2700 S NELSON & 2701 OAKLAND STREET DEMOLITION

BID SET - SEPTEMBER 26, 2022

ARLINGTON COUNTY VIRGINIA

RRMM ARCHITECTS, PC

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(540) 344-1212

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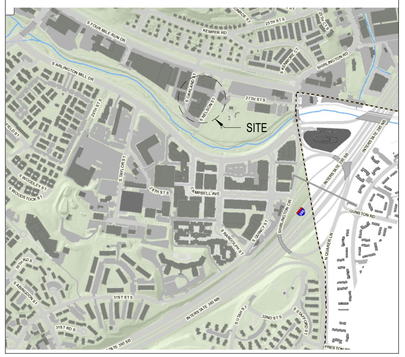
Rockville, MD 20850
(240) 403-4101

VICINITY MAP



CONSULTANTS

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CIVIL ENGINEERING AND LANDSCAPE
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STRUCTURAL AND MEP ENGINEERING
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DOWNEY & SCOTT
COST ESTIMATING
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WARRENTON, VA 20187
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OWNER

ARLINGTON COUNTY, FACILITIES
DESIGN & CONSTRUCTION
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ARLINGTON, VA 22201
P: 703.228.4430
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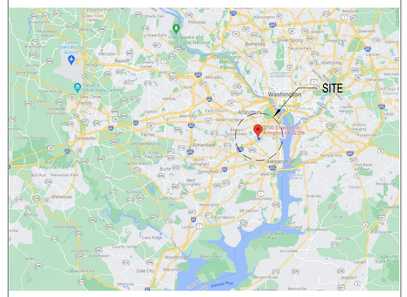
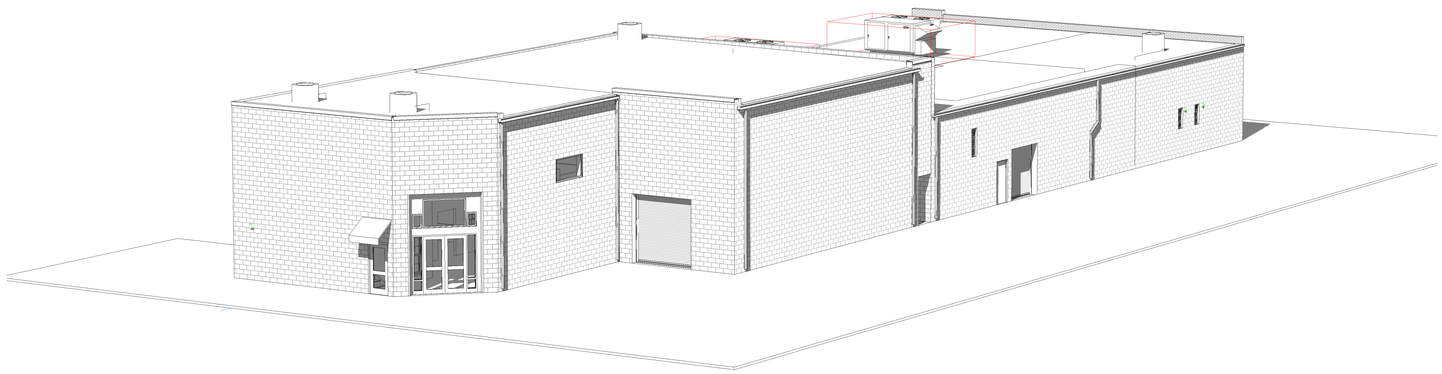
LOCATION MAP





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MARK	DATE	REVISIONS	BY	DES

DATE	08.25.2022
PROJECT	13356-35
DESIGNED	HMB
DRAWN	HMB
CHECKED	KDL

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PROJECT 2700 S NELSON & 2701 OAKLAND STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201

DRAWING COVER SHEET

SHEET
G-001

BIM 360://13356-35 Demo 2700 South Nelson/13356-35 v21 2700 S Nelson ST - ARCH.rvt
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1/32" = 1'-0" | 1/16" = 1'-0" | 3/32" = 1'-0" | 1/8" = 1'-0" | 1/4" = 1'-0" | 3/8" = 1'-0" | 1/2" = 1'-0" | 3/4" = 1'-0" | 1" = 1'-0" | 1 1/2" = 1'-0" | 3" = 1'-0" | 6" = 1'-0"

ABBREVIATIONS

#	NUMBER
&, +	AND
+/-	PLUS OR MINUS
@	AT
°	DEGREES
Ø	DIAMETER
Ω	ARC LENGTH
AB	ANCHOR BOLT
ABV	ABOVE
ACM	ASBESTOS CONTAINING MATERIAL
ACT	ACOUSTIC CEILING TILE
ADDN	ADDITION
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
AHU	AIR HANDLING UNIT
AL	ALUMINUM
ALT	ALTERNATE
AMP, A	AMPERE
ANCH	ANCHOR, ANCHORAGE
ANOD	ANODIZED
APC	ARCHITECTURAL PRECAST CONCRETE
APPROX	APPROXIMATE
ARCH	ARCHITECT, ARCHITECTURAL
ASB	ASBESTOS
ASPH	ASPHALT
ATTEN	ATTENUATION
AUTO	AUTOMATIC
AVG	AVERAGE
BC	BOTTOM OF CURB
BD	BOARD
BEJ	BUILDING EXPANSION JOINT
BETW	BETWEEN
BIT	BITUMINOUS
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BM	BEAM
BO	BOTTOM OF
BOT, B	BOTTOM
BRG	BEARING
BRK	BRICK
BTWN, B/W	BETWEEN
BUR	BUILT-UP ROOFING
C	CARPET
CAB	CABINET
CAP	CAPACITY
CEM	CEMENT
CEM TOP	CEMENT TOPPING
CER	CERAMIC
CF	CUBIC FOOT
CFLSHG	COUNTER FLASHING
CIP	CAST IN PLACE
CJ	CONTROL JOINT
CK	CAULK, CAULKING
CLG	CEILING
CLR	CLEAR
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNIT
CNTR	COUNTER
CO	CLEAN OUT
COL	COLUMN
COMM	COMMUNICATION
COMP	COMPOSITE
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACT, CONTRACTOR
CORR	CORRUGATED
CPT	CARPET
CRS	COURSE. COURSES
CSMT	CASEMENT
CSWK	CASEWORK
CT	CERAMIC TILE
CTB	CERAMIC TILE BASE
CU FT	CUBIC FEET
CU YD	CUBIC YARD
CW	COLD WATER
DBL	DOUBLE
DEMO	DEMOLITION
DET / DTL	DETAIL
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DISP	DISPOSAL
DIV	DIVISION
DL	DEAD LOAD
DN	DOWN
DPG	DAMPPROOFING
DR	DOOR, DISPLAY RAIL
DS	DOWNSPOUT
DWG	DRAWING
DWR	DRAWER
E	EAST
EA	EACH
EF	EXHAUST FAN
EFS	EXTERIOR FINISH SYSTEM
EIFS	EXTERIOR INSULATION FINISH SYSTEM
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
ELEV	ELEVATION, ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSE, ENCLOSURE
EP	ELECTRICAL PANELBOARD
EPDM	ETHYLENE PROPYLENE DIENE MONOMER
EQ	EQUAL
EQUIP	EQUIPMENT
EST	ESTIMATE
EWC	ELECTRIC WATER COOLER
EXCA	EXCAVATE
EXH	EXHAUST
EXIST	EXISTING
EXP	EXPOSED / EXPANSION
EXT	EXTERIOR
FAB	FABRICATE
FAS	FASTEN, FASTENER
FB	FACE BRICK
FCVD	FLASH COVED
FD	FLOOR DRAIN, FIRE DAMPER
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR
FFE	FINISH FLOOR ELEVATION
FGL	FIBERGLASS
FH	FIRE HYDRANT
FHC	FIRE HOSE CABINET
FIN	FINISH, FINISHED
FIX	FIXTURE
FLEX	FLEXIBLE
FLR	FLOOR
FLSHG	FLASHING
FOC	FACE OF CONCRETE
FOM	FACE OF MASONRY
FP	FIREPROOF
FR	FIRE RATED
FRM	FRAME, FRAMED
FRMG	FRAMING
FRT	FIRE RETARDANT TREATED
FT	FOOT, FEET
FTG	FOOTING
FUR	FURRED, FURRING
FURR	FURRING
G	GAS
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACT, CONTRACTOR
GEN	GENERAL
GL	GLASS, GLAZING
GPM	GALLONS PER MINUTE
GR	GRADE / GROUT
GWB	GYPSUM WALLBOARD
GYP	GYPSUM
H	HIGH
H/C	HANDICAPPED
HB	HOSE BIB
HC	HOLLOW CORE
HD	HAND
HDWR	HARDWARE
HGT	HEIGHT
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HIGH POINT
HR	HOUR
HTG	HEATING
HVAC	HEATING, VENTILATION AND AIR CONDITIONING
HW	HOT WATER
HWH	HOT WATER HEATER
ID	INSIDE DIAMETER
IN	INCH
INFO	INFORMATION
INST	INSTALLATION
INSUL	INSULATE, INSULATED, INSULATION
INT	INTERIOR
INV	INVERT
JAN	JANITOR
JB	JUNCTION BOX
JC	JANITOR CLOSET
JT	JOINT
KIT	KITCHEN
KO	KNOCKOUT
KV	KILOVOLT
KVA	KILOVOLT AMPERE
KW	KILOWATT
L	LENGTH, LONG, LOW
LAV	LAVATORY
LB	POUND
LF	LINEAR FEET
LH	LEFT HAND
LIN	LINEAR
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LP	LOW POINT
LTG	LIGHTING
LTL	LINTEL
LVR	LOUVER
LW	LIGHTWEIGHT
MAINT	MAINTENANCE
MAS	MASONRY
MATL	MATERIAL
MAX	MAXIMUM
MBR	MODIFIED BITUMEN ROOF
MECH	MECHANIC, MECHANICAL
MED	MEDIUM
MEMB	MEMBRANE
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MOD	MODIFIED
MOV	MOVABLE
MT	MOUNT
MTD	MOUNTED, MOUNTING
MTL	METAL
MWP	MEMBRANE WATERPROOFING
N	NORTH
N/C	NO CHARGE
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OA	OVERALL
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OVERHEAD
OPNG	OPENING
OPP	OPPOSITE
P	PLATE
PAR	PARALLEL
PART	PARTIAL
PC	PRE-CAST, PIECE
PED	PEDESTAL
PERM	PERIMETER
PIP	POURED IN PLACE
PL	PROPERTY LINE / PLASTIC LAMINATE
PLUMB	PLUMBING
PLYWD	PLYWOOD
PNL	PANEL
PPT	PRESERVATIVE PRESSURE TREATED
PR	PAIR
PREFAB	PREFABRICATE, PREFABRICATED
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PAINT
PTD	PAINTED
PTN	PARTITION
PVC	POLYVINYL CHLORIDE / PVC EDGE BAND
PVMT	PAVEMENT
QTY	QUANTITY
R	RISER, RIDGE
R/W	RIGHT OF WAY
RA	RETURN AIR
RAD	RADIUS
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
RECP	RECEPTACLE
REF	REFERENCE
REINF	REINFORCE, REINFORCED, REINFORCING
REM	REMOVE
REQD	REQUIRED
REQMT	REQUIREMENT
RET	RETURN
REV	REVISION, REVISIONS, REVISED
RFG	ROOFING
RH	RIGHT HAND
RL	RAIN LEADER
RO	ROUGH OPENING
RTU	ROOF TOP UNIT
S	SOUTH
S/S	STAINLESS STEEL, SERVICE SINK
SAN	SANITARY SEWER
SAPC	SUSPENDED ACOUSTIC PANEL CEILING
SC	SOLID CORE, SEALED CONCRETE
SCHED	SCHEDULE
SCW	SOLID CORE WOOD
SEC	SECTION
SF	SQUARE FEET
SHM	SECURITY HOLLOW METAL
SHT	SHEET
SHTH	SHEATHING
SIM	SIMILAR
SOF	SPRAY-ON FIREPROOFING
SPEC	SPECIFICATION, SPECIFICATIONS
SQ	SQUARE
STC	SOUND TRANSMISSION CLASS
STD	STANDARD
STFT	STOREFRONT
STL	STEEL
STOR	STORAGE
STRUC	STRUCTURAL
SUSP	SUSPENDED
SYM	SYMMETRICAL, SYMMETRY
SYS	SYSTEM
T	TREAD
T&B	TOP & BOTTOM
TEMP	TEMPORARY, TEMPERED
TG	TONGUE & GROVE
THK	THICK, THICKNESS
THRU	THROUGH
TO	TOP OF
TOC	TOP OF CURB
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TOW	TOP OF WALL
TRTD	TREATED
TYP	TYPICAL
UC	UNDERCUT
UG	UNDER GROUND
UH	UNIT HEATER
UON	UNLESS OTHERWISE NOTED
V	VOLT, VALLEY
VB	VENTED BASE
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VR	VAPOR RETARDER
VT	VINYL TILE
VTR	VENT THRU ROOF
W	WEST, WIDE, WIDTH
W/	WITH
W/O	WITHOUT
WAIN	WAINSCOT
WC	WATER CLOSET
WDB	WOOD BASE
WDW	WINDOW
WH	WATER HEATER
WMS	WIRE MANAGEMENT SLOT
WP	WATERPROOFING
WPT	WORKING POINT
WR	WASTE RECEPTACLE
WT	WEIGHT
WWF	WELDED WIRE FABRIC
WWM	WELDED WIRE MESH

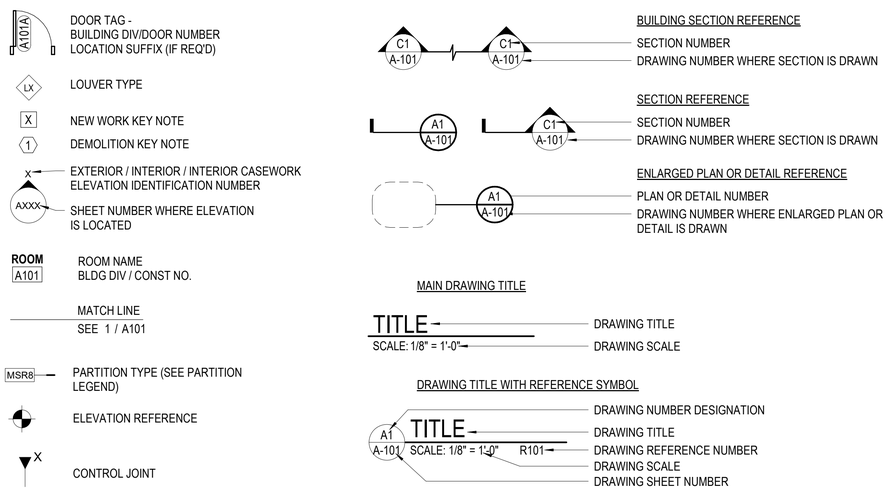
GENERAL NOTES

1. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY ALL EXISTING CONDITIONS. IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
2. THE EXISTING CONDITIONS INFORMATION INDICATED IN THE CONTRACT DOCUMENTS IS BASED ON EXISTING DOCUMENTATION AND FIELD OBSERVATIONS, BUT IS NOT A WARRANTY OF EXISTING CONDITIONS AT THE TIME OF CONSTRUCTION. ALL NEW CONSTRUCTION IS INDICATED RELATIVE TO THE EXISTING BUILDING AND SHALL BE COORDINATED WITH THE ACTUAL FIELD CONDITIONS FOUND. THE CONTRACTOR SHALL ASSUME FULL AND UNDIVIDED RESPONSIBILITY FOR THE ACCURACY, FIT, AND STABILITY OF ALL PARTS OF THE WORK.
3. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
4. THE CONTRACTOR SHALL REPAIR AND RESTORE TO ITS ORIGINAL CONDITION ALL WORK AND ITEMS DAMAGED AS A RESULT OF DEMOLITION AND CONSTRUCTION OPERATIONS. ANY DISTURBANCE OR DAMAGE TO THE EXISTING FACILITY RESULTING EITHER DIRECTLY OR INDIRECTLY FROM THE OPERATION OF THIS CONTRACT SHALL BE PROMPTLY REPAIRED, RESTORED, OR REPLACED AT NO ADDITIONAL COST.
5. ALL TRANSITIONS OF NEW WORK TO EXISTING CONSTRUCTION, INCLUDING AT FLOORS, WALLS, CEILINGS AND ROOFS, SHALL BE CAREFULLY EXECUTED. EXISTING CONSTRUCTION SHALL BE REPAIRED AND PATCHED AS NEEDED PROVIDE A SMOOTH TRANSITION

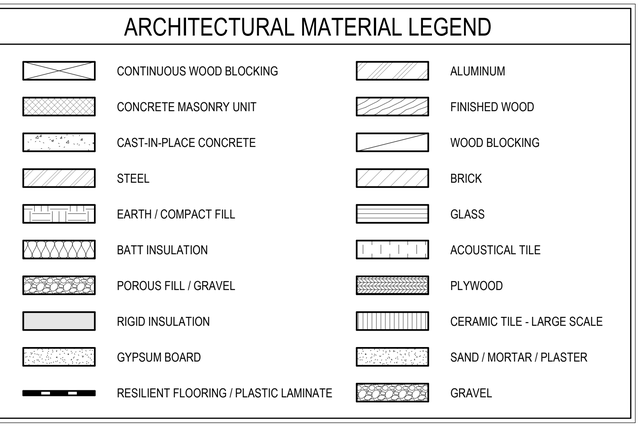
GENERAL NOTES

6. ALL NEW AND EXISTING TO REMAIN SUBSTRATES SHALL BE PROPERLY PREPARED BEFORE APPLICATION OF FINISHES. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR SUBSTRATE CONDITIONS WHERE FINISHES ARE APPLIED.
7. REFER TO THE PROJECT SPECIFICATIONS SECTION 024119 "SELECTIVE DEMOLITION FOR ADDITIONAL REQUIREMENTS.

ARCHITECTURAL GRAPHIC SYMBOLS



ARCHITECTURAL MATERIAL LEGEND



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DATE	08.25.2022
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DESIGNED	HMB
DRAWN	HMB
CHECKED	KDL

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Arlington, Virginia 22206
(703)998-0101

COMMONWEALTH OF VIRGINIA
KEITH DOUGLAS LEONARD
Lic. No. 011302
08.25.2022
ARCHITECT

PROJECT 2700 S NELSON & 2701 OAKLAND STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201

DRAWING ARCHITECTURAL GENERAL INFORMATION

SHEET
G-101

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2700 S NELSON STREET

2700 S NELSON STREET DECONSTRUCTION

ARLINGTON COUNTY, VIRGINIA

DATUM NOTES:

HORIZONTAL DATUM: THE SITE SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY.

VERTICAL DATUM: THE SITE SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY.

OWNER

NAME: THE COUNTY BOARD OF ARLINGTON
ADDRESS: 2100 CLARENDON BLVD, SUITE 300
ARLINGTON, VA 22201
TELEPHONE #: (703) 228-3130

DEVELOPER

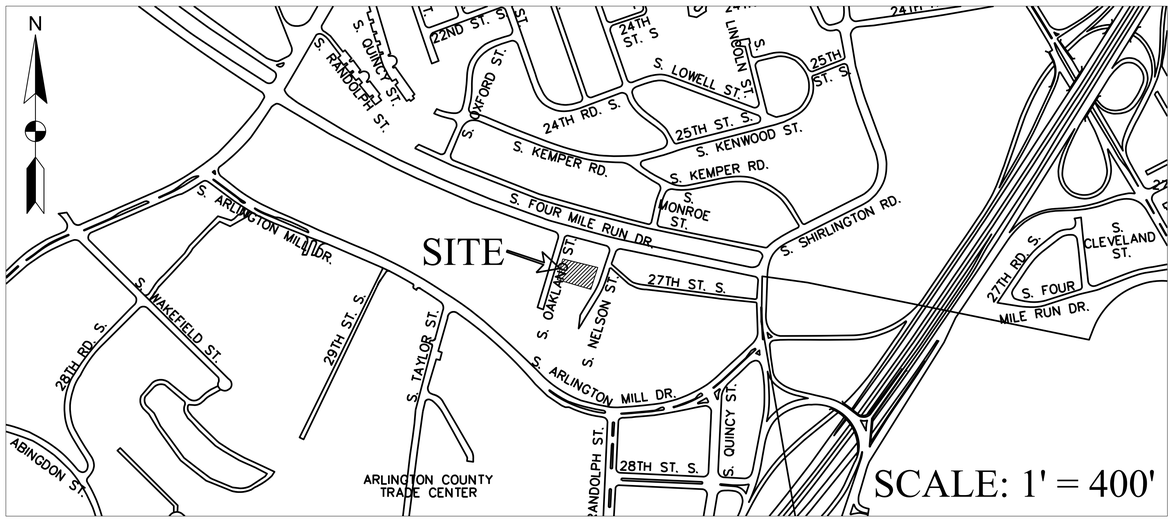
NAME: ARLINGTON COUNTY GOVERNMENT - D.E.S.
FACILITIES DESIGN & CONSTRUCTION
ADDRESS: 1400 N UHLE ST., SUITE 403
ARLINGTON, VA 22201
TELEPHONE #: (703) 228-4438
EMAIL: CWILSON@ARLINGTONVA.US

ENGINEER

NAME: A. MORTON THOMAS & ASSOCIATES, INC.
ADDRESS: 3076 CENTREVILLE ROAD, SUITE 220
HERNDON, VA 20171
TELEPHONE #: (703) 817-1373

CONTRACTOR

NAME: TO BE DETERMINED
ADDRESS: TO BE DETERMINED
TELEPHONE #: TO BE DETERMINED



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14	C-704	POLLUTION PREVENTION PLAN

GENERAL NOTES

1. THE CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE CONDITIONS OF THE SITE. THE CONTRACTOR SHALL THOROUGHLY EXAMINE AND BE FAMILIAR WITH THE DRAWINGS AND SPECIFICATIONS. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES, OMISSIONS, AMBIGUITIES, OR CONFLICTS IN OR AMONG THE CONTRACT DOCUMENTS OR BE IN DOUBT AS TO THEIR MEANING, THEY SHALL BRING THESE ITEMS TO THE ATTENTION OF THE PROJECT OFFICER FOR DIRECTION BEFORE PROCEEDING WITH WORK.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR ADHERENCE TO ALL ORDINANCES, REGULATIONS, LAWS AND CODES HAVING JURISDICTION OVER THE PROPERTY.
3. THE CONTRACTOR SHALL SUBMIT A REQUIRED "RESPONSIBLE LAND DISTURBER" CERTIFICATION LETTER AS PART OF OBTAINING A BUILDING (OR DISTURBANCE) PERMIT.
4. THE CONTRACTOR IS RESPONSIBLE FOR LICENSING AS REQUIRED BY APPLICABLE REGULATORY AGENCIES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL SALES, USE AND CAPITAL GAINS TAXES.
6. UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE LOCATIONS DETERMINED FROM VISIBLE EVIDENCE AND AVAILABLE RECORDS. ADDITIONAL UNDERGROUND UTILITY LINES MAY BE PRESENT THAT ARE NOT SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE EXISTING UTILITIES UNLESS SPECIFICALLY NOTED OTHERWISE.
7. CONTRACTOR SHALL NOT SUBSTITUTE PRODUCTS OR MATERIALS WITHOUT PRIOR APPROVAL BY THE PROJECT OFFICER.
8. THE CONTRACTOR SHALL IDENTIFY ALL STAGING AREAS AND LIMITS OF WORK FOR APPROVAL BY THE PROJECT OFFICER PRIOR TO THE START OF WORK. AREAS OUTSIDE LIMITS OF WORK SHALL NOT BE USED FOR STORAGE OR MOVEMENT OF MATERIALS, MACHINERY OR DEBRIS.
9. THE CONTRACTOR SHALL OBTAIN THE PROJECT OFFICER'S APPROVAL FOR TIMES OF DAY DURING WHICH CONSTRUCTION OPERATIONS MAY OCCUR. ALL CONSTRUCTION OPERATIONS SHALL OCCUR WITHIN TIMES SPECIFIED BY LOCAL ORDINANCES.
10. THE CONTRACTOR SHALL BE ON SITE AT TIME OF ALL MATERIALS DELIVERIES.
11. THE CONTRACTOR SHALL KEEP THE SITE CLEAN AND FREE OF TRASH AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE A TRASH RECEPTACLE TO BE USED ON SITE DURING CONSTRUCTION AND SHALL REMOVE TRASH FROM THE SITE ON A DAILY BASIS.
12. THE CONTRACTOR SHALL KEEP VEHICULAR ACCESS AREAS CLEAN DURING CONSTRUCTION. VEHICULAR AND OTHER PAVED AREAS SHALL BE WASHED FREE OF MUD ON A WEEKLY BASIS DURING CONSTRUCTION.
13. THE CONTRACTOR SHALL SECURE THE CONSTRUCTION AREA WITH FENCING AT END OF WORKDAY AND WHEN CONTRACTOR IS NOT ON SITE.
14. THE CONTRACTOR SHALL DISTRIBUTE ALL PROJECT MATERIALS AND EQUIPMENT AND DISTRIBUTE ANY STOCKPILES IN SUCH A MANNER AS TO PROTECT EXISTING CONDITIONS, SUCH AS UTILITIES, PAVING, ETC. THE CONTRACTOR SHALL OBTAIN THE PROJECT OFFICER'S APPROVAL FOR ALL CONSTRUCTION ACCESS AREAS, STAGING AND STOCKPILE AREAS PRIOR TO CONSTRUCTION.
15. THE CONTRACTOR SHALL NOT BLOCK STREETS, PARKING AREAS, HOUSE OR DRIVEWAY ENTRANCES DURING CONSTRUCTION WITHOUT THE PROJECT OFFICER'S PERMISSION AND APPROVAL OF ANY RIGHT-OF-WAY PERMITS IF REQUIRED.
16. THE CONTRACTOR SHALL PROMPTLY REPAIR ALL DAMAGE TO EXISTING PAVEMENT, DRIVEWAYS, AND ADJACENT FACILITIES CAUSED BY CONSTRUCTION OPERATIONS. COST OF REPAIRS SHALL BE AT CONTRACTOR'S EXPENSE.
17. CONTRACTOR SHALL REMOVE ALL EXCESS SOIL, TEMPORARY FENCING, EROSION CONTROL MEASURES, STABILIZATION MATERIALS, AND OTHER DEBRIS AND SHALL DISPOSE LEGALLY UPON COMPLETION OF THE PROJECT. CONTRACTOR SHALL THOROUGHLY WASH AND CLEAN ALL PAVED AREAS, WALLS, SITE FURNISHINGS AND FEATURES, ETC. UPON COMPLETION OF THE PROJECT.
18. REFER TO INDIVIDUAL DRAWINGS FOR ADDITIONAL NOTES.
19. ALL CONSTRUCTION WORK FOR THIS PROJECT SHALL CONFORM TO THE ARLINGTON COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES, CONSTRUCTION STANDARDS AND SPECIFICATIONS, AND WHERE APPLICABLE THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) ROAD AND BRIDGE SPECIFICATIONS, AND ROAD AND BRIDGE STANDARDS. THE LATEST EDITIONS OF EACH RELEVANT MANUAL SHALL BE USED.
20. ALL CONSTRUCTION AND WORK ACTIVITIES SHALL COMPLY WITH THE VIRGINIA WORK AREA PROTECTION MANUAL AND ALL OTHER RELEVANT WORK SAFETY REQUIREMENTS, LATEST EDITIONS.
21. THE DEVELOPER OR CONTRACTOR SHALL REMOVE AND REPLACE, TO THE CURRENT ARLINGTON DES STANDARDS AND SPECIFICATIONS, ANY EXISTING ENTRANCES, CURB AND GUTTER OR SIDEWALK ALONG THE FRONTAGE IN POOR CONDITION, OR DAMAGED DURING CONSTRUCTION.
22. THE DEVELOPER OR CONTRACTOR SHALL OBTAIN ARLINGTON COUNTY PERMITS FOR ALL WORK WITHIN THE RIGHT-OF-WAY ALONG THE FRONTAGE OF THIS SITE.
23. THE DEVELOPER OR CONTRACTOR SHALL OBTAIN A PERMIT FROM THE TRANSPORTATION ENGINEERING & OPERATIONS BUREAU PRIOR TO PLACING ANY OBSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY, OR ON SIDEWALKS ALONG THE FRONTAGE OF THIS DEVELOPMENT.

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CONSULTANTS

COMMONWEALTH OF VIRGINIA
CHELSEA M. BISHOP
Lic. No. 50030
PROFESSIONAL ENGINEER
Chelsea Bishop

2700 S NELSON STREET
DECONSTRUCTION

2700 S NELSON STREET
ARLINGTON, VA 22206

MARK	DATE	DESCRIPTION
	8/24/2022	1ST PERMIT SUBMISSION

PROJECT NO:	21-0580.001
SCALE:	N/A
DESIGNED BY:	CMB
DRAWN BY:	JES
CHECKED BY:	CMB

SHEET TITLE

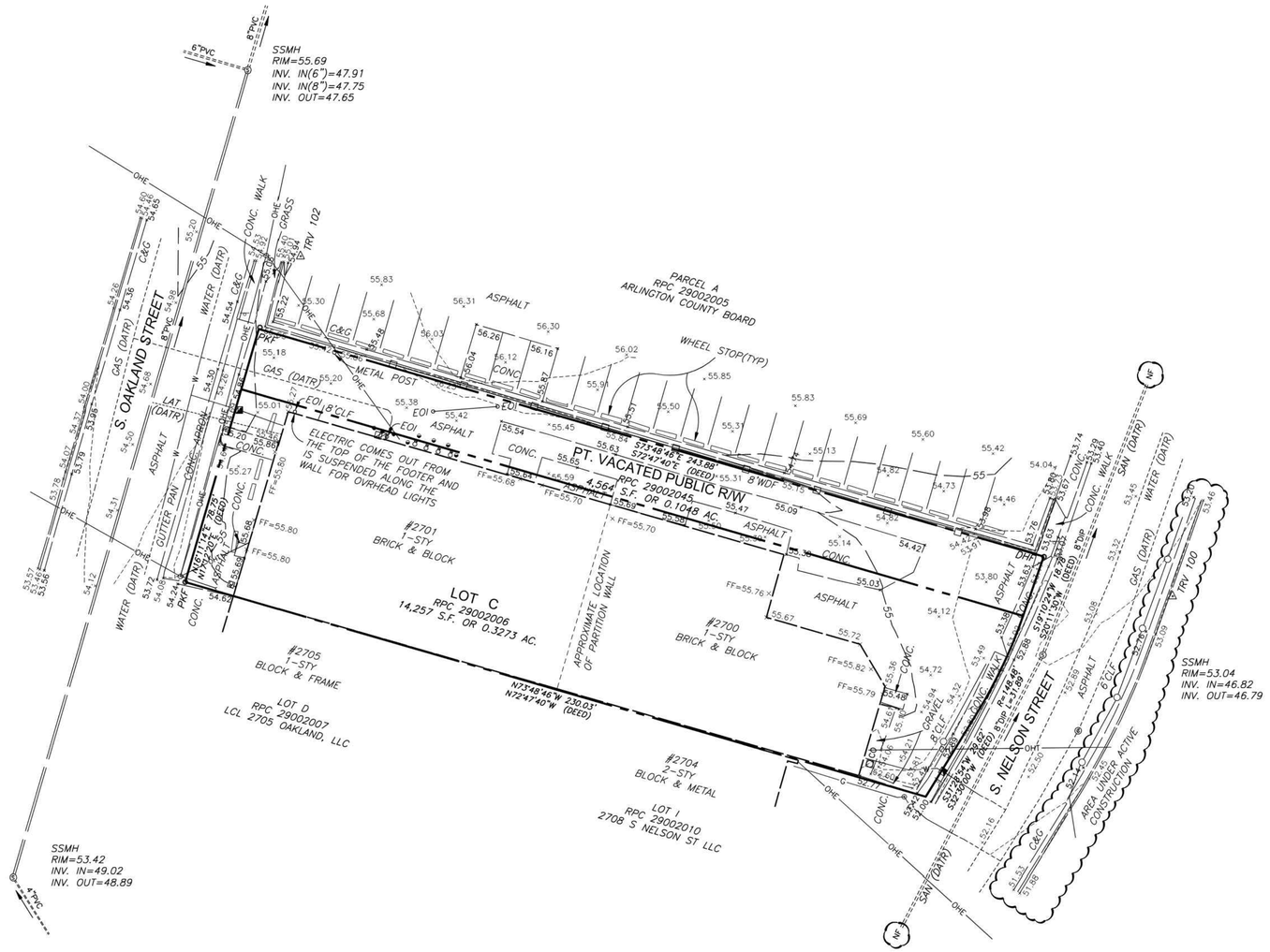
COVER SHEET

C-100

SHEET 01 OF 14

N

VA STATE PLANE NAD 83(2011)



GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

NOTES:

1. HORIZONTAL DATUM: VIRGINIA COORDINATE SYSTEM OF 1983
   VERTICAL DATUM: NAVD 88
2. THE PROPERTY DELINEATED IS IDENTIFIED ON ASSESSMENT MAP AS RPC 29002045 AND 29002006.
3. OWNER: COUNTY BOARD OF ARLINGTON COUNTY VIRGINIA
   2100 CLARENDON BLVD #302 ARLINGTON, VA 22201
4. NO TITLE REPORT HAS BEEN FURNISHED. THIS SURVEY MAY NOT SHOW ALL COVENANTS, RESTRICTIONS, EASEMENTS OR DEDICATION OF RECORD WHICH MAY EXIST IN THE CHAIN OF TITLE.
5. UTILITIES SHOWN ARE BASED ON FIELD INVESTIGATION, VISIBLE FIELD EVIDENCE, AVAILABLE RECORDS, AND LIMITED QUALITY B UTILITY DESIGNATION. UTILITY LOCATIONS SHOWN ARE FOR DESIGN PURPOSES ONLY AND CANNOT BE GUARANTEED. CONTRACTOR/ENGINEER SHOULD DIG TEST PITS BY HAND AT ALL UTILITES CROSSINGS TO VERIFY EXACT LOCATION.
6. UTILITIES LABELED (DATR) ARE SHOWN BASED UPON "DATA ACCORDING TO RECORDS" AND THE LOCATIONS ARE APPROXIMATE. THE FOLLOWING RECORDS WERE USED:
   – SOUTH FOUR MILE RUN DRIVE 20" & 16" WATER MAIN IMPROVEMENTS FROM S SHIRLINGTON ROAD TO GEORGE MASON DRIVE
   – ARLINGTON COUNTY, VIRGINIA SANITARY SEWER SYSTEM MAP 94 NW
7. CONTOUR INTERVAL IS ONE (1) FOOT.
8. TOTAL SITE AREA = 18,821 S.F. OR 0.4321 AC.

TRAVERSE DATA:

NO	NORTHING	EASTING	ELEV	DESCRIPTION
100	6993474.9581	11884846.0194	53.24	SCRIBE "X"
101	6993681.8823	11884855.4028	55.77	BRASS DISK
102	6993576.5364	11884585.6305	55.34	MAG NAIL

LEGEND:

△	TRAVERSE
IPF	IRON PIPE FOUND
PKF	IRON ROD FOUND
DHF	IRON PIPE FOUND
55.31	GROUND SHOT
FF=55.70 ×	FINISHED FLOOR ELEVATION
Ⓢ	SANITARY MANHOLE
	UTILITY POLE
	GUY WIRE ANCHOR
	ELECTRIC METER
	HVAC UNIT
	GAS TEST STATION
	GAS VALVE
	GAS METER
	WATER METER
	WATER VALVE
	BOLLARD
	METAL POST
	MAILBOX
CO	CLEANOUT
C&G	CURB AND GUTTER
	BUILDING WALL
	PARTITION WALL
OHT	OVERHEAD TELEPHONE WIRE
OHE	OVERHEAD ELECTRIC WIRE
UGE	UNDERGROUND ELECTRIC PAINT
G	UNDERGROUND GAS PAINT
W	UNDERGROUND WATER PAINT
UGU	UNKNOWN UNDERGROUND UTILITY PAINT
8'WDF	FENCE (WOOD)
8'CLF	FENCE (CHAIN-LINK)
	PARKING STRIPING
(DATR)	DATA ACCORDING TO RECORD
EOI	END OF DETECTABLE UTILITY INFORMATION
NF	CONNECTING STRUCTURE NOT FOUND

SURVEYOR'S CERTIFICATE:

THE TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF CHARLES J. HUNTLEY JR. FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE DATA WAS OBTAINED ON DECEMBER 10, 2021 FOR 2700 S NELSON STREET AND THAT THIS PLAT, MAP, OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

CHARLES J. HUNTLEY JR., LS

A. MORTON THOMAS & ASSOCIATES, INC.
CONSULTING ENGINEERS
3076 CENTREVILLE ROAD, SUITE 220
HERNDON, VA 20171
PH: 703-817-1373
EMAIL: AMT1@AMTENGINEERING.COM

DATE	DESCRIPTION	APPR
	REVISIONS	

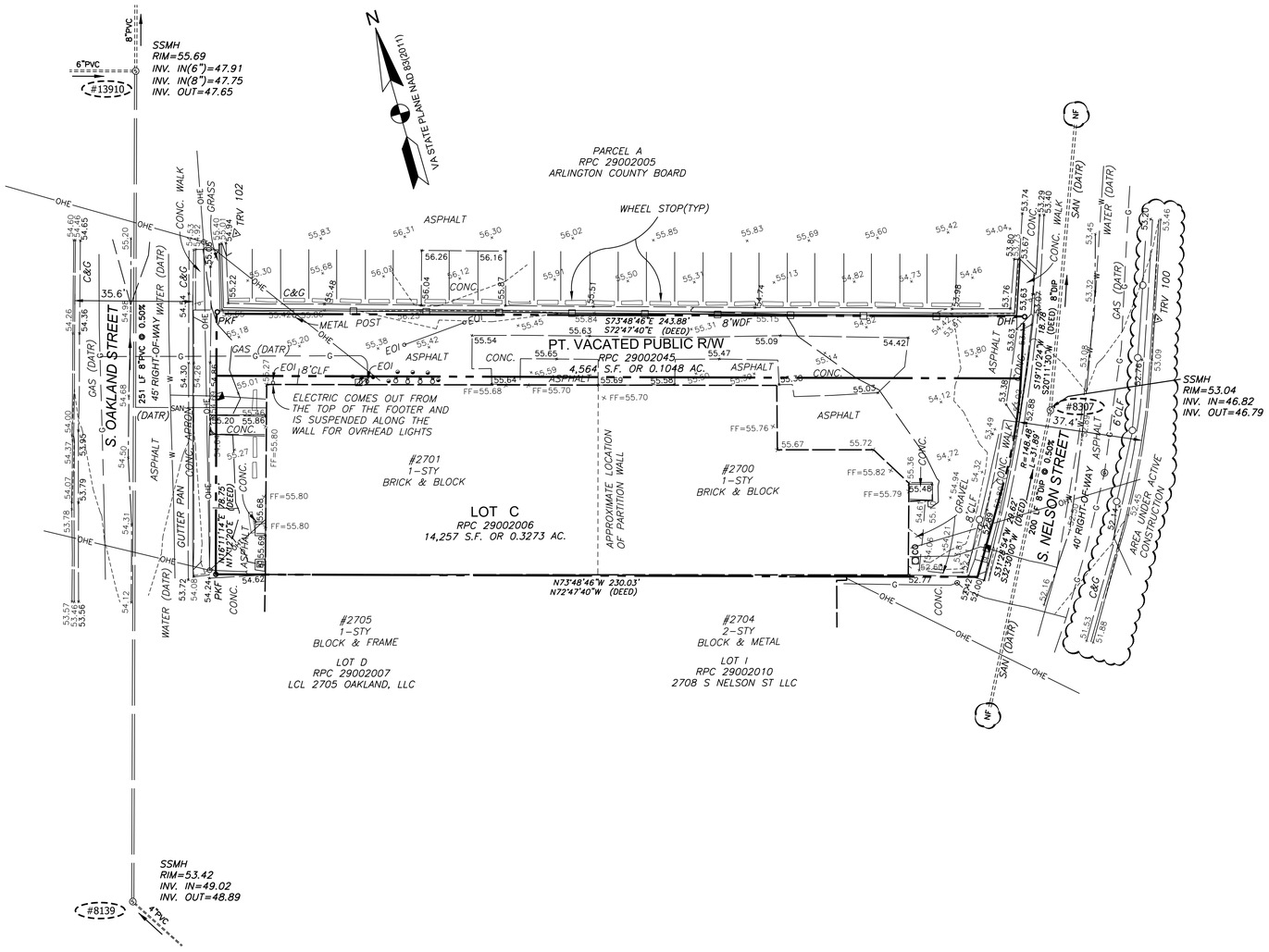
COMMONWEALTH OF VIRGINIA
CHARLES J. HUNTLEY, JR.
Lic. No. 1505-B
01 - 28 - 2022
LAND SURVEYOR

BOUNDARY AND TOPOGRAPHIC SURVEY
OF LOT C, SUBDIVISION OF LOT B
INDUSTRIAL DEVELOPMENT CO. PROPERTY
DEED BOOK 856 PAGE 283
AND THE SOUTHERLY PORTION OF THE VACATION OF A 37.5' RIGHT OF WAY
DEED BOOK 2007 PAGE 1786
BEING THE PROPERTY OF SOUTH OAKLAND STREET, LLC
DEED BOOK 3492 PAGE 1536, DEED BOOK 3607 PAGE 905 (CORRECTED)
ARLINGTON COUNTY, VIRGINIA

DATE:	1-28-2022
SCALE:	1" = 20'
COMP:	CJH
DRAWN:	SJC
CHK:	CMP
FILE NO:	21-0580.001

SHEET
Sheet 1 of 1

C-101



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   2100 CLARENDON BLVD #302 ARLINGTON, VA 22201
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5. THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF CHARLES J. HUNTLEY JR., LS FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE ORIGINAL DATA WAS OBTAINED ON DECEMBER 10, 2021; AND THAT THIS MAP INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.
6. UTILITIES SHOWN ARE BASED ON FIELD INVESTIGATION, VISIBLE FIELD EVIDENCE, AVAILABLE RECORDS, AND LIMITED QUALITY B UTILITY DESIGNATION. UTILITY LOCATIONS SHOWN ARE FOR DESIGN PURPOSES ONLY AND CANNOT BE GUARANTEED. CONTRACTOR/ENGINEER SHOULD DIG TEST PITS BY HAND AT ALL UTILITIES CROSSINGS TO VERIFY EXACT LOCATION.
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   – ARLINGTON COUNTY, VIRGINIA SANITARY SEWER SYSTEM MAP 94 NW
8. CONTOUR INTERVAL IS ONE (1) FOOT.
9. TOTAL SITE AREA = 18,821 S.F. OR 0.4321 AC.

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102	6993576.5364	11884585.6305	55.34	MAG NAIL

LEGEND:

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○ PKF	IRON ROD FOUND
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55.31 ×	GROUND SHOT
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Ⓔ	ELECTRIC METER
▣	HVAC UNIT
Ⓖ	GAS TEST STATION
⊗	GAS VALVE
⊙	GAS METER
◪	WATER METER
◉	WATER VALVE
●	BOLLARD
○	METAL POST
✉	MAILBOX
□CO	CLEANOUT
C&G	CURB AND GUTTER
	BUILDING WALL
	PARTITION WALL
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B'WDF	FENCE (WOOD)
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	PARKING STRIPING
(DATR) G	DATA ACCORDING TO RECORD
○ EOI	END OF DETECTABLE UTILITY INFORMATION
NF	CONNECTING STRUCTURE NOT FOUND
#13910	SANITARY LEGACY #

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

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CONSULTANTS

COMMONWEALTH OF VIRGINIA
CHELSEA M. BISHOP
Lic. No. 50030
PROFESSIONAL ENGINEER

MARK	DATE	DESCRIPTION
	8/24/2022	1ST PERMIT SUBMISSION

2700 S NELSON STREET DECONSTRUCTION

2700 S NELSON STREET
ARLINGTON, VA 22206

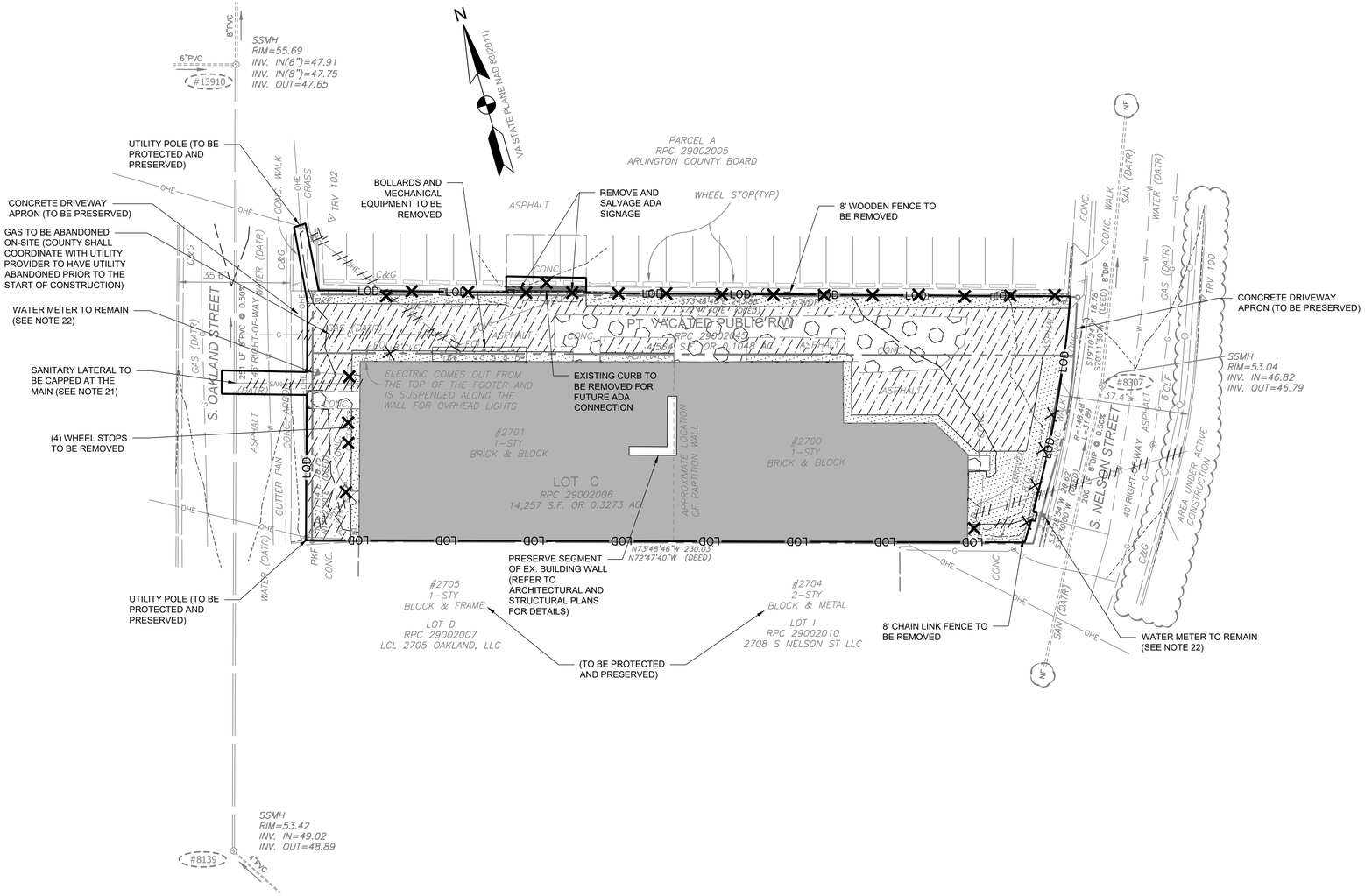
PROJECT NO:	21-0580.001
SCALE:	N/A
DESIGNED BY:	CMB
DRAWN BY:	JES
CHECKED BY:	CMB

SHEET TITLE

EXISTING CONDITIONS PLAN

C-102

SHEET 03 OF 14



DEMOLITION LEGEND

- LOD — LIMITS OF DISTURBANCE
- BUILDING TO BE REMOVED
- ASPHALT MILL AND OVERLAY
- ASPHALT TO BE REMOVED
- CONCRETE PAVEMENT TO BE REMOVED
- CURB AND GUTTER TO BE REMOVED
- UTILITY LINE TO BE ABANDONED IN PLACE
- UTILITY LINE TO BE REMOVED
- SITE FEATURE TO BE REMOVED
- FENCE TO BE REMOVED

DEMOLITION NOTES

1. LOCATION OF ALL UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY AND DETERMINE THE EXACT LOCATION AND DEPTH OF ALL UTILITIES WITHIN THE LIMIT OF DISTURBANCE PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCY TO THE PROJECT OFFICER. THE CONTRACTOR SHALL CONTACT MISS UTILITY AT 811 A MINIMUM OF 72 HOURS PRIOR TO ANY EXCAVATION TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.
2. THE DEMOLITION PLAN IS A GENERAL GUIDE OF WHAT ITEMS NEED TO DEMOLISHED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ALL ITEMS THAT REQUIRED DEMOLITION TO COMPLETE THE PROPOSED CONSTRUCTION. REFER TO THE SEQUENCE OF CONSTRUCTION ON SHEET C-106 FOR ADDITIONAL NOTES RELATED TO DEMOLITION.
3. CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING STRUCTURES, UTILITIES, AND FEATURES NOT SCHEDULED FOR DEMOLITION AND/OR CONSTRUCTION FROM DAMAGE DUE TO DEMOLITION PROCEDURES. ANY RESULTING DAMAGE SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE PROJECT OFFICER.
4. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR SAFETY AND SECURITY AT THE PROJECT SITE FOR THE DURATION OF THE CONTRACT.
5. CONTRACTOR SHALL COORDINATE WITH THE PROJECT OFFICER TO IDENTIFY ANY NECESSARY STAGING/STORAGE AREAS. PROPOSED STAGING AND STORAGE AREAS SHALL BE REVIEWED AND APPROVED BY THE PROJECT OFFICER, AND THE LIMITS OF WORK WILL BE ADJUSTED ACCORDINGLY.
6. ANY STOCKPILING, REGARDLESS OF LOCATION ON SITE, SHALL BE STABILIZED IMMEDIATELY AFTER ITS ESTABLISHMENT AND FOR THE DURATION OF THE PROJECT. STOCKPILES SHALL BE CONTAINED BY STRAW BALES OR EROSION CONTROL FENCING AND COVERED WITH PLASTIC OR CANVAS AT THE END OF EACH WORK DAY FOR THE DURATION OF THE PROJECT. MAXIMUM SIDE SLOPES OF MATERIAL STOCKPILES SHALL BE 3:1.
7. TEMPORARY CONSTRUCTION FENCING SHALL BE ERECTED AS SHOWN ON THE PLANS PRIOR TO BEGINNING CONSTRUCTION OPERATIONS AND MAINTAINED UNTIL COMPLETION OF PROJECT.
8. CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT '811' OR (800) 552-7001, 72 HOURS PRIOR TO START OF ANY EXCAVATION OR CONSTRUCTION FOR THE MARKING OF EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR IS REQUIRED TO IDENTIFY AND PROTECT ALL OTHER UTILITY LINES FOUND IN THE WORK SITE AREA BELONGING TO OTHER OWNERS THAT ARE NOT MEMBERS OF "MISS UTILITY". PRIVATE WATER, SEWER AND GAS LATERALS WILL NOT BE MARKED BY MISS UTILITY OR THE COUNTY. THE CONTRACTOR SHALL LOCATE AND PROTECT THESE SERVICES DURING CONSTRUCTION.
9. DEMOLITION STAGE EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO DEMOLITION.
10. ALL MATERIAL FROM DEMOLITION NOT IDENTIFIED FOR REUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH APPROPRIATE REGULATIONS.
11. ALL PAVEMENT REMOVED SHALL BE DONE SUCH THAT REMAINING PAVEMENT IS LEFT WITH CLEAN STRAIGHT EDGE. CONCRETE PAVEMENT/ CURBING SHALL BE REMOVED TO THE NEAREST JOINT.
12. EXISTING PAVEMENT SHALL BE SAW CUT WHEN NEXT TO REMAINING PAVEMENT BEFORE REMOVAL. ALL SAW CUTS SHALL BE STRAIGHT, EVEN CUTS; JAGGED CUTS WILL NOT BE PERMITTED.
13. CONCRETE REMOVAL: SHALL INCLUDE CONCRETE, STEEL REINFORCEMENT, AND GRAVEL BASE WHERE NO PROPOSED CONCRETE.
14. ASPHALT REMOVAL FOR STABILIZED CONSTRUCTION ENTRANCE SHALL INCLUDE SURFACE AND BASE MATERIALS. SUBBASE MATERIAL SHALL REMAIN.
15. CONTRACTOR SHALL PROVIDE EXISTING DAMAGE PHOTOS PRIOR TO MOBILIZING OR PERFORMING ANY WORK. LOCATIONS OF PICTURES TO BE RECORDED ON THIS SHEET.
16. TO PREVENT DAMAGES OUTSIDE THE LIMITS OF DISTURBANCE, NO AREAS OUTSIDE THE LOD SHALL BE USED FOR STAGING OR STORAGE.
17. UPON COMPLETION OF THE PROJECT, ALL EXCESS SOIL, TEMPORARY FENCING, EROSION CONTROL MEASURES, STABILIZATION MATERIALS, AND OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY. ALL PAVED AREAS, WALLS, ETC. SHALL BE THOROUGHLY WASHED AND CLEANED UPON COMPLETION OF THE PROJECT.
18. CONTRACTOR MAY USE EXISTING SITE PAVING AS A STAGING AREA DURING DEMOLITION.
19. CONTRACTOR SHALL PROTECT EXISTING UTILITY POLES AND OVERHEAD LINES TO REMAIN THROUGHOUT CONSTRUCTION. ANY DAMAGE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
20. COUNTY WILL COORDINATE WITH THE UTILITY PROVIDER FOR THE DISCONNECTION AND REMOVAL OF OVERHEAD UTILITY LINES PRIOR TO COMMENCING WORK.
21. COUNTY WILL CAP OFF SEWER LATERAL AT THE MAIN. VERIFICATION BY COUNTY INSPECTOR WILL BE COMPLETED PRIOR TO THE START OF THE PROJECT.
22. EXISTING MANHOLE FRAMES, COVERS, VALVE BOXES, AND OTHER APPURTENANCES SHALL BE ADJUSTED TO THE FINAL GRADE OR REPLACED, AS NECESSARY. UNLESS OTHERWISE SPECIFIED, THE COST FOR THIS SHALL BE CONSIDERED INCIDENTAL TO THE WORK, AND SHALL BE INCORPORATED INTO THE COSTS FOR RELEVANT ITEMS.
23. DISCONNECT LETTERS FOR APPLICABLE UTILITIES WILL BE PROVIDED PRIOR TO PERMIT APPROVAL.

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

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2700 S NELSON STREET DECONSTRUCTION

2700 S NELSON STREET
ARLINGTON, VA 22206

MARK	DATE	DESCRIPTION
	8/24/2022	1ST PERMIT SUBMISSION

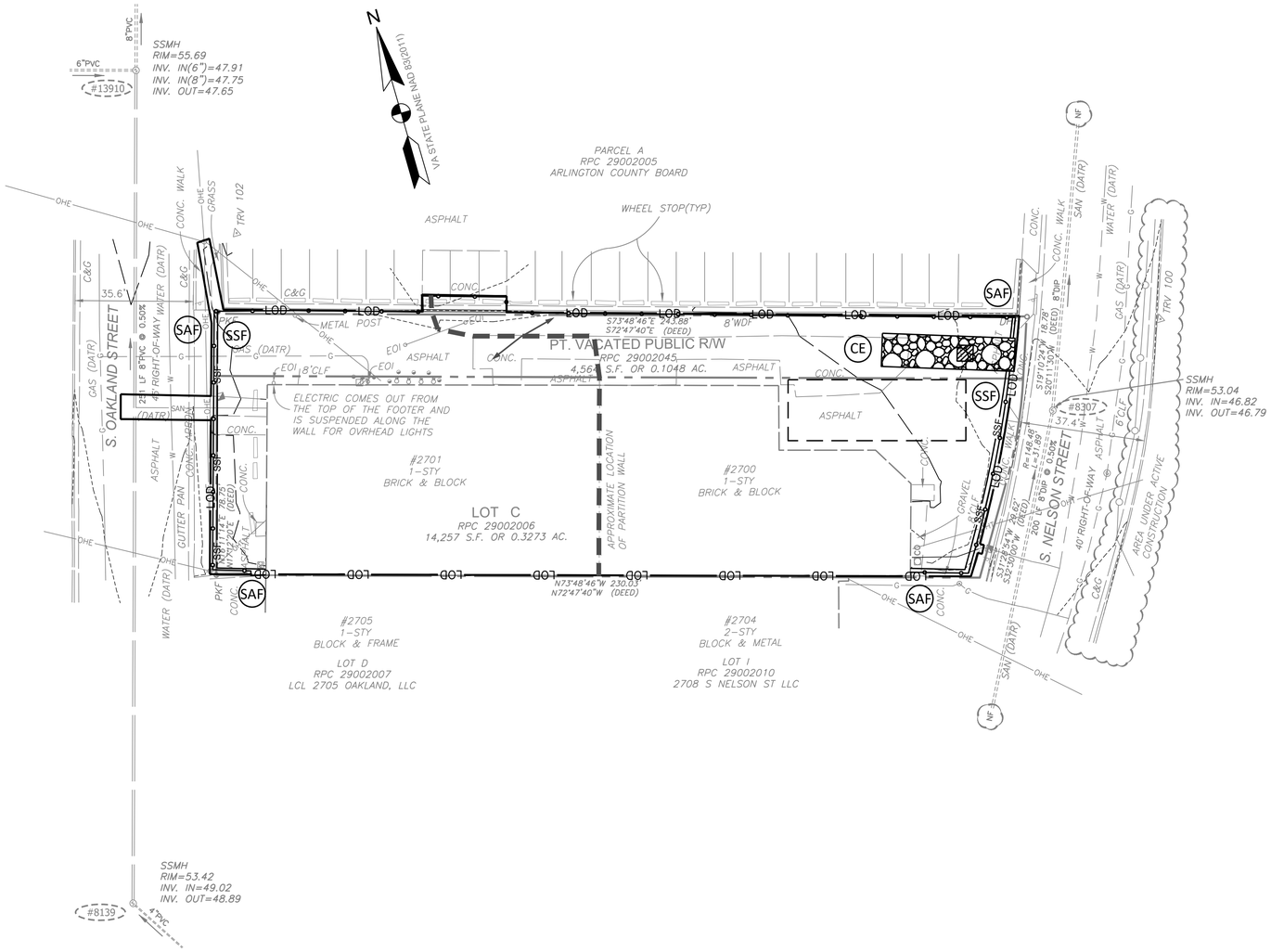
PROJECT NO:	21-0580.001
SCALE:	N/A
DESIGNED BY:	CMB
DRAWN BY:	JES
CHECKED BY:	CMB

SHEET TITLE

DEMOLITION PLAN

C-103

SHEET 04 OF 14



EROSION AND SEDIMENT CONTROL PLAN LEGEND

NO.	KEY	SYMBOL	DESCRIPTION
			PROPERTY LINE
		LOD	LIMITS OF DISTURBANCE
3.05	SSF	SSF	SUPER SILT FENCE
3.02	CE		MODIFIED 10' x 40' STONE CONSTRUCTION ENTRANCE WITH WASH RACK
3.01	SAF		6' CHAIN LINK SAFETY FENCE
			GRAVEL STOCKPILE AREA
			DRAINAGE DIVIDE

NOTE: WHERE BOTH SUPER SILT FENCE AND CHAIN LINK SAFETY FENCE ARE SHOWN, THE FILTER FABRIC SHALL BE ADHERED DIRECTLY TO THE SAFETY FENCE.

GRAPHIC SCALE

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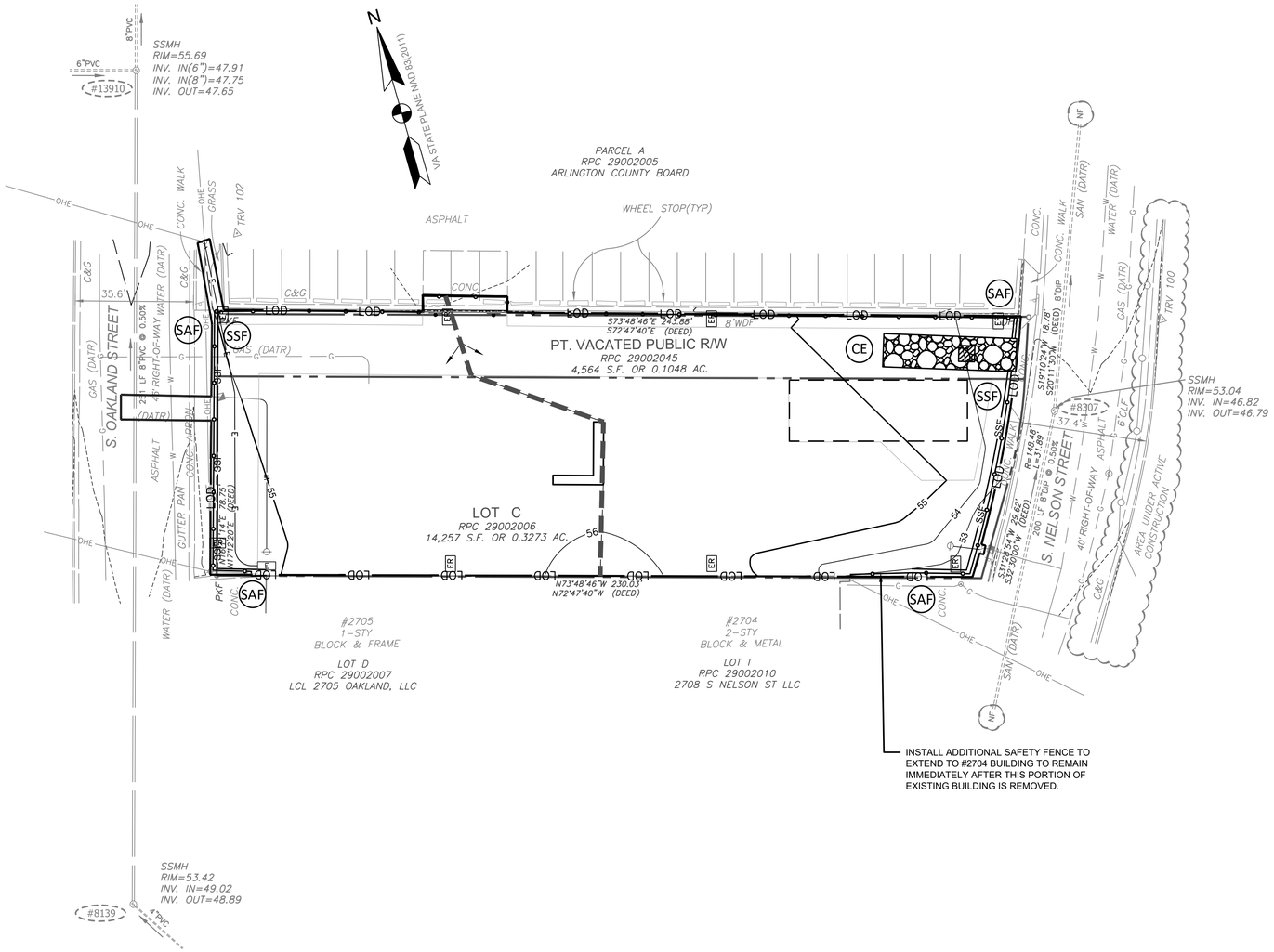
DRAWN BY:	JES
CHECKED BY:	CMB

SHEET TITLE

EROSION & SEDIMENT CONTROL PLAN - PHASE 1

C-104

SHEET 05 OF 14



EROSION AND SEDIMENT CONTROL PLAN LEGEND

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			GRAVEL STOCKPILE AREA
			DRAINAGE DIVIDE
		55	PROPOSED MAJOR CONTOUR
		54	PROPOSED MINOR CONTOUR

NOTE: WHERE BOTH SUPER SILT FENCE AND CHAIN LINK SAFETY FENCE ARE SHOWN, THE FILTER FABRIC SHALL BE ADHERED DIRECTLY TO THE SAFETY FENCE.

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	8/24/2022	1ST PERMIT SUBMISSION

PROJECT NO:	21-0580.001
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DESIGNED BY:	CMB
DRAWN BY:	JES
CHECKED BY:	CMB

SHEET TITLE

EROSION & SEDIMENT CONTROL PLAN - PHASE 2

C-105

SHEET 06 OF 14

EROSION AND SEDIMENT CONTROL NARRATIVE

PROJECT DESCRIPTION
DEMOLITION OF THE INDUSTRIAL BUILDING AND ASSOCIATED UTILITIES. SITE IMPROVEMENTS INCLUDE VEGETATIVE STABILIZATION.

TOTAL SITE AREA: 0.4321 ACRES (18,821 SF)
AREA OF DISTURBANCE: 0.4412 ACRES (19,219 SF)

EXISTING SITE CONDITIONS
EXISTING SLOPES: 0-14%

ADJACENT PROPERTIES
NORTH: THEATRE ON THE RUN
EAST: JENNIE DEAN PARK
SOUTH: STORQUEST SELF STORAGE
WEST: AUTOMOTIVE EXPRESS

OFF-SITE AREAS
THERE IS NO PROPOSED CONSTRUCTION ON ADJACENT PROPERTIES.

SOILS
URBAN LAND-UDORTHENTS COMPLEX, 2 TO 15 PERCENT SLOPES;

THE SITE CONSISTS OF URBAN LAND-UDORTHENTS COMPLEX SOIL WHICH IS A HYDROLOGIC GROUP D SOIL.

CRITICAL EROSION AREAS
THERE ARE NO CRITICAL EROSION AREAS ON THE SITE.

EROSION AND SEDIMENT CONTROL MEASURES
PERMANENT OR TEMPORARY SOIL STABILIZATION MUST BE APPLIED TO DENUDED AREAS WITHIN 7 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION MUST BE APPLIED WITHIN 7 DAYS TO DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 14 DAYS. ANY STOCKPILES MUST BE MULCHED AND SEEDED IMMEDIATELY AS DIRECTED BY THE COUNTY INSPECTOR.

ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER TEMPORARY MEASURES ARE NO LONGER NEEDED.

STRUCTURAL PRACTICES

CHAIN LINK SAFETY FENCE - 3.01
SAFETY FENCE SHOULD BE INSTALLED TO CREATE A BARRIER TO UNDESIRED SITE ACCESS WHILE ALLOWING FOR THE CONTINUATION OF NECESSARY CONSTRUCTION OPERATIONS.

CONSTRUCTION ENTRANCE - 3.02
INSTALL A TEMPORARY CONSTRUCTION ENTRANCE WITH A WASH RACK. WASH ALL CONSTRUCTION VEHICLES LEAVING THE SITE AS NECESSARY TO ENSURE THAT SEDIMENT WILL NOT LEAVE THE SITE. DIRECT WASH WATER TO NEAREST SEDIMENT CONTROL DEVICE.

SUPER SILT FENCE - 3.05
INSTALL SUPER SILT FENCE BARRIER DOWNSLOPE OF AREAS WITH MINIMAL GRADES TO FILTER SEDIMENT-LADEN RUNOFF FROM SHEET FLOW. WHERE SUPER SILT FENCE IS SHOWN ADJACENT TO SAFETY FENCE, ADHERE SUPER SILT FABRIC DIRECTLY TO SAFETY FENCE.

VEGETATIVE MEASURES

1. TOPSOILING (STOCKPILE)
TOPSOIL WILL BE STRIPPED FROM AREAS TO BE GRADED AND STOCKPILED FOR LATER USE. STOCKPILE LOCATIONS ARE TO BE STABILIZED WITH TEMPORARY VEGETATION WITHIN 14 DAYS.

2. TEMPORARY SEEDING
DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE WITHIN A PERIOD OF 14 DAYS WILL HAVE TEMPORARY VEGETATION ESTABLISHED. TEMPORARY VEGETATION WILL REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AND OFF-SITE AREAS. TEMPORARY SEEDING PLANT MATERIAL SHALL BE RAPIDLY GROWING PLANTS SELECTED FROM VESCH STANDARD AND SPEC. 3.31 AND TABLE 3.31-A&B. AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER ADEQUATE TO PREVENT RILL EROSION ARE TO BE RESEEDED AS SOON AS POSSIBLE. FERTILIZER SHALL BE APPLIED AT A RATE OF 600 LBS. PER ACRE. FERTILIZER SHALL BE INCORPORATED INTO TOP 2-4 INCHES OF SOIL. SEED SHALL BE EVENLY APPLIED AND SMALL GRAINS SHALL BE PLANTED NO MORE THAN 1.5 INCHES DEEP. SEEDING MADE IN FALL FOR WINTER COVER AND DURING HOT AND DRY SUMMER MONTHS SHALL BE MULCHED ACCORDING TO SPEC 3.35.

3. PERMANENT SEEDING
IF SEEDING IS BEING USED, ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISHED GRADING. SEEDING SHALL BE DONE WITH TALL FESCUE ACCORDING TO MINIMUM STANDARD #3, VESCH SPEC. 3.32-A&B. EROSION CONTROL BLANKETS ARE TO BE INSTALLED OVER FILL SLOPES, WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND HAVE BEEN SEEDED. THIS WILL PROTECT THE SLOPES FROM RILL AND GULLY EROSION AND ALLOW THE SEED TO GERMINATE PROPERLY. MULCH (STRAW OR FIBER) WILL BE USED ON RELATIVELY FLAT AREAS ACCORDING TO SPEC. 3.35. IN ALL SEEDING OPERATIONS, SEED, FERTILIZER AND LIME WILL BE APPLIED PRIOR TO MULCHING. SOIL TESTS SHOULD BE USED TO DETERMINE THE EXACT REQUIREMENTS FOR LIME AND FERTILIZER. THE PLANTING SOIL MUST HAVE ENOUGH FINE GRAINED SOIL, SUFFICIENT PORE SPACE, SUFFICIENT DEPTH AND BE FREE FROM TOXIC OR EXCESSIVE QUANTITIES OF ROOTS AND SHALL BE APPLIED IN ACCORDANCE WITH STD. 3.30.

5. SODDING
IF SOD IS BEING USED, AREAS THAT ARE TO BE SODDED SHALL BE BROUGHT TO FINAL GRADE IN ACCORDANCE WITH THE PLANS. SOIL TESTS SHOULD BE USED TO DETERMINE THE EXACT REQUIREMENTS FOR LIME AND FERTILIZER. PRIOR TO LAYING SOD, SOIL SURFACE SHALL BE CLEAR OF TRASH, DEBRIS, AND LARGE OBJECTS. QUALITY OF SOD SHALL BE STATE CERTIFIED AND ENSURE GENETIC PURITY AND HIGH QUALITY. SOD SHALL NOT BE LAID IN EXCESSIVELY WET OR DRY WEATHER AND BE DELIVERED AND INSTALLED WITHIN 24 HOURS. SOD SHOULD NOT BE LAID ON FROZEN SOIL SURFACE AND SHALL BE INSTALLED PER PLATE 3.33-1 OF THE VESCH.

6. DUST CONTROL
DUST SHALL BE MINIMIZED AS MUCH AS PRACTICABLE.

SEDIMENT CONTROL - SEQUENCE OF CONSTRUCTION NARRATIVE

SEQUENCE OF CONSTRUCTION (SEE SHEETS C-104 AND C-105)
A. INSTALL TEMPORARY STONE CONSTRUCTION ENTRANCE (CE), SAFETY FENCE (SAF), AND SUPER SILT FENCE (SFF). THE WOOD FENCE ON THE NORTH EDGE OF THE PROPERTY WILL NEED TO BE REMOVED TO INSTALL THE SAFETY FENCE.
B. CONTRACTOR TO HAVE CONSTRUCTION WORKER PARKING, HAUL ROUTE, AND EXCAVATION PROTECTION PLAN APPROVED BY ARLINGTON COUNTY.
C. CONTRACTOR TO SUBMIT SEDIMENT DISPOSAL PLAN TO ARLINGTON COUNTY INSPECTOR FOR APPROVAL.
D. DEMOLISH EXISTING BUILDING, DRIVEWAY, CHAIN LINK FENCE, BOLLARDS, CURB AND GUTTER, AND ASSOCIATED PAVING MARKED FOR FULL-DEPTH REMOVAL. MILL ASPHALT PAVEMENT WHERE INDICATED. APPROXIMATELY 50 CUBIC YARDS OF SALVAGED GRAVEL FROM BUILDING DEMOLITION SHALL BE STORED WHERE INDICATED ON C-104 AND C-105.
E. RESTORE AND STABILIZE ALL UNPAVED AREAS. THIS WORK MUST BE PERFORMED AND INSPECTED AS EARLY AS SITE CONDITIONS ALLOW. INSTALL NEW ASPHALT PAVEMENT WHERE INDICATED AND COORDINATE SURFACE COURSE WITH OVERLAY OF ADJACENT REMAINING ASPHALT AREAS.
F. STRUCTURAL CONTROLS SHALL BE REMOVED AND THE GROUND PERMANENTLY STABILIZED WITH VEGETATION UPON APPROVAL OF THE ARLINGTON COUNTY INSPECTOR.

MAINTENANCE
A. ALL CONTROLS ARE TO BE INSPECTED ON A DAILY BASIS BY THE SITE SUPERINTENDENT OR HIS REPRESENTATIVE, ANY DAMAGED CONTROLS ARE TO BE REPAIRED BY THE END OF THE WORKING DAY.
B. ALL CONSTRUCTION VEHICLES EGRESSING FROM THE SITE SHALL BE WASHED AS NECESSARY TO INSURE THAT SEDIMENT WILL NOT BE REMOVED FROM THE SITE. WASH WATER TO BE TRUCKED INTO THE SITE OR OBTAINED FROM A METERED WATER CONNECTION. WASH WATER TO BE DIRECTED TO A SEDIMENT TRAPPING DEVICE.
C. TO PREVENT CLOGGING, AREA DRAINS & TRENCH DRAINS ARE TO BE PROTECTED FROM DEBRIS AND CONSTRUCTION MATERIAL. CONTRACTOR TO COORDINATE WITH SITE INSPECTOR TO DETERMINE METHODOLOGY OF PROTECTION.

PRE-STORM EROSION AND SEDIMENT CONTROL CHECKLIST
PER EROSION AND SEDIMENT CONTROL GENERAL NOTE 6, THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ANY ADDITIONAL EROSION AND SEDIMENT CONTROL (ESC) MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE COUNTY. THESE SUPPLEMENTARY PRACTICES ARE IN ADDITION TO THOSE SHOWN IN AN ESC PLAN. ESC PRACTICES SHALL BE MODIFIED AS NEEDED TO ENSURE ONLY CLEAR WATER IS DISCHARGED FROM THE SITE.

THE FOLLOWING ACTIONS SHALL BE TAKEN PRIOR TO STORM EVENTS WITH PREDICTED HEAVY AND/OR LARGE VOLUME RAINFALL TO PREVENT SEDIMENT DISCHARGES FROM A CONSTRUCTION SITE. A TYPICAL SUMMER THUNDERSTORM IS AN EXAMPLE OF A STORM EVENT WITH PREDICTED HEAVY AND/OR LARGE VOLUME RAINFALL.

INLET PROTECTION
□ INLET PROTECTION CONTROLS SHALL BE INSPECTED TO ENSURE THEY ARE FUNCTIONING PROPERLY AND FLOODING WILL NOT OCCUR. CLOGGED OR DAMAGED CONTROLS MUST BE REPLACED IMMEDIATELY. ENSURE CONTROLS ALLOW FOR OVERFLOW / BYPASS OF STORMWATER RUNOFF DURING SIGNIFICANT STORM EVENTS.
IN ADDITION TO THESE PRE-STORM ACTIONS, ALL EROSION AND SEDIMENT CONTROL (ESC) MEASURES MUST BE CHECKED DAILY AND AFTER EACH SIGNIFICANT RAINFALL.

PERIMETER CONTROLS
□ SILT FENCE SHALL BE CHECKED FOR UNDERMINING, HOLES, OR DETERIORATION OF THE FABRIC. FENCING SHALL BE REPLACED IMMEDIATELY IF THE FABRIC IS DAMAGED OR WORN. SILT FENCE MUST BE TRENCHED INTO THE GROUND PER STATE SPECIFICATIONS (STD & SPEC 3.09).
□ WOODEN STAKES OR STEEL POSTS SHALL BE PROPERLY SECURED UPRIGHT INTO THE GROUND. DAMAGED POSTS OR STAKES MUST BE REPLACED.
□ SEDIMENT THAT HAS ACCUMULATED AGAINST THE SILT FENCE SHOULD BE REMOVED. ACCUMULATED SEDIMENT MUST BE REMOVED WHEN THE LEVEL REACHES ONE-HALF THE HEIGHT OF THE FENCING.
□ HAY BALES OR A STONE BERM SHOULD BE PLACED ACROSS THE CONSTRUCTION ENTRANCE TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE.

EXPOSED SLOPES AND SOIL
□ EXPOSED SLOPES NOT AT THE FINAL STABILIZATION PHASE SHALL BE COVERED WITH TARPS, PLASTIC SHEETING, OR EROSION CONTROL MATTING. COVERING MATERIAL SHALL BE PROPERLY SECURED/ANCHORED.
□ CONTROLS SHALL BE INSTALLED TO PREVENT CONCENTRATED FLOW DOWN AN EXPOSED SLOPE. BERMS OR DIVERSION DIKES SHALL BE INSTALLED AT THE TOP OF CUT / EXPOSED SLOPES TO DIRECT STORM FLOW AROUND THE DISTURBED AREA.
□ EXPOSED SLOPES AT THE FINAL STABILIZATION PHASE SHALL BE STABILIZED USING SLOPE STABILIZATION PRACTICES SUCH AS SOIL STABILIZATION BLANKETS OR MATTING AS SPECIFIED IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (VESCH) STD & SPEC 3.36. BLANKETS OR MATS MUST BE PROPERLY SECURED AND ANCHORED TO THE SLOPE USING STAPLES, PINS, OR STAKES
□ SEEDED AREAS SHALL BE CHECKED AND RESEEDED AS NECESSARY TO COVER EXPOSED SOIL. RECENTLY SEEDED AREAS SHALL BE PROTECTED BY STRAW OR SOIL STABILIZATION BLANKETS TO PREVENT SEEDING FROM BEING WASHED AWAY.

STOCKPILES
□ STOCKPILED SOIL AND OTHER LOOSE MATERIALS THAT CAN BE WASHED AWAY SHALL BE COVERED WITH A TARP, PLASTIC SHEETING, OR OTHER STABILIZATION MATTING. THE COVER MUST BE PROPERLY SECURED/ANCHORED DOWN TO PREVENT IT FROM BEING BLOWN OFF AND EXPOSING MATERIALS TO RAIN. CONTROLS SUCH AS HAY BALES OR BOOMS SHOULD BE PLACED ALONG THE PERIMETER OF THE STOCK PILE (DOWNHILL SIDE). STOCKPILED AREAS SHALL NOT EXCEED A SIDESLOPE OF 3:1.

SPECIES	APPLICATION PER ACRE
Harpoon Hard Fescue	19.65%
Eugene Creeping Red Fescue	14.75%
Carmen Chewings Fescue	14.70%
Dakota Tall Fescue	9.83%
Frontier Perennial Ryegrass	9.82%
Deepblue Kentucky Bluegrass	9.80%
Sheep Fescue	9.80%
Boreal Creeping Red Fescue	9.80%
Inert Matter	1.77%
Other Crop Seed	0.05%
Weed Seed	0.03%

GENERAL LAND CONSERVATION NOTES

1. NO DISTURBED AREA WILL REMAIN DENUDED FOR MORE THAN 7 CALENDAR DAYS UNLESS OTHERWISE AUTHORIZED BY THE DIRECTOR OR HIS AGENT.
2. ALL EROSION CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING. FIRST AREAS TO BE CLEARED ARE TO BE THOSE REQUIRED FOR THE PERIMETER CONTROLS.
3. ALL STORM AND SANITARY SEWER LINES NOT IN STREET ARE TO BE MULCHED AND SEEDED WITHIN 5 DAYS AFTER BACKFILL. NO MORE THAN 500 FEET ARE TO BE OPEN AT ANY ONE TIME
4. ELECTRIC POWER, TELEPHONE AND GAS SUPPLY TRENCHED ARE TO BE COMPACTED, SEEDED AND MULCH WITHIN 5 DAYS OF BACKFILL.
5. ALL TEMPORARY BERMS, DIVERSION AND SEDIMENT CONTROL DAMS ARE TO BE MULCHED AND SEEDED FOR TEMPORARY VEGETATIVE COVER IMMEDIATELY AFTER GRADING. STRAW OR HAY MULCH IS REQUIRED. THE SAME APPLIES TO ALL SOIL STOCKPILE
6. DURING CONSTRUCTION, ALL STORM INLETS WILL BE PROTECTED BY INLET PROTECTION DEVICES, MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS.
7. ANY DISTURBED AREA NOT COVERED IN NOTE # 1 ABOVE AND NOT PAVED, SODDED OR BUILT UPON BY NOVEMBER 1ST, OR DISTURBED AFTER THAT DATE, SHALL BE MULCHED WITH HAY OR STRAW AT THE RATE OF 2 TONS PER ACRE AND OVER-SEEDED NO LATER THAN MAY 15TH.
8. AT THE COMPLETION OF THE CONSTRUCTION PROJECT AND PRIOR TO BOND RELEASE, ALL TEMPORARY SEDIMENT CONTROLS SHALL BE REMOVED AND ALL DENUDED AREAS SHALL BE STABILIZED. ARLINGTON COUNTY INSPECTOR TO APPROVE REMOVAL OF ALL TEMPORARY SILTATION MEASURES.

EROSION AND SEDIMENT CONTROL NOTES

ES-1: UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA'S REGULATIONS 4VAC50-30 EROSION AND SEDIMENT CONTROL REGULATIONS.
ES-2: THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
ES-3: ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
ES-4: A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
ES-5: PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.
ES-6: THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
ES-7: ALL DISTURBED AREA ARE TO BE DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
ES-8: DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO AN APPROVED FILTERING DEVICE.
ES-9: THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.

NON-STORMWATER DISCHARGE PER ARLINGTON COUNTY

ONLY THE FOLLOWING NON-STORMWATER DISCHARGES ARE AUTHORIZED BY ARLINGTON COUNTY'S MS4 PERMIT, UNLESS THE STATE WATER CONTROL BOARD, THE VIRGINIA SOIL AND WATER CONSERVATION BOARD (BOARD), OR ARLINGTON COUNTY DETERMINES THE DISCHARGE TO BE A SIGNIFICANT SOURCE OF POLLUTANTS TO SURFACE WATERS:

WATER LINE FLUSHING; LANDSCAPE IRRIGATION; DIVERTED STREAM FLOWS; RISING GROUND WATERS; UNCONTAMINATED GROUND WATER INFILTRATION (AS DEFINED AT 40 CFR 35.2005(20)); UNCONTAMINATED PUMPED GROUND WATER; DISCHARGES FROM POTABLE WATER SOURCES; FOUNDATION DRAINS; AIR CONDITIONING CONDENSATION; IRRIGATION WATER; SPRINGS; WATER FROM CRAWL SPACE PUMPS; FOOTING DRAINS; LAWN WATERING; INDIVIDUAL RESIDENTIAL CAR WASHING; FLOWS FROM RIPARIAN HABITATS AND WETLANDS; DECHLORINATED SWIMMING POOL DISCHARGES; DISCHARGES OR FLOWS FROM FIRE FIGHTING; AND, OTHER ACTIVITIES GENERATING DISCHARGES IDENTIFIED BY THE DEPARTMENT OF ENVIRONMENTAL QUALITY AS NOT REQUIRING VPDES AUTHORIZATION.

APPROPRIATE CONTROLS MUST BE IMPLEMENTED TO PREVENT ANY NON-STORMWATER DISCHARGES NOT INCLUDED ON THE ABOVE LIST (E.G., CONCRETE WASH WATER, PAINT WASH WATER, VEHICLE WASH WATER, DETERGENT WASH WATER, ETC.) FROM BEING DISCHARGED INTO ARLINGTON COUNTY'S MS4 SYSTEM, WHICH INCLUDES THE CURB AND GUTTER SYSTEM, AS WELL AS CATCH BASINS AND OTHER STORM DRAIN INLETS, OR STREAM NETWORK.

PER CHAPTER 26 OF THE ARLINGTON COUNTY CODE, IT SHALL BE UNLAWFUL FOR ANY PERSON TO DISCHARGE DIRECTLY OR INDIRECTLY INTO THE STORM SEWER SYSTEM OR STATE WATERS, ANY SUBSTANCE LIKELY, IN THE OPINION OF THE COUNTY MANAGER, TO HAVE AN ADVERSE EFFECT ON THE STORM SEWER SYSTEM OR STATE WATERS.

TABLE 3.31-B
(Revised June 2003)
TEMPORARY SEEDING SPECIFICATIONS
QUICK REFERENCE FOR ALL REGIONS

SEED

APPLICATION DATES	SPECIES	APPLICATION RATES
Sept. 1 - Feb. 15	50/50 Mix of Annual Ryegrass (lolium multi-florum) & Cereal (Winter) Rye (Secale cereale)	50 -100 (lbs/acre)
Feb. 16 - Apr. 30	Annual Ryegrass (lolium multi-florum)	60 - 100 (lbs/acre)
May 1 - Aug. 31	German Millet	50 (lbs/acre)

FERTILIZER & LIME

- Apply 10-10-10 **fertilizer** at a rate of 450 lbs. / acre (or 10 lbs. / 1,000 sq. ft.)
- Apply **Pulverized Agricultural Limestone** at a rate of 2 tons/acre (or 90 lbs. / 1,000 sq. ft.)

NOTE:
1 - A soil test is necessary to determine the actual amount of lime required to adjust the soil pH of site.
2 - Incorporate the lime and fertilizer into the top 4 – 6 inches of the soil by disking or by other means.
3 - When applying Slowly Available Nitrogen, use rates available in Erosion & Sediment Control Technical Bulletin # 4, 2003 Nutrient Management for Development Sites at http://www.dcr.state.va.us/sw/e&s.htm#pubs

TABLE 3.32-D
(Revised June 2003)
PERMANENT SEEDING SPECIFICATIONS FOR PIEDMONT AREA

SEED[1]

LAND USE	SPECIES	APPLICATION PER ACRE
Minimum Care Lawn (Commercial or Residential)	Tall Fescue[1] Perennial Ryegrass Kentucky Bluegrass[1]	95-100% 0-5% 0-5% TOTAL: 175-200 lbs.
High-Maintenance Lawn	Tall Fescue[1]	TOTAL: 200-250 lbs.
General Slope (3:1 or less)	Tall Fescue[1] Red Top Grass or Seasonal Nurse Crop[2]	128 lbs. 2 lbs. 20 lbs. TOTAL: 150 lbs.
Low-Maintenance Slope (Steeper than 3:1)	Tall Fescue[1] Red Top Grass or Creeping Red Fescue Seasonal Nurse Crop[2] Crownvetch[3]	108 lbs. 2 lbs. 20 lbs. 20 lbs. TOTAL: 150 lbs.

1 - When selecting varieties of turfgrass, use the Virginia Crop Improvement Association (VCIA) recommended turfgrass variety list. Quality seed will bear a label indicating that they are approved by VCIA. A current turfgrass variety list is available at the local County Extension office or through VCIA at 804-746-4884 or at http://sudan.oses.vt.edu/html/Turf/turf/publications/publications2.html

2 - Use seasonal nurse crop in accordance with seeding dates as stated below:
February 16th - April ..... Annual Rye
May 1st - August 15th ..... Foxtail Millet
August 16th - October ..... Annual Rye
November - February 15th ..... Winter Rye

3- Substitue Sericea lespedeza for Crownvetch east of Farmville, VA (May through September use hulled Sericea, all other periods, use unhulled Sericea). If Flat pea is used in lieu of Crown vetch, increase rate to 30lbs./acre. All legume seed must be properly inoculated. Weeping lovegrass may be added to any slope or low-maintenance mix during warmer seeding periods; add 10-20 lbs./acre in mixes.

FERTILIZER & LIME

- Apply 10-20-10 **fertilizer** at a rate of **500** lbs. / acre (or 12 lbs. / 1,000 sq. ft.)
- Apply **Pulverized Agricultural Limestone** at a rate of 2 tons/acre (or 90 lbs. / 1,000 sq. ft.)

NOTE:
- A soil test is necessary to determine the actual amount of lime required to adjust the soil pH of site.
- Incorporate the lime and fertilizer into the top 4 – 6 inches of the soil by disking or by other means.
- When applying Slowly Available Nitrogen, use rates available in Erosion & Sediment Control Technical Bulletin # 4, 2003 Nutrient Management for Development Sites at http://www.dcr.state.va.us/sw/e&s.htm#pubs

TABLE 3.35-A

ORGANIC MULCH MATERIALS AND APPLICATION RATES

MULCHES:	RATES: Per Acre	RATES: Per 1000 sq. ft.	NOTES:
Straw or Hay	1½ - 2 tons (Minimum 2 tons for winter cover)	70 - 90 lbs.	Free from weeds and coarse matter. Must be anchored. Spread with mulch blower or by hand.
Fiber Mulch	Minimum 1500 lbs.	35 lbs.	Do not use as mulch for winter cover or during hot, dry periods.* Apply as slurry.
Corn Stalks	4 - 6 tons	185 - 275 lbs.	Cut or shredded in 4-6" lengths. Air-dried. Do not use in fine turf areas. Apply with mulch blower or by hand.
Wood Chips	4 - 6 tons	185 - 275 lbs.	Free of coarse matter. Air-dried. Treat with 12 lbs nitrogen per ton. Do not use in fine turf areas. Apply with mulch blower, chip handler, or by hand.
Bark Chips or Shredded Bark	50 - 70 cu. yds.	1-2 cu. yds.	Free of coarse matter. Air-dried. Do not use in fine turf areas. Apply with mulch blower, chip handler, or by hand.

* When fiber mulch is the only available mulch during periods when straw should be used, apply at a minimum rate of 2000 lbs./ac. or 45 lbs./1000 sq. ft.

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CONSULTANTS

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Reason: I have reviewed this document
Date: 2022.08.31 14:46:40 -04'00'

2700 S NELSON STREET DECONSTRUCTION

2700 S NELSON STREET
ARLINGTON, VA 22206

MARK	DATE	DESCRIPTION
	8/24/2022	1ST PERMIT SUBMISSION

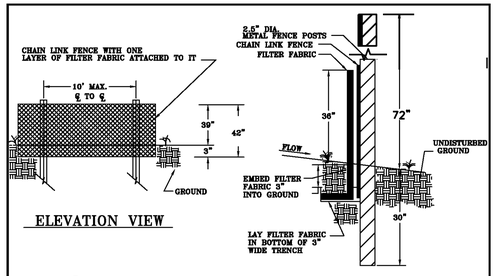
PROJECT NO:	21-0580.001
SCALE:	N/A
DESIGNED BY:	CMB
DRAWN BY:	JES
CHECKED BY:	CMB

SHEET TITLE

EROSION & SEDIMENT CONTROL NOTES

C-106

SHEET 07 OF 14



SUPER SILT FENCE
NO SCALE

FENCING

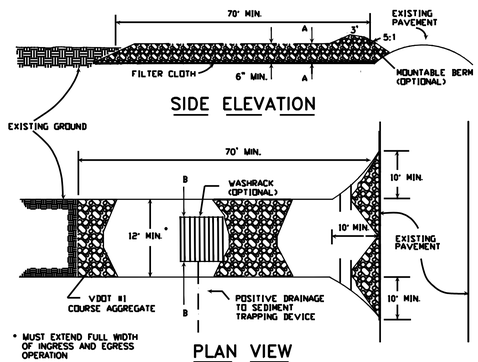
Filter fabric shall be 39" above grade with 3" embedded for a total fabric width of 42". The post shall be 72"above grade with 30" placed below grade (without concrete) for a total length of 102".

NOTES

1. Chain link fence shall be fastened securely to fence posts with wire ties.
2. Filter fabric shall be fastened securely to chain link fence with ties spaced horizontally 24" at the top and midsection.
3. Physical properties of the filter fabric shall conform to the latest edition of THE VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK.
4. When two sections of filter fabric adjoin each other, they shall be overlapped by 6".
5. Maintenance shall be performed as needed and material shall be removed when sediment build-up reaches 50% of the height of the super silt fence.

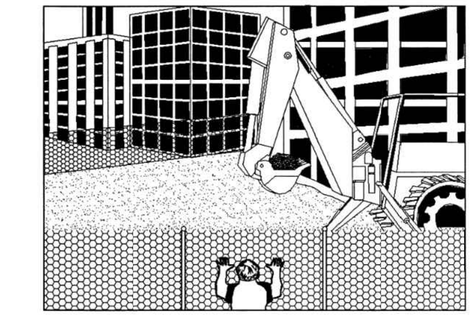
SSF SUPER SILT FENCE DETAIL
NOT TO SCALE

STONE CONSTRUCTION ENTRANCE

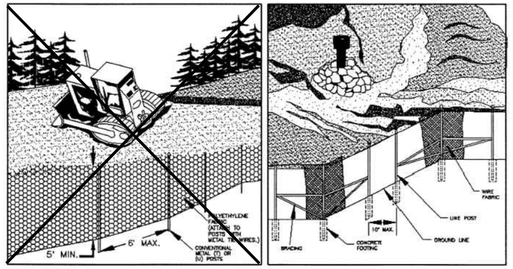


SOURCE: ADAPTED from 1983 Maryland Standards for Soil erosion and Sediment Control, and Va. DSWC Plate 3.02-1

SAFETY FENCE



PERSPECTIVE VIEW

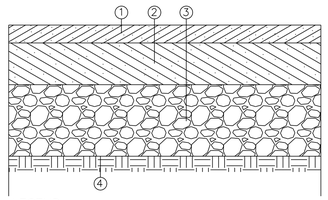


PERSPECTIVE VIEW PLASTIC FENCE

PERSPECTIVE VIEW METAL FENCE

Source: Adapted from Conwed Plastics and VDOT Road and Bridge Standards

Plate 3.01-1

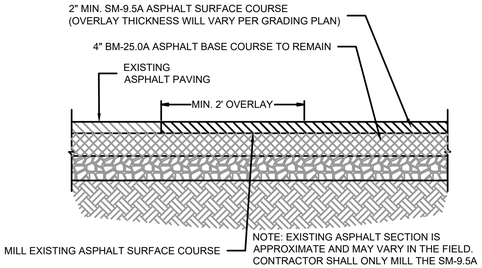


LEGEND

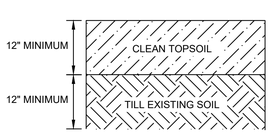
① 2.0" SM-9.5A ASPHALT SURFACE COURSE
② 4.0" BM-25.0 ASPHALT BASE COURSE
③ 6.0" CBR-30 COMPACTED AGGREGATE SUBBASE
④ TOP OF APPROVED SUB GRADE SURFACE

THE NEW ASPHALT SHALL MATCH THE DETAIL OR MATCH THE EXISTING SECTION, WHICHEVER IS GREATER.

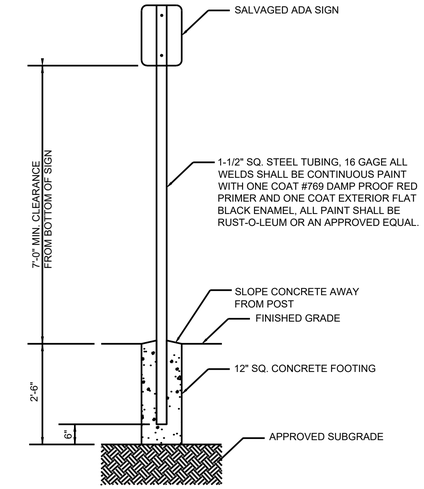
1 STANDARD DUTY ASPHALT PAVEMENT DETAIL
NOT TO SCALE



2 ASPHALT MILL AND OVERLAY
NOT TO SCALE



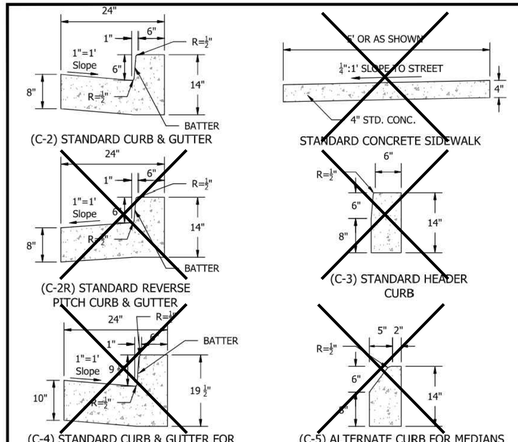
3 SOIL PROFILE
NOT TO SCALE



NOTES

1. DISTANCE FROM GROUND TO BOTTOM OF SIGN SHALL BE 7'.
2. ALL WORK SHALL BE DONE IN ACCORDANCE MOST CURRENT ADA REGULATIONS.

4 ADA SIGN MOUNTING DETAIL
SCALE: NOT TO SCALE



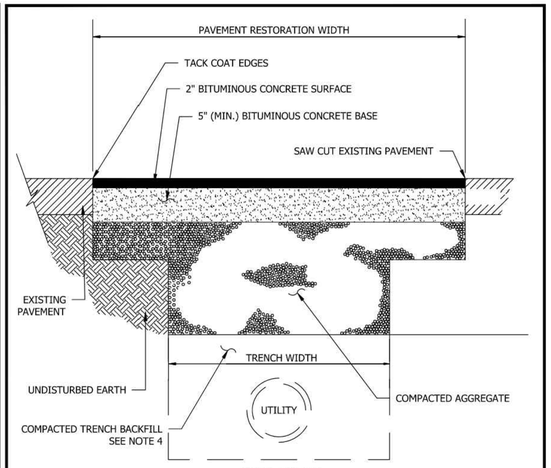
NOTES:

1. SECTION C-3 IS TO BE USED ONLY WITH RIGID TYPE PAVEMENT UNLESS OTHERWISE DIRECTED IN WRITING OR WHEN SHOWN ON APPROVED PLANS.
2. EXPANSION JOINTS IN HEADER CURB AND STANDARD CURB AND GUTTER SHALL BE 40' APART OR AT EXPANSION JOINTS IN CONCRETE PAVEMENT.
3. EXPANSION JOINTS MAY BE OMITTED IF 1/8" JOINTS ARE PLACED EVERY 10' OF LESS
4. EXPANSION JOINTS IN THE SIDEWALK SHALL BE 40' APART. IF ADJACENT TO CONCRETE CURB, EXPANSION JOINTS SHALL MATCH JOINT OF CURB. AN EXPANSION JOINT SHALL BE PLACED BETWEEN CURB AND SIDEWALK.
5. SEE DRAWING R-2.2 FOR DETAIL OF SIDEWALK STRESS COLUMN TO BE PLACED UNDER SIDEWALK WHEN PLACED ADJACENT TO BACK OF CURB.
6. SEE ARLINGTON COUNTY SPECIFICATION SECTIONS 02611 AND 03100 FOR MATERIAL SPECS.
7. PROVIDE 6" MINIMUM AGGREGATE BASE HAVING CBR-30 UNDER CURB AND GUTTER.
8. PROVIDE 3" MINIMUM AGGREGATE BASE HAVING CBR-30 UNDER SIDEWALK
9. WHENEVER CURB ABUTTS RIGID PAVEMENT, PROVIDE LONGITUDINAL JOINT PER VDOT PR-2.
10. SECTION C-5 TO BE USED WHEN BICYCLE LANE RUNS ALONG A MEDIAN.

CONCRETE CURB & GUTTER AND SIDEWALK

ARLINGTON VIRGINIA
ARLINGTON COUNTY, VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES

ISSUED 9/14/2020
DRAWING NO. **R-2.0**



TYPICAL SECTION

NOTES:

1. WHEN THE DISTANCE FROM THE EDGE OF EXISTING PAVEMENT TO THE EDGE OF THE PAVEMENT RESTORATION PAYMENT WIDTH IS 3' OR LESS THEN THE ADDITIONAL PAVEMENT SHALL BE REMOVED AND REPLACED BACK TO THE EDGE.
2. THICKNESS OF BASE MAY BE REDUCED TO 3" WHEN PATCH IS BEING MADE IN PAVEMENTS OF SURFACE TREATED GRAVEL, AND DIRECTED BY THE PROJECT OFFICER.
3. WHEN WIDENING OR PATCHING A STREET WITH ASPHALT, A NEAT, CLEAN JOINT OF AT LEAST ONE (1) INCH IN DEPTH BETWEEN OLD AND NEW PAVEMENT SHALL BE PROVIDED FOR TOPPING SO AS TO ELIMINATE THE NEED FOR FEATHERING OF THE OVERLAY.
4. FOR TRENCH AND BEDDING DETAILS, SEE DRAWING No. M-3.0.

STANDARD PAVEMENT RESTORATION FOR UTILITY CUTS

ARLINGTON VIRGINIA
ARLINGTON COUNTY, VIRGINIA
DEPARTMENT OF ENVIRONMENTAL SERVICES

ISSUED 9/14/2020
DRAWING NO. **M-6.0**

_____ *date*

Qianqian Li, P.E.
ESC Program Administrator
Department of Environmental Sevices
2100 Clarendon Boulevard, Suite 813
Arlington, Virginia 22201

Re: Erosion and Sediment Control Permit Application for:

_____ *street address*

_____ *lot, block, section subdivision*

_____ *permit number*

Dear Mrs. Li:

I hereby certify that I accept the responsibilities of Responsible Land Disturber for the above referenced project. I understand that these responsibilities include:

1. Reviewing the erosion and sedimentation (E&S) plan for the project.
2. Walking the site prior to construction to identify critical areas.
3. Conducting a pre-construction briefing with earth moving and site contractors to present the E&S plan and highlight the presence of critical areas, the limits of clearing and the required E&S controls and tree protection measures to be installed. Call 703-228-0760 to schedule pre-construction meeting.
4. Regularly inspecting the site during construction to ensure that all E&S controls are functioning and are adequate to address erosion and sedimentation. Inspect the site 48 hours after a runoff-generating storm, and provide a copy of the inspection findings to the county.
5. Reporting to the owner the presence inadequate or non functioning E&S controls when they are observed.
6. Ensuring that temporary soil stabilization is applied within 7 days to areas denuded that will remain undisturbed for longer than 14 days. Permanent stabilization shall be applied to areas that are to be left dormant for more than one year.
7. Calling (703) 228-0760 at least 80 hours before demolishing any structure.

I may be reached at _____ with questions about this plan or my execution of the duties of
telephone number
Responsible Land Disturber.

Sincerely,

_____ *signed*

_____ *name printed*

_____ *professional registration (type and number)*

A. MORTON THOMAS AND ASSOCIATES, INC.
CONSULTING ENGINEERS
3076 CENTREVILLE ROAD, SUITE 220
HERNDON, VA 20171
PHONE (703) 817-1373
EMAIL: AMT1@AMTENGINEERING.COM

CONSULTANTS

COMMONWEALTH OF VIRGINIA
CHELSEA M. BISHOP
Lic. No. 50030
PROFESSIONAL ENGINEER
Chelsea Bishop

2700 S NELSON STREET DECONSTRUCTION

2700 S NELSON STREET
ARLINGTON, VA 22206

MARK	DATE	DESCRIPTION
	8/24/2022	1ST PERMIT SUBMISSION

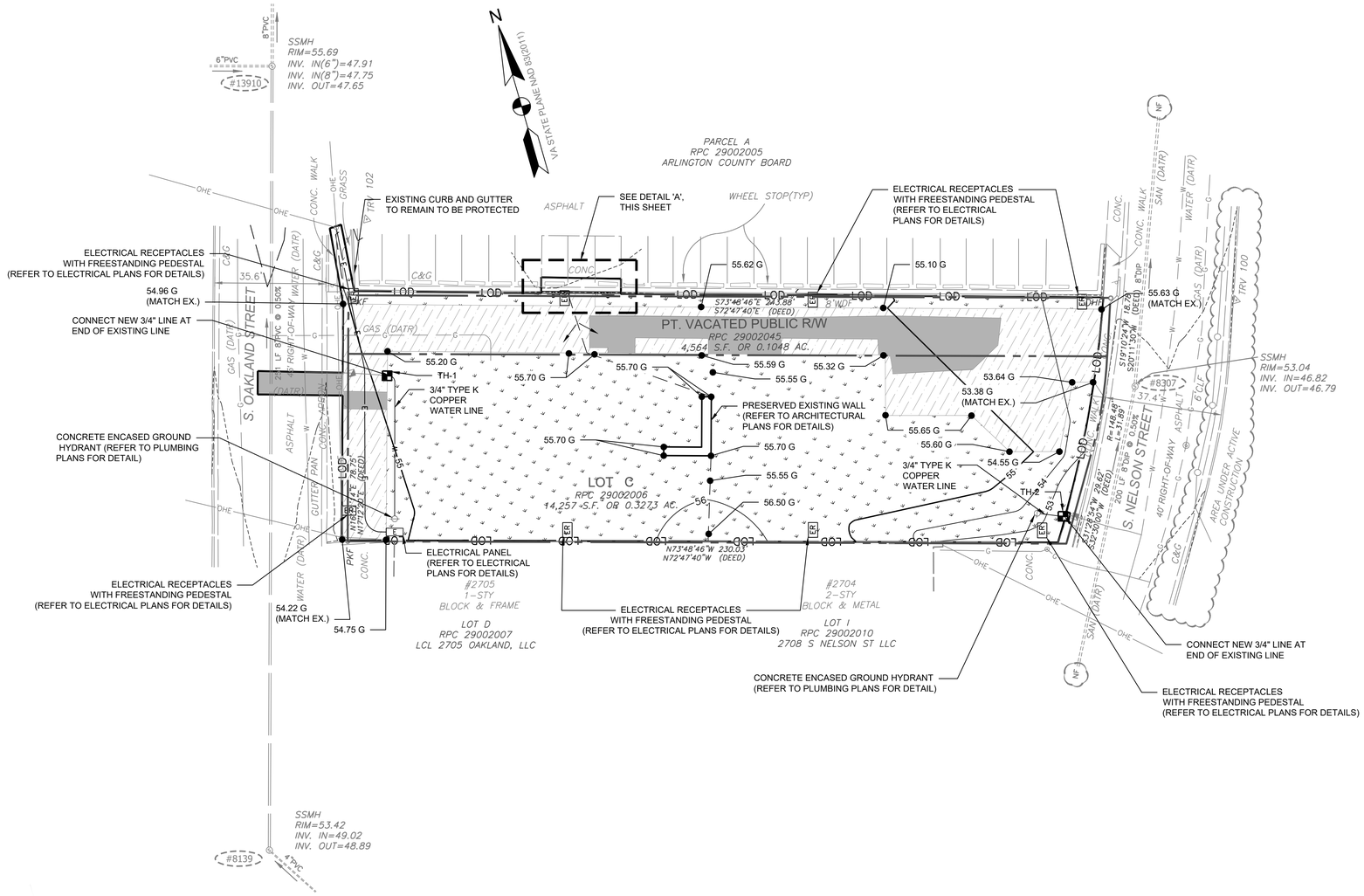
PROJECT NO:	21-0580.001
SCALE:	N/A
DESIGNED BY:	CMB
DRAWN BY:	JES
CHECKED BY:	CMB

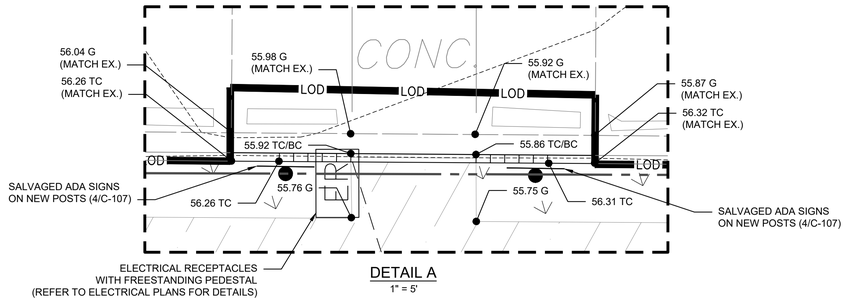
SHEET TITLE

EROSION & SEDIMENT CONTROL AND SITE DETAILS

C-107

SHEET 08 OF 14





DETAIL A
1" = 5'

SITE, GRADING, AND UTILITY LEGEND

- PROPERTY LINE
- LOD — LIMITS OF DISTURBANCE
- 55 — PROPOSED MAJOR CONTOUR
- 55 — PROPOSED MINOR CONTOUR
- G — GRADE SPOT ELEVATION
- 12" PLANTING SOIL WITH GEOTEXTILE MARKER LAYER, SEED WITH TURF GRASS (3/C-107)
- STANDARD DUTY ASPHALT PAVEMENT (1/C-107)
- ASPHALT MILL AND OVERLAY (2/C-107)
- TRANSITION AND FLUSH CURB (R-2.0/C-107)
- W — WATER LINE
- E — ELECTRICAL CONDUIT (REFER TO ELECTRICAL PLANS FOR DETAILS)
- ADA SIGN
- E — ELECTRICAL PANEL (REFER TO ELECTRICAL PLANS FOR DETAILS)
- ER — ELECTRICAL RECEPTACLES WITH FREESTANDING PEDESTAL
- CONCRETE ENCASED GROUND HYDRANT (REFER TO PLUMBING PLANS FOR DETAIL)
- UTILITY TEST HOLE

GRADING NOTE:

IN AREAS WHERE FULL DEPTH PAVEMENT AND THE BUILDING IS DEMOLISHED, CONTRACTOR SHALL PROVIDE FILL TO BRING GRADES TO FINAL CONDITION AND IMMEDIATELY STABILIZE UPON COMPLETION. FINAL GRADES SHALL BE A MINIMUM OF 2% TO PROMOTE PROPER DRAINAGE. SEE SHEET C-106 FOR PERMANENT SEEDING SPECIFICATIONS.

WATER DISTRIBUTION AND SANITARY SEWER SYSTEMS

1. UNLESS OTHERWISE DIRECTED, CONTRACTORS ARE EXPRESSLY PROHIBITED FROM OPERATING ANY WATER VALVES OR APPURTENANCES. CONTRACTORS SHALL SUBMIT ALL REQUESTS FOR VALVE OPERATIONS TO THE PROJECT OFFICER AT LEAST 1 WEEK IN ADVANCE OF THE REQUIRED OPERATION.
2. IN THE EVENT OF A WATER OR SEWER EMERGENCY, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE COUNTY'S WATER CONTROL CENTER AT 703-228-6555 AND THE PROJECT OFFICER.
3. THE DEVELOPER OR CONTRACTOR SHALL NOTIFY MISS UTILITY AT 811 48 HOURS PRIOR TO THE START OF ANY EXCAVATION OR CONSTRUCTION FOR THE MARKING OF UNDERGROUND UTILITIES.

UTILITY NOTES

1. REFER TO THE COUNTY'S CONSTRUCTION STANDARDS MANUAL.
2. THE PROPOSED/EXISTING WATER SERVICE LINE FROM THE GROUND HYDRANT TO THE METER IS PRIVATELY MAINTAINED. THE WATER METER AND SERVICE LINE FROM METER ARE TO BE PUBLICLY MAINTAINED.
3. THE EXISTING SANITARY LATERALS FROM THE PROPERTY TO THE MAIN ARE PRIVATELY MAINTAINED.

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

AMT
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Chelsea M Bishop

2700 S NELSON STREET
DECONSTRUCTION

2700 S NELSON STREET
ARLINGTON, VA 22206

MARK	DATE	DESCRIPTION
	8/24/2022	1ST PERMIT SUBMISSION

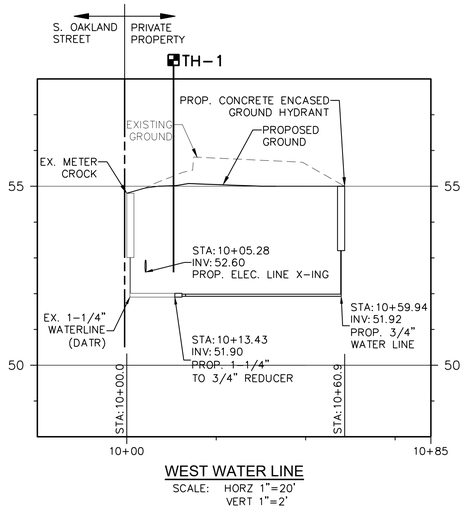
PROJECT NO:	21-0580.001
SCALE:	N/A
DESIGNED BY:	CMB
DRAWN BY:	JES
CHECKED BY:	CMB

SHEET TITLE

SITE, GRADING, AND UTILITY PLAN

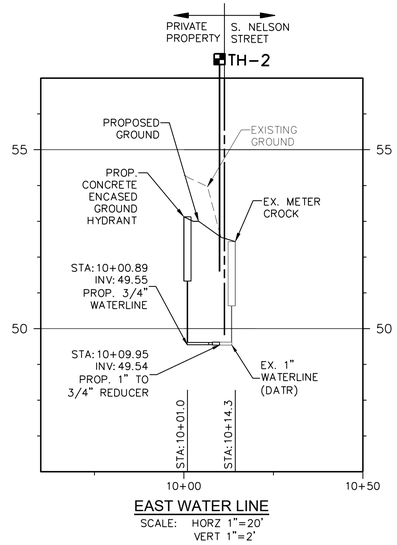
C-108

SHEET 09 OF 14



WEST WATER LINE

SCALE: HORZ 1"=20'
VERT 1"=2'



EAST WATER LINE

SCALE: HORZ 1"=20'
VERT 1"=2'

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PROFESSIONAL ENGINEER

Chelsea Bishop
Digitally signed by Chelsea Bishop
DN: cn=Chelsea Bishop, o=AMT, ou=ENGINEERING, email=cbishop@amtengineering.com, c=US
Reason: I have reviewed this document
Date: 2022.08.24 14:43:13 -04'00'

2700 S NELSON STREET DECONSTRUCTION

2700 S NELSON STREET
ARLINGTON, VA 22206

MARK	DATE	DESCRIPTION
	8/24/2022	1ST PERMIT SUBMISSION

PROJECT NO:	21-0580.001
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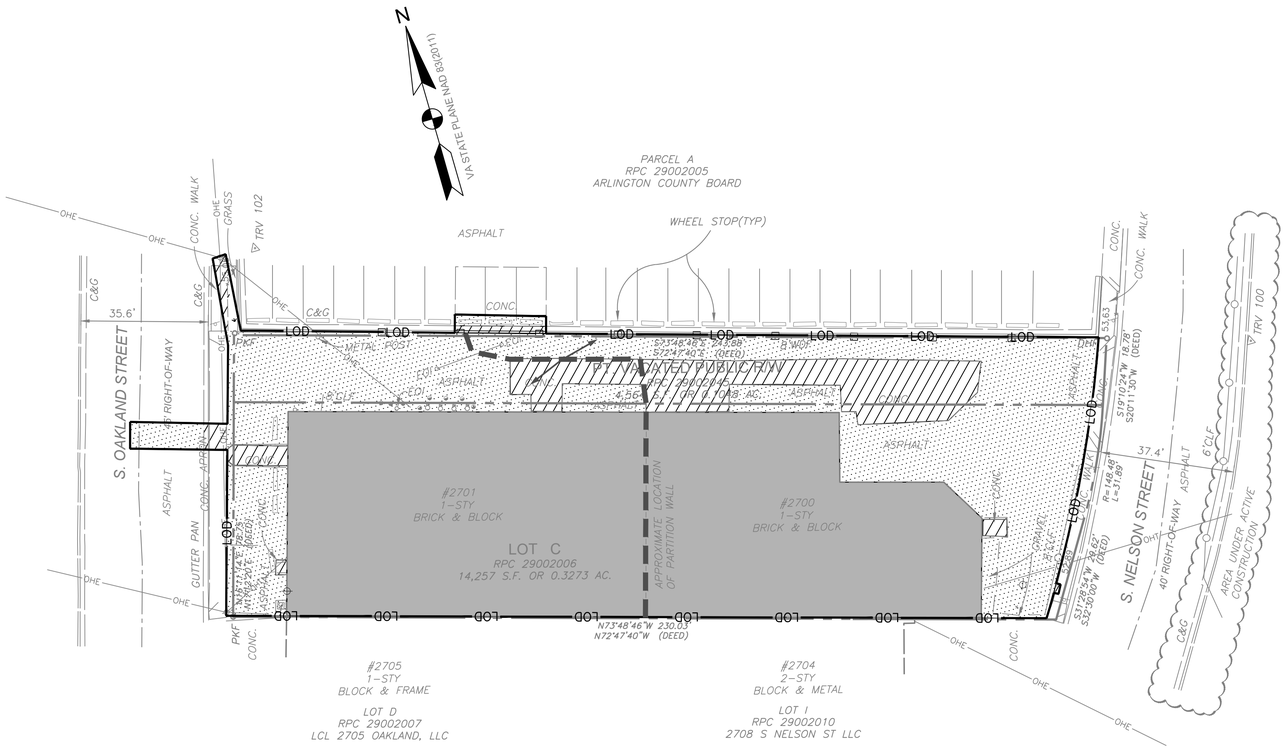
DESIGNED BY:	CMB
DRAWN BY:	JES
CHECKED BY:	CMB

SHEET TITLE

UTILITY PROFILES

C-201

SHEET 10 OF 14



PRE-DEVELOPMENT WATER QUALITY LEGEND

- PROPERTY LINE
- LOD — LIMITS OF DISTURBANCE (19,219 SF, 0.4412 AC)
- GRASS AREA (32 SF, 0.0007 AC)
- BUILDING (10,297 SF, 0.2364 AC)
- ASPHALT PAVEMENT (7,070 SF, 0.1623 AC)
- CONCRETE PAVEMENT (1,820 SF, 0.0418 AC)
- TOTAL IMPERVIOUS (19,187 SF, 0.4405 AC)
- DRAINAGE DIVIDE

NO FORESTED AREA SHALL BE DISTURBED.

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

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2700 S NELSON STREET DECONSTRUCTION

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MARK	DATE	DESCRIPTION
	8/24/2022	1ST PERMIT SUBMISSION

PROJECT NO:	21-0580.001
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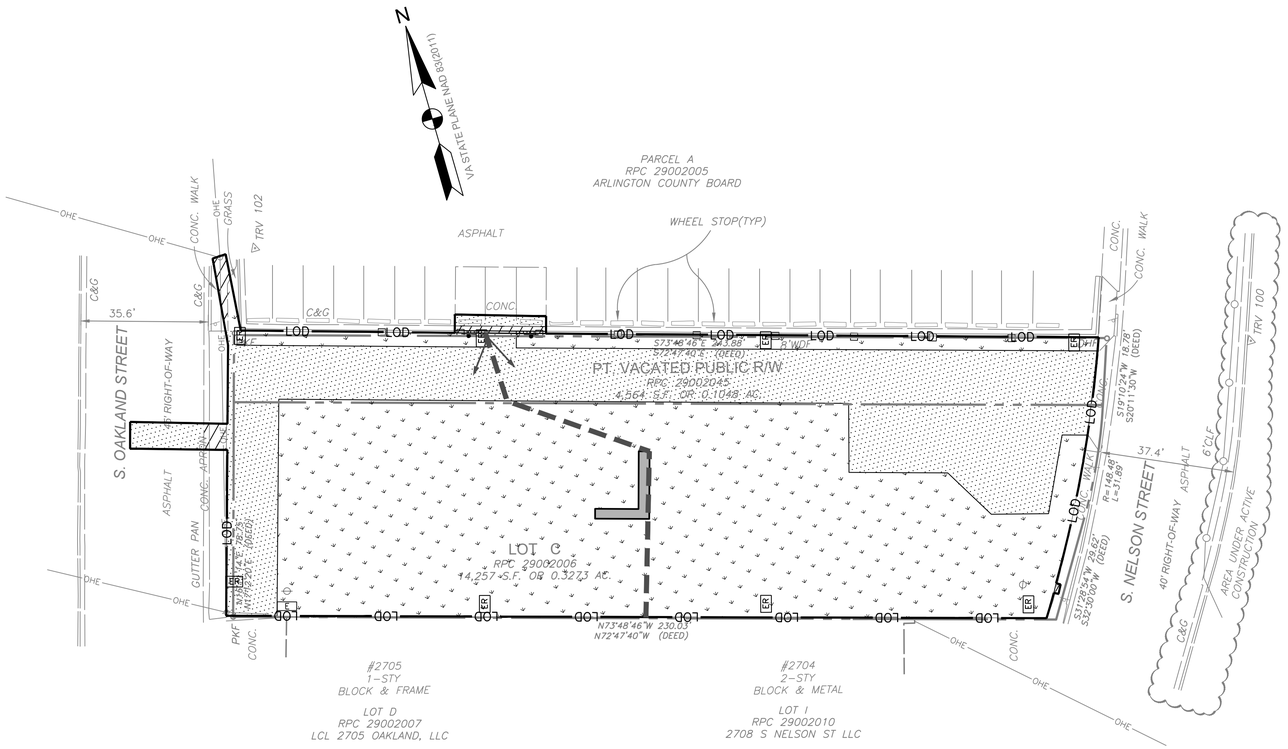
DESIGNED BY:	CMB
DRAWN BY:	JES
CHECKED BY:	CMB

SHEET TITLE

PRE-DEVELOPMENT WATER QUALITY MAP

C-701

SHEET 11 OF 14



POST-DEVELOPMENT WATER QUALITY LEGEND

- PROPERTY LINE
- LOD — LIMITS OF DISTURBANCE (19,219 SF, 0.4412 AC)
- GRASS AREA (12,740 SF, 0.2925 AC)
- BUILDING (91 SF, 0.0021 AC)
- ASPHALT PAVEMENT (6,235 SF, 0.1431 AC)
- CONCRETE PAVEMENT (153 SF, 0.0035 AC)
- TOTAL IMPERVIOUS (6,479 SF, 0.1487 AC)
- DRAINAGE DIVIDE

NO FOREST AREA SHALL BE DISTURBED.

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

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Chelsea Bishop
DIGITALLY signed by Chelsea Bishop
DN: cn=Chelsea Bishop, o=A. MORTON THOMAS AND ASSOCIATES INC., ou=AMT, email=CBISHOP@AMTENGINEERING.COM, c=US
Reason: I have reviewed this document
Date: 2022.08.24 09:19:14 -04'00'

2700 S NELSON STREET DECONSTRUCTION

2700 S NELSON STREET
ARLINGTON, VA 22206

MARK	DATE	DESCRIPTION
	8/24/2022	1ST PERMIT SUBMISSION

PROJECT NO:	21-0580.001
SCALE:	N/A
DESIGNED BY:	CMB
DRAWN BY:	JES
CHECKED BY:	CMB

SHEET TITLE

POST-DEVELOPMENT WATER QUALITY MAP

C-702

SHEET 12 OF 14

WATER QUALITY NARRATIVE

THE SITE IS DEFINED BY THE THE LIMITS OF DISTURBANCE OF 0.4412 ACRES. THE IMPERVIOUS AREA FOR THE EXISTING CONDITION IS 0.4405 ACRES (99.8%) AND 0.1487 ACRES (33.7%) FOR THE PROPOSED CONDITION. DUE TO THE DECREASE IN IMPERVIOUS AREA THERE IS NO LB/YEAR PHOSPHOROUS LOAD REDUCTION REQUIRED.

Project Name: 2700 S Nelson Demo
Date: 8/24/2022
Linear Development Project? No

CLEAR ALL (Ctrl+Shift+R)

data input cells
constant values
calculation cells
final results

Site Information

Post-Development Project (Treatment Volume and Loads)

Enter Total Disturbed Area *(acres)* → 0.4412

Maximum reduction required:	10%
The site's net increase in impervious cover (acres) is:	0.0000
Post-Development TP Load Reduction for Site (lb/yr):	-0.3704

Check:
BMP Design Specifications List: 2013 Draft Stds & Specs
Linear project? No
Land cover areas entered correctly? ✔
Total disturbed area entered? ✔

TP LOAD REDUCTION NOT REQUIRED

Pre-ReDevelopment Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed forest/open space					0.0000
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				0.0007	0.0007
Impervious Cover (acres)				0.4405	0.4405
					0.4412

Post-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested					0.0000
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				0.2925	0.2925
Impervious Cover (acres)				0.1487	0.1487
Area Check	OK.	OK.	OK.	OK.	0.4412

Constants

Annual Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Total Phosphorus (TP) EMC (mg/L)	0.26
Total Nitrogen (TN) EMC (mg/L)	1.86
Target TP Load (lb/acre/yr)	0.41
Pj (unitless correction factor)	0.90

Runoff Coefficients (Rv)

	A Soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

LAND COVER SUMMARY -- PRE-REDEVELOPMENT

Land Cover Summary-Pre		
Pre-ReDevelopment	**Listed**	**Adjusted[1]**
Forest/Open Space Cover (acres)	0.0000	0.0000
Weighted Rv(forest)	0.0000	0.0000
% Forest	0%	0%
Managed Turf Cover (acres)	0.0007	0.0007
Weighted Rv(turf)	0.2500	0.2500
% Managed Turf	0%	0%
Impervious Cover (acres)	0.4405	0.4405
Rv(impervious)	0.9500	0.9500
% Impervious	100%	100%
Total Site Area (acres)	**0.4412**	**0.4412**
Site Rv	**0.9489**	**0.9489**

LAND COVER SUMMARY -- POST DEVELOPMENT

Land Cover Summary-Post (Final)	
Post ReDev. & New Impervious	
Forest/Open Space Cover (acres)	0.0000
Weighted Rv(forest)	0.0000
% Forest	0%
Managed Turf Cover (acres)	0.2925
Weighted Rv (turf)	0.2500
% Managed Turf	66%
Impervious Cover (acres)	0.1487
Rv(impervious)	0.9500
% Impervious	34%
Final Site Area (acres)	**0.4412**
Final Post Dev Site Rv	**0.4859**

Land Cover Summary-Post	
Post-ReDevelopment	
Forest/Open Space Cover (acres)	0.0000
Weighted Rv(forest)	0.0000
% Forest	0%
Managed Turf Cover (acres)	0.2925
Weighted Rv (turf)	0.2500
% Managed Turf	66%
ReDev. Impervious Cover (acres)	0.1487
Rv(impervious)	0.9500
% Impervious	34%
Total ReDev. Site Area (acres)	**0.4412**
ReDev Site Rv	**0.4859**

Land Cover Summary-Post	
Post-Development New Impervious	
New Impervious Cover (acres)	0.0000
Rv(impervious)	--

Treatment Volume and Nutrient Load

Pre-ReDevelopment Treatment Volume (acre-ft)	0.0349	0.0349
Pre-ReDevelopment Treatment Volume (cubic feet)	1,519.6995	1,519.6995
Pre-ReDevelopment TP Load (lb/yr)	**0.9548**	**0.9548**
Pre-ReDevelopment TP Load per acre (lb/acre/yr)	2.1600	2.1600
Baseline TP Load (lb/yr) (0.41 lbs/acre/yr applied to pre-redevelopment area excluding pervious land proposed for new impervious cover)		*0.1809*

Treatment Volume and Nutrient Load

Final Post-Development Treatment Volume (acre-ft)	0.0179
Final Post-Development Treatment Volume (cubic feet)	778.2357
Final Post-Development TP Load (lb/yr)	**0.4890**
Final Post-Development TP Load per acre (lb/acre/yr)	1.1100

Treatment Volume and Nutrient Load

Post-ReDevelopment Treatment Volume (acre-ft)	0.0179	**Post-Development Treatment Volume (acre-ft)**	--
Post-ReDevelopment Treatment Volume (cubic feet)	778.2357	**Post-Development Treatment Volume (cubic feet)**	--
Post-ReDevelopment Load (TP) (lb/yr)*	**0.4890**	**Post-Development TP Load (lb/yr)**	--
Post-ReDevelopment TP Load per acre (lb/acre/yr)	1.1100		
Max. Reduction Required (Below Pre-ReDevelopment Load)	10%		
TP Load Reduction Required for Redeveloped Area (lb/yr)	**-0.3704**	**TP Load Reduction Required for New Impervious Area (lb/yr)**	**0**

[1] *Adjusted Land Cover Summary:*
Pre ReDevelopment land cover minus pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover.

Adjusted total acreage is consistent with Post-ReDevelopment acreage (minus acreage of new impervious cover).

Column I shows load reduction requirement for new impervious cover (based on new development load limit, 0.41 lbs/acre/year).

Post-Development Requirement for Site Area

TP Load Reduction Required (lb/yr)	**-0.3704**	**	*TP LOAD REDUCTION NOT REQUIRED*

Nitrogen Loads (Informational Purposes Only)

Pre-ReDevelopment TN Load (lb/yr)	6.8307	Final Post-Development TN Load (Post-ReDevelopment & New Impervious) (lb/yr)	3.4980

Site Information - Revised 9/19/2017

Project SWM #	LDA Permit #	Disturbed Area (acres)	% Pre-Impervious	% Post-Impervious	Pre-Development TP load (lb/yr)	Post-Development TP load (lb/yr)	TP load reduction achieved (lb/yr)	Pre-Development TN load (lb/yr)	Post-Development TN load (lb/yr)	TN load reduction achieved (lb/yr)	Total Site Area (acres)	Pre-Forest Area (acres)	Pre-Turf Area (acres)	Pre-Impervious Area (acres)	Post-Forest Area (acres)	Post-Turf Area (acres)	Post-Impervious Area (acres)	Pre-Runoff Volume	Post-Runoff Volume	Runoff Volume Reduction Achieved	Site Latitude (Decimal Degrees)	Site Longitude (Decimal Degrees)	Anticipated Start Date
		0.4412	99.8	33.7	0.95	0.49	0.00	6.83	3.50	0.00	0.4412	0.0000	0.0007	0.4405	0.0000	0.2925	0.1487	1519.6995	778.2357	0.0000	38.843979	-77.089369	1/3/2023

WATER QUANTITY NARRATIVE

WATER QUANTITY COMPLIANCE FOR THE SITE IMPROVEMENTS IS BEING ACCOMPLISHED BY THE REDUCTION OF IMPERVIOUS AREA. PER THE ARLINGTON COUNTY CODE, CHAPTER 60, THE DEVELOPED SITE SHALL PROVIDE STORMWATER DETENTION SUFFICIENT TO PASS THE 1-YEAR AND 10-YEAR 24-HOUR PEAK FLOW RATES UTILIZING THE ENERGY BALANCE METHOD. STORMWATER DETENTION IS NOT REQUIRED BECAUSE THE REMOVAL OF IMPERVIOUS AREA REDUCES THE SITE CURVE NUMBER SUCH THAT THE 1-YEAR AND 10-YEAR PEAK FLOW RATES ARE BELOW THE RATES REQUIRED BY THE ENERGY BALANCE METHOD.

PER FEMA FLOODPLAIN MAPS 51013C0077C, DATED AUGUST 19, 2013, THIS PROPERTY IS WITHIN ZONE X WITHIN THE 100-YEAR FLOODPLAIN.

THERE ARE NO RESOURCE PROTECTION AREAS LOCATED ON THE SUBJECT PROPERTY PER ARLINGTON COUNTY GIS DATA.

SWM Water Quantity Energy Balance Worksheet

SITE AREA (acre) 0.4412

	1-year		10-year	
	PRE	POST (adjusted)	PRE	POST (adjusted)
P	2.58	2.58	4.79	4.79
CN	98	86	98	86
S=1000/CN-10	0.20	1.63	0.20	1.63
0.2S	0.04	0.33	0.04	0.33
RV=(P-0.2S)^2/(P-0.2S)+S (in.)	2.35	1.31	4.55	3.27

QPost Development <= I.F.* (Qpre-development* RVpre-development)/RVDeveloped)

I.F 0.9

CHANNEL PROTECTION (1-YEAR)		
Qpre-development (cfs)	1.16	From TR55
QPost Development (cfs)	0.72	From TR55
RVPost Development (with runoff reduction) (in.)	1.3091	From RRM
Qallowable (cfs)	1.87	
Qallowable/QPost Development	2.60	
Vs/Vr	0.00	Fig 11.7 of DEQ Manual
Vs	0.00	
Storage Required (CF)	0	

FLOOD CONTROL (10-YEAR)	
Qpre-development	2.19
QPost Development	1.76
RVPost Development (with runoff reduction)	3.2715
Qallowable	3.05
Qallowable/QPost Development	1.73
Vs/Vr	0.00
Vs	0.00
Storage Required (CF)	0

Site Results (Water Quality Compliance)

Area Checks	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
FOREST/OPEN SPACE (ac)	0.0000	0.0000	0.0000	0.0000	0.0000	OK.
IMPERVIOUS COVER TREATED (ac)	0.1487	0.0000	0.0000	0.0000	0.0000	OK.
MANAGED TURF AREA (ac)	0.0000	0.0000	0.0000	0.0000	0.0000	OK.
MANAGED TURF AREA TREATED (ac)	0.2925	0.0000	0.0000	0.0000	0.0000	OK.
AREA CHECK	0.0000	0.0000	0.0000	0.0000	0.0000	OK.
	OK.	OK.	OK.	OK.	OK.	

Site Treatment Volume (ft^3) 778.2357

Runoff Reduction Volume and TP By Drainage Area

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	TOTAL
RUNOFF REDUCTION VOLUME ACHIEVED (ft^3)	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
TP LOAD AVAILABLE FOR REMOVAL (lb/yr)	0.4890	0.0000	0.0000	0.0000	0.0000	0.4890
TP LOAD REDUCTION ACHIEVED (lb/yr)	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
TP LOAD REMAINING (lb/yr)	0.4890	0.0000	0.0000	0.0000	0.0000	0.4890
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000

Total Phosphorus

FINAL POST-DEVELOPMENT TP LOAD (lb/yr)	0.4890
TP LOAD REDUCTION REQUIRED (lb/yr)	-0.3704
TP LOAD REDUCTION ACHIEVED (lb/yr)	0.0000
TP LOAD REMAINING (lb/yr):	0.4890
REMAINING TP LOAD REDUCTION REQUIRED (lb/yr):	0.0000 **

** TARGET TP REDUCTION EXCEEDED BY 0.3704 LB/YEAR **

Total Nitrogen (For Information Purposes)

POST-DEVELOPMENT LOAD (lb/yr)	3.4980
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	0.0000
REMAINING POST-DEVELOPMENT NITROGEN LOAD (lb/yr)	3.4980

Runoff Volume and Curve Number Calculations

Enter design storm rainfall depths (in):

1-year storm	2-year storm	10-year storm
2.58	3.12	4.79

Use NOAA Atlas 14 (http://hdsc.nws.noaa.gov/hdsc/pfds/)

***Notes (see below):**

[1] The curve numbers and runoff volumes computed in this spreadsheet for each drainage area are limited in their applicability for determining and demonstrating compliance with water quantity requirements. See VRRM User's Guide and Documentation for additional information.

[2] Runoff Volume (RV) for pre- and post-development drainage areas must be in volumetric units (e.g., acre-feet or cubic feet) when using the Energy Balance Equation. Runoff measured in watershed-inches and shown in the spreadsheet as RV(watershed-inch) can only be used in the Energy Balance Equation when the pre- and post-development drainage areas are equal. Otherwise RV(watershed-inch) must be multiplied by the drainage area.

[3] Adjusted CNs are based on runoff reduction volumes as calculated in D.A. tabs. An alternative CN adjustment calculation for Vegetated Roofs is included in BMP specification No. 5.

Drainage Area Curve Numbers and Runoff Depths*

Curve numbers (CN, CNadj) and runoff depths ($RV_{Developed}$) are computed with and without reduction practices.

Drainage Area A		A Soils	B Soils	C Soils	D Soils
Forest/Open Space -- undisturbed, protected forest/open space or reforested land	Area (acres)	0.0000	0.0000	0.0000	0.0000
	CN	30	55	70	77
Managed Turf -- disturbed, graded for yards or other turf to be mowed/managed	Area (acres)	0.0000	0.0000	0.0000	0.2925
	CN	39	61	74	80
Impervious Cover	Area (acres)	0.0000	0.0000	0.0000	0.1487
	CN	98	98	98	98

$CN_{(D.A. A)}$ 86

	1-year storm	2-year storm	10-year storm
$RV_{Developed}$ *(watershed-inch)* with no Runoff Reduction*	1.3091	1.7658	3.2715
$RV_{Developed}$ *(watershed-inch)* with Runoff Reduction*	1.3091	1.7658	3.2715
Adjusted CN*	86	86	86

*See Notes above

Total Area (acres):	0.4412
Runoff Reduction Volume (ft^3):	0.0000

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MARK	DATE	DESCRIPTION
	8/24/2022	1ST PERMIT SUBMISSION

PROJECT NO:	21-0580.001
SCALE:	N/A
DESIGNED BY:	CMB
DRAWN BY:	JES
CHECKED BY:	CMB

SHEET TITLE

2700 S NELSON STREET DECONSTRUCTION

2700 S NELSON STREET
ARLINGTON, VA 22206

STORMWATER MANAGEMENT NARRATIVE & CALCULATIONS

C-703

SHEET 13 OF 14

POLLUTION PREVENTION NOTES

1. ONLY THE FOLLOWING NON-STORMWATER DISCHARGES ARE AUTHORIZED BY ARLINGTON COUNTY'S MS4 PERMIT. UNLESS THE STATE WATER CONTROL BOARD, THE VIRGINIA SOIL AND WATER CONSERVATION BOARD (BOARD), OR ARLINGTON COUNTY DETERMINES THE DISCHARGE TO BE A SIGNIFICANT SOURCE OF POLLUTANTS TO SURFACE WATERS: WATER LINE FLUSHING; LANDSCAPE IRRIGATION; DIVERTED STREAM FLOWS; RISING GROUND WATERS; UNCONTAMINATED GROUND WATER INFILTRATION (AS DEFINED AT 40 CFR 35.2005(20)); UNCONTAMINATED PUMPED GROUND WATER; DISCHARGES FROM POTABLE WATER SOURCES; FOUNDATION DRAINS; AIR CONDITIONING CONDENSATION; IRRIGATION WATER; SPRINGS; WATER FROM CRAWL SPACE PUMPS; FOOTING DRAINS; LAWN WATERING; INDIVIDUAL RESIDENTIAL CAR WASHING; FLOWS FROM RIPARIAN HABITATS AND WETLANDS; DECHLORINATED SWIMMING POOL DISCHARGES; DISCHARGES OR FLOWS FROM FIRE FIGHTING; AND, OTHER ACTIVITIES GENERATING DISCHARGES IDENTIFIED BY THE DEPARTMENT OF ENVIRONMENTAL QUALITY AS NOT REQUIRING VPDES AUTHORIZATION.
2. APPROPRIATE CONTROLS MUST BE IMPLEMENTED TO PREVENT ANY NON-STORMWATER DISCHARGES NOT INCLUDED ON THE ABOVE LIST (E.G., CONCRETE WASH WATER, PAINT WASH WATER, VEHICLE WASH WATER, DETERGENT WASH WATER, ETC.) FROM BEING DISCHARGED INTO ARLINGTON COUNTY'S MS4 SYSTEM, WHICH INCLUDES THE CURB AND GUTTER SYSTEM, AS WELL AS CATCH BASINS AND OTHER STORM DRAIN INLETS, OR STREAM NETWORK.
3. PER CHAPTER 26 OF THE ARLINGTON COUNTY CODE, IT SHALL BE UNLAWFUL FOR ANY PERSON TO DISCHARGE DIRECTLY OR INDIRECTLY INTO THE STORM SEWER SYSTEM OR STATE WATERS, ANY SUBSTANCE LIKELY, IN THE OPINION OF THE COUNTY MANAGER, TO HAVE AN ADVERSE EFFECT ON THE STORM SEWER SYSTEM OR STATE WATERS.

2.0 Authorized Non-Stormwater Discharges

Types of Authorized Non-Stormwater Discharges	Likely Present at Project Site?	
• Uncontaminated / filtered excavation dewatering	☒ Yes	☐ NA
• Uncontaminated / filtered wash water	☒ Yes	☐ NA
• Potable water sources that do not create an in-stream impact	☒ Yes	☐ NA
• Pumped uncontaminated ground water	☐ Yes	☒ NA
• Landscape irrigation	☐ Yes	☒ NA
• Other _____	☐ Yes	☒ NA

5.0 Pollution Prevention Practices (PPP)

Pollution prevention practices (PPP) including daily good housekeeping efforts will be employed at the project site to prevent pollution discharges. Equipment, tools and materials needed for cleanup (brooms, shovels, vacuums, trash bags) will be readily available on site.

The following selected ("checked") activities will be conducted during this project and the corresponding pollution prevention controls and practices will be implemented. Specific controls and additional information are included as applicable.

(1) ☒ **Clearing, Grading, Excavating - Sediment Control / Stabilization (PPP1)**
- Erosion and sediment controls selected and/or described in Section 4.0 will be installed and maintained to protect resources and prevent sediment from leaving the site/LOD and entering the storm drain system or surface waters.
- Sediment tracking onto paved areas outside the LOD / construction entrances will be swept up
- Plastic sheeting, tarps, 2" deep straw cover, mulch and/or erosion matting will be used for temporary stabilization of exposed soil / slopes.
- The Pre-Storm Site Preparation Checklist will be followed and implemented.

(2) ☒ **Saw Cutting and Paving Operations (PPP2)**
- Slurry or other debris shall not enter a storm drain or surface water.
- Spill containment techniques such as the use of sand bags or booms around the immediate work area shall be used to contain and capture any non-stormwater discharges.
- Slurry from saw cutting operations must be contained, collected (vacuumed), and disposed of properly.

Description of temporary controls that will be used:

(3) ☒ **Concrete Operations - Washout and Waste Management (PPP3)**
Concrete wash out will be conducting in a leak-proof container or leak-proof settling basin that is designed so that no overflows can occur due to inadequate sizing or precipitation. Hardened concrete wastes shall be removed and disposed of in a manner consistent with the handling of other construction wastes.
- Concrete wash water shall not be discharged to a storm drain or surface water.
- Washout facilities will be sized appropriately for the needs of the project.
- Washout facilities will not be located near storm drains.
- Mixers and truck chutes will be washed out in designated contained washout areas
- No tracking from washout areas will occur.
- Plastic sheeting, boards, or tarps will be placed under concrete truck chutes during pouring
- Concrete washout areas will not be used for dewatering

The selected concrete wash out facility will be used:
- ☐ Washout Structure - Wood Planks
- ☐ Washout Structure - Straw Bales
- ☐ Prefabricated Containment System – Type: _____
- ☐ Other: _____

(4) ☒ **Washing Activities (PPP4)**
Wash water discharges to the storm drain system or surface waters are prohibited.
The following pollution prevention practices and controls will be implemented where applicable:
- Wash water or liquid wastes shall not enter a storm drain or surface waters.
- A suitable containment system for cleaning equipment such as a drum, prefabricated system, lined container, or portable wash pad will be provided.
- The wash / containment area will be sized appropriately for the needs of the project.
- The wash / containment area(s) will be situated away from storm drains.
- Containers will be monitored for leaks or damage. Containers will be replaced as needed.

Washout containment / controls for this project will include:

(5) ☒ **Dewatering Operations (PPP5)**
Construction site dewatering will not be discharged without the use of controls. Sediment laden or turbid water associated with dewatering shall be filtered, settled or similarly treated prior to discharge. The dewatering detail on approved ESC plan will be used. Dewatering operations will be monitored to ensure the controls being used are effective (clear water being discharged) and no clogging or overflow is occurring. Controls will be cleaned out or replaced when the control is no longer effective at removing sediment. Pumping will be conducted so that the rate of discharge does not overwhelm the dewatering system and allows for adequate settling and/or filtration.

Dewatering controls that will be used:
- ☐ Filter bag on stone bed with haybales
- ☐ Portable sediment tank
- ☐ Manufactured / customized system

(6) ☒ **Materials / Chemical Use and Storage (PPP6)**
Areas will be designated for material delivery and storage. These areas will be near construction entrances and not situated near storm drains. Lay downs areas will be shown on plans. Storage and containment areas will be adequately enclosed or covered. Additional pollution prevention practices and controls include:
- Stockpiled soil and other loose materials that can be washed away shall be covered with a tarp, plastic sheeting, or other stabilization matting when not being actively accessed. Covers must be properly secured / anchored down to prevent the covering from being blown off and exposing materials to rain. Controls such as hay bales or booms should be placed along the perimeter of stock pile (downhill side).
- Stockpiled materials located on the edge of roadways will not obstruct flow along the curb line (gutter). Adequate space between the curb and stockpile will be left to allow stormwater to flow along the curb line. Pipes or boards laid over curbs may be used to create the flow through space.
- Secondary containment will be used for storage of fuels, oil, grease, paint, solvents, sealers, cleaners, and other chemicals. Materials will be kept secured and covered when not in use.

(7) ☐ **Equipment and Vehicle Fueling / Maintenance (PPP7)**
Designated areas for refueling vehicles or equipment or perform maintenance will be located away from storm drains and surface waters. Additional pollution prevention practices and controls include:
- Vehicles and equipment will be inspected daily for leaks. Any leaks or spills will be addressed upon discovery.
- Containment measures will be used when conducting fueling (e.g. place fuel mats, spill pads, boards, or plastic sheeting on ground) to contain drips, leaks, spills.
- Fuel tank (s) will have containment.
- Fuel tanks and containers will be inspected daily for signs of damage.
- Employees will be instructed not to "top off" or overfill vehicles or equipment to prevent spills.
- Secondary containment and secure storage will be provided for fuel, oil, solvent and/or lubricants.
- Drip pans, sheeting, and/or absorbent pads will be placed under heavy equipment when not in use (i.e. overnight) to capture any potential leaks.

(8) ☒ **Waste Management (PPP8)**
Trash, waste, and construction debris will be managed and disposed of properly. Designated areas for trash and debris collection will be situated as far away from storm drains as possible. Additional pollution prevention practices and controls include:
- A sufficient number of waste containers will be kept on a site to handle the quantity of waste produced.
- Waste collection / pick up will be conducted as necessary to prevent overfilling.
- Containers will have lids or covers that can be used to cover open containers at the end of the work day and prior to rain events. Roll off containers will be kept covered when not being accessed. Lids and doors on dumpsters and/or / trash can will be kept closed.
- Waste containers will be checked frequently for damage / leaks. Any cleaning will be conducting using DRY methods. Waste containers will not be power washed or hosed out unless the wash water is collected and disposed of into the sanitary sewer system.
- Damaged containers / receptacles (leaking, cracked, corroded, or otherwise deteriorating) will be replaced.

(9) ☒ **Portable Lavatories (PPP9)**
Portable lavatory units will be properly situated and maintained to prevent pollution releases. Additional pollution prevention practices and controls include:
- Portable lavatories will be situated away from storm drains and surface waters.
- Portable lavatories will be kept level and have secondary containment (i.e. trays) if situated on paved surfaces.
- Units will be inspected for leaks or damage will be conducted frequently.
- Routine maintenance / cleaning will occur, and units will be replaced if damaged or leaking.

(10) ☒ **Nutrient Management / Fertilizer Application (PPP10)**
Fertilizer will be applied in accordance with manufacturer's recommendations. Fertilizer will not be applied during rainfall events or windy conditions, or when rain is forecasted. Fertilizer will be properly secured and stored under cover when not being used. Residual fertilizer on paved surfaces will be swept up.

7.0 Spill Prevention, Response, and Reporting

Spills and leaks will be cleaned up upon discovery using dry cleaning methods (placement of absorbent materials, sweeping, shoveling, bagging, proper disposal). Spills will not be hosed down unless the wash water is contained, collected and disposed of properly.

Spill kits will be kept on site. The spill kit shall be labeled, stocked, and readily accessible. **Employees will be informed of the location of the spill kit(s) and how to respond to and report spills.**

Spill kits should contain absorbent materials, pads, socks, plastic bags, and personal protective equipment (gloves, eye protection). Shovels/brooms should be accessible.

Location(s) of spill kit(s) on site:

1.)

2.)

3.)

Spill Response and Reporting:
- Check for hazards (flammable material, noxious fumes, cause of spill) – if flammable liquid, turn off engines and nearby electrical equipment. If serious hazards are present leave the area and call 911.
- Ensure the spill area is safe to enter and does not pose an immediate threat to health and safety
- Stop the spill source.
- Notify personnel in area of spill and potential dangers.
- Ask for assistance to block off area and help with cleanup efforts.
- Take measures to prevent a spill from spreading and/or entering storm drains (socks, booms, soil)
- Clean up spill using dry methods and dispose of materials in accordance with Safety Data Sheet specification and local, state, and federal regulations.
- Never flush or "hose down" a spill down into a storm drain.
- If spilled material has entered a storm drain or surface water; call the Fire Department (911)

Emergency Contacts:

• Arlington County Fire & Police	911 / 703-558-2222
• DES Water, Sewer, Streets 24-Hour Emergency	703-228-6555
• Washington Gas Emergency Line	703-750-1400
• VA Dept. of Emergency Management (24 hour)	804-674-2400

- Water or sewer breaks, or overflows will be reported to Arlington County Department of Environmental Services, Water, Sewer, Streets 24-Hour Emergency # 703-228-6555
- Leaking underground storage tanks will be reported to the Virginia Department of Environmental Quality Northern Regional Office, 703-583-3800 and the Arlington County Fire Prevention Office, 703-228-4644

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PROFESSIONAL ENGINEER
Chelsea Bishop

2700 S NELSON STREET
DECONSTRUCTION

2700 S NELSON STREET
ARLINGTON, VA 22206

MARK	DATE	DESCRIPTION
	8/24/2022	1ST PERMIT SUBMISSION

PROJECT NO:	21-0580.001
SCALE:	N/A
DESIGNED BY:	CMB
DRAWN BY:	JES
CHECKED BY:	CMB

SHEET TITLE

POLLUTION PREVENTION PLAN

C-704

SHEET 14 OF 14

DEMOLITION GENERAL NOTES

A. DEMOLISH TWO 2-STORY BUILDINGS AT 2700 AND 2701 SOUTH NELSON STREET IN ARLINGTON, VIRGINIA. DEMOLISH EXISTING STRUCTURE, REMOVE ALL EXISTING FOOTINGS AND FOUNDATION WALLS, BACKFILL AND COMPACT AS REQUIRED AND RESTORE THE SITE AS DIRECTED IN THE DRAWINGS AND SPECIFICATIONS. SEE DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK.

B. ALL DEMOLITION SHALL BE CONDUCTED WITH APPROPRIATE AND ADEQUATE PROTECTION TO THE ADJOINING STRUCTURES, ESPECIALLY IN THE VICINITY OF 2700 S. NELSON HIGH ROOF. PROVIDE PROTECTION FOR ROOFS OF ADJOINING LOT I BUILDING AND LOT D BUILDING.

C. DEMOLISH BRICK AND CONCRETE BLOCK PERIMETER WALLS WITHOUT DAMAGE TO ADJACENT BUILDINGS TO REMAIN BRICK AND CONCRETE WALLS.

D. DEMOLISH STEEL COLUMNS, BEAMS, BAR JOISTS AND ALL OTHER STRUCTURAL COMPONENTS TO THE EXTENT SHOWN. REFER TO STRUCTURAL DRAWINGS.

E. DEMOLISH PLUMBING FIXTURES, MECHANICAL EQUIPMENT, ELECTRICAL PANELS, LIGHT FIXTURES TO THE EXTENT SHOWN. REFER TO PLUMBING, MECHANICAL AND ELECTRICAL DRAWING.

F. DEMOLISH CONCRETE STEPS & SIDEWALKS TO THE EXTENT SHOWN. REFER TO CIVIL DRAWINGS.

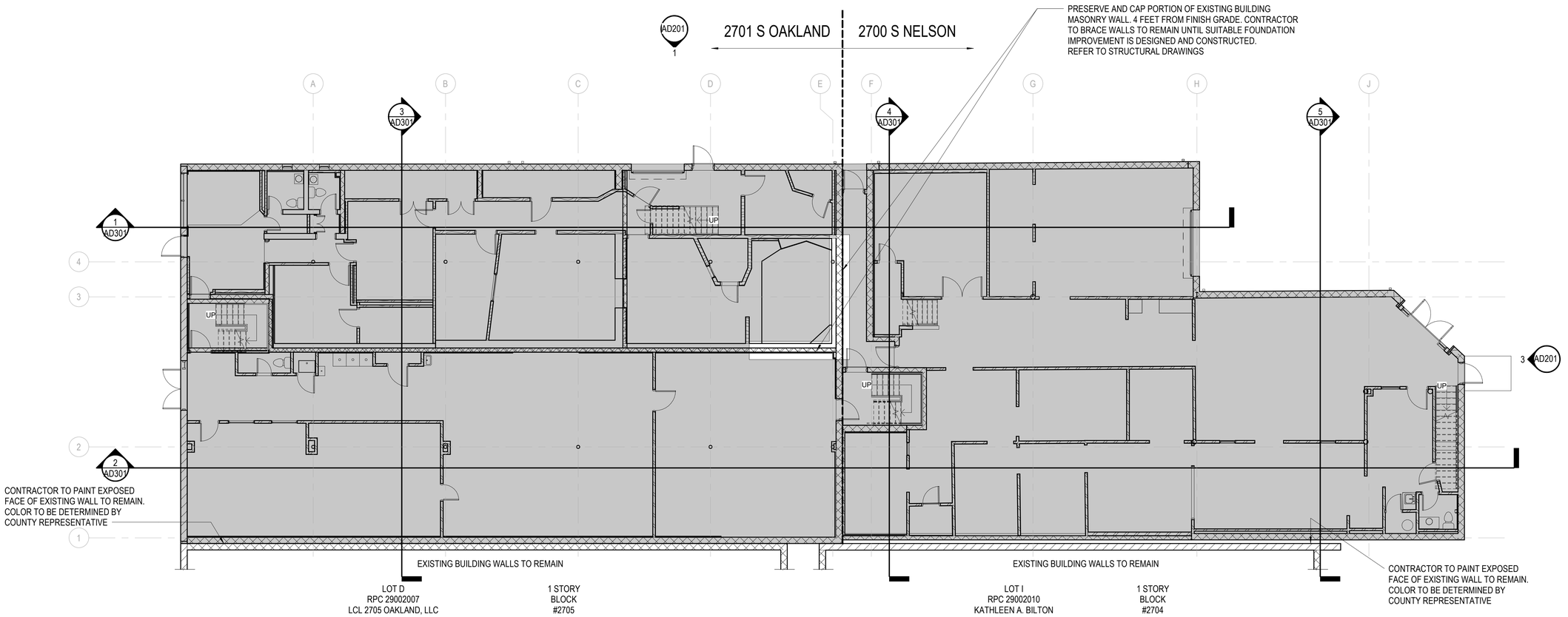
G. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME PROPERTY OF THE CONTRACTOR.

H. REFER TO THE PROJECT SPECIFICATIONS SECTION 024119 "SELECTIVE DEMOLITION" FOR ADDITIONAL REQUIREMENTS.

ITEMS TO BE SALVAGED

NOTE: SALVAGE THE ITEMS LISTED BELOW AND TURN THEM OVER TO THE OWNER FOR STORAGE. REFER TO THE PROJECT SPECIFICATIONS SECTION 017419 "CONSTRUCTION WASTE MANAGEMENT & DISPOSAL" FOR ADDITIONAL INFORMATION ON THE CONDITION REQUIRED

1. SIXTEEN (16) PIECES OF LUMBER 2 INCHES X 4 INCHES X 8 FEET.
2. TWO (2) LARGE ROOF TRUSSES FROM 2700 S NELSON BUILDING
3. FOUR (4) ROOF METAL DECK SHEETS FROM 2700 S NELSON BUILDING
4. TWO (2) METAL DOORS
5. WOODEN STAIR STRINGERS, RISERS AND TREADS
6. ALL FREE STANDING PLYWOOD SHELVING AT 2700 S NELSON AND 2701 S OAKLAND
7. ALL INTERIOR ALUMINUM LIGHT CANISTERS IN 2700 S NELSON
8. ALL SKYLIGHT DOMES (UNBROKEN) AT 2700 S NELSON ROOF
9. CONCRETE WHEEL STOPS ON SITE
10. AWNING ALUMINUM FRAME AT S NELSON ENTRANCE
11. ALL CONCRETE PLANTERS AT ENTRANCES



1 AD101 FIRST FLOOR - DEMOLITION

SCALE: 1/8" = 1'-0"

DEMOLISH & LEGALLY DISPOSE OF BUILDING IN ITS ENTIRETY INCLUDING ALL BELOW GRADE FOOTINGS. REFER TO THE ITEMS TO BE SALVAGED LIST FOR EXCEPTIONS

WALL MATERIAL LEGEND

ALUMINUM STOREFRONT	BRICK
CONCRETE MASONRY UNIT	PLYWOOD
METAL STUDS - GYPSUM BOARD	WOOD STUDS - GYPSUM BOARD

1/32" = 1'-0" | 1/16" = 1'-0" | 3/32" = 1'-0" | 1/8" = 1'-0" | 1/4" = 1'-0" | 3/8" = 1'-0" | 1/2" = 1'-0" | 3/4" = 1'-0" | 1" = 1'-0" | 1 1/2" = 1'-0" | 3" = 1'-0" | 6" = 1'-0"

MARK	DATE	REVISIONS	BY	DES

DATE	08.25.2022
PROJECT	13356-35
DESIGNED	HMB
DRAWN	HMB
CHECKED	KDL

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COMMONWEALTH OF VIRGINIA
KEITH DOUGLAS LEONARD
Lic. No. 011302
08.25.2022
ARCHITECT

PROJECT 2700 S NELSON & 2701 OAKLAND STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201
DRAWING FIRST FLOOR - DEMOLITION

SHEET
AD101

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8/23/2022 5:41:52 PM

DEMOLITION GENERAL NOTES

A. DEMOLISH TWO 2-STORY BUILDINGS AT 2700 AND 2701 SOUTH NELSON STREET IN ARLINGTON, VIRGINIA. DEMOLISH EXISTING STRUCTURE, REMOVE ALL EXISTING FOOTINGS AND FOUNDATION WALLS, BACKFILL AND COMPACT AS REQUIRED AND RESTORE THE SITE AS DIRECTED IN THE DRAWINGS AND SPECIFICATIONS. SEE DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK.

B. ALL DEMOLITION SHALL BE CONDUCTED WITH APPROPRIATE AND ADEQUATE PROTECTION TO THE ADJOINING STRUCTURES, ESPECIALLY IN THE VICINITY OF 2700 S. NELSON HIGH ROOF. PROVIDE PROTECTION FOR ROOFS OF ADJOINING LOT I BUILDING AND LOT D BUILDING.

C. DEMOLISH BRICK AND CONCRETE BLOCK PERIMETER WALLS WITHOUT DAMAGE TO ADJACENT BUILDINGS TO REMAIN BRICK AND CONCRETE WALLS.

D. DEMOLISH STEEL COLUMNS, BEAMS, BAR JOISTS AND ALL OTHER STRUCTURAL COMPONENTS TO THE EXTENT SHOWN. REFER TO STRUCTURAL DRAWINGS.

E. DEMOLISH PLUMBING FIXTURES, MECHANICAL EQUIPMENT, ELECTRICAL PANELS, LIGHT FIXTURES TO THE EXTENT SHOWN. REFER TO PLUMBING, MECHANICAL AND ELECTRICAL DRAWING.

F. DEMOLISH CONCRETE STEPS & SIDEWALKS TO THE EXTENT SHOWN. REFER TO CIVIL DRAWINGS.

G. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME PROPERTY OF THE CONTRACTOR.

H. REFER TO THE PROJECT SPECIFICATIONS SECTION 024119 "SELECTIVE DEMOLITION" FOR ADDITIONAL REQUIREMENTS.

ITEMS TO BE SALVAGED

NOTE: SALVAGE THE ITEMS LISTED BELOW AND TURN THEM OVER TO THE OWNER FOR STORAGE. REFER TO THE PROJECT SPECIFICATIONS SECTION 017419 "CONSTRUCTION WASTE MANAGEMENT & DISPOSAL" FOR ADDITIONAL INFORMATION ON THE CONDITION REQUIRED

1. SIXTEEN (16) PIECES OF LUMBER 2 INCHES X 4 INCHES X 8 FEET.
2. TWO (2) LARGE ROOF TRUSSES FROM 2700 S NELSON BUILDING
3. FOUR (4) ROOF METAL DECK SHEETS FROM 2700 S NELSON BUILDING
4. TWO (2) METAL DOORS
5. WOODEN STAIR STRINGERS, RISERS AND TREADS
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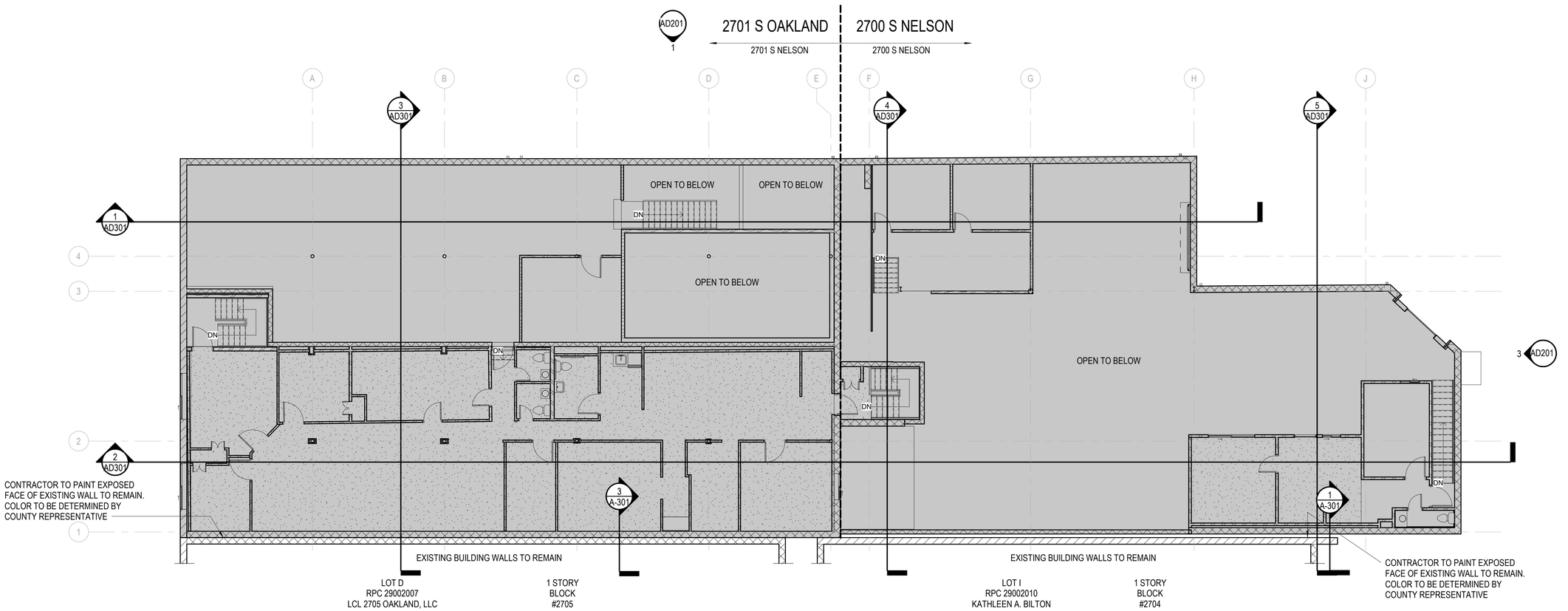
10. AWNING ALUMINUM FRAME AT S NELSON ENTRANCE
11. ALL CONCRETE PLANTERS AT ENTRANCES



1 AD102 SCALE: 1/8" = 1'-0"

SECOND FLOOR & MEZZANINE LEVEL - DEMOLITION

DEMOLISH & LEGALLY DISPOSE OF BUILDING IN ITS ENTIRETY INCLUDING ALL BELOW GRADE FOOTINGS. REFER TO THE ITEMS TO BE SALVAGED LIST FOR EXCEPTIONS

WALL MATERIAL LEGEND

ALUMINUM STOREFRONT	BRICK
CONCRETE MASONRY UNIT	PLYWOOD
METAL STUDS - GYPSUM BOARD	WOOD STUDS - GYPSUM BOARD

MARK	DATE	REVISIONS	BY	DES

DATE	08.25.2022
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DESIGNED	HMB
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08.25.2022
ARCHITECT

PROJECT 2700 S NELSON & 2701 OAKLAND STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201

DRAWING SECOND FLOOR & MEZZANINE LEVEL - DEMOLITION

SHEET
AD102

DEMOLITION GENERAL NOTES

A. DEMOLISH TWO 2-STORY BUILDINGS AT 2700 AND 2701 SOUTH NELSON STREET IN ARLINGTON, VIRGINIA. DEMOLISH EXISTING STRUCTURE, REMOVE ALL EXISTING FOOTINGS AND FOUNDATION WALLS, BACKFILL AND COMPACT AS REQUIRED AND RESTORE THE SITE AS DIRECTED IN THE DRAWINGS AND SPECIFICATIONS. SEE DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK.

B. ALL DEMOLITION SHALL BE CONDUCTED WITH APPROPRIATE AND ADEQUATE PROTECTION TO THE ADJOINING STRUCTURES, ESPECIALLY IN THE VICINITY OF 2700 S. NELSON HIGH ROOF. PROVIDE PROTECTION FOR ROOFS OF ADJOINING LOT I BUILDING AND LOT D BUILDING.

C. DEMOLISH BRICK AND CONCRETE BLOCK PERIMETER WALLS WITHOUT DAMAGE TO ADJACENT BUILDINGS TO REMAIN BRICK AND CONCRETE WALLS.

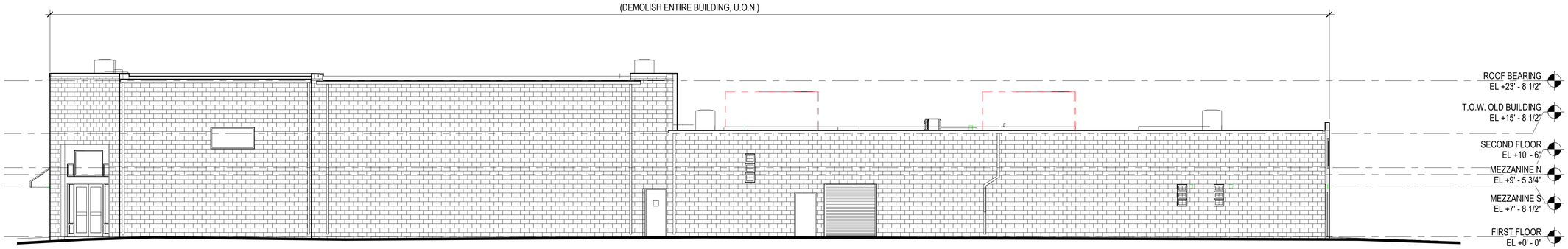
D. DEMOLISH STEEL COLUMNS, BEAMS, BAR JOISTS AND ALL OTHER STRUCTURAL COMPONENTS TO THE EXTENT SHOWN. REFER TO STRUCTURAL DRAWINGS.

E. DEMOLISH PLUMBING FIXTURES, MECHANICAL EQUIPMENT, ELECTRICAL PANELS, LIGHT FIXTURES TO THE EXTENT SHOWN. REFER TO PLUMBING, MECHANICAL AND ELECTRICAL DRAWING.

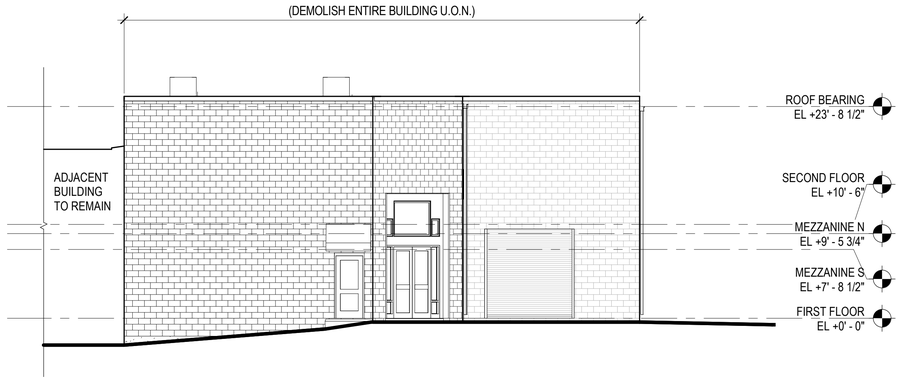
F. DEMOLISH CONCRETE STEPS & SIDEWALKS TO THE EXTENT SHOWN. REFER TO CIVIL DRAWINGS.

G. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME PROPERTY OF THE CONTRACTOR.

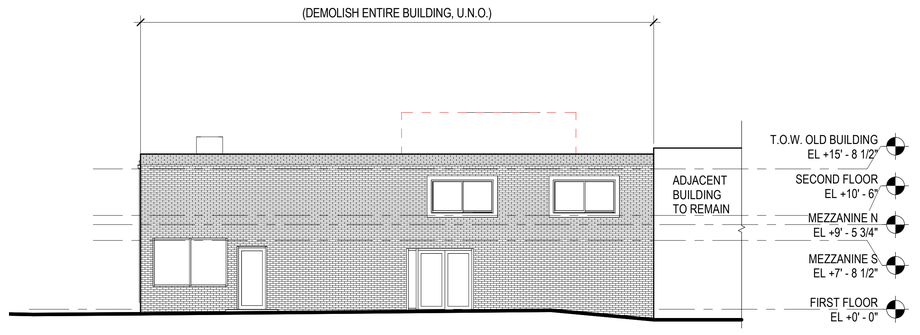
H. REFER TO THE PROJECT SPECIFICATIONS SECTION 024119 "SELECTIVE DEMOLITION" FOR ADDITIONAL REQUIREMENTS.



1 AD201 NORTH ELEVATION - DEMOLITION
SCALE: 1/8" = 1'-0"



3 AD201 EAST ELEVATION - DEMOLITION
SCALE: 1/8" = 1'-0"



4 AD201 WEST ELEVATION - DEMOLITION
SCALE: 1/8" = 1'-0"

MARK	REVISIONS	DATE	BY	DES

DATE	08.25.2022			
PROJECT	13356-35	HMB		
DESIGNED		HMB		
DRAWN		KDL		
CHECKED				

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08.25.2022
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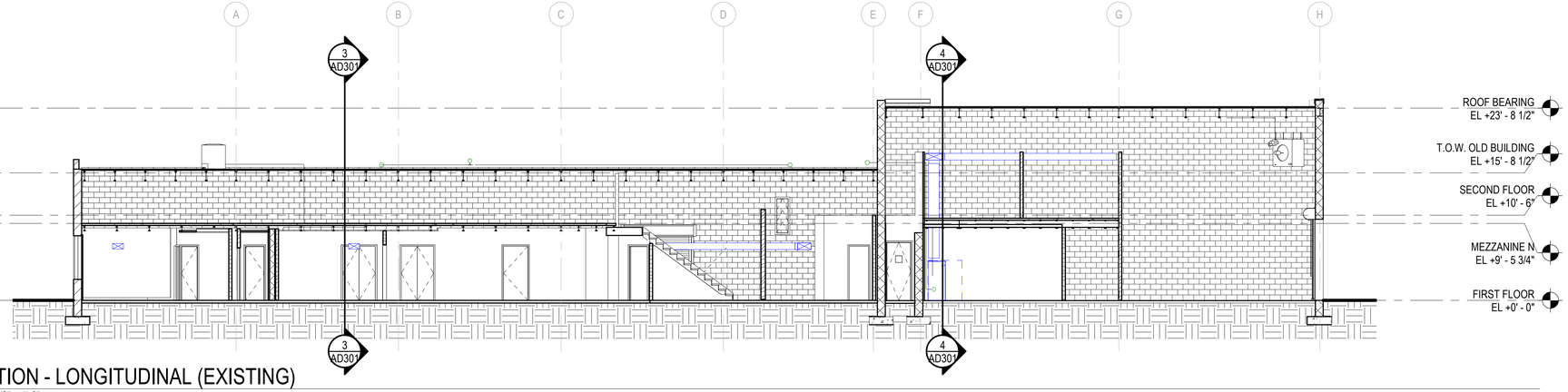
PROJECT 2700 S NELSON & 2701 OAKLAND STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201

DRAWING EXTERIOR ELEVATIONS - DEMOLITION

SHEET
AD201

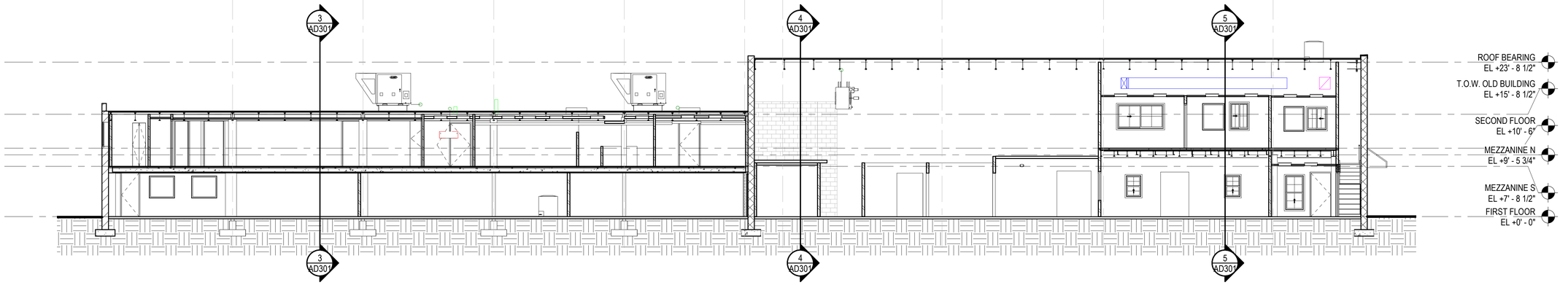
BIM 360://13356-35 Demo 2700 South Nelson/13356-35 v21 2700 S Nelson ST - ARCH.rvt
8/23/2022 5:44:49 PM

1/32" = 1'-0" | 1/16" = 1'-0" | 3/32" = 1'-0" | 1/8" = 1'-0" | 1/4" = 1'-0" | 3/8" = 1'-0" | 1/2" = 1'-0" | 3/4" = 1'-0" | 1" = 1'-0" | 1 1/2" = 1'-0" | 3" = 1'-0" | 6" = 1'-0"



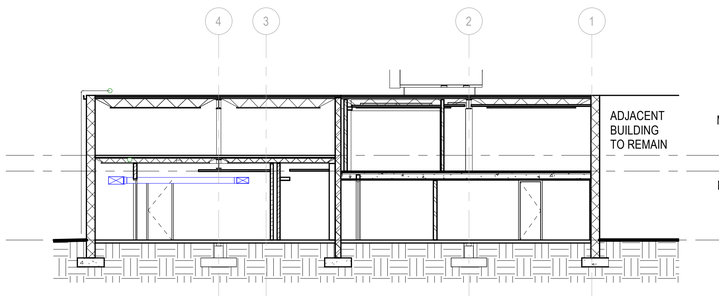
1 AD301 SECTION - LONGITUDINAL (EXISTING)

SCALE: 1/8" = 1'-0"



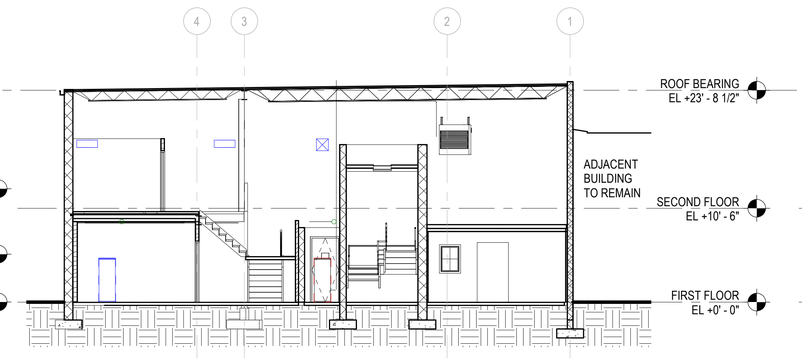
2 AD301 SECTION - LONGITUDINAL (EXISTING)

SCALE: 1/8" = 1'-0"



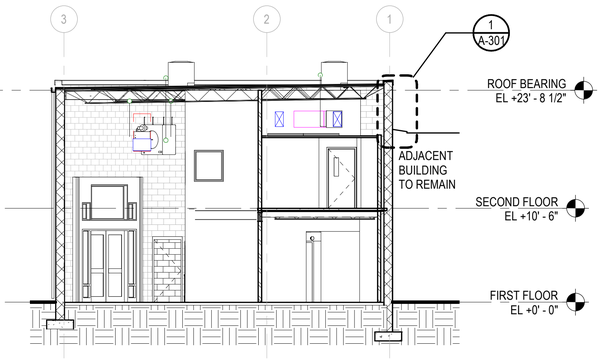
3 AD301 SECTION - TRANSVERSE (EXISTING)

SCALE: 1/8" = 1'-0"



4 AD301 SECTION - TRANSVERSE (EXISTING)

SCALE: 1/8" = 1'-0"



5 AD301 SECTION - TRANSVERSE (EXISTING)

SCALE: 1/8" = 1'-0"

MARK	DATE	REVISIONS	BY	DES

DATE	08.25.2022
PROJECT	13356-35
DESIGNED	HMB
DRAWN	HMB
CHECKED	KDL

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PROJECT 2700 S NELSON & 2701 OAKLAND STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201

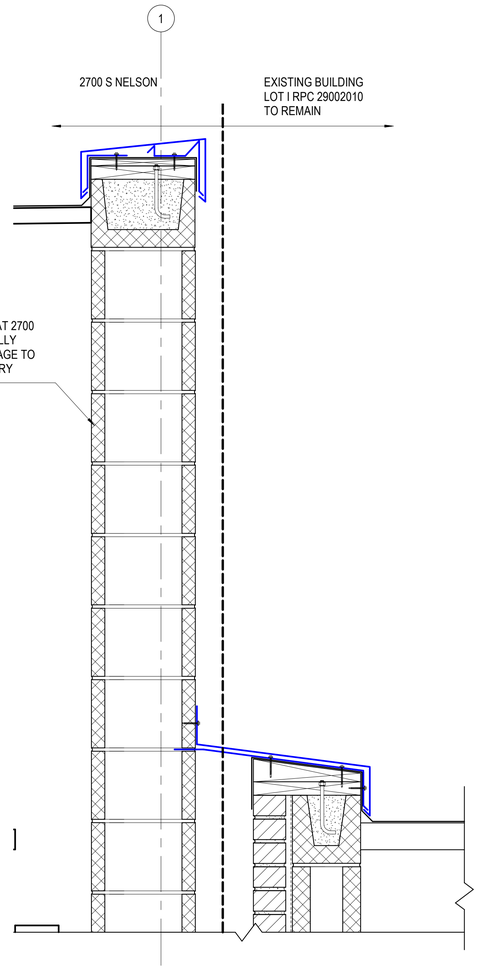
DRAWING BUILDING SECTIONS - DEMOLITION

SHEET
AD301

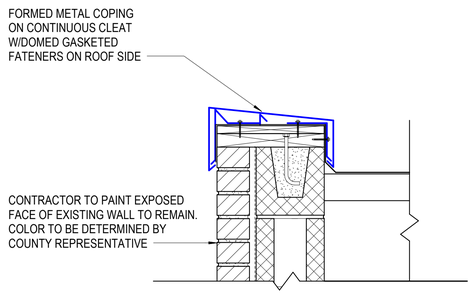
1/32" = 1'-0" | 1/16" = 1'-0" | 3/32" = 1'-0" | 1/8" = 1'-0" | 1/4" = 1'-0" | 3/8" = 1'-0" | 1/2" = 1'-0" | 3/4" = 1'-0" | 1" = 1'-0" | 1 1/2" = 1'-0" | 3" = 1'-0" | 6" = 1'-0"

GENERAL NOTES

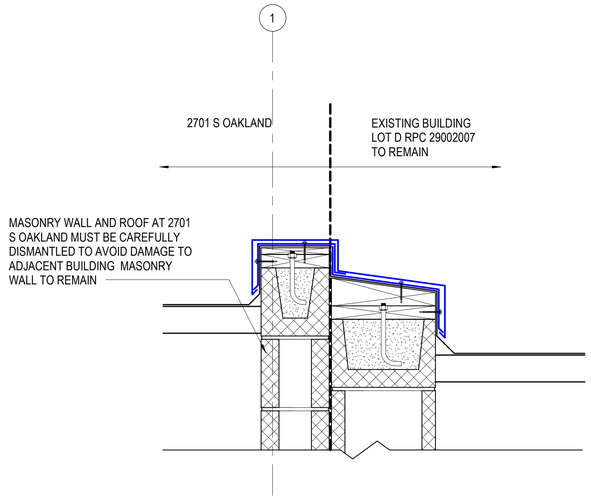
1. INSTALLATION OF NEW ROOF TERMINATIONS SHALL BE COORDINATED WITH THE DEMOLITION SCHEDULE TO PROVIDE TIMELY WEATHER PROTECTION FOR THE EXISTING TO REMAIN STRUCTURES.



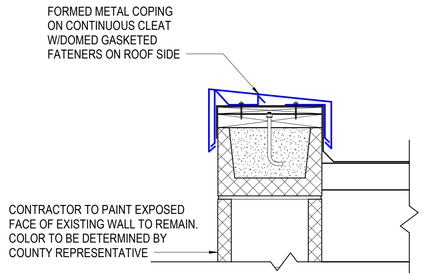
1 A-301 COPING DETAIL - EXISTING
SCALE: 1 1/2" = 1'-0"



2 A-301 COPING DETAIL - AFTER DEMOLITION
SCALE: 1 1/2" = 1'-0"



3 A-301 COPING DETAIL - EXISTING
SCALE: 1 1/2" = 1'-0"



4 A-301 COPING DETAIL - AFTER DEMOLITION
SCALE: 1 1/2" = 1'-0"

DES	BY	DATE	MARK	REVISIONS

DATE	08.25.2022
PROJECT	13356-35
DESIGNED	HMB
DRAWN	HMB
CHECKED	KDL

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PROJECT 2700 S NELSON & 2701 OAKLAND STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201

DRAWING WALL SECTIONS - DEMOLITION & NEW WORK

SHEET
A-301

BIM 360://13356-35 Demo 2700 South Nelson/13356-35 v21 2700 S Nelson ST - ARCH.rvt
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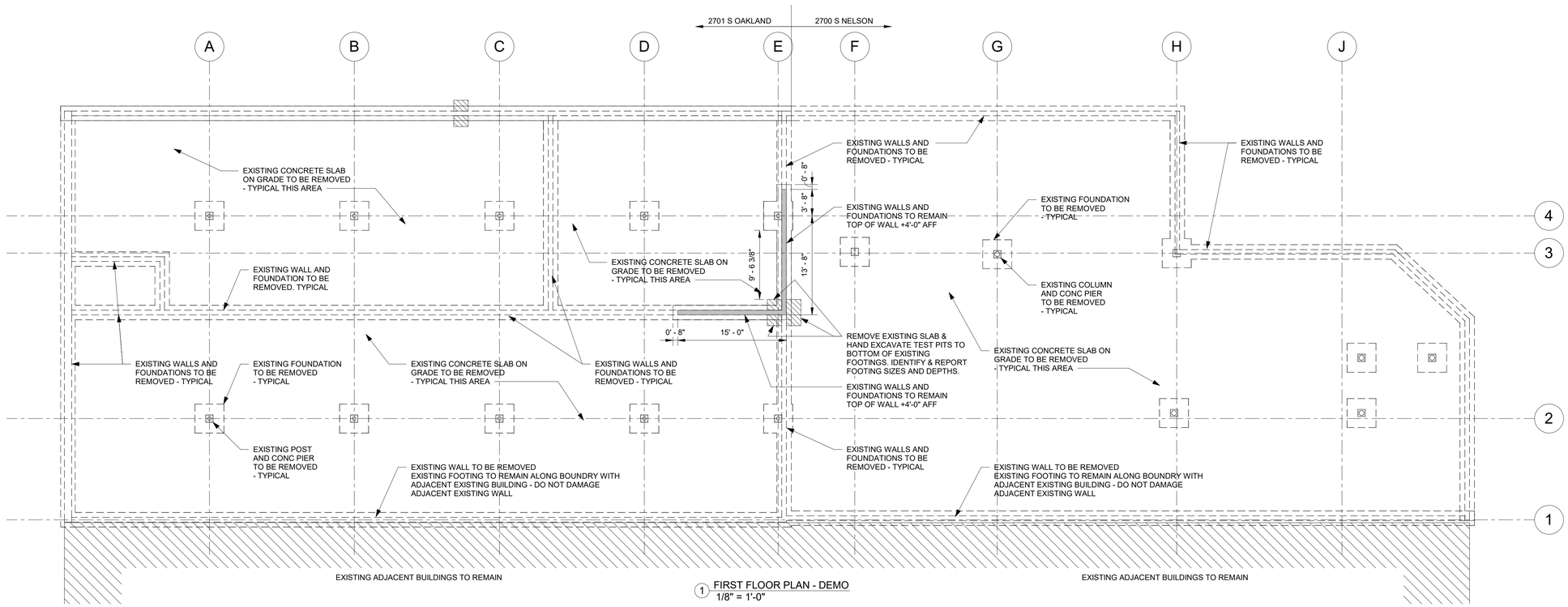
1/32" = 1'-0" | 1/16" = 1'-0" | 3/32" = 1'-0" | 1/8" = 1'-0" | 1/4" = 1'-0" | 3/8" = 1'-0" | 1/2" = 1'-0" | 3/4" = 1'-0" | 1" = 1'-0" | 1 1/2" = 1'-0" | 3" = 1'-0" | 6" = 1'-0"



1 FIRST FLOOR PLAN - DEMO
1/8" = 1'-0"

DEMOLITION NOTES:

1. PROJECT INCLUDES THE DEMOLITION AND REMOVAL OF THE IDENTIFIED BUILDINGS INCLUDING THE ENTIRE STRUCTURAL SYSTEM, UNLESS NOTED OTHERWISE. THESE DRAWINGS ARE DIAGRAMMATIC ONLY AND MEANT TO SHOW THE ANTICIPATED STRUCTURAL SYSTEMS BASED ON SITE OBSERVATIONS. EMBEDDED STRUCTURAL MEMBERS, BELOW GRADE STRUCTURES, AND THOSE CONCEALED FROM VIEW SHOULD BE EXPECTED AND INCLUDED AS PART OF THE TOTAL DEMOLITION.
2. WALLS AND FOUNDATIONS NOTED TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND SHORED IN PLACE. WALLS SHALL BE SAW CUT EVENLY ALONG THE PRESERVED EDGE. FOUNDATIONS SHALL NOT BE UNDERMINED BY EXCAVATIONS. BACKFILL ALONG BOTH SIDES OF WALLS TO REMAIN UP TO ORIGINAL FINISH FLOOR ELEVATION.
2. ADJACENT BUILDINGS TO REMAIN SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION EFFORTS. VERIFY PERIMETER WALLS ARE ISOLATED FROM THE ADJACENT BUILDING WALLS BEFORE THEY ARE RAZED. DO NOT REMOVE PORTIONS OF UNCOVERED STRUCTURES THAT ARE FOUND TO BE TIED TO THE ADJACENT BUILDINGS UNTIL REVIEWED BY THE COUNTY AND ARCHITECT/ENGINEER.
3. THE STRUCTURAL DEMOLITION SHALL BE SCHEDULE AFTER ANY AND ALL INTERIOR DEMOLITION IS COMPLETE FOR SAFETY CONCERNS.
4. DEBRIS, INCLUDING BRICK, CONCRETE, STONE, METALS, AND SIMILAR MATERIAL FROM THE DEMOLITION SHALL BECOME PROPERTY OF CONCTRACTOR AND SHALL BE DISPOSED OF DAILY OFF SITE TO AVOID ACCUMULATION AT THE DEMOLITION SITE.
5. MATERIAL THAT CANNOT BE REMOVED DAILY SHALL STORED IN AREAS THAT WILL NOT CURTAIL OPERATIONS OR DIVERT STORM RUN-OFF.
6. THE DEMOLITION SHALL BE SCHEDULED AND PROSECUTED TO ASSURE STABILITY OF THE ADJACENT STRUCTURE AT THE END OF EACH WORKDAY.
7. BREAK UP CONCRETE SLABS, WALLS, AND FOUNDATION AND REMOVE FROM THE SITE.
8. CONTRACTOR SHALL DISPOSE DEBRIS IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE OR LOCAL PERMITS, RULES AND/OR REGULATIONS.

MARK	DATE	REVISIONS	BY	DES

DATE	08.25.2022			
PROJECT	13356-35			
DESIGNED	RKS/BTV		BTV	
DRAWN				RKS
CHECKED				

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PROFESSIONAL ENGINEER
AUG 25 2022

PROJECT 2700 S NELSON & 2701 OAKLAND STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201
DRAWING FIRST FLOOR PLAN - DEMOLITION PLAN

SHEET
SD-101

GPI
Greenman-Pedersen, Inc.
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Project #: 2021305.00
PM: MMZ M: HTL E: NNT P: BKM

1/32" = 1'-0" | 1/16" = 1'-0" | 3/32" = 1'-0" | 1/8" = 1'-0" | 1/4" = 1'-0" | 3/8" = 1'-0" | 1/2" = 1'-0" | 3/4" = 1'-0" | 1" = 1'-0" | 1 1/2" = 1'-0" | 3" = 1'-0" | 6" = 1'-0"

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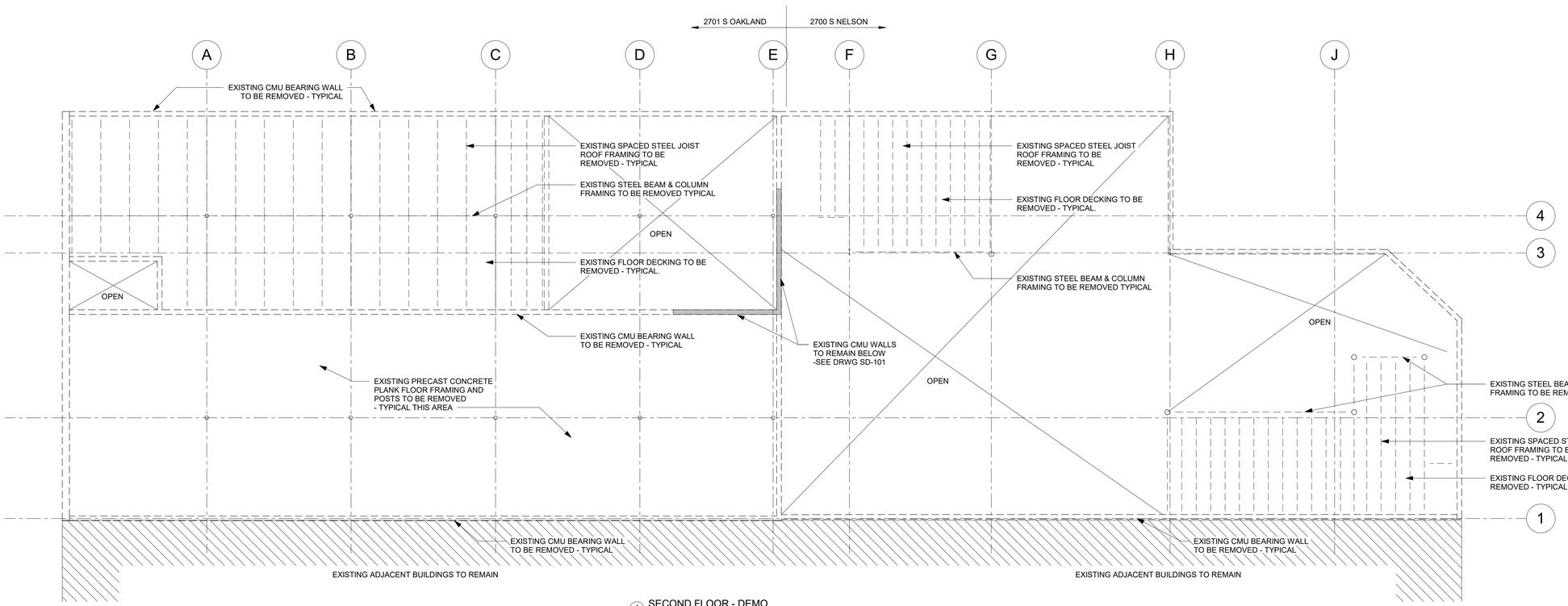

1 SECOND FLOOR - DEMO
1/8" = 1'-0"

DEMOLITION NOTES:

1. PROJECT INCLUDES THE TOTAL DEMOLITION AND REMOVAL OF THE IDENTIFIED BUILDINGS INCLUDING THE ENTIRE STRUCTURAL SYSTEM, UNLESS NOTED OTHERWISE. THESE DRAWINGS ARE DIAGRAMMATIC ONLY AND MEANT TO SHOW THE ANTICIPATED STRUCTURAL SYSTEMS BASED ON SITE OBSERVATIONS. EMBEDDED STRUCTURAL MEMBERS, BELOW GRADE STRUCTURES, AND THOSE CONCEALED FROM VIEW SHOULD BE EXPECTED AND INCLUDED AS PART OF THE TOTAL DEMOLITION.
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7. BREAK UP CONCRETE SLABS, WALLS, AND FOUNDATION AND REMOVE FROM THE SITE.
8. CONTRACTOR SHALL DISPOSE DEBRIS IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE OR LOCAL PERMITS, RULES AND/OR REGULATIONS.

MARK	REVISIONS	DATE	BY	DES

DATE	08.25.2022
PROJECT	13356-35
DESIGNED	RKS/BTV
DRAWN	BTV
CHECKED	RKS

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COMMONWEALTH OF VIRGINIA
ROCKY K. STYER
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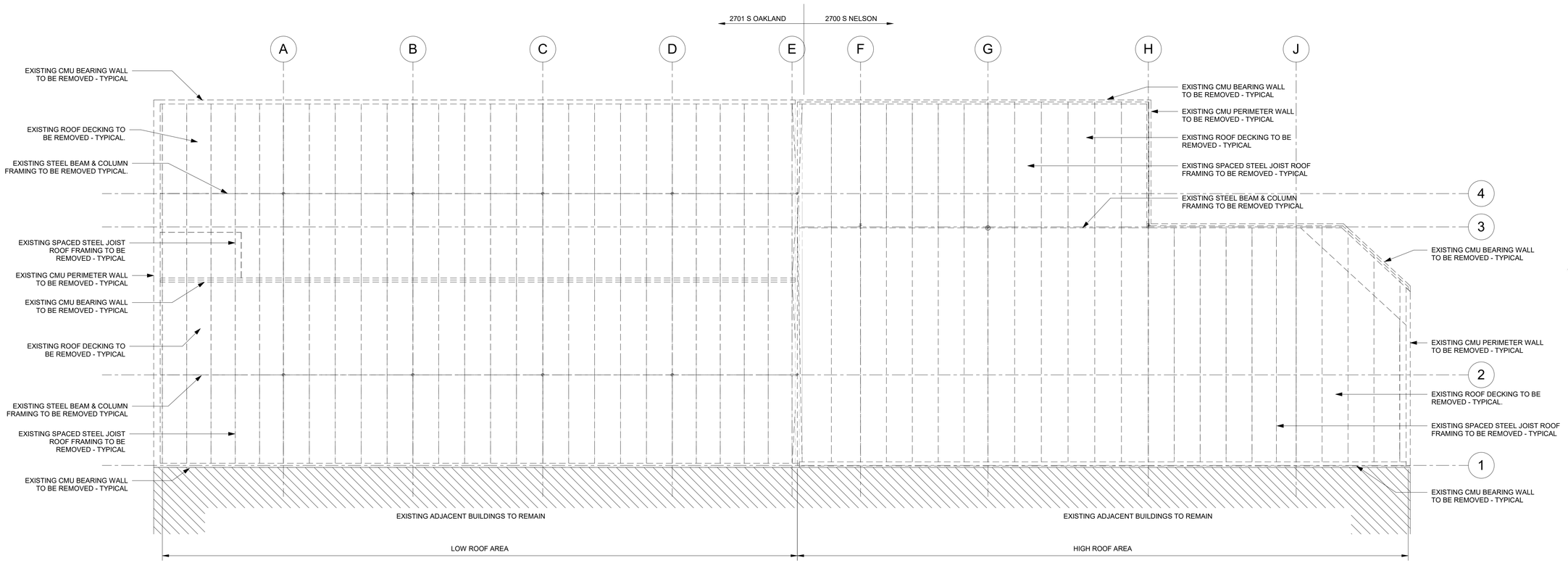
PROFESSIONAL ENGINEER
AUG 25 2022

PROJECT 2700 S NELSON & 2701 OAKLAND STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201
DRAWING SECOND FLOOR & MEZZANINE - DEMOLITION PLAN

SHEET
SD-102

GPI
Greenman-Pedersen, Inc.
Engineering and Construction Services
8001 Braddock Road, Suite 200, Springfield, VA 22151
703-978-0100 www.gpinet.com
Project #: 2021305.00
PM: MMZ M: HTL E: NNT P: BKM

1/32" = 1'-0" | 1/16" = 1'-0" | 3/32" = 1'-0" | 1/8" = 1'-0" | 1/4" = 1'-0" | 3/8" = 1'-0" | 1/2" = 1'-0" | 3/4" = 1'-0" | 1" = 1'-0" | 1 1/2" = 1'-0" | 3" = 1'-0" | 6" = 1'-0"



1 ROOF PLAN - DEMO
1/8" = 1'-0"

DEMOLITION NOTES:

1. PROJECT INCLUDES THE TOTAL DEMOLITION AND REMOVAL OF THE IDENTIFIED BUILDINGS INCLUDING THE ENTIRE STRUCTURAL SYSTEM, UNLESS NOTED OTHERWISE. THESE DRAWINGS ARE DIAGRAMMATIC ONLY AND MEANT TO SHOW THE ANTICIPATED STRUCTURAL SYSTEMS BASED ON SITE OBSERVATIONS. EMBEDDED STRUCTURAL MEMBERS, BELOW GRADE STRUCTURES, AND THOSE CONCEALED FROM VIEW SHOULD BE EXPECTED AND INCLUDED AS PART OF THE TOTAL DEMOLITION.
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8. CONTRACTOR SHALL DISPOSE DEBRIS IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE OR LOCAL PERMITS, RULES AND/OR REGULATIONS.

MARK	DATE	REVISIONS	BY	DES

DATE	08.25.2022
PROJECT	13356-35
DESIGNED	RKS/BTV
DRAWN	BTV
CHECKED	RKS

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COMMONWEALTH OF VIRGINIA
ROCKY K. STYER
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PROFESSIONAL ENGINEER
AUG 25 2022

PROJECT 2700 S NELSON & 2701 OAKLAND STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201
DRAWING ROOF PLAN - DEMOLITION PLAN

SHEET
SD-103

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703-978-0100 www.gpinet.com
Project # 2021305.00
PM: MMZ M: HTL E: NNT P: BKM

GENERAL NOTES

1. THIS PROJECT REPRESENTS A COMPLETE DEMOLITION OF ALL SYSTEMS. REMOVE ALL EXISTING EQUIPMENT AND ASSOCIATED PIPING, DUCTWORK, AND CONTROLS TO THE SOURCE, WHETHER SPECIFICALLY INDICATED OR NOT. ALL EQUIPMENT AND SYSTEMS ARE TO BE REMOVED COMPLETELY. VERIFY WITH OWNER IF ANY EQUIPMENT OR DEVICES BEING REMOVED ARE TO BE SALVAGED FOR REUSE.
2. FIELD VERIFY ALL EXISITNG CONDITIONS AND SYSTEMS DURING PRE BID WALKTHROUGH.

GENERAL LEGEND

SYMBOL	DESCRIPTION
(#)	KEYED NOTE, DEMOLITION
XXXX	EQUIPMENT DESIGNATOR

EQUIPMENT TYPES

AC	-	A/C UNIT (SPLIT SYSTEM)
AHU	-	AIR HANDLING UNIT
BBH	-	BASEBOARD HEATER
CU	-	CONDENSING UNIT
CUH	-	CABINET UNIT HEATER
DH	-	DUCT HEATER
EF	-	EXHAUST FAN
FCU	-	FAN COIL UNIT
HP	-	HEAT PUMP
HWP	-	HOT WATER PUMP
OAF	-	OUTSIDE AIR FAN
RAF	-	RETURN AIR FAN
SAC	-	SUPPLEMENTAL A/C UNIT
SAF	-	SUPPLY AIR FAN
UH	-	UNIT HEATER
VFD	-	VARIABLE FREQUENCY DRIVE
WH	-	WALL HEATER

PIPING LEGEND

SYMBOL	DESCRIPTION
D	CONDENSATE DRAIN
PCD	PUMPED CONDENSATE DRAIN
RL	REFRIGERANT LIQUID LINE
RS	REFRIGERANT SUCTION LINE
	PIPE TURNING UP
	PIPE TURNING DOWN
	VALVE IN VERTICAL
	PIPE BRANCH BOTTOM TAKEOFF
	PIPE BRANCH TOP TAKEOFF
	OFFSET IN PIPE
	CAPPED PIPE
	PIPE DIRECTION OF FLOW
	PIPE PITCHED IN DIRECTION OF FLOW
	UNION

ABBREVIATIONS

(E)	EXISTING TO REMAIN
(R)	EXISTING TO BE REMOVED AND RELOCATED
(RE)	RELOCATED EQUIPMENT
ACU	AIR CONDITIONING UNIT
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
BAS	BUILDING AUTOMATION SYSTEM
BTUH	BRITISH THERMAL UNITS PER HOUR
CFM	CUBIC FEET PER MINUTE
CLG	CEILING
DB	DRY BULB TEMPERATURE
DN	DOWN
EAT	ENTERING AIR TEMPERATURE
EF	EXHAUST FAN
EFF	EFFICIENCY
ESP	EXTERNAL STATIC PRESSURE
EWB	ENTERING WET BULB TEMPERATURE
EWT	ENTERING WATER TEMPERATURE
°F	DEGREES FAHRENHEIT
FLA	FULL LOAD AMPS
FPB	FAN POWERED BOX
FT	FOOT, FEET
GPM	GALLONS PER MINUTE
HP	HORSEPOWER
HZ	HERTZ (CYCLES PER SECOND)
IN	INCH, INCHES
IN WG	INCHES OF WATER GAUGE
KW	KILOWATTS
LAT	LEAVING AIR TEMPERATURE
LBS	POUNDS
LRA	LOCKED ROTOR AMPS
LWT	LEAVING WATER TEMPERATURE
MBH	THOUSAND BRITISH THERMAL UNITS PER HOUR
MCA	MINIMUM CIRCUIT AMPACITY
MIN	MINIMUM
MOCP	MAXIMUM OVER-CURRENT PROTECTION
OA	OUTSIDE AIR
OED	OPEN ENDED DUCT
PD	PRESSURE DROP
PH	PHASE
PSI	POUNDS PER SQUARE INCH
RA	RETURN AIR
RH	RELATIVE HUMIDITY
RLA	RUNNING LOAD AMPS
RPM	REVOLUTIONS PER MINUTE
SA	SUPPLY AIR
SL	SOUND LINING
TAO	TRANSFER AIR OPENING (UNDUCTED)
TD	TRANSFER DUCT
TYP	TYPICAL
TF	TRANSFER FAN
V	VOLT, VOLTS
VAV	VARIABLE AIR VOLUME
W/	WITH
WB	WET BULB TEMPERATURE
WG	WATER GAUGE

DUCTWORK LEGEND

SYMBOL	DESCRIPTION
12x6(E)	EXISTING DUCTWORK, EQUIPMENT OR PIPING TO BE REMOVED
	DUCTWORK WITH SOUNDLINING
	SUPPLY DUCT TURNING UP
	RETURN/EXHAUST DUCT TURNING UP
	SUPPLY DUCT TURNING DOWN
	RETURN/EXHAUST DUCT TURNING DOWN
R	RISE IN DUCT (ARROW INDICATES AIRFLOW DIRECTION)
D	DROP IN DUCT (ARROW INDICATES AIRFLOW DIRECTION)
	TRANSITION IN DUCT, SQUARE TO SQUARE
	TRANSITION IN DUCT, SQUARE TO ROUND
	DUCT CAPPED AND SEALED
	SQUARE THROAT DUCT ELBOW WITHOUT TURNING VANES
	SQUARE THROAT DUCT ELBOW WITH TURNING VANES
	RADIUS ELBOW
	45 DEGREE TAP
	SPIN-IN RUNOUT FITTING WITH BALANCING DAMPER AND FLEXIBLE DUCT
	CONICAL TAP
	FLEXIBLE DUCT
	RECTANGULAR SUPPLY AIR DIFFUSER
	RETURN AIR GRILLE
T	THERMOSTAT
H	HUMIDITY SENSOR
S	FAN SPEED SWITCH/OR TIMER SWITCH
SD	DUCT SMOKE DETECTOR

DRAWING LIST

MARK	DATE	REVISIONS	BY	DES

DATE	08.25.2022
PROJECT	13356-35
DESIGNED	MMZ
DRAWN	MMZ
CHECKED	RMD

RRMM ARCHITECTS, PC
2900 South Quincy Street, Suite 710
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(703)998-0101

COMMONWEALTH OF VIRGINIA
MATTHEW M. ZIGARELLI
Lic. No. 0402052214
PROFESSIONAL ENGINEER
AUG 25 2022

GPI
Greenman-Pedersen, Inc.
Engineering and Construction Services
8001 Braddock Road, Suite 200, Springfield, VA 22151
703-978-0100 www.gpinet.com
Project #: 20213O5.00
PM: MMZ M: HTL E: NNT P: BKM

PROJECT 2700 S NELSON & 2701 OAKLAND STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201
DRAWING MECHANICAL COVER SHEET

SHEET
M-001

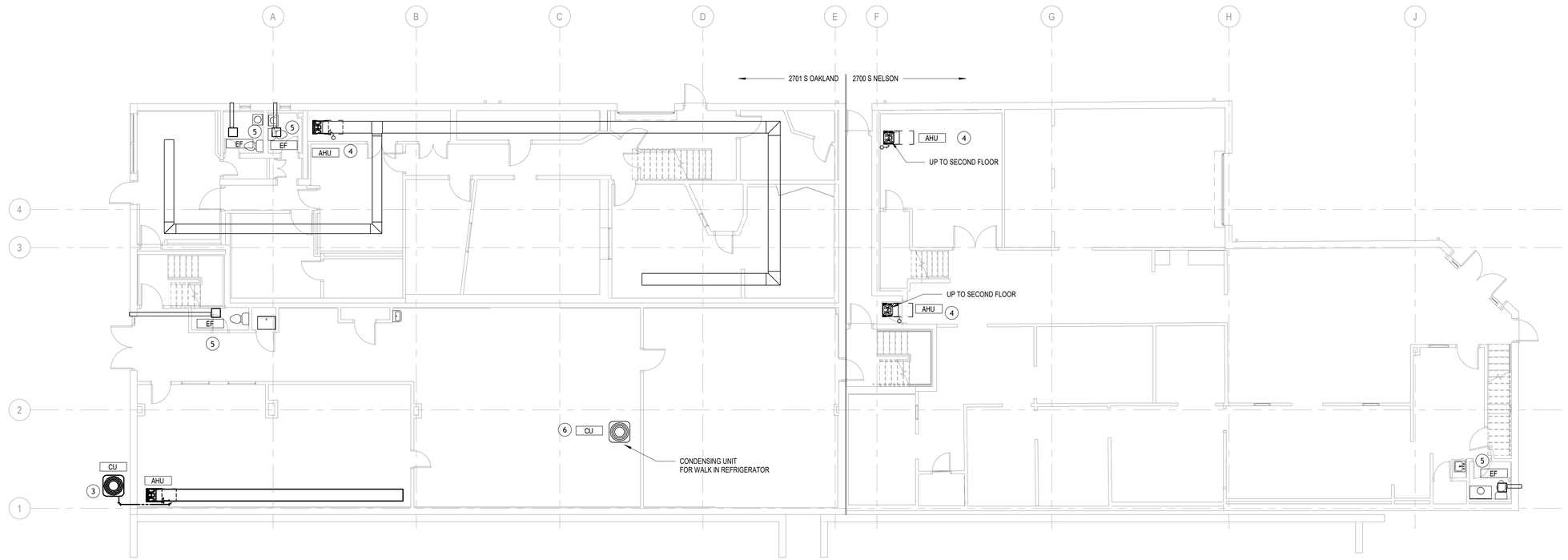
1/32" = 1'-0" | 1/16" = 1'-0" | 3/32 = 1'-0" | 1/8" = 1'-0" | 1/4" = 1'-0" | 3/8" = 1'-0" | 1/2" = 1'-0" | 3/4" = 1'-0" | 1" = 1'-0" | 1 1/2" = 1'-0" | 3" = 1'-0" | 6" = 1'-0"

GENERAL NOTES

1. ALL AREAS OF THE BUILDING, INCLUDING THE ROOF, WERE NOT ACCESSIBLE AT THE TIME OF SURVEY AND EXISTING AS BUILT DRAWINGS WERE NOT AVAILABLE EXISTING CONDITIONS ARE BASED ON FIELD OBSERVATIONS AND SATILLITE VIEW OF THE ADDRESSES.
2. THIS PROJECT REPRESENTS A COMPLETE DEMOLITION OF ALL SYSTEMS. REMOVE ALL EXISTING EQUIPMENT AND ASSOCIATED PIPING, DUCTWORK, AND CONTROLS TO THE SOURCE, WHETHER SPECIFICALLY INDICATED OR NOT. ALL EQUIPMENT AND SYSTEMS ARE TO BE REMOVED COMPLETELY. VERIFY WITH OWNER IF ANY EQUIPMENT OR DEVICES BEING REMOVED ARE TO BE SALVAGED FOR REUSE.
3. FIELD VERIFY ALL EXISITNG CONDITIONS AND SYSTEMS DURING PRE BID WALKTHROUGH.

KEYED NOTES - DEMOLITION

1. REFRIGERANT PIPING UP TO ASSOCIATED CU LOCATED ON ROOF.
2. REFRIGERANT PIPING UP TO ASSOCIATED CU LOCATED ON ROOF.
3. REFRIGERAND PIPING TO CU LOCATED AT GRADE.
4. REMOVE AHU, DUCTWORK, AIR DEVICES, AND CONTROLS COMPLETELY.
5. REMOVE EXHAUST FAN AND ASSOCIATED DUCTWORK.
6. REMOVE CONDENSING UNIT AND EVAPORAOR UNIT SERVING WALK IN REFRIGERATOR IN ITS ENTIRETY.



FIRST FLOOR - DEMOLITION PLAN

1/8" = 1'-0"

MARK	REVISIONS	DATE	BY	DES

DATE	08.25.2022
PROJECT	13356-35
DESIGNED	MMZ
DRAWN	MMZ
CHECKED	RMD

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COMMONWEALTH OF VIRGINIA
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AUG 25 2022

PROJECT 2700 S NELSON & 2701 OAKLAND STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201

DRAWING FIRST FLOOR - DEMOLITION PLAN

SHEET
MD-101

GPI
Greenman-Pedersen, Inc.
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8001 Braddock Road, Suite 200, Springfield, VA 22151
703-978-0100 www.gpinet.com
Project # 2021305.00
PM: MMZ M: HTL E: NNT P: BKM

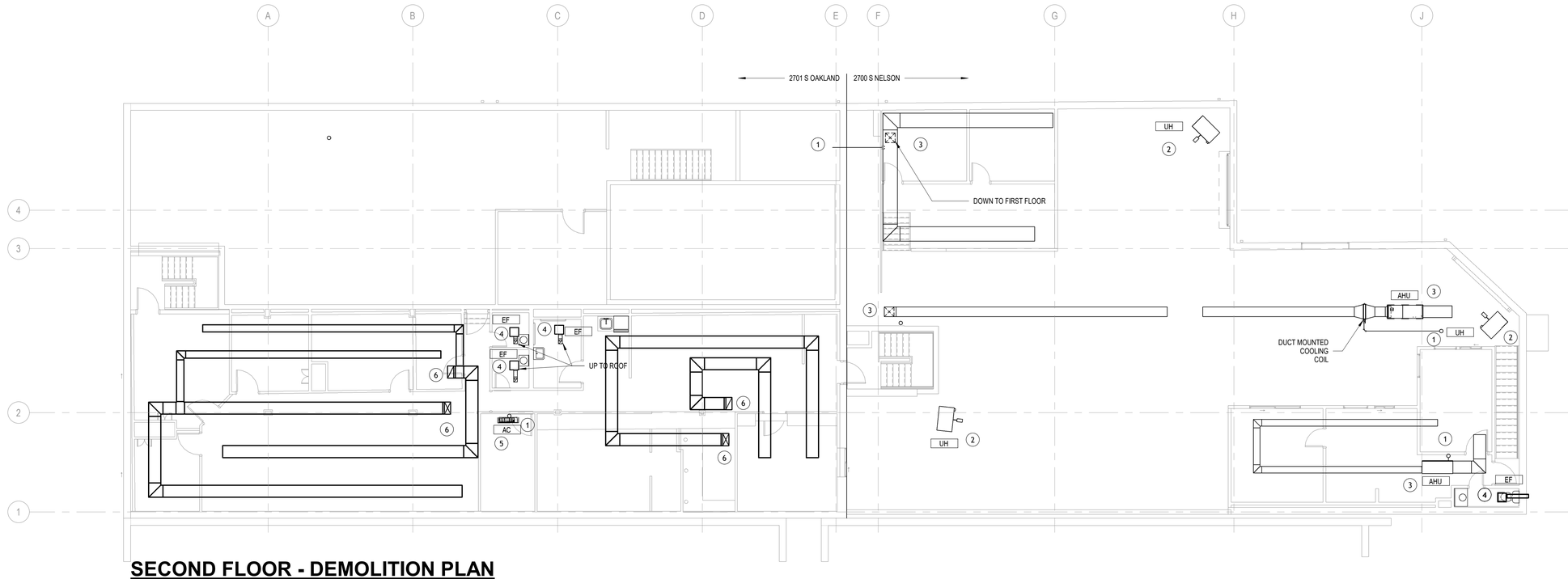
1/32" = 1'-0" | 1/16" = 1'-0" | 3/32" = 1'-0" | 1/8" = 1'-0" | 1/4" = 1'-0" | 3/8" = 1'-0" | 1/2" = 1'-0" | 3/4" = 1'-0" | 1" = 1'-0" | 1 1/2" = 1'-0" | 3" = 1'-0" | 6" = 1'-0"

GENERAL NOTES

1. ALL AREAS OF THE BUILDING, INCLUDING THE ROOF, WERE NOT ACCESSIBLE AT THE TIME OF SURVEY AND EXISTING AS BUILT DRAWINGS WERE NOT AVAILABLE EXISTING CONDITIONS ARE BASED ON FIELD OBSERVATIONS AND SATILLITE VIEW OF THE ADDRESSES.
2. THIS PROJECT REPRESENTS A COMPLETE DEMOLITION OF ALL SYSTEMS. REMOVE ALL EXISTING EQUIPMENT AND ASSOCIATED PIPING, DUCTWORK, AND CONTROLS TO THE SOURCE, WHETHER SPECIFICALLY INDICATED OR NOT. ALL EQUIPMENT AND SYSTEMS ARE TO BE REMOVED COMPLETELY. VERIFY WITH OWNER IF ANY EQUIPMENT OR DEVICES BEING REMOVED ARE TO BE SALVAGED FOR REUSE.
3. FIELD VERIFY ALL EXISITNG CONDITIONS AND SYSTEMS DURING PRE BID WALKTHROUGH.

KEYED NOTES - DEMOLITION

1. REFRIGERANT PIPING UP TO ASSOCIATED CU LOCATED ON ROOF.
2. REMOVE GAS FIRED UNIT HEATER, GAS PIPING, AND ASSOCIATED CONTROLS.
3. REMOVE AHU, DUCTWORK, AIR DEVICES, AND CONTROLS COMPLETELY.
4. REMOVE EXHAUST FAN AND ASSOCIATED DUCTWORK.
5. REMOVE SPLIT SYSTEM AND REFRIGERANT PIPING IN ITS ENTIRETY.
6. UP TO RTU ON ROOF.



SECOND FLOOR - DEMOLITION PLAN

1/8" = 1'-0"

MARK	REVISIONS	DATE	BY
			DES

DATE	08.25.2022
PROJECT	13356-35
DESIGNED	MMZ
DRAWN	MMZ
CHECKED	RMD

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COMMONWEALTH OF VIRGINIA
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AUG 25 2022

PROJECT 2700 S NELSON & 2701 OAKLAND STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201

DRAWING SECOND FLOOR & MEZZANINE-DEMOLITION PLAN

GPI
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8001 Braddock Road, Suite 200, Springfield, VA 22151
703-978-0100 www.gpinet.com
Project #: 2021305.00
PM: MMZ M: HTL E: NNT P: BKM

SHEET
MD-102

BIM 360://13356-35 Demo 2700 South Nelson/2021305.00 - MECH v21.rvt
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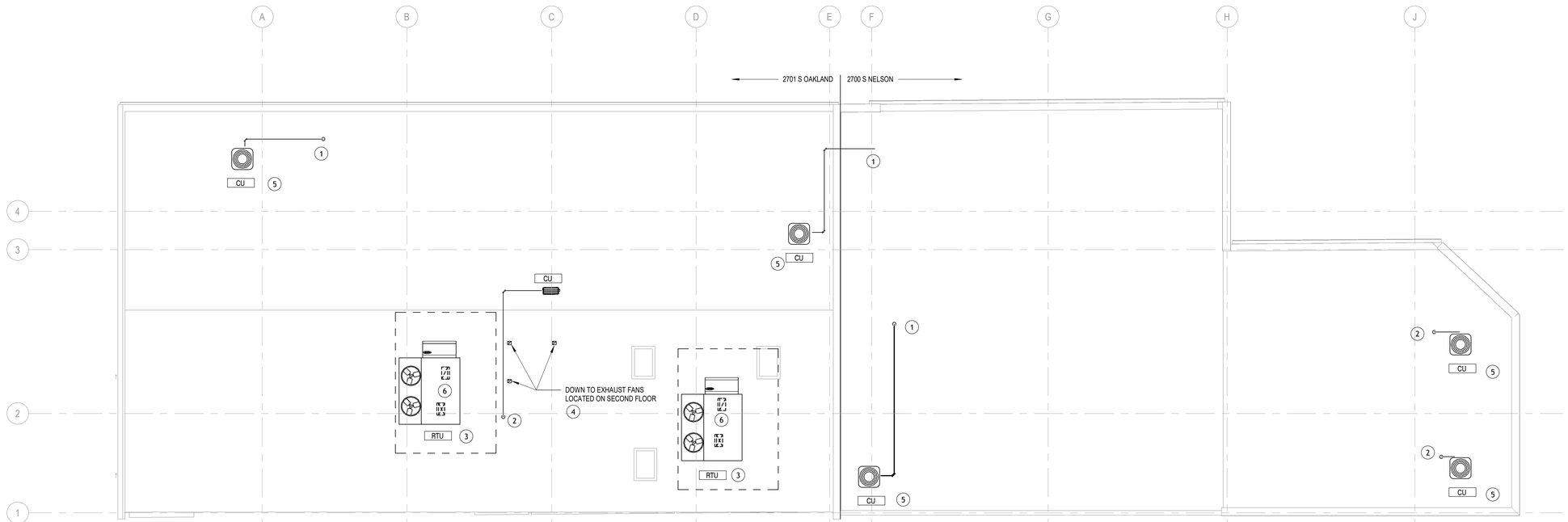
1/32" = 1'-0" | 1/16" = 1'-0" | 3/32" = 1'-0" | 1/8" = 1'-0" | 1/4" = 1'-0" | 3/8" = 1'-0" | 1/2" = 1'-0" | 3/4" = 1'-0" | 1" = 1'-0" | 1 1/2" = 1'-0" | 3" = 1'-0" | 6" = 1'-0"

GENERAL NOTES

1. ALL AREAS OF THE BUILDING, INCLUDING THE ROOF, WERE NOT ACCESSIBLE AT THE TIME OF SURVEY AND EXISTING AS BUILT DRAWINGS WERE NOT AVAILABLE EXISTING CONDITIONS ARE BASED ON FIELD OBSERVATIONS AND SATILLITE VIEW OF THE ADDRESSES.
2. THIS PROJECT REPRESENTS A COMPLETE DEMOLITION OF ALL SYSTEMS. REMOVE ALL EXISTING EQUIPMENT AND ASSOCIATED PIPING, DUCTWORK, AND CONTROLS TO THE SOURCE, WHETHER SPECIFICALLY INDICATED OR NOT. ALL EQUIPMENT AND SYSTEMS ARE TO BE REMOVED COMPLETELY. VERIFY WITH OWNER IF ANY EQUIPMENT OR DEVICES BEING REMOVED ARE TO BE SALVAGED FOR REUSE.
3. FIELD VERIFY ALL EXISITNG CONDITIONS AND SYSTEMS DURING PRE BID WALKTHROUGH.

KEYED NOTES - DEMOLITION

1. REFRIGERANT PIPING DOWN TO ASSOCIATED AHU LOCATED ON THE FIRST FLOOR
2. REFRIGERANT PIPING DOWN TO ASSOCIATED AHU LOCATED ON THE SECOND FLOOR
3. REMOVE RTU, DUCTWORK, AIR DEVICES, AND CONTROLS COMPLETELY.
4. REMOVE EXHAUST FAN TERMINATION AND ASSOCIATED DUCTWORK.
5. REMOVE CU, REFRIGERANT PIPING, AND CONTROLS COMPLETELY.
6. DOWN TO SECOND FLOOR.



ROOF PLAN - DEMOLITION

1/8" = 1'-0"

MARK	REVISIONS	DATE	BY
			DES

DATE	08.25.2022
PROJECT	13356-35
DESIGNED	MMZ
DRAWN	MMZ
CHECKED	RMD

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AUG 25 2022

PROJECT 2700 S NELSON & 2701 OAKLAND STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201

DRAWING ROOF - DEMOLITION PLAN

SHEET
MD-103

GPI
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703-978-0100 www.gpinet.com
Project # 20213305.00
PM: MMZ M: HTL E: NNT P: BKM

GENERAL NOTES & SPECIFICATIONS

1. ALL PLUMBING WORK SHALL CONFORM WITH ALL APPLICABLE CODES, RULES, AND REGULATIONS.
2. PLUMBING CONTRACTOR SHALL SECURE AND PAY FOR ANY PERMITS.
3. ALL PLUMBING WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID ANY INTERFERENCE.
4. THESE DRAWINGS ARE DIAGRAMMATIC. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS OF THE BUILDING AND EXACT LOCATION OF ALL FIXTURES AND EQUIPMENT.

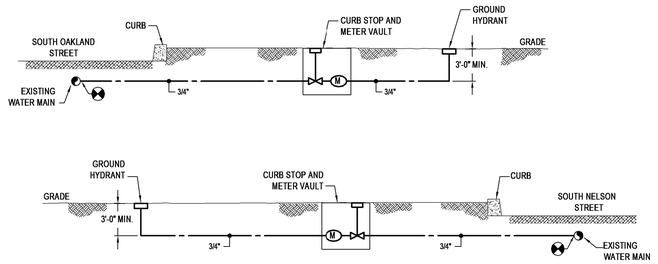
PLUMBING GENERAL DEMOLITION NOTES

1. EXISTING CONDITIONS REFLECT EXISTING RECORD DOCUMENTS AND NON-DESTRUCTUVE SITE OBSERVATIONS AND MAY NOT REFLECT EXACT AS-BUILT CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND DETERMINING THE EXISTING CONDITIONS IN WHICH THE WORK IS TO BE PERFORMED. COORDINATE NEW WORK AND DEMOLITION WITH OTHER DISCIPLINES AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY DISCOVERED CONFLICTS BETWEEN EXISTING INSTALLATIONS WHICH ARE NOT SCHEDULED FOR DEMOLITION AND THE NEW WORK INDICATED WITHIN THE CONTRACT DOCUMENTS. SUCH NOTIFICATION SHALL BE ACCOMPANIED WITH A DRAWING DELINEATING THE PROPOSED SOLUTION PRIOR TO STARTING ANY WORK IN THE AFFECTED AREA.
3. ANY ADDITIONAL DEMOLITION WORK DEEMED NECESSARY AND NOT INCLUDED WITHIN THE SCOPE OF THE CONTRACT DOCUMENTS SHALL BE EXECUTED ONLY UPON RECEIPT OF WRITTEN AUTHORIZATION FROM THE OWNER.
4. ALL DEMOLITION WORK SHALL BE COORDINATED WITH THE ARCHITECTURAL AND OTHER SECTIONS OF THE CONTRACT DOCUMENTS.
5. OWNER RETAINS THE RIGHTS OF SALVAGE FOR EQUIPMENT AND FIXTURES TO BE REMOVED. COORDINATE WITH OWNER THE EQUIPMENT AND FIXTURES TO BE SALVAGED AND THE LOCATION FOR STORAGE. AVOID DAMAGE TO EQUIPMENT. FIXTURES AND DEVICES DURING DEMOLITION WORK AND DURING TRANSPORT TO OWNER'S DESIGNATED STORAGE LOCATION.
6. WHERE EXISTING EQUIPMENT IS TO BE REMOVED CONTRACTOR SHALL REMOVE ALL ASSOCIATED PIPING, CONDUIT, POWER, CONTROLS, INSULATION, HANGERS, DUCTWORK, SUPPORTS, HOUSEKEEPING PADS, ETC. PATCH AND REPAIR WALLS/ROOF/FLOOR TO MATCH EXISTING AND/OR NEW FINISHES.
7. REMOVE PIPE HANGERS, PIPE SUPPORTS AND EQUIPMENT SUPPORTS WHERE PIPING IS REMOVED
8. REMOVE ALL PLUMBING, EQUIPMENT, FIXTURES AND APPURTENANCES NO LONGER REQUIRED. ELIMINATE PROHIBITED SANITARY DEAD-ENDS TO SATISFY CODE REQUIREMENTS.
9. IN ALL AREAS WHERE DEMOLITION WORK OCCUR, PATCH AND REPAIR TO MATCH NEW FINISH OR EXISTING FINISHES WHICH ARE TO REMAIN.
10. WHERE ANY ABANDONED PIPES. CONFLICT WITH NEW WORK, THE CONTRACTOR SHALL REMOVE ABANDONED PIPES AS NECESSARY TO ACCOMMODATE NEW WORK.
11. THE CONTRACTOR SHALL PROVIDE A PROPOSED SCHEDULE OF DEMOLITION WORK FOR REVIEW BY THE OWNER.

PLUMBING LEGEND

SYMBOL	ABBREVIATION	DESCRIPTION
		EXISTING PIPING OR EQUIPMENT TO REMAIN
		EXISTING PIPING OR EQUIPMENT TO BE REMOVED
	CW	DOMESTIC COLD WATER
G	G	NATURAL GAS
	ST	STORM WATER
		PIPE TURNING UP
		PIPE TURNING DOWN
		VALVE IN VERTICAL
		GATE VALVE
		GAS COCK
M		GAS METER
		POINT OF REMOVAL
		POINT OF CONNECTION TO EXISTING
#		KEYED NOTE, DEMOLITION
#		KEYED NOTE, NEW WORK

DRAWING LIST



DOMESTIC WATER DISTRIBUTION DETAIL

NO SCALE

1/32" = 1'-0"	0'	16'	32'	48'																	
1/16" = 1'-0"	0'	4'	8'	16'	24'																
3/32" = 1'-0"	0'	4'	8'	16'																	
1/8" = 1'-0"	0'	4'	8'	12'																	
1/4" = 1'-0"	0'	2'	4'	6'																	
3/8" = 1'-0"	0'	1'	2'	3'	4'																
1/2" = 1'-0"	0'	6"	1'	2'	3'																
3/4" = 1'-0"	0'	6"	1'	2'																	
1" = 1'-0"	0'	3"	6"	9"	1'	1.5'															
1 1/2" = 1'-0"	0'	3"	6"	9"	1'																
3" = 1'-0"	0'	1"	2"	3"	4"	5"	6"														
6" = 1'-0"	0'	1"	2"	3"																	

	DES
	BY
MARK	DATE
REVISIONS	

DATE	08.25.2022
PROJECT	13356-35
DESIGNED	BKM
DRAWN	TTN
CHECKED	MMZ

RRMM ARCHITECTS, PC
2900 South Quincy Street, Suite 710
Arlington, Virginia 22206
(703)998-0101

COMMONWEALTH OF VIRGINIA
MATTHEW M. ZIGARELLI
Lic. No. 0402052214
PROFESSIONAL ENGINEER
AUG 25 2022

PROJECT 2700 & 2701 SOUTH NELSON STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201
DRAWING PLUMBING COVER SHEET

SHEET
P-001

GPI
Greenman-Pedersen, Inc.
Engineering and Construction Services
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703-978-0100 www.gpinet.com
Project #: 2021305.00
PM: MMZ M: HTL E: NNT P: BKM

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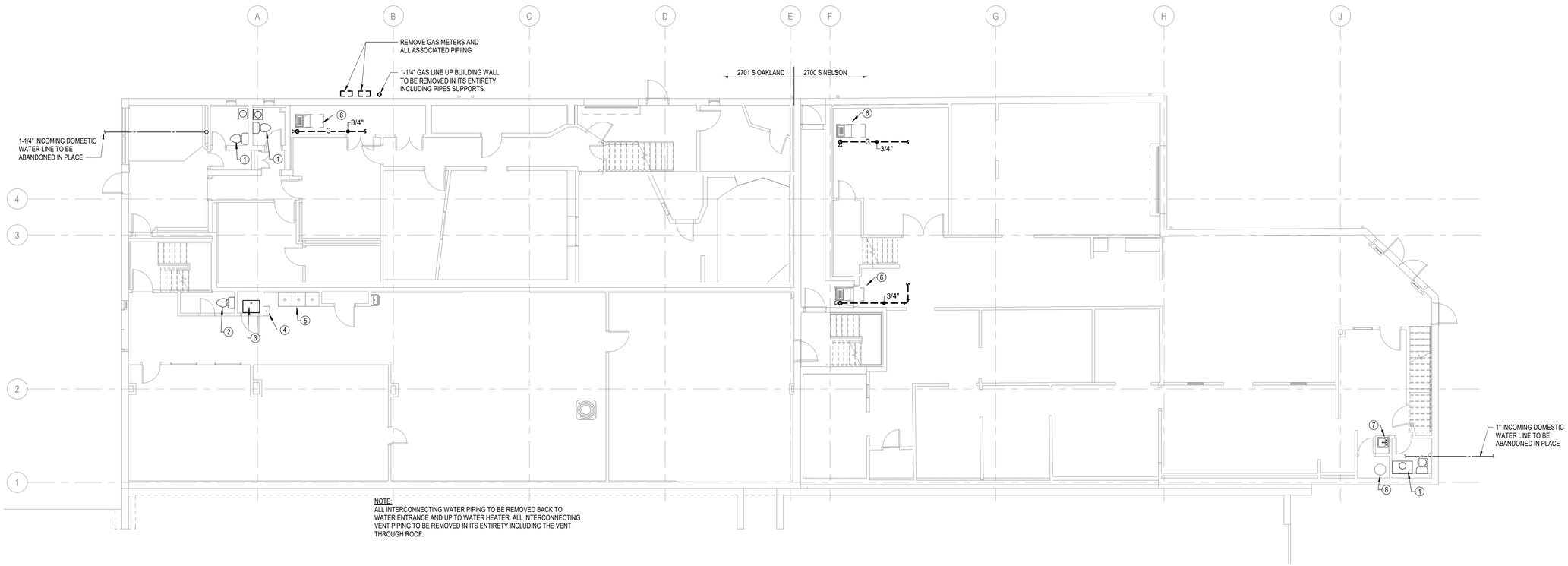
KEYED NOTES - DEMOLITION

1. REMOVE FLUSH TANK WATER CLOSET AND COUNTERTOP LAVATORY IN THEIR ENTIRETY INCLUDING ALL TRIM. REMOVE ALL WATER, SANITARY WASTE, AND ALL VENT PIPING ABOVE GRADE IN THEIR ENTIRETY. ALL VERTICAL SANITARY WASTE PIPING BELOW GRADE TO BE REMOVED BACK TO THE HORIZONTAL SANITARY PIPE AND ALL HORIZONTAL SANITARY PIPING CAN BE ABANDONED IN PLACE IF NOT IN CONFLICT WITH ANY NEW WORK.
2. REMOVE FLUSH TANK WATER CLOSET IN ITS ENTIRETY INCLUDING ALL TRIM. REMOVE ALL WATER, SANITARY WASTE, AND VENT PIPING ABOVE GRADE IN THEIR ENTIRETY. ALL VERTICAL SANITARY WASTE PIPING BELOW GRADE TO BE REMOVED BACK TO THE HORIZONTAL PIPE AND ALL HORIZONTAL SANITARY PIPING CAN BE ABANDONED IN PLACE IF NOT IN CONFLICT WITH ANY NEW WORK.
3. REMOVE FLOOR MOUNTED MOP BASIN IN ITS ENTIRETY INCLUDING ALL TRIM. REMOVE ALL WATER, SANITARY WASTE, AND VENT PIPING ABOVE GRADE IN THEIR ENTIRETY. ALL VERTICAL SANITARY WASTE PIPING BELOW GRADE TO BE REMOVED BACK TO THE HORIZONTAL PIPE AND ALL HORIZONTAL SANITARY PIPING CAN BE ABANDONED IN PLACE IF NOT IN CONFLICT WITH ANY NEW WORK.
4. REMOVE WALL MOUNTED STAINLESS STEEL HAND SINK IN ITS ENTIRETY INCLUDING ALL TRIM. REMOVE ALL WATER, SANITARY WASTE, AND VENT PIPING ABOVE GRADE IN THEIR ENTIRETY. ALL VERTICAL SANITARY WASTE PIPING BELOW GRADE TO BE REMOVED BACK TO THE HORIZONTAL PIPE AND ALL HORIZONTAL SANITARY PIPING CAN BE ABANDONED IN PLACE IF NOT IN CONFLICT WITH ANY NEW WORK.
5. REMOVE FREE STANDING THREE COMPARTMENT SINK IN ITS ENTIRETY INCLUDING ALL TRIM. REMOVE ALL WATER, SANITARY WASTE, AND VENT PIPING ABOVE GRADE IN THEIR ENTIRETY. ALL VERTICAL SANITARY WASTE PIPING BELOW GRADE TO BE REMOVED BACK TO THE HORIZONTAL PIPE AND ALL HORIZONTAL SANITARY PIPING CAN BE ABANDONED IN PLACE IF NOT IN CONFLICT WITH ANY NEW WORK.
6. REMOVE ALL GAS PIPING TO MECHANICAL HEATING UNIT IN ITS ENTIRETY INCLUDING ALL VALVING AND PIPE HANGER BACK TO GAS ENTRY TO THE BUILDING.
7. REMOVE COUNTERTOP SINK IN ITS ENTIRETY INCLUDING ALL TRIM. REMOVE ALL WATER, SANITARY WASTE, AND VENT PIPING ABOVE GRADE IN THEIR ENTIRETY. ALL VERTICAL SANITARY WASTE PIPING BELOW GRADE TO BE REMOVED BACK TO HORIZONTAL PIPE AND ALL HORIZONTAL PIPING CAN BE ABANDONED IN PLACE IF NOT IN CONFLICT WITH ANY NEW WORK.
8. REMOVE ELECTRIC STORAGE WATER HEATER IN ITS ENTIRETY INCLUDING ALL TRIM. REMOVE ALL WATER PIPING IN ITS ENTIRETY. REMOVE FLOOR DRAIN ASSEMBLY IN ITS ENTIRETY INCLUDING TRAP AND ALL VERTICAL SANITARY WASTE PIPING BELOW GRADE BACK TO THE HORIZONTAL PIPE. ALL HORIZONTAL PIPING BELOW GRADE CAN BE ABANDONED IN PLACE IF NOT IN CONFLICT WITH ANY NEW WORK.



NOTE:
ALL INTERCONNECTING WATER PIPING TO BE REMOVED BACK TO WATER ENTRANCE AND UP TO WATER HEATER. ALL INTERCONNECTING VENT PIPING TO BE REMOVED IN ITS ENTIRETY INCLUDING THE VENT THROUGH ROOF.

FIRST FLOOR - DEMOLITION PLAN

1/8" = 1'-0"

MARK	DATE	REVISIONS	BY	DES

DATE	08.25.2022
PROJECT	13356-35
DESIGNED	BKM
DRAWN	TTN
CHECKED	MMZ

RRMM ARCHITECTS, PC
2900 South Quincy Street, Suite 710
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COMMONWEALTH OF VIRGINIA
MATTHEW M. ZIGARELLI
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AUG 25 2022

PROJECT 2700 & 2701 SOUTH NELSON STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201

DRAWING FIRST FLOOR - DEMOLITION PLAN

SHEET
PD-101

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Engineering and Construction Services
8001 Braddock Road, Suite 200, Springfield, VA 22151
703-978-0100 www.gpinet.com
Project #: 20213305.00
PM: MMZ M: HTL E: NNT P: BKM

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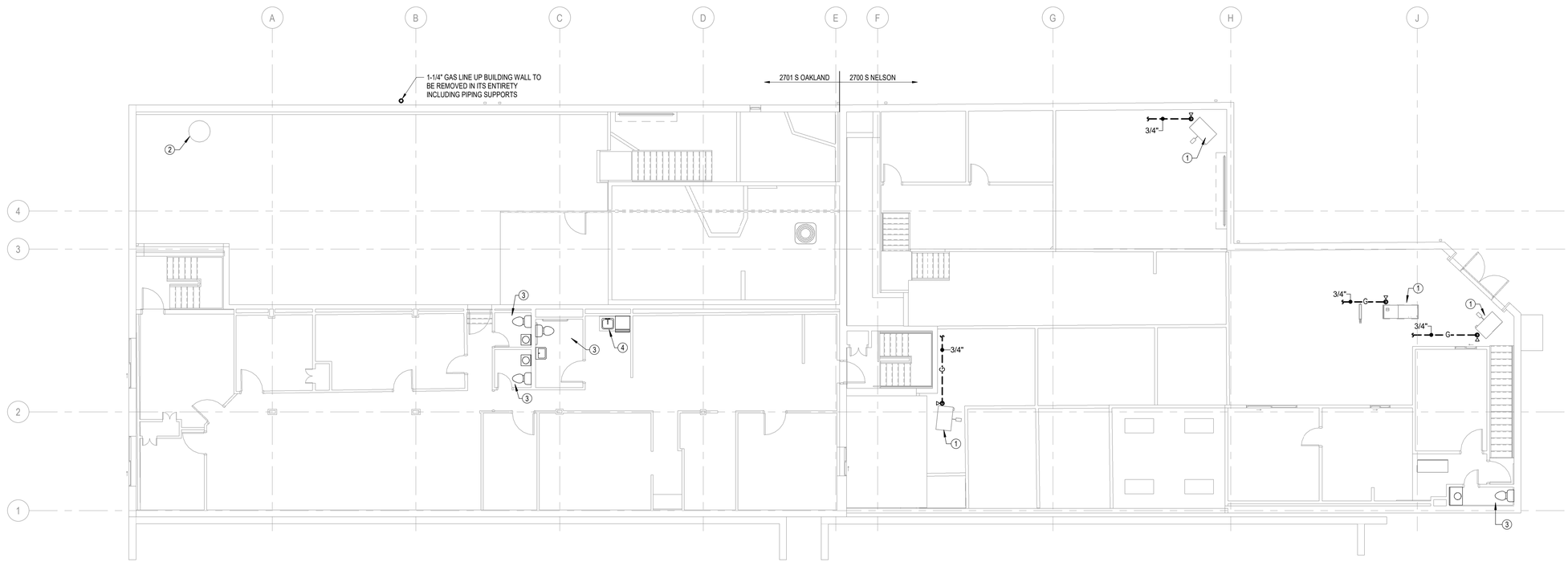
8/25/2022 1:22:47 PM BIM 360://13356-35 Demo 2700 South Nelson/20213305.00 - PLUMB v21.rvt

KEYED NOTES - DEMOLITION

1. REMOVE ALL GAS PIPING TO MECHANICAL HEATING UNIT IN ITS ENTIRETY INCLUDING ALL VALVING AND PIPE HANGERS BACK TO GAS ENTRY TO BUILDING.
2. REMOVE GAS FIRED STORAGE WATER HEATER IN ITS ENTIRETY INCLUDING ALL TRIM. REMOVE ALL FLOOR DRAIN ASSEMBLY IN ITS ENTIRETY INCLUDING TRAP AND ALL SANITARY WASTE, VENT, AND WATER PIPING IN THEIR ENTIRETY.
3. REMOVE FLUSH TANK WATER CLOSET AND COUNTERTOP LAVATORY IN THEIR ENTIRETY INCLUDING ALL TRIM. REMOVE ALL SANITARY WASTE, VENT, AND WATER PIPING IN THEIR ENTIRETY.
4. REMOVE COUNTERTOP SINK AND UNERCOUNTER DISHWASHER IN THEIR ENTIRETY INCLUDING ALL TRIM. REMOVE ALL WATER, SANITARY WASTE, AND VENT PIPING ABOVE GRADE IN THEIR ENTIRETY. ALL VERTICAL SANITARY WASTE PIPING BELOW GRADE TO BE REMOVED BACK TO HORIZONTAL PIPE AND ALL HORIZONTAL PIPING CAN BE ABANDONED IN PLACE IF NOT IN CONFLICT WITH ANY NEW WORK.



SECOND FLOOR & MEZZANINE - DEMOLITION PLAN

1/8" = 1'-0"

MARK	REVISIONS	DATE	BY	DES

DATE	08.25.2022
PROJECT	13356-35
DESIGNED	BKM
DRAWN	TTN
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COMMONWEALTH OF VIRGINIA
MATTHEW M. ZIGARELLI
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AUG 25 2022

PROJECT 2700 & 2701 SOUTH NELSON STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201

DRAWING SECOND FLOOR & MEZZANINE - DEMOLITION PLAN

SHEET
PD-102

GPI
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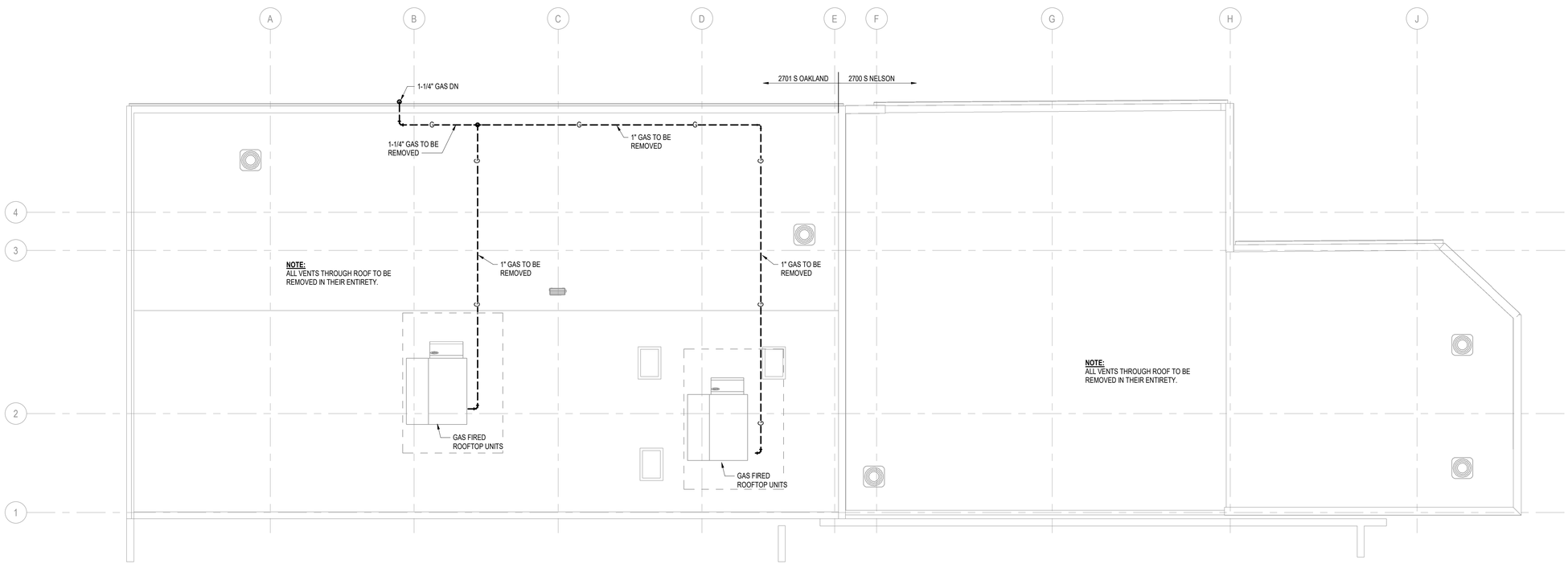

ROOF - DEMOLITION PLAN

1/8" = 1'-0"

MARK	REVISIONS	DATE	BY	DES

DATE	08.25.2022
PROJECT	13356-35
DESIGNED	BKM
DRAWN	TTN
CHECKED	MMZ

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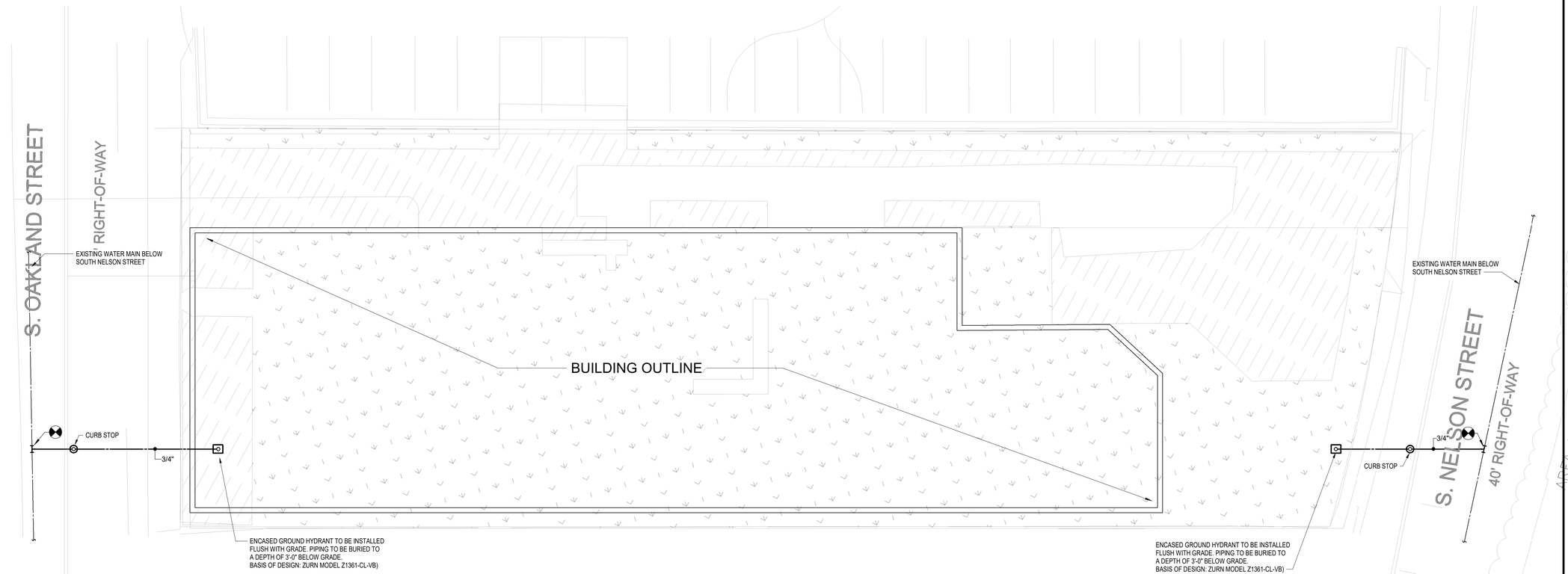
COMMONWEALTH OF VIRGINIA
MATTHEW M. ZEGARELLI
Lic. No. 0402052214
PROFESSIONAL ENGINEER
AUG 95% CD 2022

PROJECT 2700 & 2701 SOUTH NELSON STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201
DRAWING ROOF - DEMOLITION PLAN

SHEET
PD-103

GPI
Greenman-Pedersen, Inc.
Engineering and Construction Services
8001 Braddock Road, Suite 200, Springfield, VA 22151
703-978-0100 www.gpinet.com
Project #: 2021305.00
PM: MMZ M: HTL E: NNT P: BKM

1/32" = 1'-0" | 1/16" = 1'-0" | 3/32" = 1'-0" | 1/8" = 1'-0" | 1/4" = 1'-0" | 3/8" = 1'-0" | 1/2" = 1'-0" | 3/4" = 1'-0" | 1" = 1'-0" | 1 1/2" = 1'-0" | 3" = 1'-0" | 6" = 1'-0"



FIRST FLOOR - NEW WORK PLAN

3/32" = 1'-0"

MARK	DATE	BY	DES
REVISIONS			

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DRAWING FIRST FLOOR - NEW WORK PLAN

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ELECTRICAL SPECIFICATIONS

A. GENERAL

1. THE CONTRACTOR SHALL COMPLY WITH ALL THE LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL LOCAL AND STATE GOVERNMENTAL AUTHORITIES, THE RULES OF THE NATIONAL FIRE PROTECTION ASSOCIATION AS INTERPRETED BY THE ENFORCING AUTHORITY HAVING JURISDICTION AND OF THE PUBLIC UTILITIES HAVING CONNECTION WITH ANY OF THE SYSTEMS HEREIN SPECIFIED.

2. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED BY ANY OF THE FOREGOING AUTHORITIES, AND PAY FOR ALL OTHER COSTS IN CONNECTION WITH THE WORK. ALL CERTIFICATES SHALL BE IN DUPLICATE AND SHALL BE DELIVERED TO THE ARCHITECT/ENGINEER/OWNER.

3. THE SITE, LOCATION AND ROUTING OF SYSTEMS INDICATED TO HAVE NEW CONNECTIONS MADE TO THEM ARE SHOWN AS ACCURATELY AS FIELD CONDITIONS WOULD PERMIT. BIDDERS SHALL VISIT THE SITE AND THOROUGHLY EXAMINE THE CONTRACT DRAWINGS. BIDDERS WHO DO NOT VISIT THE SITE MAY BE UNILATERALLY NOT PERMITTED TO SUBMIT A BID IF THE OWNER SO DESIGNATES. ALL EXISTING CONDITIONS SHALL BE EXAMINED AND THEIR EXACT LOCATIONS VERIFIED. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT/ENGINEER/OWNER BEFORE SUBMITTING A BID, ANY CONDITIONS WHICH MIGHT MAKE INSTALLATION OF REQUIRED EQUIPMENT A PROBLEM. NO CONSIDERATION OR ALLOWANCE WILL BE GRANTED FOR FAILURE TO INVESTIGATE CONDITIONS OR MISUNDERSTANDINGS OF THE CONTRACTUAL REQUIREMENTS.

4. THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT NOT INDICATED TO BE REUSED TO A DESIGNATED LOCATION AT THE PROJECT SITE. AFTER THE EQUIPMENT HAS BEEN ASSEMBLED FOR THE OWNER'S INSPECTION AND POSSIBLE RETENTION, ALL EQUIPMENT NOT TO BE RETAINED BY THE OWNER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. ALL BUILDING SYSTEMS SHALL REMAIN IN SERVICE UNLESS INDICATED OTHERWISE. ALL OUTAGES OR INTERRUPTIONS SHALL BE KEPT TO MINIMUM DURATION. NOTIFY THE OWNER 48 HOURS IN ADVANCE OF ANY OUTAGE OR INTERRUPTION.

5. THE CONTRACTOR SHALL INSTALL AND CONNECT ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH THE BEST ENGINEERING PRACTICE AND, UNLESS OTHERWISE SHOWN OR SPECIFIED, FOLLOW THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS AND FURNISH AND INSTALL ALL REQUIRED AUXILIARY ITEMS COMPLETE.

6. DRAWINGS SHALL BE CONSIDERED DIAGRAMMATIC AND FOR BIDDING PURPOSES ONLY. WHILE THE DRAWINGS ARE GENERALLY TO SCALE AND ARE AS ACCURATE AS THE SCALE WILL PERMIT, ALL IMPORTANT DIMENSIONS SHALL BE DETERMINED IN THE FIELD. THEY ARE NOT TO BE CONSIDERED TO BE ERECTION DRAWINGS.

7. COORDINATE WITH ALL TRADES TO AVOID INTERFERENCE AMONG MECHANICAL, ELECTRICAL, ARCHITECTURAL AND STRUCTURAL ITEMS. PROVIDE ALL NECESSARY OFFSETS AND FITTINGS IN CIRCUITRY AND OTHER ITEMS REQUIRED TO INSTALL THE WORK WITHOUT INTERFERENCES.

8. THE CONTRACTOR SHALL TEST ALL EQUIPMENT INSTALLED UNDER THIS CONTRACT AND DEMONSTRATE TO THE OWNER ITS PROPER OPERATIONS. ALL NEW EQUIPMENT SHALL BE MOUNTED VIBRATION FREE.

9. ALL EQUIPMENT AND WORKMANSHIP SHALL BE GUARANTEED IN FULL FROM ALL DEFECTS FOR ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THIS WORK.

10. ALL EQUIPMENT INSTALLED SHALL BE NEW AND SHALL CONFORM IN ALL RESPECTS TO THE LATEST APPROVED STANDARDS OF IEEE, ANSI, NEMA AND UNDERWRITERS LABORATORIES, INC., UNLESS INDICATED OTHERWISE.

11. SHOP DRAWINGS AND PRODUCT DATA: SUBMIT SHOP DRAWINGS AND PRODUCT DATA FOR ALL NEW MATERIAL AND EQUIPMENT PROVIDED UNDER THIS WORK. MATERIAL AND EQUIPMENT SHALL BE SUBMITTED AND APPROVED BEFORE ORDERING. SUBMIT A MINIMUM OF 6 COPIES TO THE ARCHITECT/ENGINEER/OWNER FOR REVIEW. ELECTRONIC SUBMISSIONS ARE ACCEPTABLE. SUBSTITUTION ARE SUBJECT TO DISCRETION OF THE ARCHITECT/ENGINEER/OWNER. IF CONSIDERED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND SHALL MEET THE INTENT OF THE CONSTRUCTION DOCUMENTS.

12. REPAIR OF EXISTING WORK: ALL WORK SHALL BE CAREFULLY LAID OUT IN ADVANCED, AND WHERE CUTTING, CHANNELING, CHASING, OR DRILLING OF FLOORS, WALL, PARTITIONS, CEILINGS, OR OTHER SURFACES IS NECESSARY FOR THE PROPER INSTALLATION, SUPPORT, OR ANCHORAGE OF THE CONDUIT, RACEWAYS OR OTHER ELECTRICAL WORK, THIS WORK SHALL BE CAREFULLY DONE, AND ANY DAMAGE TO BUILDING, PIPING, OR EQUIPMENT SHALL BE REPAIRED BY SKILLED MECHANICS OF THE TRADE INVOLVED, AT NO ADDITIONAL COST TO THE OWNER. METHODS FOR AND EXACT LOCATIONS OF PROPOSED CUTTING, CHANNELING, CHASING OR DRILLING OF EXISTING CONSTRUCTION SHALL BE AS APPROVED BY THE OWNER.

13. THE CONTRACTOR SHALL REPAIR ALL WALL, CEILING, FLOOR, OR ROOF OPENINGS WHICH ARE CREATED BY DEMOLITION OR PENETRATION. THE REPAIRS SHALL BE WITH MATERIALS AND FINISHES TO MATCH EXISTING. ALL FIRE RATED PENETRATIONS SHALL BE SEALED WITH SUITABLE MATERIALS TO PRESERVE FIRE RATED INTEGRITY.

14. DEFINITIONS:

   a. "PROVIDE" UNDER THIS CONTRACT IS DEFINED AS FURNISH AND INSTALL.

   b. "CONCEALED" UNDER THIS CONTRACT IS DEFINED AS WITHIN ARCHITECTURAL WALLS AND ABOVE CEILINGS.

   c. "EXPOSED" UNDER THIS CONTRACT IS DEFINED AS VISIBLE TO VIEW, INCLUDING ELECTRICAL ROOMS.

   d. "INDICATED" UNDER THIS CONTRACT IS DEFINED AS SHOWN IN THE CONTRACT DOCUMENTS.

   e. "CIRCUITRY" UNDER THIS CONTRACT IS DEFINED AS CONDUIT, FEEDER AND OR CIRCUIT.

   f. ["(SHARED)" UNDER THIS CONTRACT IS DEFINED AS SPLIT CIRCUIT; CONTRACTOR SHALL SPLICE THE CIRCUIT AT THE SOURCE PANELBOARD AND RUN SEPARATE WIRING TO THE LOADS INDICATED.]

15. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE CONTRACT AREA AND ALL OTHER AREAS USED FOR STORAGE, STAGING, ETC.

16. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER/OWNER WHEN THE PROJECT IS APPROXIMATELY 75% COMPLETED IN ORDER TO SCHEDULE A PRE-FINAL REVIEW OF CONSTRUCTION. NO WORK SHALL BE CONCEALED BY CEILINGS, WALLS, ETC. FINAL REVIEW SHALL BE SCHEDULED AT 100% COMPLETION. ALL PUNCH LIST ITEMS MUST BE ACCOMPLISHED PRIOR TO FINAL ACCEPTANCE.

17. THE CONTRACTOR SHALL PREPARE A COMPREHENSIVE METHOD OF PROCEDURE AND SUBMIT IT TO THE OWNER WITH SHOP DRAWINGS FOR REVIEW. THE SUBMITTAL SHALL ITEMIZE METHODS OF PROCEDURE FOR ALL POTENTIAL EMERGENCY SITUATIONS AND SHALL INCLUDE A LIST OF PERSONS REPRESENTING THE OWNER AND THE CONTRACTOR ALONG WITH DAYTIME EMERGENCY PHONE NUMBERS INDICATING WHO SHALL BE CONTACTED IN THE EVENT OF AN EMERGENCY. THIS LIST SHALL BE DISTRIBUTED TO THE OWNER'S REPRESENTATIVE AND THE CONTRACTORS SUPERINTENDENT OR FOREMAN AT THE SITE. EMERGENCY SITUATIONS SHALL INCLUDE BUT NOT BE LIMITED TO POWER OUTAGES, CHILLED AND CONDENSER WATER SYSTEM RUPTURES, AUTOMATIC TEMPERATURE CONTROL OUTAGES AND OWNER'S EQUIPMENT DAMAGE. THE COMPREHENSIVE METHOD OF PROCEDURE SHALL BE APPROVED BY THE OWNER PRIOR TO COMMENCEMENT OF ANY WORK.

18. PROVIDE TEMPORARY SERVICE FOR LIGHTING AND POWER EQUIPMENT (DRILLS, SAW, ETC.). VERIFY TEMPORARY REQUIREMENTS WITH GENERAL CONTRACTOR. TEMPORARY LIGHTING AND POWER SHALL MEET OSHA REQUIREMENTS AND LOCAL CODE. TEMPORARY POWER SHALL BE 120 VOLTS.

19. PROTECT ADJACENT MATERIALS INDICATED TO REMAIN. INSTALL AND MAINTAIN DUST AND NOISE BARRIERS TO KEEP DIRT, DUST, AND NOISE FROM BEING TRANSMITTED TO ADJACENT AREAS. REMOVE PROTECTION AND BARRIERS AFTER DEMOLITION OPERATIONS ARE COMPLETE.

20. FINAL TESTING: AT THE TIME OF FINAL INSPECTION AND TESTS, ALL CONNECTIONS AT PANELBOARDS, DEVICES AND EQUIPMENT AND ALL SPLICES MUST BE COMPLETED. EACH BRANCH CIRCUIT AND ITS RESPECTIVE CONNECTED EQUIPMENT MUST TEST FREE OF SHORT CIRCUITS. UPON COMPLETION OF THE WORK, CLEAN AND POLISH ALL EXPOSED SURFACES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

21. CONTRACTOR SHALL PROVIDE ACCESS PANEL FOR JUNCTION BOXES, DISCONNECT SWITCHES, OR OTHER DEVICES WHICH REQUIRE SERVICE ACCESS PER NEC.

B. RACEWAYS, BOXES AND CONDUITS

1. OUTDOORS WIRING METHODS: USE THE FOLLOWING WIRING METHODS:

a. EXPOSED: CONDUCTORS IN RIGID METAL CONDUIT.

b. CONCEALED: CONDUCTORS IN RIGID METAL CONDUIT.

c. UNDERGROUND: CONDUCTORS IN RIGID NONMETALLIC CONDUIT, UNLESS OTHERWISE NOTED.

d. CONNECTION TO VIBRATING EQUIPMENT: CONDUCTORS IN LIQUIDTIGHT FLEXIBLE METAL CONDUIT; LIMITATION: 3'-0" MAX LENGTH.

e. BOXES AND ENCLOSURES: NEMA TYPE 3R.

ELECTRICAL SPECIFICATIONS

2. MINIMUM SIZE CONDUIT SHALL BE 1/2".

3. EMT CONNECTORS AND COUPLINGS SHALL BE OF THE ALL-STEEL, COMPRESSION TYPE WITH INSULATED THROAT.

4. ALL CIRCUITRY RUNS INDICATED ARE DIAGRAMMATIC. THE CONTRACTOR SHALL DETERMINE IN THE FIELD THE MOST SUITABLE ROUTES.

5. ALL EMPTY RACEWAYS SHALL CONTAIN A DRAG WIRE. EMPTY RACEWAYS 2" OR LARGER IN SIZE SHALL HAVE A MAXIMUM OF 3 - 90 DEGREE BENDS. UNLESS OTHERWISE NOTED, PROVIDE 3/4" EMT FROM EACH TELEPHONE OR COMMUNICATIONS OUTLET DEVICE TO CEILING SPACE.

C. ELECTRICAL IDENTIFICATION

1. CONDUCTOR COLOR CODING: PROVIDE COLOR CODING FOR FEEDERS AND BRANCH CIRCUIT CONDUCTORS AS FOLLOWS:

   208/120 VOLTS (PHASE A, BLACK; PHASE B, RED; PHASE C, BLUE; NEUTRAL, WHITE; GROUND, GREEN)
   480/277 VOLTS (PHASE A, BROWN; PHASE B, ORANGE; PHASE C, YELLOW; NEUTRAL, GRAY, GROUND, GREEN)

D. DISCONNECTS AND CIRCUIT BREAKERS

1. ENCLOSED NON-FUSIBLE SWITCH SHALL BE NEMA HEAVY-DUTY TYPE WITH ENCLOSURE CONSISTENT WITH ENVIRONMENT WHERE LOCATED, HANDLE LOCKABLE WITH 2 PADLOCKS, AND INTERLOCKED WITH COVER IN "CLOSED" POSITION.

2. ENCLOSED FUSIBLE SWITCHES SHALL BE NEMA HEAVY-DUTY TYPE WITH CLIPS TO ACCOMMODATE SPECIFIED FUSES, ENCLOSURE CONSISTENT WITH ENVIRONMENT WHERE LOCATED, HANDLE LOCKABLE WITH 2 PADLOCKS AND INTERLOCKED WITH COVER IN "CLOSED" POSITION. SWITCHES SHALL HAVE MINIMUM FAULT CURRENT RATING OF 200,000 SYMMETRICAL RMS AMPERES.

   ENCLOSED MOLDED-CASE CIRCUIT BREAKER: FRAME SIZE, TRIP RATING, NUMBER OF POLES, AND AUXILIARY DEVICES AS INDICATED; INTERRUPTING CAPACITY RATING TO MEET AVAILABLE FAULT CURRENT, 10,000 SYMMETRICAL RMS AMPERES MINIMUM; WITH APPROPRIATE APPLICATION LISTING WHEN USED FOR SWITCHING FLUORESCENT LIGHTING LOADS OR HEATING, AIR CONDITIONING, AND REFRIGERATION EQUIPMENT.

3. ENCLOSURE: NEMA TYPE 1, UNLESS SPECIFIED OR REQUIRED OTHERWISE TO MEET ENVIRONMENTAL CONDITIONS OF INSTALLED LOCATION.

   a. OUTDOOR LOCATIONS: TYPE 3R.

   b. OTHER WET OR DAMP INDOOR LOCATIONS: TYPE 4.

E DEMOLITION

1. PROVIDE DEMOLITION AS INDICATED ON DEMOLITION PLANS. CIRCUITRY NOTED FOR REMOVAL SHALL BE REMOVED BACK TO THE SOURCE BUS UNLESS OTHERWISE NOTED. BE RESPONSIBLE FOR THE COMPLETE REMOVAL FROM THE SITE FOR ALL EQUIPMENT AND MATERIAL REMOVED UNDER DEMOLITION WORK, UNLESS OTHERWISE NOTED OR DIRECTED. EXISTING CIRCUITS-TO- REMAIN INTERRUPTED BY DEMOLITION SHALL BE RESTORED FOR OPERATION AS BEFORE. OUTAGES REQUIRED TO PERFORM DEMOLITION SHALL BE COORDINATED WITH THE OWNER AND PROCESSED OUTSIDE OF NORMAL BUSINESS HOURS. REPAIR ALL WALL, CEILING, FLOOR OR ROOF OPENINGS CREATED BY DEMOLITION. REPAIRS SHALL BE PROVIDED BY WORKMAN SKILLED IN THE TRADE AND SHALL CONFORM WITH MATERIAL AND FINISHES TO MATCH EXISTING.

2. LOCATE, IDENTIFY AND PROTECT ELECTRICAL SERVICES PASSING THROUGH DEMOLITION AREA AND SERVING OTHER AREAS OUTSIDE THE DEMOLITION LIMITS. MAINTAIN SERVICES TO AREAS OUTSIDE DEMOLITION LIMITS. WHEN SERVICES MUST BE INTERRUPTED, INSTALL TEMPORARY SERVICES FOR AFFECTED AREAS.

ABBREVIATIONS

A	AMPS	MIN	MINIMUM
AIC	AMPERES INTERRUPTING CAPACITY	MLO	MAIN LUG ONLY
ATS	AUTOMATIC TRANSFER SWITCH	MOCP	MAXIMUM OVERCURRENT PROTECTION
AWG	AMERICAN WIRE GAUGE		
BLDG	BUILDING	MTS	MANUAL TRANSFER SWITCH
C	CONDUIT	N	NEUTRAL
CATV	CLOSED CIRCUIT TELEVISION	NEC	NATIONAL ELECTRICAL CODE
CB	CIRCUIT BREAKER	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
CKT	CIRCUIT	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
CO	CARBON MONOXIDE		
DED	DEDICATED	NFSS	NON FUSED SAFETY SWITCH
DISC SW	DISCONNECT SWITCH	NIC	NOT IN CONTRACT
DP	DISTRIBUTION PANEL	NO.	NUMBER
DWG	DRAWING	NTS	NOT TO SCALE
EA	EACH	OCPD	OVER-CURRENT PROTECTION DEVICE
EC	EMPTY CONDUIT		
EGC	EQUIPMENT GROUND CONDUCTOR	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
EM/NL	EMERGENCY/NIGHT LIGHT		
EMT	ELECTRICAL METALLIC TUBING	P	POLE
ENGR	ENGINEER	PB	PULL BOX
EPO	EMERGENCY POWER OFF	PC	PERSONAL COMPUTER
EQUIP	EQUIPMENT	PH	PHASE
EUH	CABINET UNIT HEATER	PNL	PANEL
EWC	ELECTRIC WATER COOLER	PVC	POLYVINYL CHRORIDE
FA	FIRE ALARM	RCPT	RECEPTACLE
FAAP	FIRE ALARM ANNUNCIATOR PANEL	RECEPT	RECEPTACLE
FACP	FIRE ALARM CONTROL PANEL	RLA	RUN LOAD AMP
FLA	FULL LOAD AMPS	RM	ROOM
FLUOR	FLUORESCENT	RSC	RIGID STEEL CONDUIT
FPVAV	FAN POWER VAV BOX	SD	SMOKE DETECTOR
FSS	FUSED SAFETY SWITCH	SW	SWITCH
G,GND,GRD,G	GROUND CONDUCTOR	SWB	SWITCHBOARD
GAP	GRAPHIC ANNUNCIATOR PANEL	SYS FURN	SYSTEM FURNITURE
GC	GENERAL CONTRACTOR	TEL,T	TELEPHONE
GEC	GROUND ELECTRODE CONDUCTOR	TF	TRANSFER FAN WITH LOCAL TOGGLE SWITCH
GFI	GROUND FAULT INTERRUPTER		
HP	HORSE POWER	TYP	TYPICAL
HWH	HOT WATER HEATER	UL	UNDERWRITER LABORATORIES
HZ	HERTZ	UON	UNLESS OTHERWISE NOTED
IG	ISOLATED GROUND	V	VOLT
J,JB	JUNCTION BOX	W	WIRE
KVA	KILO-VOLT AMPERE	W/	WITH
KW	KILO-WATT	WATT, #W	WATT
LRA	LOCKED ROTOR AMPS	WH	WATER HEATER
LTG	LIGHT	WP	WATER PROOF
MAX	MAXIMUM	WSA	WIRE SIZE AMPS
MC	METAL CLAD CABLE	WT	WIRING TROUGH
MCA	MINIMUM CIRCUIT AMPS	XFMR	TRANSFORMER
MCB	MAIN CIRCUIT BREAKER		
MCC	MOTOR CONTROL CENTER		
MDP	MAIN DISTRIBUTION PANEL		
MH	MOUNTING HEIGHT		

GENERAL NOTES

1. ALL WORK IS NEW UNLESS OTHERWISE NOTED.

ELECTRICAL LEGEND

DESIGNATION	DESCRIPTION	MTG HGT TO CENTER LINE AFF
a A a A	FLUORESCENT/LED LIGHTING FIXTURE - "A" INDICATES FIXTURE TYPE "a" (IF SHOWN) INDICATES SWITCH CONTROL	- (UON)
a A	FLUORESCENT/LED LIGHTING FIXTURE - "A" INDICATES FIXTURE TYPE "a" (IF SHOWN) INDICATES SWITCH CONTROL	-
A	FLUORESCENT/LED EMERGENCY LIGHTING FIXTURE - "A" INDICATES FIXTURE TYPE	-
	CEILING MOUNTED EXIT LIGHT SINGLE FACE/DOUBLE FACE WITH ARROWS AS INDICATED	-
S	SINGLE POLE SWITCH	-
	DUPLEX RECEPTACLE - NEMA 5-20R	18"
	DOUBLE DUPLEX RECEPTACLE - NEMA 5-20R	18"
J	CEILING MOUNTED JUNCTION BOX	-
J	WALL MOUNTED JUNCTION BOX	-
	COMBINATION DATA/TELEPHONE OUTLET. [STUB OUT 1" WITH PULL STRING 6" INTO CEILING SPACE. PROVIDE OUTLET BOX.] [WITH PLASTER RING AND PULL STRING 6" INTO CEILING SPACE.]	REFER TO ARCH. UON
	GROUND	-
	PANELBOARD 120/208V SYSTEM	6'-0" TO TOP
M	MOTOR CONNECTION	-
	POINT OF CONNECTION FROM EXISTING TO NEW	
EP-1,3	HOMERUN TO PANELBOARD - NO. OF ARROWHEADS INDICATE NO. OF CIRCUITS. NUMERALS & LETTERS ADJACENT TO ARROWHEADS INDICATE ASSIGNED PANEL & CIRCUIT NO.'S	-
#10	TICK MARKS IN HOMERUN OR BRANCH CIRCUITRY, UNLESS OTHERWISE SCHEDULED, INDICATE THE QUANTITY (WHERE MORE THAN TWO) OF CURRENT CARRYING CONDUCTORS. NUMERAL ADJACENT TO TICKS INDICATES WIRE SIZE IF OTHER THAN #12. ALL WRING SHALL ALSO CONTAIN AN INSULATED EQUIPMENT GROUND CONDUCTOR SIZED PER NEC. (NOT SHOWN)	-
	GENERAL CIRCUITRY	-
	CIRCUITRY INSTALLED CONCEALED IN OR BELOW FLOOR SLAB	-
#	DENOTES PLAN SPECIFIC NOTE	-
	FACTORY CONNECTION - PROVIDE CIRCUITRY CONNECTION AS NOTED ON PLAN	±
M	METER	-
(X)	REMOVE WITH ALL CIRCUITRY THERETO	
	COMBINATION MOTOR CONTROLLER	

DRAWING LIST

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DRAWING SPECIFICATIONS, LEGEND, NOTES, & ABBREVIATIONS

SHEET
E-001

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GENERAL NOTES - DEMOLITION

A. REFER TO THE ELECTRICAL COVER SHEET FOR SPECIFICATIONS, GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS. REFER TO THE FIRE ALARM NEW WORK PLAN FOR FIRE ALARM SYMBOLS.

B. REFER TO THE MECHANICAL AND PLUMBING DRAWINGS FOR EXACT LOCATIONS OF ALL DEMOLISHED EQUIPMENT.

C. DEMOLITION WORK INDICATED IS DIAGRAMMATIC AND IS NOT SHOWN INCLUSIVELY. THE DEMOLITION DRAWING IS INTENDED TO DEMONSTRATE MAJOR ITEMS ONLY. THE CONTRACTOR IS REQUIRED TO PERFORM DEMOLITION OF THE ENTIRE ELECTRICAL SYSTEM IN THE BUILDING.

D. REMOVE ALL ABANDONED WIRING BACK TO THE PANEL/SOURCE AS APPLICABLE.

E. COORDINATE WITH UTILITY COMPANY PRIOR TO SCHEDULING ANY SHUTDOWN REQUIRED DURING CONSTRUCTION.

F. DISCONNECT AND REMOVE ALL (NOT SHOWN) LIGHTING FIXTURES AND ASSOCIATED CONTROLS IN THE AREA OF WORK UNLESS OTHERWISE NOTED. REMOVE WIRING FROM FIXTURE/DEVICE LOCATION BACK TO THE SOURCE PANELBOARD.

G. DISCONNECT AND REMOVE ALL (NOT SHOWN) EMERGENCY LIGHTING FIXTURES AND EXIT SIGNS IN THE AREA OF WORK UNLESS OTHERWISE NOTED.

H. DISCONNECT AND REMOVE ALL (NOT SHOWN) FIRE ALARM DEVICES IN THE AREA OF WORK UNLESS OTHERWISE NOTED.

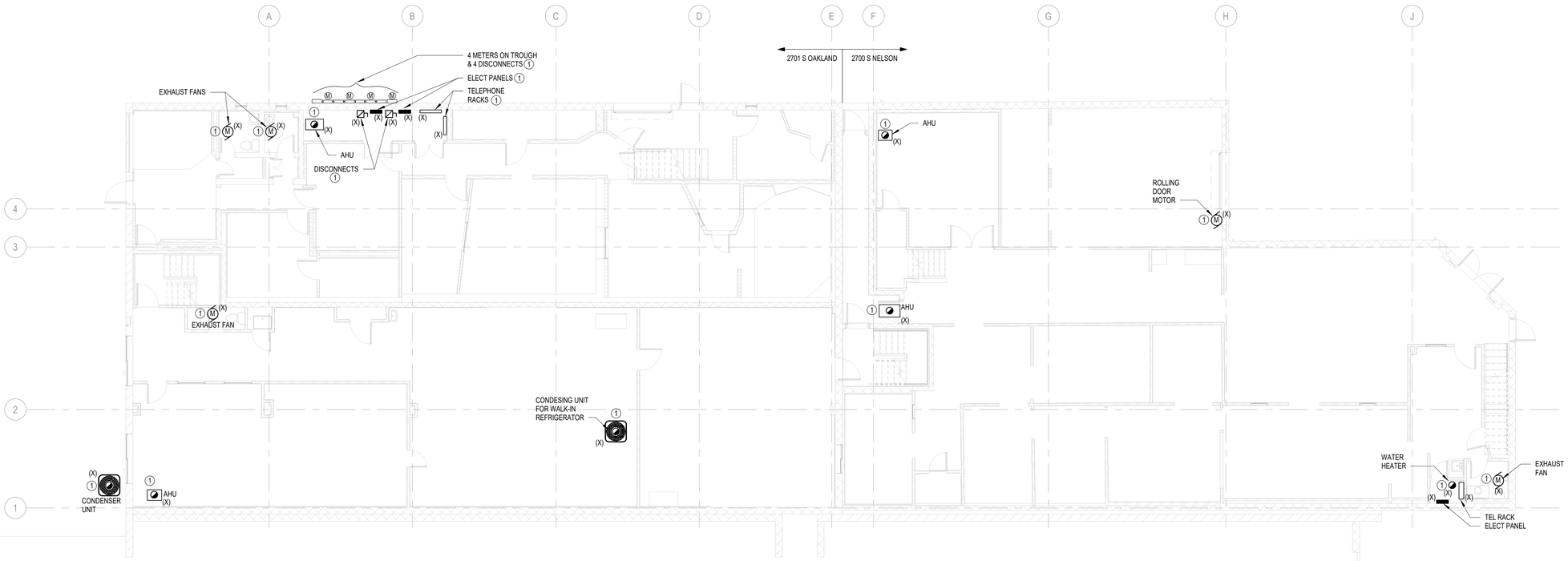
I. DISCONNECT AND REMOVE ALL (NOT SHOWN) RECEPTACLES, POKE-THRU DEVICES, SYSTEMS FURNITURE POWER/DATA FEEDS, AND CABLE TRAY SYSTEMS IN THEIR ENTIRETY IN THE AREA OF WORK UNLESS OTHERWISE NOTED. REMOVE CIRCUITRY FROM DEVICE LOCATION BACK TO THE SOURCE PANELBOARD.

J. DISCONNECT AND REMOVE ALL (NOT SHOWN) TELEPHONE/DATA OUTLETS AND SECURITY DEVICES IN THE AREA OF WORK UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OF TELEPHONE/DATA CABLING WITH OWNER BEFORE PROCEEDING WITH DEMOLITION.

K. DISCONNECT AND REMOVE ALL PROPERTY OWNED ELECTRICAL EQUIPMENT. SALVAGE AND RETURN TO THE BUILDING OWNER FOR FUTURE USE IF NEEDED.

KEYED NOTES - DEMOLITION

1. REMOVAL: DISCONNECT POWER AND REMOVE ASSOCIATED SAFETY DISCONNECT FROM ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT AS SHOWN ON PLAN, UNLESS OTHERWISE NOTED. REMOVE EXISTING WIRING FROM UNIT LOCATIONS BACK TO SOURCE PANELBOARD.



FIRST FLOOR - DEMOLITION PLAN

1/8" = 1'-0"

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8/25/2022 2:04:51 PM BIM 360://13356-35 Demo 2700 South Nelson/2021305.00 - ELEC v21.rvt

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C. DEMOLITION WORK INDICATED IS DIAGRAMMATIC AND IS NOT SHOWN INCLUSIVELY. THE DEMOLITION DRAWING IS INTENDED TO DEMONSTRATE MAJOR ITEMS ONLY. THE CONTRACTOR IS REQUIRED TO PERFORM DEMOLITION of the entire electrical system in the building.

D. REMOVE ALL ABANDONED WIRING BACK TO THE PANEL/SOURCE AS APPLICABLE.

E. COORDINATE WITH UTILITY COMPANY PRIOR TO SCHEDULING ANY SHUTDOWN REQUIRED DURING CONSTRUCTION.

F. DISCONNECT AND REMOVE ALL (NOT SHOWN) LIGHTING FIXTURES AND ASSOCIATED CONTROLS IN THE AREA OF WORK UNLESS OTHERWISE NOTED. REMOVE WIRING FROM FIXTURE/DEVICE LOCATION BACK TO THE SOURCE PANELBOARD.

G. DISCONNECT AND REMOVE ALL (NOT SHOWN) EMERGENCY LIGHTING FIXTURES AND EXIT SIGNS IN THE AREA OF WORK UNLESS OTHERWISE NOTED.

H. DISCONNECT AND REMOVE ALL (NOT SHOWN) FIRE ALARM DEVICES IN THE AREA OF WORK UNLESS OTHERWISE NOTED.

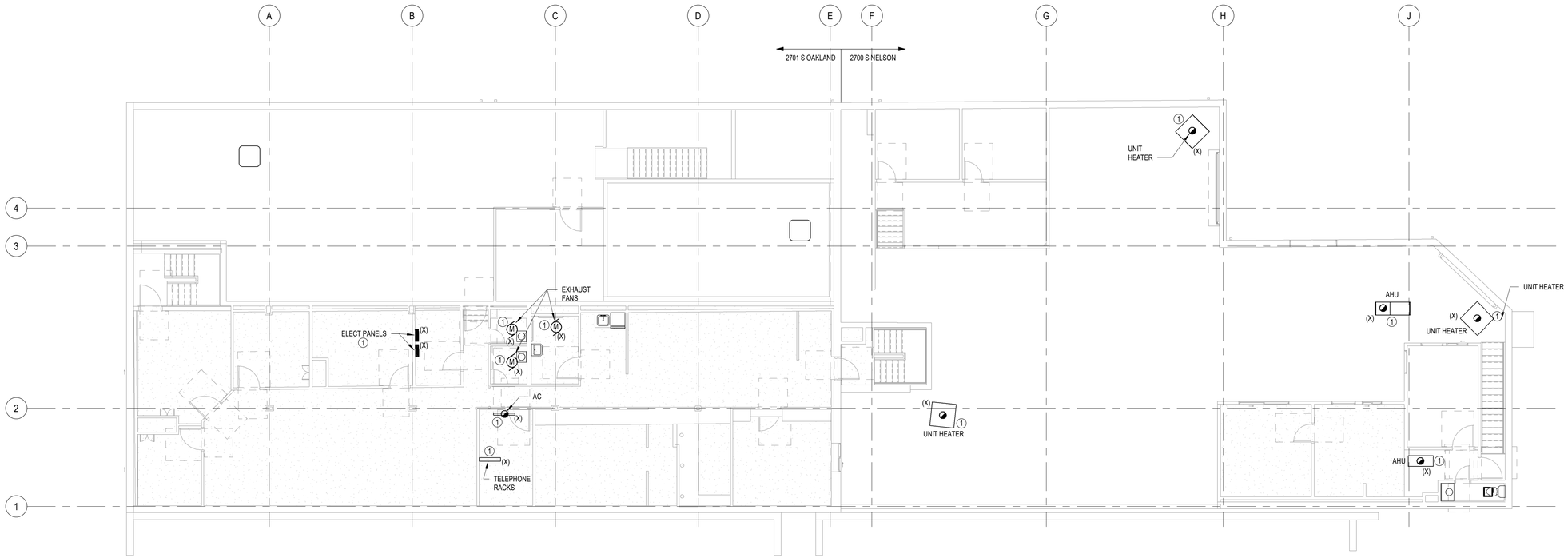
I. DISCONNECT AND REMOVE ALL (NOT SHOWN) RECEPTACLES, POKE-THRU DEVICES, SYSTEMS FURNITURE POWER/DATA FEEDS, AND CABLE TRAY SYSTEMS IN THEIR ENTIRETY IN THE AREA OF WORK UNLESS OTHERWISE NOTED. REMOVE CIRCUITRY FROM DEVICE LOCATION BACK TO THE SOURCE PANELBOARD.

J. DISCONNECT AND REMOVE ALL (NOT SHOWN) TELEPHONE/DATA OUTLETS AND SECURITY DEVICES IN THE AREA OF WORK UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OF TELEPHONE/DATA CABLING WITH OWNER BEFORE PROCEEDING WITH DEMOLITION.

K. DISCONNECT AND REMOVE ALL PROPERTY OWNED ELECTRICAL EQUIPMENT. SALVAGE AND RETURN TO THE BUILDING OWNER FOR FUTURE USE IF NEEDED.

KEYED NOTES - DEMOLITION

1. REMOVAL: DISCONNECT POWER AND REMOVE ASSOCIATED SAFETY DISCONNECT FROM ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT AS SHOWN ON PLAN, UNLESS OTHERWISE NOTED. REMOVE EXISTING WIRING FROM UNIT LOCATIONS BACK TO SOURCE PANELBOARD.



SECOND FLOOR - DEMOLITION PLAN

1/8" = 1'-0"

MARK	REVISIONS	DATE	BY	DES

DATE	08.25.2022
PROJECT	13356-35
DESIGNED	NRE
DRAWN	NRE
CHECKED	NNT

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COMMONWEALTH OF VIRGINIA
MATTHEW M. ZEGARELLI
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PROFESSIONAL ENGINEER
AUG 25 2022

PROJECT 2700 S NELSON & 2701 OAKLAND STREET DEMOLITION
ARLINGTON COUNTY VIRGINIA
1400 N. UHLE ST.
ARLINGTON, VA 22201
DRAWING SECOND FLOOR - DEMOLITION PLAN

SHEET
ED102

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Project #: 2021305.00
PM: MMZ M: HTL E: NNT P: BKM

1/32" = 1'-0" | 1/16" = 1'-0" | 3/32" = 1'-0" | 1/8" = 1'-0" | 1/4" = 1'-0" | 3/8" = 1'-0" | 1/2" = 1'-0" | 3/4" = 1'-0" | 1" = 1'-0" | 1 1/2" = 1'-0" | 3" = 1'-0" | 6" = 1'-0"

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GENERAL NOTES - DEMOLITION

A. REFER TO THE ELECTRICAL COVER SHEET FOR SPECIFICATIONS, GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS. REFER TO THE FIRE ALARM NEW WORK PLAN FOR FIRE ALARM SYMBOLS.

B. REFER TO THE MECHANICAL AND PLUMBING DRAWINGS FOR EXACT LOCATIONS OF ALL DEMOLISHED EQUIPMENT.

C. DEMOLITION WORK INDICATED IS DIAGRAMMATIC AND IS NOT SHOWN INCLUSIVELY. THE DEMOLITION DRAWING IS INTENDED TO DEMONSTRATE MAJOR ITEMS ONLY. THE CONTRACTOR IS REQUIRED TO PERFORM DEMOLITION of the entire electrical system in the building.

D. REMOVE ALL ABANDONED WIRING BACK TO THE PANEL/SOURCE AS APPLICABLE.

E. COORDINATE WITH UTILITY COMPANY PRIOR TO SCHEDULING ANY SHUTDOWN REQUIRED DURING CONSTRUCTION.

F. DISCONNECT AND REMOVE ALL (NOT SHOWN) LIGHTING FIXTURES AND ASSOCIATED CONTROLS IN THE AREA OF WORK UNLESS OTHERWISE NOTED. REMOVE WIRING FROM FIXTURE/DEVICE LOCATION BACK TO THE SOURCE PANELBOARD.

G. DISCONNECT AND REMOVE ALL (NOT SHOWN) EMERGENCY LIGHTING FIXTURES AND EXIT SIGNS IN THE AREA OF WORK UNLESS OTHERWISE NOTED.

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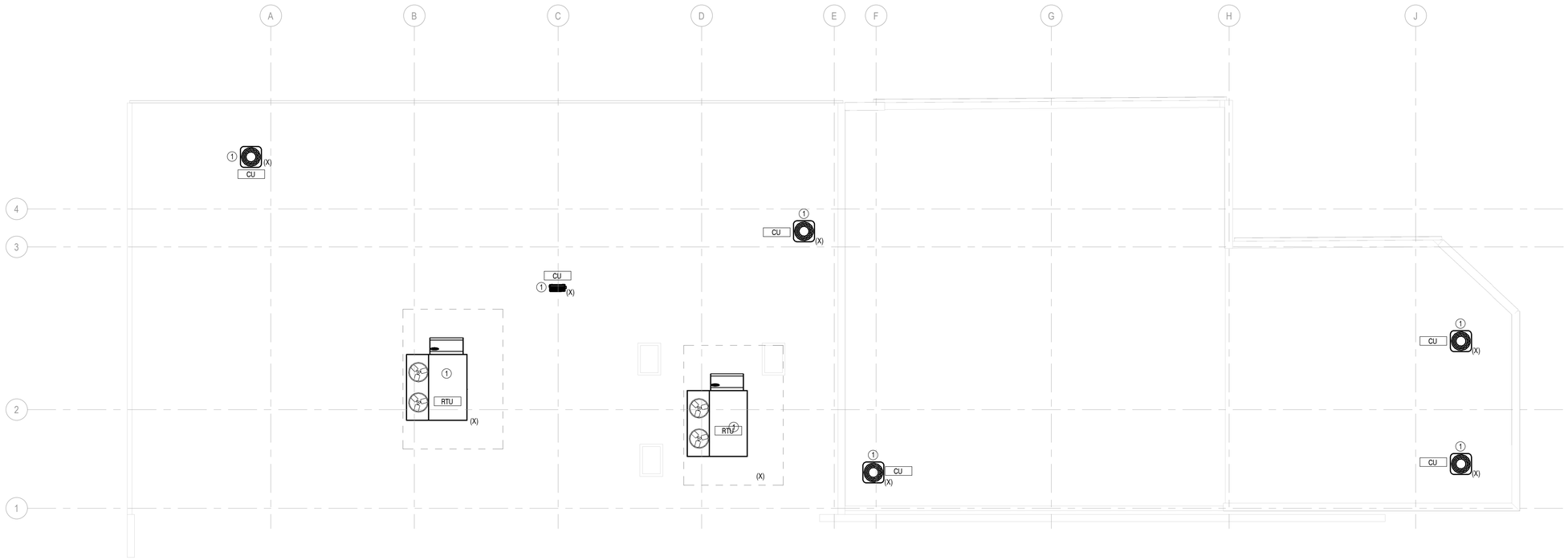
K. DISCONNECT AND REMOVE ALL PROPERTY OWNED ELECTRICAL EQUIPMENT. SALVAGE AND RETURN TO THE BUILDING OWNER FOR FUTURE USE IF NEEDED.

KEYED NOTES - DEMOLITION

1. REMOVAL: DISCONNECT POWER AND REMOVE ASSOCIATED SAFETY DISCONNECT FROM ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT AS SHOWN ON PLAN, UNLESS OTHERWISE NOTED. REMOVE EXISTING WIRING FROM UNIT LOCATIONS BACK TO SOURCE PANELBOARD.



ROOF - DEMOLITION PLAN
1/8" = 1'-0"

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DRAWING ROOF - DEMOLITION PLAN

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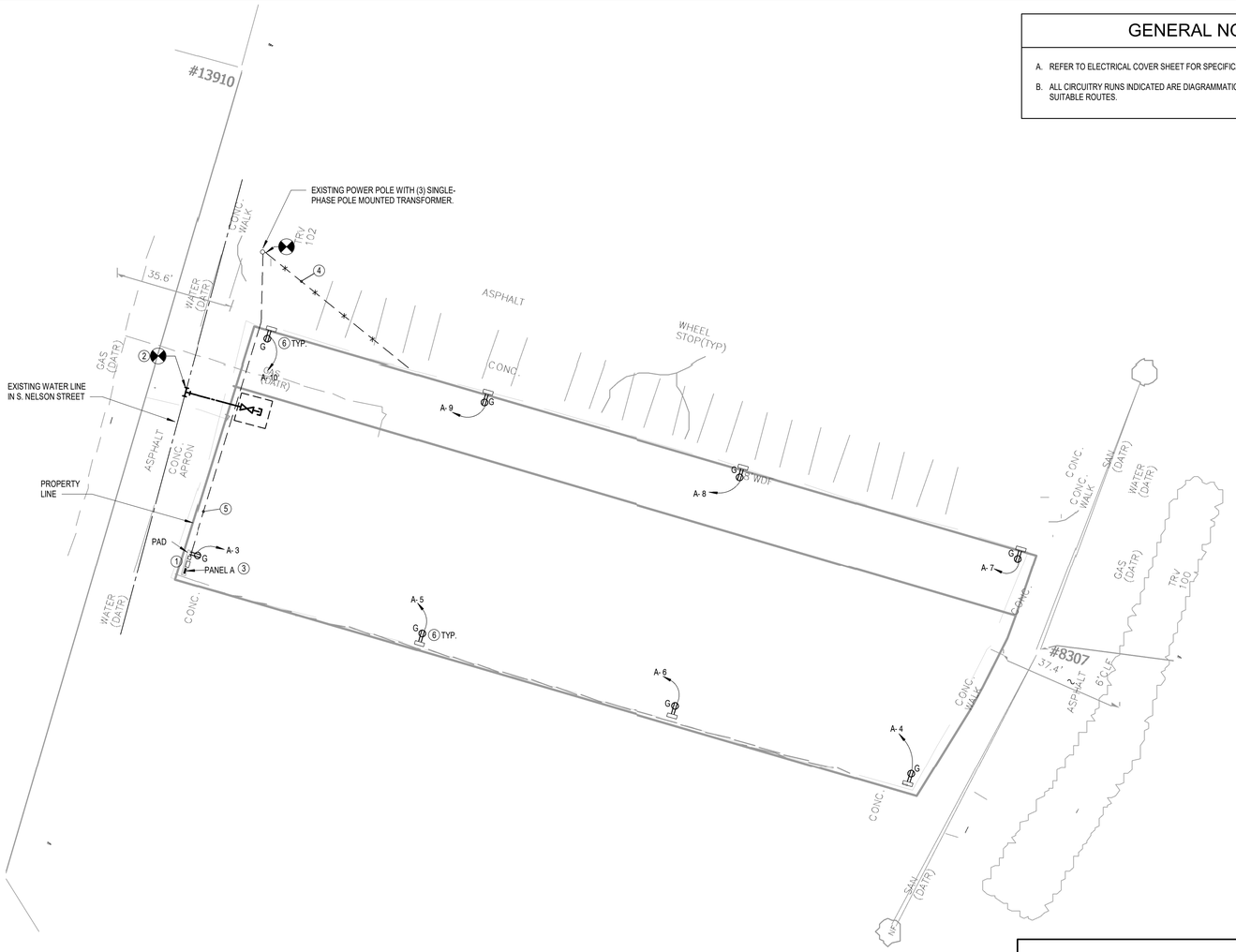


GENERAL NOTES - SITE PLAN

A. REFER TO ELECTRICAL COVER SHEET FOR SPECIFICATIONS, GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS.

B. ALL CIRCUITRY RUNS INDICATED ARE DIAGRAMMATIC. THE CONTRACTOR SHALL DETERMINE IN THE FIELD THE MOST SUITABLE ROUTES.

KEYED NOTES - DEMOLITION

1. PROVIDE CT CABINET WITH UTILITY METER BASE, 200A MCB, 3PH, 4W PANELBOARD 'A', SEE RISER DIAGRAM FOR MORE INFORMATION. PROVIDE AN ASTRONOMICAL CLOCK FOR CONTROL OF SITE LIGHTING.*
2. 1-1/4" WATER LINE WITH VALVE & CAP IN ACCESS BOX FOR FUTURE CONNECTION
3. PROVIDE (2) DEDICATED 20A, 120V CIRCUITS FROM PANEL "A" FOR CONNECTION TO FUTURE SITE LIGHTING AND PLUG-IN CONNECTIONS.
4. REMOVE EXISTING OVERHEAD SERVICE FROM POLE MOUNTED TRANSFORMER TO BUILDING.
5. PROVIDE NEW SERVICE FROM POLE MOUNTED TRANSFORMER, RUN 2" GRC SCHEDULE 40 CONDUIT DOWN THE POLE AND RUN 2" PVC UNDERGROUND TO NEW LOCATION AS SHOWN.
6. RECEPTACLES SHALL BE PROTECTED WITH WEATHERPROOF ENCLOSURE SUPPORTED WITH A FREESTANDING PEDESTAL. FOR CAT NO. AND MORE INFO, SEE "EXTERIOR RECEPTACLE ON A PEDESTAL" DETAIL IN THIS SHEET.

PANEL PANEL A

POLES: | **VOLTS:** 120/208 Wye | **MOUNTING:** SURFACE
MIN AIC RATING: | **PHASES/WIRE:** 3 PH/4 WIRES | **LOCATION:** SEE FLOOR PLANS
NOTES: | **MAIN:** 225 A | **FED FROM:** SEE RISER DIAGRAM
NEUTRAL: 100% | **MCB RATING:** 200A
MLO RATING:

CKT	LOAD DESCRIPTION	NOTE	CB	POLES	A		B		C		POLES	CB	NOTE	LOAD DESCRIPTION	CKT
1	SITE LIGHTING		20	1	1.50	1.50					1	20		SITE LIGHTING	2
3	RECEPTACLES		20	1			1.20	1.20			1	20		RECEPTACLES	4
5	RECEPTACLES		20	1					1.20	1.20	1	20		RECEPTACLES	6
7	RECEPTACLES		20	1	1.20	1.20					1	20		RECEPTACLES	8
9	RECEPTACLES		20	1			1.20	1.20			1	20		RECEPTACLES	10
11	SPARE		20	1					0.00	0.00	1	20		SPARE	12
13	SPARE		20	1	0.00	0.00					1	20		SPARE	14
15	SPARE		20	1			0.00	0.00			1	20		SPARE	16
17	SPARE		20	1					0.00	0.00	1	20		SPARE	18
19															20
21															22
23															24
25															26
27															28
29															30
31															32
33															34
35															36
37															38
39															40
41															42
	TOTAL CONNECTED KVA PER PHASE:				5.40 kVA		4.80 kVA		2.40 kVA						
	TOTAL CONNECTED AMPS PER PHASE:				45 A		40 A		20 A						

LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	DEMAND LOAD	PANEL TOTALS	
LIGHTING	0.000 kVA	0.00%	0.000 kVA		
ELECTRIC MOTOR	0.000 kVA	0.00%	0.000 kVA	**TOTAL CONN. KVA:**	12.60
ELECTRICAL HEATING EQUIPMENT	0.000 kVA	0.00%	0.000 kVA	**TOTAL DEMAND KVA:**	11.30
HVAC	0.000 kVA	0.00%	0.000 kVA	**TOTAL CONN. AMPS:**	35
HVAC - Non-Coincidental	0.000 kVA	0.00%	0.000 kVA	**TOTAL DEMAND AMPS:**	31
KITCHEN EQUIPMENT	0.000 kVA	0.00%	0.000 kVA	**TOTAL MINIMUM FEEDER APACITY:**	31
Other	0.000 kVA	0.00%	0.000 kVA		
POWER	0.000 kVA	0.00%	0.000 kVA		
RECEPTACLES	12.600 kVA	89.68%	11.300 kVA		
WATER HEATER	0.000 kVA	0.00%	0.000 kVA		

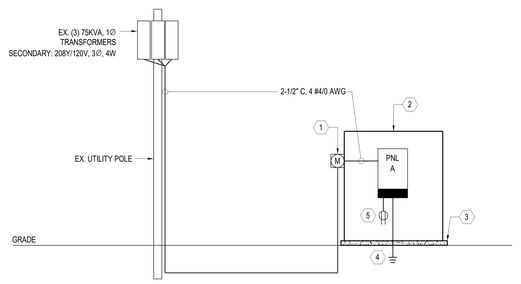
Notes:

ELECTRICAL AND PLUMBING SITE PLAN - NEW WORK

1" = 20'-0"

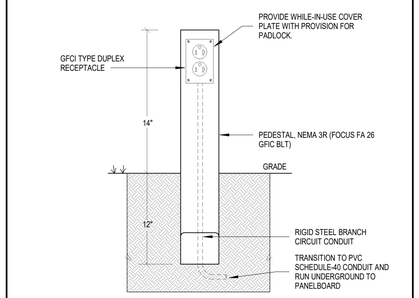
KEYED NOTES - POWER RISER DIAGRAM

1. PROVIDE CURRENT TRANSFORMER WITH METER BASE, METER WILL BE PROVIDE BY UTILITY COMPANY. FIELD CONFIRM EXACT METER CATALOG NUMBER PRIOR TO ORDERING.
2. EQUIPMENT NEMA-3R ENCLOSURE WITH DOUBLE DOOR AND PROVISION FOR PADLOCK, SIZE AS REQUIRED.
3. CONCRETE BASE, 4-INCH THICK, EXTEND 6-INCH FROM EACH FACE OF EQUIPMENT.
4. PROVIDE 3/4" DIA. X 10'-0" L COPPER CLAD GROUND RODS DRIVEN INTO EARTH (# OF ROD AS REQUIRED) .
5. CONNECT DUPLEX RECEPTACLE TO 20A BREAKER IN PANEL A.



POWER RISER DIAGRAM

SCALE: NOT TO SCALE



EXTERIOR RECEPTACLE ON A PEDESTAL

SCALE: NOT TO SCALE

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