BEAUFORT COUNTY A. HORNE BUILDING PARTIAL DEMOLITION 104 RIBAUT ROAD BEAUFORT, SOUTH CAROLINA 29902

GENERAL PROJECT NOTES:

- THIS PROJECT CONSISTS OF DEMOLITION OF 7,923 SQUARE FEET OF THE EXISTING SINGLE STORY A. HORNE BUILDING LOCATED AT 104 RIBAUT ROAD IN BEAUFORT. SOUTH CAROLINA
- EXISTING SYSTEMS ARE TO BE: 2.1. DISCONNECTED FROM THAT PORTION OF THE BUILDING WHICH WILL BE DEMOLISHED 2.2. MADE FUNCTIONAL AND OPERATIONAL FOR THAT PORTION OF THE BUILDING WHICH WIL REMAIN
- 2.3. BE TESTED 2.4. BE ACCEPTED BY OWNER BEFORE WHOLESALE BUILDING DEMOLITION BEGINS
- OBTAINED AN ASBESTOS REPORT FOR THE EXISTING BUILDING AND NO INFORMATION
- THE PORTION OF THE EXISTING BUILDING WHICH WILL NOT BE DEMOLISHED, WILL REMAIN OCCUPIED AND FULLY OPERATIONAL THROUGHOUT THE PROJECT

WORK SEQUENCE

WORK SHALL BE CARRIED OUT IN THE FOLLOWING SEQUENCE:

- PRIOR TO BEGINNING DEMOLITION WORK, THE CONTRACTOR SHALL DISCONNECT ALL MECHANICAL ELECTRICAL AND PLUMBING SYSTEMS SO THAT THE PORTION OF THE EXISTING BUILDING WHICH WILI BE DEMOLISHED AND THE PORTION WHICH WILL REMAIN OCCUPIED ARE INDEPENDENT OF EACH OTHER
- THE PORTION OF THAT BUILDING WHICH WILL REMAIN OCCUPIED IS TO BE MADE SELF-SUFFICIENT SO THAT IT IS FULLY OPERATIONAL (MECHANICAL SYSTEMS, ELECTRICAL SYSTEMS AND PLUMBING) BEFORE BEGINNING DEMOLITION
- THE OWNER, ARCHITECT AND ENGINEERS WILL VISIT THE PORTION OF THE BUILDING WHICH WILL REMAIN OCCUPIED TO VERIFY THAT THE EXISTING BUILDING SYSTEMS ARE OPERATIONAL
- THE CONTRACTOR WILL BE RELEASED TO DEMOLISH THAT PORTION OF THAT BUILDING WHICH IS NORTH OF THE EXISTING BUILDING EXPANSION JOINT

GENERAL CONSTRUCTION NOTES

- ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS :
- 1.1 BUILDING: 2015 INTERNATIONAL BUILDING CODE
- 1.2 MECHANICAL: 2015 INTERNATIONAL MECHANICAL CODE
- 1.3 ELECTRICAL: 2011 NATIONAL ELECTRICAL CODE
- 1.4 PLUMBING: 2015 INTERNATIONAL PLUMBING CODE
- 1.5 FIRE CODE: 2015 INTERNATIONAL FIRE CODE
- 1.6 ENERGY CODE: 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 1.7 NFPA 101 LIFE SAFETY CODE
- 1.8 ICC A 117.1-2017 AND THE AMERICAN WITH DISABILITIES ACT (ADA)
- 1.9 LOCAL PLANNING AND ZONING
- ALL WORK SHALL BE UNDERTAKEN AND MANAGED IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR THE CONSTRUCTION INDUSTRY
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL LIFE SAFETY ELEMENTS DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO EXIT SIGNAGE AND FIRE EXTINGUISHERS NECESSARY TO SATISFY LOCAL, STATE AND FEDERAL STANDARDS, CODES AND GUIDELINES.
- UNLESS OTHERWISE NOTED, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND FEES
- GENERAL CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY AND ALL DISCREPANCIES REGARDING **EXISTING CONDITIONS OR WITHIN THE DRAWINGS AND THE SPECIFICATIONS. FAILURE TO DO SO WILL** RELIEVE THE ARCHITECT OF ANY RESPONSIBILITY REGARDING ANY CONSEQUENCES THAT MIGHT **RESULT FROM SUCH DISCREPANCIES**
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DISCIPLINES AND TRADES AND THEIR POTENTIAL IMPACT ON THE PROJECT INCLUDING COST AND SCHEDULE
- EXISTING SITE CONDITIONS IDENTIFIED AS REMAINING OR TO REMAIN DAMAGED DURING THE COURSE OF CONSTRUCTION SHALL BE REPAIRED OR REPLACED WITH LIKE MATERIAL AND WORKMANSHIP
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CUTTING AND PATCHING FOR ALL TRADES
- 9. DUE TO MANUFACTURER VARIATIONS IN TYPE AND SIZES OF EQUIPMENT, CASEWORK, FIXTURES, ETC. ALL EXISTING DIMENSIONS AND EXISTING CONDITIONS SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR AND THE APPROPRIATE SUBCONTRACTORS AND SUPPLIERS
- 10. CONSTRUCTION DRAWINGS TAKE PRECEDENCE OVER SPECIFICATIONS; LARGE SCALE DETAILS TAKE PRECEDENCE OVER PLANS AND ELEVATIONS AND ENGINEERING DRAWINGS TAKE PRECEDENCE OVER **ARCHITECTURAL GRAPHIC REPRESENTATIONS**
- 11. GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS AND FINAL CLEANING
- 12. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE OWNER AND ARCHITECT FOR FINAL LOCATION OF TEMPORARY RESTROOM, OFFICE, DUMPSTER AND OTHER TEMPORARY FACILITIES AND EQUIPMENT
- 13. GENERAL CONTRACTOR IS RESPONSIBLE FOR KNOWING AND COMPLYING WITH ALL LOCAL ORDINANCES REGARDING NOISE, WORK HOURS, ETC.

BEAUFORT DESIGN BUILD, LLC 2 FIRE STATION LANE SEABROOK, SC 29940 P: 843.466.3664

DESIGN TEAM

ARCHITECT

STRUCTURAL ENGINEERS LAURENE, RICKHER & SORRELL, P.C. 8701 RED OAK BLVD, SUITE 500

CHARLOTTE, NC. 28217 P: 704.522.0495

CIVIL ENGINEERS ANDREWS ENGINEERING 2712 BULL STREET SUITE A BEAUFORT, SC 29902 P: 843.379.2222

MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION

OPTIMA ENGINEERING 1927 SOUTH TRYON STREET SUITE 300 CHARLOTTE, NC. 27601 704.338.1292

ABBREVIATIONS

AFF	ABOVE FINISH(ED) FLOOR
ALUM	ALUMINUM
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
BOT	BOTTOM
CMU	CONCRETE MASONRY UNIT
CONT	CONTINUOUS
DHEC	DEPARTMENT OF HEALTH & ENVIRONMENTAL CONTROL
DP	DESIGN PRESSURE
EQUIP	EQUIPMENT
EX	EXISTING OR EXTERIOR
EXT	EXTERIOR
FIN	FINISH
FL	FLOOR
GWB	GYPSUM WALL BOARD
IBC	INTERNATIONAL BUILDING CODE
ICC	INTERNATIONAL CODE COUNCIL

LFT	LINEAR FEET
MFR	MANUFACTURER
MIN	MINIMUM
N/A	NOT APPLICABLE
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
NTS	NOT TO SCALE
OC	ON CENTER
OSB	ORIENTED STRAND BOARD
OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
PSF	POUNDS PER SQUARE FOOT
SF	SQUARE FEET (FOOT)
TYP	TYPICAL
VIF	VERIFY IN FIELD

FINISHED FLOOR ELEVATION



SYMBOLS

XX	COLUMN LINE
×###	ROOM NUMBER
108	DOOR NUMBER (CORRESPONDS WITH ROOM NUMBER
#	BUILDING EQUIPMENT SYMBOL
$\langle \# \rangle$	TOILET ACCESSORY
000.00	FIN FLOOR ELEVATION HEIGHT ABOVE FIN FLOOR SPOT ELEVATION
A#	PARTITION TYPE INDICATOR
X	INTERIOR ELEVATION

8,629 SF PORTION OF **EXISTING SINGLE STORY BUILDING TO REMAIN** -

7,923 SF PORTION OF EXISTING DEMOLISHED

CASEWORK OR MILLWORK ELEVATION



104 RIBAUT ROAD, BEAUFORT SOUTH CAROLINA 29902

BEAUFORT COUNTY RFP # 112918



INTERIOR ELEVATION CASEWORK OR MILLWORK ELEVATION

NLARGED DETAIL OR PLAN DETAIL

EXISTING CONDITIONS PHOTOGRAPH

DRAWING KEYNOTE

WINDOW TAG

SINGLE STORY BUILDING TO BE

A. HORNE BUILDING

SHEET INDEX

GENERAL

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CIVIL

EC-101 SITE DEMOLITION & SEC PLAN

ARCHITECTURAL

- ARCHITECTURAL SITE PLAN AS-101
- PARTIAL DEMOLITION FLOOR PLAN A-101
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- TYPICAL WALL SECTIONS A-302
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MECHANICAL

M-100 FLOOR PLAN - MECHANICAL

ELECTRICAL

E-001	ELECTRICAL LEGEND
E-101	DEMOLITION PLAN - ELECTRICAL LIGHTING
E-201	DEMOLITION PLAN - ELECTRICAL POWER

PLUMBING

P-001	LEGEND AND NOTES - PLUMBING
P-101	FLOOR PLAN - PLUMBING

ANY ITEMS, EQUIPMENT, SYSTEM, **ETC THAT THE OWNER WANTS TO** SALVAGE WILL BE REMOVED BY THE **OWNER PRIOR TO THE NOTICE TO** PROCEED DATE

CONTRACTOR SHALL COORDINATE WITH THE OWNER TO RELOCATE EXISTING FIRE ALARM DEVICES WHEN BUILDING IS NOT OCCUPIED **OR SHALL POST A FIRE WATCH UNTIL DEVICES HAVE BEEN RELOCATED** AND MADE OPERATIONAL





2015 INTERNATIONAL BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

A. PROJECT INFORMATION - (REQUIRED INFORMATION FOR ALL PROJECTS) BEAUFORT COUNTY A. HORNE BUILDING PARTIAL DEMOLITION Name of Project: 104 RIBAUT ROAD BEAUFORT, SOUTH CAROLINA Zip Code: 29902 Address: COURT ROOMS AND COUNTY OFFICES Proposed Use: DANIEL C. SALTRICK, AIA Phone #: (843) 466-3664 E-Mail DANGBEAUFORTDESIGNBUILD.COM Owner or Authorized Agent: City/County BEAUFORT COUNTY Private Owned By: Code Enforcement Jurisdiction: City_CITY_OF_BEAUFORT _____ County _____ B. PROJECT SUMMARY/ ALTERNATIVE MEANS OF COMPLIANCE Building description: ONE STORY BUILDING WITH STUCCO ON EXTERIOR CMU WALLS, STEEL JOIST ROOF FRAMING, GYPSUM ROOF DECK WITH BUILT-UP ROOF SYSTEM AND ALUMINUM STOREFRONT. Scope of work details: THIS PROJECT CONSISTS OF DEMOLITION OF 7,923 SQUARE FEET OF THE EXISTING SINGLE STORY A. HORNE BUILDING LOCATED AT 104 RIBAUT ROAD IN BEAUFORT, SOUTH CAROLINA. THE PORTION OF THE EXISTING BUILDING WHICH WILL NOT BE DEMOLISHED, WILL REMAIN OCCUPIED AND FULLY OPERATIONAL THROUGHOUT THE PROJECT. C. DESIGN PROFESSIONAL INFORMATION REQUIRED INFORMATION FOR ALL PROJECTS LEAD DESIGN PROFESSIONAL: DANIEL C. SALTRICK, AIA – BEAUFORT DESIGN BUILD LLC. DESIGNER LICENSE # TELEPHONE # FIRM NAME EMAII DANIEL C. SALTRICK Architectural: BEAUFORT DESIGN BUILD, LLC ______SC-7155______(843) 466-3664_____ DANGBEAUFORTDESIGNBUILD.COM ANDREWS ENGINEERING ANDREW R. KLOSTERMAN 28230 (843) 379-2222 ANDY@ANDREWS-SC.COM Site: OPTIMA ENGINEERING ZANE KUSEYBI 17011 (704) 338–1292 MHYATT©OPTIMAENGINEERING.COM Electrical: <u>N/A N/A N/A N/A N/A N/A </u> Fire Alarm: OPTIMA ENGINEERING GEORGE C. FOWLER 21021 (704) 338–1292 MHYATT©OPTIMAENGINEERING.COM Plumbing: Mechanical: OPTIMA ENGINEERING BYRON L. FORD 20290 (704) 338-1292 MHYATTGOPTIMAENGINEERING.COM Sprinkler-Standpipe: N/A N/A N/A N/A N/A
 Structural:
 LAURENE, RICKHER & SORRELL
 –
 –
 (704) 522–0495
 –

 Retaining Walls >5' High:
 N/A
 N/A
 N/A
 N/A
 Contractor TO BE DETERMINED N/A N/A N/A N/A D. TYPE OF WORK BEING PERFORMED What type of work is being performed? New Construction (A project from the site work through the completion of work required for tenant occupancy) This includes Shell buildings. Addition: (An Existing Building that is adding heated or unheated space. This could be an addition to the footprint or a vertical expansion) Uplift: (First Time Interior Completion) (Uplift - the first time interior completion of a virgin (never occupied) shell space in a newly constructed building. The applicant must provide a copy of the approved shell) Alteration/Renovation: (Previously Occupied Space) This includes Change of Use. E. CODE INFORMATION 2015 International Building Code (IBC) Building Code: 2015 Chapter 34 (attach building evaluation per section 3412) Prior International Building Code (list year / version _____) New building Shell building New Building: ☐ First time interior completion (upfit) ☐ Addition Change of use / occupancy Existing Building: Building / tenant space interior completion (Alteration/ Renovation) Year of construction UNKNOWN Previous use COURT ROOMS AND COUNTY OFFICES F. REHAB CODE (NOT USED) G. BASIC BUILDING DATA REQUIRED INFORMATION FOR ALL PROJECT REDUCTION) (FEET) Construction Type: (Table 601) 🗌 III-A 🗌 IV V-A II-A (Check all that apply) 🗌 I-B 🛛 II-B 🗌 III-B □ V-B No Partial Yes NFPA 13-07 NFPA 13R-07 NFPA 13D-07 Sprinklers: (Section 903) No Yes Class I III Wet Dry NFPA 14-07 Standpipes: (Section 905) 🛛 No 🗌 Yes Fire District: Flood Hazard Area: (Appendix G) 🛛 No 🗌 Yes
 Building Height:
 (Feet) 13'-2"
 (Table 503)
 Stories: 1
 Gross Building Area: **8,629** SQFT FLOOR EXISTING (SQFT) RENOVATED (SQFT) NEW (SQFT) COMMENTS 4th Floor 3rd Floor 2nd Floor Mezzanine N/A 8,629 N/A 1st Floor N/A N/A N/A Basement TOTAL 8,629 N/A N/A H. ALLOWABLE AREA: OCCUPANCY CLASSIFICATION Occupancy: (Chapter 3) □ A-1 □ A-2 ⊠ A-3 □ A-4 □ A-5 Assembly (303) Β Business (304) E Educational (305) F-1 Moderate F-2 Low Factory (306) H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM Hazardous (307) □ I-1 □ I-2 □ I-3 □ I-4 Institutional (308) I-3 Condition 🗌 M Mercantile (309) □ R-1 □ R-2 □ R-3 □ R-4 Residential (310) S-1 Moderate S-2 Low High-piled Storage (311) Parking Garage Open Enclosed Repair Garage * Indicate section number permitting reduction Utility and Miscellaneous (312) Accessory Occupancies:(<10%): (508) If Applicable A-1 A-2 A-3 A-4 A-5 Assembly (303) K PERCENTAGE OF WALL OPENING CALCULATIONS B Business (304) E Educational (305) F-1 Moderate F-2 Low Factory (306) H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM Hazardous (307) □ I-1 □ I-2 □ I-3 □ I-4 Institutional (308) I-3 Condition 🗌 M Mercantile (309) □ R-1 □ R-2 □ R-3 □ R-4 Residential (310) S-1 Moderate S-2 Low High-piled Storage (311) Parking Garage Open Enclosed Repair Garage Utility and Miscellaneous (312)

(INCLUDES: NEW CONSTRUCTION, UPFITS, RENOVATIONS, AND ADDITIONS) (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSE)

I. ALLOWABLE AREA: OCCUPANCY CLASSIFICATION (CONT.)	I. WALL LEGI REQUIRED FOR ALL F	ENDS projects								
cidental Uses: If applicable - areas with additional requirements (Table 509):	CHECK THE FOLLO	WING AR	E PRESEN	IT AND	INDICATED BY	A WAL	LLEGEN	JD ON ALL	PLANS	
Room with boilers where the largest piece of equipment is over 15 psi and 10 horsepower	☐ Fire Walls 7)6 [Fire Barr	iers 707	Fire Partit	ions 708	□ LEGE	noke Barrier	s 709 □ S	m
Refrigerant machine room	Floor and Ro	of Assem	olies 711		ertical Openings	712 [Shaft	Enclosures 7	13 🗌 No	ra
Hydrogen cutoff rooms, not classified as Group H										
Incinerator rooms										-
Paint shops, not classified as Group H, located in occupancies other than Group F	M. LIFE SAFE REQUIRED FOR ALL F	TY SY PROJECTS	STEM	S (EX	ISTING OI	R NEV	V SYS	TEMS)		
Laboratories and vocational shops, not classified as Group H. Located in Group E or I-2 Occupancy		(1000)								
Laundry rooms over 100 square feet	Emergency Lighting: (Exit Signs: (1013)	1008)) XYes Ves					
Group I-3 cells equipped with padded surfaces	Fire Alarm: (907, NFP.	A 72-07)		No	Yes					
Waste and linen collection rooms	Smoke Detection Syste Panic Hardware: 1010.	ms: 907 1.10		⊠ No □ No) ∐Yes ∐) ⊠Yes	Partial				
 Waste and men concerton room over roo square rect Stationary storage battery systems having a liquid electrolyte capacity of more than 50 gallons, or a lithium-ion capacity of 1,000 pounds used for facility standby power, emergency power or uninterrupted power supplies. 	Life Safety systems get	nerator : 2'	702.2	No	Yes					
Room containing fire pumps Room containing Life-Safetygenerator Room containing primary transformers										-
Group I-2 storage room over 100 square feet	N. LIFE SAFE' REOUIRED FOR ALL F	TY PL	AN CH	ECK s that ai	LIST FOR	COMI YOUR PRO	PLIAN	ICE		
Group I-2 commercial kitchens					N					
Group I-2 laundries equal to or less than 100 square feet	Fire and /or smoke i	ated wall	locations (C	Chapter 7)					
Group I-2 rooms or spaces that contain fuel-fired heating equipment	Exterior wall openiu	roperty in	h respect to	distance	e to assumed pror	erty line	s (705 8)			
pecial Uses: If Applicable	Existing structures y	vithin 30'	of the prop	osed buil	ding	Jerty Intes	s (705.0)			
	Occupancy types fo	r each area	as it relate	s to occu	upant load calcula	tion (Tab	ole 1004.1	.2)		
	Occupant load for e	ach area			1	(,		
pecial Provisions: If Applicable	Exit access travel di	stances (1	016)							
510.2 510.3 510.4 510.5 510.6 510.7 510.8 510.9	Common path of tra	vel distan	ces (1006.2	.1, 1018.	4 & 1029.8)					
/lixed Occupancy/Use: (508) If Applicable	Dead end lengths (1	020.4 & 1	029.9.5)							
No Yes Separation: NON-SEPARATED Hr. Exception:	Clear exit widths for	r each exit	door							
Incidental Use Separation (509) This separation is not exempt as a Non-Separated Use (see exceptions).	🛛 Maximum calculate	d occupan	t load capa	city each	exit door can acc	ommoda	te based o	n egress wid	th (1005.1)	
Non-Separated Use (508.3)	🛛 Actual occupant loa	d for each	exit door							
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.	A separate schemati	c plan ind	icating whe	ere fire ra	ted floor/ceiling	and/or roo	of structur	e is provide	l for purpose o	fc
Separated Use (508.4) - See below for area calculations	Location of doors w	ith panic l	hardware (1	008.1.10))					
For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1. If Applicable to this project please provide a key plan with all occupancies identified	Location of doors w	ith delaye	d egress loo	ks and t	he amount of dela	ıy (1008.1	1.9.7)			
with square footage.	Location of doors w	ith electro	magnetic e	gress loc	ks (1008.1.9.8)					
Actual Area of Occupancy A + Actual Area of Occupancy B + < 1.00	Location of doors e	quipped w	th hold-op	en device	28					
Allowable Area of Occupancy A Allowable Area of Occupancy B 2 1000	Location of emerger	icy escape	windows (1029)						
N/A + N/A = ≤ 1.00	\Box The square footage	of each sm	e area (902) rtment (/	107 4)					
	Note any code exce	otions or t	able notes t	hat may	have been utilize	d regardi	ng the iter	ms above		
STORY DESCRIPTION (A) (B) (C) (D) (E) (F) AND USE BLDG AREA NS/SI/SM TABLE 506.2 ⁴ AREA FOR ALCWABLE MAXIMUM PER STORY FIRE SPRINKLER AREA PER STORY FRONTAGE AREA PER STORY BUILDING (ACTUAL) TABLE 506.2 ⁴ INCREASE ¹ OR UNLIMITED ² AREA ³						a regurar				_
1 A3 (ASSEMBLY) 8,799 SF NS 9,500 N/A N/A 9,500 SF	O. EXIT REQU	ЛREM	ENTS							
	REQUIRED FOR ALL I	PROJECTS								
	NUMBER AND AR	RANGEM	ENT OF E	XITS (T.	ABLE 1006.3.1)					
	FLOOR, ROOM OR SPACE DESIGNATION		MINIM NUMBER O	UM ² F EXITS	TRAVEI ALLOWABLE TRAVEI	ACTUA	L TRAVEL		ARRANGEMENT M GRESS ^{1,3} (SECTIO	IEA N 1
¹ Frontage area increases from Section 506.3 are computed thus:			REQ'D T1006.3.1.1	SHOWN N PLANS	DISTANCE (Table 1017.2)	DIS SHOWN	TANCE I ON PLANS	REQ'D I BETWEEN	DISTANCE EXIT DOORS	A
a. Perimeter which fronts a public way or open space having 20 feet minimum width = N/A (F)			(Single exit 1006.3.2(2)							
b. Total Building Perimeter (P) = N/A (P)										
c. Ratio $(F/P) = \frac{N/A}{(F/P)}$	1st FLOOR		2	2	200'	192	·-0"	71-	3"	1
•										
d. Minimum width of public way (W) = N/A (W)										
d. Minimum width of public way (W) = $\frac{N/A}{(W)}$ e. Percent of frontage increase $I_f = 100 [F/P - 0.25] \times W/30 = \frac{N/A}{(\%)}$										
d. Minimum width of public way (W) = N/A (W) e. Percent of frontage increase I _f = 100 [F/P - 0.25] x W/30 = N/A (%) ² The sprinkler increase per Section 506.3 is as follows:	¹ Corridor dead ends	(Section 1	020.4)							
d. Minimum width of public way (W) = $\frac{N/A}{(W)}$ e. Percent of frontage increase $I_f = 100 [F/P - 0.25] \times W/30 = \frac{N/A}{(\%)}$ (%) ² The sprinkler increase per Section 506.3 is as follows: a. Multi-story building $I_s = 200$ percent b. Single-story building $I_s = 300$ percent	¹ Corridor dead ends ² Buildings with Sing ³ Common Path of 1	(Section 1 gle Exits (020.4) Fable 1006	.3.2(2)),	Spaces with one 1	means of	egress (Ta	able 1006.2.	1)	
 d. Minimum width of public way (W) = <u>N/A</u> (W) e. Percent of frontage increase I_f = 100 [F/P - 0.25] x W/30 = <u>N/A</u> (%) ² The sprinkler increase per Section 506.3 is as follows: a. Multi-story building I_s = 200 percent b. Single-story building I_s = 300 percent ³ Unlimited area applicable under conditions of Sections 507. 	¹ Corridor dead ends ² Buildings with Sing ³ Common Path of T	(Section 1 gle Exits (' ravel (Sec	.020.4) Table 1006 tion 1006.2	.3.2(2)), .1)	Spaces with one 1	means of	egress (Ta	able 1006.2.	1)	
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 d. Minimum width of public way (W) = <u>N/A</u> (W) e. Percent of frontage increase I_f = 100 [F/P - 0.25] x W/30 = <u>N/A</u> (%) ² The sprinkler increase per Section 506.3 is as follows: a. Multi-story building I_s = 200 percent b. Single-story building I_s = 300 percent ³ Unlimited area applicable under conditions of Sections 507. ⁴ Maximum Building Area = total number of stories in the building x E (506.4.1). ⁵ The maximum area of open parking garage must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1. 	¹ Corridor dead ends ² Buildings with Sing ³ Common Path of T OCCUPANT LOAD USE GROUP OR SPACE DECENTION	(Section I gle Exits (' ravel (Sec AND EXI (a) AREA ¹ sq. ft.	020.4) Fable 1006 tion 1006.2 T WIDTH (b) AREA PI OCCUPA	.3.2(2)), .1) (TABLE	Spaces with one r 1004.1.2) (1004.1.2) CALCULATED OCCUPANT	means of EGRES: PER OC	egress (Ta (c) s WIDTH :CUPANT	EXIT WII REQUIRED W (SECTION 10	TH (in) ^{2,3,4,5,6}	'UA SH
 d. Minimum width of public way (W) = <u>N/A</u> (W) e. Percent of frontage increase I_f = 100 [F/P - 0.25] x W/30 = <u>N/A</u> (%) ² The sprinkler increase per Section 506.3 is as follows: a. Multi-story building I_s = 200 percent b. Single-story building I_s = 300 percent ³ Unlimited area applicable under conditions of Sections 507. ⁴ Maximum Building Area = total number of stories in the building x E (506.4.1). ⁵ The maximum area of open parking garage must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1. 	¹ Corridor dead ends ² Buildings with Sing ³ Common Path of T OCCUPANT LOAD USE GROUP OR SPACE DESCRIPTION	(Section I gle Exits (' ravel (Sec AND EXI (a) AREA ¹ sq. ft.	020.4) Table 1006 tion 1006.2 T WIDTH (b) AREA PE OCCUPA	.3.2(2)), .1) (TABLE	Spaces with one r 1004.1.2) (1004.1.2) CALCULATED OCCUPANT LOAD (a/b)	egress PER OC (10 STAIR	egress (Ta (c) s WIDTH :CUPANT 05.1)	EXIT WII REQUIRED W (SECTION 10 (a^+b) x c	TH (in) ^{2,3,4,5,6} IDTH ACT 15.1) C IDTI STAIR	UA SH
 d. Minimum width of public way (W) = <u>N/A</u> (W) e. Percent of frontage increase I_f = 100 [F/P - 0.25] x W/30 = <u>N/A</u> (%) ² The sprinkler increase per Section 506.3 is as follows: a. Multi-story building I_s = 200 percent b. Single-story building I_s = 300 percent ³ Unlimited area applicable under conditions of Sections 507. ⁴ Maximum Building Area = total number of stories in the building x E (506.4.1). ⁵ The maximum area of open parking garage must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1. ALLOWABLE HEIGHT (CHAPTER 5)	¹ Corridor dead ends ² Buildings with Sing ³ Common Path of T OCCUPANT LOAD USE GROUP OR SPACE DESCRIPTION BUSINESS	(Section 1 gle Exits (' ravel (Sec AND EXI (a) AREA ¹ sq. ft. 3.618	.020.4) Table 1006 tion 1006.2 T WIDTH (b) AREA PH OCCUPA	.3.2(2)), .1) (TABLE	Spaces with one r 1004.1.2) (1004.1.2) CALCULATED OCCUPANT LOAD (a/b) 36	egress PER OC (10) STAIR	egress (T (e) s WIDTH CUPANT 05.1) LEVEL .2	EXIT WII REQUIRED W (SECTION 10 (a*b) x c STAIR L N/A 7	TH (in) ^{2,3,4,5,6} IDTH ACT 15.1) C EVEL STAIR .2" N/A	TUA SH
 d. Minimum width of public way (W) = <u>N/A</u> (W) e. Percent of frontage increase I_f = 100 [F/P - 0.25] x W/30 = <u>N/A</u> (%) ² The sprinkler increase per Section 506.3 is as follows: a. Multi-story building I_s = 200 percent b. Single-story building I_s = 300 percent ³ Unlimited area applicable under conditions of Sections 507. ⁴ Maximum Building Area = total number of stories in the building x E (506.4.1). ⁵ The maximum area of open parking garage must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1. 6 ALLOWABLE HEIGHT (CHAPTER 5) REQUIRED FOR ADDITIONS, NEW CONSTRUCTION	¹ Corridor dead ends ² Buildings with Sing ³ Common Path of T OCCUPANT LOAD USE GROUP OR SPACE DESCRIPTION BUSINESS COURTROOMS	(Section I gle Exits (' ravel (Sec AND EXI (a) AREA ¹ sq. ft. 3,618 889	020.4) Table 1006 tion 1006.2 T WIDTH (b) AREA PE OCCUPA 100 GR(7 NE	.3.2(2)), .1) (TABLE R NT DSS	Spaces with one r 1004.1.2) (1004.1.2) CALCULATED OCCUPANT LOAD (a/b) 36 95	egress PER OC (10 STAIR N/A N/A	egress (Tr (c) S WIDTH CUPANT 05.1) LEVEL .2 .2	EXIT WII REQUIRED W (SECTION 10 (a÷b) × C STAIR L N/A 7 N/A 11	TH (in) ^{2,3,4,5,6} IDTH ACT 15.1) C EVEL STAIR .2" N/A 0.0" N/A	SH N
 d. Minimum width of public way (W) = <u>N/A</u> (W) e. Percent of frontage increase I_f = 100 [F/P - 0.25] x W/30 = <u>N/A</u> (%) ² The sprinkler increase per Section 506.3 is as follows: a. Multi-story building I_s = 200 percent b. Single-story building I_s = 300 percent ³ Unlimited area applicable under conditions of Sections 507. ⁴ Maximum Building Area = total number of stories in the building x E (506.4.1). ⁵ The maximum area of open parking garage must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1. ALLOWABLE HEIGHT (CHAPTER 5) REQUIRED FOR ADDITIONS, NEW CONSTRUCTION ALLOWABLE SHOWN ON PLANS CODE	¹ Corridor dead ends ² Buildings with Sing ³ Common Path of T OCCUPANT LOAD USE GROUP OR SPACE DESCRIPTION BUSINESS COURTROOMS SERVICE/ EQUIPMENT	(Section 1 gle Exits (' ravel (Sec AND EXI (a) AREA ¹ sq. ft. 3,618 889 918	.020.4) Table 1006 tion 1006.2 T WIDTH (b) AREA PH OCCUPA 100 GR 7 NE 300 GR	.3.2(2)), .1) (TABLE R VT DSS DSS	Spaces with one r 1004.1.2) (1004.1.2) CALCULATED OCCUPANT LOAD (a/b) 36 95 3	reans of EGRES: PER OC (10 STAIR N/A N/A N/A	egress (T s WIDTH CUPANT 05.1) LEVEL .2 .2 .2	EXIT WII REQUIRED W (SECTION 10 (a*b) x c STAIR L N/A 7 N/A 12 N/A 0	TH (im) ^{2,3,4,5,6} IDTH ACT 15.1) C EVEL STAIR .2" N/A 0.0" N/A .6" N/A	SH
d. Minimum width of public way (W) =MA (W) e. Percent of frontage increase If = 100 [F/P - 0.25] x W/30 =MA (%) ² The sprinkler increase per Section 506.3 is as follows: a. Multi-story building Is = 200 percent b. Single-story building Is = 300 percent ³ Unlimited area applicable under conditions of Sections 507. ⁴ Maximum Building Area = total number of stories in the building x E (506.4.1). ⁵ The maximum area of open parking garage must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1. CALLOWABLE HEIGHT (CHAPTER 5) REQUIRED FOR ADDITIONS, NEW CONSTRUCTION ALLOWABLE SHOWN ON PLANS CODE REFERENCE	¹ Corridor dead ends ² Buildings with Sing ³ Common Path of T OCCUPANT LOAD USE GROUP OR SPACE DESCRIPTION BUSINESS COURTROOMS SERVICE/ EQUIPMENT	(Section I gle Exits (' ravel (Sec AND EXI (a) AREA ¹ sq. ft. 3,618 889 918	020.4) Table 1006 tion 1006.2 T WIDTH (b) AREA PI OCCUPA 100 GR(7 NE 300 GR(3.2(2)), .1) (TABLE 	Spaces with one r 1004.1.2) (1004.1.2) CALCULATED OCCUPANT LOAD (a/b) 36 95 3	egress PER OC (10 STAIR N/A N/A N/A	(c) S WIDTH CUPANT 05.1) LEVEL .2 .2 .2 .2	EXIT WII REQUIRED W (SECTION 10 (a^+b) x (STAIR L N/A 7 N/A 1 ⁴ N/A 1 ⁴ N/A 0	TH (in) ^{2,3,4,5,6} IDTH ACT IDTH ACT S.1) C EVEL STAIR .2" N/A 0.0" N/A .6" N/A	TUA SH DN 1
d. Minimum width of public way (W) = $\underline{N/A}$ (W) e. Percent of frontage increase I _f = 100 [F/P - 0.25] x W/30 = $\underline{N/A}$ (%) ² The sprinkler increase per Section 506.3 is as follows: a. Multi-story building I _s = 200 percent b. Single-story building I _s = 300 percent ³ Unlimited area applicable under conditions of Sections 507. ⁴ Maximum Building Area = total number of stories in the building x E (506.4.1). ⁵ The maximum area of open parking garage must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1. ALLOWABLE HEIGHT (CHAPTER 5) REQUIRED FOR ADDITIONS, NEW CONSTRUCTION $\underline{MILOWABLE}_{(TABLE 504.3 AND 504.4)} = \underline{MILOW NON PLANS}_{REFERENCE}$	¹ Corridor dead ends ² Buildings with Sing ³ Common Path of T OCCUPANT LOAD USE GROUP OR SPACE DESCRIPTION BUSINESS COURTROOMS SERVICE/ EQUIPMENT	(Section 1 gle Exits (' ravel (Sec AND EXI (a) AREA ¹ sq. ft. 3,618 889 918	.020.4) Table 1006 tion 1006.2 T WIDTH (b) AREA PI OCCUPA 100 GR(7 NE 300 GR(.3.2(2)), .1) (TABLE R VT DSS I DSS	Spaces with one r 1004.1.2) (1004.1.2) CALCULATED OCCUPANT LOAD (a/b) 36 95 3	neans of EGRES: PER OC (10 STAIR N/A N/A N/A	egress (T s WIDTH CUPANT 05.1) LEVEL .2 .2 .2	EXIT WII REQUIRED W (SECTION 10 (a*b) x c STAIR L N/A 7 N/A 11 N/A (N/A (TH (im) ^{2,3,4,5,6} IDTH ACT 15.1) C EVEL STAIR .2" N/A 0.0" N/A .6" N/A	
d. Minimum width of public way (W) = $N/A_{-}(W)$ e. Percent of frontage increase $I_{f} = 100 [F/P - 0.25] \times W/30 = N/A_{-}(\%)$ ² The sprinkler increase per Section 506.3 is as follows: a. Multi-story building $I_{s} = 200$ percent b. Single-story building $I_{s} = 300$ percent ³ Unlimited area applicable under conditions of Sections 507. ⁴ Maximum Building Area = total number of stories in the building x E (506.4.1). ⁵ The maximum area of open parking garage must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1. ALLOWABLE HEIGHT (CHAPTER 5) REQUIRED FOR ADDITIONS, NEW CONSTRUCTION Mathematical Store in the store in the initial store in the store	¹ Corridor dead ends ² Buildings with Sing ³ Common Path of T OCCUPANT LOAD USE GROUP OR SPACE DESCRIPTION BUSINESS COURTROOMS SERVICE/ EQUIPMENT	(Section I gle Exits (' ravel (Sec AND EXI (a) AREA ¹ sq. ft. 3,618 889 918	020.4) Table 1006 tion 1006.2 T WIDTH (b) AREA PI OCCUPA 100 GR(7 NE 300 GR(.3.2(2)), .1) (TABLE 	Spaces with one r 1004.1.2) (1004.1.2) CALCULATED OCCUPANT LOAD (a/b) 36 95 3	reans of EGRES: PER OC (10 STAIR N/A N/A N/A	(c) S WIDTH CUPANT 05.1) LEVEL .2 .2 .2 .2	EXIT WII REQUIRED W (SECTION 10 (a^+b) × c STAIR L N/A 7 N/A 1 N/A 0 0 0 0 0 0 0 0 0 0 0 0 0 0	TH (in) ^{2,3,4,5,6} IDTH ACT IDTH STAIR .2" N/A 0.0" N/A	
 d. Minimum width of public way (W) = <u>N/A</u> (W) e. Percent of frontage increase I_f = 100 [F/P - 0.25] x W/30 = <u>N/A</u> (%) ² The sprinkler increase per Section 506.3 is as follows: a. Multi-story building I_s = 200 percent b. Single-story building I_s = 300 percent ³ Unlimited area applicable under conditions of Sections 507. ⁴ Maximum Building Area = total number of stories in the building x E (506.4.1). ⁵ The maximum area of open parking garage must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1. ALLOWABLE HEIGHT (CHAPTER 5) REQUIRED FOR ADDITIONS, NEW CONSTRUCTION Main the store of the sto	¹ Corridor dead ends ² Buildings with Sing ³ Common Path of T OCCUPANT LOAD USE GROUP OR SPACE DESCRIPTION BUSINESS COURTROOMS SERVICE/ EQUIPMENT See Table 1004 1 2 2	(Section 1 gle Exits (' ravel (Sec AND EXI (a) AREA ¹ sq. ft. 3,618 889 918	020.4) Table 1006 tion 1006.2 T WIDTH (b) AREA PF OCCUPA 100 GR(7 NE 300 GR(100 G	.3.2(2)), .1) (TABLE R NT DSS F DSS	Spaces with one r 1004.1.2) (1004.1.2) CALCULATED OCCUPANT LOAD (ab) 36 95 3 	neans of EGRES: PEROCC (10 STAIR N/A N/A N/A	egress (T	EXIT WII REQUIRED W (SECTION 10 (a*b) x c STAIR L N/A 7 N/A 11 N/A 0 	TH (in) ^{2,3,4,5,6} TDTH ACT 15.1) C EVEL STAIR .2" N/A 0.0" N/A .6" N/A	
 d. Minimum width of public way (W) = <u>N/A</u> (W) e. Percent of frontage increase I_f = 100 [F/P - 0.25] x W/30 = <u>N/A</u> (%) ² The sprinkler increase per Section 506.3 is as follows: a. Multi-story building I_s = 200 percent b. Single-story building I_s = 300 percent ³ Unlimited area applicable under conditions of Sections 507. ⁴ Maximum Building Area = total number of stories in the building x E (506.4.1). ⁵ The maximum area of open parking garage must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1. ALLOWABLE HEIGHT (CHAPTER 5) REQUIRED FOR ADDITIONS, NEW CONSTRUCTION Machine IIB Type: IIB CODE Type of Construction Type: IIB Type: IIB Type: IIB Type: IIB 504 Building Height in Stories Stories: 2 Stories: 1 504	¹ Corridor dead ends ² Buildings with Sing ³ Common Path of T OCCUPANT LOAD USE GROUP OR SPACE DESCRIPTION BUSINESS COURTROOMS SERVICE/ EQUIPMENT ¹ See Table 1004.1.2 to See definition "Area	(Section I gle Exits (' ravel (Sec AND EXI (a) AREA ¹ sq. ft. 3,618 889 918 918	020.4) Table 1006 tion 1006.2 T WIDTH (b) AREA PI OCCUPA 100 GR(7 NE 300 GR(100 G	.3.2(2)), .1) (TABLE R NT DSS F DSS F DSS net or gr Iet" (Sec	Spaces with one r 1004.1.2) (1004.1.2) CALCULATED OCCUPANT LOAD (a/b) 36 95 3 0 oss area is application 1002)	neans of EGRES: PER OC (10 STAIR N/A N/A N/A N/A	egress (T	EXIT WII REQUIRED W (SECTION 10 (a^+b) x (STAIR L N/A 7 N/A 19 N/A 0 	TH (in) ^{2,3,4,5,6} IDTH ACT IDTH ACT IDTH STAIR .2" N/A 0.0" N/A .6" N/A	
 d. Minimum width of public way (W) = <u>N/A</u> (W) e. Percent of frontage increase I_f = 100 [F/P - 0.25] x W/30 = <u>N/A</u> (%) ² The sprinkler increase per Section 506.3 is as follows: a. Multi-story building I_s = 200 percent b. Single-story building I_s = 300 percent ³ Unlimited area applicable under conditions of Sections 507. ⁴ Maximum Building Area = total number of stories in the building x E (506.4.1). ⁵ The maximum area of open parking garage must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1. CALLOWABLE HEIGHT (CHAPTER 5) REQUIRED FOR ADDITIONS, NEW CONSTRUCTION Maine Type: IIB <u>Type</u>: IIB <u>Type</u>: IIB <u>504</u> Building Height in Feet Feet: <u>55'</u> Feet: <u>1504</u> 	¹ Corridor dead ends ² Buildings with Sing ³ Common Path of T OCCUPANT LOAD USE GROUP OR SPACE DESCRIPTION BUSINESS COURTROOMS SERVICE/ EQUIPMENT ¹ See Table 1004.1.2 t See definition "Area ² Minimum stairway v ³ Minimum width of t	(Section 1 gle Exits (' ravel (Sec AND EXI (a) AREA ¹ sq. ft. 3,618 889 918 918	.020.4) Table 1006 tion 1006.2 T WIDTH (b) AREA PF OCCUPA 100 GR(7 NE 300 GR 300 GR 4 4 4 4 107 Area, N 100 1009.1 eway (Sect	.3.2(2)), .1) (TABLE 	Spaces with one r 1004.1.2) (1004.1.2) CALCULATED OCCUPANT LOAD (a ^(b)) 36 95 3 0 0 0 0 0 0 0 0 1002) 0 0 0 0 0 0 0 0 0 0 0 0 0	neans of EGRES: PEROC: (10 STAIR N/A N/A N/A N/A able. ction 101	egress (Ta	EXIT WII REQUIRED W (SECTION 10 (a*b) x c STAIR L N/A 7 N/A 11 N/A 0 N/A 0	TH (in) ^{2,3,4,5,6} IDTH ACT IDTH 5.1) C C EVEL STAIR .2" N/A 0.0" N/A .6" N/A .6" N/A .6" N/A	
 d. Minimum width of public way (W) = <u>N/A</u> (W) e. Percent of frontage increase I_f = 100 [F/P - 0.25] x W/30 = <u>N/A</u> (%) ² The sprinkler increase per Section 506.3 is as follows: a. Multi-story building I_s = 200 percent b. Single-story building I_s = 300 percent ³ Unlimited area applicable under conditions of Sections 507. ⁴ Maximum Building Area = total number of stories in the building x E (506.4.1). ⁵ The maximum area of open parking garage must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1. ALLOWABLE HEIGHT (CHAPTER 5) REQUIRED FOR ADDITIONS, NEW CONSTRUCTION Maining Height in Feet Feet: 55' Feet: 13'-2" 504 Building Height in Stories Stories: 2 Stories: 1 504 FIRE PROTECTION REOLUREMENTS (CHAPTERS 6 AND 7)	¹ Corridor dead ends ² Buildings with Sing ³ Common Path of T OCCUPANT LOAD USE GROUP OR SPACE DESCRIPTION BUSINESS COURTROOMS SERVICE/ EQUIPMENT ¹ See Table 1004.1.2 to See definition "Areaa ² Minimum stairway vith of a ³ See Section 1004.5 to a	(Section I gle Exits (' ravel (Sec AND EXI (a) AREA ¹ sq. ft. 3,618 889 918 918	020.4) Table 1006 tion 1006.2 T WIDTH (b) AREA PI OCCUPA 100 GR(7 NE 300 GR(300 GR(4 100 GR(100 GR(10	.3.2(2)), .1) (TABLE R DSS F DSS F DSS net or gr ket" (Sec); min. c ion 1023	Spaces with one a 1004.1.2) (1004.1.2) CALCULATED OCCUPANT LOAD (a ^b) 36 95 3 0 oss area is application 1002) orridor width (Se .2)	neans of EGRES: PER OC (10 STAIR N/A N/A N/A A able. ction 101	egress (Tr	EXIT WII REQUIRED W (SECTION 10 (a*b) x (STAIR L N/A 7 N/A 19 N/A 0 N/A 0	TH (in) ^{2,3,4,5,6} IDTH ACT IDTH ACT STAIR C IVEL STAIR .2" N/A 0.0" N/A .6" N/A	
 d. Minimum width of public way (W) = <u>N/A</u> (W) e. Percent of frontage increase I_f = 100 [F/P - 0.25] x W/30 = <u>N/A</u> (%) ² The sprinkler increase per Section 506.3 is as follows: a. Multi-story building I_s = 200 percent b. Single-story building I_s = 300 percent ³ Unlimited area applicable under conditions of Sections 507. ⁴ Maximum Building Area = total number of stories in the building x E (506.4.1). ⁵ The maximum area of open parking garage must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1. ALLOWABLE HEIGHT (CHAPTER 5) REQUIRED FOR ADDITIONS, NEW CONSTRUCTION Midding Height in Feet Feet: 55' Feet:13'-2' 504 Building Height in Stories Stories: 2 Stories: 1 504 FIRE PROTECTION REQUIREMENTS (CHAPTERS 6 AND 7)	¹ Corridor dead ends ² Buildings with Sing ³ Common Path of T OCCUPANT LOAD USE GROUP OR SPACE DESCRIPTION BUSINESS COURTROOMS SERVICE/ EQUIPMENT ¹ See Table 1004.1.2 f See definition "Area ² Minimum stairway v ³ Minimum width of e ⁴ See Section 1004.5 f ⁵ The loss of one mea ⁶ A seambly accuracy	(Section I gle Exits (' ravel (Sec AND EXI (a) AREA ¹ sq. ft. 3,618 889 918 918 50 determin , Gross'' ai width (Sec exit passag for converg ns of egres	1020.4) Table 1006 tion 1006.2 T WIDTH (b) AREA PF OCCUPA 100 GR(7 NE 300 GR 300 GR 4 4 100 J. 100 J. 100 J. 100 J. 100 GR 100 GR	.3.2(2)), .1) (TABLE 	Spaces with one r 1004.1.2) (1004.1.2) CALCULATED OCCUPANT LOAD (a ^(b)) 36 95 3 0 0 0 0 0 0 0 0 1002) 0 0 0 1002) 0 0 0 0 0 0 0 0 0 0 0 0 0	neans of EGRES: PEROCIO STAIR N/A N/A N/A able. ction 101	egress (Ta	EXIT WII REQUIRED W (SECTION 10 (a*b) x c STAIR L N/A 7 N/A 11 N/A 0 N/A 0 . door width percent of th	TH (in) ^{2,3,4,5,6} IDTH ACT IDTH 5.1) C STAIR .2" N/A 0.0" N/A .6" N/A .6" N/A .6" N/A .6" N/A	
a. Minimum width of public way (W) = <u>N/A</u> (W) c. Percent of frontage increase $I_{f} = 100 [F/P - 0.25] x W/30 = N/A$ (%) ² The sprinkler increase per Section 506.3 is as follows: a. Multi-story building $I_{s} = 200$ percent b. Single-story building $I_{s} = 300$ percent ³ Unlimited area applicable under conditions of Sections 507. ⁴ Maximum Building Area = total number of stories in the building x E (506.4.1). ⁵ The maximum area of open parking garage must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1. ALLOWABLE HEIGHT (CHAPTER 5) REQUIRED FOR ADDITIONS, NEW CONSTRUCTION Multi-stories Type of Construction Type: IIB Type: IIB Type: IIB Building Height in Feet Feet: 55' Feet: 13'-2' 504 Building Height in Stories Stories: 2 Stories: 1 504	¹ Corridor dead ends ² Buildings with Sing ³ Common Path of T OCCUPANT LOAD USE GROUP OR SPACE DESCRIPTION BUSINESS COURTROOMS SERVICE/ EQUIPMENT ¹ See Table 1004.1.2 to See definition "Areaa ² Minimum stairway v ³ Minimum width of a ⁴ See Section 1004.5 to 5 The loss of one meaa ⁶ Assembly occupance ⁷ Spaces within occup	(Section I gle Exits (' ravel (Sec AND EXI (a) AREA ¹ sq. ft. 3,618 889 918 918 co determin , Gross" ai width (Sec exit passag for converg ns of egress ies (Section ancies or t	.020.4) Table 1006 tion 1006.2 T WIDTH (b) AREA PH OCCUPA 100 GR(7 NE 300 GR(300 GR(4 100 Interpret 100 100 Interpret 100 100 Interpret 100 Interpret 100	.3.2(2)), .1) (TABLE R DSS DSS T DSS DSS net or gr Let" (Sec); min. c ion 1023 reduce th shall be c	Spaces with one in 1004.1.2) (1004.1.2) CALCULATED OCCUPANT LOAD (a ^b) 36 95 3 0 oss area is application 1002) orridor width (Se .2) ne available capace calculated independent	neans of EGRES: PER OC (10 STAIR N/A N/A N/A able. ction 101 city to less indently. (egress (T: s WIDTH :CUPANT 05.1) LEVEL .2 .2 .2 .2 .2 .2 .2 .2 .2 .2	EXIT WII REQUIRED W (SECTION 10 (a*b) x (STAIR L N/A 7 N/A 11 N/A 0 N/A 11 N/A 0 . door width percent of th ies, lounges,	TH (in) ^{2,3,4,5,6} IDTH ACT IDTH ACT IDTH ACT STAIR C IVEL STAIR .2" N/A 0.0" N/A .6" .5" .6" .5" .6" .5" .6" .5" .6" <t< td=""><td></td></t<>	

			KEDUCTION)				
Structural Frame including columns, girders, trusses	N/A	N/A	0 HR	_	_	_	_
Bearing Walls (See Section 601-602 if ra	ited)		1	1			1
Exterior							
North	>30 FT	0-HR	0-HR	_	_	_	_
East	>30 FT	0-HR	0-HR	_	-	_	_
West	>30 FT	0-HR	0-HR	_	-	-	-
South	>30 FT	0-HR	0-HR	_	-	-	-
Interior	N/A	N/A	0-HR	_	-	-	-
Nonbearing Walls and Partit (See Section 601-602 if ra	ions ited)						
Exterior							
North	NO CI	HANGE TO	EXISTING	-	-	-	-
East	NO CI	HANGE TO	EXISTING	_	-	-	-
West	NO CI	HANGE TO	EXISTING	-	-	-	-
South	NO CI	HANGE TO	EXISTING	-	-	-	-
Interior	NO CI	HANGE TO	EXISTING	-	-	-	-
Floor Construction including supporting beams and joists	NO CI	HANGE TO	EXISTING	_	_	_	_
Roof Construction including supporting beams and joists	NO CI	HANGE TO	EXISTING	-	_	_	_
Shaft Enclosures - Exit	NO CI	HANGE TO	EXISTING	-	-	-	-
Shaft Enclosures - Other	NO CI	HANGE TO	EXISTING	-	-	-	-
Corridor Separation	N/A	1 HR	1 HR	U905 (I	NO CHANG	E TO EXIS	TING)
Occupancy Separation	N/A	0-HR	0-HR	_	-	_	-
Party/Fire Wall Separation	N/A	0-HR	0-HR	_	_	-	-
Smoke Barrier Separation	N/A	0-HR	0-HR	_	-	-	-
Tenant Separation	N/A	0-HR	0-HR	_	-	_	-
ncidental Separation	N/A	0-HR	0-HR	-	-	_	-

ERCEINTAGE OF N IEW CONSTRUCTION, ADDITION AND CI	WALL OPEINING CALCULAII HANGE OF USE (Table 705.8)	ONS		
FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENING PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)	COMMENTS
EAST	NO CHANGE TO EXISTING	1		
NORTH	UNPROTECTED, NOT SPRINKLERED	NOT LIMIT	<10%	
SOUTH	NO CHANGE TO EXISTING		•	
WEST	NO CHANGE TO EXISTING			

LEGENDS FOR ALL PROJECTS

HECK THE FOLLOWING	ARE PRESENT AND I	NDICATED BY A WAI	L LEGEND ON ALL PLAN	NS
Fire Walls 706Floor and Roof Ass	Fire Barriers 707 Semblies 711 Ve	Fire Partitions 708 Fical Openings 712	Smoke Barriers 709 Shaft Enclosures 713	Smoke

SAFETY SYSTEMS (EXISTING OR NEW SYSTEMS)

REQUIRED FOR ALL PROJECTS	× ×		
Emergency Lighting: (1008)	☐ No	⊠ Yes	
Exit Signs: (1013)	☐ No	⊠ Yes	
Fire Alarm: (907, NFPA 72-07)	⊠ No	□ Yes	
Smoke Detection Systems: 907	No	☐ Yes	Partial
Panic Hardware: 1010.1.10	No	⊠ Yes	
Life Safety systems generator : 2702.2	No	☐ Yes	

moke rated wall locations (Chapter 7)

- l real property line locations
- opening area with respect to distance to assumed property lines (705.8)
- actures within 30' of the proposed building types for each area as it relates to occupant load calculation (Table 1004.1.2)
- oad for each area
- avel distances (1016) h of travel distances (1006.2.1, 1018.4 & 1029.8)
- gths (1020.4 & 1029.9.5)
- idths for each exit door
- lculated occupant load capacity each exit door can accommodate based on egress width (1005.1)
- ant load for each exit door
- hematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purpose of or loors with panic hardware (1008.1.10)
- doors with delayed egress locks and the amount of delay (1008.1.9.7)
- doors with electromagnetic egress locks (1008.1.9.8) loors equipped with hold-open devices
- emergency escape windows (1029)
- ootage of each fire area (902)
- botage of each smoke compartment (407.4) le exceptions or table notes that may have been utilized regarding the items above

REQUIREMENTS R ALL PROJECTS

NUMBER AND ARRANGEN	MENT OF EXITS (T	ABLE 1006.3.1)
FLOOR, ROOM OR	MINIMUM ²	TRAVEL

OOR, ROOM OR	MINIMUM ² NUMBER OF EXITS		TRAVEL I	DISTANCE	ARRANGEMENT ME	
ACE DESIGNATION			ALLOWABLE TRAVEL	ACTUAL TRAVEL	EGRESS ^{1,3} (SECTION 10	
	REQ'D	SHOWN	DISTANCE	DISTANCE	REQ'D DISTANCE	AC
	T1006.3.1.1 (Single exit 1006.3.2(2)	ON PLANS	(Table 1017.2)	SHOWN ON PLANS	BETWEEN EXIT DOORS	SH
1st FLOOR	2	2	200'	192'–0"	71-3"	12

ad ends (Section 1020.4) with Single Exits (Table 1006.3.2(2)), Spaces with one means of egress (Table 1006.2.1) Path of Travel (Section 1006.2.1)

AND EXI	T WIDTH (TABLI	E 1004.1.2)	T		1			
(a) (b) AREA ¹ AREA PER sq. ft. OCCUPANT		(1004.1.2) CALCULATED OCCUPANT LOAD (a/b)	(c) EGRESS WIDTH PER OCCUPANT (1005.1)		EXIT WIDTH (in) ⁴ REQUIRED WIDTH (SECTION 1005.1) (a÷b) x c		ACTUAL W SHOWN ON PLAY	
			STAIR	LEVEL	STAIR	LEVEL	STAIR	
3,618	100 GROSS	36	N/A	.2	N/A	7.2"	N/A	
889	7 NET	95	N/A	.2	N/A	19.0"	N/A	
918	300 GROSS	3	N/A	.2	N/A	0.6"	N/A	
	AND EXI (a) AREA ¹ sq. ft. 3,618 889 918	AND EXIT WIDTH (TABLI (a) (b) AREA ¹ AREA PER OCCUPANT 3,618 100 GROSS 889 7 NET 918 300 GROSS	AND EXIT WIDTH (TABLE 1004.1.2) (a) (b) (1004.1.2) AREA ¹ sq. ft. AREA PER OCCUPANT CALCULATED OCCUPANT LOAD (a/b) 3,618 100 GROSS 36 889 7 NET 95 918 300 GROSS 3	AND EXIT WIDTH (TABLE 1004.1.2) (a) (b) (1004.1.2) (c) (a) (b) (1004.1.2) (c) (c) AREA ¹ AREA PER OCCUPANT CALCULATED OCCUPANT LOAD (a ^t b) EGRESS PER OCC (100 3,618 100 GROSS 36 N/A 918 300 GROSS 3 N/A	AND EXIT WIDTH (TABLE 1004.1.2) (a) (b) (1004.1.2) (c) AREA ¹ sq. ft. AREA PER OCCUPANT CALCULATED OCCUPANT LOAD (a/b) EGRESS WIDTH PER OCCUPANT (1005.1) 3,618 100 GROSS 36 N/A .2 889 7 NET 95 N/A .2 918 300 GROSS 3 N/A .2	AND EXIT WIDTH (TABLE 1004.1.2) (a) (b) (1004.1.2) (c) EXIT AREA ¹ sq. ft. AREA PER OCCUPANT CALCULATED OCCUPANT (a/b) EGRESS WIDTH PER OCCUPANT (1005.1) REQUIRE (SECTIO (a/b) 3,618 100 GROSS 36 N/A .2 N/A 889 7 NET 95 N/A .2 N/A 918 300 GROSS 3 N/A .2 N/A	AND EXIT WIDTH (TABLE 1004.1.2) (a) (b) (1004.1.2) (c) EXIT WIDTH (m) ² AREA ¹ AREA ¹ AREA PER OCCUPANT CALCULATED OCCUPANT (a ⁴ b) EGRESS WIDTH PER OCCUPANT (1005.1) REQUIRED WIDTH (SECTION 1005.1) (a ⁺ b) x c 3,618 100 GROSS 36 N/A .2 N/A 7.2" 889 7 NET 95 N/A .2 N/A 19.0" 918 300 GROSS 3 N/A .2 N/A 0.6"	AND EXIT WIDTH (TABLE 1004.1.2) (a) (b) (1004.1.2) (c) EXIT WIDTH (in) ^{2.3,4,5,6} AREA ¹ sq. ft. AREA PER OCCUPANT CALCULATED OCCUPANT EGRESS WIDTH PER OCCUPANT (1005.1) REQUIRED WIDTH (SECTION 1005.1) ACTU. STAIR 3,618 100 GROSS 36 N/A .2 N/A 7.2" N/A 918 300 GROSS 3 N/A .2 N/A 0.6" N/A

P. ACCESSIBLE DWELLING UNITS AND SLEEPING UNITS

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNI PROVIDED
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
CCESSIB	LE PARK	ING TION, ADDITIC	ON, CHANGE O	F USE		NOTE NEW	E: ACCESSIE
CCESSIB	LE PARK	ING tion, additic 06)	ON, CHANGE O	F USE		NOTE NEW PROV SEE	E: ACCESSIE /IDED TO (AS-101
CCESSIB	LE PARK New CONSTRUC PARKING (110 TOTAL # (ING tion, additio 06) of parking spa	ON, CHANGE O	PF USE # OF ACCE	SSIBLE SPACES PI	NOTE NEW PROV SEE J	ACCESSIE /IDED TO (AS-101
CCESSIB DECTS THAT ARE	LE PARK NEW CONSTRUCT PARKING (110 AREA TOTAL # 0 REQUIRE	ING TION, ADDITIC 06) 0F PARKING SPA	N, CHANGE O	# OF ACCE	SSIBLE SPACES PI	NOTE NEW PROV SEE ROVIDED S WITH	ACCESSIE /IDED TO (AS-101 TOTAL # ACCESSIBLE PROVIDED
CCESSIB JECTS THAT ARE ACCESSIBLE 1	LE PARK New construct PARKING (110 AREA TOTAL # 0 REQUIRE	ING TION, ADDITIC 06) OF PARKING SPA SD PROVID	N, CHANGE O	# OF ACCE AR WITH CESS SLE 132	SSIBLE SPACES PI VAN SPACE ' ACCESS AISLE	NOTE NEW PROV SEE J ROVIDED S WITH 8' ACCESS AISI	E: ACCESSIE /IDED TO (AS-101 TOTAL # ACCESSIBLE PROVIDED LE

R. STRUCTURAL DESIGN NOTE: PRIMARY FOR NEW CONSTRUCTION, ADDITIONS AND CHANGE OF USE Located on Structural Sheet Number _____N/A THIS PROJECT D **EXISTING BUILDII** DESIGN LOADS: Importance Factors: (ASCE/SEI 7-05-11.5) Wind N/A N/A Snow N/A Seismic N/A Live Loads: Roof: (1603.1.2, 1607.11, 1611) ____N/A Floor: (1603.1.1, 1607.10, T1607.10) N/A psf Live load reductions: (1603.1.1, 1607.9) Ground Snow Load: (1608.2) N/A Wind Load: Basic Wind Speed: (1609.3) (V ultimate) ____ mph (ASCI N/A Exposure Category (1609.4) Wind Base Shears (for MWFRS) (Engineer Cal's) $V_{x=}$ N/A (Ult. level) SEISMIC DESIGN CATEGORY: (1613.1, 1613.5.6) A B Provide the following Seismic Design Parameters: Occupancy Category: (Table 1604.5) 🗌 I Spectral Response Acceleration: (Engineer cal's) Ss <u>N/A</u>%g Site Classification (Table 1613.5.2) Field Test Presumptive Data Source: Bearing Wall Dual w Basic Structural System (Check one) Building Frame Dual w Ground Snow Load: Wind Load: Moment Frame Inverte $V_{X=}$ N/A $V_{Y=}$ Seismic base sheer: (Engineer Cal's) Simplified Equivalen Analysis Procedure: Architectural, Mechanical, Components anchored? Yes No Anch LATERAL DESIGN CONTROL: Earthquake Wind (Varies SOIL BEARING CAPACITIES: N/A Field Test (provided copy of test report as a reference document) N/A Presumptive Bearing Capacity Pile sizes, type, and capacity

SPECIAL INSPECTIONS REQUIRED:

	EGENDS R ALL PROJECTS	S. SPECIAL INSPECTIONS: SCHEDULE OF SPECIAL INSPECTIONS IN special inspections required for this project
	DLLOWING ARE PRESENT AND INDICATED BY A WALL LEGEND ON ALL PLANS 'alls 706 Fire Barriers 707 Fire Partitions 708 Smoke Barriers 709 Smoke Partitions 710 und Roof Assemblies 711 Vertical Openings 712 Shaft Enclosures 713 No rated walls are present	Special inspections required The following sheets comprise the required schedule of Special Inspections for this project. The construction divisions which require special inspections for this project are as follows: IT-1 Verifications of Soils IT-10 Inspection of Structural Steel Fabricators IT-2 Excavation and Fill IT-11 Structural Masonry
	AFETY SYSTEMS (EXISTING OR NEW SYSTEMS) R ALL PROJECTS ting: (1008) DNO Yes DNO Yes DNO Yes NFPA 72-07) NO Yes Systems: 907 NO Yes Partial	IT-3 Piling and Drilling PiersIT-12 MasonryIT-4 Modular Retaining WallsIT-13 High Strength Bolts & Steel Framing Insp.IT-5 Reinforced ConcreteIT-14 Sprayed Fire Resistance MaterialsIT-6 Post Tension SlabIT-15 Exterior Insulation and Finish SystemIT-7 Pre-cast Concrete ErectionIT-16 Seismic Resistance
	1010.1.10 Image: No Image: Yes ms generator : 2702.2 Image: No Image: Yes	IT-8 Pre-stressed Concrete IT-17 Smoke Control IT-9 Inspection of Pre-cast Fabricators IT-18 Detention Basin IT-19 Special Cases IT-19 Special Cases
	AFETY PLAN CHECK LIST FOR COMPLIANCE R ALL PROJECTS - CHECK ITEMS THAT ARE APPLICABLE TO YOUR PROJECT	questions regarding Special Inspections contact your local jurisdiction
	noke rated wall locations (Chapter 7) real property line locations opening area with respect to distance to assumed property lines (705.8) tures within 30' of the proposed building pes for each area as it relates to occupant load calculation (Table 1004.1.2) d for each area avel distances (1016) a of travel distances (1006.2.1, 1018.4 & 1029.8)	T. PLUMBING FIXTURES REQUIREMENTS NEW CONSTRUCTION, ADDITIONS, UPFITS, ALTERATIONS AND CHANGE OF USE OR IF INCREASING OCCUPANT LOAD TABLE 2902.1 Image: transform of the state of the sta
	ths (1020.4 & 1029.9.5) ths for each exit door culated occupant load capacity each exit door can accommodate based on egress width (1005.1) unt load for each exit door nematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purpose of occupancy separation bors with panic hardware (1008.1.10) pors with delayed egress locks and the amount of delay (1008.1.9.7)	TOTAL REQUIRED 1 2 0 1 1 - 1 1 TOTAL PROVIDED 2 3 3 3 - 1 1
	bors with electromagnetic egress locks (1008.1.9.8) bors equipped with hold-open devices nergency escape windows (1029) otage of each fire area (902) otage of each smoke compartment (407.4) e exceptions or table notes that may have been utilized regarding the items above	U. SPECIAL APPROVALS Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below) N/A
	EQUIREMENTS r all projects d arrangement of exits (table 1006.3.1)	V. ENERGY SUMMARY building envelope:
<form></form>	MINIMUM ² TRAVEL DISTANCE ARRANGEMENT MEANS OF EGRESS ^{1,3} (SECTION 1007.1.1) REOD TI006.3.1.1 (Single exit 1006.3.2(2) SHOWN ON PLANS DISTANCE (Table 1017.2) ACTUAL TRAVEL DISTANCE SHOWN ON PLANS ACTUAL DISTANCE BETWEEN EXIT DOORS ACTUAL DISTANCE SHOWN ON PLANS	ENERGY REQUIREMENTS: The following data shall be considered minimum and any special attribute required to meet the South Carolina Energy Conservation Code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs. annual energy cost for the proposed design. Climate Zone: 1 2 3 4 5 6
	JOR Z Z Z00 192-0 /1-3 125-0 Image: dends (Section 1020.4) Image: dends (Section 1020.4) Image: dends (Section 1020.4) Image: dends (Section 1020.4)	Method of Compliance: Prescriptive (IECC) Performance (IECC or Com Check) Report must be reproduced on drawings Prescriptive (ASHRAE 90.1-2010 with addenda 2013 supplement) Performance (ASHRAE 90.1-2010)
<form></form>	th Single Exits (Table 1006.3.2(2)), Spaces with one means of egress (Table 1006.2.1) h of Travel (Section 1006.2.1) OAD AND EXIT WIDTH (TABLE 1004.1.2) $ \frac{(a) (b) (1004.1.2) (c) EXIT WIDTH (m)^{2.34,5.6}}{(a,b)} $ $ \frac{(a) (b) (1004.1.2) (c) EXIT WIDTH (m)^{2.34,5.6}}{(sc) (1005.1) (sc) (m) (m) (m) (m) (m) (m) (m) (m) (m) (m$	THERMAL ENVELOPE: (IECC Chapter 4 and or 5) Roof/Ceiling Assembly (each assembly) Description of assembly: N/A U-Value of total assembly: N/A R-Value of insulation: N/A Skylights in each assembly N/A U-Value of skylight: N/A Total square footage of skylight in each assembly N/A Exterior Walls (each assembly: N/A U-Value of total assembly: N/A R-Value of insulation: N/A U-Value of insulation: N/A MA MA MA MA MA MA MA MA MA M
	4.1.2 to determine whether net or gross area is applicable. "Area, Gross" and "Area, Net" (Section 1002) rway width (Section 1009.1); min. corridor width (Section 1018.2); min. door width (Section 1008.1.1) th of exit passageway (Section 1023.2) 004.5 for converging exits. e means of egress shall not reduce the available capacity to less than 50 percent of the total required (Section 1005.1) upancies (Section 1028) occupancies or use groups shall be calculated independently. (Ex. Lobbies, lounges, break rooms, conference SIBLE DWELLING UNITS AND SLEEPING UNITS BLE DWELLING UNITS (1107)	Solar hear gain coefficient: N/A Projection Factor: N/A Door R-values: N/A Walls below grade (each assembly) Description of assembly: N/A U-Value of total assembly: N/A N/A Floors over unconditioned space (each assembly) Description of assembly: N/A N/A N/A N/A Floors slab on grade Description of assembly: N/A <
NILE FARKING Mail 1990.4125 (2003). NOTE: NEW MOCESSING PARKING SALES SALESSON WITCH ACCESSING AND ALL SMARKING PROJECT SALESSON WITCH ACCESSING AND ALL SMARKING PROMINGS TURAL DESIGN WITCH ALL SMARKING PROJECT DOES NOT ALTER THE BRIE TRANSFORMULE DEVENTIONES TOTE THIS PROJECT DOES NOT ALTER THE BRIE TRANSFORMULE DEVENTIONES TOTE ACCESSING ALL DEVENTIONS TOTE ACCESSING PROJECT DOES NOT ALTER THE BRIE TRANSFORMULE DEVENTIONS TOTE ACCESSING PROJECT DOES NOT ALTER THE BRIE TRANSFORMULE DEVENTIONS TOTE ACCESSING PROJECT DOES NOT ALTER THE BRIE TRANSFORMULE DEVENTIONS TOTE ACCESSING PROJECT DOES NOT ALTER THE BRIE TRANSFORMULE DEVENTIONS THE PROJECT DOES NOT ALTER THE BRIE TRANSFORMULE DEVENTIONS TOTE ACCESSING PROJECT DOES NOT ALTER THE BRIE TRANSFORMULE DEVENTIONS	NITS ACCESSIBLE ACCESSIBLE TYPE A TYPE A TYPE A TYPE B TYPE B TOTAL UNITS REQUIRED PROVIDED PROVIDED PROVIDED N/A N/A N/A N/A N/A N/A N/A N/A N/A N/A N/A N/A N/A	R-Value of insulation: N/A Horizontal/vertical requirement: N/A Slab heated: N/A NO CHANGE TO EXAMPLE AND ADDRESS
TURAL DESIGN WARCONSTRUCTION, ADDITAILS OF CLAMPICAL DRAWINGS VAREAUXED TORUS, ADDITAILS OF CLAMPICAL DRAWINGS VAREAUXED TORUS, ADDITAILS OF CLAMPICAL DRAWINGS VAREAUXED TORUS, ADDITAILS OF CLAMPICAL DRAWINGS Stock N/A Placet N/A Stock (1603.12, 1607.11, 1607.10) N/A N/A pd Stock (1603.12, 1607.11, 1607.0) N/A N/A pd Voct Loadi (1608.2) Stock (1609.3) N/A N/A pd North Comparison (ref WURS) (Engineer Calls) N/A North Comparison (ref WURS) (Engineer Calls) N/A North Comparison (ref WURS) (Engineer Calls) N/A N/A Stock category for Units (1613.1, 1613.5.0) I I I	NOTE: NEW ACCESSIBLE PARKING SPACES PROVIDED TO COVER EXISTING, SEE AS-101 BLE PARKING (1106) RKING AREA TOTAL # OF PARKING SPACES # OF ACCESSIBLE SPACES PROVIDED TOTAL # OF PARKING SPACES # OF ACCESSIBLE SPACES PROVIDED TOTAL # OF PARKING SPACES # OF ACCESSIBLE SPACES PROVIDED TOTAL # OF PARKING SPACES # OF ACCESSIBLE SPACES PROVIDED TOTAL # OF PARKING SPACES # OF ACCESS AISLE # OF ACCESS AISLE	MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT MECHANICAL SUMMARY (IECC 503) This information may be located on the mechanical sheet. The mechanical sheet must be in the same format as noted in this section. If it is on the mechanical sheets, please indicate here. (Located on Mechanical Sheet number SEE MECHANICAL DRAWINGS Thermal Zone SEE MECHANICAL DRAWINGS Winter dry bulb: SEE MECHANICAL DRAWINGS Summer dry bulb: SEE MECHANICAL DRAWINGS Interior design conditions SEE MECHANICAL DRAWINGS Winter dry bulb: SEE MECHANICAL DRAWINGS Summer dry bulb: SEE MECHANICAL DRAWINGS Relative humidity: SEE MECHANICAL DRAWINGS Building heating load: SEE MECHANICAL DRAWINGS
s: No.f. (1603.1.2, 1607.11, 1611) N/A psf Floor: (1603.1.1, 1607.10; N/A psf Live load reductions: (1603.1.1, 1607.10) N/A psf Live load reductions: (1603.1.1, 1607.10) N/A psf Live load reductions: (1603.1.1, 1607.10) N/A psf List equipment efficiencies: SEE MECHANICAL DRAWINGS Uill level N/A psf Wind Base Share (for MWFRS) (Engineer CaPs) Vx= Vx= N/A Vy= </td <td>TURAL DESIGN New CONSTRUCTION, ADDITIONS AND CHANGE OF USE Structural Sheet Number N/A .OADS: e Factors: (ASCE/SEI 7-05-11.5) Wind N/A Snow N/A Seismic N/A</td> <td>Building cooling load: SEE MECHANICAL DRAWINGS Mechanical Spacing Conditioning System Unitary Description of unit: SEE MECHANICAL DRAWINGS Heating efficiency: SEE MECHANICAL DRAWINGS Cooling efficiency: SEE MECHANICAL DRAWINGS Size category of unit: SEE MECHANICAL DRAWINGS Boiler See MECHANICAL DRAWINGS</td>	TURAL DESIGN New CONSTRUCTION, ADDITIONS AND CHANGE OF USE Structural Sheet Number N/A .OADS: e Factors: (ASCE/SEI 7-05-11.5) Wind N/A Snow N/A Seismic N/A	Building cooling load: SEE MECHANICAL DRAWINGS Mechanical Spacing Conditioning System Unitary Description of unit: SEE MECHANICAL DRAWINGS Heating efficiency: SEE MECHANICAL DRAWINGS Cooling efficiency: SEE MECHANICAL DRAWINGS Size category of unit: SEE MECHANICAL DRAWINGS Boiler See MECHANICAL DRAWINGS
Exposure Category (1609.4) N/A $Vy = N/A$	s: Roof: (1603.1.2, 1607.11, 1611) Floor: (1603.1.1, 1607.10, T1607.10) Live load reductions: (1603.1.1, 1607.9) ww Load: (1608.2) h: Basic Wind Speed: (1609.3) (V_ultimate) N/A psf N/A psf	Size category. If oversized, state reason: SEE MECHANICAL DRAWINGS Chiller Size category. If oversized, state reason: SEE MECHANICAL DRAWINGS List equipment efficiencies: SEE MECHANICAL DRAWINGS ELECTRICAL SYSTEM AND EQUIPMENT
Spectral Response Acceleration: (Engineer cal's) Ss N/A %g S1 N/A %g Lipting Schedule (each fixture type) Site Classification (Table 1613.5.2) A B C D E F Lamp type required in fixture SEE ELECTRICAL DRAWINGS Data Source: Field Test Presumptive Historical Data Number of lamps in fixture SEE ELECTRICAL DRAWINGS Basic Structural System (Check one) Bearing Wall Dual w/ Special Moment Frame Ballast type used in the fixture SEE ELECTRICAL DRAWINGS Ground Snow Load: Moment Frame Dual w/ Intermediate R/C or Special Steel Number of lamps in fixture SEE ELECTRICAL DRAWINGS Wind Load: Moment Frame Inverted Pendulum Total wattage per fixture SEE ELECTRICAL DRAWINGS Seismic base sheer: (Engineer Cal's) Vx= N/A Vy= N/A Vx= N/A Vy= N/A Vy= N/A	Exposure Category (1609.4) N/A Wind Base Shears (for MWFRS) (Engineer Cal's) $Vx = N/A$ $Vy = $ (Ult. level) DESIGN CATEGORY: (1613.1, 1613.5.6) $Vx = A$ B C D Design Parameters: A B C D Occurancy Category: (Table 1604.5) D D D D	ELECTRICAL SUMMARY (IECC 505) This information may be located on the electrical sheets. The Electrical sheet must be in the same format as noted in this section. If it is on the electrical sheets, please indicate here. (Located on Electrical Sheet number SEE SEE ELECTRICAL DRAWINGS
Analysis Procedure: Simplified Equivalent Lateral Force Dynamic Architectural, Mechanical, Components anchored? Yes No Anchorage of components as required per ASCE chapter 13 Total exterior wattage specified vs. allowed SEE ELECTRICAL DRAWINGS	Spectral Response Acceleration: (Engineer cal's) Ss N/A %g S1 N/A %g Site Classification (Table 1613.5.2) A B C D E F Data Source: F Field Test P resumptive H Historical Data Basic Structural System (Check one) B Bearing Wall D Dual w/ Special Moment Frame Ground Snow Load: B Moment Frame D Dual w/ Intermediate R/C or Special Steel Wind Load: M Moment Frame I Inverted Pendulum Seismic base sheer: (Engineer Cal's) $Vx = N/A$ $Vy = N/A$ Analysis Procedure: G Simplified E quivalent Lateral Force D Dynamic Architectural, Mechanical, Components anchored? Yes No Anchorage of components as required per ASCE chanter 13	Lighting Schedule (each fixture type) Lamp type required in fixture SEE ELECTRICAL DRAWINGS Number of lamps in fixture SEE ELECTRICAL DRAWINGS Ballast type used in the fixture SEE ELECTRICAL DRAWINGS Number of ballasts in fixture SEE ELECTRICAL DRAWINGS Total wattage per fixture SEE ELECTRICAL DRAWINGS Total interior wattage specified vs. allowed (whole building or space by space) SEE ELECTRICAL DRAWINGS Total exterior wattage specified vs. allowed SEE ELECTRICAL DRAWINGS Total exterior wattage specified vs. allowed SEE ELECTRICAL DRAWINGS Additional Prescriptive Compliance SEE ELECTRICAL DRAWINGS
Additional Prescriptive Compliance ADESIGN CONTROL: Barthquake Wind (Varies) 506.2.1 More Efficient Mechanical Equipment 506.2.2 Reduced Lighting Power Density (provided copy of test report as a reference document) N/A 506.2.4 Higher Efficiency Service Water Heating type, and capacity N/A 1506.2.5 On-Site Supply Renewable Energy INSPECTIONS REQUIRED:	DESIGN CONTROL:	Addutional Prescriptive Compliance 506.2.1 More Efficient Mechanical Equipment 506.2.2 Reduced Lighting Power Density 506.2.3 Energy Recovery Ventilation Systems 506.2.4 Higher Efficiency Service Water Heating 506.2.5 On-Site Supply Renewable Energy 506.2.6 Automatic Daylighting Control Systems







	BUSINESS (B)		3,618 55	100 GR055	36			53353B553	-777777777782
	COURT OFFICIALS AND JURY		889 SF	NOTE 2	95				
	SERVICE / EQUIPMENT ROOM		918 SF	300 GROSS	3				
	CIRCULATION/ UNOCCUPIED		N/A	N/A	NOTE 1				
				TOTAL	134				-2222422231223
	NOTES: 1. CORRIDORS, RES UNOCCUPIED. WH HAVE VACATED A OCCUPANT LOAD 2. PER IBC SECTION SEATING ARE CAL	TROOMS A IEN OCCUI NOTHER O DOES NOT 1004.4 OC .CULATED	ND OTHER SIM PIED, THE OCC CCUPIED SPAC CHANGE CUPANT LOAE BY THE NUMB	MILAR SPACES ARE CUPANTS ARE TRAN CE THEREFORE, TH OS FOR AREAS WITH ER OF PROVIDED FI	CONSIDERED ISIENT AND E BUILDING I FIXED IXED SEATS			D2 O(1/16"	CCUPAN = 1'-0"
	<u> </u>								
			<u> </u>						<u> </u>
COURT RC				OFFICE			OFFICE	MEN'S RESTROOMS	
				EGRESS TRA		192'-0"			
		DFFICE			OFFICE		NAL		

USE GROUP OR SPACE DESCRIPTION	AREA¹ sq. ft.	AREA PER OCCUPANT (TABLE 1004.1.2)	CALCULATED OCCUPANT LOAD (a/b)
BUSINESS (B)	3,618 SF	100 GROSS	36
COURT OFFICIALS AND JURY	889 SF	NOTE 2	95
SERVICE / EQUIPMENT ROOM	918 SF	300 GROSS	3
CIRCULATION/ UNOCCUPIED	N/A	N/A	NOTE 1
		τοται	13/

OCCUPANT LOAD SUMMARY 2015 IBC SECTION 1004, TABLE 1004.1.2

A2 LIFE SAFETY FLOOR PLAN 3/16" = 1'-0"

GENERAL NOTES:

A. ALL EXISTING CONDITIONS AND DIMENSIONS ARE TO BE FIELD VERIFIED B. UNLESS NOTED OTHERWISE ALL DIMENSIONS ARE "CLEAR" - AT FACE OF FINISHED SURFACE

(A3) ASSEMBLY (B) BUSINESS

8,629 SQUARE FEET

20' (ACTUAL 0'-0")

2 (ACTUAL = 2) 44"(ACTUAL =8'-9")

200'-0" (ACTUAL = 192"-0")

134 PEOPLE

COURT ROOMS AND COUNTY OFFICES

142'-6" (1/2 OF DIAGONAL=71'-3"). ACTUAL DISTANCE BETWEEN EXIT DOORS= 125'-0"

2015 IBC EGRESS SUMMARY:

OCCUPANCY: BUILDING IS NOT FIRE SPRINKLERED USE OF PROJECT AREA: GROSS BUILDING AREA: OCCUPANT LOAD: MAXIMUM TRAVEL DISTANCE : BUILDING DIAGONAL:

MAXIMUM DEAD END CORRIDOR: MINIMUM NUMBER OF EXITS: MINIMUM CORRIDOR WIDTH:

SHEET KEY NOTES: $\langle x \rangle$

- RELOCATE AND CONNECTED EMERGENCY LIGHT FIXTURE FROM 1 DEMOLITION
- 2. NEW EXTERIOR WALL MOUNTED LIGHTING FIXTURE WITH
- EMERGENCY BATTERY. SEE ELECTRICAL DRAWINGS EXISTING DOUBLE DOOR 66" CLEAR OPENING WITH PANIC HARDWARE 4. 3'-0" x 7'-0" HOLLOW METAL DOOR FOR TEMPORARY EMERGENCY
- EGRESS ONLY (NO ENTRANCE). PROVIDE WITH 1 1/2 PAIR BUTT HINGES, OVERHEAD CLOSER, PANIC DEVICE, SILENCERS, WEATHER STRIPPING AND ALUMINUM THRESHOLD. DO NOT PROVIDE EXTERIOR PULL OR LEVER
- 5. 20 MIN EXISTING DOORS IN HOLLOW METAL TO REMAIN (ALL DOORS AT CORRIDOR)

THE PORTION OF THE EXISTING BUILDING NOT DEMOLISHED (SHOWN ON THIS SHEET) WILL REMAIN OCCUPIED ONLY UNTIL A NEW THREE-STORY BUILDING IS CONSTRUCTED AND OCCUPIED. IT WILL THEN BE DEMOLISHED. ANTICIPATED DATE FOR OCCUPANCY OF THE NEW **BUILDING IS DECEMBER 2019**

LEGEND:

← →	EXIT ACCESS TRAVEL DISTANCE
I	COMMON PATH OF EGRESS TRAVEL
	BUILDING DIAGONAL
,	EXISTING 1-HOUR FIRE RATED CMU WALL AT CORRIDORS
	 EXIT DISCHARGE FROM SPACE SINGLE DOOR WITH A MINIMUM 34" CLEAR OPENING CEILING OR WALL MOUNTED ILLUMINATED EXIT SIGN PANIC HARDWARE ON ALL DOORS
	EXISTING RELOCATED INTERIOR EMERGENCY EGRESS LIGHT AND EXIT SIGN WITH 90 MIN. EMERGENCY BATTERY BACKUP.
	NEW EXTERIOR EMERGENCY FIXTURE WITH EMERGENCY BALLAST OR DRIVER. PROVIDE 1100 LUMEN INVERTER RATED FOR 980 MINUTE OPERATION SEE ELECTRICAL DRAWINGS
EXIST	EXISTING EXIT SIGN TO REMAIN
	EXISTING CEILING MOUNTED EMERGENCY FIXTURE

EXISTING BUILDING IS NOT FIRE SPRINKLERED





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2033 Heritage Park Dr, Oklahoma City, OK 73120 1.800.822.1650
Polarized Light Microscopy Asbestos Analysis Report

QuanTEM Lab N Account Number Date Received:	No. 281518 :: B695 08/31/20	017		Client:	SACS, Inc. 8 Buckingham Plantatior Bluffton, SC 29910	ı Dri	ve
Received By:	Karen B	raley	Design	II Duilding			
Analyzed:	Cortor C)17 28	Project.	Poonfort SC			
Methodology:	EPA/60	0/R-93/116	Project Number:	BS17-80			
QuanTEM Sample ID	Client Sample ID	Composition	Color / Description	Asbestos (%)	Non-Asbestos Fiber (%)		Non Fibrous
001	ACT-1	Homogeneous	White	Asbestos Not Prese	nt Cellulose	50	Perlite
			Ceiling Tile		Glass Fiber	20	Paint
002	ACT-2	Homogeneous	White	Asbestos Not Prese	nt Cellulose	50	Perlite
			Ceiling Tile		Glass Fiber	20	Paint
003	ACT-3	Homogeneous	White	Asbestos Not Prese	nt Cellulose	50	Perlite
			Ceiling Tile		Glass Fiber	20	Paint
004	ACT-4	Homogeneous	White	Asbestos Not Prese	nt Cellulose	50	Perlite
			Ceiling Tile		Glass Fiber	20	Paint
005	ACT-5	Homogeneous	White	Asbestos Not Prese	nt Cellulose	50	Perlite
			Ceiling Tile		Glass Fiber	20	Fam
006	ACT-6	Homogeneous	White	Asbestos Not Prese	nt Cellulose	50	Perlite
			Ceiling Tile		Glass Fiber	20	raillt
007	ACT-7	Homogeneous	White	Asbestos Not Prese	nt Cellulose	50	Perlite
			Ceiling Tile		Glass Fiber	20	raint



QuanTEM Lab Account Numbe Date Received: Received By:	M Lab No. 284518 Client: SACS, Inc 1: Number: B695 8 Bucking ceived: 08/31/2017 Bluffion, 5 d Draw Kamp Belay		SACS, Inc. 8 Buckingham Plantation Dr Bluffton, SC 29910	ive		
Date Analyzed: Analyzed By: Methodology:	09/06/2 Carter C EPA/60	017 Cox 0/R-93/116	Projec Project Location Project Numbe	t: Horne Building n: Beaufort, SC r: BS17-80		
QuanTEM Sample ID	Client Sample ID	Composition	Color / Description	Asbestos (%)	Non-Asbestos Fiber (%)	Non Fibrous
008	WB-1	Homogeneous	White Sheetrock	Asbestos Not Prese	nt Cellulose 30	Gypsum
009	WB-2	Homogeneous	White Sheetrock	Asbestos Not Prese	nt Cellulose 30	Gypsum
010	WB-3	Layered	White Joint Compound	Asbestos Not Prese	nt NA	CaCO3 Paint
010a		Layered	White Sheetrock	Asbestos Not Prese	nt Cellulose 30	Gypsum
011	WB-4	Homogeneous	White Sheetrock	Asbestos Not Prese	nt Cellulose 15	Gypsum
012	WB-5	Layered	White Joint Compound	Asbestos Not Prese	nt NA	CaCO3 Paint

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Page 1 of 8

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Polarized Light Microscopy Asbestos Analysis Report									
QuanTEM Lab Account Numbe Date Received:	No. 284518 er: B695 08/31/20	117		Client:	SACS, Inc. 8 Buckingham Plantation Bluffton, SC 29910	ı Dri	ve		
Received By: Dete Apolyzod:	Karen Bi	raley	Project	· Hama Duilding					
Analyzed By:	Carter C	ox	Project Location	: Beaufort. SC					
Methodology:	EPA/600)/R-93/116	Project Number	: BS17-80					
QuanTEM Sample ID	Client Sample ID	Composition	Color / Description	Asbestos (%)	Non-Asbestos Fiber (%)		Non Fibrous		
012a		Layered	White Sheetrock	Asbestos Not Prese	ent Cellulose	15	Gypsum		
013	WB-6	Homogeneous	White Sheetrock	Asbestos Not Prese	ent Cellulose	15	Gypsum		
014	WB-7	Homogeneous	White Sheetrock	Asbestos Not Prese	ent Cellulose	15	Gypsum		
015	JC-1	Homogeneous	White Joint Compound	Asbestos Not Prese	ent NA		CaCO3 Paint		
016	JC-2	Homogeneous	White Joint Compound	Asbestos Not Prese	ent NA		CaCO3 Paint		
017	JC-3	Homogeneous	White Joint Compound	Asbestos Not Prese	ent NA		CaCO3 Paint		
018	JC-4	Homogeneous	White Joint Compound	Asbestos Not Prese	ent NA		CaCO3 Paint		

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		Polarized Li	ght Microscopy As	bestos Analysis Repo	ort	
QuanTEM La Account Num	b No. 284518 ber: B695	_		Client: SAC: 8 Bux Bluff	S, Inc. ekingham Plantation I ton, SC 29910	Drive
Date Received Received By: Date Analyzed Analyzed By: Methodology:	d: 08/31/201 Karen Br d: 09/06/201 Carter Co EPA/600/	17 aley 17 x R-93/116	Proj Project Locati Project Numl	ect: Horne Building on: Beaufort, SC ber: BS17-80		
QuanTEM Sample ID	Client Sample ID	Composition	Color / Description	Asbestos (%)	Non-Asbestos Fiber (%)	Non Fibrous
023a		Layered	Yellow Mastic	Asbestos Not Present	NA	Glue
024	BC+Mastic 3	Layered	Blue Cove Base	Asbestos Not Present	NA	Vinyl CaCO3
024a		Layered	Yellow Mastic	Asbestos Not Present	NA	Glue
025	BC+Mastic 4	Layered	Blue Cove Base	Asbestos Not Present	NA	Vinyl CaCO3
025a		Layered	Yellow Mastic	Asbestos Not Present	NA	Glue
02 <i>5</i> b		Layered	Brown Mastic	Asbestos Not Present	NA	Glue
026	BC+Mastic 5	Layered	Blue Cove Base	Asbestos Not Present	NA	Vinyl CaCO3
		Unless otherwise noted.	upon receipt the condition o	f the sample was acceptable for a	nalvsis.	

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Account Nu	mber: B695	7			Bluffton, SC 29910	лис
Paceived B	" Koran Bra	/ 				
lete Apoluz	ad 00/06/2012	7 7	Project	Hama Duilding		
noluzod Da	Contor Cox		Project.	Poonfort SC		
Methodolog	v. EPA/600/F	2-93/116	Project Number	BS17-80		
retilotolog	y. Errbooor	C 95/110	i roject i uniber.	BBI/ 60		
QuanTEM Sample ID	Client Sample ID	Composition	Color / Description	Asbestos (%)	Non-Asbestos Fiber (%)	Non Fibrou
029	Tape/Jacket/Ins 1	Layered	White Wrap	Asbestos Not Preser	nt Cellulose 2 Glass Fiber 1	30 Foil 10 Binder
029a		Layered	Yellow Mastic	Asbestos Not Preser	ıt NA	Glue
029b		Layered	Tan Wrap	Asbestos Not Preser	it Synthetic 10	20
029c		Layered	Yellow Insulation	Asbestos Not Preser	it Glass Fiber 10	00
030	Tape/Jacket/Ins 2	Layered	White Wrap	Asbestos Not Preser	t Cellulose 3 Glass Fiber 1	30 Foil 10 Binder
030a		Layered	Yellow Mastic	Asbestos Not Preser	it NA	Glue
030b		Layered	Tan Wrap	Asbestos Not Preser	it Synthetic 10	00
	т	Inless otherwise noted	upon receipt the condition of the	eemnle wee secontable	a for analyzic	

NTEM LABORATORIES 2033 Heritage Park Dr, Oklahoma City, OK 73120 | 1.800.822.1650

		Polarized Ligh	it Microscopy A	sbestos Analysis Repo	rt	
QuanTEM Lab N Account Number	Io. 284518 : B695			Client: SACS. 8 Bucl	, Inc. kingham Plantation Dr	tive
Date Received: Received By: Date Analyzed: Analyzed By: Methodology:	08/31/201 Karen Bra 09/06/201 Carter Cox EPA/600/F	7 ley 7 1. 2. -93/116	Proj Project Locat Project Num	ject: Horne Building tion: Beaufort, SC ber: B\$17-80	n, se 29910	
QuanTEM Sample ID	Client Sample ID	Composition	Color / Description	Asbestos (%)	Non-Asbestos Fiber (%)	Non Fibrous
030c		Layered	Yellow Insulation	Asbestos Not Present	Glass Fiber 100	
031 Taj	pe/Jacket/Ins 3	Layered	White Wrap	Asbestos Not Present	Cellulose 30 Glass Fiber 10	Foil Binder
031a		Layered	Yellow Mastic	Asbestos Not Present	NA	Glue
031b		Layered	Tan Wrap	Asbestos Not Present	Synthetic 100	
031c		Layered	Yellow Insulation	Asbestos Not Present	Glass Fiber 100	
	Canto Con	arter W. Cox. Analyst	-	9/6/2017		

A2 ASBESTOS ANALYSIS REPORT NOT TO SCALE

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Polarized Light Microscopy Asbestos Analysis Report							
QuanTEM Lab Account Numb Date Received	o No. 2 oer: E : 0	84518 8695 8/31/201	17		Client:	SACS, Inc. 8 Buckingham Plantation D Bluffton, SC 29910	Drive
Received By: Date Analyzed Analyzed By: Methodology:	к 0 Е	Karen Br. 19/06/201 Carter C c 2PA/600/	aley 17 xx /R-93/116	Project: Project Location: Project Number:	Horne Building Beaufort, SC BS17-80		
QuanTEM Sample ID	Clie Samp	ent le ID	Composition	Color / Description	Asbestos (%)	Non-Asbestos Fiber (%)	Non Fibrous
019	JC	-5	Homogeneous	White Joint Compound	Asbestos Not Prese	ent NA	CaCO3 Paint
020	JC	-6	Homogeneous	White Joint Compound	Asbestos Not Prese	ent NA	CaCO3 Paint
021	JC.	-7	Homogeneous	White Joint Compound	Asbestos Not Prese	ent NA	CaCO3 Paint
022	BC+M	astic 1	Layered	Blue Cove Base	Asbestos Not Prese	ent NA	Vinyl CaCO3
022a			Layered	Yellow Mastic	Asbestos Not Prese	ent NA	Glue
023	BC+M	astic 2	Layered	Blue Cove Base	Asbestos Not Prese	ent NA	Vinyl CaCO3

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Unless otherwise noted, upon receipt the condition of the sample was acceptable for analysis.



QuanTEM Lab Account Numb	No. 284518 er: B695			Client:	SACS, Inc. 8 Buckingham Plantation D	rive	
Date Received:	08/31/20	17			Bluffton, SC 29910		
Received By:	Karen Br	aley					
Date Analyzed:	09/06/20	17	Project:	Horne Building			
Analyzed By:	Carter Co)X	Project Location:	Beaufort, SC			
Methodology:	EPA/600	/R-93/116	Project Number:	BS17-80			
QuanTEM Sample ID	Client Sample ID	Composition	Color / Description	Asbestos (%)	Non-Asbestos Fiber (%)	Non Fibrous	
026a		Lavered	Yellow	Asbestos Not Prese	nt NA	Glue	
			Mastic				
027	BC+Mastic 6	Layered	Blue	Asbestos Not Prese	nt NA	Vinyl	
			Cove Base			CaCO3	
027a		Layered	Yellow	Asbestos Not Prese	nt NA	Glue	
			Mastic				
028	BC+Mastic 7	Layered	Blue	Asbestos Not Prese	nt NA	Vinyl	
			Cove Base			CaCO3	
028a		Layered	Yellow	Asbestos Not Prese	nt NA	Glue	
			Mastic				
028b		Layered	Brown	Asbestos Not Prese	nt NA	Glue	

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Mastic

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BEAUFORT COUNTY A. HORNE BUILDING PARTIAL DEMOLITION

104 RIBAUT ROAD

BEAUFORT, SC 29902



EAUFOR Fire Static O **N** 5 \frown

ITH CAD







SITE DEMOLITION & SEC PLAN

EC-101





ARCHITECTURAL SITE PLAN

S	HEET	INFORM	IATION
DATE		NOVEMBER	01, 2018
JOB NUMBER			17013.02
DRAWN			DCS
CHECKED			DCS
APPROVED			DCS

RE	/ISIONS / SUBMISSIONS	DATE
S1	RELEASED FOR BID AND PERMIT REVIEW	11-01-2018

FOR CONSTRUCTION

104 RIBAUT ROAD

BEAUFORT, SC 29902

BEAUFORT COUNTY A. HORNE BUILDING PARTIAL DEMOLITION









GENERAL NOTES:

- A. ALL BUILDING ELEMENTS AND SYSTEMS NORTH OF THE BUILDING EXPANSION JOINT ARE TO BE REMOVED IN THEIR ENTIRETY
- B. EXCEPT AS OTHERWISE NOTED, FOOTINGS AND FOUNDATIONS IN THE DEMOLITION AREA ARE TO BE REMOVED IN THEIR ENTIRETY
- GC TO VERIFY ALL EXISTING CONDITIONS ONCE DEMOLITION IS COMPLETED AND NOTIFY ARCHITECT OF ANY CHANGES OTHER THAN WHAT IS SHOWN IN THE CONSTRUCTION DOCUMENTS

SHEET KEY NOTES: 🖄

- 1. EXISTING ELECTRICAL POLE WITH OVERHEAD LINES
- 2. EXISTING BUILDING EXPANSION JOINT
- 3. EXISTING EXPANSION JOINT COVER IN FLOOR
- 4. 3'-0" x 7'-0" HOLLOW METAL DOOR FOR TEMPORARY EMERGENCY EGRESS ONLY (NO ENTRANCE). PROVIDE WITH 1 1/2 PAIR BUTT HINGES, OVERHEAD CLOSER, PANIC DEVICE, SILENCERS, WEATHER STRIPPING AND ALUMINUM THRESHOLD. DO NOT PROVIDE EXTERIOR PULL OR LEVER - DOOR IS INTENDED FOR EMERGENCY EGRESS ONLY 5. STUCCO FINISH ON EXISTING CMU
- 6. STUCCO FINISH ON NEW INFILL WALL. SEE WALL SECTION A6/A-302
- 6'-0" HIGH CHAINLINK FENCE TO BE LEFT-IN-PLACE AFTER COMPLETION OF PROJECT. SEE C6/A-201 FOR DETAILS
- 8. REMOVE EXISTING DOORS AND PAINT FRAME TO MATCH EXISTING 9. EXISTING 8" REINFORCED CMU
- 10. EXISTING 2X4 SUSPENDED ACOUSTICAL TILE CEILING
- 11. EXISTING REINFORCED CONCRETE BEAM
- 12. SEALANT JOINT AT NEW INFILL PANEL 13. NEW ALUMINUM COPING
- 14. EXISTING LIGHT WEIGHT CONCRETE WITH GYPSUM BOARD FORM
- ROOF DECK 15. EXISTING BULB TEE SPACED AT 32" OC
- 16. EXISTING BAR JOIST
- 17. NEW WALL MOUNTED EMERGENCY EGRESS LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION 18. EXISTING FOOTING TO BE LEFT IN PLACE FOR DEMOLITION IN
- FUTURE PHASE
- 19. EXISTING CONCRETE SIDEWALK
- 20. EXISTING CONCRETE CURB AND GUTTER 21. EXISTING PLANTING BED
- 22. NEW ASPHALT SEAL COAT TO COVER EXISTING PARKING
- STRIPING / MARKINGS 23. NEW 4" CONCRETE SIDEWALK OVER COMPACTED GRAVEL BASE
- 24. NEW POST MOUNTED SIGN AT EACH PARKING SPACE. SEE DETAIL C2/A-301 FOR TYPES
- 25. 20'-0" RADIAL SETBACK FROM CLOSEST EXISTING 115 Kv POWER LINES. <u>NOTHING</u> IS PERMITTED WITHIN THIS SETBACK. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THIS SETBACH WITH SCE&G PRIOR TO BEGINNING WORK
- 26. EXISTING CONCRETE FOOTING ALONG EXISTING BUILDING EXPANSION JOINT TO BE LEFT IN PLACE. ALL OTHER FOOTING ARE TO BE REMOVED IN THEIR ENTIRETY
- 27. INFILL AT EXISTING OPENING TO BE SIMILAR TO WALL SECTION A6/A-302 28. ALL LOW VOLTAGE AND TELECOM SYSTEMS TO BE
- RE-CONFIGURED BY OWNER BEFORE CONTRACTOR BEGINS WORK ON PROJECT
- 29. SEE AS-101 AND A-301 FOR NEW ACCESSIBLE PARKING SPACES AND ACCESSIBLE ROUTES

LEGEND:



AREA OF EXISTING BUILDING TO BE REMOVED IN ITS ENTIRETY. SEE CIVIL DRAWING EC-101 FOR DEMOLITION OF SITE ELEMENTS

- EXISTING BUILDING EXPANSION JOINT
 - EXISTING LOAD BEARING CMU WALL



SEE AS-101 FOR LOCATION OF EXISTING 115Kv POWER LINES ALONG RIBAUT ROAD. ALL EQUIPMENT, MATERIALS, TOOLS, AND PERSONNEL ARE TO BE KEPT A MINIMUM OF 20-0" AWAY (RADIALLY) FROM EACH EXISTING LINE. IT IS THE CONTRACTOR'S **RESPONSIBILITY TO CONFIRM ALL SETBACKS WITH SCE&G PRIOR TO STARTING ANY WORK. IT IS ALSO** THE CONTRACTOR'S **RESPONSIBILITY TO COMPLY** WITH ALL APPLICABLE OSHA REQUIREMENTS





GENERAL NOTES:

- A. ALL BUILDING ELEMENTS AND SYSTEMS NORTH OF THE BUILDING EXPANSION JOINT ARE TO BE REMOVED IN THEIR ENTIRETY
- EXCEPT AS OTHERWISE NOTED, FOOTINGS AND FOUNDATIONS IN
- THE DEMOLITION AREA ARE TO BE REMOVED IN THEIR ENTIRETY
 C. GC TO VERIFY ALL EXISTING CONDITIONS ONCE DEMOLITION IS COMPLETED AND NOTIFY ARCHITECT OF ANY CHANGES OTHER THAN WHAT IS SHOWN IN THE CONSTRUCTION DOCUMENTS

SHEET KEY NOTES: $\langle x \rangle$

- 1. EXISTING ELECTRICAL POLE WITH OVERHEAD LINES
- 2. EXISTING BUILDING EXPANSION JOINT
- 3. EXISTING EXPANSION JOINT COVER IN FLOOR
- 4. 3'-0" x 7'-0" HOLLOW METAL DOOR FOR TEMPORARY EMERGENCY EGRESS ONLY (NO ENTRANCE). PROVIDE WITH 1 1/2 PAIR BUTT HINGES, OVERHEAD CLOSER, PANIC DEVICE, SILENCERS, WEATHER STRIPPING AND ALUMINUM THRESHOLD. DO NOT PROVIDE EXTERIOR PULL OR LEVER - DOOR IS INTENDED FOR EMERGENCY EGRESS ONLY
- STUCCO FINISH ON EXISTING CMU
 STUCCO FINISH ON NEW INFILL WALL. SEE WALL SECTION A6/A-302
- 6'-0" HIGH CHAINLINK FENCE TO BE LEFT-IN-PLACE AFTER COMPLETION OF PROJECT. SEE C6/A-201 FOR DETAILS
- REMOVE EXISTING DOORS AND PAINT FRAME TO MATCH EXISTING
 EXISTING 8" REINFORCED CMU
- 10. EXISTING 2X4 SUSPENDED ACOUSTICAL TILE CEILING
- 11. EXISTING REINFORCED CONCRETE BEAM
- 12. SEALANT JOINT AT NEW INFILL PANEL
- NEW ALUMINUM COPING
 EXISTING LIGHT WEIGHT CONCRETE WITH GYPSUM BOARD FORM
- ROOF DECK15. EXISTING BULB TEE SPACED AT 32" OC
- 16. EXISTING BAR JOIST
- NEW WALL MOUNTED EMERGENCY EGRESS LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
 EXISTING FOOTING TO BE LEFT IN PLACE FOR DEMOLITION IN
- FUTURE PHASE
- 19. EXISTING CONCRETE SIDEWALK
- 20. EXISTING CONCRETE CURB AND GUTTER
- 21. EXISTING PLANTING BED
 22. NEW ASPHALT SEAL COAT TO COVER EXISTING PARKING
- STRIPING / MARKINGS23. NEW 4" CONCRETE SIDEWALK OVER COMPACTED GRAVEL BASE
- 24. NEW POST MOUNTED SIGN AT EACH PARKING SPACE. SEE DETAIL C2/A-301 FOR TYPES
- 25. 20'-0" RADIAL SETBACK FROM CLOSEST EXISTING 115 Kv POWER LINES. <u>NOTHING</u> IS PERMITTED WITHIN THIS SETBACK. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THIS SETBACK WITH SCE&G PRIOR TO BEGINNING WORK
- 26. EXISTING CONCRETE FOOTING ALONG EXISTING BUILDING EXPANSION JOINT TO BE LEFT IN PLACE. ALL OTHER FOOTING ARE TO BE REMOVED IN THEIR ENTIRETY
- 27. INFILL AT EXISTING OPENING TO BE SIMILAR TO WALL SECTION A6/A-302
- 28. ALL LOW VOLTAGE AND TELECOM SYSTEMS TO BE RE-CONFIGURED BY OWNER BEFORE CONTRACTOR BEGINS WORK ON PROJECT
- 29. SEE AS-101 AND A-301 FOR NEW ACCESSIBLE PARKING SPACES AND ACCESSIBLE ROUTES
- 30. NEW PREFABRICATED/PREFINISHED ALUMINUM COPING TO MATCH EXISTING
- 31. 5/8" PLYWOOD SHEATHING
- 32. NEW PARAPET ROOFING MEMBRANE TO OVERLAP EXISTING ROOF
- MEMBRANE 33. WOOD FRAMED PARAPET TO MATCH EXISTING, VERIFY EXISTING
- CONDITIONS 34. 5/8" EXTERIOR GRADE PLYWOOD SHEATHING WITH 1/8" GAP
- BETWEEN SHEETS AT ALL HORIZONTAL AND VERTICAL JOINTS
- 35. SELF FURRING METAL LATH36. THREE-COAT STUCCO
- 1- 1/4" SCRATCH COAT W/ METAL LATH EMBEDDED
- 2- 1/2" BASE COAT 3- FINISH COAT TO MATCH EXISTING WALL COLOR
- 37. 16 GAUGE ALUMINUM DRIP EDGE
- 38. HOLLOW METAL DOOR FRAME
- 39. CONTROL JOINT WITH SILICON SEALANT
- 40. 5/8" GYPSUM WALL BOARD WITH A LEVEL 4 FINISH41. 6" 18 GAUGE METAL STUDS @ 16" O.C. W/ R-21 BATT INSULATION
- 42. CONTINUOUS BEAD OF SILICON SEALANT
- 43. 2 LAYERS OF 30lb FELT MIN. LAP OVER DRIP EDGE
- 44. ALUMINUM DRIP EDGE SCREED

WALL A MIN. OF 6" ABOVE GRADE

- 45. SEALANT W/ BACKER ROD
- 46. COMPRESSIBLE FILLER47. LIQUID APPLIED WATERPROOFING MEMBRANE TO EXTEND UP

LEGEND:

AREA OF EXISTING BUILDING TO BE REMOVED IN ITS ENTIRETY

EXISTING BUILDING EXPANSION JOINT

NEW STUCCO FINISH ON NORTH WALL (ONLY)





GENERAL NOTES: A. ALL BUILDING ELEMENTS AND SYSTEMS NORTH OF THE BUILDING EXPANSION JOINT ARE TO BE REMOVED IN THEIR ENTIRETY B. EXCEPT AS OTHERWISE NOTED, FOOTINGS AND FOUNDATIONS IN THE DEMOLITION AREA ARE TO BE REMOVED IN THEIR ENTIRETY C. GC TO VERIFY ALL EXISTING CONDITIONS ONCE DEMOLITION IS COMPLETED AND NOTIFY ARCHITECT OF ANY CHANGES OTHER THAN WHAT IS SHOWN IN THE CONSTRUCTION DOCUMENTS SHEET KEY NOTES: 🖄 1. EXISTING ELECTRICAL POLE WITH OVERHEAD LINES 2. EXISTING BUILDING EXPANSION JOINT 3. EXISTING EXPANSION JOINT COVER IN FLOOR 4. 3'-0" x 7'-0" HOLLOW METAL DOOR FOR TEMPORARY EMERGENCY EGRESS ONLY (NO ENTRANCE). PROVIDE WITH 1 1/2 PAIR BUTT HINGES, OVERHEAD CLOSER, PANIC DEVICE, SILENCERS, WEATHER STRIPPING AND ALUMINUM THRESHOLD. DO NOT PROVIDE EXTERIOR PULL OR LEVER - DOOR IS INTENDED FOR EMERGENCY EGRESS ONLY 5. STUCCO FINISH ON EXISTING CMU 6. STUCCO FINISH ON NEW INFILL WALL. SEE WALL SECTION A6/A-302 6'-0" HIGH CHAINLINK FENCE TO BE LEFT-IN-PLACE AFTER COMPLETION OF PROJECT. SEE C6/A-201 FOR DETAILS 8. REMOVE EXISTING DOORS AND PAINT FRAME TO MATCH EXISTING 9. EXISTING 8" REINFORCED CMU 10. EXISTING 2X4 SUSPENDED ACOUSTICAL TILE CEILING 11. EXISTING REINFORCED CONCRETE BEAM 12. SEALANT JOINT AT NEW INFILL PANEL 13. NEW ALUMINUM COPING 14. EXISTING LIGHT - WEIGHT CONCRETE WITH GYPSUM BOARD FORM ROOF DECK 15. EXISTING BULB TEE SPACED AT 32" OC 16. EXISTING BAR JOIST 17. NEW WALL MOUNTED EMERGENCY EGRESS LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION 18. EXISTING FOOTING TO BE LEFT IN PLACE FOR DEMOLITION IN FUTURE PHASE 19. EXISTING CONCRETE SIDEWALK 20. EXISTING CONCRETE CURB AND GUTTER 21. EXISTING PLANTING BED 22. NEW ASPHALT SEAL COAT TO COVER EXISTING PARKING STRIPING / MARKINGS 23. NEW 4" CONCRETE SIDEWALK OVER COMPACTED GRAVEL BASE 24. NEW POST MOUNTED SIGN AT EACH PARKING SPACE. SEE DETAIL C2/A-301 FOR TYPES 25. 20'-0" RADIAL SETBACK FROM CLOSEST EXISTING 115 Kv POWER LINES. <u>NOTHING</u> IS PERMITTED WITHIN THIS SETBACK. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THIS SETBACK WITH SCE&G PRIOR TO BEGINNING WORK 26. EXISTING CONCRETE FOOTING ALONG EXISTING BUILDING EXPANSION JOINT TO BE LEFT IN PLACE. ALL OTHER FOOTING ARE TO BE REMOVED IN THEIR ENTIRETY 27. INFILL AT EXISTING OPENING TO BE SIMILAR TO WALL SECTION A6/A-302 28. ALL LOW VOLTAGE AND TELECOM SYSTEMS TO BE RE-CONFIGURED BY OWNER BEFORE CONTRACTOR BEGINS WORK ON PROJECT 29. SEE AS-101 AND A-301 FOR NEW ACCESSIBLE PARKING SPACES AND ACCESSIBLE ROUTES 30. NEW PREFABRICATED/PREFINISHED ALUMINUM COPING TO MATCH EXISTING 31. 5/8" PLYWOOD SHEATHING 32. NEW PARAPET ROOFING MEMBRANE TO OVERLAP EXISTING ROOF MEMBRANE 33. WOOD FRAMED PARAPET TO MATCH EXISTING, VERIFY EXISTING CONDITIONS 34. 5/8" EXTERIOR GRADE PLYWOOD SHEATHING WITH 1/8" GAP BETWEEN SHEETS AT ALL HORIZONTAL AND VERTICAL JOINTS 35. SELF FURRING METAL LATH 36. THREE-COAT STUCCO 1- 1/4" SCRATCH COAT W/ METAL LATH EMBEDDED 2- 1/2" BASE COAT 3- FINISH COAT TO MATCH EXISTING WALL COLOR 37. 16 GAUGE ALUMINUM DRIP EDGE 38. HOLLOW METAL DOOR FRAME 39. CONTROL JOINT WITH SILICON SEALANT 40. 5/8" GYPSUM WALL BOARD WITH A LEVEL 4 FINISH 41. 6" 18 GAUGE METAL STUDS @ 16" O.C. W/ R-21 BATT INSULATION 42. CONTINUOUS BEAD OF SILICON SEALANT 43. 2 LAYERS OF 30lb FELT MIN. LAP OVER DRIP EDGE 44. ALUMINUM DRIP EDGE SCREED 45. SEALANT W/ BACKER ROD 46. COMPRESSIBLE FILLER 47. LIQUID APPLIED WATERPROOFING MEMBRANE TO EXTEND UP WALL A MIN. OF 6" ABOVE GRADE

LEGEND:

AREA OF EXISTING BUILDING TO BE REMOVED IN ITS ENTIRETY

EXISTING BUILDING EXPANSION JOINT

NEW STUCCO FINISH ON NORTH WALL (ONLY)

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SHEET KEY NOTES: $\langle x \rangle$

- 1. EXISTING ELECTRICAL POLE WITH OVERHEAD LINES 2. EXISTING BUILDING EXPANSION JOINT
- 3. EXISTING EXPANSION JOINT COVER IN FLOOR
- 4. 3'-0" x 7'-0" HOLLOW METAL DOOR FOR TEMPORARY EMERGENCY EGRESS ONLY (NO ENTRANCE). PROVIDE WITH 1 1/2 PAIR BUTT HINGES, OVERHEAD CLOSER, PANIC DEVICE, SILENCERS, WEATHER STRIPPING AND ALUMINUM THRESHOLD. DO NOT PROVIDE EXTERIOR PULL OR LEVER - DOOR IS INTENDED FOR EMERGENCY EGRESS ONLY
- 5. STUCCO FINISH ON EXISTING CMU 6. STUCCO FINISH ON NEW INFILL WALL. SEE WALL SECTION A6/A-302
- 7. 6'-0" HIGH CHAINLINK FENCE TO BE LEFT-IN-PLACE AFTER COMPLETION OF PROJECT. SEE C6/A-201 FOR DETAILS
- 8. REMOVE EXISTING DOORS AND PAINT FRAME TO MATCH EXISTING 9. EXISTING 8" REINFORCED CMU
- 10. EXISTING 2X4 SUSPENDED ACOUSTICAL TILE CEILING
- 11. EXISTING REINFORCED CONCRETE BEAM
- 12. SEALANT JOINT AT NEW INFILL PANEL
- 13. NEW ALUMINUM COPING
- 14. EXISTING LIGHT WEIGHT CONCRETE WITH GYPSUM BOARD FORM ROOF DECK
- 15. EXISTING BULB TEE SPACED AT 32" OC
- 16. EXISTING BAR JOIST
- 17. NEW WALL MOUNTED EMERGENCY EGRESS LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION 18. EXISTING FOOTING TO BE LEFT IN PLACE FOR DEMOLITION IN
- FUTURE PHASE
- 19. EXISTING CONCRETE SIDEWALK
- 20. EXISTING CONCRETE CURB AND GUTTER
- 22. NEW ASPHALT SEAL COAT TO COVER EXISTING PARKING
- STRIPING / MARKINGS 23. NEW 4" CONCRETE SIDEWALK OVER COMPACTED GRAVEL BASE
- 24. NEW POST MOUNTED SIGN AT EACH PARKING SPACE. SEE DETAIL C2/A-301 FOR TYPES
- 25. 20'-0" RADIAL SETBACK FROM CLOSEST EXISTING 115 Kv POWER LINES. NOTHING IS PERMITTED WITHIN THIS SETBACK. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THIS SETBACK WITH SCE&G PRIOR TO BEGINNING WORK
- 26. EXISTING CONCRETE FOOTING ALONG EXISTING BUILDING EXPANSION JOINT TO BE LEFT IN PLACE. ALL OTHER FOOTING ARE TO BE REMOVED IN THEIR ENTIRETY
- 27. INFILL AT EXISTING OPENING TO BE SIMILAR TO WALL SECTION A6/A-302
- 28. ALL LOW VOLTAGE AND TELECOM SYSTEMS TO BE RE-CONFIGURED BY OWNER BEFORE CONTRACTOR BEGINS WORK ON PROJECT
- 29. SEE AS-101 AND A-301 FOR NEW ACCESSIBLE PARKING SPACES AND ACCESSIBLE ROUTES
- 30. NEW PREFABRICATED/PREFINISHED ALUMINUM COPING TO MATCH EXISTING
- 31. 5/8" PLYWOOD SHEATHING
- 32. NEW PARAPET ROOFING MEMBRANE TO OVERLAP EXISTING ROOF MEMBRANE
- 33. WOOD FRAMED PARAPET TO MATCH EXISTING, VERIFY EXISTING CONDITIONS
- 34. 5/8" EXTERIOR GRADE PLYWOOD SHEATHING WITH 1/8" GAP BETWEEN SHEETS AT ALL HORIZONTAL AND VERTICAL JOINTS
- 35. SELF FURRING METAL LATH
- 36. THREE-COAT STUCCO 1- 1/4" SCRATCH COAT W/ METAL LATH EMBEDDED
- 2- 1/2" BASE COAT
- 3- FINISH COAT TO MATCH EXISTING WALL COLOR 37. 16 GAUGE ALUMINUM DRIP EDGE
- 38. HOLLOW METAL DOOR FRAME
- 39. CONTROL JOINT WITH SILICON SEALANT
- 40. 5/8" GYPSUM WALL BOARD WITH A LEVEL 4 FINISH
- 41. 6" 18 GAUGE METAL STUDS @ 16" O.C. W/ R-21 BATT INSULATION
- 42. CONTINUOUS BEAD OF SILICON SEALANT
- 43. 2 LAYERS OF 30lb FELT MIN. LAP OVER DRIP EDGE
- 44. ALUMINUM DRIP EDGE SCREED
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AREA OF EXISTING BUILDING TO BE REMOVED IN ITS ENTIRETY

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EXISTING BUILDING EXPANSION JOINT

NEW STUCCO FINISH ON NORTH WALL (ONLY)

A-302

EXIST. CONDITIONS PHOTO (E4) NOT TO SCALE

EXIST. CONDITIONS PHOTO D4

(B4) EXIST. CONDITIONS PHOTO

A4 EXIST. CONDITIONS PHOTO NOT TO SCALE

(E2) EXIST. CONDITIONS PHOTO NOT TO SCALE

(D2) EXIST. CONDITIONS PHOTO NOT TO SCALE

C2 EXIST. CONDITIONS PHOTO NOT TO SCALE

(B2) EXIST. CONDITIONS PHOTO NOT TO SCALE

A2 EXIST. CONDITIONS PHOTO NOT TO SCALE

GENERAL NOTES:

REGULATIONS

- PHOTOGRAPHS ARE PROVIDED FOR REFERENCE ONLY. CONTRACTOR IS TO FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS
- THE OWNER HAS OBTAINED AN ASBESTOS TEST REPORT INDICATING THAT THERE ARE NO ASBESTOS CONTAINING MATERIALS. IT SHOULD BE NOTED THAT MATERIALS LOCATED IN CONCEALED CONDITIONS WERE NOT TESTED. IF MATERIALS SUSPECTED OF CONTAINING ASBESTOS ARE ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY STOP DEMOLITION WORK AND NOTIFY THE ARCHITECT.
- SEE G-104 FOR TEST RESULTS ALL DEMOLISHED MATERIALS ARE THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL

SHEET KEY NOTES: 🖄

- EXISTING CANOPIES, WALKWAYS, RAILINGS AND SIDEWALKS ON THE NORTH END OF THE EXISTING BUILDING ARE TO BE DEMOLISHED IN THEIR ENTIRETY
- ACCESS TO EXISTING MECHANICAL ROOM SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR WORK ON EXISTING EQUIPMENT AND DISTRIBUTION SYSTEMS. COORDINATE SHUTDOWN OF EXISTING BOILER AND CHILLER TO OCCUR AFTER HOURS (AT NIGHT OR OVER A WEEKEND)
- SEE AS-101 AND A-201 FOR ADDITIONAL INFORMATION ON EXISTING 115Kv OVERHEAD POWER LINES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH SCE&G TO ESTABLISH SETBACKS FOR PERSONNEL, EQUIPMENT, VEHICLES, ETC.
- REMOVE EXISTING COPING AT EXISTING BUILDING EXPANSION JOINT. SEE A-302 FOR TYPICAL SECTIONS AND DETAILS
- EXISTING ROOF IS NOT UNDER WARRANTY. TIE-IN EXISTING ROOF AT NEW PARAPET WITH LIKE MATERIALS AND METHODS
- ALL ROOFTOP EQUIPMENT AT THE PORTION OF THE EXISTING BUILDING BEING DEMOLISHED IS TO BE REMOVED AND DISPOSED OF
- CONTRACTOR SHALL TAKE CARE DURING DEMOLITION TO NOT DAMAGE
- EXISTING POWER POLES, BASES OR OVERHEAD LINES 8. SEE CIVIL DRAWINGS FOR PROTECTION OF EXISTING TREES AND LANDSCAPING
- 9. MAINTAIN EXISTING WOOD FRAMING AND BLOCKING AT EXISTING PARAPET. SEE WALL SECTIONS ON SHEET A-302 FOR ADDITIONAL INFORMATION AND DETAILS
- 10. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR
- DEMOLITION OF EXISTING DUCTWORK, PIPING AND CONDUIT 11. EXISTING CONCRETE BEAM TO REMAIN
- 12. EXISTING STEEL BAR JOIST TO REMAIN
- 13. EXISTING STEEL BAR JOIST TO BE REMOVED
- 14. EXISTING LIGHT-WEIGHT CONCRETE / GYPSUM BOARD FORM ROOF DECK TO BE REMOVED
- 15. EXISTING BUILDING EXPANSION JOINT COVER IN CORRIDOR TO BE REMOVED

PHOTOS ARE SHOWN FOR REFERENCE ONLY. THE PORTION OF THE EXISTING BUILDING NORTH OF THE BUILDING **EXPANSION JOINT AND ALL ASSOCIATED SITE ELEMENTS** (SIDEWALKS, LANDSCAPING, ETC.) ARE TO BE DEMOLISHED IN THEIR ENTIRETY AND REMOVED FROM SITE

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IECHANICAL DEMOLITION NOTES	MECHANICAL GENERAL NOTES
THE MECHANICAL CONTRACTOR SHALL VISIT SITE PRIOR TO BEGINNING WORK TO DETERMINE THE LEVEL OF DEMOLITION REQUIRED AND INCLUDE ALL NECESSARY PRICING IN THEIR BID.	1. DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATION OF DOORS, WINDOWS,, ETC.
IT IS THE MECHANICAL CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL EXISTING DUCTWORK AND PIPING. ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND MECHANICAL PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE MECHANICAL ENGINEER. EXISTING CHILLER AND BOILER SHALL BE INSPECTED FOR PROPER OPERATION OR DAMAGE. INOPERABLE OR IMPROPERLY OPERATING EQUIPMENT SHALL BE BROUGHT TO THE OWNER'S ATTENTION. EQUIPMENT, PIPING OR INSULATION DAMAGED DURING DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE REPAIRED.	2. ALL COST ASSOCIATED WITH SUBSTITUTED EQUIPMENT TO COMPLY WITH BASIS OF DESIGN, INCLUDING PROVIDING MAINTENANCE ACCESS, CLEARANCE, PIPING, SHEET METAL, ELECTRICAL, REPLACEMENT OF OTHER SYSTEM COMPONENTS, BUILDING ALTERATIONS, ETC., SHALL BE INCLUDED IN THE ORIGINAL BASE BID. NO ADDITIONAL COST ASSOCIATED WITH SUBSTITUTED EQUIPMENT WILL BE APPROVED DURING CONSTRUCTION AND ALL COST WILL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR. THIS INCLUDES ANY MODIFICATIONS TO ANY ASSOCIATED MECHANICAL, PLUMBING, OR ELECTRICAL SYSTEMS REQUIRED BY THIS SPECIFIC MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 EXISTING SYSTEMS SHALL BE: (1) DISCONNECTED FROM THE PORTION OF THE BUILDING WHICH WILL BE DEMOLISHED, (2) MADE FUNCTIONAL AND OPERATIONAL FOR THE PORTION OF THE BUILDING WHICH WILL REMAIN, (3) BE TESTED AND (4) BE ACCEPTED BY THE OWNER BEFORE WHOLESALE BUILDING DEMOLITION BEGINS. THE OWNER HAS OBTAINED AN ASBESTOS REPORT FOR THE EXISTING BUILDING AND NO ASBESTOS CONTAINING MATERIALS WERE IDENTIFIED. SEE ARCHITECTURAL SHEET G-104 FOR ADDITIONAL INFORMATION. THE PORTION OF THE EXISTING BUILDING WHICH WILL NOT BE DEMOLISHED, WILL REMAIN OCCUPIED AND FULLY OPERATIONAL THROUGHOUT THE PROJECT. SEE ARCHITECTURAL DRAWING G-101 FOR GENERAL REQUIREMENTS AND GENERAL NOTES APPLICABLE TO ALL TRADES. ANY WORK WHICH WILL REQUIRE TAKING THE BUILDING HVAC SYSTEM OFF-LINE SHALL BE SCHEDULED AND PERFORMED BETWEEN FRIDAY AT 6 PM AND MONDAY AT 6 AM. ANY SUCH WORK SHALL BE COORDINATED IN ADVANCE WITH THE OWNER. 	 ALL PIPING AND DUCTWORK LOCATIONS SHALL BE COORDINATED WITH THE WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS, TO AVOID INTERFERENCE. PROVIDE A ONE YEAR WARRANTY FOR ALL WORK PERFORMED BEGINNING ON THE DAY THE SYSTEM IS COMPLETELY OPERATIONAL AND ACCEPTABLE BY THE OWNER. ALL CHILLED WATER & HOT WATER PIPING (2-PIPE CHANGEOVER SYSTEM) 2" AND LESS SHALL BE SCHEDULE 40 BLACK STEEL OR HARD-DRAWN TYPE-L COPPER PIPE AND FITTINGS. ALL CHILLED WATER, HOT WATER PIPING AND CONDENSER WATER PIPING GREATER THAN 2" SHALL BE (WELDED) SCHEDULE 40 BLACK STEEL. PROVIDE BRONZE VALVES AND FITTINGS WITH COPPER PIPING AND CAST IRON VALVES AND FITTINGS WITH SCHEDULE 40 BLACK STEEL. 2-PIPE CHANGEOVER SYSTEM PIPING SHALL BE INSULATED WITH 1½" THICK PHENOLIC CLOSED CELL, ASTM C518, K-VALUE OF 0.13 AT 75' F. HOT WATER PIPING (1½" AND SMALLER) AND CONDENSER WATER PIPING SHALL BE INSULATED WITH 1½" THICK FIBERGLASS INSULATION. ALL FITTINGS SHALL HAVE PVC FITTING COVERS. ALL PIPING OUTSIDE SHALL HAVE A BITUMINOUS COATING ALUMINUM JACKET AND PVC FITTING COVERS. ALL 2-PIPE CHANGEOVER SYSTEM PIPING SHALL PITCH DOWN IN DIRECTION OF FLOW WITH MANUAL AIR VENTS AT ALL HIGH POINTS AND ½" DRAIN VALVES AT ALL LOW POINTS.
	8. PROVIDE UNIONS, FLANGES OR COUPLINGS AT CONNECTION TO ALL VALVES AND EQUIPMENT. DO NOT USE DIRECT WELDED OR THREADED

CHANICAL	LEGEND

<u>SYMBOL</u>	DESCRIPTION	<u>ABBR.</u>
— CHS —	CHILLED WATER SUPPLY CHILLED WATER RETURN HOT WATER SUPPLY HOT WATER RETURN EXISTING PIPING TO BE REMOVED POINT OF NEW TO EXISTING CONNECTION	CHS CHR HWS HWR
	3-PIECE BALL VALVE	

DISSIMILAR METALS. 0. ALL ISOLATION VALVES, TERMINAL UNITS, CONTROLS, ETC. REQUIRING ACCESS AND SERVICE SHALL BE INSTALLED WITHIN 18" OF THE CEILING FOR SERVICE ACCESSIBILITY. LOCATIONS SHALL BE INDICATED ON THE CEILING GRID PER THE SPECIFICATIONS.

PROVIDE NON-CONDUCTING DIELECTRIC UNIONS WHENEVER CONNECTING

CONNECTIONS TO VALVES, EQUIPMENT OR OTHER APPARATUS.

. EQUIPMENT OPERATED DURING CONSTRUCTION SHALL USE FILTERED MEDIA TO PREVENT CONSTRUCTION DEBRIS FROM ENTERING COILS, DUCTWORK SYSTEMS, AIR TERMINALS ETC. AT COMPLETION OF CONSTRUCTION, MECHANICAL CONTRACTOR SHALL CLEAN ALL SYSTEMS WITH ALL CONTROL DEVICES WIDE OPEN AND REMOVE ANY REMAINING DEBRIS. MECHANICAL CONTRACTOR SHALL REPLACE ALL FILTRATION WITH NEW FILTERS AT COMPLETION OF CONSTRUCTION. ANY DUCTWORK, AIR TERMINALS, AND/OR OTHER EQUIPMENT UPSTREAM OF FILTRATION SHALL BE CLEANED THOROUGHLY OF CONSTRUCTION DEBRIS BEFORE HANDING OVER TO OWNER.

	DEVICES AND PATH
ЮО	JUNCTION BOX WITH CONNECTION TO EQ
ŧ	DUPLEX RECEPTACLE, 20 AMP, 120 VOLT
-	DUPLEX RECEPTACLE M⊡UNTED AB⊡∨E C AT HEIGHT N⊡TED.
	PANELS, DISCONNI
Q	CONNECTION TO MOTOR.
S _M	FRACTIONAL HORSEPOWER MANUAL MOTOR
다	N⊡N-FUSED HEAVY DUTY DISCONNECT S
	PANELBOARD. SEE SCHEDULE FOR MOUNT
	SECURITY
	SECURITY CAMERA. PROVIDE 3/4" CONI CEILING. PROVIDE DOUBLE GANG JUNCTI OPENING PLATE. PROVIDE PULL STRING
CR	CARD READER, MINIMUM 1/2" CONDUIT. PR BOX AND PULL STRING. SEE CARD READE REQUIREMENTS OF PATHWAYS AND CABLING
Ρ	PUSH PAD.

GENERAL NOTES

- 1. EXISTING SYSTEMS SHALL BE: (1) DISCONNECTED FROM THE PORTION OF THE BUILDING WHICH WILL BE DEMOLISHED, (2) MADE FUNCTIONAL AND OPERATIONAL FOR THE PORTION OF THE BUILDING WHICH WILL REMAIN, (3) BE TESTED AND (4) BE ACCEPTED BY THE OWNER BEFORE WHOLÈSALE BUILDING DEMÒLÍTION BEGINS.
- 2. THE OWNER HAS OBTAINED AN ASBESTOS REPORT FOR THE EXISTING BUILDING AND NO ASBESTOS CONTAINING MATERIALS WERE IDENTIFIED. SEE ARCHITECTURAL SHEET G-104 FOR ADDITIONAL INFORMATION.
- 3. THE PORTION OF THE EXISTING BUILDING WHICH WILL NOT BE DEMOLISHED, WILL REMAIN OCCUPIED AND FULLY OPERATIONAL THROUGHOUT THE PROJECT.
- SEE ARCHITECTURAL DRAWING G-101 FOR GENERAL REQUIREMENTS AND GENERAL NOTES APPLICABLE TO ALL TRADES.
- 5. ANY WORK WHICH WILL REQUIRE TAKING THE BUILDING HVAC SYSTEM OFF-LINE SHALL BE SCHEDULED AND PERFORMED BETWEEN FRIDAY AT 6 PM AND MONDAY AT 6 AM. ANY SUCH WORK SHALL BE COORDINATED IN ADVANCE WITH THE OWNER.

SYMBOL SCHEDULE

HWAYS FIRE ALARM LIGHTING (SEE FIXTURE SCH.) FACP FIRE ALARM CONTROL PANEL FLUORESCENT LIGHTING FIXTURE. • QUIPMENT SER∨ED. RA FIRE ALARM REM⊡TE ANNUNCIAT⊡R. PR⊡∨IDE B⊡X AS REQUIRED PER MANUFACTURER RECOMMENDATION. PRO∨IDE 1″C CONDUIT FOR CABLING. FLUORESCENT STRIP FIXTURE. F FIRE ALARM MANUAL STATION, PROVIDE PROTECTION DEVICE 0 FLUORESCENT LIGHTING FIXTURE. (SD) CEILING MOUNTED SMOKE DETECTOR. COUNTER BACKSPLASH, OR Ю WALL MOUNTED FLUORESCENT LIGHTING FIXTURE. ΓŊ WALL MOUNT FIRE ALARM HORN WITH STROBE LIGHT. FLUORESCENT FIXTURE WITH EMERGENCY BATTERY BALLAST OR DRIVER. PROVIDE 1100 LUMEN INVERTER RATED FOR 90 MINUTE OPERATION. SEE FIXTURE 0 NECTS SCHEDULE FOR FIXTURE TYPE, EMERGENCY DEVICE SHALL SUPPLEMENT FIXTURE. FLUORESCENT DOWNLIGHT WITH AN EMERGENCY BATTERY BALLAST OR DRIVER. • TELECOMMUNICATIONS EXIT LIGHT OR STARTER TELE/DATA DUTLET ABDVE COUNTER DR HEIGHT SPECIFIED. SWITCH. 4 EMERGENCY BATTERY PACK FIXTURE. $\underbrace{}$ EMERGENCY BATTERY PACK/EXIT COMBO FIXTURE ITING. TOP OF PANEL AT 6'-6" AFF. 4 TELE/DATA DUTLET. EXTERIOR EMERGENCY FIXTURE WITH EMERGENCY BALLAST OR DRIVER. PROVIDE 1100 LUMEN INVERTER RATED FOR 90 MINUTE OPERATION. SINGLE POLE SWITCH, 20 AMP, 120/277 VOLT, S DUIT TO LOCAL ACCESSIBLE ION BOX WITH SINGLE GANG СL CEILING MOUNTED OCCUPANCY SENSOR. ROVIDE SINGLE GANG JUNCTION DER DETAIL FOR ADDITIONAL ABBREVIATIONS SHEET INDEX DIMENSION INDICATES HEIGHT ABO∨E FINISHED FLOOR AT WHICH CENTER OF DE∨ICE IS TO MOUNTED. SEE PLANS. +42″ <u>AN NAME</u> ECTRICAL LEGEND NEMA 3R ЗR MOLITION PLAN ELECTRICAL LIGHTING AFF ABO∨E FINISHED FLOOR MOLITION PLAN ELECTRICAL POWER AHJ AUTHORITY HA∨ING JURISDICTION AIR HANDLER UNIT AHU CONDUIT WITH PULL CORD C.B. CIRCUIT BREAKER EMPTY CONDUIT WITH PULL CORD EC E.C. ELECTRICAL CONTRACTOR ELECTRIC WATER COOLER EWC

EWH FACP FPN LC M.C. P.C. U.G. UNDERGROUND

AIC

ELECTRIC WATER HEATER FIRE ALARM CONTROL PANEL FUSE PER NAMEPLATE LIGHTING CONTACTOR MECHANICAL CONTRACTOR PLUMBING CONTRACTOR WEATHERPROOF WP S.E. SER∨ICE ENTRANCE EM EMERGENCY FIXTURE WITH BATTERY DR GEN. BACK-UP ER EXISTING ITEM RELOCATED TO THIS LOCATION. RL EXISTING ITEM TO BE RELOCATED. RM EXISTING ITEM TO REMAIN. RP EXISTING ITEM TO BE REPLACED. EXISTING ITEM T□ BE REMO∨ED. RV RMS SYMMETRICAL SHORT CIRCUIT CURRENT Isc

AMPERE INTERRUPTING CAPACITY (EQUIPMENT RATING)

E	ELECT	RICAL	,
<u>PLAN NUM</u> E001 E101 E201	<u>BER</u>	PL EL DE DE	ENN

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PLUMBING LEGEND					
	EXISTING PIPING	ABBR.	DESCRIPTIO	N	
	—-— (E) —	CW	COLD WATE	R PIPING	
	— (E) —	нพ	HOT WATER	PIPING	
	— (E) —	HWR	HOT WATER	RETURN PIPING	
	——— (E) —	W	SANITARY V	VASTE PIPING	
	(E)	V	SANITARY \	/ENT PIPING	
	SD(E)	SD	STORM DRA	IN PIPING – BEL. GRADE	
	—— SD(E) —	SD	STORM DRA	IN PIPING – ABV. CEILING	
	—— ESD(E) —	ESD	EMERGENCY	STORM DRAIN PIPING	
	— — — G(E) —	G	NATURAL G	AS PIPING	
	———— GW(E) —	GW	GREASE LA	DEN WASTE PIPING	
	D(E)	D	DRAIN		
	× × (E) × × ×	_	EXISTING PI	PING TO BE REMOVED	
		_	ELBOW DOW	/N	
	0	_	FLBOW UP		
		_	PIPE CONTI	NUES	
	7	_			
		_		_	
		_	BALL VALVE		
		_	DIRECTION O		
		-	PIPE REDUC		
	O	FCO	FLOOR CLE	AN OUT	
	G+I	WCO	WALL CLEAI	N OUT	
		CO	END OF LIN	E CLEAN OUT	
		YCO	YARD CLEA	N OUT	
		FD	FLOOR DRA	IN	
		FS	FLOOR SINK		
		RD	ROOF DRAIN	N	
	+ <u>7</u>	HB	HOSE BIBB,	/WALL HYDRANT	
		ADDITIONAL		<u>NS</u>	
AFF	ABOVE FINISHED FLOOR		MFG		
BAS	BUILDING AUTOMATION S	YSTEM	PSI	POUNDS PER SQUARE INCH	
BFF	BRITISH THERMAL UNIT /	/ HOUR	T&P	TEMPERATURE AND PRESSURE	
CFH	CUBIC FEET PER HOUR		TYP VTR	TYPICAL VENT THRU ROOF	
EX			WC	WATER COLUMN	
FL	FINISHED FLOOR ELEVATI	UN	EC	ELECTRICAL CONTRACTOR	
GPM INV	GALLONS PER MINUTE INVERT ELEVATION		GC MC	GENERAL CONTRACTOR MECHANICAL CONTRACTOR	
KW MBH	KILOWATT 1.000 BTUH		PC	PLUMBING CONTRACTOR	
					
	P	LOMBI		IES	
GENERA	L REQUIREMENTS:				
1. PLU BUII	1. PLUMBING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOUTH CAROLINA STATE BUILDING CODES (INTERNATIONAL BUILDING CODES - 2015 EDITION) AND THE REQUIREMENTS OF				
2. REF	ER TO ARCHITECTURAL DRA	WING G-101	For general	REQUIREMENTS AND GENERAL NOTES	
AFFLICADLE IV ALL IKADED.					
	3. SCOPE: PROVIDE ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED FOR THE COMPLETION OF THE WORK. WORK INCLUDES:				
3.1.	DISCONNECTION OF ALL EXI BEING DEMOLISHED.	ISTING PLUMBI	NG SYSTEMS	IN THE PORTION OF THE BUILDING	
3.2.	MAINTAINING THE FUNCTION PLUMBING SYSTEMS IN THE	ALITY AND VE	ERIFYING THE THE BUILDING	PROPER OPERATION OF THE EXISTING	
3.3.	3.3. REMAINING SYSTEMS SHALL BE TESTED AND ACCEPTED BY THE OWNER BEFORE BUILDING				
NOT REM	NOTE: THE PORTION OF THE BUILDING THAT IS TO REMAIN WILL BE OCCUPIED AND SHALL REMAIN OPERATIONAL FOR THE DURATION OF THE WORK DESCRIBED IN THE DRAWINGS.				
4. PER ANY	MITS: APPLY AND PAY FOR PUBLIC AUTHORITY HAVING	ALL NECESS	ARY PERMITS, N.	FEES AND INSPECTIONS REQUIRED BY	
5. WAF THE	RRANTY: PROVIDE A ONE ` OWNER, FOR ALL PLUMBIN	YEAR WARRAN G MATERIALS	TY, FROM THE AND EQUIPME	E DATE OF ACCEPTANCE OF WORK BY NT.	
6. VISI THE DISC	T THE SITE PRIOR TO BIDDI LEVEL OF DEMOLITION REG CREPANCIES BETWFFN THE	NG THE PROJ UIRED. INCLUE	ECT TO VERIF DE ALL NECES	Y EXISTING CONDITIONS AND DETERMINE SARY PRICING IN THEIR BID. CONDITIONS SHALL BE BROUGHT TO THE	

7. FIELD VERIFY PROPER OPERATION OF EXISTING SYSTEMS BEFORE START OF THE PLUMBING WORK. NOTIFY THE ARCHITECT / ENGINEER OF RECORD OF ANY PROBLEMS OR DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS AND/OR ANY POTENTIAL PROBLEMS OBSERVED BEFORE STARTING WORK IN THE EFFECTED AREAS.

ATTENTION OF THE ARCHITECT / ENGINEER PRIOR TO SUBMISSION OF BIDS.

- 8. CUT WALLS, FLOORS AND CEILINGS AS REQUIRED FOR INSTALLATION AND OR REMOVAL OF PLUMBING PIPING AND COMPONENTS. CUTTING SHALL BE HELD TO A MINIMUM. PATCH AND FINISH SURFACES TO MATCH ADJOINING SURFACES.
- 9. PLUMBING PLANS SHALL NOT BE SCALED. REFERENCE THE ARCHITECTURAL PLANS FOR ALL LOCATIONS OF PLUMBING FIXTURES, WALLS, DOORS, WINDOWS, ETC.
- 10. PLUMBING SYSTEMS IN THE SCOPE OF WORK INCLUDE, BUT ARE NOT LIMITED TO: PLUMBING FIXTURES AND EQUIPMENT, DOMESTIC WATER SYSTEM, SANITARY WASTE AND VENT SYSTEM.
- 11. REMOVE EXISTING PLUMBING FIXTURES AND EQUIPMENT AS INDICATED, INCLUDING ASSOCIATED HOT WATER, COLD WATER, WASTE AND VENT PIPING, UNLESS NOTED OTHERWISE. SEE ARCHITECTURAL DEMOLITION PLAN FOR LOCATIONS.
- 12. REMOVE ALL DOMESTIC HOT AND COLD WATER BRANCH PIPING IN THE PORTION OF THE BUILDING TO BE DEMOLISHED BACK TO WITHIN THE EXISTING MECHANICAL ROOM (LOCATED IN THE BUILDING PORTION TO REMAIN) AND TERMINATE WITH SHUT-OFF VALVE AND CAP.
- 13. REMOVE AND DISPOSE OF <u>ALL</u> SANITARY WASTE PIPING LOCATED UNDER-SLAB AND ABOVE FLOORS AND CEILINGS IN THE PORTION OF THE BUILDING TO BE DEMOLISHED.
- 14. REMOVE ALL SANITARY VENT BRANCH PIPING LOCATED ABOVE THE FLOOR AND CEILINGS IN THE PORTION OF THE BUILDING TO BE DEMOLISHED.
- 15. WITH THE DEMOLITION OF EXISTING WALLS, SOME EXISTING WASTE, VENT, OR DOMESTIC WATER PIPING MAY BE DISCOVERED. REMOVE ANY EXISTING PIPING DISCOVERED AS INDICATED IN NOTES 11 AND 12 ABOVE.
 16. THE OWNER HAS OBTAINED AN ASBESTOS REPORT FOR THE EXISTING BUILDING AND NO

ASBESTOS CONTAINING MATERIALS WERE IDENTIFIED. SEE SHEET G-104 FOR ADDITIONAL
INFORMATION.

	PLUMBING DRAWING INDEX	
<u>SHT. NO.</u>	SHEET NAME	<u>SCALE</u>
P-001 P-101	LEGEND AND NOTES – PLUMBING DEMOLITION FLOOR PLAN – PLUMBING	1/8" = 1'-0"

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THE DRAWING AN	ID THE INFORMATION THEREON IS THE PROPERTY OF OPTIMA ENGINEERING, P.A. ANY REPRODUCTION, ALT	ERATION, OR USE FOR OTHER THAN THE INTENDED PROJECT, WITHOUT THE WRITTEN CONSEN

