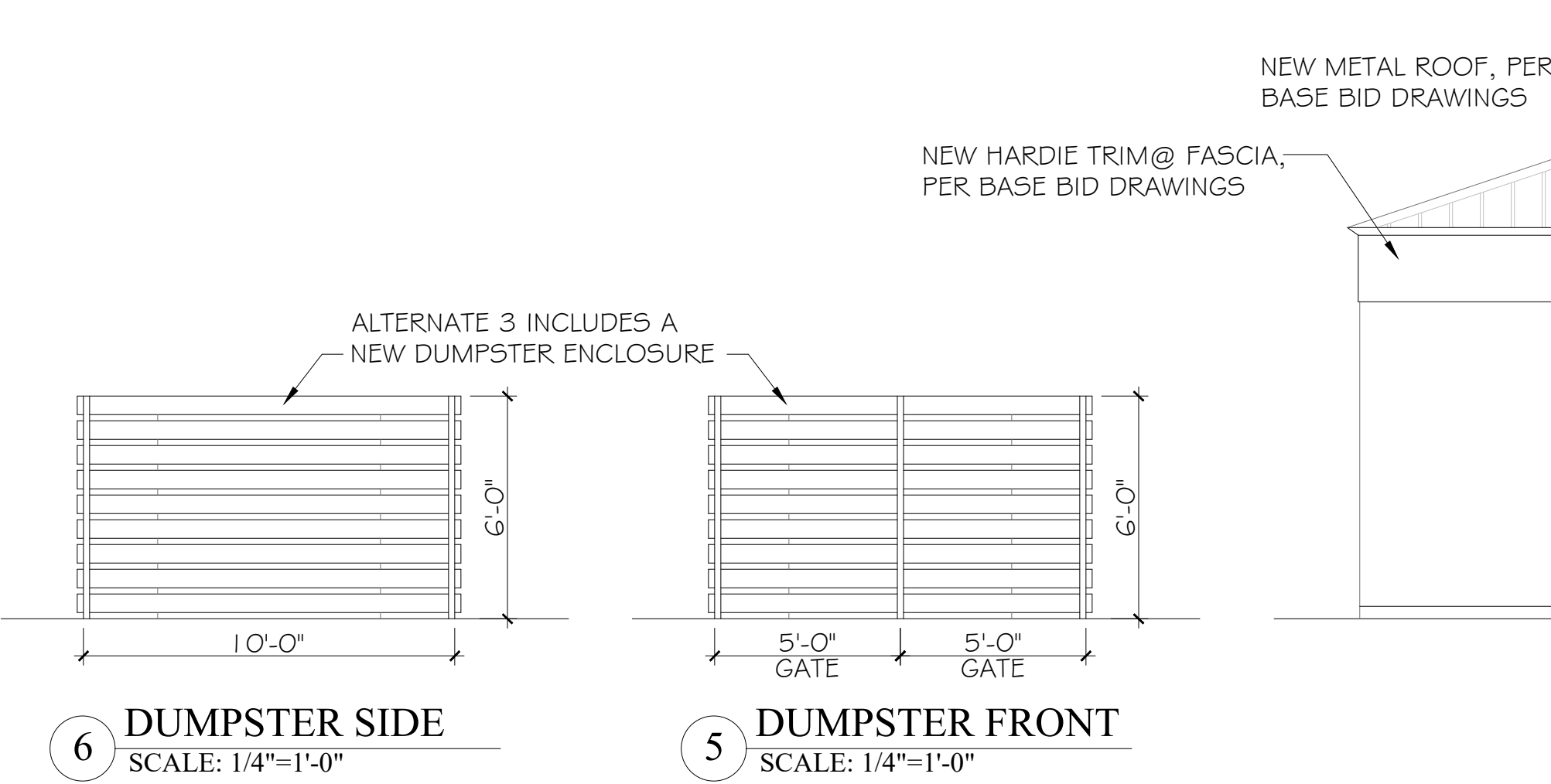
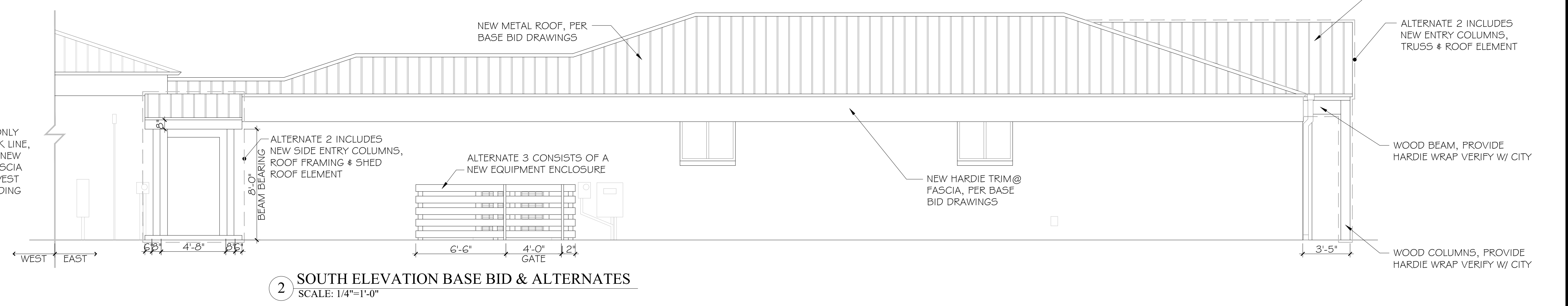
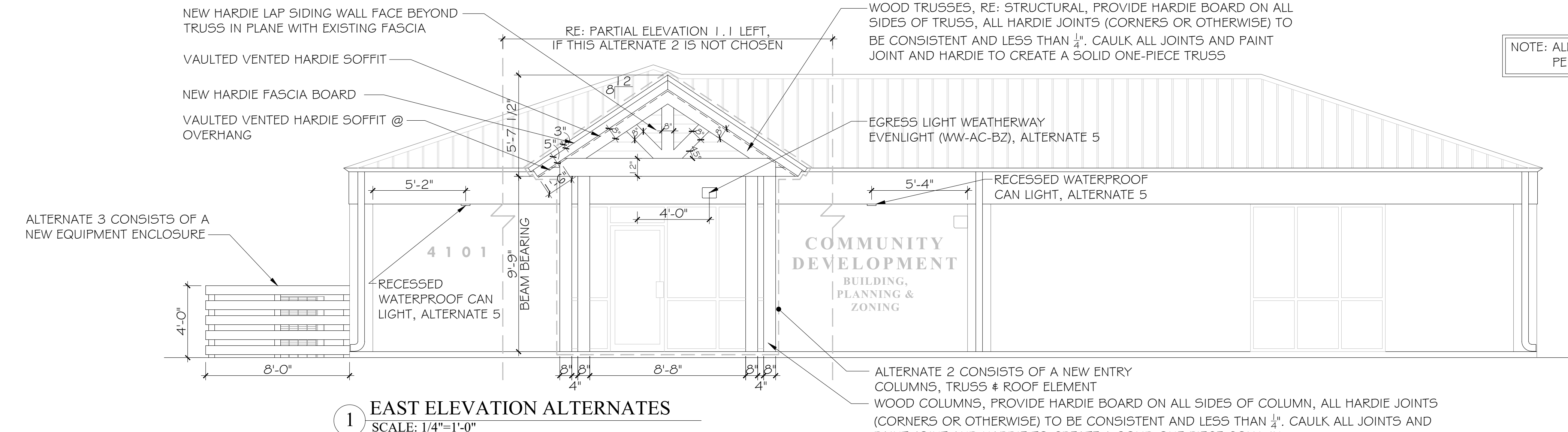
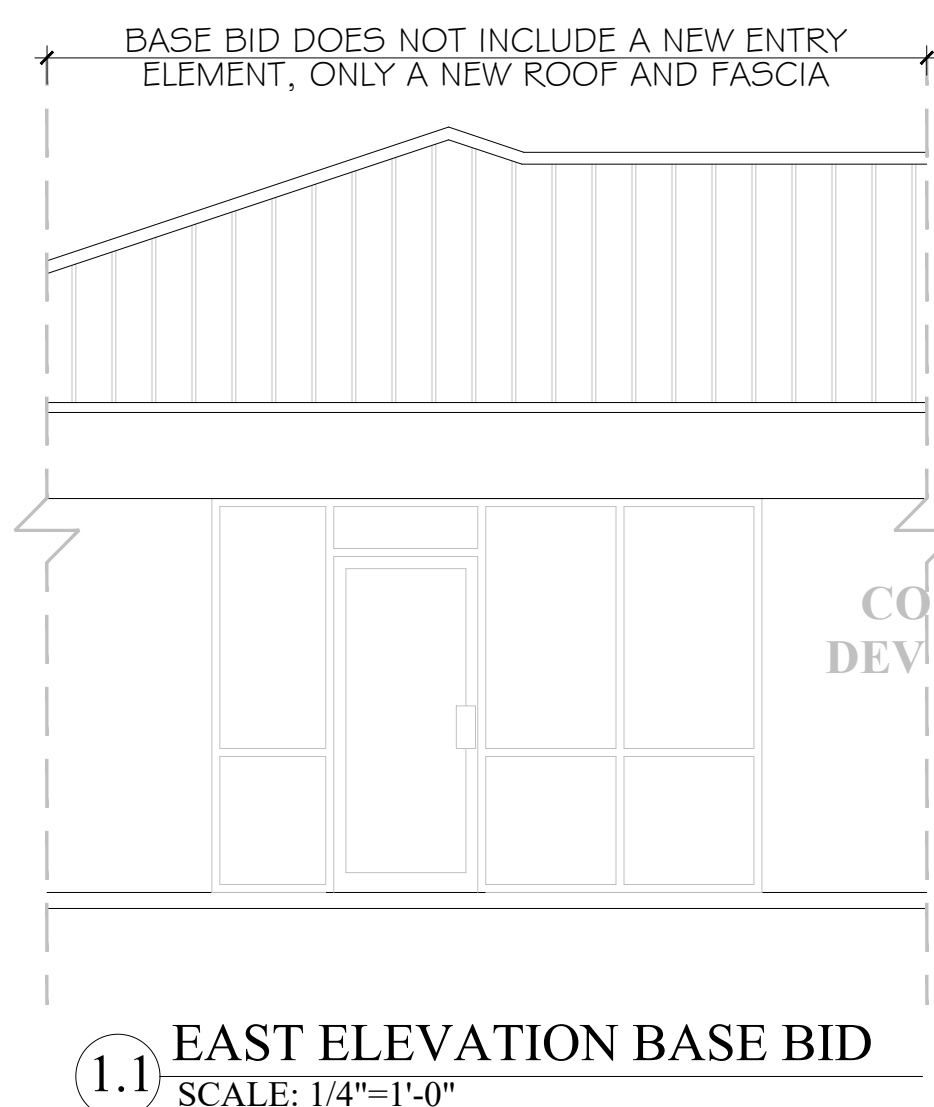




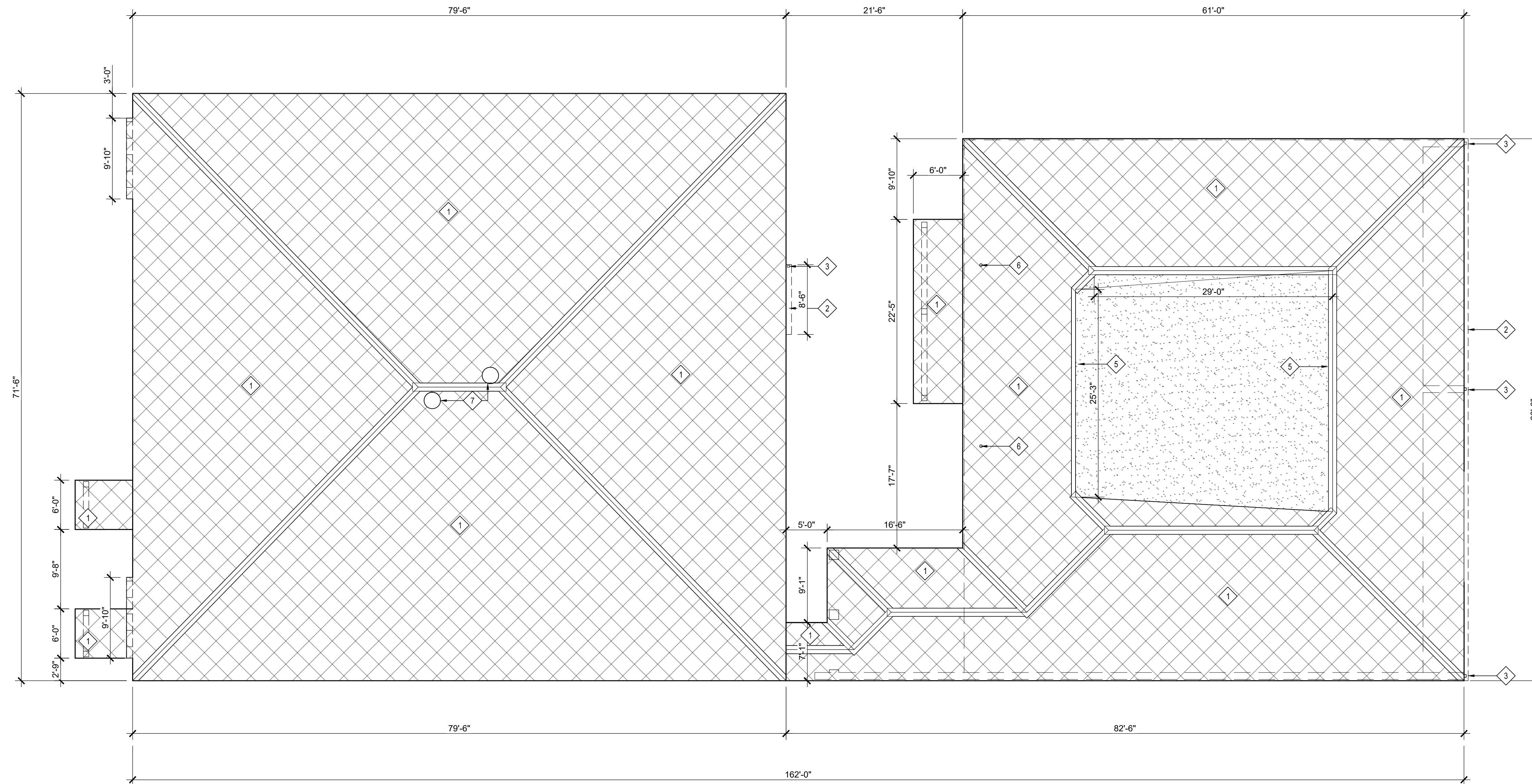
RENOVATION DRAWINGS FOR  
ORANGE BEACH  
COMMUNITY DEVELOPMENT CENTER  
ALABAMA'S COASTAL CONNECTION  
ORANGE BEACH, ALABAMA

JOB NO.:  
DRAWN: CLT  
CHECKED: SBM  
DATE: 2022.06.21  
REVISION:

SCALE: 1/4" = 1'-0"  
SHEET NO.:  
**A3.1**  
RENOVATION  
EXTERIOR ELEVATIONS







**DEMOLITION ROOF PLAN**

SCALE: 1/8" = 1'-0"

**LEGEND:**

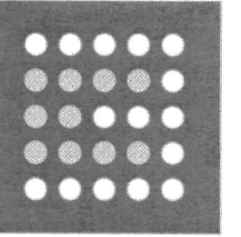
- SHEET KEYNOTE TAG SEE KEYNOTE LEGEND FOR DESCRIPTION
- EXISTING EXPOSED FASTENER METAL ROOFING PANELS ON EXISTING MEMBRANE ROOFING SYSTEM ON EXISTING PLYWOOD DECK
- EXISTING MEMBRANE ROOFING SYSTEM ON PLYWOOD DECK ON LUMBER FRAMING

**GENERAL NOTES**

1. ALL EXISTING CONDITIONS AND DIMENSIONS TO BE FIELD VERIFIED BY ALL BIDDERS.
2. ALL EXISTING BATTENS, FELT NAILS AND OTHER NON-ESSENTIAL ELEMENTS THAT ARE ATTACHED TO THE EXISTING SHEATHING ARE TO BE REMOVED PRIOR TO INSTALLATION OF ANY COMPONENTS OF THE ROOFING SYSTEM.
3. GENERAL CONTRACTOR IS TO REPORT ANY UNFORESEEN DAMAGE THAT IS ENCOUNTERED AT THE PLYWOOD SUBSTRATE OR STRUCTURE TO THE ARCHITECTS REPRESENTATIVE.

**KEYNOTES**

- EXISTING EXPOSED FASTENER METAL ROOFING SYSTEM TO BE REMOVED TO SURFACE OF EXISTING MEMBRANE ROOFING SYSTEM. EXISTING PLYWOOD DECK AND MEMBRANE ROOF TO REMAIN.
- EXISTING METAL GUTTER TO BE REMOVED IN IT'S ENTIRETY, INCLUDING STRAPS AND LEAF-GUARD SCREEN WHERE INSTALLED.
- EXISTING METAL DOWNSPOUTS TO BE REMOVED IN THEIR ENTIRETY, INCLUDING STRAPS.
- EXISTING METAL DRIP EDGE TO BE REMOVED.
- EXISTING METAL FLASHING TO BE REMOVED.
- EXISTING PLUMBING VENT FLASHING TO BE REMOVED. VENT PIPE TO REMAIN.
- EXISTING ROOF VENT TO BE REMOVED IN IT'S ENTIRETY.
- EXISTING BUILT-UP ROOFING SYSTEM TO BE REMOVED TO DECK



**CITY OF ORANGE BEACH CITY-WIDE ROOF REPAIRS  
COMMUNITY DEVELOPMENT BUILDING  
ROOF REPLACEMENTS**

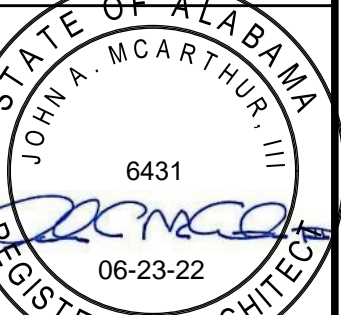
4101 ORANGE BEACH BLD, ORANGE BEACH, AL 36561

PROJECT NO: 22-1101-0011

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUE DATE: 06-22-22



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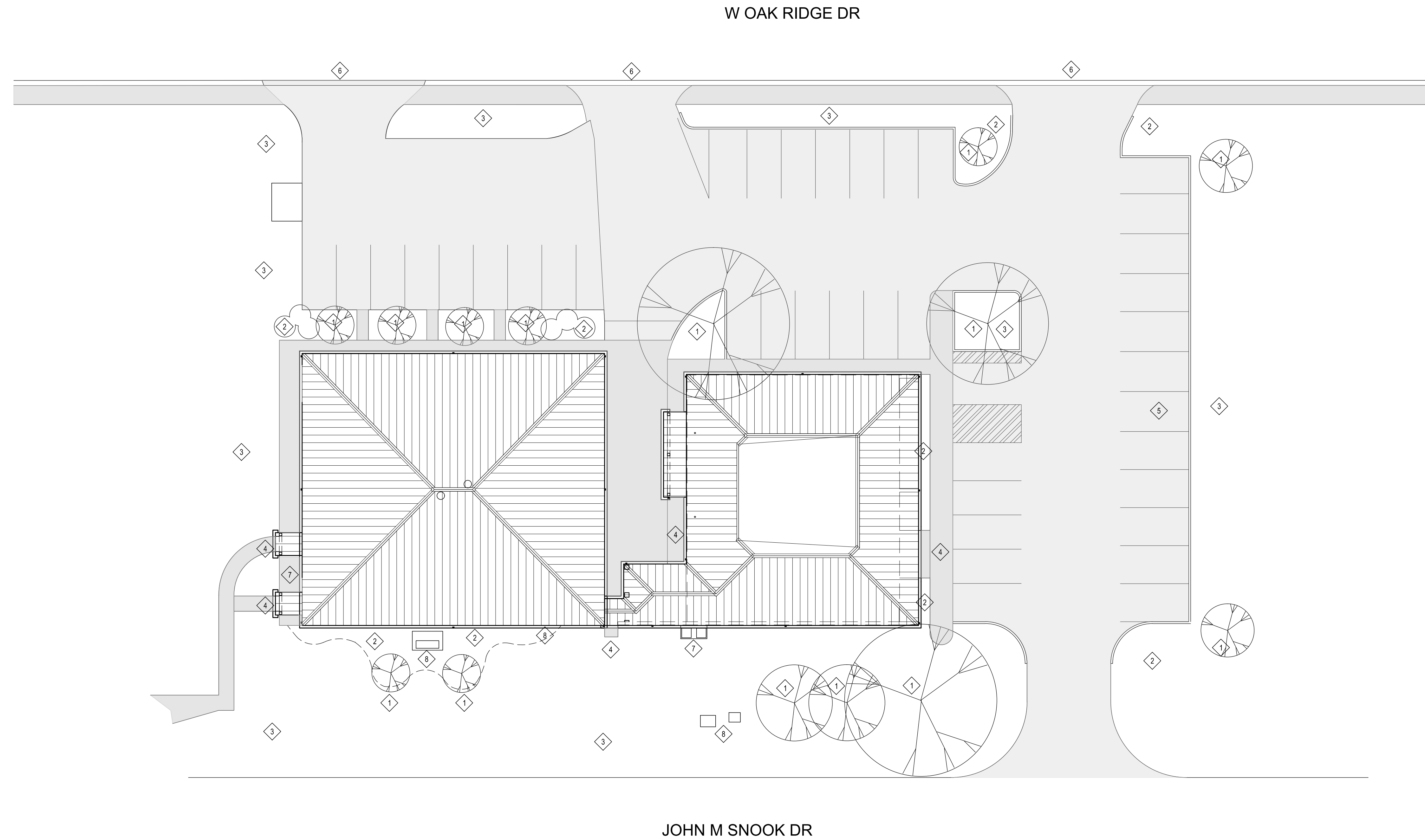
DEMOLITION ROOF PLAN

SHEET NUMBER:

AD101



C:\Users\smcarthur\OneDrive - Thompson Engineering\Documents\01 PROJECTS\22-1101-0135 COB TO4 Community Development Roof Replacement\Drawings\CD-A100 Overview Plan.dwg



**OVERVIEW PLAN**  
SCALE: 1/16" = 1'-0"

**GENERAL NOTES**

1. SEE SHEET AD101 FOR DEMOLITION ROOF PLAN
2. SEE SHEET A101 FOR RE-ROOF PLAN
3. SEE SHEET A500.1 FOR RE-ROOF DETAILS
4. SEE PROJECT MANUAL FOR GENERAL REQUIREMENTS AND TECHNICAL SPECIFICATIONS.

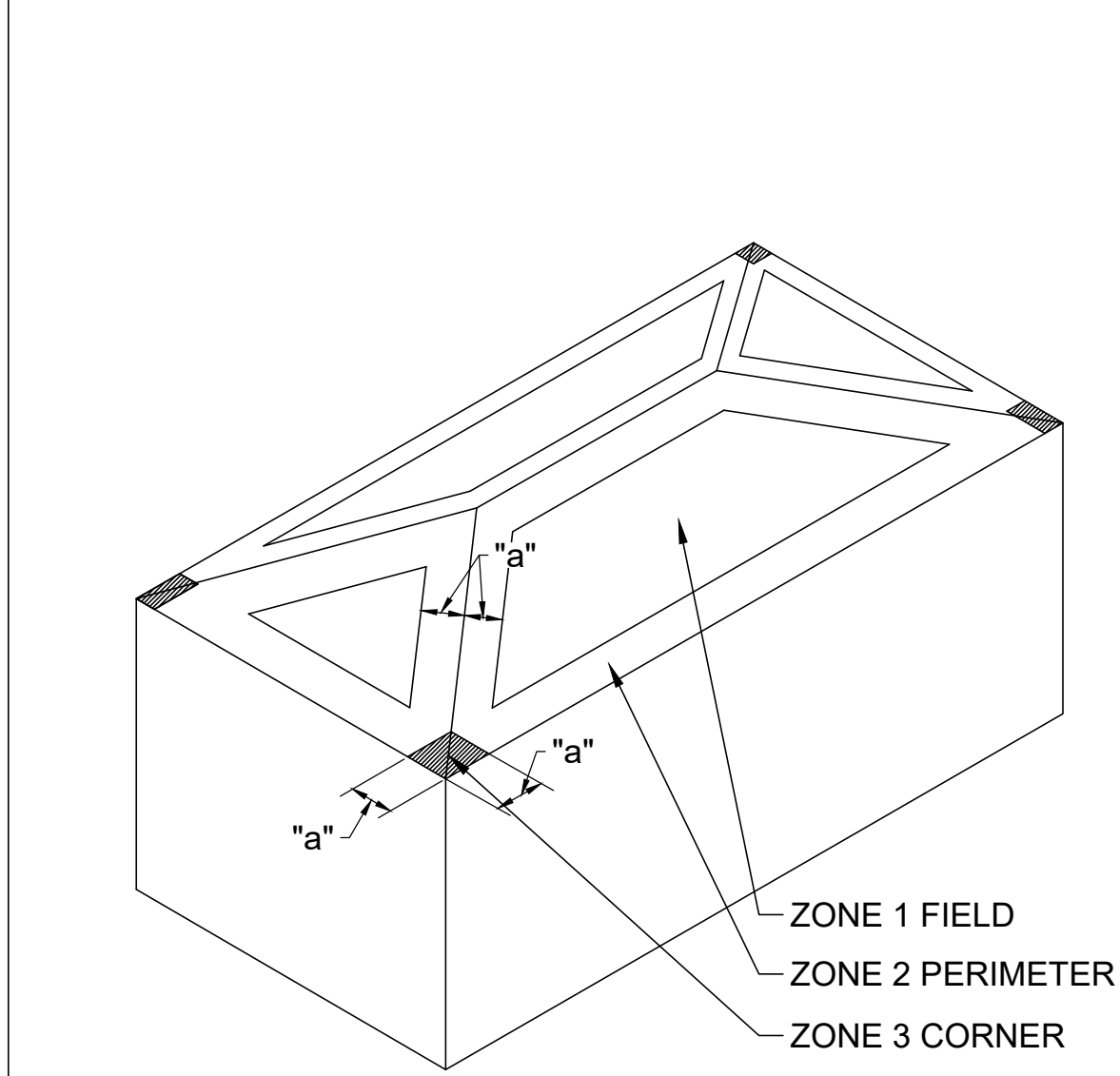
**KEYNOTE LEGEND**

- 1 EXISTING TREE TO BE PROTECTED FOR THE DURATION OF THE WORK
- 2 EXISTING PLANTING BED AND SHRUBBERIES TO BE PROTECTED FOR THE DURATION OF THE WORK.
- 3 EXISTING GRASSED LAWN TO BE REPAIRED AS REQUIRED DUE TO DAMAGE FROM CONSTRUCTION ACTIVITIES.
- 4 EGRESS PATH TO REMAIN FREE AND CLEAR AT ALL TIMES THAT THE BUILDING IS OCCUPIED.
- 5 CONTRACTOR STAGING AND PARKING AREA.
- 6 DRIVE TO REMAIN CLEAR AT ALL TIMES FOR EMERGENCY VEHICLE ACCESS.
- 7 MECHANICAL EQUIPMENT TO BE PROTECTED FOR THE DURATION OF THE WORK.
- 8 ELECTRICAL INSTALLATION TO BE PROTECTED FOR THE DURATION OF THE WORK.

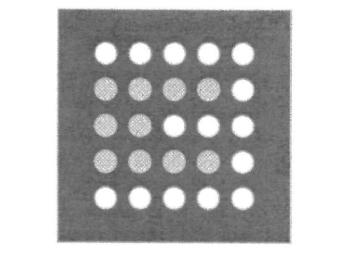
**WIND LOADS**

CATEGORY	IV
EXPOSURE	B
BASIC WIND SPEED	170
BUILDING CONFIGURATION	ENCLOSED
PERIMETER WIDTH "a"	7.5 FEET
HEIGHT	20
SLOPE	6" PER FOOT
ZONE 1 FIELD	64 PSF
ZONE 2 PERIMETER	111.5 PSF
ZONE 3 CORNER	164.8 PSF
ZONE 4 EDGE PERIMETER HORIZONTAL	60 PSF
ZONE 5 EDGE CORNER HORIZONTAL	74 PSF

**WIND LOAD DIAGRAM**



**watermark**  
DESIGN GROUP, LLC  
interior design  
architecture • landscape architecture  
planning



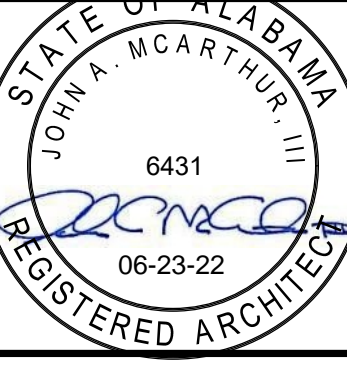
**CITY OF ORANGE BEACH CITY-WIDE ROOF REPAIRS  
COMMUNITY DEVELOPMENT BUILDING  
ROOF REPLACEMENTS**

4101 ORANGE BEACH BLD, ORANGE BEACH, AL 36561

PROJECT NO: 22-1101-0011

REVISIONS:


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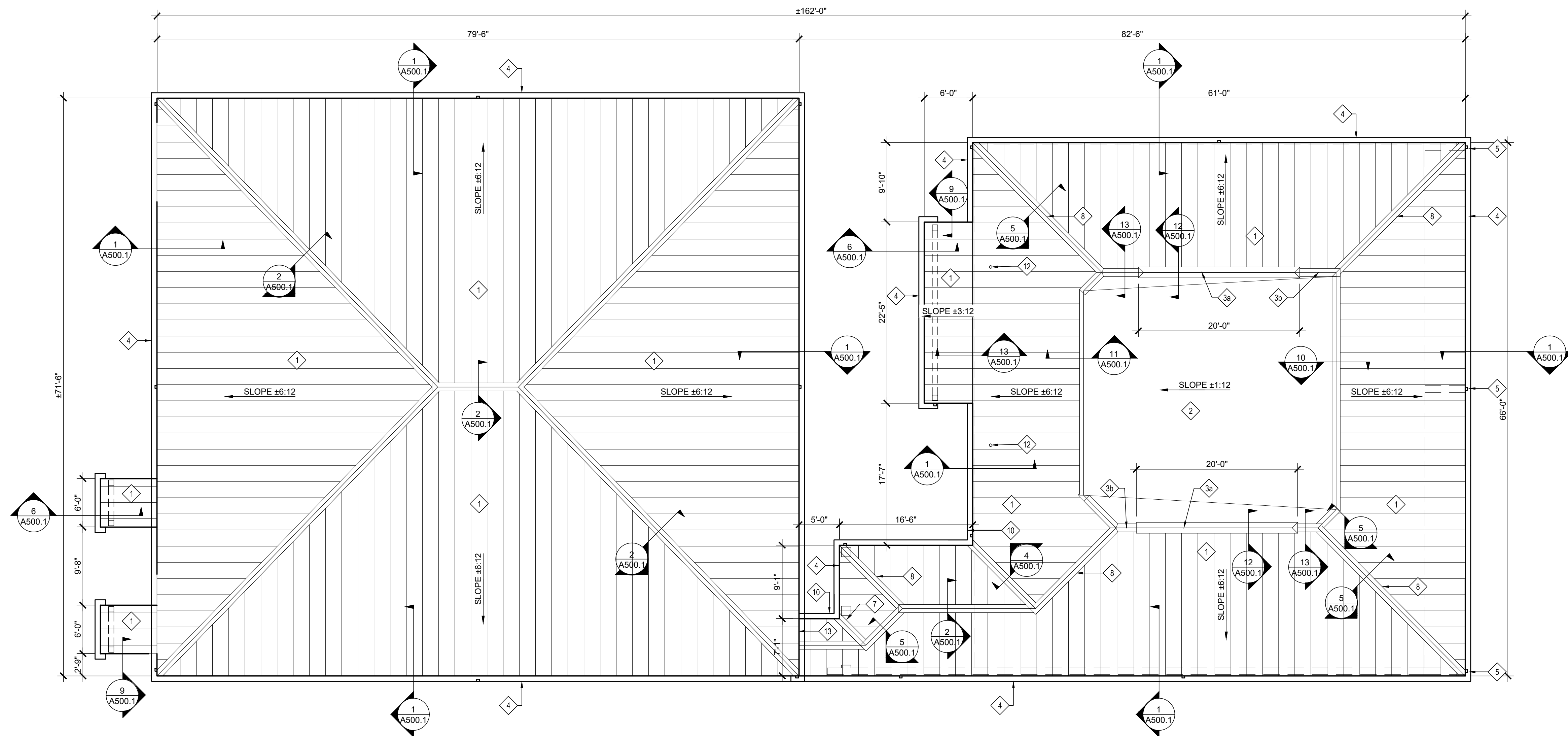
SHEET TITLE:

OVERVIEW  
ROOF PLAN

SHEET NUMBER:

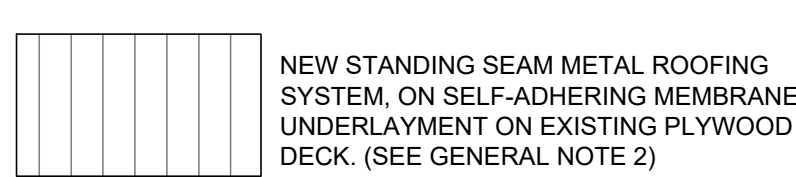
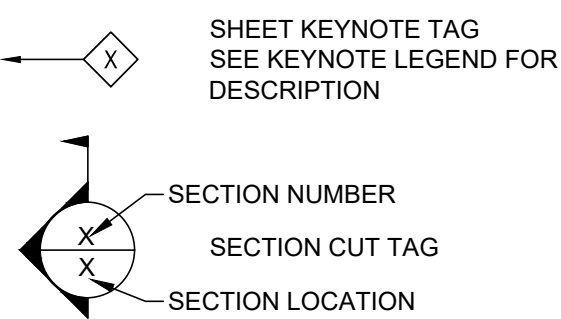
A100

6/23/2022 5:52:42 PM - P:\2022\Projects\110122-1101-0135 COB TO4 Community Development Roof Replacement\Working\Architectural\04 Contract Document Phase Drawings\CD-A101 Re-Roof Plan.dwg



**RE-ROOF PLAN**  
SCALE: 1/8" = 1'-0"

**SYMBOLS LEGEND:**

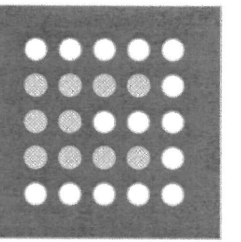


**GENERAL NOTES**

- EXISTING CONDITIONS AND DIMENSIONS TO BE FIELD VERIFIED BY ALL BIDDERS.
- EXISTING PLYWOOD DECK TO RECEIVE ADDITIONAL FASTENERS AS REQUIRED TO PROVIDE FASTENERS AT 6" O/C AT SUPPORTED PANEL EDGES AND 12" O/C AT INTERMEDIATE SUPPORTS.
- GENERAL CONTRACTOR IS TO REPORT ANY UNFORESEEN DAMAGE THAT IS ENCOUNTERED AT THE PLYWOOD SUBSTRATE OR STRUCTURE TO THE ARCHITECT'S REPRESENTATIVE.

**KEYNOTE LEGEND**

- |  |  |  |
|--|--|--|
| 1 NEW EXPOSED FASTENER ROOFING SYSTEM, ON SELF-ADHERING MEMBRANE UNDERLAYMENT ON EXISTING PLYWOOD DECK. (SEE GENERAL NOTE 2) | 5 NEW METAL DOWNSPOUTS INCLUDING STRAPS.   | 10 PROVIDE SPLASH GUARD/DIVERTER AT OUTSIDE EDGE OF NEW GUTTER WHERE VALLEY TERMINATES AT INSIDE CORNER CONDITION. |
| 2 NEW FULLY ADHERED MEMBRANE ROOFING SYSTEM ON 1/2" COVERBOARD ON EXISTING PLYWOOD ROOF DECK.                                | 6 NEW METAL DRIP EDGE FLASHING.  | 12 NEW PLUMBING VENT FLASHING AT EXISTING 3" AND 4" PVC VENT STACK THROUGH ROOF.                                   |
| 3A NEW VENTED METAL CAP FLASHING AT RIDGE. CUT EXISTING DECK AT RIDGE TO PROVIDE REQUIRED AREA FOR VENTILATION.              | 7 NEW METAL VALLEY FLASHING - SEE DETAIL 4/A500.1.   | 13 NEW SIDE-WALL FLASHING. SEE 7/A500.1.   |
| 3B NEW NON-VENTED METAL CAP FLASHING AT RIDGE - SEE DETAIL 11/A500.1.  | 8 NEW METAL CAP FLASHING AT HIP - SEE DETAIL 5/A500.1.   | 14 NEW VENTED HIP FLASHING. SEE 2/A500.1.  |
| 4 NEW METAL GUTTER WITH STRAPS AT 36" O/C - SEE DETAIL 1/A500.1.   | 9 EXISTING ROOF OPENING RESULTING FROM REMOVAL OF VENT TO BE INFILLED WITH PLYWOOD SHEATHING TO MATCH ADJACENT CONSTRUCTION. REPLACE WHOLE OR HALF SHEETS TO PROVIDE PROPER BEARING AND FASTENING. |  |



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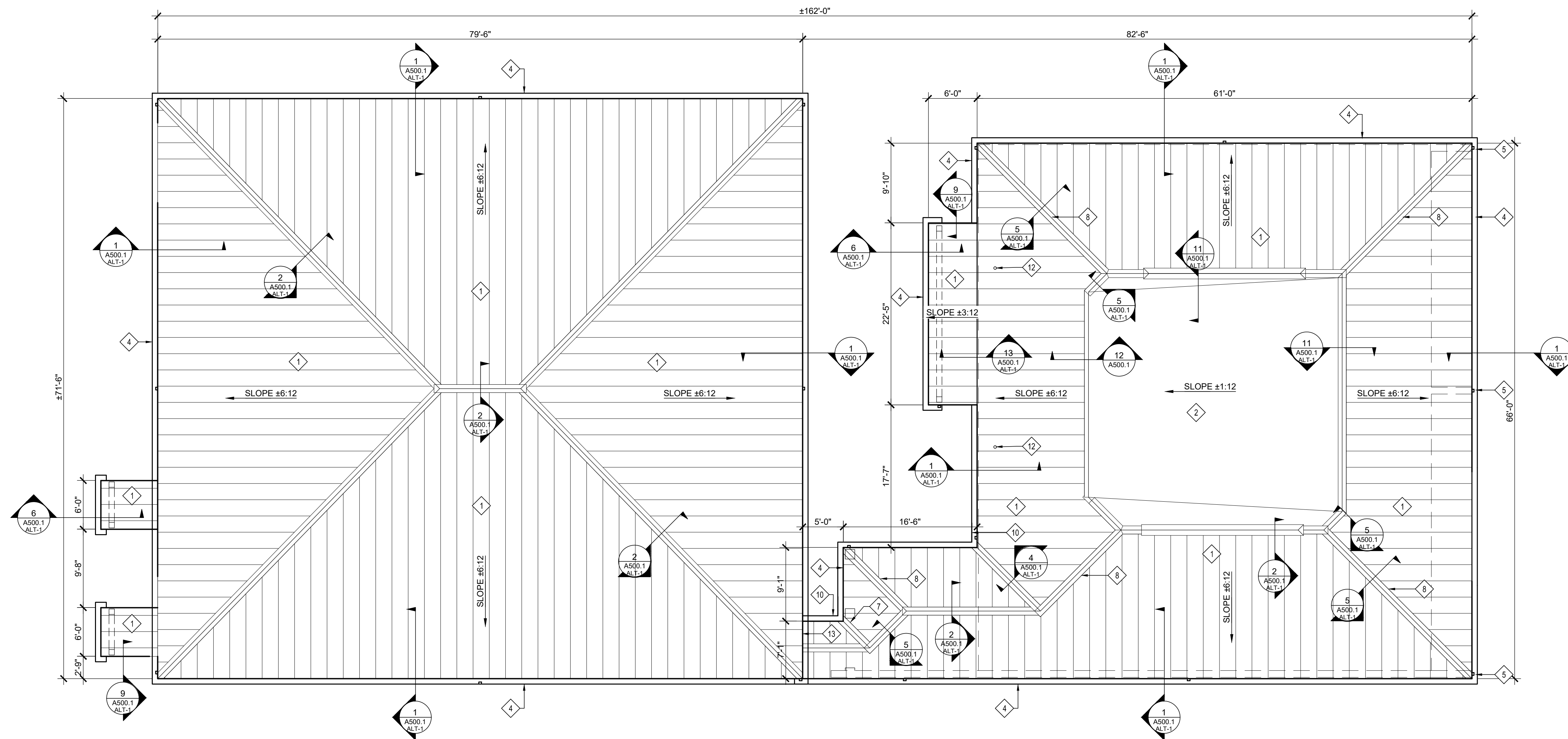
RE-ROOF PLAN

SHEET NUMBER:

A101

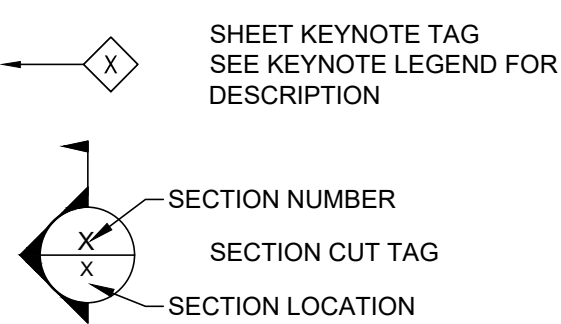


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**RE-ROOF PLAN**  
SCALE: 1/8" = 1'-0"

**SYMBOLS LEGEND:**



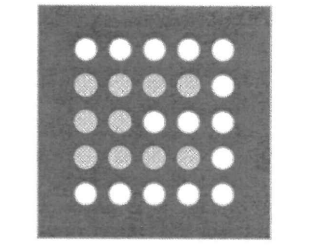
NEW STANDING SEAM METAL ROOFING SYSTEM, ON SELF-ADHERING MEMBRANE UNDERLAYMENT ON EXISTING PLYWOOD DECK. (SEE GENERAL NOTE 2)

**GENERAL NOTES**

- EXISTING CONDITIONS AND DIMENSIONS TO BE FIELD VERIFIED BY ALL BIDDERS.
- EXISTING PLYWOOD DECK TO RECEIVE ADDITIONAL FASTENERS AS REQUIRED TO PROVIDE FASTENERS AT 6" O/C AT SUPPORTED PANEL EDGES AND 12" O/C AT INTERMEDIATE SUPPORTS.
- GENERAL CONTRACTOR IS TO REPORT ANY UNFORESEEN DAMAGE THAT IS ENCOUNTERED AT THE PLYWOOD SUBSTRATE OR STRUCTURE TO THE ARCHITECTS REPRESENTATIVE.

**KEYNOTE LEGEND**

- |  |  |  |
|--|--|--|
| 1 NEW STANDING SEAM METAL ROOFING SYSTEM, ON SELF-ADHERING MEMBRANE UNDERLAYMENT ON EXISTING PLYWOOD DECK. (SEE GENERAL NOTE 2)            | 5 NEW METAL DOWNSPOUTS INCLUDING STRAPS.   | 10 PROVIDE SPLASH GUARD/DIVERTER AT OUTSIDE EDGE OF NEW GUTTER WHERE VALLEY TERMINATES AT INSIDE CORNER CONDITION. |
| 2 NEW FULLY ADHERED MEMBRANE ROOFING SYSTEM ON 3/4" COVERBOARD ON EXISTING PLYWOOD ROOF DECK.  | 6 NEW METAL DRIP EDGE FLASHING.  | 12 NEW PLUMBING VENT FLASHING AT EXISTING 3" AND 4" PVC VENT STACK THROUGH ROOF.                                   |
| 3A NEW VENTED METAL CAP FLASHING AT RIDGE. CUT EXISTING DECK AT RIDGE TO PROVIDE REQUIRED AREA FOR VENTILATION - SEE DETAIL 2/A500.1 ALT-1 | 7 NEW METAL VALLEY FLASHING - SEE DETAIL 4/A500.1 ALT-1  | 13 NEW SIDE-WALL FLASHING. SEE 7/A500.1 ALT-1  |
| 3B NEW NON-VENTED METAL CAP FLASHING AT RIDGE - SEE DETAIL 11/A500.1 ALT-1   | 8 NEW METAL CAP FLASHING AT HIP - SEE DETAIL 5/A500.1 ALT-1  | 14 NEW VENTED HIP FLASHING. SEE 2/A500.1 ALT-1   |
| 4 NEW METAL GUTTER WITH STRAPS AT 36" O/C - SEE DETAIL 1/A500.1 ALT-1  | 9 EXISTING ROOF OPENING RESULTING FROM REMOVAL OF CUPOLA ROOF VENT TO BE INFILLED WITH PLYWOOD SHEATHING TO MATCH ADJACENT CONSTRUCTION. REPLACE WHOLE OR HALF SHEETS TO PROVIDE PROPER BEARING AND FASTENING. |  |



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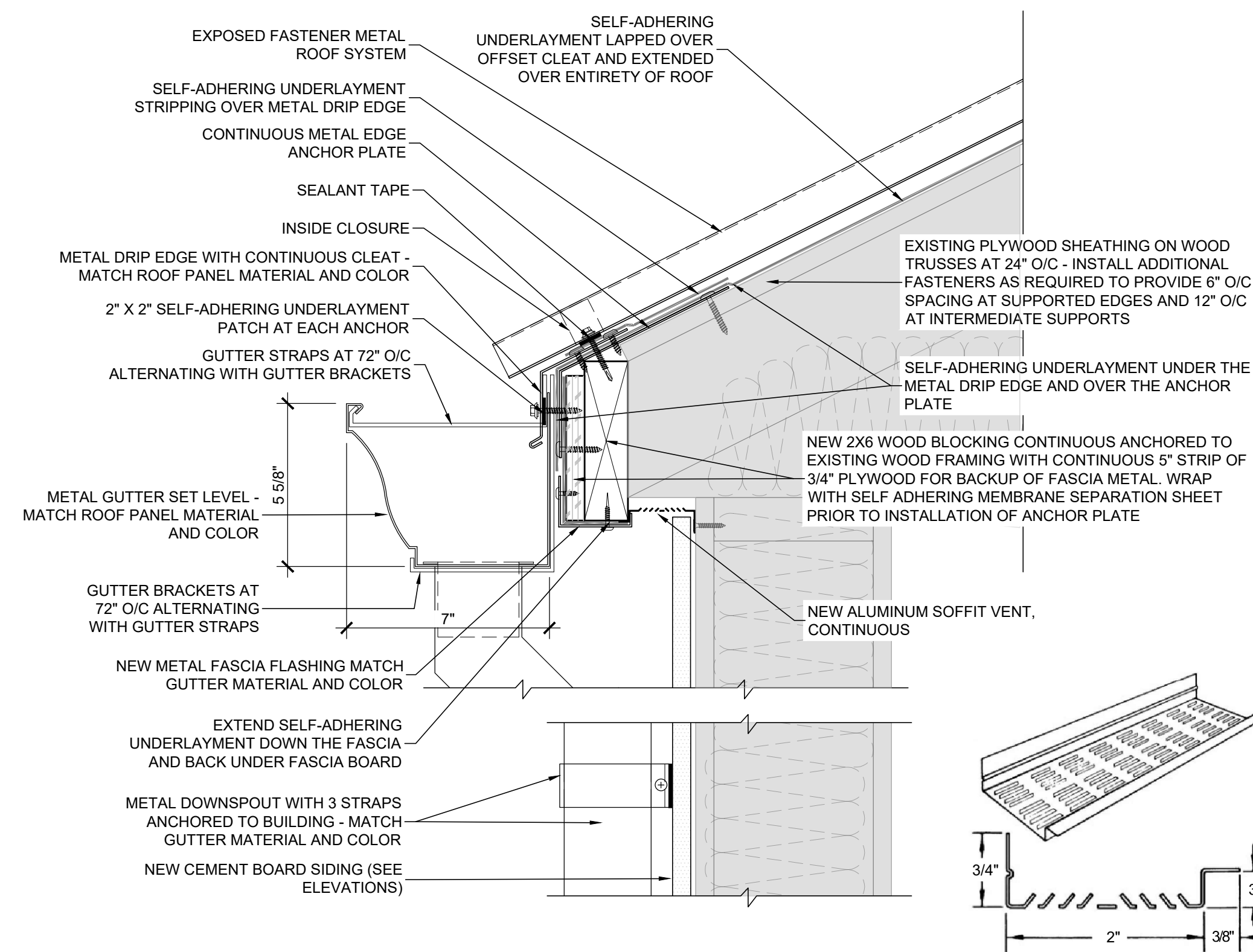
ALTERNATE 1  
RE-ROOF PLAN

SHEET NUMBER:

A101  
ALT-1

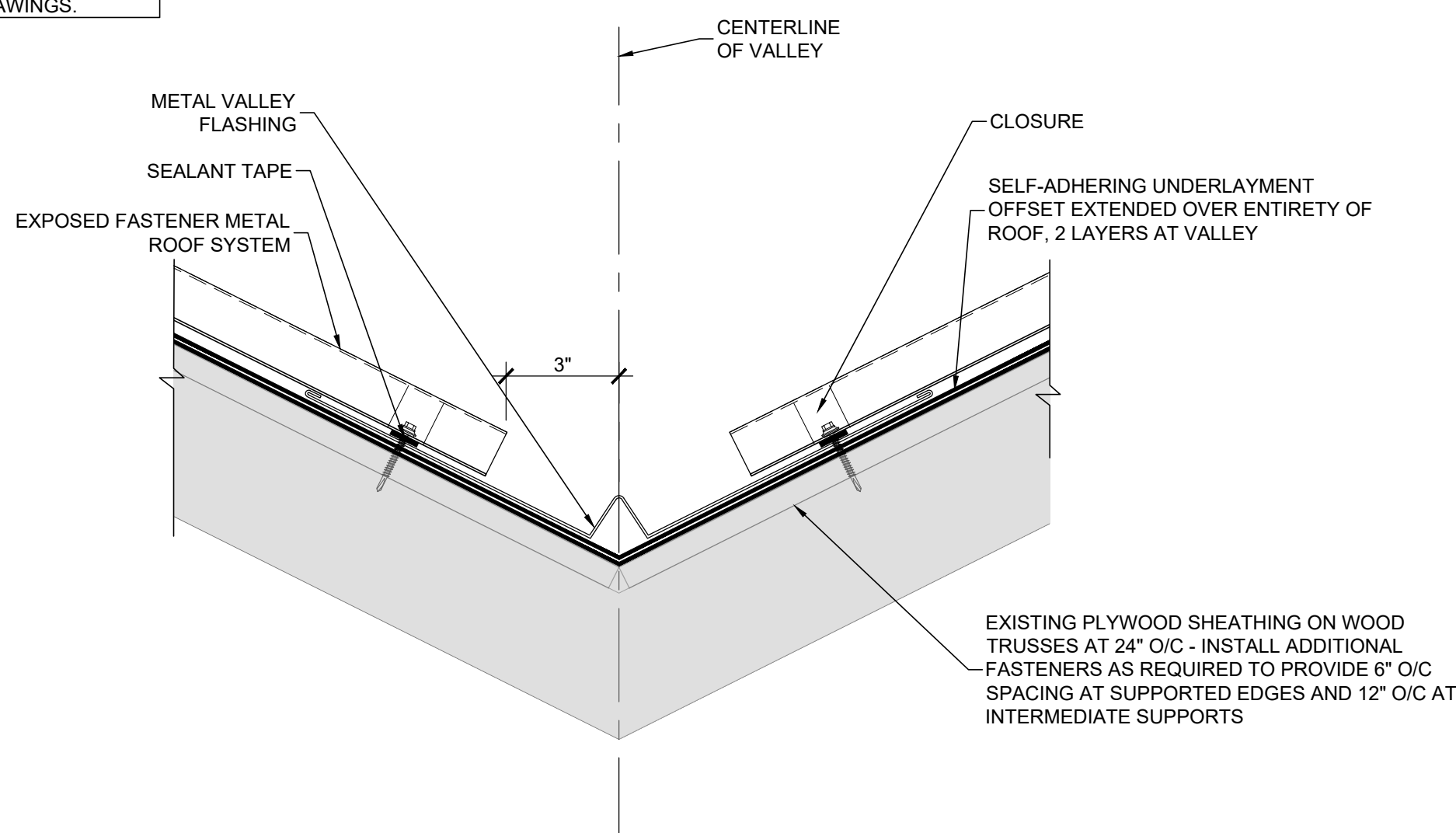


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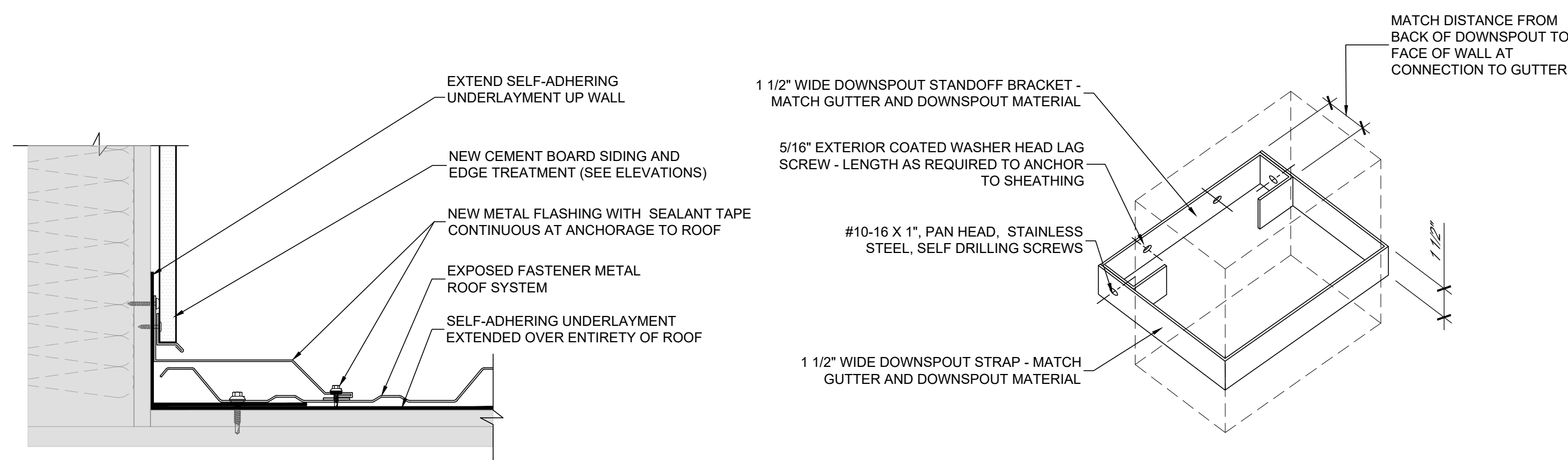


1 ROOF EDGE DETAIL  
SCALE: 3"=1'-0"

EXISTING METAL FASCIA TO BE REMOVED. FOR NEW PAINTED CEMENT BOARD SIDING AND SOFFIT TO BE INSTALLED ON NEW PRESSURE TREATED FRAMING, SEE NEW EXTERIOR ELEVATION DRAWINGS.

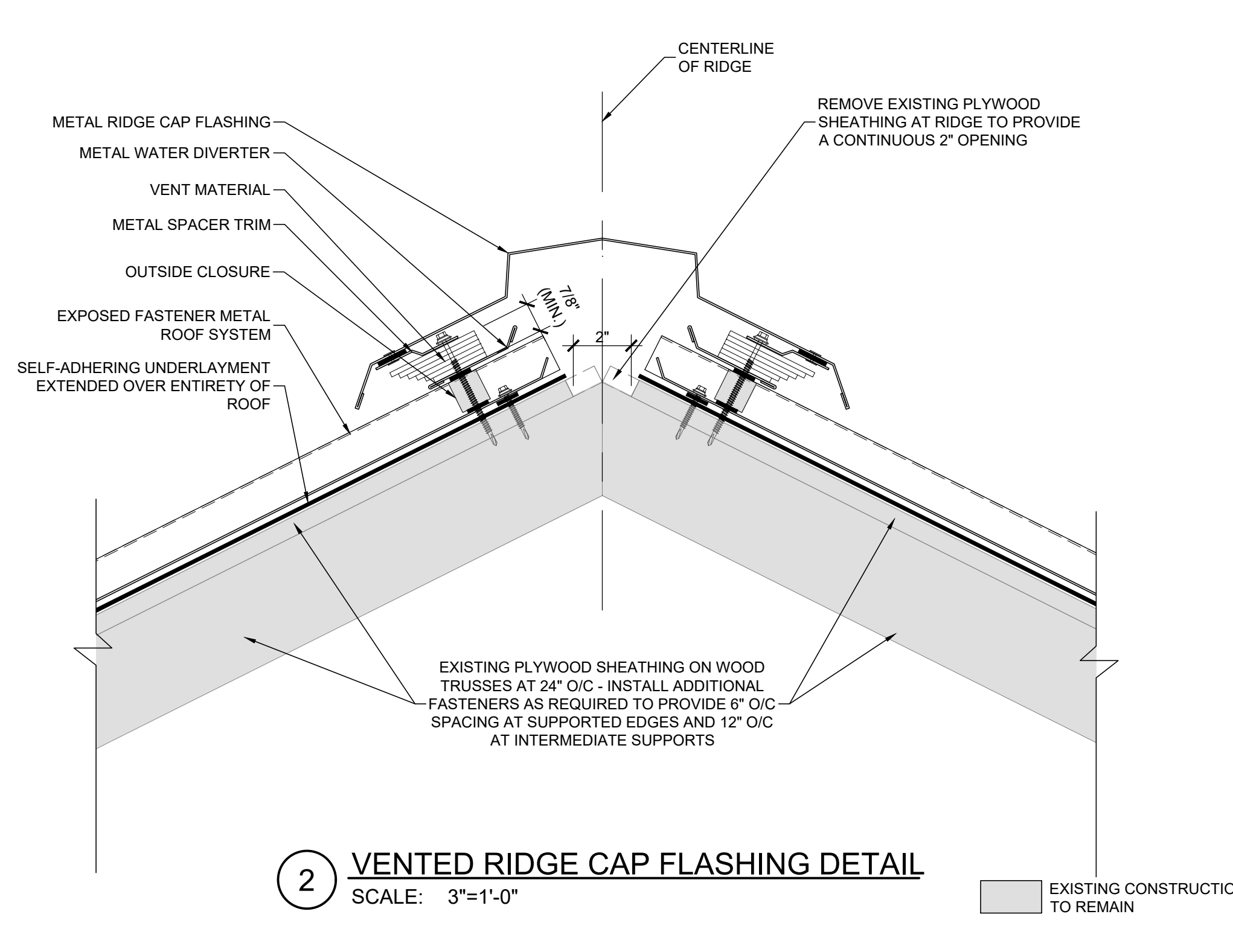


4 VALLEY FLASHING DETAIL  
SCALE: 3"=1'-0"

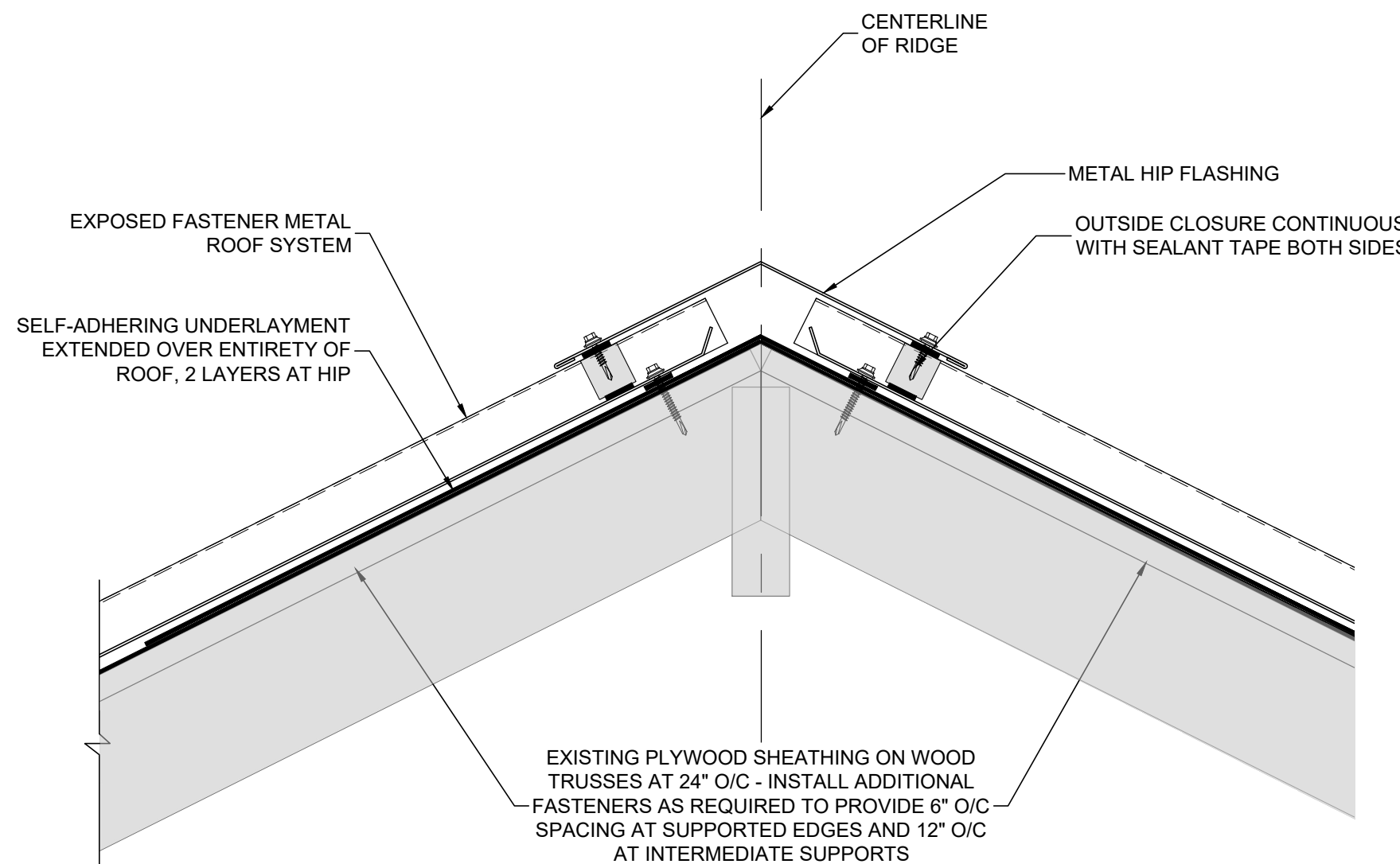


7 ROOF EDGE DETAIL  
SCALE: 3"=1'-0"

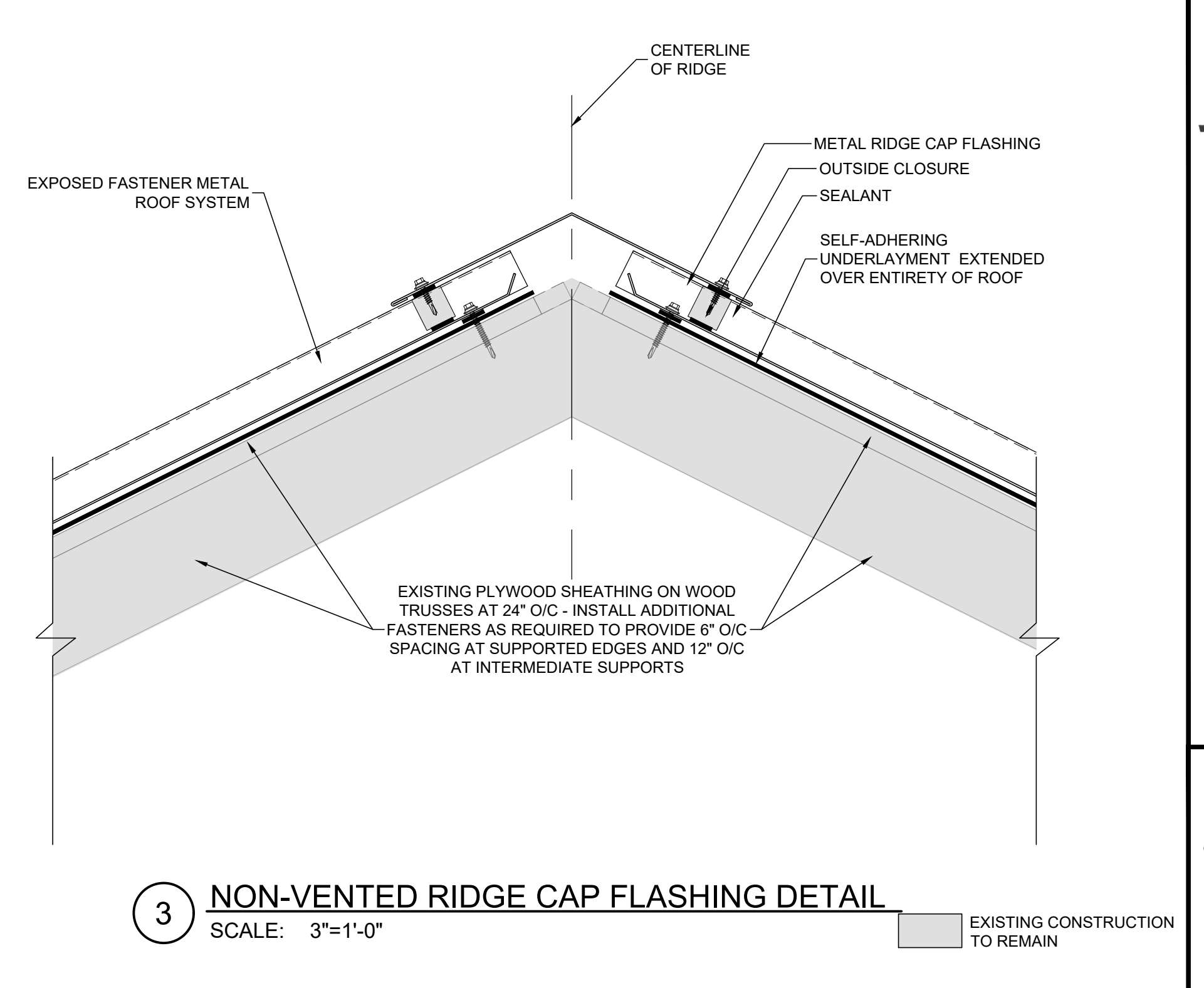
8 GUTTER STRAP  
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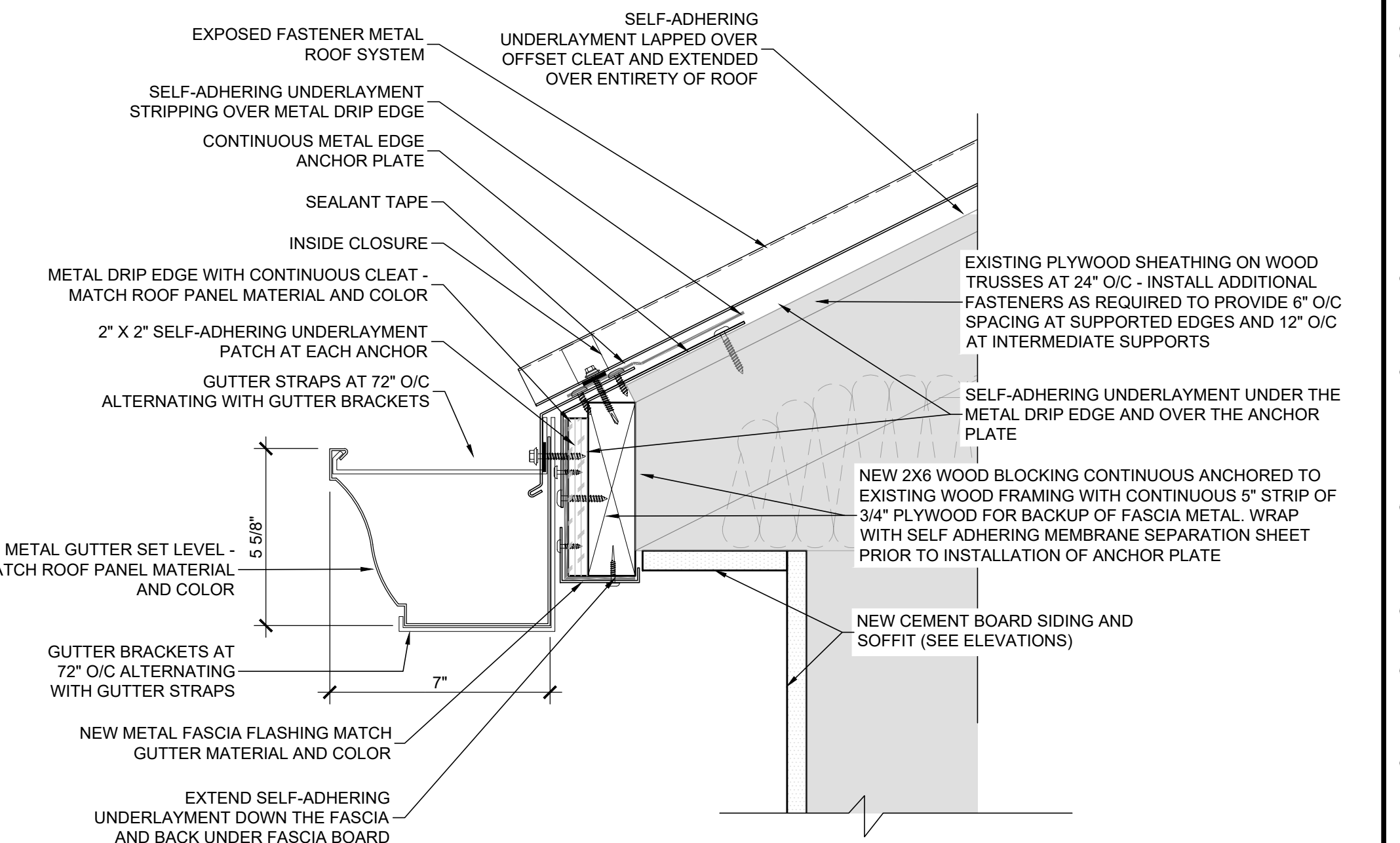
2 VENTED RIDGE CAP FLASHING DETAIL  
SCALE: 3"=1'-0"



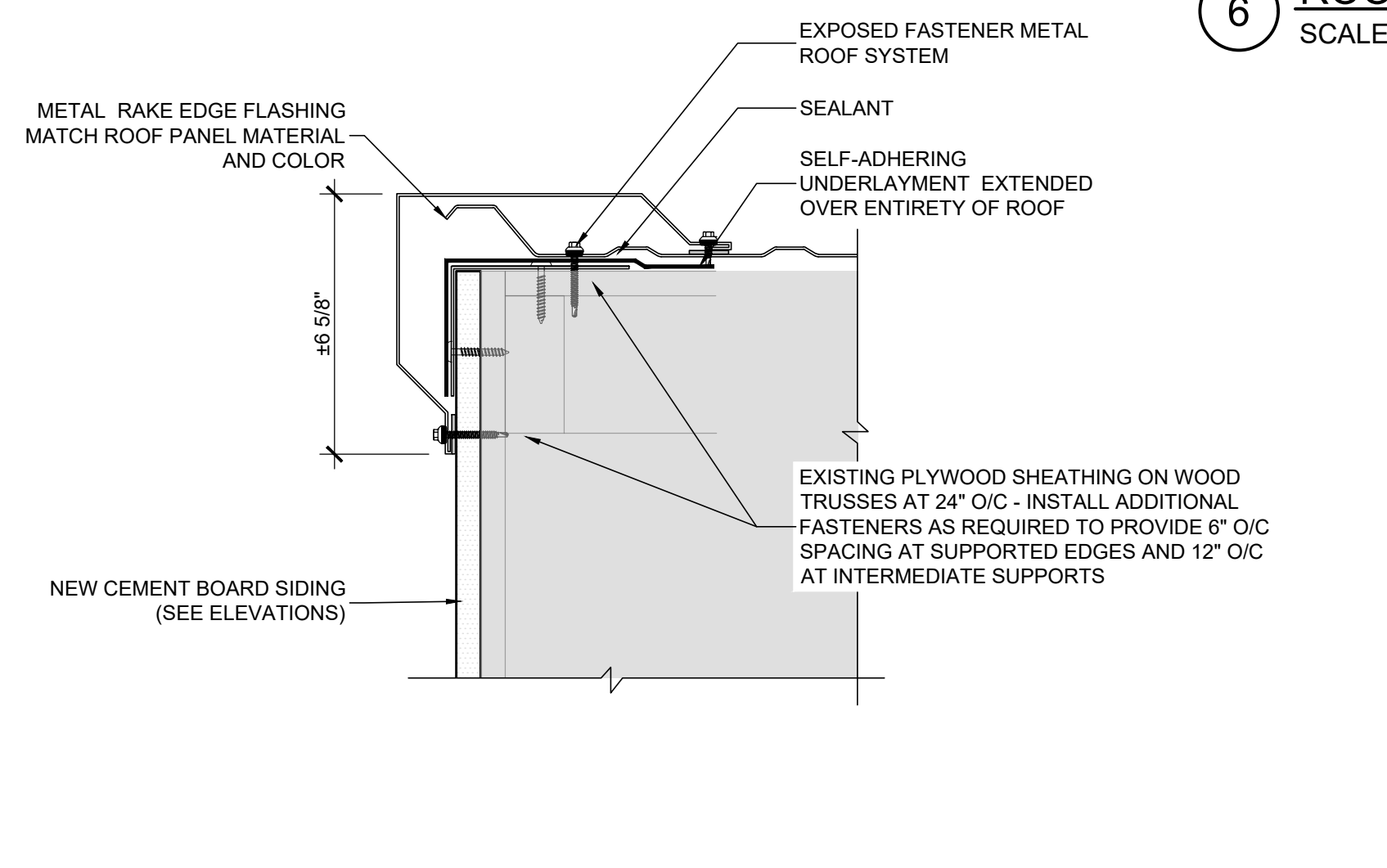
5 HIP CAP FLASHING DETAIL  
SCALE: 3"=1'-0"



3 NON-VENTED RIDGE CAP FLASHING DETAIL  
SCALE: 3"=1'-0"



6 ROOF EDGE DETAIL  
SCALE: 3"=1'-0"



9 RAKE EDGE DETAIL  
SCALE: 3"=1'-0"

PROJECT NO: 22-1101-0011

REVISIONS:


ISSUE DATE: 06-22-22



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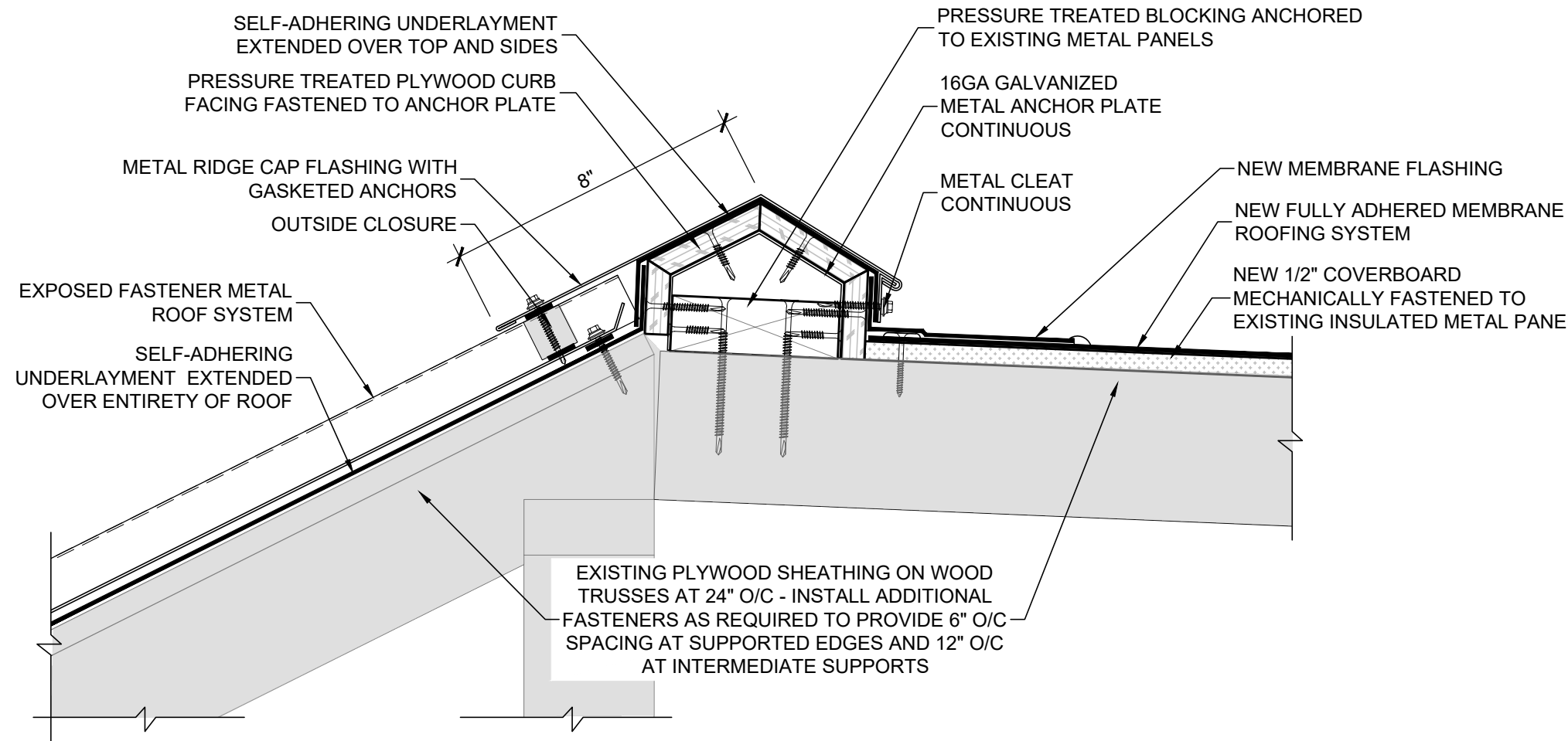
ROOF DETAILS

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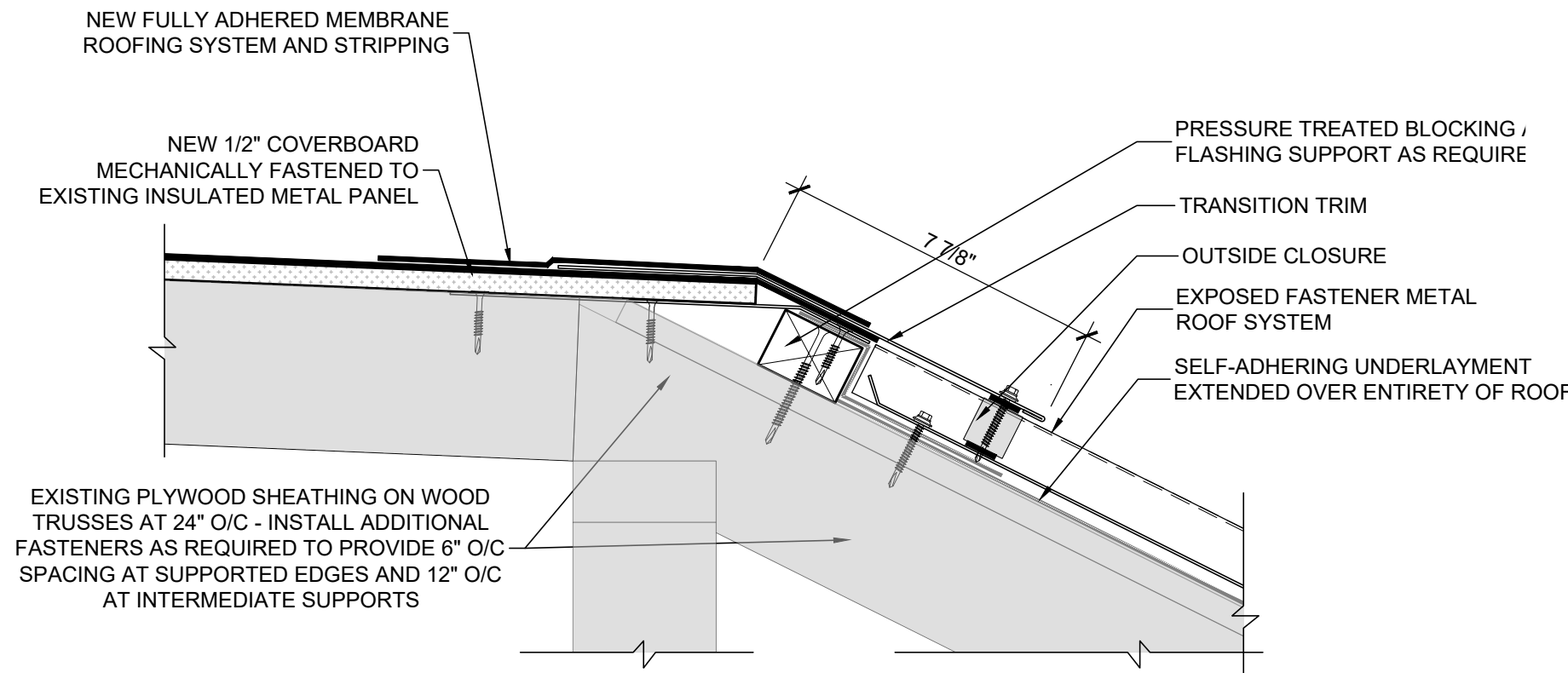
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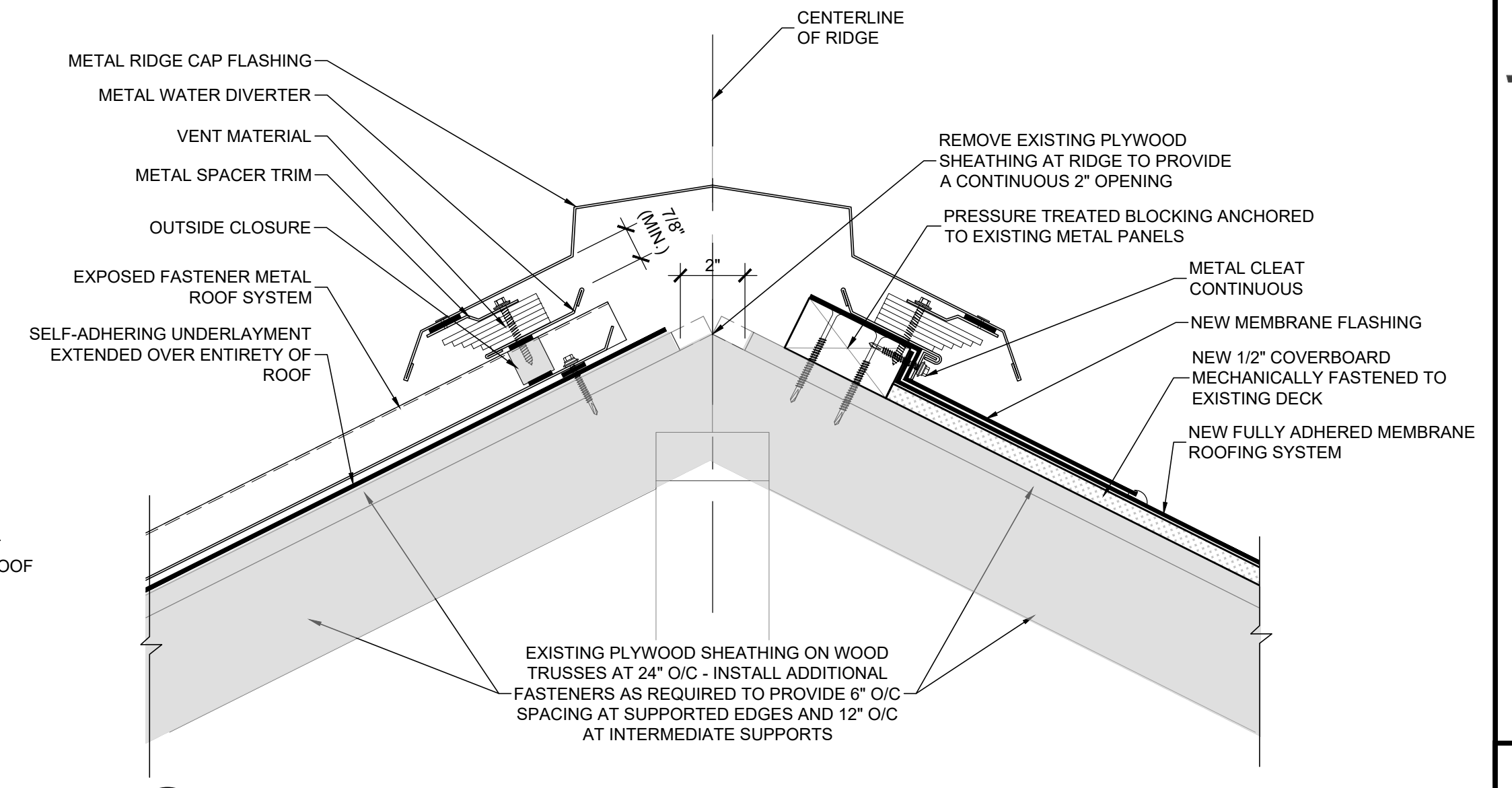
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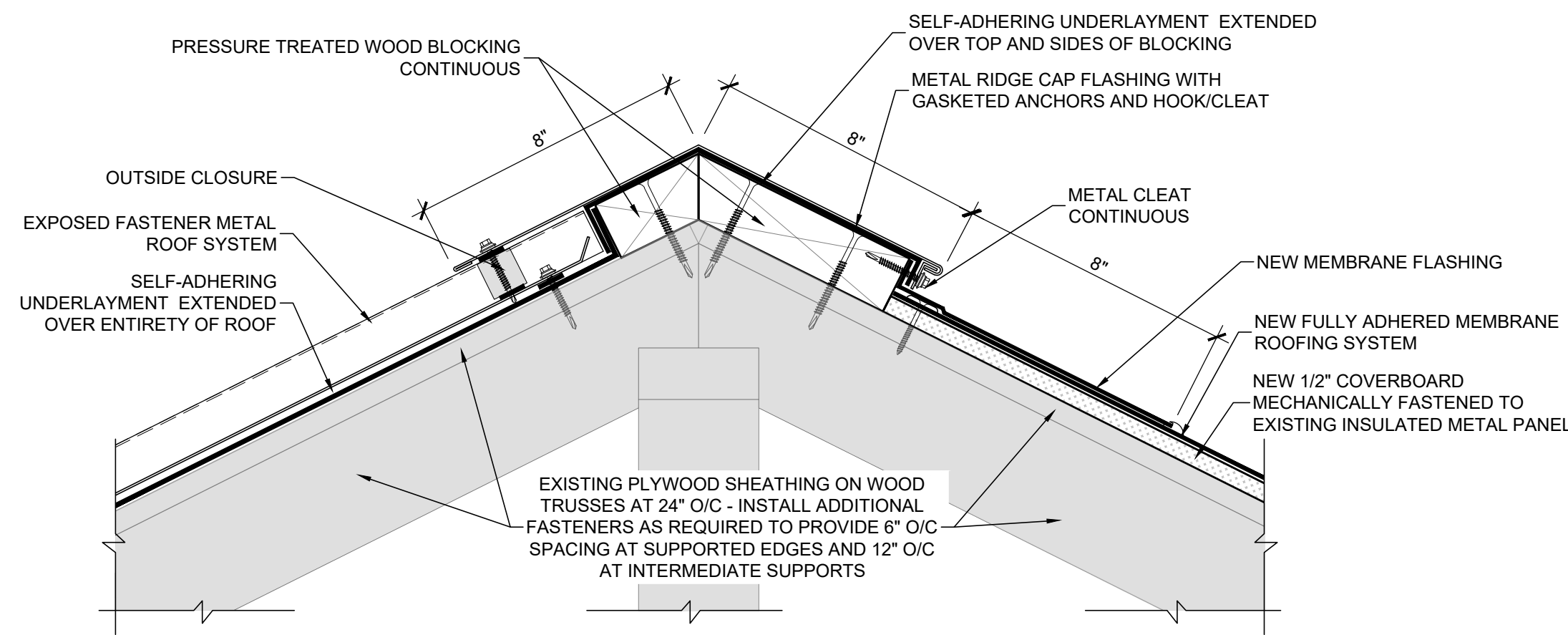
**10** TRANSITION FLASHING DETAIL  
SCALE: 3"=1'-0"  
EXISTING CONSTRUCTION TO REMAIN



**11** TRANSITION FLASHING DETAIL  
SCALE: 3"=1'-0"  
EXISTING CONSTRUCTION TO REMAIN

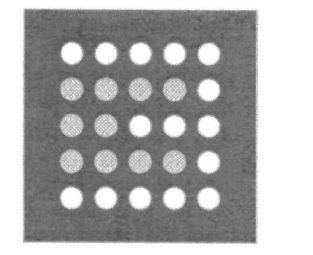


**12** TRANSITION FLASHING DETAIL  
SCALE: 3"=1'-0"  
EXISTING CONSTRUCTION TO REMAIN



**13** TRANSITION FLASHING DETAIL  
SCALE: 3"=1'-0"  
EXISTING CONSTRUCTION TO REMAIN

**watermark**  
DESIGN GROUP, LLC  
interior design  
architecture • landscape architecture  
2975 Hill Road • Suite 200 • Mobile, Alabama 36606  
251.344.5515 voice  
www.watermarkarchitect.com



CITY OF ORANGE BEACH CITY-WIDE ROOF REPAIRS  
**COMMUNITY DEVELOPMENT BUILDING**  
**ROOF REPLACEMENTS**  
4101 ORANGE BEACH BLD, ORANGE BEACH, AL 36561

PROJECT NO: 22-1101-0011

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUE DATE: 06-22-22



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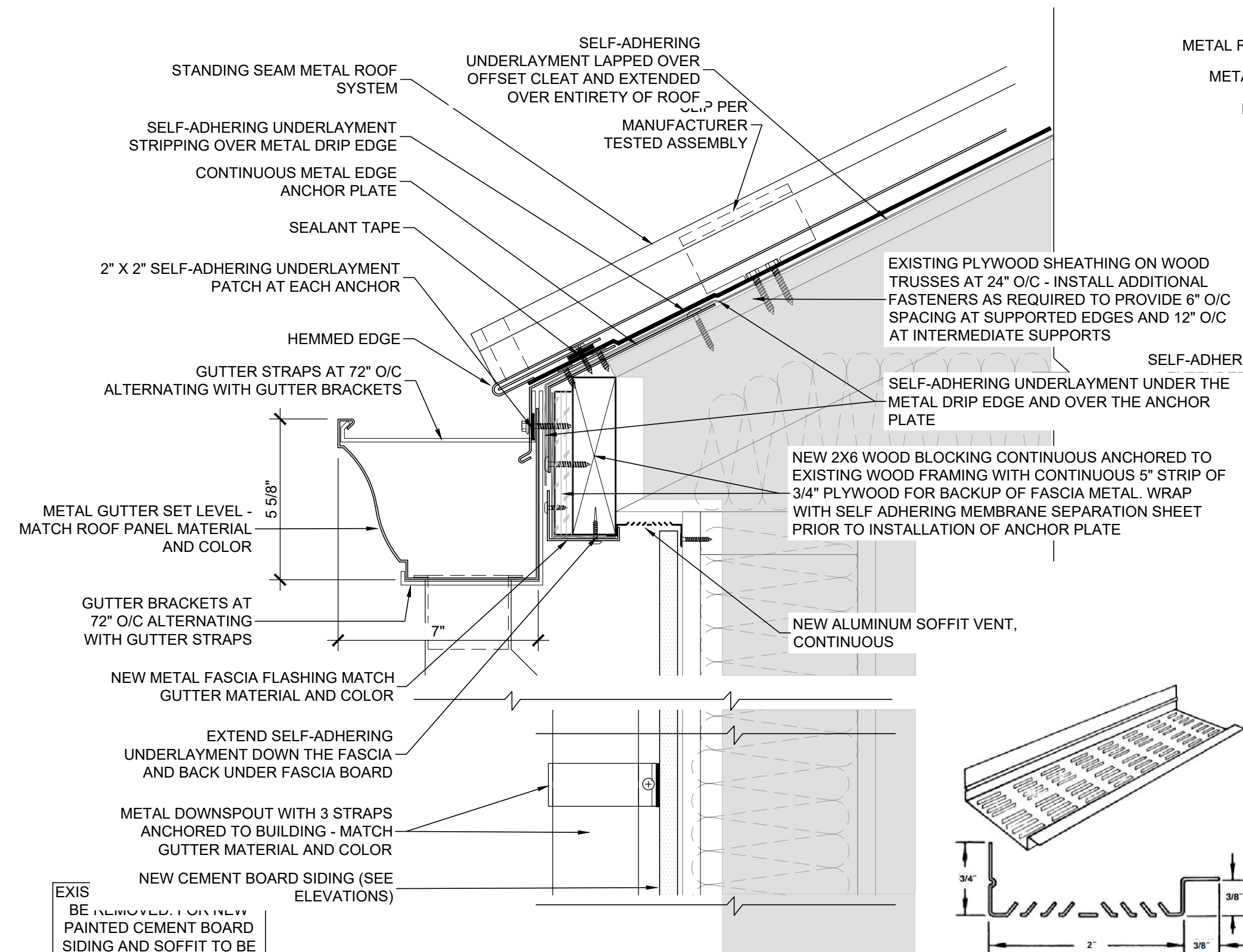
ROOF DETAILS

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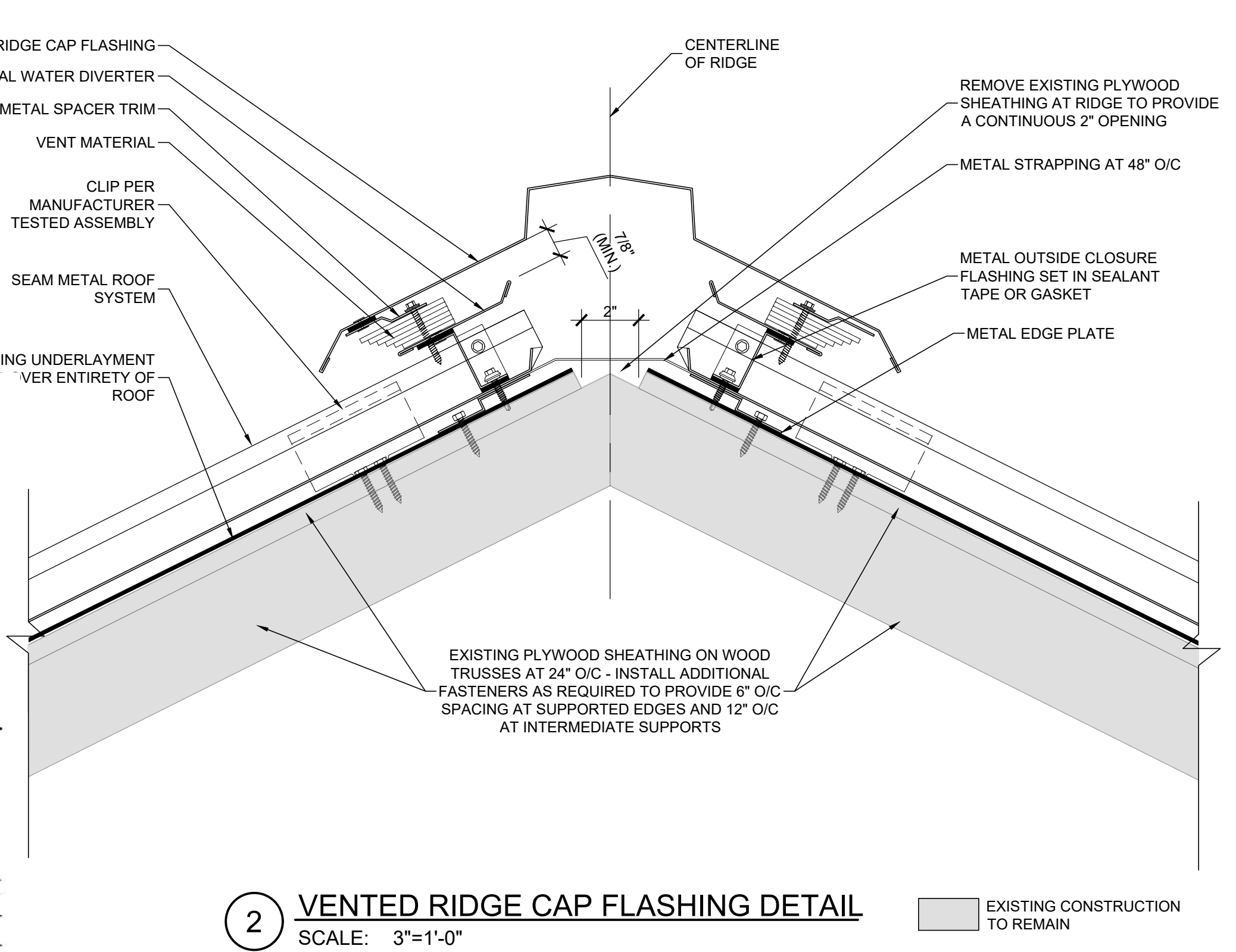
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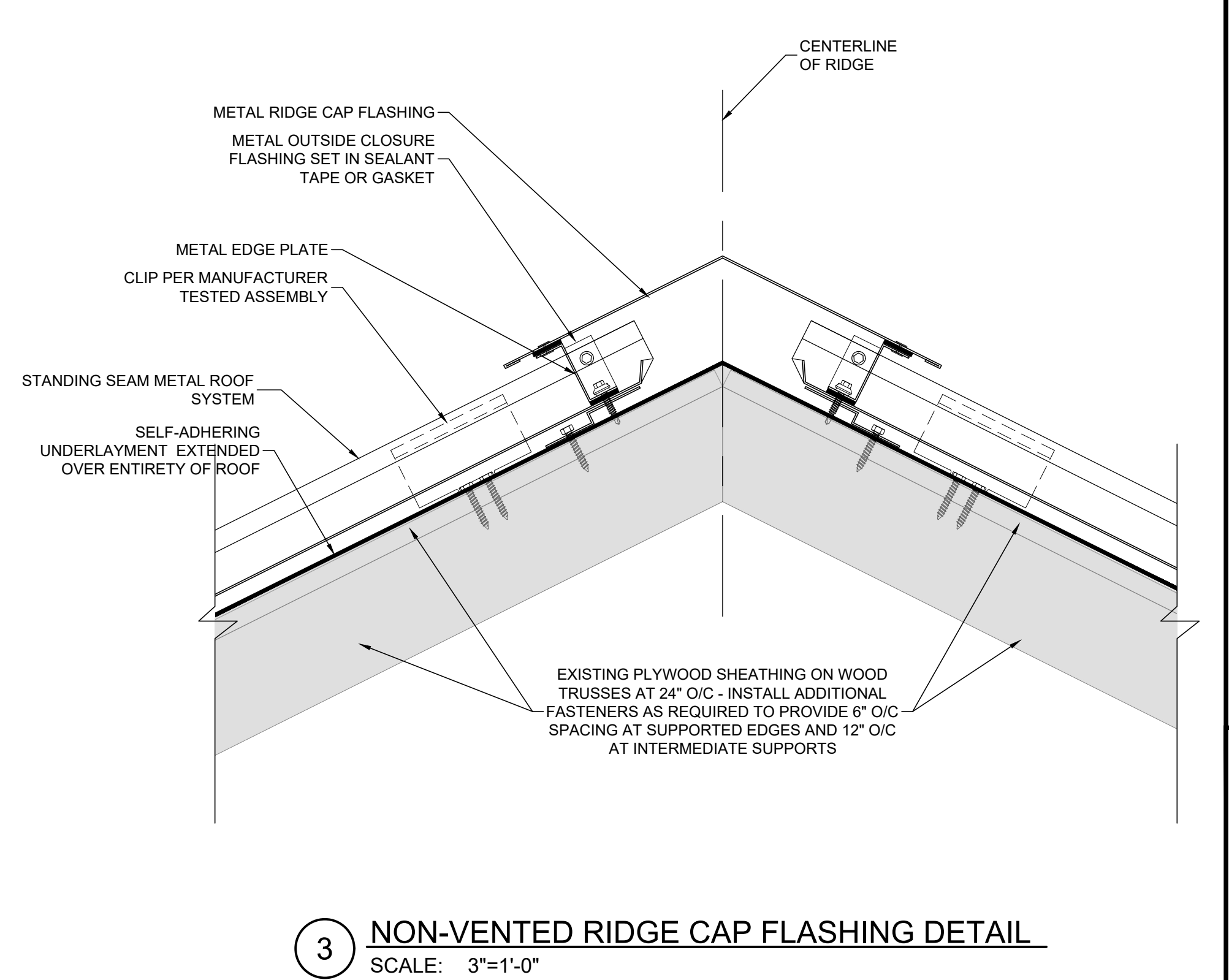
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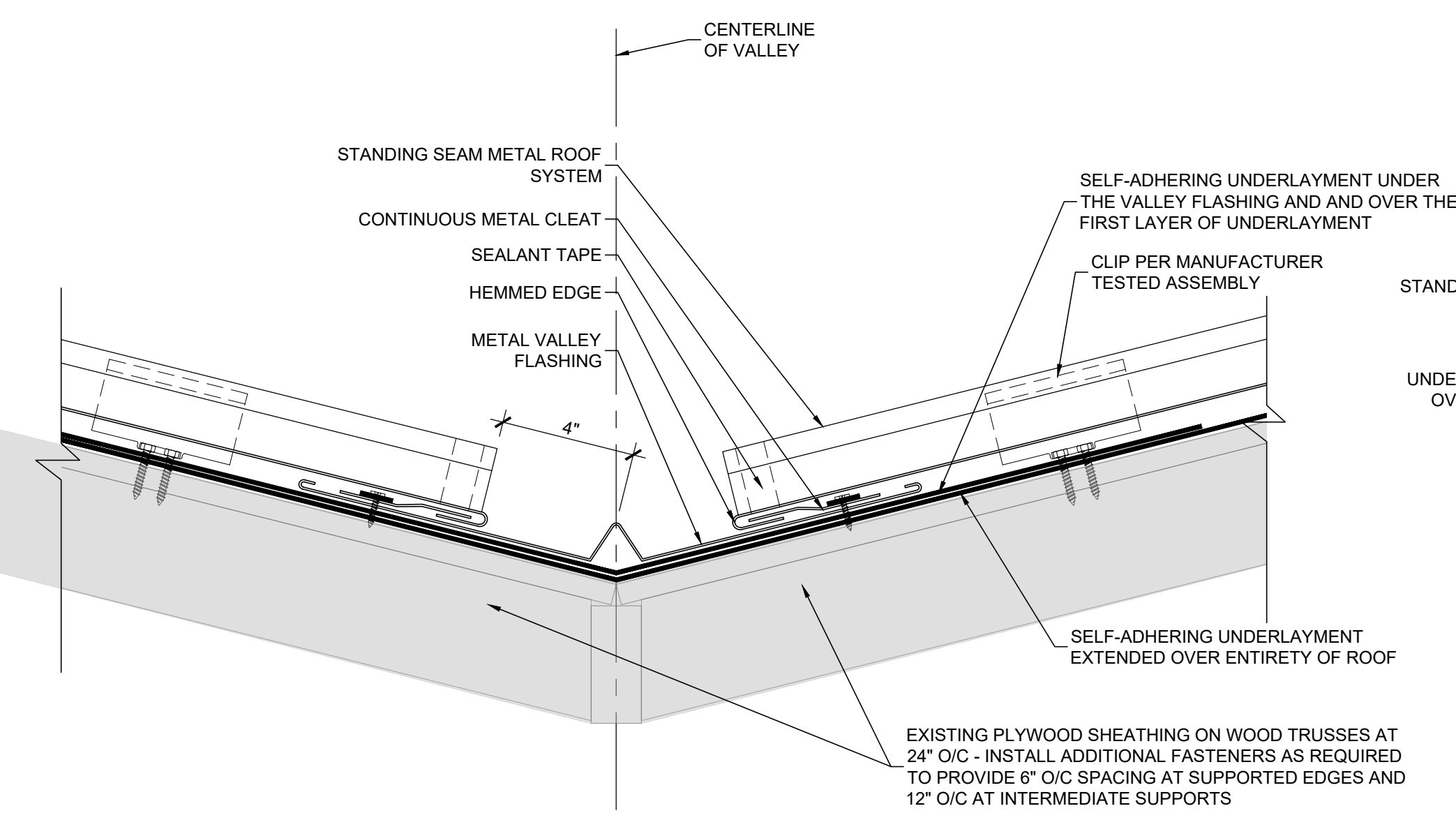
1 ROOF EDGE DETAIL  
SCALE: 3"=1'-0"



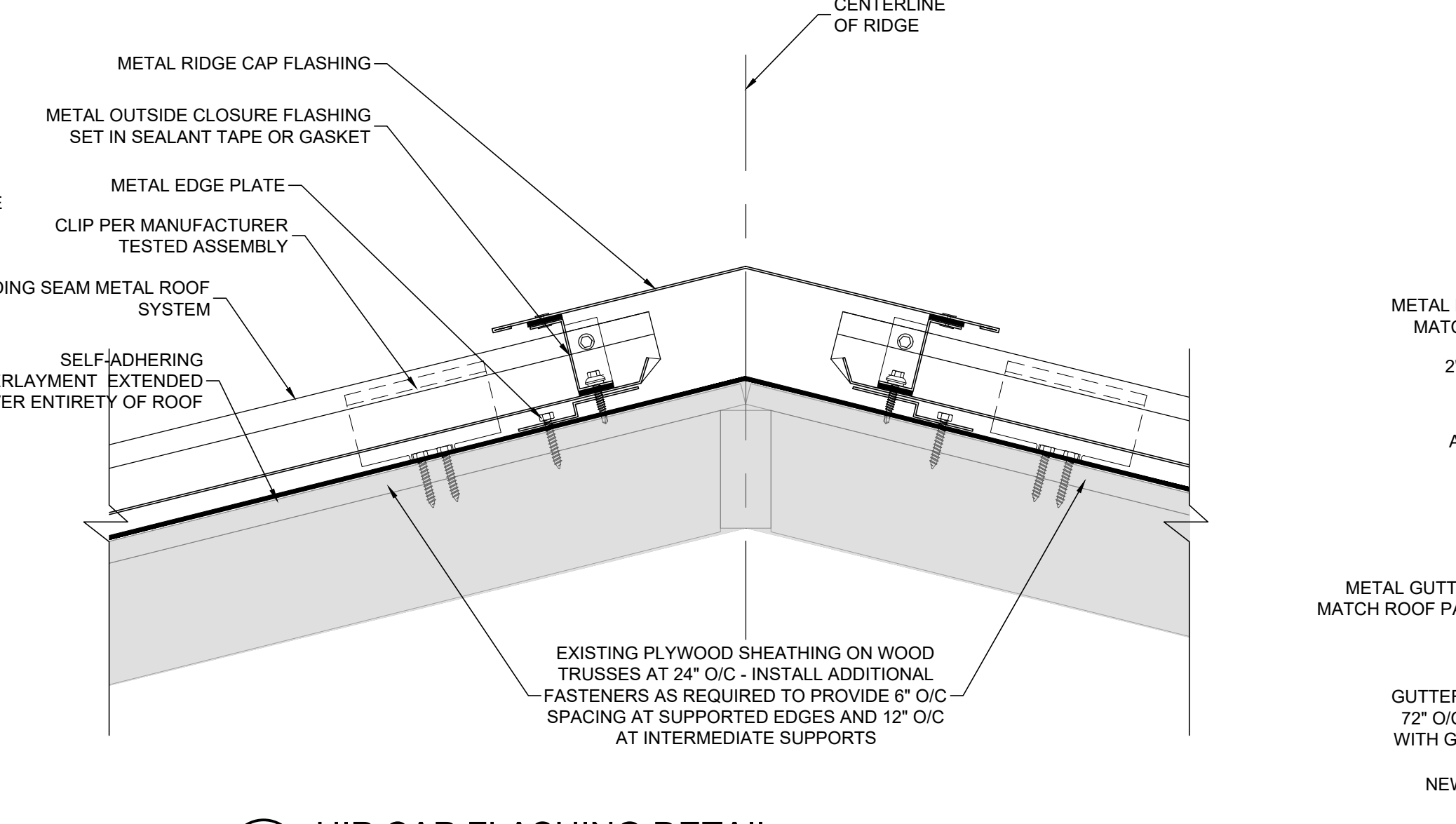
2 VENTED RIDGE CAP FLASHING DETAIL  
SCALE: 3"=1'-0"



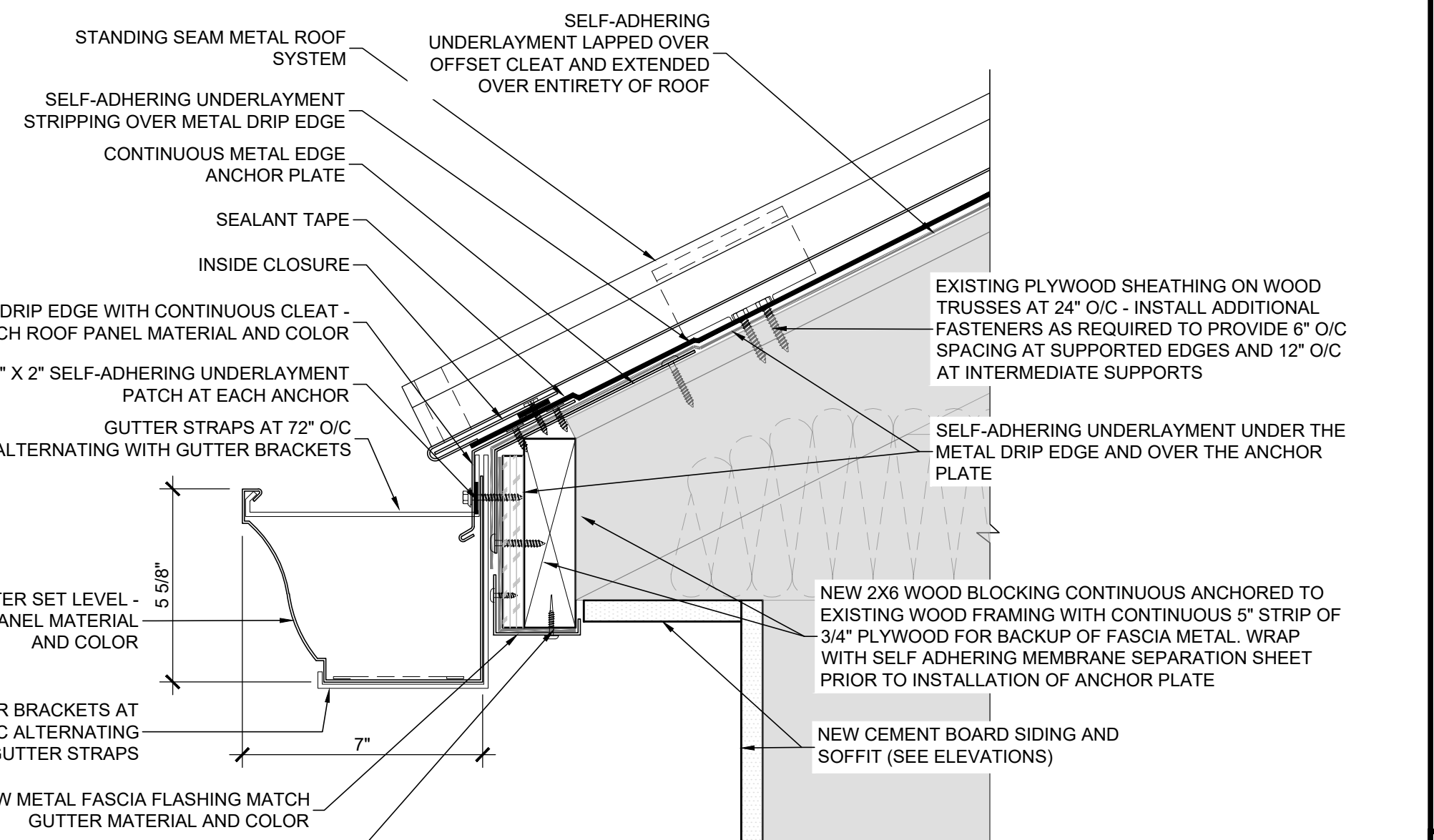
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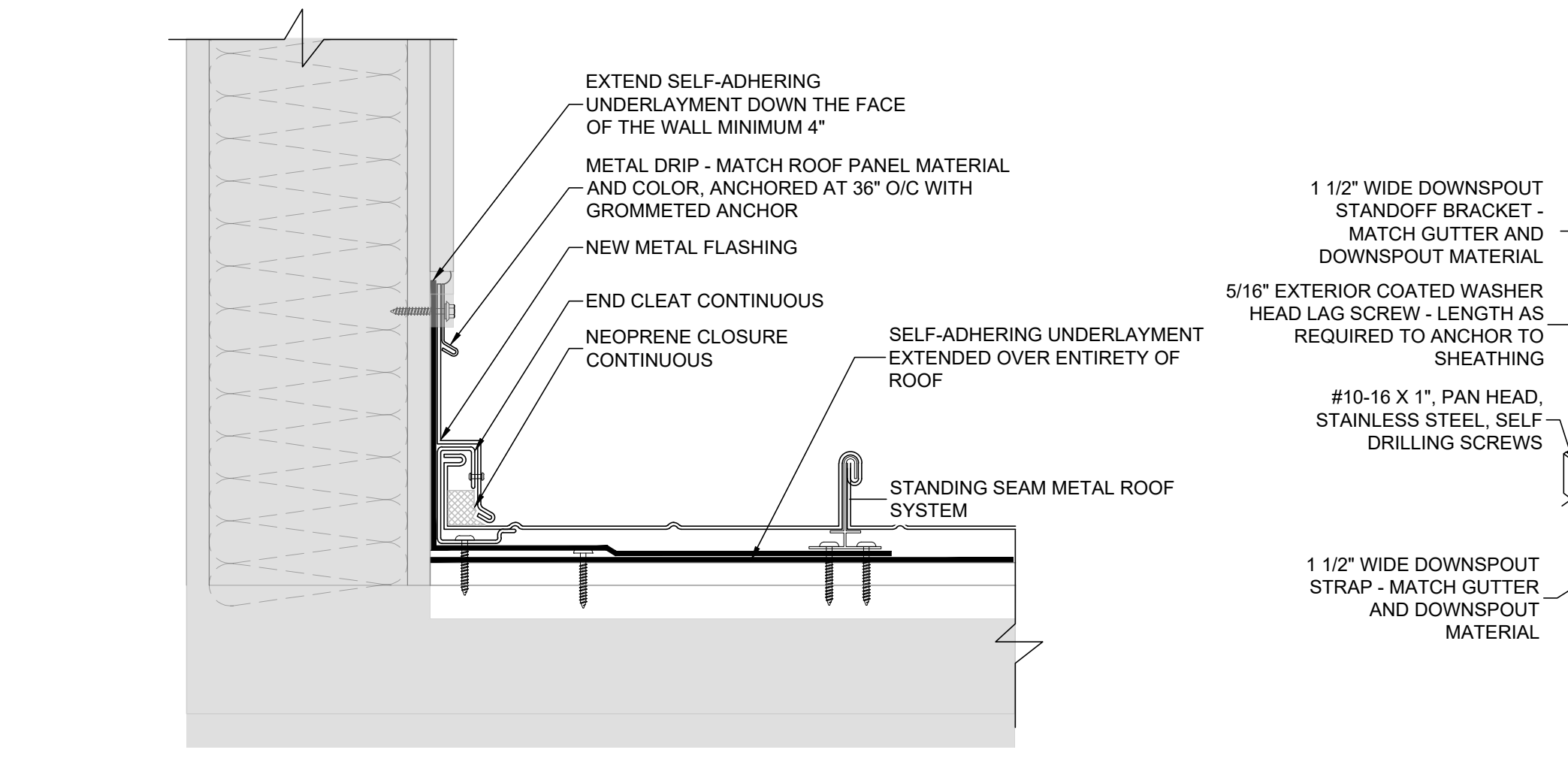
4 VALLEY FLASHING DETAIL  
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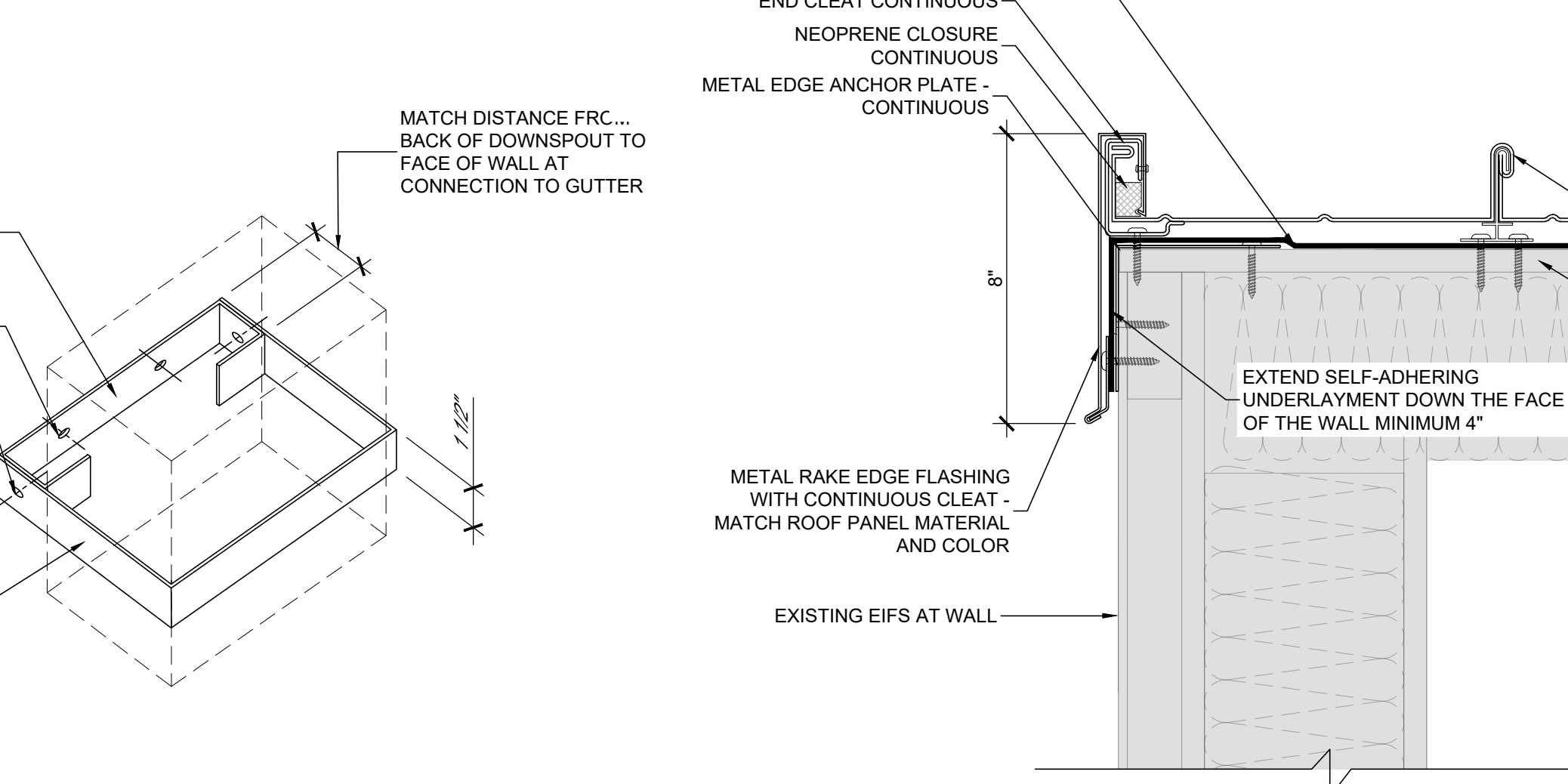
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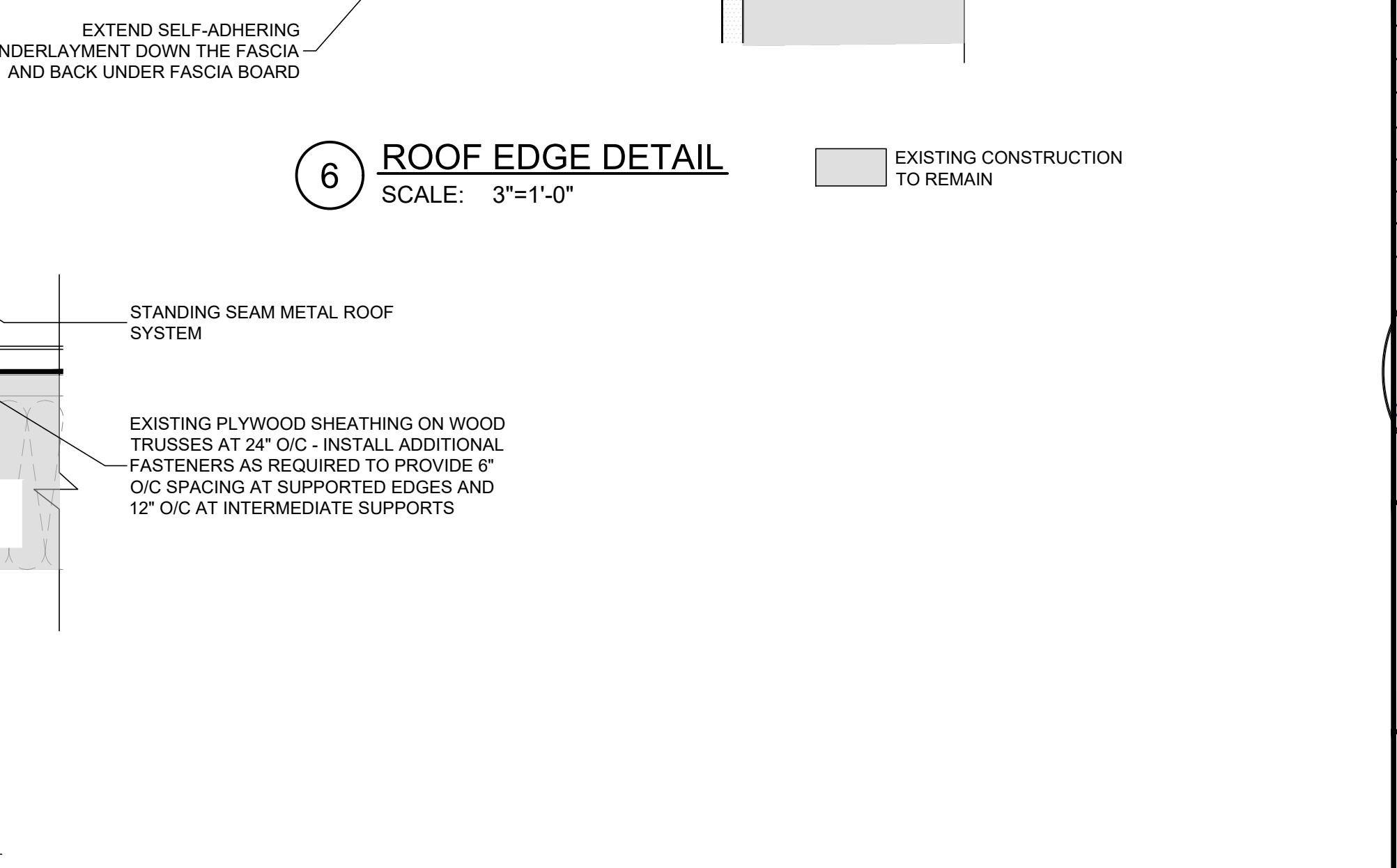
6 ROOF EDGE DETAIL  
SCALE: 3"=1'-0"



7 ROOF EDGE DETAIL  
SCALE: 3"=1'-0"



8 GUTTER STRAP  
SCALE: NOT TO SCALE



9 RAKE EDGE DETAIL  
SCALE: 3"=1'-0"

PROJECT NO: 22-1101-0011

REVISIONS:


ISSUE DATE: 06-22-22

STATE OF ALABAMA  
JOHN A. MCARTHUR, III  
6431  
06-23-22  
REGISTERED ARCHITECT

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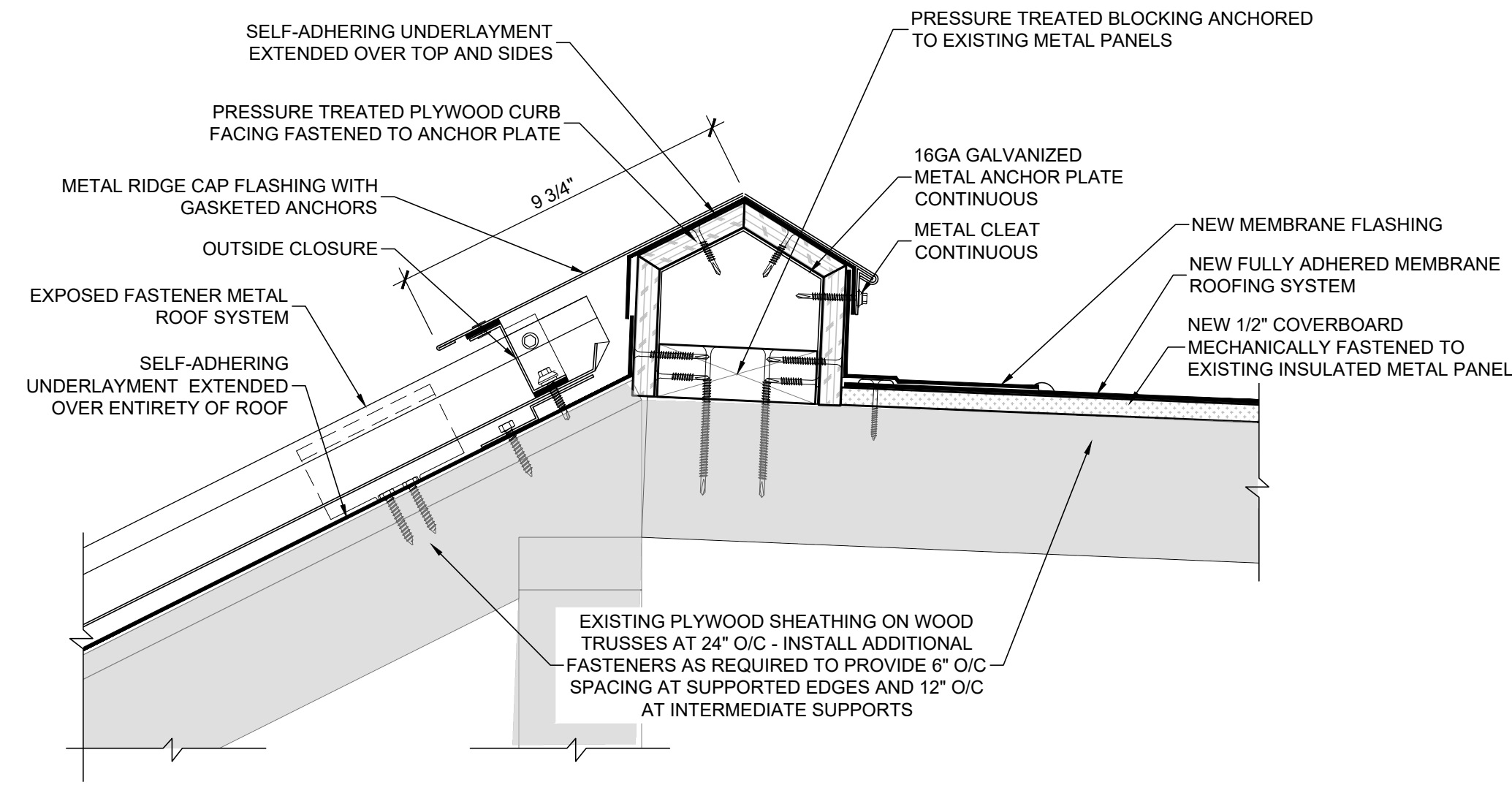
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SHEET TITLE:  
ALTERNATE 1  
ROOF DETAILS

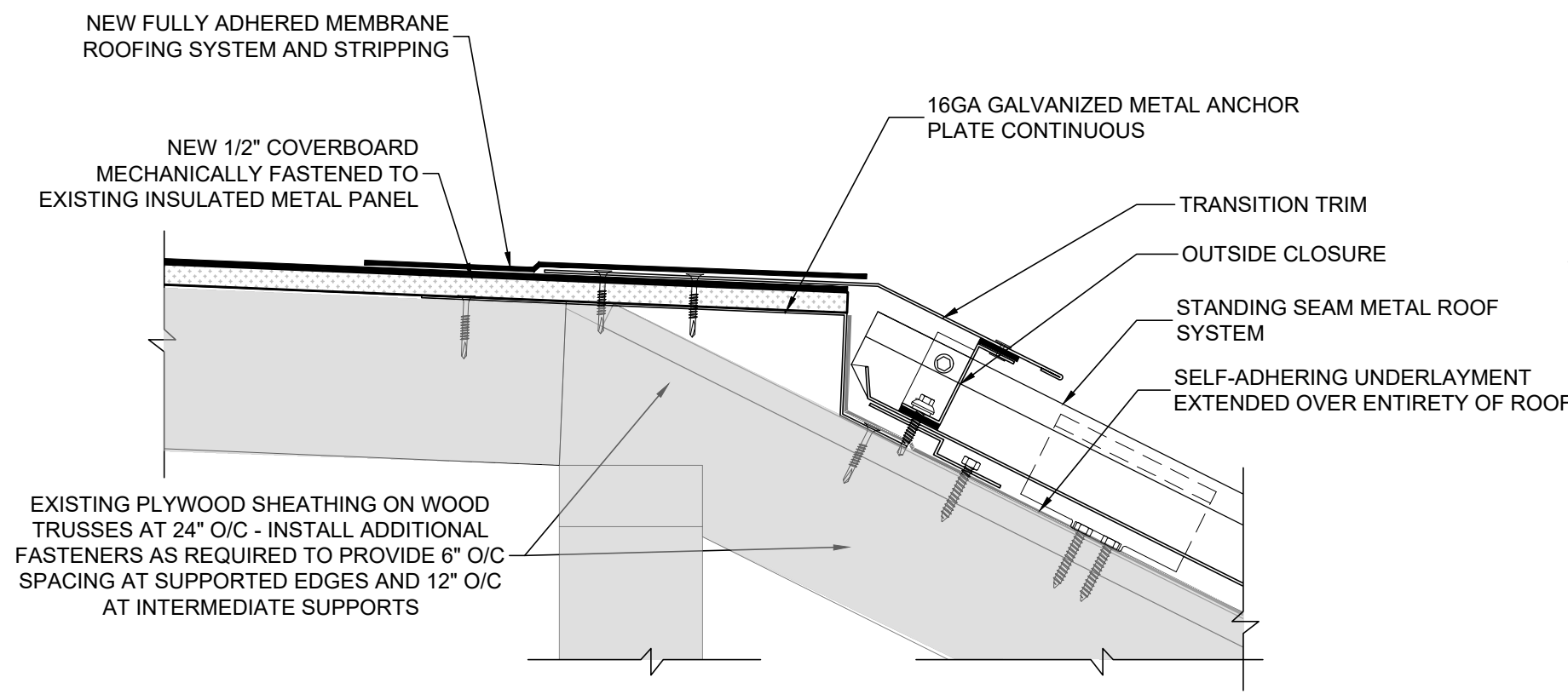
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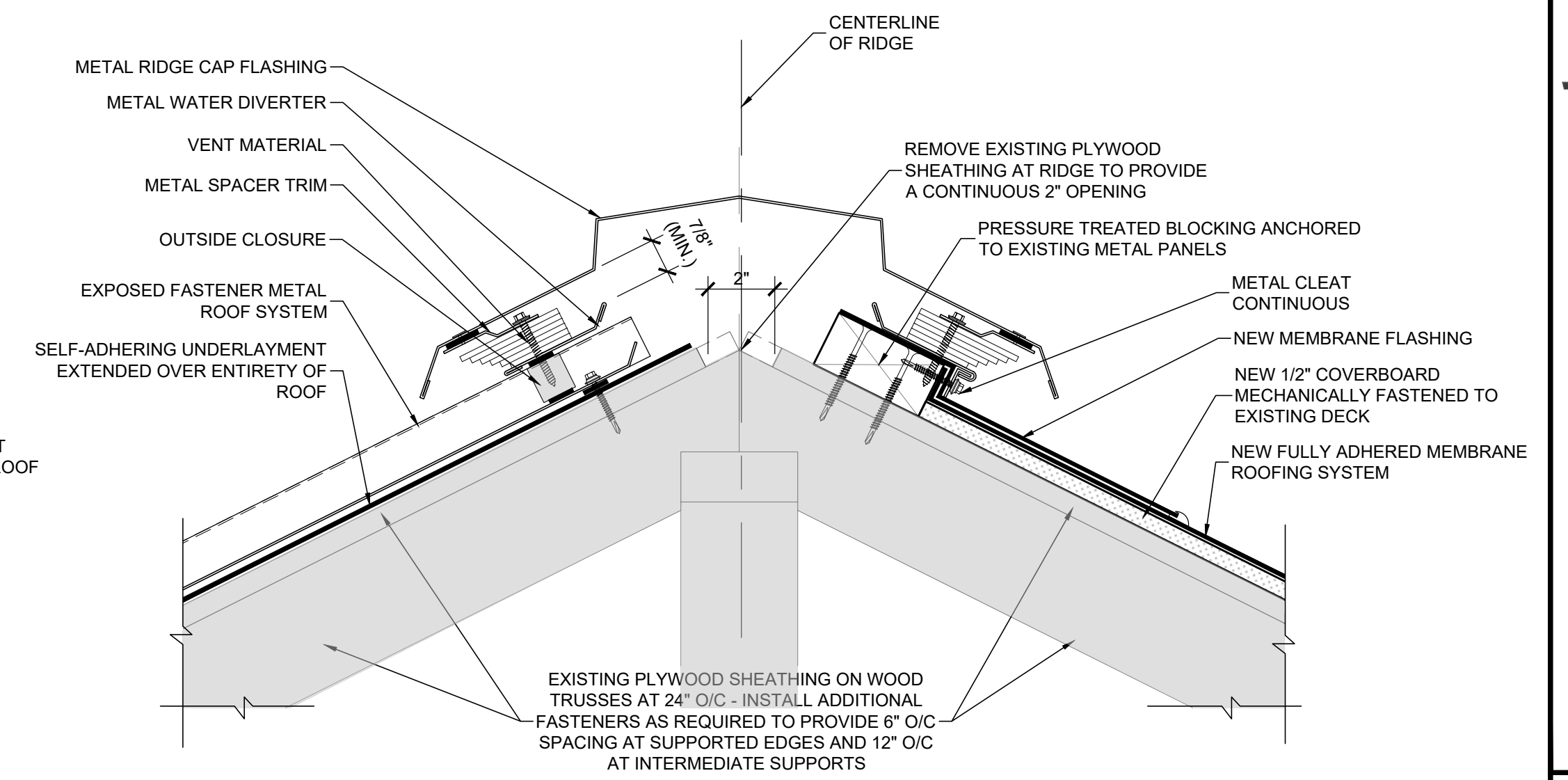
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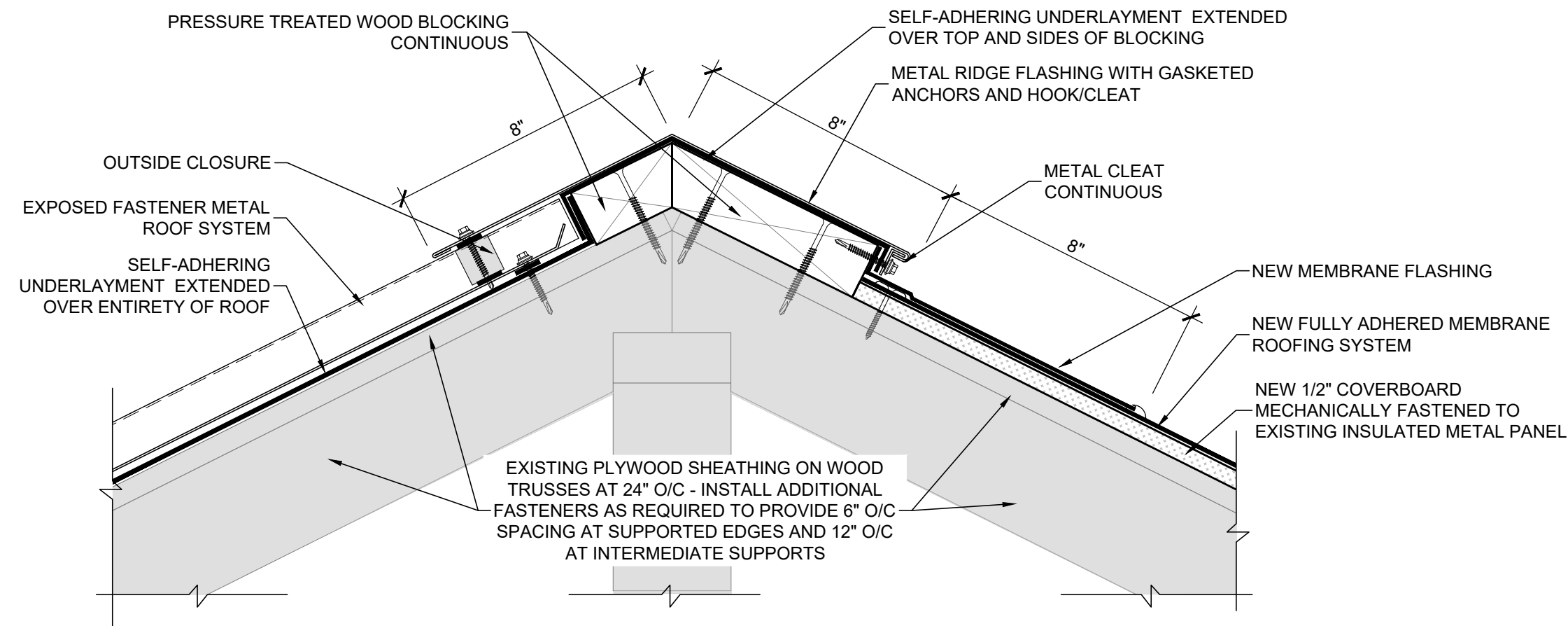
**10** TRANSITION FLASHING DETAIL  
SCALE: 3"=1'-0"  
EXISTING CONSTRUCTION TO REMAIN



**11** TRANSITION FLASHING DETAIL  
SCALE: 3"=1'-0"  
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**12** TRANSITION FLASHING DETAIL  
SCALE: 3"=1'-0"  
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**13** TRANSITION FLASHING DETAIL  
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4101 ORANGE BEACH BLD., ORANGE BEACH, AL 36561

PROJECT NO: 22-1101-0011

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6431  
06-23-22  
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SHEET TITLE:

ALTERNATE 1  
ROOF DETAILS

SHEET NUMBER:

A500.2  
ALT-1

**McColloUGH ARCHITECTURE, INC.**  
 P.O. BOX 6310  
 GULF SHORES, ALABAMA 36547-6310  
 PHONE: 251-968-7222

**ALABAMA REGISTERED PROFESSIONAL ENGINEER**  
 No. 25893  
 C. HATCHER  
 06-17-2022

**Lane and Hatcher Engineers, llc**  
 5125 OAK GLEN DR  
 PACE, FL 32909  
 850-393-0937  
 AL. Cert. of Auth: 2453

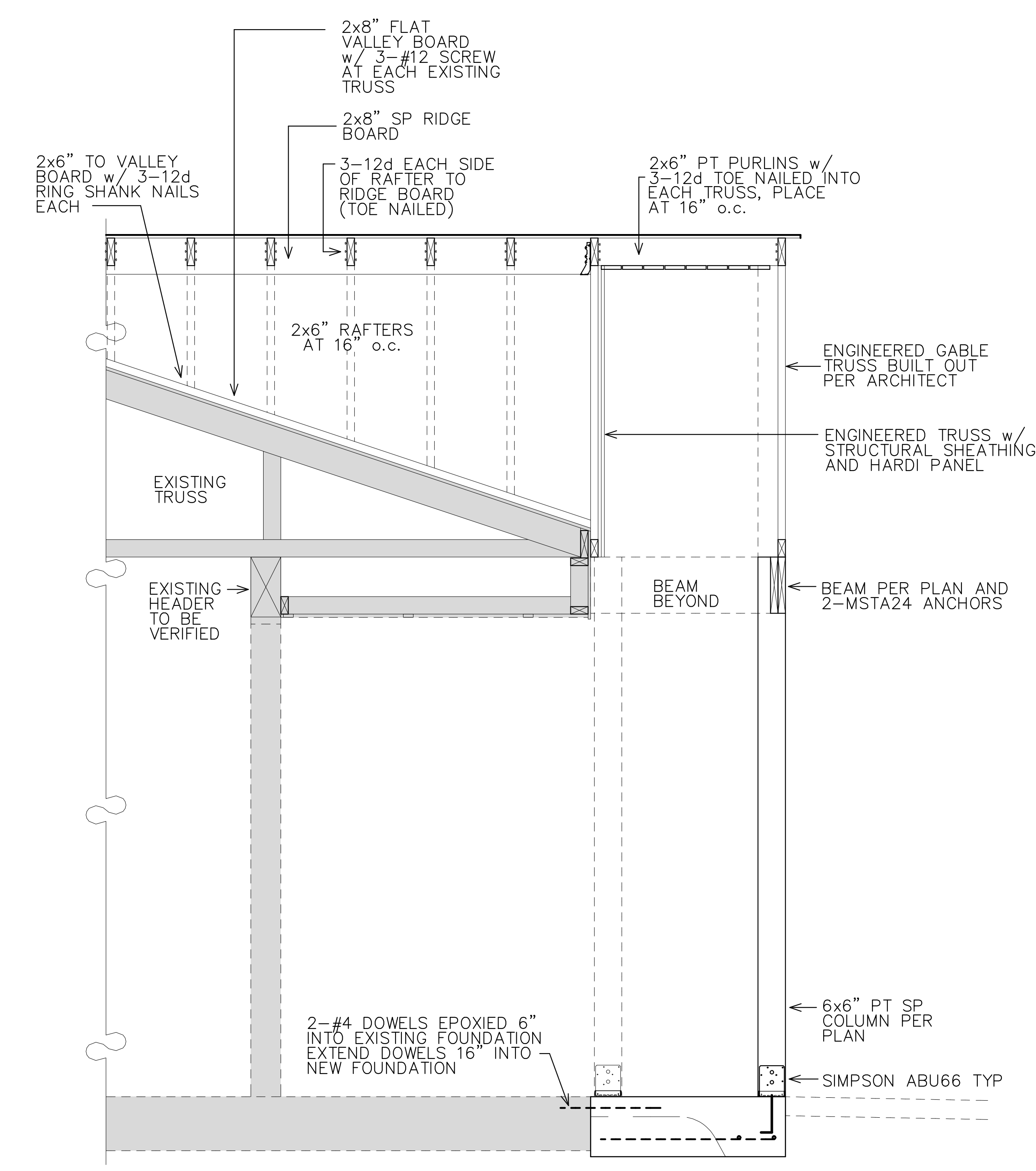
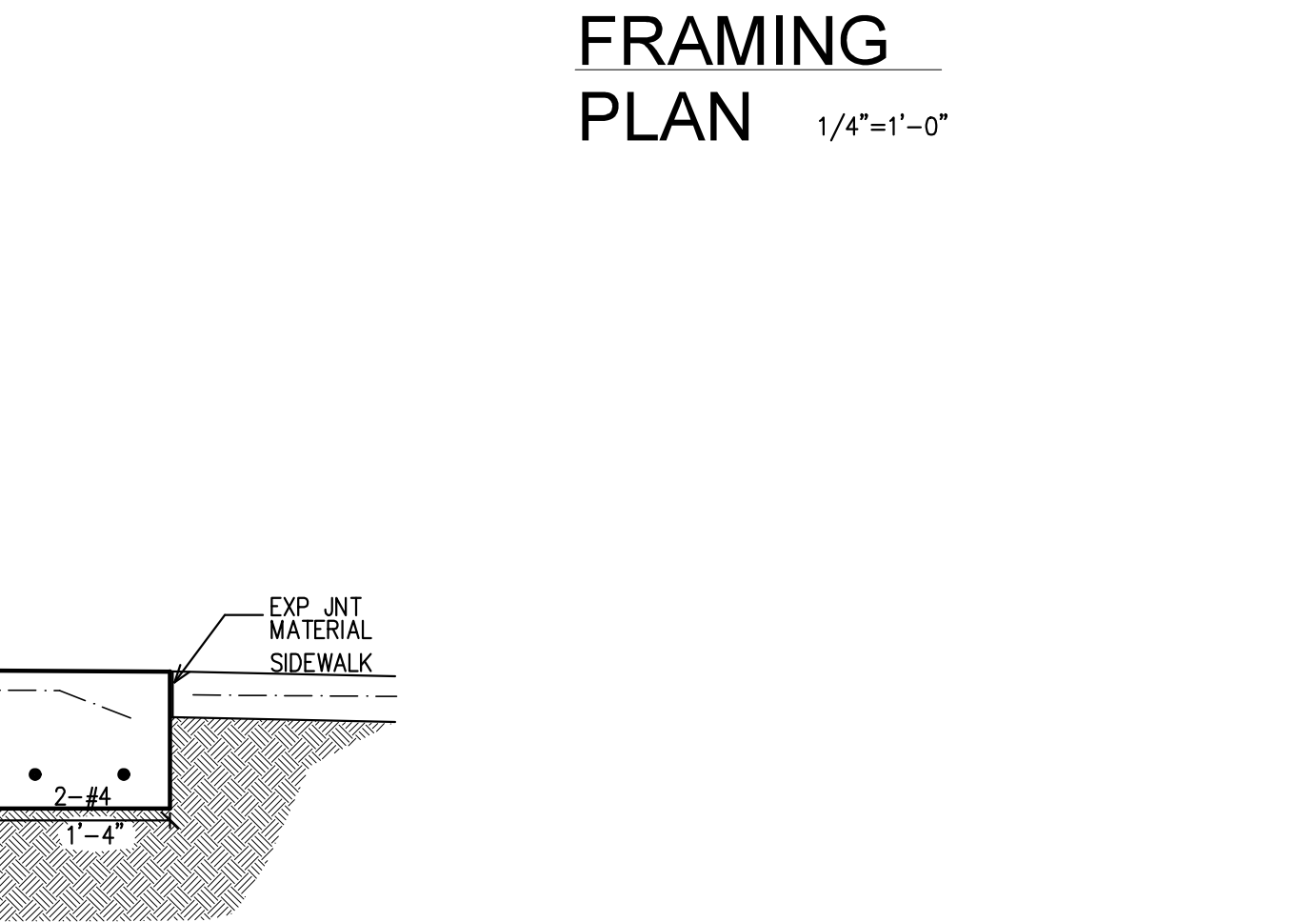
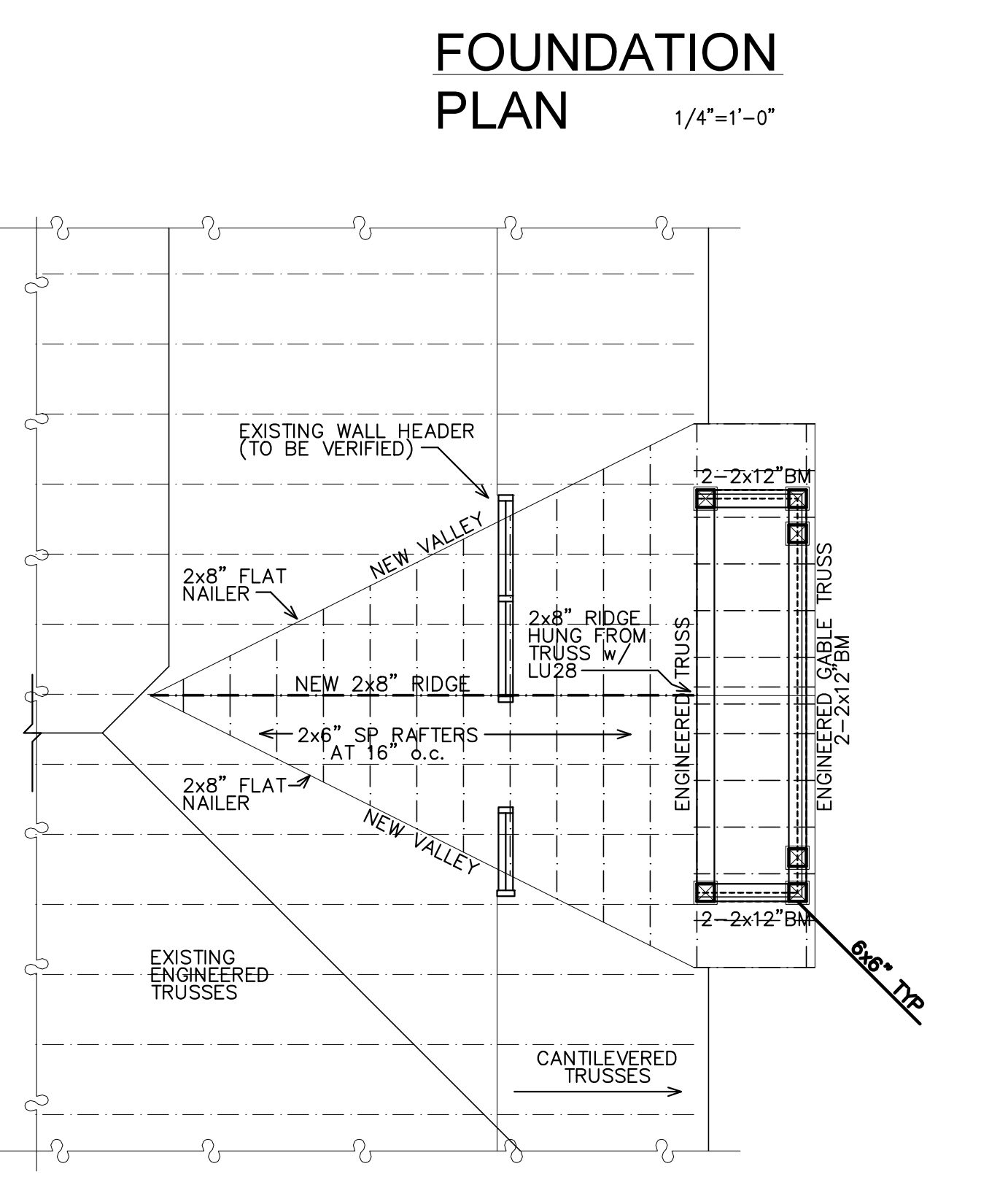
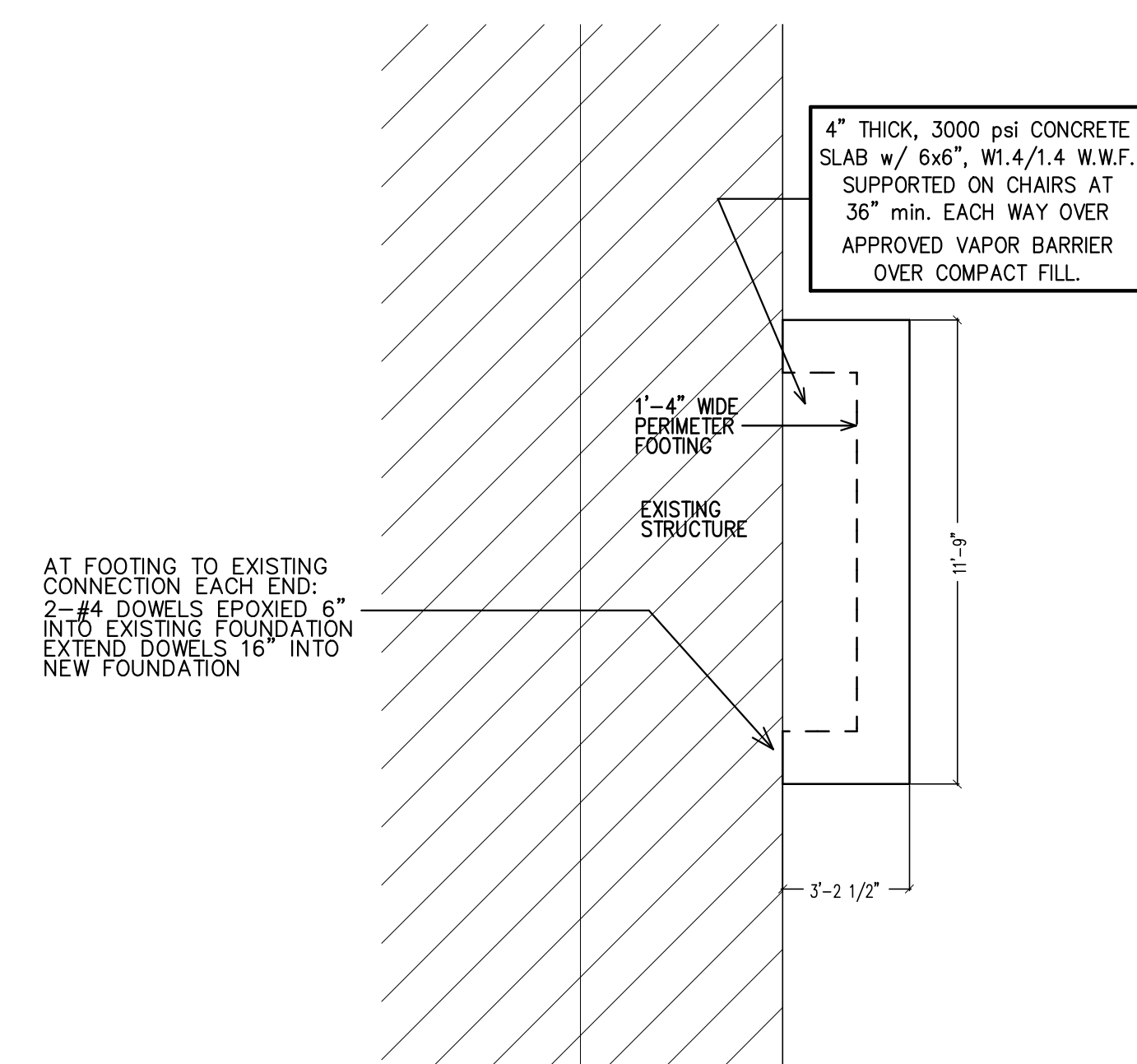
**ORANGE BEACH COMMUNITY DEVELOPMENT CENTER**  
 ALABAMA'S COASTAL CONNECTION  
 ORANGE BEACH, AL

JOB NO.:  
 DRAWN: ACH  
 CHECKED: ACH  
 DATE: 06-17-2022  
 REVISION:

SCALE: AS NOTED

SHEET NO.:  
**S1**  
 FOUNDATION/FRAMING

- Design Criteria:**
  - CODES:**  
 IRC 2018  
 AMERICAN CONCRETE INSTITUTE (ACI 318)
  - DESIGN LOADS:**  
 - DEAD AND LIVE LOADS PER ASCE 7-16  
 - WIND LOAD PER ASCE 7-16  
 - SLAB ON-GRADE FOUNDATION DESIGN BASED ON SANDY SOILS w/ 2000 PSF ALLOWABLE BEARING (VERIFY WITH GEOTECHNICAL ENGINEER PRIOR TO INITIATION OF WORK)
- SITE PREPARATION**
  - ALL CUT AND FILL OPERATIONS SPECIFICATIONS ARE BY OTHERS
  - ALL FILL MATERIAL SHALL BE COMPACTED IN 12" LIFTS MAX AND TO 95% MODIFIED PROCTOR DENSITY
- FOUNDATION:**
  - ALL CONCRETE SHALL BE BATCH PROPORTIONED, MIXED AND PLACED PER ACI 318
  - ALL CONCRETE SHALL OBTAIN AN ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI min.
  - REFER TO ARCHITECTURAL DRAWINGS FOR ALL PLUMBING, MECHANICAL, ELECTRICAL COMPONENTS CAST INTO CONCRETE
  - SLUMP FOR SLAB CONSTRUCTION SHALL NOT EXCEED 4 INCHES
  - ALL REINFORCING STEEL SHALL BE GRADE 40 min CONFORMING TO ASTM A-615
  - MAINTAIN 3 INCHES CLEAR CONCRETE COVER AT REINFORCEMENT IN FOOTINGS
- General Notes:**
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE INITIATION OF WORK. THE PLANS DESIGNER OR ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCY.
  - THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS. IF CONTRACTOR DEVIATES FROM THIS PLAN PRIOR TO CONTACTING AND RECEIVING APPROVAL IN WRITING FROM THE DESIGN ENGINEER THE CONTRACTOR SHALL BE LIABLE AND RESPONSIBLE FOR ALL DAMAGES AND CORRECTONAL COSTS.
  - APPROVAL BY THE INSPECTOR DOES NOT MEAN APPROVAL OR FAILURE TO COMPLY WITH THE PLANS AND SPECIFICATIONS. ANY DESIGN WHICH FAILS TO BE CLEAR OR IS AMBIGUOUS MUST BE REFERRED TO THE ENGINEER OR PLAN DESIGNER FOR INTERPRETATION OR CLARIFICATION.
  - ENGINEER OF RECORD SHALL NOT BE RESPONSIBLE FOR DAMAGE TO ADJACENT STRUCTURES AS A RESULT OF THIS CONSTRUCTION
  - ALL WORKERS SHALL BE COVERED BY WORKERS COMPENSATION INSURANCE CONTRACTOR RESPONSIBLE FOR ALL JOB SITE SAFETY
  - ALL EXTERIOR DOORS AND WINDOWS AND ROOF TRUSSES SHALL BE DESIGNED AND INSTALLED TO WITHSTAND DESIGN WIND LOADS BASED ON ASCE 7-16
  - THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, OR TIE DOWNS.
- TIMBER:**
  - STRUCTURAL TIMBER EXCEPT STUDS SHALL BE #2 SOUTHERN PINE (19% max. MOISTURE CONTENT)
  - PLYWOOD/OSB SHEATHING SHALL BE APA RATED (PRP-108)
  - EXTERIOR STUD AND SHEAR WALL TO HAVE SOLID BLOCKING AT SHEATHING JOINTS
  - ENGINEERED WOOD MATERIAL SUPPLIERS MUST FURNISH ENGINEERING CALCULATIONS SEALED BY A REGISTERED ALABAMA PROFESSIONAL ENGINEER ON ALL SUPPLIED COMPONENTS. INSTALLATION INSTRUCTIONS MUST BE PROVIDED AT TIME OF DELIVERY FOR ANY FIELD BRACING AND/OR REINFORCEMENT REQUIRED TO SATISFY THE STRUCTURAL PERFORMANCE OF EACH COMPONENT.
  - IT IS THE ENGINEERS RECOMMENDATION THAT ALL STEEL FASTENERS EXPOSED TO OCEAN SALT AIR BE CORROSION RESISTANT STAINLESS STEEL. STAINLESS NAILS ARE REQUIRED FOR ALL STAINLESS STEEL FASTENERS. STAINLESS STEEL CONNECTOR REQUIRED WHERE SPECIFICALLY SPECIFIED.
  - WHERE STAINLESS STEEL CONNECTORS ARE NOT USED, ALL STRONG-TIE PRODUCTS SHALL BE "ZMAX" (G185) COATED.
  - ALL ROOF AND FLOOR FRAMING MEMBERS SHALL BE ENGINEERED AND CERTIFIED BY TRUSS MANUFACTURER. ALL DESIGN DRAWINGS AND LOADS PER TRUSS MANUFACTURER SHALL BE REVIEWED PRIOR TO FABRICATION BY WIND LOAD ENGINEER FOR COMPLIANCE FLOOR FRAMING AND PILE DESIGN LAYOUT. FINAL LAYOUT OF PILES AND SILL BEAMS MAY REQUIRE GEOMETRIC ALTERATION OR STRUCTURAL MEMBER ADDITIONS UPON REVIEW OF ROOF AND FLOOR FRAMING DESIGNS.



**SECTION DETAIL** 3/4"=1'-0"

**FOOTING DETAIL** 3/4"=1'-0"

**FOUNDATION PLAN** 1/4"=1'-0"

**FRAMING PLAN** 1/4"=1'-0"

**WIND DESIGN CRITERIA:**  
 DIRECTIONAL PROCEDURE FOR ASCE 7-16  
 DESIGNED FOR: 160 MPH (ULT.), 120 MPH ALLOWABLE STRESS DESIGN  
 TERRAIN EXPOSURE CATEGORY: D  
 GUST EFFECT FACTOR: 0.85  
 INTERNAL PRESSURE: +/- 0.18  
 RISK (OCCUPANCY) CATEGORY: II

COMPONENT AREA (sq ft)	PRESSURE REQUIREMENT (psf)
ZONE 1	
ZONE 2	
ZONE 3	
10	(-) 125.4 PSF

USE COMPONENT AREA OF 10 SQ FT FOR ROOFING SYSTEM  
 FOR EXPOSURE D  
 END ZONE= WITHIN 5 FT OF MAIN BUILDING CORNERS  
 FOLLOW FBC FOR ROOF COMPONENT AND CLADDING PRESSURE REQUIREMENTS

**NOTE TO TRUSS MANUFACTURER:**  
 ABOVE "BOXED" SECTION IS THE WRITTEN SPECIFICATIONS FOR THE TRUSS DESIGN OF THIS PROJECT.  
 TRUSS MANUFACTURE SHALL MEET OR EXCEED THE REQUIREMENTS FOR WIND/GRAVITY DESIGN AS LISTED INCLUDING REQUIRED WIND SPEED, TERRAIN EXPOSURE CATEGORY, INTERNAL PRESSURE, BUILDING CATEGORY AND IMPORTANCE FACTOR.