



July 7, 2023

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Subject: **Commerce Roof Replacement - Addendum 1**
Commerce Service Center
600 S. Elm Street
Commerce, Georgia
PM&A Project No. 23-019

Addendum Summary

This addendum modifies existing parapet details, adds additional scope at HVAC unit, modifies the material staging locations, answers Contractor's question, replaces the standard warranty, and provides the Pre-bid sign in sheet.

Addendum

The following changes have been made to the project manual.

1. The following specification sections have been modified as part of this addendum:
 - A. Section 01 11 00 Summary of Work; Insert the following at Section 1.01.A.15.:
15. At the unit shown on plans, raise the unit and replace the existing unit curb. Furnish and install new curbs for the unit and duct penetration. This may require after-hours work.
 - B. Section 06 10 53 Miscellaneous Rough Carpentry; replace Section 3.02.B. with the following:
B. Furnish and install new continuous tapered wood blocking on top of the existing parapet as shown in the drawings. Secure the wood blocking to the existing structure using specified screws at 12-inches on center, staggered pattern. Taper shall provide a minimum slope of ¼-inch-per-foot across the parapet. Refer to Drawings.
 - C. Exhibit A – Asbestos Report has been changed to:
Exhibit B – Asbestos Report
2. The following specification sections have been replaced as part of this addendum:
 - A. Exhibit A: Warranty
 - B. Section 02 41 13 Selective Demolition and Preparations
3. The following drawing sheets have been replaced as part of this addendum:
 - A. A0.2 Site Plan
 - B. A1.1 New Roof Plan
 - C. A3.2 Typical Roof Details
 - D. A3.7 Typical Roof Details



Contractor Questions

The following questions have been submitted by contractors.

1. *Question:* Is additional interior access to review for conduit in decking flutes available prior to bid submittals?
 - A. *PM&A Answer:* Due to the logistics of acquiring entry into tenant spaces, the **awarded** contractor will be required to verify the underside of the deck as outlined in Specification Section 07 22 16 Paragraph 3.01.B. If site visits are needed prior to bid for additional exterior work (cores, measurements, etc.) scheduling can be coordinated with Kenneth Morris kmorris@jacksoncountygov.com

Closure

All other sections of the project manual remain in full force and effect.

Respectfully Submitted,

A handwritten signature in blue ink, appearing to read 'Robert Bounnakhom'.

Robert Bounnakhom
PM&A Engineering Services

Attachments:

- Pre-Bid Sign In
- Exhibit A – Warranty – Addendum 1
- Section 02 41 13 Selective Demolition and Preparations – Addendum 1
- A0.2 Site Plan Addendum 1
- A1.1 New Roof Plan Addendum 1
- A3.2 Typical Roof Details Addendum 1
- A3.7 Typical Roof Details Addendum 1



Name	Company	Email	Phone
Robert Bounnakhom	PMA	R.Bounnakhom@pma.com	678-755-4501
Kenneth Morris	Jackson Co.	kmorris@jacksoncountygov.com	
Jeremy Markham	Dusty Greer Roofing	jeremy@dustygreeroofing.com	o) 770-201-5277 o) 678-576-3675
BRAD BANACKA	Colony Roofers	bbanacka@ColonyRoofers.com	909-231-2551
Nolan Gottlieb	Mission Construction	admin@missionconstructionco.com	c) 706-340-2317 o) 706-424-5853
Rycars Construction	Saline McClean	smcclean@rycars.com	404-538-8853



EXHIBIT "A"

(Print Warranty Body on Contractor's Company Letterhead)

WARRANTY

1. Known all men by these presents, that we, *Contractor shall insert company name here* (Contractor), having installed insulation, roofing, flashings, and sheet metal work, and having accomplished certain other work on the **Commerce Service Center** located at **623-653 S. Elm Street** in **Commerce, Georgia** on the under Contract between **Jackson County Government** and (Contractor) warrant to **Jackson County Government**, with respect to said work that for a period of two years from date of final acceptance of said work by **Jackson County Government**, the roofing including insulation, roofing membrane, flashings, and sheet metal work, shall be absolutely watertight and free from all leaks, provided however that the following are excluded from this warranty:
 - a. Defects or failure resulting from abuse by the Owner.
 - b. Defects in design involving failure of the structure, load-bearing walls, and/or foundations.
 - c. Damage caused by fire, tornado, hail, hurricane, acts of God, wars, riots, and/or civil commotion.
2. We agree that should any leaks occur in the roofing, we will promptly remedy said leaks in a manner to restore the roof to a watertight condition by methods compatible to the system and acceptable under industry standards and/or general practice.
3. We further agree that for a period of two from date of final acceptance referred to above, we will make repairs at no expense to the Owner, to any defects which may develop in the work including, but not limited to, blisters, wrinkles, ridges, splits, warped insulation, and loose flashings, in a manner compatible to the system and acceptable under industry standards and general practice.
4. We also agree that the Owner has the right, at any time during the two-year warranty period, to make emergency repairs to protect the contents of the building or the building itself from damage due to leaking. The cost of emergency repairs made during the two years of the warranty period shall be borne by the Contractor and action by the Owner shall not invalidate the warranty.

IN WITNESS WHEREOF, we have caused this instrument to be duly executed, this __day of _____, 202x.

_____ by _____
 Contractor President

Notary Public

END OF EXHIBIT "A"



SECTION 02 41 13
SELECTIVE DEMOLITION AND PREPARATION – Addendum 1

PART 1 - GENERAL

1.01 Section Includes:

- A. Metal deck repair
- B. Unit Prices and Allowances
- C. Replacement of HVAC unit and duct curbs.
- D. Miscellaneous work

1.02 Related Work

- A. Section 01 11 00 – Summary of Work
- B. Section 02 82 33 – Removal of Asbestos Containing Roofing Materials
- C. Section 06 10 53 – Miscellaneous Rough Carpentry

PART 2 - MATERIALS

2.01 Unit Prices and Allowances

- A. Metal Deck Primer: Kem Kromik as manufactured by Sherwin Williams or approved equal.
- B. Sheet Metal: 20-gauge G-60 galvanized steel.
- C. Deck-To-Joist Fastener: Astm A240, 410 stainless steel, self-drilling minimum #12 stainless steel screw with a nominal head diameter of 0.430 inches. Screws shall penetrate the substrate a minimum of 1-1/2 inch.
- D. Wood Blocking and Accessories: Refer to Section 06 10 53.

2.02 Miscellaneous Materials

- A. Condensation Lines: Schedule 40 PVC.
- B. Condensation Line Supports:
 - 1. Carlisle Pipe Support: Small
 - 2. Approved equal.

2.03 Roof Curb and Accessories

- A. Unit and Duct Curb: Greenheck GPI or approved equal.



1. Size to match existing curb dimensions and provide minimum 10-inch flashing height from finished roof surface.
2. 18 ga. galvanized steel fully formed and welded.
3. Insulated.

PART 3 - PERFORMANCE REQUIREMENTS

3.01 Demolition

- A. Refer to Section 01 11 00 Summary of Work.
- B. The Contractor shall document the actual quantities removed for materials bid on a unit price basis.
- C. All existing roof mounted equipment shall be lifted or removed so that existing flashings can be totally removed.
- D. Remove only as much material as can be totally replaced in the same day.
- E. Demolition shall be performed by personnel familiar with the replacement of materials being used.
- F. Demolition adjacent to areas to remain shall be performed in a neat manner with straight lines to facilitate tie-ins of replacement materials. Contractor shall review tie-in methods with the Designer for approval. Designer has final approval of such methods.
- G. Excessive demolition, as determined by the Owner's representative, shall be replaced with equal materials at the Contractor's expense in accordance with the General Conditions of the Contract.
- H. No demolition shall be performed if the chance of precipitation is 40% or more as reported by the nearest office of the National Weather Service.

3.02 Preparations

- A. Prior to the installation of any new roofing, flashings, metal flashings, any other miscellaneous items, the Contractor shall clean surfaces of all dust, dirt, and other foreign materials.
- B. Inspect the deck carefully. If, in Contractor's opinion, there are metal deck areas that require repair and/or replacement, notify the Designer. Do not proceed with any repairs or replacement until directed by the Designer.
- C. Prior to the installation of any new roofing materials, extend all existing soil pipe vents through the roof to a minimum height of 8 inches (or as required by local plumbing codes) above the finished roof surface. Furnish a piece of PVC piping that will fit snugly into the existing soil pipe vent and shall extend into the pipe a minimum of 12 inches. Provide a second PVC pipe that fits snugly around the smaller PVC pipe and shall provide a minimum 8" height above the finished roof surface. The smaller pipe height shall match the outer pipe. Cement the two PVC pipes together with an approved pipe solvent/glue. Insert the extension into the existing soil pipe vent.



1. Note: The placement of a PVC pipe extension directly on top of the existing soil pipe vent without the support method described above shall be removed by the Contractor and new extensions approved by the Designer shall be installed at no additional cost to the Owner.

D. Abandoned Penetrations at Metal Roof Decks:

1. At all abandoned roof penetrations, less than 6 inches in diameter, secure a piece of 20 ga. galvanized steel to the existing deck at spacings not to exceed 6 inches on center and located approximately one inch from the edge of the opening. Sheet metal shall be secured to the deck with specified deck screws. The sheet metal shall extend onto the existing deck a minimum of 6 inches.
2. At abandoned openings, larger than 12 inches on any side but less than 24 inches, furnish and install new steel decking which matches the existing and install so that the ends and sides extend past the edges of the existing deck a minimum of 12 inches. The ends of the new steel deck shall extend over a structural member. Secure the new deck to the existing deck with specified deck screws at spacings not to exceed 6 inches on-center located approximately 6 inches from the opening on all sides. The ends of the new deck shall be secured to the existing structural supports using specified deck screws at Steel Deck Institute 36/7 patterns. Install specified side lap screws along the side laps at spacings not to exceed 30 inches on-center.
3. At abandoned openings, larger than 24 inches on any side, furnish and install new steel decking which matches the existing and install so that the new deck unit is supported by a minimum of three structural supports. Insure that the new deck section is “nested” tightly in the existing, which may require the removal of existing deck fasteners or grinding down existing welds. Secure the new deck to each structural member with specified deck screws at at Steel Deck Institute 36/7 patterns. At side laps, furnish and install a minimum of 3 specified side lap screws between each structural member.

E. At the unit and duct shown on plans, raise the existing unit as required to replace the curb.

1. All electrical and HVAC connections and extensions shall be performed by an electrician licensed in the state of Georgia for a minimum of 5-years.
2. Provide necessary interior protections and coordination with the tenants.
3. Completely remove the existing curb.
4. Furnish and install new curb. Secure the curb to the deck using the specified #12 screw at 12-inches on center.
5. Flash the curb in accordance with manufacturer requirements.

3.03 Unit Prices & Allowances

- A. Contractor is responsible for documenting unit prices utilized to the satisfaction of the Owner/Designer. Photos and reports of quantities shall be required.



- B. Unit prices will be exercised at the option of the Owner.
- C. Modify and coordinate related activities as required to complete the work if, and when, acceptance is designated by the Owner in the standard form of agreement.
- D. In the event unit prices are exercised, applicable sections of this Specification shall govern. Other sections may be modified as required to address the unit price.
- E. Cost associated with the repair of decking at removed abandoned penetrations identified on plans and/or marked on the roof shall be included in the Base Bid.
- F. Bidders shall provide a unit price for the items listed on the Bid Form. Bidder shall include a cash allowance in the Base Bid for each unit price in the quantity list below and on the bid form. Payment will be made for unit price work in excess of the cash allowance, which includes all overhead and profit. In the event it is necessary to replace fewer than quantity associated with the cash allowance, the Owner will take a credit at the unit price rate. The Designer shall be responsible for verifying the actual quantity and extent of the unit price work.
 - 1. Contractor must receive approval in writing prior to exceeding allowances.
- G. (Unit Price No. 1) Where steel decking is rusted but remains structurally sound, wire brush deck units so that all rust is removed. Paint with specified metal primer, or approved equal, and allow to dry before proceeding with the installation of new materials.
 - 1. Contract shall include 500 square feet of metal deck priming in the Base Bid.
- H. (Unit Price No. 2) Where steel decking is damaged or rusted through in small areas, clean deck of rust with a wire brush. Paint with specified metal primer or approved equal. Install over the damaged area the specified sheet metal that shall be secured to the existing steel deck with specified deck screws located 1 inch from the perimeter of the plate, and at 6 inches on center. Extend the new steel plate a minimum of 6 inches onto the surface of the existing steel deck beyond the damaged area.
 - 1. Contract shall include 100 square feet of sheet metal installation in the Base Bid.
- I. (Unit Price No. 3) At those locations where existing welds have broken from the top of the supporting members or have not been installed, furnish and install new screws at missing locations. Fasteners shall penetrate the structural membrane a minimum of 1-1/2 inches.
 - 1. Contract shall include installation of 500 screws in the Base Bid.
- J. (Unit Price No. 4) Where wood blocking or curbs to remain are damaged or deteriorated, remove existing wood blocking to a point 6 inches beyond the damage and/or deterioration, and repair and/or replace with new wood blocking to match existing. Secure new blocking to the substrate using specified screws at spacings not to exceed 12 inches on-center, staggered. Pattern.
 - 1. Contract shall include 400 board feet of nominal 2x6 wood blocking replacement in the Base Bid.
- K. (Unit Price No. 5) Where the existing plywood sheathing is damaged or deteriorated, completely remove the damaged decking area. Furnish and install a new CD-X exterior-grade plywood decking to span a minimum of 3 supports, thickness to match existing. The plywood decking shall be



attached to all structural supports using appropriate #10 fasteners at spacings not to exceed 6 inches on-center. Fasteners shall penetrate the support a minimum of 1-1/2 inch.

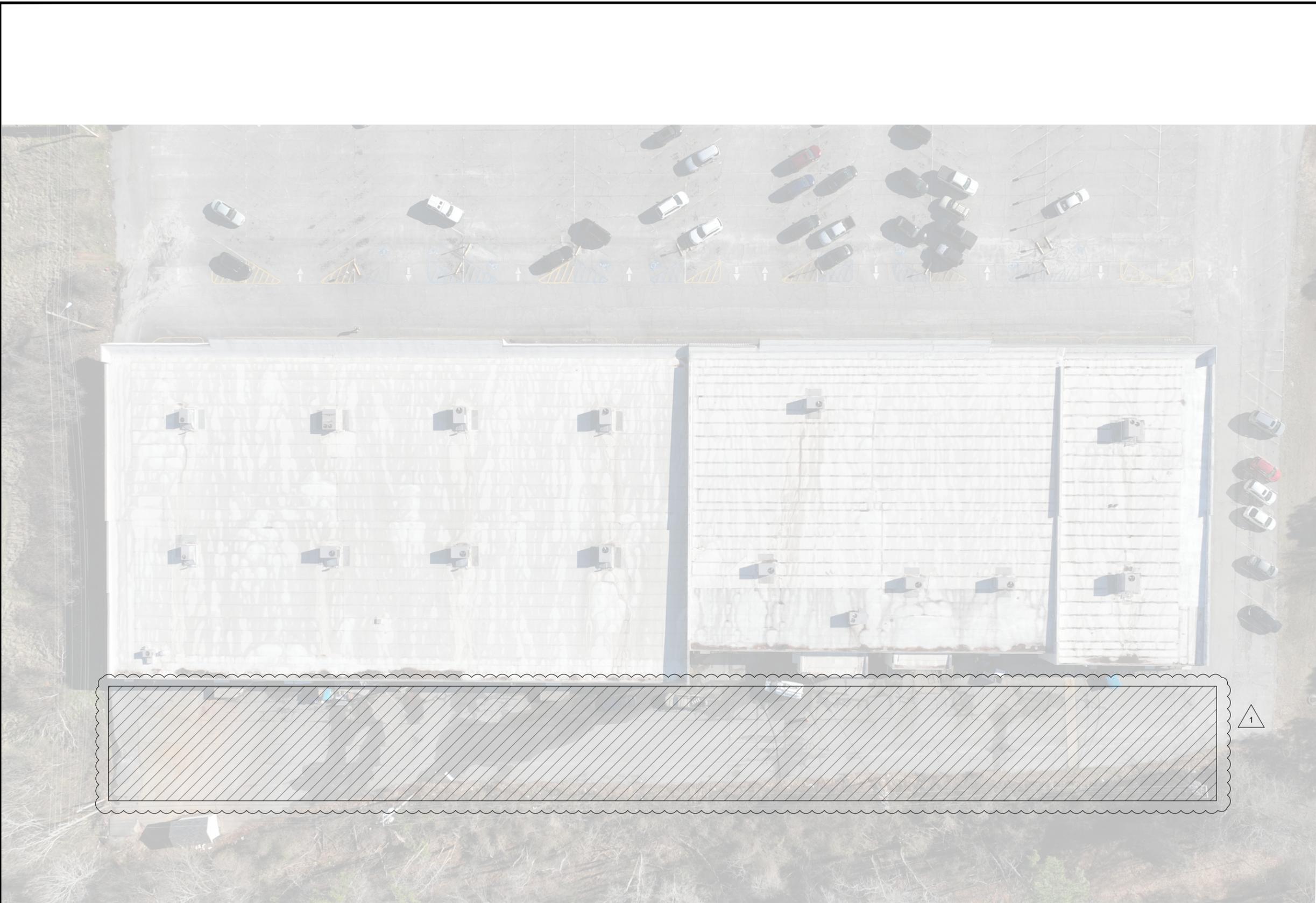
1. Contract shall include 320 square feet of plywood replacement in the Base Bid.

L. Contractor shall include allowances as indicated on the Bid Form in the Base Bid. Contract will be increased at unit price rates for unit price work that exceeds allowances. Contract will be reduced for unused unit price work at the bid unit price rate. Owner reserves the right to negotiate lump sum modifications to the contract for bulk unit price work.

3.04 Condensation Lines and Supports

- A. Furnish and install new condensation lines at all existing HVAC unit locations. Direct water into gutter system.
- B. Condensation lines shall have P-traps.
- C. Furnish and install new supports at 5-feet on center and within 12-inches of all turns.
- D. Install supports on 6"x6" welded membrane pads. Adhere supports.

END OF SECTION



GENERAL NOTES

A. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BIDDING.

PMA
 1000 HOLCOMB WOODS PKWY
 SUITE 210
 ROSWELL, GA 30076
 678-280-2325

SHEET NOTES

1. N/A

COMMERCE SERVICE CENTER
 ROOF REPLACEMENT
 623-653 SOUTH ELM STREET
 COMMERCE, GEORGIA

LEGEND

 CONTRACTOR STAGING AREA

NUM	DATE	DESCRIPTION:
0	06/07/23	FOR BID
1	07/07/23	FOR BID - ADDENDUM 1

SITE PLAN

DESIGNED: RLB
 DRAWN: RLB
 CHECKED: PGP

JOB #: 23-019

A0.2

PLAN

PROJECT SITE
 SCALE: NTS

1
 A0.2



GENERAL NOTES

- A. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO BIDDING.
- B. LOCATIONS AND DIMENSIONS SHOWN ARE APPROXIMATE
- C. SOME PENETRATIONS NOT SHOWN

SHEET NOTES

1. UNIT TO BE RAISED AND NEW CURB INSTALLED.
2. TYPICAL ABANDONED CURB TO BE WRAPPED WITH COVERBOARD AND MEMBRANE
3. TYPICAL CURB TO BE RAISED TO 8" FLASHING HEIGHT
4. VERTICAL 5X5 TPO COATED METAL TO MATCH ADJACENT EDGE METAL
5. GUTTERS REQUIRING EXPANSION JOINTS

LEGEND

○	TYPICAL PENETRATION
⊗	TYPICAL ABANDONED PENETRATION
○SVP	SOIL VENT PIPE
□	PENETRATION POCKET (PP)
□	MECHANICAL VENT CURB
○	EXHAUST FAN
▨	TAPERED INSULATION
⌄	EXISTING LADDER ACCESS
→	ROOF SLOPE
▨	GUTTERS
⊗	DOWNSPOUTS
▨	WALK PAD
▨	PARAPET TO RECEIVE FASCIA
▨	PARAPET TO BE MEMBRANE WRAPPED
▨	RIDGE FLASHING

COMMERCE SERVICE CENTER
 ROOF REPLACEMENT
 623-653 SOUTH ELM STREET
 COMMERCIAL, GEORGIA

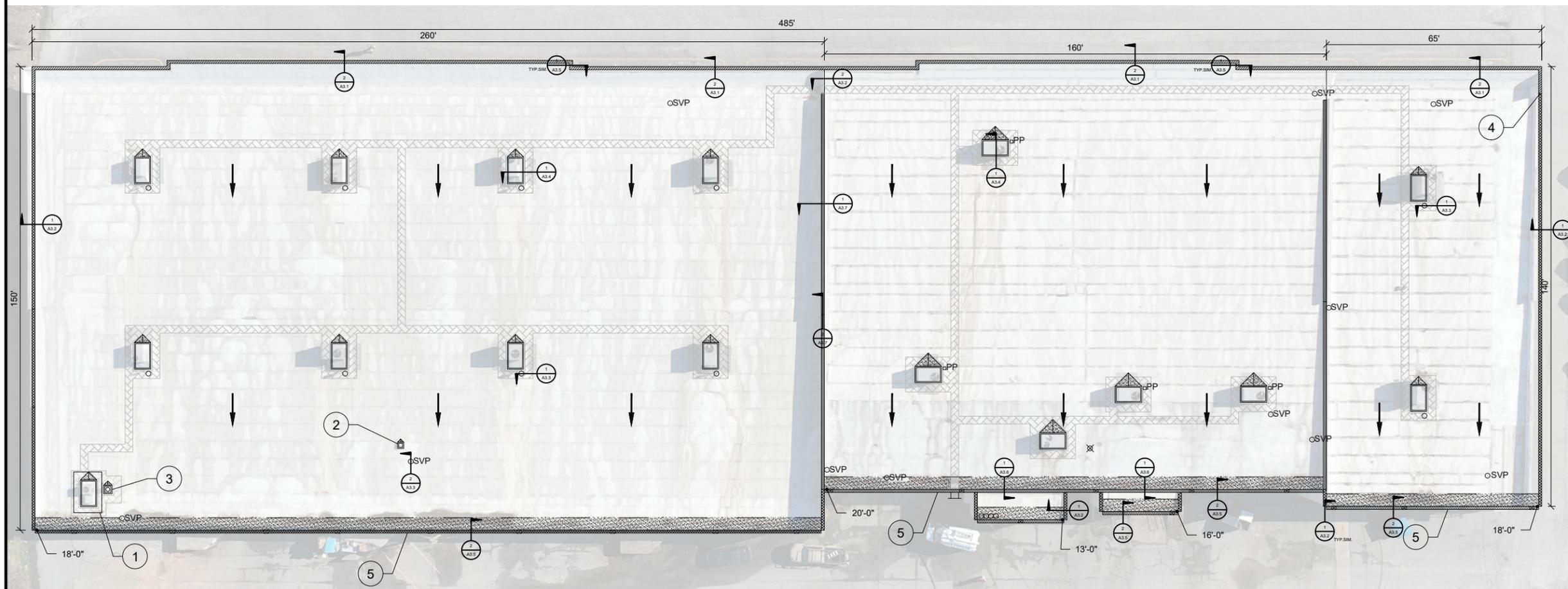
NUM	DATE	DESCRIPTION
0	06/07/23	FOR BID
1	07/07/23	FOR BID - ADDENDUM 1

NEW ROOF PLAN

DESIGNED: RLB
 DRAWN: RLB
 CHECKED: PGP

JOB #: 23-019

A1.1



PLAN

NEW ROOF PLAN
 SCALE: NTS

1
 A1.1



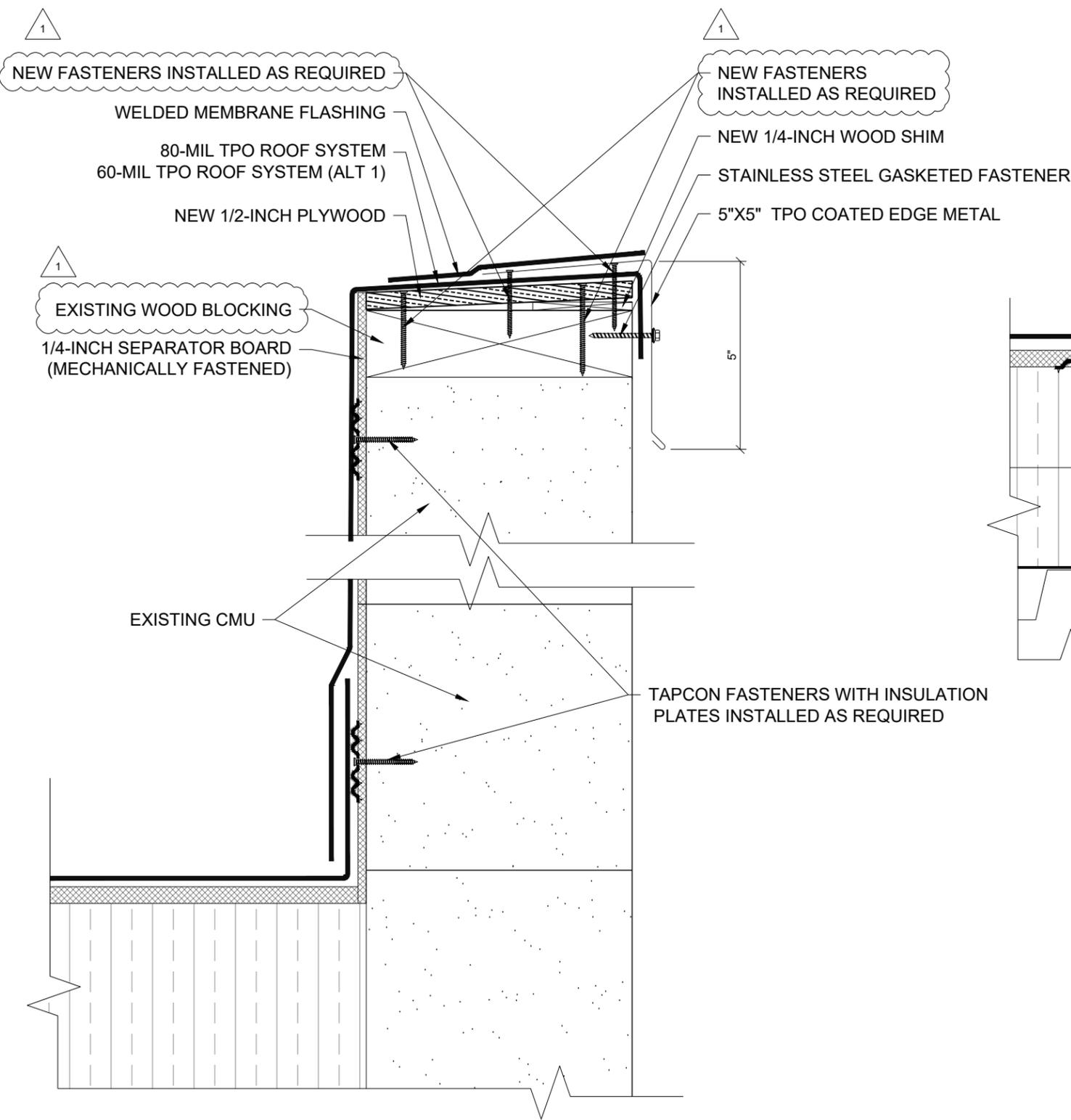
NUM	DATE	DESCRIPTION
0	06/07/23	FOR BID
1	07/07/23	FOR BID - ADDENDUM 1

TYPICAL ROOF
 DETAILS

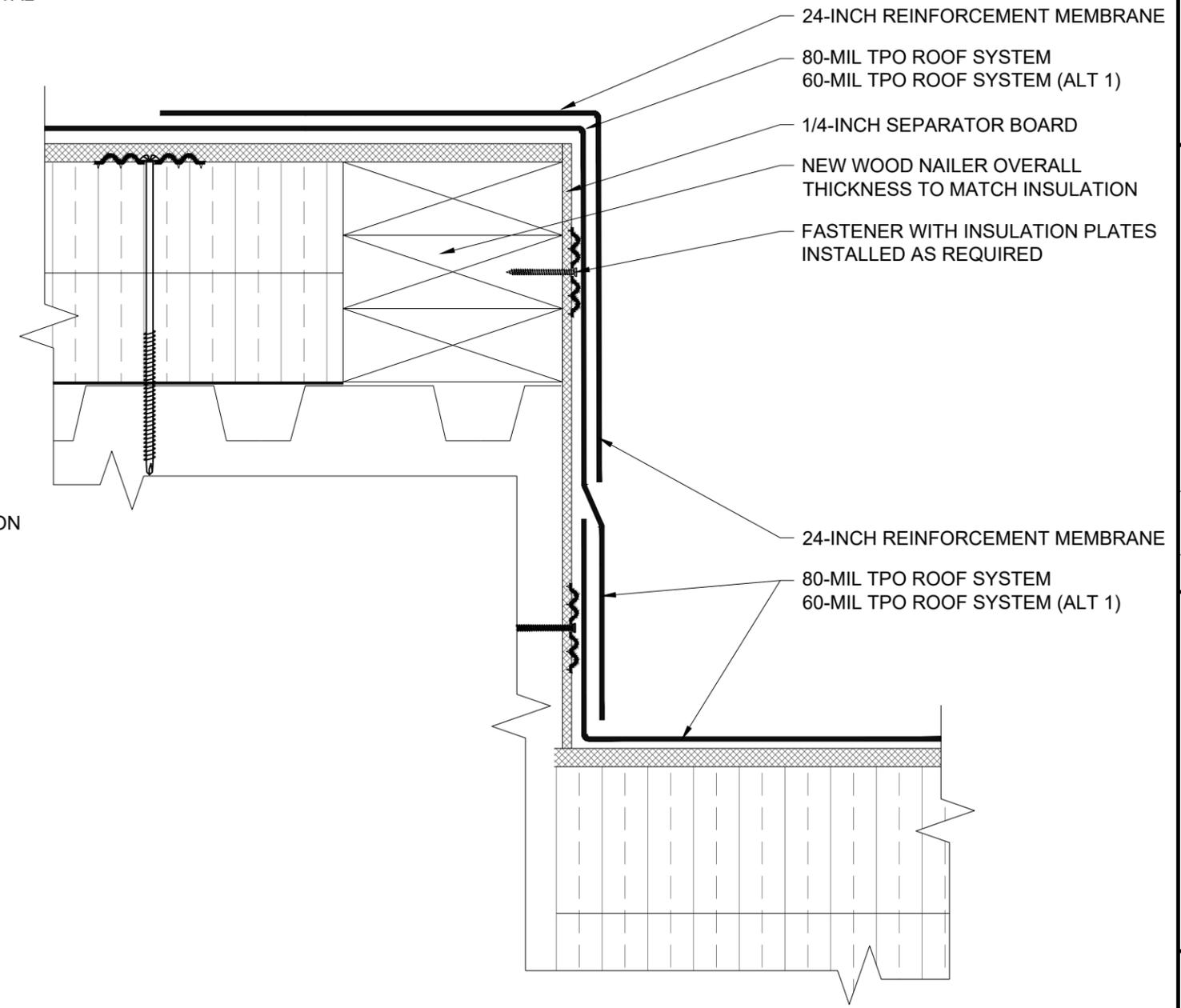
DESIGNED: RLB
 DRAWN: RLB
 CHECKED: PGP

JOB #: 23-019

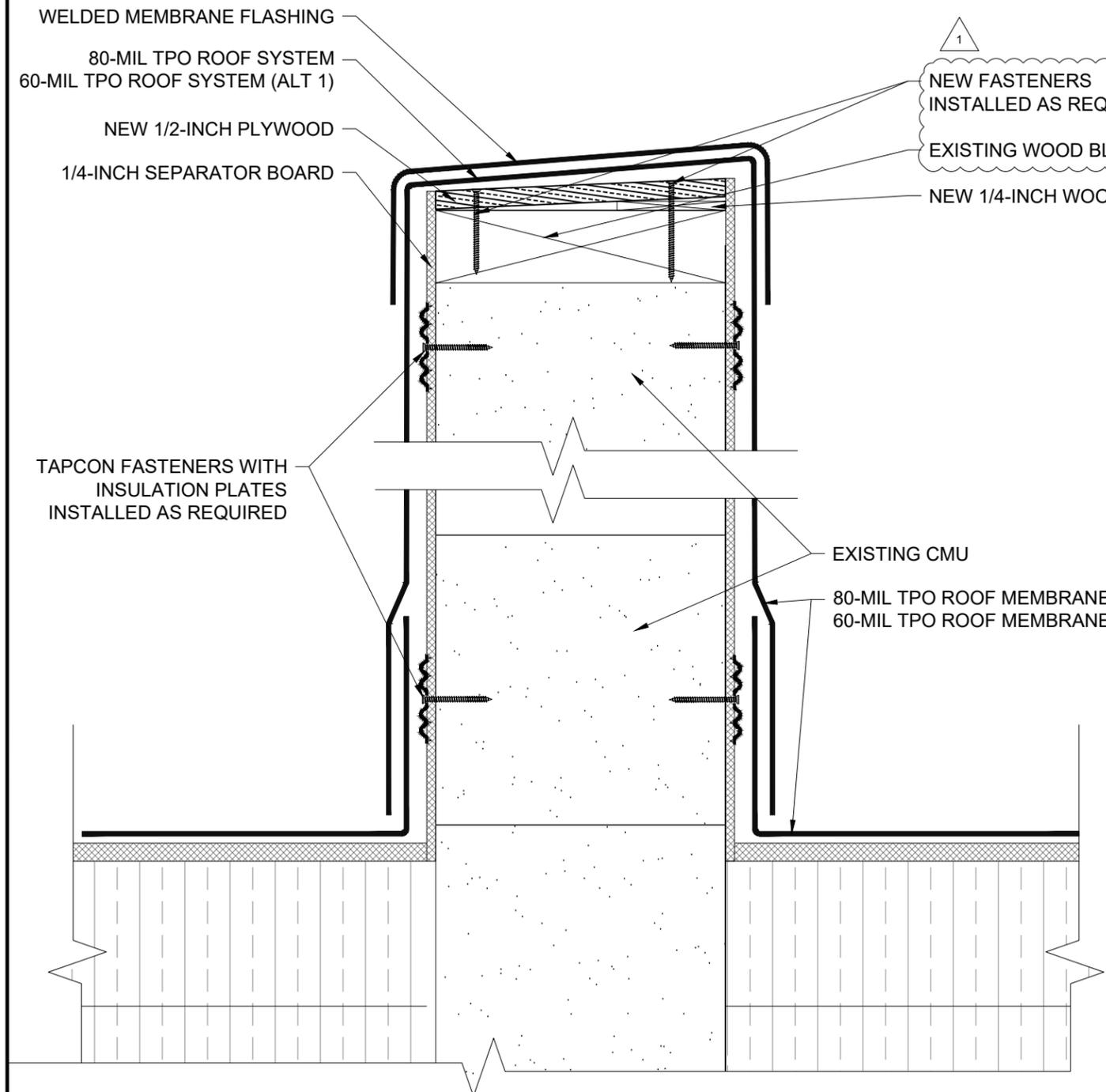
A3.2



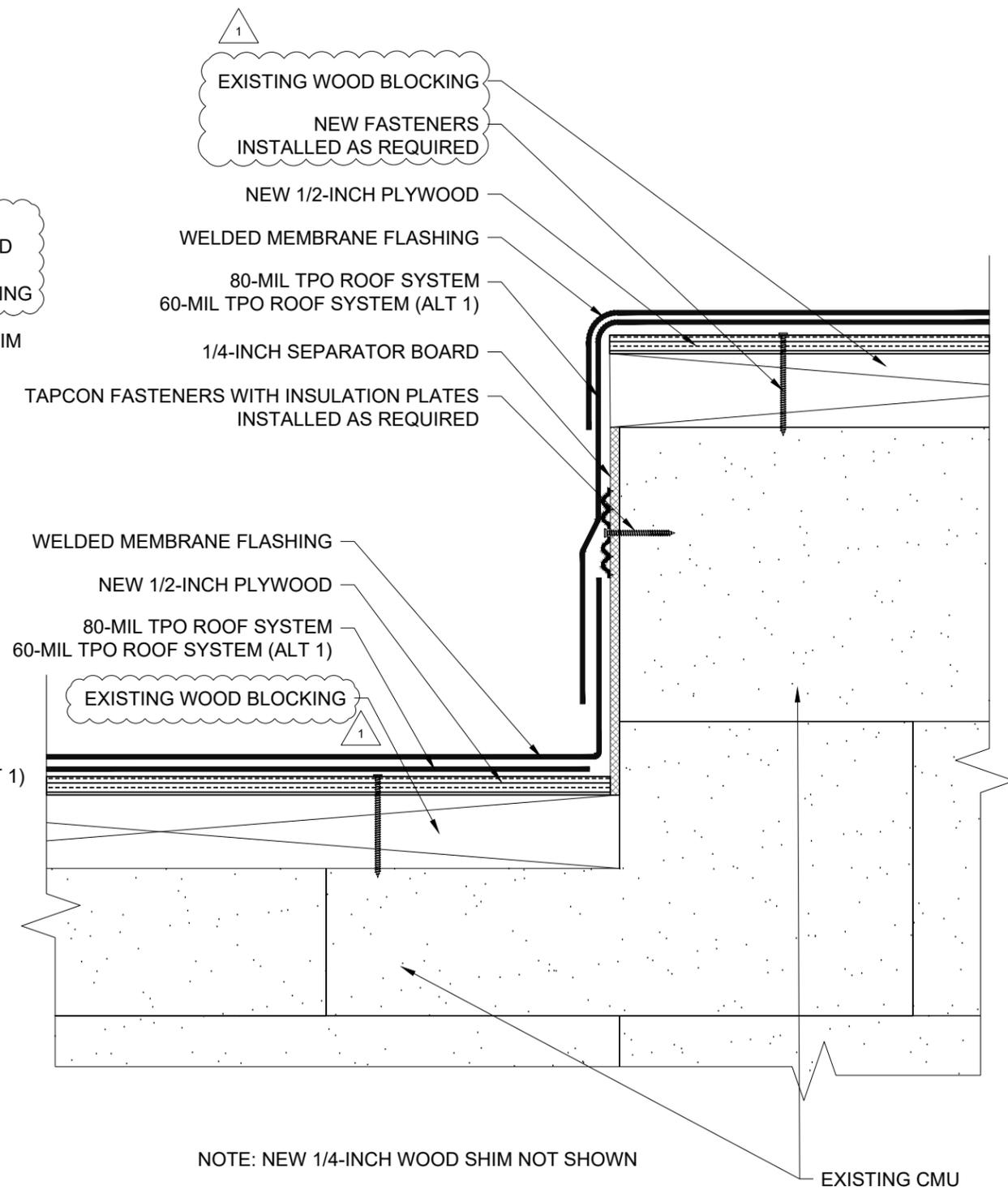
DETAIL TYPICAL PARAPET FASCIA
 SCALE: NTS
 1
A3.2



DETAIL ROOF DECK TRANSITION
 SCALE: NTS
 2
A3.2



DETAIL TYPICAL INTERIOR PARAPET **1**
 SCALE: NTS **A3.7**



DETAIL STEP-DOWN AT INTERIOR PARAPET **2**
 SCALE: NTS **A3.7**

NUM	DATE	DESCRIPTION
0	06/07/23	FOR BID
1	07/07/23	FOR BID - ADDENDUM 1

TYPICAL ROOF
 DETAILS

DESIGNED: RLB
 DRAWN: RLB
 CHECKED: PGP

JOB #: 23-019

A3.7