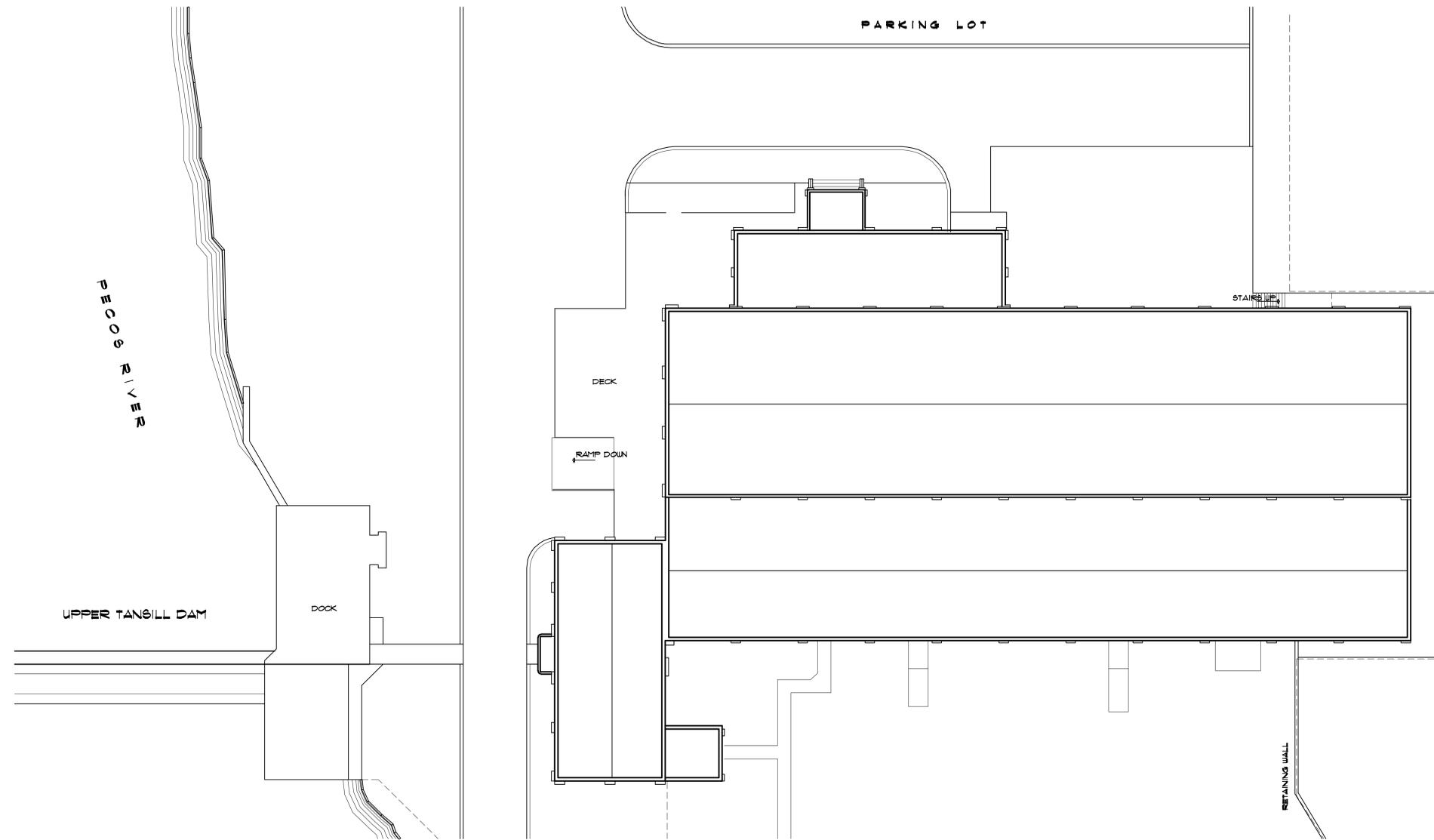


EXTERIOR RESURFACING & NEW WINDOWS OF THE RIVERWALK RECREATION CENTER

400 RIVERWALK DRIVE - CARLSBAD NEW MEXICO 88220

FOR THE
CITY OF CARLSBAD



SITE PLAN
1/16" = 1'-0"

INDEX

- T-1 TITLE SHEET
SITE PLAN
- 1 PLAN VIEW - WALL OPENINGS
- 2 NORTH ELEVATION
WEST ELEVATION
- 3 SOUTH ELEVATION
EAST ELEVATION
DETAILS
- 4 COMPREHENSIVE SECTION
WINDOW ELEVATIONS
DETAILS

SCOPE OF WORK

BASE BID 'A': REPAIR AND PAINT EXTERIOR (AREAS ONE, TWO, & THREE)
THE SCOPE OF WORK IS THE SURFACE REPAIR AND PAINT OF THE RIVERWALK RECREATION CENTER EXTERIOR FACADE ON ALL ELEVATIONS (AREAS ONE, TWO, & THREE) HOWEVER OMITTING AREA FOUR. THE CONTRACTOR SHALL REFER TO SPECIFICATIONS ON THE DRAWINGS TO REPAIR THE SURFACE BY REMOVING ALL DEBRIS, FIELDED PAINT, ETC. UPON REMOVAL THE CONTRACTOR SHALL PATCH SEAL AND FILL IN JOINTS AND THEN APPLY A COAT OF PRIMER / SEALER TO THE REPAIRED SURFACE. FINALLY, THE SURFACE WILL BE PAINTED WITH AN ACRYLIC ELASTOMERIC PAINT (2 COATS). WORK ALSO INCLUDES REPLACEMENT OF WOOD VIGAS ON THESE ELEVATIONS. PAINT METAL ENTRANCE HANDRAILS, GATE, AND METAL LIGHT COVERS IN ALL BASE BIDS. (PAINTING GUARDRAILS AND HANDRAILS AT THE DECK AND RAMP ARE AN ADD ALTERNATE).

BASE BID 'B': REPAIR OF AREA ONE (only)
BASE BID 'B' IS COMPRISED OF THE SCOPE OF WORK ON THE NORTH AND WEST ELEVATIONS OF THE MAIN BUILDING AND POWER HOUSE. WORK ALSO INCLUDES REPLACEMENT OF WOOD VIGAS ON THIS ELEVATION ONLY.

BASE BID 'C': REPAIR OF AREAS ONE & TWO
BASE BID 'C' IS COMPRISED OF THE SCOPE OF WORK ON THE SOUTH AND EAST ELEVATIONS OF THE 'POWER HOUSE' IN ADDITION TO THE WORK IN AREA ONE. WORK ALSO INCLUDES REPLACEMENT OF WOOD VIGAS ON THESE ELEVATIONS ONLY.

ADD ALTERNATE #1: PAINT GUARDRAILS & HANDRAILS
ALTERNATE #1 IS COMPRISED OF THE SCOPE OF WORK ON THE WEST DECK AND RAMP. HANDRAILS AND GUARDRAILS SHALL BE Banded AND PAINTED AS PER SPECIFICATIONS. THIS ALTERNATE IS APPLICABLE TO ALL BASE BIDS.

ADD ALTERNATE #2: INSTALL TRANSLUCENT WINDOWS
ALTERNATE #2 IS COMPRISED OF REPLACING SELECT WINDOWS WITH NEW TRANSLUCENT INSULATED WINDOW ASSEMBLIES. THIS IS APPLICABLE TO AREAS ONE, TWO, AND THREE (BASE BID 'A').

- ADDITIONAL WORK (ALL BASE BIDS):**
1. TEMPORARILY REMOVE HVAC CONDENSER PIPING FOR RESURFACING HVAC UNIT STANDS. REINSTALL AFTER PAINTING.
 2. ELECTRICAL: PAINT ELECTRICAL PANELS AND CONDUIT. TEMPORARILY REMOVE ELECTRICAL LIGHTS, POWER CAMERAS, ANTENNAE, ETC. FOR RESURFACING. REINSTALL DEVICES UPON COMPLETION OF RESURFACING.
 3. METAL GATES, HANDRAIL, AND LIGHT FIXTURE COVERS (NIGHT SIGNAGE). SCRAPE METAL FREE FROM DIRT, RUST, ETC. AND PAINT (2) COATS. REPAIR AS NECESSARY.

GENERAL NOTES

1. CONTRACTOR(S), SUB-CONTRACTORS AND SUPPLIERS SHALL THOROUGHLY REVIEW THE ENTIRE SET OF PLANS AND SPECIFICATIONS PRIOR TO BID OPENING. CLARIFY AND COORDINATE WORK WITH EACH TRADE. NO CHANGE ORDERS WILL BE ISSUED FOR FAILURE TO DO SO.
2. ANY WORK MATERIALS, EQUIPMENT, OR SERVICES THAT DO NOT COMPLY W/ THE CONTRACT DOCUMENTS WILL NOT BE ACCEPTED. ALL REQUESTS FOR SUBSTITUTIONS ARE SUBJECT TO A TEN (10) DAY PRIOR APPROVAL (SEE SECTION 01630).
3. ALL CONTRACTOR(S) ARE TO FIELD VERIFY EXISTING CONDITIONS, DIMENSIONS, AND INSTRUCTIONS PRIOR TO BID OPENING IN ORDER TO SUBMIT A COMPLETE BID WITHIN THE SCOPE OF THE PLANS AND SPECIFICATIONS. PROMPTLY REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING SHOULD THEY OCCUR.
4. ANY QUESTIONS REGARDING THE CONTRACTOR'S FUNCTION, SCOPE OF WORK, OR ISSUES RELATED TO THIS PROJECT SHALL BE DISCUSSED WITH THE ARCHITECT DURING THE PRE-BID PERIOD IN ORDER TO ALLOW TIME TO ISSUE A WRITTEN CLARIFICATION OR ADDENDA.
5. SHOULD THE CONTRACTOR NOTICE AT ANY TIME THAT ACTUAL FIELD CONDITIONS DO NOT CORRESPOND WITH INFORMATION ON THE PLANS, THEN IT WILL BE HIS/HER RESPONSIBILITY TO NOTIFY THE ARCHITECT AS SOON AS POSSIBLE FOR CLARIFICATION.
6. CONTRACTOR TO REPAIR OR REPLACE ALL ITEMS DAMAGED AS A RESULT OF CONSTRUCTION DURING THE COURSE OF WORK. RESTORE ALL REPAIRED ITEMS TO CONSISTENT APPEARANCE & TO MAINTAIN ITS INTEGRITY. WORK TO BE DONE AS DIRECTED BY ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
7. PREPARE ALL SURFACES NEW AND EXISTING, AS REQUIRED TO RECEIVE NEW FINISHES AS INDICATED ON PLANS & FINISH SCHED.
8. ALL MECHANICAL / ELECTRICAL PIPING, WIRING, EQUIPMENT WHICH ARE TO BE ABANDONED SHALL BE REMOVED AND CAPPED OFF AS NECESSARY.
9. ALL FLOOR FINISHES AND CEILINGS ARE TO BE REMOVED UNLESS NOTED OTHERWISE.
10. ANY ASBESTOS REMOVAL OR DISPOSAL WILL BE UNDER A SEPARATE CONTRACT.
11. RETURN ALL SALVAGED EQUIPMENT TO OWNER, COVER AND PROTECT ITEMS FROM DETERIORATION OR DAMAGE.



Mitchell & Cruse Architecture
102 N. Canyon Carlsbad, NM 88220
e-mail: mca@mitchellcruse.com
phone: (575) 885-8400
website: www.mitchellcruse.com

**EXTERIOR RE-SURFACING & WINDOWS
OF THE
RIVERWALK RECREATION CENTER
FOR THE
CITY OF CARLSBAD**
400 RIVERWALK DR. - CARLSBAD, NEW MEXICO

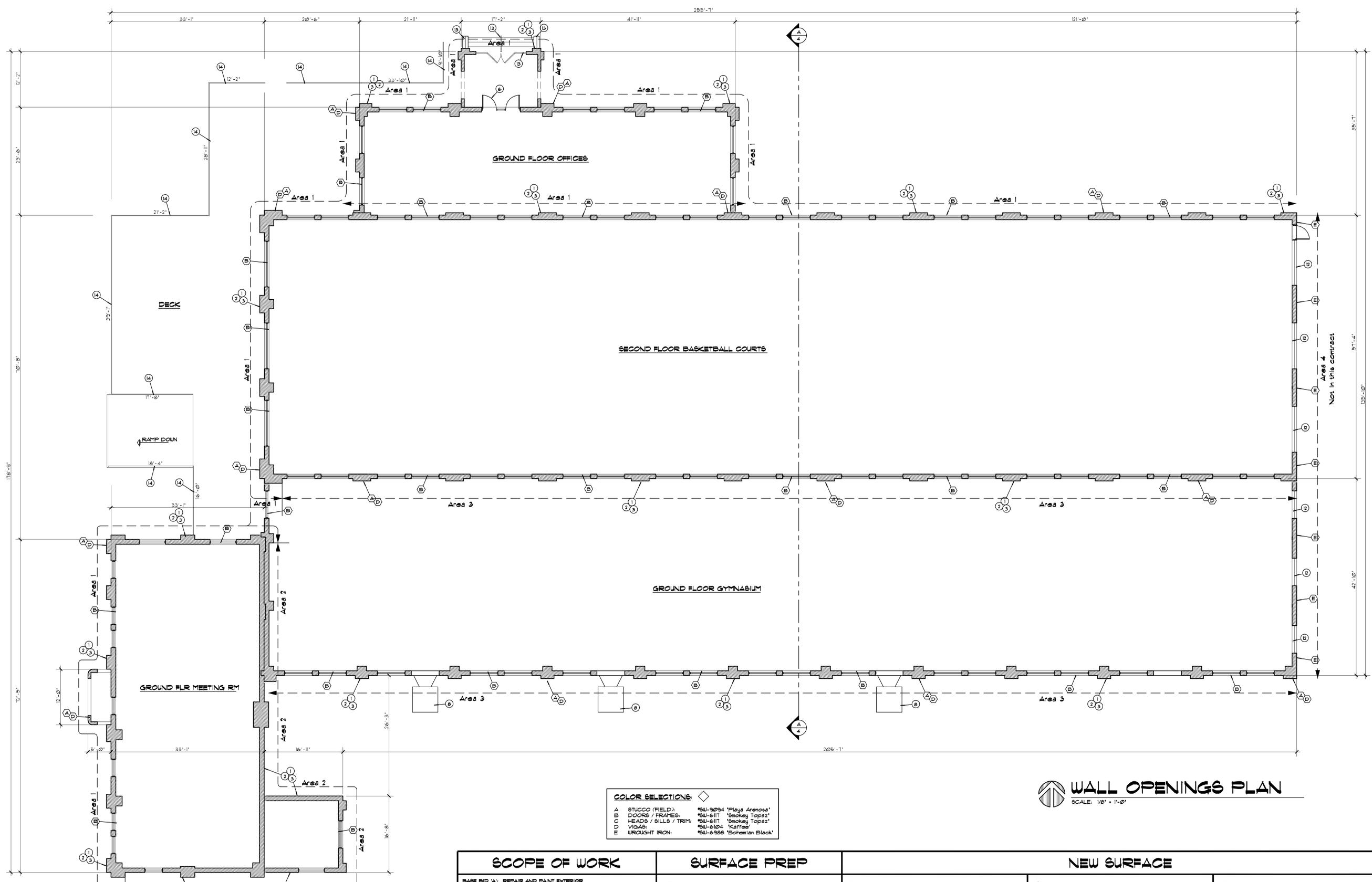
JOB NUMBER:
23.01
DATE:
1-16-23
DRAWN BY:
L.M.
FILE NAME:
RWRG Rebid Paint Site
SHEET NUMBER:
T-1
OF 8 SHEETS



MCA Mitchell & Cruse Architecture
 phone: (575) 689-9400
 102 N. Canyon Carlsbad, NM 88220
 e-mail: mca@mitchellcruse.com
 website: www.mitchellcruse.com

EXTERIOR RE-SURFACING & WINDOWS OF THE RIVERWALK RECREATION CENTER FOR THE CITY OF CARLSBAD
 400 RIVERWALK DR. - CARLSBAD, NEW MEXICO

JOB NUMBER: 23.01
 DATE: 1-16-23
 DRAWN BY: L.M.
 FILE NAME: RWRC Rebid Openings
 SHEET NUMBER: 1
 OF 8 SHEETS



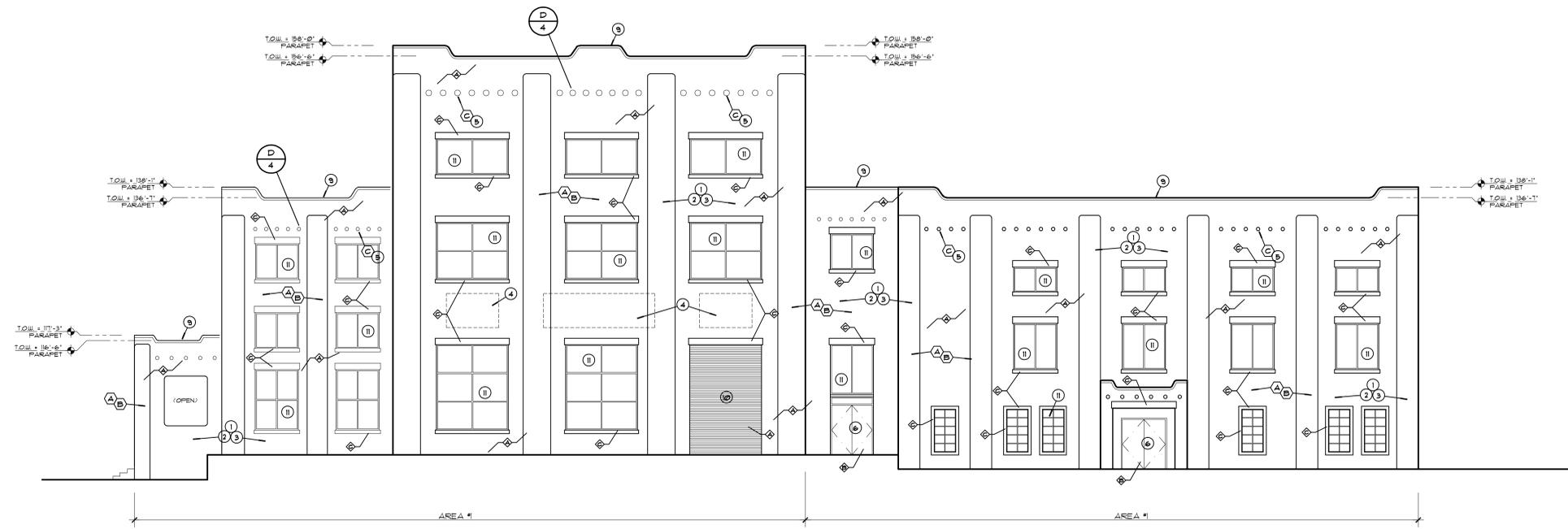
NOTE: All drawings are presented for reference only to aid the Contractor in determining areas and general conditions of the building in order to submit his proposal. Drawings are not to be construed as showing each and every detail or condition of materials. It is imperative that the Contractor include in his bid the proper amounts to cover all items necessary to complete the scope of work. All Contractors are to field verify all existing conditions, dimensions, and instructions prior to bid opening in order to submit a complete bid and to visit the building in order to include all necessary items for a complete project in each case. A complete project in each case.

SCOPE OF WORK	SURFACE PREP	NEW SURFACE
<p>BASE BID 'A', REPAIR AND PAINT EXTERIOR (AREAS ONE, TWO, & THREE)</p> <p>THE SCOPE OF WORK IS THE SURFACE REPAIR AND PAINT OF THE RIVERWALK RECREATION CENTER EXTERIOR FACADE ON ALL ELEVATIONS (AREAS ONE, TWO, & THREE) HOWEVER OMITTING AREA FOUR. THE CONTRACTOR SHALL REFER TO SPECIFICATIONS ON THE DRAWINGS TO REPAIR THE SURFACE BY REMOVING ALL DEBRIS, PEELED PAINT, ETC. UPON REMOVAL, THE CONTRACTOR SHALL PATCH, SEAL AND FILL IN JOINTS AND THEN APPLY A COAT OF PRIMER / SEALER TO THE REPAIRED SURFACE. FINALLY, THE SURFACE WILL BE PAINTED WITH AN ACRYLIC ELASTOMERIC PAINT (2 COATS). WORK ALSO INCLUDES REPLACEMENT OF WOOD VIGAS ON THESE ELEVATIONS, PAINT METAL ENTRANCE HANDRAILS, GATE, AND METAL LIGHT COVERS IN ALL BASE BIDS. (PAINTING GUARDRAILS & HANDRAILS AT THE DECK & RAMP ARE AN ADD ALTERNATE).</p> <p>BASE BID 'B', REPAIR OF AREA ONE (ONLY)</p> <p>BASE BID 'B' IS COMPRISED OF THE SCOPE OF WORK ON THE NORTH AND WEST ELEVATIONS OF THE MAIN BUILDING AND POWER HOUSE. WORK ALSO INCLUDES REPLACEMENT OF WOOD VIGAS TAILS ON THIS ELEVATION ONLY.</p> <p>BASE BID 'C', REPAIR OF AREAS ONE & TWO</p> <p>BASE BID 'C' IS COMPRISED OF THE SCOPE OF WORK ON THE SOUTH AND EAST ELEVATIONS OF THE "POWER HOUSE" IN ADDITION TO THE WORK IN AREA ONE. WORK ALSO INCLUDES REPLACEMENT OF WOOD VIGAS ON THESE ELEVATIONS ONLY.</p> <p>ADD ALTERNATE #1: PAINT GUARDRAILS & HANDRAILS ON DECK/RAMP</p> <p>ALTERNATE #1 IS COMPRISED OF THE SCOPE OF WORK ON THE WEST DECK AND RAMP. GUARDRAILS AND HANDRAILS SHALL BE SANDED AND PAINTED AS PER SPECIFICATIONS. THIS ALTERNATE IS APPLICABLE TO ALL BASE BIDS.</p> <p>ADD ALTERNATE #2: INSTALL TRANSLUCENT WINDOWS</p> <p>INSTALL NEW TRANSLUCENT WINDOWS IN AREAS ONE, TWO, AND THREE. THIS ALTERNATE IS APPLICABLE TO ALL BASE BIDS.</p>	<p>(A) PRESSURE CLEAN THE EXTERIOR SURFACE TO REMOVE ALL PEELED PAINT, DIRT, DUST, GREASE, OIL, LOOSE PARTICLES, LANTANCE, FOREIGN MATERIAL, PEELING AND DEFECTIVE COATINGS, CHALK, PROM RELEASE AGENTS, MOISTURE CURING MEMBRANES, MILDEW, ETC. ALLOW THE SURFACE TO DRY THOROUGHLY.</p> <p>(B) TAPE ALL AROUND DOOR & WINDOW FRAMES, VIGAS, CONCRETE SLAB/FOUNDATION, ETC. DO NOT PAINT ALUMINUM, STEEL, OR TRANSLUCENT WINDOW FRAMES, GLAZING, ETC.</p> <p>(C) EXISTING VIGAS SHALL REMAIN. HOWEVER SELECT VIGAS MAY BE REPLACED IN WHICH CASE, REMOVE WOOD VIGAS, NAILERS, AND CLEAN OUT VOIDS FREE OF DIRT, DEBRIS, NESTS, ETC.</p> <p>(D) REMOVE LIGHT FIXTURES, SIGNAGE, ETC. PRIOR TO SURFACE PREPARATION. REINSTALL UPON COMPLETION OF PROJECT.</p> <p>(E) EXISTING TRANSITE SURFACE TO REMAIN.</p> <p>(F) EXISTING WOOD BEAMS TO BE CLEANED OF PAINT, DIRT, ETC. AND THEN SANDED TO REMOVE ROTTED PORTIONS - APPLY EPOXY FILLER AND PAINT.</p> <p>(G) REMOVE EXISTING TRANSLUCENT WINDOWS.</p>	<p>(1) APPLY 'CONCRETE & MASONRY PATCH AND SEALANT' (AS PER SHERWIN WILLIAMS) SEAL CRACKS, JOINTS AND OTHER OPENINGS TO PREVENT FURTHER MOISTURE PENETRATION AND DAMAGE. BRIDGE OVER CRACKS UP TO 1/2" WIDE CRACKS AND VOIDS BETWEEN 1/2" AND 1" WIDE SHALL BE OPENED TO A SOUND SURFACE, CLEANED OUT AND PATCHED. IN OPENINGS 1" OR GREATER, THE DEPTH SHALL BE CONTROLLED WITH A CLOSED-CELL, NON-GASSING TYPE BACKER ROD. REPAIR SURFACES ACCORDING TO MANUFACTURER'S SPECIFICATIONS.</p> <p>(2) APPLY 'LOXON' CONCRETE & MASONRY PRIMER/ SEALER (AS PER SHERWIN WILLIAMS) TO THE REPAIRED STUCCO SURFACE. APPLY COATINGS WITH BRUSH, ROLLER OR AIRLESS SPRAY ACCORDING TO MANUFACTURER'S SPECIFICATIONS.</p> <p>(3) APPLY SHERWIN WILLIAMS 'SHERLASTIC' ACRYLIC ELASTOMERIC MASONRY COATING (2 COATS) TO ALL PRIMED/SEALED SURFACES WITH BRUSH, ROLLER OR SPRAY ACCORDING TO MANUFACTURER'S SPECIFICATIONS. COLOR TO BE SELECTED BY ARCHITECT & OWNER.</p> <p>(4) EXISTING MURALS: CLEAN SURFACE ALL AROUND AS SPECIFIED AND RESURFACE OVER THE MURALS (NOTES 12, & 3). SHOULD THE OWNER ELECT TO KEEP THE MURALS CLEAN, SURFACE AT ALL AROUND MURALS AND BOX IN WITH PAINTER'S TAPE TO FRAME IT. COVER & PROTECT MURAL DURING THE AFOREMENTIONED SURFACE PREPARATION AND PAINTING PROCESS.</p> <p>(5) WOOD VIGAS (BASE BID): REMOVE WOOD VIGA, STUCCO, VIGA NAILERS AND BLOCK AS NECESSARY TO INSTALL POLYURETHANE (PAID WOOD) VIGA TAILS REPLACING THE EXISTING WOOD VIGA TAILS. VIGAS SHALL BE SOLID WITH NO FLANGE. WATERPROOF THE CAVITY & MECHANICALLY ATTACH TO EXISTING BLOCK WITH LAG BOLTS (OR M REBAR) AND URETHANE ADHESIVE. REFER TO MANUFACTURER'S SPEC FOR INSTALLATION. PATCH HOLES AND SEAL ALL AROUND. (NOTE: VERIFY SIZE OF CAVITY PRIOR TO ORDERING MATERIALS. RE: DETAILS 9&14)</p> <p>(6) HOLLOW METAL DOORS & FRAMES, PORCELAIN PANELS: REMOVE PAINT, DIRT, ETC. AND APPLY (2) COATS OF PAINT. COLOR TO BE SELECTED BY ARCHITECT & OWNER.</p> <p>(7) SCUFFERS (CLAY) SHALL REMAIN - CAULK ALL AROUND AND PAINT TO MATCH VIGAS. METAL SCUFFERS SHALL REMAIN HOWEVER DO NOT PAINT.</p> <p>(8) EVAPORATIVE COOLER STANDS: SCRAPE METAL FREE FROM DIRT, RUST, ETC. AND THEN (2) COATS AS PER SPEC.</p> <p>(9) METAL PARAPET FLASHING SHALL REMAIN - DO NOT PAINT.</p> <p>(10) OVERHEAD DOOR: PAINT FIELD COLOR. CAULK FRAME TO DOOR JAMB.</p> <p>(11) ALUMINUM FRAMED WINDOWS SHALL REMAIN. PROTECT FROM APPLICATION OF STUCCO PATCHING AND PAINT. CAULK ALL AROUND FRAMES TO WINDOW JAMB.</p> <p>(12) STEEL FRAME WINDOWS: REMOVE AND INSTALL NEW ALUMINUM FRAMED TRANSLUCENT WINDOWS. (ALTERNATE #2)</p> <p>(13) MAIN ENTRANCE METAL GATES, HANDRAILS, LIGHT COVERS: SAND AND PAINT AS PER SPECIFICATIONS (BASE BIDS A,B,C)</p> <p>(14) METAL GUARDRAILS AND HANDRAILS (at Deck and Ramp) SAND AND PAINT AS PER SPECIFICATIONS (ALTERNATE #1)</p> <p>(15) NEW ALUMINUM-FRAMED TRANSLUCENT WINDOW ASSEMBLIES. (CONTRACTOR AND SUPPLIER SHALL FIELD VERIFY SIZES AND INSTALLATION METHODS PRIOR TO ORDERING MATERIALS) (ALTERNATE #2)</p> <p>(16) REMOVE ALUMINUM-FRAMED WINDOWS AND INSTALL NEW ALUMINUM-FRAMED TRANSLUCENT WINDOW ASSEMBLIES. (ALTERNATE #2)</p> <p>(17) TRANSLUCENT WINDOW TO REMAIN. PROTECT FROM APPLICATION OF STUCCO PATCHING AND PAINT. CAULK ALL AROUND FRAMES TO WINDOW JAMB.</p>

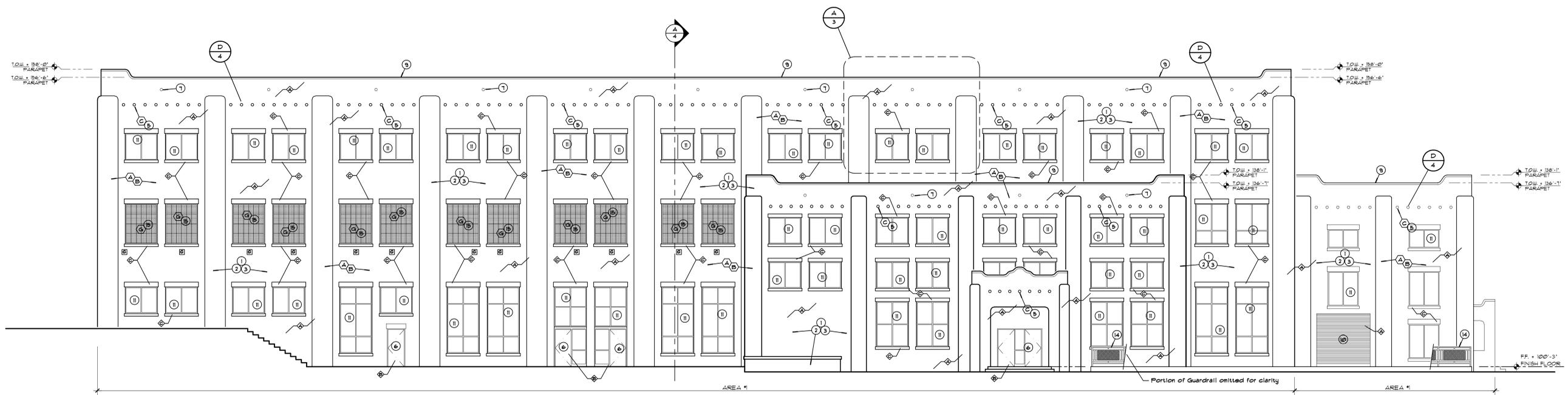


Mitchell & Cruse Architecture
 phone: (575) 689-8400
 website: www.mitchellcruse.com
 102 N. Canyon Carlsbad, NM 88220
 e-mail: mca@mitchellcruse.com

EXTERIOR RE-SURFACING & WINDOWS OF THE RIVERWALK RECREATION CENTER FOR THE CITY OF CARLSBAD
 400 RIVERWALK DR. - CARLSBAD, NEW MEXICO



WEST ELEVATION
 SCALE: 1/8" = 1'-0"



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

COLOR SELECTIONS

A	STUCCO (FIELD)	*SW-30294 'Playa Arenosa'
B	DOORS / FRAMES	*SW-6111 'Smoky Topaz'
C	HEADS / SILLS / TRIM	*SW-6111 'Smoky Topaz'
D	VIGAS	*SW-6104 'Koffee'
E	WROUGHT IRON	*SW-6308 'Bohemian Black'

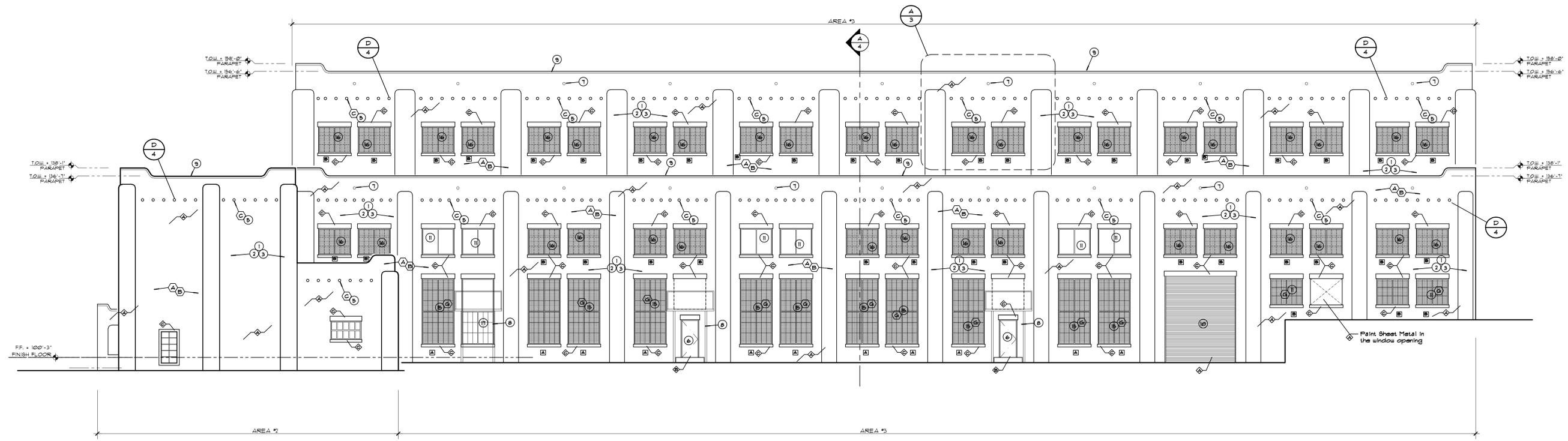
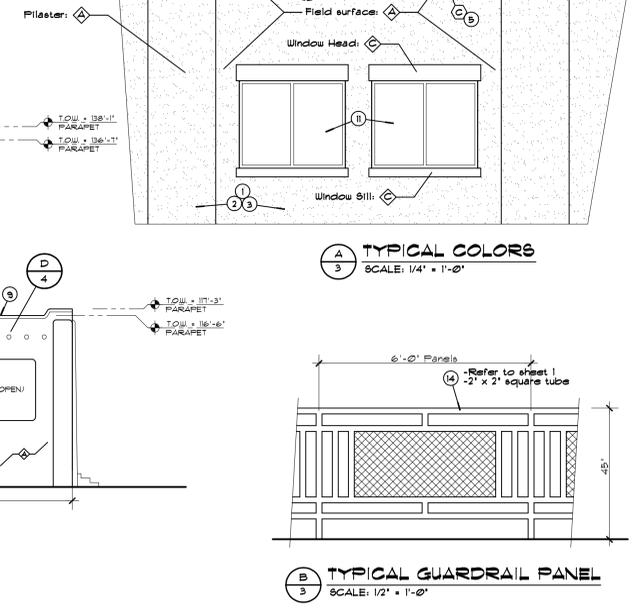
NOTE: All drawings are presented for reference only to aid the Contractor in determining areas and general conditions of the building in order to submit his proposal. Drawings are not to be construed as showing each and every detail or condition of materials. It is imperative that the Contractor include in his bid the proper amounts to cover all items necessary to complete the scope of work. All Contractors are to field verify all existing conditions, dimensions, and instructions prior to bid opening in order to submit a complete bid and to visit this building in order to include all necessary items for a complete project in each case, a complete project in each case.

EXISTING CONSTR.	SCOPE OF WORK	SURFACE PREP	NEW SURFACE
<p>ORIGINAL STRUCTURE: 1949 CONSTRUCTION 4 1992 RENOVATION</p> <p>EXISTING GROUND LEVEL WALLS: STUCCO ON 8" TILE BLOCK AND 4" BRICK</p> <p>EXISTING UPPER LEVEL WALLS 4 PARAPETS: STUCCO ON 8" TILE BLOCK AND 4" BRICK</p> <p>EXISTING GROUND LEVEL FINISH FLOOR: 3 1/2" CONCRETE SLAB ON 6" CONCRETE SLAB</p> <p>EXISTING UPPER LEVEL FINISH FLOOR: 4" CONCRETE SLAB ON 1 1/2" METAL GRATING</p> <p>EXISTING ROOF: TPO MEMBRANE, RIGID INSULATION ON EXISTING 20 GA. STEEL DECK ON STEEL STRUCTURE</p> <p>EXISTING VIGAS: 6" or 10" ROUND WOOD VIGAS ATTACHED TO 1 1/2" x 2" BARS. (Verify size prior to ordering materials.)</p>	<p>BASE BID 'A', REPAIR AND PAINT EXTERIOR (AREAS ONE TWO, 1 THREE) THE SCOPE OF WORK IS THE SURFACE REPAIR AND PAINT OF THE RIVERWALK RECREATION CENTER EXTERIOR FACADE ON ALL ELEVATIONS (AREAS ONE, TWO, 1 THREE) HOWEVER CHITTING AREA FOUR, THE CONTRACTOR SHALL REFER TO SPECIFICATIONS ON THE DRAWINGS TO REPAIR THE SURFACE BY REMOVING ALL DEBRIS, PEELED PAINT, ETC. UPON REMOVAL, THE CONTRACTOR SHALL PATCH, SEAL AND FILL IN JOINTS AND THEN APPLY A COAT OF PRIMER SEALER TO THE REPAIRED SURFACE. FINALLY, THE SURFACE WILL BE PAINTED WITH AN ACRYLIC ELASTOMERIC PAINT (2 COATS). WORK ALSO INCLUDES REPLACEMENT OF WOOD VIGAS ON THESE ELEVATIONS, PAINT METAL ENTRANCE HANDRAILS, GATE, AND METAL LIGHT COVERS IN ALL BASE BIDS. (PAINTING GUARDRAILS 4 HANDRAILS AT THE DECK 4 RAMP ARE AN ADD ALTERNATE.)</p> <p>BASE BID 'B', REPAIR OF AREA ONE (only) BASE BID 'B' IS COMPRISED OF THE SCOPE OF WORK ON THE NORTH AND WEST ELEVATIONS OF THE MAIN BUILDING AND POWER HOUSE. WORK ALSO INCLUDES REPLACEMENT OF WOOD VIGAS TAILS ON THIS ELEVATION ONLY.</p> <p>BASE BID 'C', REPAIR OF AREA ONE 4 TWO BASE BID 'C' IS COMPRISED OF THE SCOPE OF WORK ON THE SOUTH AND EAST ELEVATIONS OF THE "POWER HOUSE" IN ADDITION TO THE WORK IN AREA ONE. WORK ALSO INCLUDES REPLACEMENT OF WOOD VIGAS ON THESE ELEVATIONS ONLY.</p> <p>ADD ALTERNATE #1: PAINT GUARDRAILS 4 HANDRAILS ON DECK/RAMP ALTERNATE #1 IS COMPRISED OF THE SCOPE OF WORK ON THE DECK AND RAMP. GUARDRAILS AND HANDRAILS SHALL BE SANDED AND PAINTED AS PER SPECIFICATIONS. THIS ALTERNATE IS APPLICABLE TO ALL BASE BIDS.</p> <p>ADD ALTERNATE #2: METAL TRANSLUCENT WINDOWS INSTALL NEW TRANSLUCENT WINDOWS IN AREAS ONE, TWO, AND THREE. THIS ALTERNATE IS APPLICABLE TO ALL BASE BIDS.</p>	<p>(A) PRESSURE CLEAN THE EXTERIOR SURFACE TO REMOVE ALL PEELED PAINT, DIRT, DUST, GREASE, OIL, LOOSE PARTICLES, LAITANCE, FOREIGN MATERIAL, FEELINGS AND DEFECTIVE COATINGS, CHALK, FROST RELEASE AGENTS, MOISTURE CURING MEMBRANES, MILDEW, ETC. ALLOW THE SURFACE TO DRY THOROUGHLY.</p> <p>(B) TAPE ALL AROUND DOOR 4 WINDOW FRAMES, VIGAS, CONCRETE SLAB/FOUNDATION, ETC. DO NOT PAINT ALUMINUM, STEEL, OR TRANSLUCENT WINDOW FRAMES, GLAZING, ETC.</p> <p>(C) EXISTING VIGAS SHALL REMAIN. HOWEVER SELECT VIGAS MAY BE REPLACED IN WHICH CASE, REMOVE WOOD VIGAS, NAILERS, AND CLEAN OUT VOIDS FREE OF DIRT, DEBRIS, NESTS, ETC.</p> <p>(D) REMOVE LIGHT FIXTURES, SIGNAGE, ETC. PRIOR TO SURFACE PREPARATION, REINSTALL UPON COMPLETION OF PROJECT.</p> <p>(E) EXISTING TRANSITE SURFACE TO REMAIN.</p> <p>(F) EXISTING WOOD BEAMS TO BE CLEANED OF PAINT, DIRT, ETC. AND THEN SANDED TO REMOVE ROTTED PORTIONS - APPLY EPOXY FILLER AND PAINT.</p> <p>(G) REMOVE EXISTING TRANSLUCENT WINDOWS.</p>	<p>(1) APPLY 'CONCRETE 4 MASONRY PATCH AND SEALANT' (AS PER SHERWIN WILLIAMS) SEAL CRACKS, JOINTS AND OTHER OPENINGS TO PREVENT FURTHER MOISTURE PENETRATION AND DAMAGE. BRIDGE OVER CRACKS UP TO 1/2" WIDE, CRACKS AND VOIDS BETWEEN 1/2" AND 1" WIDE SHALL BE OPENED TO A SOUND SURFACE AND PATCHED. IN OPENINGS 1" OR GREATER, THE DEPTH SHALL BE CONTROLLED WITH A CLOSED-CELL, NON-GASSING TYPE BACKER ROD. REPAIR SURFACES ACCORDING TO MANUFACTURER'S SPECIFICATIONS.</p> <p>(2) APPLY 'LOXON' CONCRETE 4 MASONRY PRIMER SEALER (AS PER SHERWIN WILLIAMS) TO THE REPAIRED STUCCO SURFACE. APPLY COATINGS WITH BRUSH, ROLLER OR AIRLESS SPRAY ACCORDING TO MANUFACTURER'S SPECIFICATIONS.</p> <p>(3) APPLY SHERWIN WILLIAMS 'SHERLASTIC' ACRYLIC ELASTOMERIC MASONRY COATING (2 COATS) TO ALL PRIMED/SEALED SURFACES WITH BRUSH, ROLLER OR SPRAY ACCORDING TO MANUFACTURER'S SPECIFICATIONS. COLOR TO BE SELECTED BY ARCHITECT 4 OWNER.</p> <p>(4) EXISTING MURALS: CLEAN SURFACE ALL AROUND AS SPECIFIED AND RESURFACE OVER THE MURALS (NOTES 12, 4 3). SHOULD THE OWNER ELECT TO KEEP THE MURALS, CLEAN SURFACE 4" ALL AROUND MURALS AND BOX IN WITH PAINTER'S TAPE TO FRAME IT. COVER 4 PROTECT MURAL DURING THE AFOREMENTIONED SURFACE PREPARATION AND PAINTING PROCESS.</p> <p>(5) WOOD VIGAS (BASE BID): REMOVE WOOD VIGA, STUCCO, VIGA NAILERS AND BLOCK AS NECESSARY TO INSTALL POLYURETHANE (PAK WOOD) VIGA TAILS REPLACING THE EXISTING WOOD VIGA TAILS. VIGAS SHALL BE SOLID WITH NO FLANGE. WATERPROOF THE CAVITY 4 MECHANICALLY ATTACH TO EXISTING BLOCK WITH LAG BOLTS (OR 4 REBAR) AND URETHANE ADHESIVE. REFER TO MANUFACTURER'S SPEC FOR INSTALLATION. PATCH HOLES AND SEAL ALL AROUND. (NOTE: VERIFY SIZE OF CAVITY PRIOR TO ORDERING MATERIALS. RE: DETAILS BMT 4</p> <p>(6) HOLLOW METAL DOORS 4 FRAMES, PORCELAIN PANELS: REMOVE PAINT, DIRT, ETC. AND APPLY (2) COATS OF PAINT. COLOR TO BE SELECTED BY ARCHITECT 4 OWNER.</p> <p>(7) SCUFFERS (CLAY) SHALL REMAIN - CAULK ALL AROUND AND PAINT TO MATCH VIGAS. METAL SCUFFERS SHALL REMAIN HOWEVER DO NOT PAINT.</p> <p>(8) EVAPORATIVE COOLER STANDS: SCRAPE METAL FREE FROM DIRT, RUST, ETC. AND PAINT (2) COATS AS PER SPECS.</p> <p>(9) METAL PARAFET FLASHING SHALL REMAIN - DO NOT PAINT.</p> <p>(10) OVERHEAD DOOR: PAINT FIELD COLOR. CAULK FRAME TO DOOR JAMBS.</p> <p>(11) ALUMINUM FRAMES WINDOWS SHALL REMAIN. PROTECT FROM APPLICATION OF STUCCO PATCHING AND PAINT. CAULK ALL AROUND FRAMES TO WINDOW JAMBS.</p> <p>(12) STEEL FRAME WINDOWS: REMOVE AND INSTALL NEW ALUMINUM FRAMED TRANSLUCENT WINDOWS. (ALTERNATE #2)</p> <p>(13) MAIN ENTRANCE METAL GATES, HANDRAILS, LIGHT COVERS: SAND AND PAINT AS PER SPECIFICATIONS (BASE BIDS A,B,C)</p> <p>(14) METAL GUARDRAILS AND HANDRAILS (at Deck and Ramp): SAND AND PAINT AS PER SPECIFICATIONS (ALTERNATE #1)</p> <p>(15) NEW ALUMINUM-FRAMED TRANSLUCENT WINDOW ASSEMBLIES: (CONTRACTOR AND SUPPLIER SHALL FIELD VERIFY SIZES AND INSTALLATION METHODS PRIOR TO ORDERING MATERIALS) (ALTERNATE #2)</p> <p>(16) REMOVE ALUMINUM-FRAMED TRANSLUCENT WINDOWS AND INSTALL NEW ALUMINUM-FRAMED TRANSLUCENT WINDOW ASSEMBLIES. (ALTERNATE #2)</p> <p>(17) TRANSLUCENT WINDOW TO REMAIN. PROTECT FROM APPLICATION OF STUCCO PATCHING AND PAINT. CAULK ALL AROUND FRAMES TO WINDOW JAMBS.</p>

JOB NUMBER: 23-01
 DATE: 1-16-23
 DRAWN BY: L.M.
 FILE NAME: RURC Rebid Elev A
 SHEET NUMBER: 2
 OF 5 SHEETS



EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

COLOR SELECTIONS:

A	STUCCO (FIELD)	#SW-3294 'Playa Arenosa'
B	DOORS / FRAMES	#SW-6111 'Smoky Topaz'
C	HEADS / SILLS / TRIM	#SW-6111 'Smoky Topaz'
D	VIGAS	#SW-6124 'Kaffee'
E	WROUGHT IRON	#SW-6988 'Bohemian Black'

NOTE: All drawings are presented for reference only to aid the Contractor in determining areas and general conditions of the building in order to submit his proposal. Drawings are not to be construed as showing each and every detail or condition of materials. It is imperative that the Contractor include in his bid the proper amounts to cover all items necessary to complete the scope of work. All Contractors are to field verify all existing conditions, dimensions, and instructions prior to bid opening in order to submit a complete bid and to visit this building in order to include all necessary items for a complete project in each case. A complete project in each case.

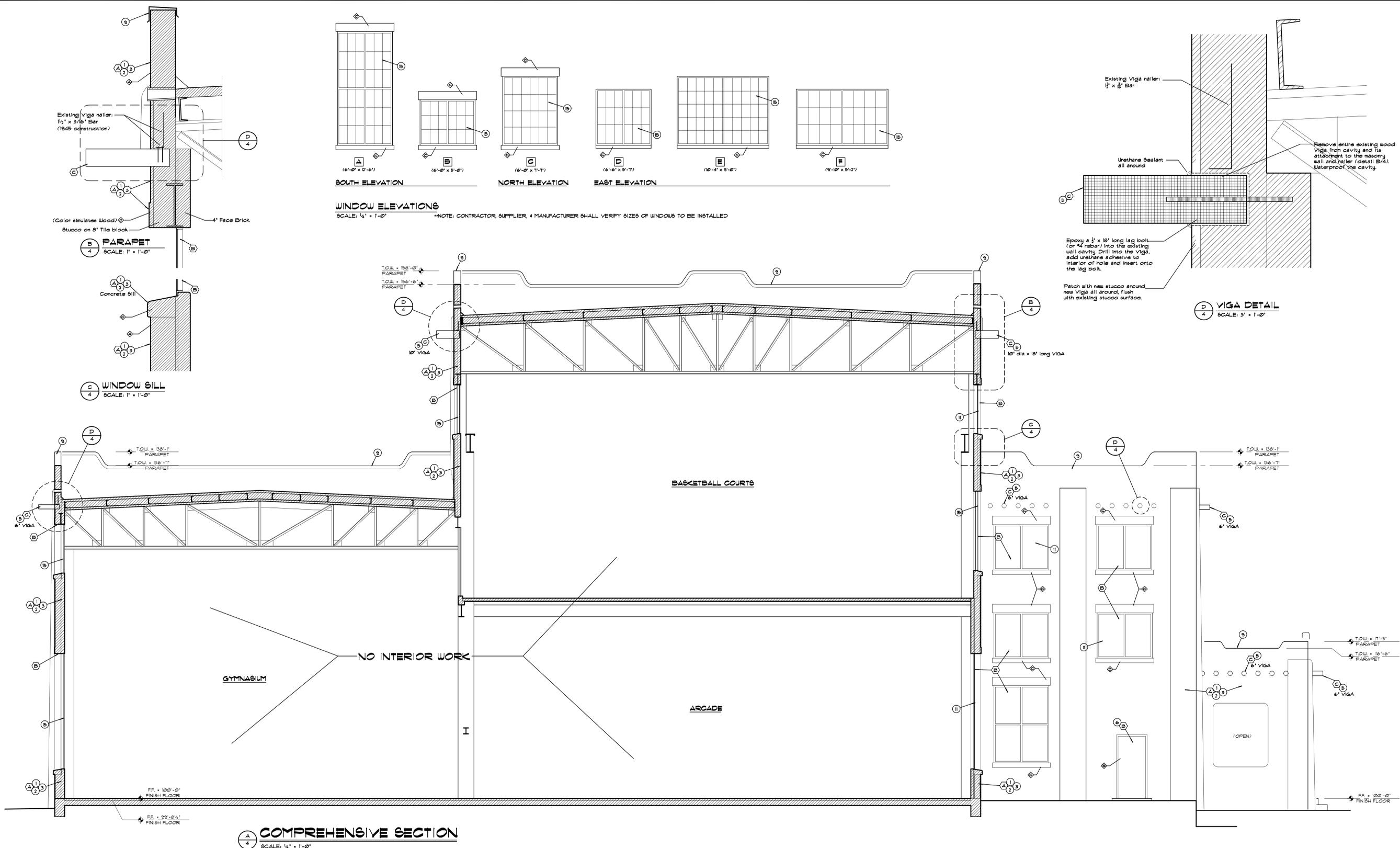
EXISTING CONSTR.	SCOPE OF WORK	SURFACE PREP	NEW SURFACE
<p>ORIGINAL STRUCTURE: 1945 CONSTRUCTION & 1992 RENOVATION</p> <p>EXISTING GROUND LEVEL WALLS: STUCCO ON 8" TILE BLOCK AND 4" BRICK</p> <p>EXISTING UPPER LEVEL WALLS & PARAPETS: STUCCO ON (2) COURSES OF 4" BRICK</p> <p>EXISTING GROUND LEVEL FINISH FLOORS: 3 1/2" CONCRETE SLAB ON 6" CONCRETE SLAB</p> <p>EXISTING UPPER LEVEL FINISH FLOORS: 4" CONCRETE SLAB ON 1 1/2" METAL GRATING</p> <p>EXISTING ROOF: TPO MEMBRANE, RIGID INSULATION ON EXISTING 20 GA. STEEL DECK ON STEEL STRUCTURE</p> <p>EXISTING VIGAS: 6" x 10" ROUND WOOD VIGAS ATTACHED TO 1 1/2" x 8" BARS. (Verify size prior to ordering materials.)</p>	<p>BASE BID 'A': REPAIR AND PAINT EXTERIORS (AREAS ONE TWO & THREE) THE SCOPE OF WORK IS THE SURFACE REPAIR AND PAINT OF THE RIVERWALK RECREATION CENTER EXTERIOR FACADE ON ALL ELEVATIONS (AREAS ONE, TWO, & THREE) HOWEVER OMITTING AREA FOUR. THE CONTRACTOR SHALL REFER TO SPECIFICATIONS ON THE DRAWINGS TO REPAIR THE SURFACE BY REMOVING ALL DEBRIS, FEELED PAINT, ETC. UPON REMOVAL, THE CONTRACTOR SHALL PATCH, SEAL AND FILL IN JOINTS AND THEN APPLY A COAT OF PRIMER/SEALER TO THE REPAIRED SURFACE. FINALLY, THE SURFACE WILL BE PAINTED WITH AN ACRYLIC ELASTOMERIC PAINT (2 COATS). WORK ALSO INCLUDES REPLACEMENT OF WOOD VIGAS ON THESE ELEVATIONS, PAINT METAL ENTRANCE HANDRAILS, GATE, AND METAL LIGHT COVERS IN ALL BASE BIDS. (PAINTING GUARDRAILS & HANDRAILS AT THE DECK & RAMP ARE AN ADD ALTERNATE.)</p> <p>BASE BID 'B': REPAIR OF AREA ONE (ONLY) BASE BID 'B' IS COMPRISED OF THE SCOPE OF WORK ON THE NORTH AND WEST ELEVATIONS OF THE 'POUWER HOUSE' IN ADDITION TO THE WORK IN AREA ONE. WORK ALSO INCLUDES REPLACEMENT OF WOOD VIGAS ON THESE ELEVATIONS ONLY.</p> <p>BASE BID 'C': REPAIR OF AREAS ONE & TWO BASE BID 'C' IS COMPRISED OF THE SCOPE OF WORK ON THE SOUTH AND EAST ELEVATIONS OF THE 'POUWER HOUSE' IN ADDITION TO THE WORK IN AREA ONE. WORK ALSO INCLUDES REPLACEMENT OF WOOD VIGAS ON THESE ELEVATIONS ONLY.</p> <p>ADD ALTERNATE #1: PAINT GUARDRAILS & HANDRAILS ON DECK/RAMP ALTERNATE #1 IS COMPRISED OF THE SCOPE OF WORK ON THE DECK AND RAMP. GUARDRAILS AND HANDRAILS SHALL BE Banded AND PAINTED AS PER SPECIFICATIONS. THIS ALTERNATE IS APPLICABLE TO ALL BASE BIDS.</p> <p>ADD ALTERNATE #2: INSTALL TRANSLUCENT WINDOWS INSTALL NEW TRANSLUCENT WINDOWS IN AREAS ONE, TWO, AND THREE. THIS ALTERNATE IS APPLICABLE TO ALL BASE BIDS.</p>	<p>(A) PRESSURE CLEAN THE EXTERIOR SURFACE TO REMOVE ALL FEELED PAINT, DIRT, DUST, GREASE, OIL, LOOSE PARTICLES, LANTANCE FOREIGN MATERIAL, FEELINGS AND DEFECTIVE COATINGS, CHALK, PROM RELEASE AGENTS, MOISTURE CURING MEMBRANES, MILDEW, ETC. ALLOW THE SURFACE TO DRY THOROUGHLY.</p> <p>(B) TAPE ALL AROUND DOOR & WINDOW FRAMES, VIGAS, CONCRETE SLAB/FOUNDATION, ETC. DO NOT PAINT ALUMINUM, STEEL, OR TRANSLUCENT WINDOW FRAMES, GLAZING, ETC.</p> <p>(C) EXISTING VIGAS SHALL REMAIN. HOWEVER SELECT VIGAS MAY BE REPLACED IN WHICH CASE REMOVE WOOD VIGAS, NAILERS, AND CLEAN OUT VOIDS FREE OF DIRT, DEBRIS, NESTS, ETC.</p> <p>(D) REMOVE LIGHT FIXTURES, SIGNAGE, ETC. PRIOR TO SURFACE PREPARATION. REINSTALL UPON COMPLETION OF PROJECT.</p> <p>(E) EXISTING TRANSITE SURFACE TO REMAIN.</p> <p>(F) EXISTING WOOD BEAMS TO BE CLEANED OF PAINT, DIRT, ETC. AND THEN Banded TO REMOVE ROTTED PORTIONS - APPLY EPOXY FILLER AND PAINT.</p> <p>(G) REMOVE EXISTING TRANSLUCENT WINDOWS.</p>	<p>(1) APPLY 'CONCRETE & MASONRY PATCH AND SEALANT' (AS PER SHERWIN WILLIAMS) SEAL CRACKS, JOINTS AND OTHER OPENINGS TO PREVENT FURTHER MOISTURE PENETRATION AND DAMAGE. BRIDGE OVER CRACKS UP TO 1/2" WIDE. CRACKS AND VOIDS BETWEEN 1/2" AND 1" WIDE SHALL BE OPENED TO A SOUND SURFACE, CLEANED OUT AND PATCHED. IN OPENINGS 1" OR GREATER, THE DEPTH SHALL BE CONTROLLED WITH A GLOBE-CELL, NON-GASSING TYPE BACKER ROD. REPAIR SURFACES ACCORDING TO MANUFACTURER'S SPECIFICATIONS.</p> <p>(2) APPLY LOW/NOV CONCRETE & MASONRY PRIMER/SEALER (AS PER SHERWIN WILLIAMS) TO THE REPAIRED STUCCO SURFACE. APPLY COATINGS WITH BRUSH, ROLLER OR AIRLESS SPRAY ACCORDING TO MANUFACTURER'S SPECIFICATIONS.</p> <p>(3) APPLY SHERWIN WILLIAMS' 'SHER-ELASTIC' ACRYLIC ELASTOMERIC MASONRY COATING (2 COATS) TO ALL PRIMED/SEALED SURFACES WITH BRUSH, ROLLER OR SPRAY ACCORDING TO MANUFACTURER'S SPECIFICATIONS. COLOR TO BE SELECTED BY ARCHITECT & OWNER.</p> <p>(4) EXISTING MURALS: CLEAN SURFACE ALL AROUND AS SPECIFIED AND RESURFACE OVER THE MURALS (NOTES 12, & 3). SHOULD THE OWNER ELECT TO KEEP THE MURALS, CLEAN SURFACE 4" ALL AROUND MURALS AND BOX IN WITH PAINTER'S TAPE TO FRAME IT. COVER & PROTECT MURAL DURING THE APPROPRIATED SURFACE PREPARATION AND PAINTING PROCESS.</p> <p>(5) WOOD VIGAS (BASE BID): REMOVE WOOD VIGA, STUCCO, VIGA NAILERS AND BLOCK AS NECESSARY TO INSTALL POLYURETHANE (PAUX WOOD) VIGA TAILS REPLACING THE EXISTING WOOD VIGA TAILS. VIGAS SHALL BE BOLD WITH NO FLANGE. WATERPROOF THE CAVITY & MECHANICALLY ATTACH TO EXISTING BLOCK WITH LAG BOLTS (OR M REBAR) AND URETHANE ADHESIVE. REFER TO MANUFACTURER'S SPEC FOR INSTALLATION. PATCH HOLES AND SEAL ALL AROUND. *NOTE: VERIFY SIZE OF CAVITY PRIOR TO ORDERING MATERIALS. SEE DETAILS 5HT 4</p> <p>(6) HOLLOW METAL DOORS & FRAMES, PORCELAIN PANELS: REMOVE PAINT, DIRT, ETC. AND APPLY (2) COATS OF PAINT. COLOR TO BE SELECTED BY ARCHITECT & OWNER.</p> <p>(7) SCUFFERS (CLAY) SHALL REMAIN - CALLK ALL AROUND AND PAINT TO MATCH VIGAS. METAL SCUFFERS SHALL REMAIN HOWEVER DO NOT PAINT.</p> <p>(8) EVAPORATIVE COOLER STANDS: SCRAPE METAL FREE FROM DIRT, RUST, ETC. AND PAINT (2) COATS AS PER SPECS.</p> <p>(9) METAL PARAPET FLASHING SHALL REMAIN - DO NOT PAINT.</p> <p>(10) OVERHEAD DOOR: PAINT FIELD COLOR. CAULK FRAME TO DOOR JAMBS.</p> <p>(11) ALUMINUM FRAMES WINDOWS SHALL REMAIN. PROTECT FROM APPLICATION OF STUCCO PATCHING AND PAINT. CAULK ALL AROUND FRAMES TO WINDOW JAMB.</p> <p>(12) STEEL FRAME WINDOWS: REMOVE AND INSTALL NEW ALUMINUM FRAMED TRANSLUCENT WINDOWS. (ALTERNATE #2)</p> <p>(13) MAIN ENTRANCE METAL GATES, HANDRAILS LIGHT COVERS: SAND AND PAINT AS PER SPECIFICATIONS (BASE BIDS A,B,C)</p> <p>(14) METAL GUARDRAILS AND HANDRAILS (at Deck and Ramp): SAND AND PAINT AS PER SPECIFICATIONS (ALTERNATE #2)</p> <p>(15) NEW ALUMINUM-FRAMED TRANSLUCENT WINDOW ASSEMBLIES (CONTRACTOR AND SUPPLIER SHALL FIELD VERIFY SIZES AND INSTALLATION METHODS PRIOR TO ORDERING MATERIALS.) (ALTERNATE #2)</p> <p>(16) REMOVE ALUMINUM FRAMED WINDOW AND INSTALL NEW ALUMINUM-FRAMED TRANSLUCENT WINDOW ASSEMBLIES. (ALTERNATE #2)</p> <p>(17) TRANSLUCENT WINDOW TO REMAIN. PROTECT FROM APPLICATION OF STUCCO PATCHING AND PAINT. CAULK ALL AROUND FRAMES TO WINDOW JAMB.</p>



Mitchell & Cruse Architecture
phone: (575) 669-9400
website: www.mitchellcruse.com
102 N. Canyon Carlsbad, NM 88220
e-mail: mca@mitchellcruse.com

EXTERIOR RE-SURFACING & WINDOWS OF THE RIVERWALK RECREATION CENTER FOR THE CITY OF CARLSBAD
400 RIVERWALK DR. - CARLSBAD, NEW MEXICO

JOB NUMBER: 2320
DATE: 1-16-23
DRAWN BY: L.M.
FILE NAME: RURC Rcpdcl Blevs B
SHEET NUMBER: 3
OF 5 SHEETS



COLOR SELECTION:

A	STUCCO (FIELD):	MSU-9094 "Playa Arenosa"
B	DOORS / FRAMES:	MSU-6111 "Smoky Topaz"
C	HEADS / SILLS / TRIM:	MSU-6111 "Smoky Topaz"
D	VIGAS:	MSU-6104 "Kafes"
E	WROUGHT IRON:	MSU-6308 "Bohemian Black"

NOTE: All drawings are presented for reference only to aid the Contractor in determining areas and general conditions of the building in order to submit his proposal. Drawings are not to be construed as showing exact and every detail or condition of materials. It is imperative that the Contractor include in his bid the proper amounts to cover all items necessary to complete the scope of work. All Contractors are to field verify all existing conditions, dimensions, and instructions prior to bid opening in order to submit a complete bid and to visit this building in order to include all necessary items for a complete project in each case. A complete project in each case.

EXISTING CONSTR.	SCOPE OF WORK	SURFACE PREP	NEW SURFACE
<p>ORIGINAL STRUCTURE: 1949 CONSTRUCTION & 1992 RENOVATION</p> <p>EXISTING GROUND LEVEL WALLS: STUCCO ON 8" TILE BLOCK AND 4" BRICK</p> <p>EXISTING UPPER LEVEL WALLS & PARAPETS: STUCCO ON (2) COURSES OF 4" BRICK</p> <p>EXISTING GROUND LEVEL FINISH FLOOR: 3 1/2" CONCRETE SLAB ON 6" CONCRETE SLAB</p> <p>EXISTING UPPER LEVEL FINISH FLOOR: 4" CONCRETE SLAB ON 1 1/2" METAL GRATING</p> <p>EXISTING ROOF: TPO MEMBRANE, RIGID INSULATION ON EXISTING 20 GA. STEEL DECK ON STEEL STRUCTURE</p> <p>EXISTING VIGAS: 6" or 10" ROUND WOOD VIGAS ATTACHED TO 1 1/2" x 3/8" BARS. (Verify size prior to ordering materials)</p>	<p>BASE BID A: REPAIR AND PAINT EXTERIOR THE SCOPE OF WORK IS THE SURFACE REPAIR AND PAINT OF THE RIVERWALK RECREATION CENTER EXTERIOR FACADE ON ALL ELEVATIONS (AREAS ONE, TWO, & THREE) HOWEVER CHITTING AREA HOLES. THE CONTRACTOR SHALL REFER TO SPECIFICATIONS ON THE DRAWINGS TO REPAIR THE SURFACE BY REMOVING ALL DEFECTIVE PEELED PAINT, etc. UPON REMOVAL, THE CONTRACTOR SHALL PATCH, SEAL AND FILL IN JOINTS AND THEN APPLY A COAT OF PRIMER / SEALER TO THE REPAIRED SURFACE. FINALLY, THE SURFACE SHALL BE PAINTED WITH AN ACRYLIC ELASTOMERIC PAINT (2 coats). WORK ALSO INCLUDES REPLACEMENT OF WOOD VIGAS ON THESE ELEVATIONS. PAINT METAL ENTRANCE HANDRAILS, GATE, AND METAL LIGHT COVERS IN ALL BASE BIDS. (PAINTING GUARDRAILS & HANDRAILS AT THE DECK & RAMP ARE AN ADD ALTERNATE)</p> <p>BASE BID B: REPAIR OF AREA ONE (ONLY) BASE BID B IS COMPRISED OF THE SCOPE OF WORK ON THE NORTH AND WEST ELEVATIONS OF THE MAIN BUILDING AND ROOFER HOUSE. WORK ALSO INCLUDES REPLACEMENT OF WOOD VIGAS TAILS ON THIS ELEVATION ONLY.</p> <p>BASE BID C: REPAIR OF AREAS ONE & TWO BASE BID C IS COMPRISED OF THE SCOPE OF WORK ON THE SOUTH AND EAST ELEVATIONS OF THE "POUWER HOUSE" IN ADDITION TO THE WORK IN AREA ONE. WORK ALSO INCLUDES REPLACEMENT OF WOOD VIGAS ON THESE ELEVATIONS ONLY.</p> <p>ADD ALTERNATE #1: PAINT GUARDRAILS & HANDRAILS ON DECK/RAMP ALTERNATE #1 IS COMPRISED OF THE SCOPE OF WORK ON THE WEST DECK AND RAMP. GUARDRAILS AND HANDRAILS SHALL BE SANDED AND PAINTED AS PER SPECIFICATIONS. THIS ALTERNATE IS APPLICABLE TO ALL BASE BIDS.</p> <p>ADD ALTERNATE #2: INITIAL TRANSLUCENT WINDOWS INSTALL NEW TRANSLUCENT WINDOWS IN AREAS ONE, TWO, AND THREE. THIS ALTERNATE IS APPLICABLE TO ALL BASE BIDS.</p>	<p>A) PRESSURE CLEAN THE EXTERIOR SURFACE TO REMOVE ALL PEELED PAINT, DIRT, DUST, GREASE, OIL, LOOSE PARTICLES, LANTANCE, FOREIGN MATERIAL, FEELING AND DEFECTIVE COATINGS, CHALK, FROM RELEASE AGENTS, HOT STURE CURING THERMANES, MILDEW, etc. ALLOW THE SURFACE TO DRY THOROUGHLY.</p> <p>B) TAPE ALL AROUND DOOR & WINDOW FRAMES, VIGAS, CONCRETE SLAB/FOUNDATION, etc. DO NOT PAINT ALUMINUM, STEEL, OR TRANSLUCENT WINDOW FRAMES, GLAZING, etc.</p> <p>C) EXISTING VIGAS SHALL REMAIN. HOWEVER SELECT VIGAS MAY BE REPLACED IN WHICH CASE, REMOVE WOOD VIGAS, NAILERS, AND CLEAN OUT VOIDS FREE OF DIRT, DEBRIS, NESTS, etc.</p> <p>D) REMOVE LIGHT FIXTURES, SIGNAGE, etc. PRIOR TO SURFACE PREPARATION. REINSTALL UPON COMPLETION OF PROJECT.</p> <p>E) EXISTING TRANSITE SURFACE TO REMAIN.</p> <p>F) EXISTING WOOD BEAMS TO BE CLEANED OF PAINT, DIRT, etc. AND THEN SANDED TO REMOVE ROTTED PORTIONS - APPLY EPOXY FILLER AND PAINT.</p> <p>G) REMOVE EXISTING TRANSLUCENT WINDOWS.</p>	<p>1) APPLY CONCRETE & MASONRY PATCH AND SEALANT (AS PER SHERWIN WILLIAMS) SEAL CRACKS, JOINTS AND OTHER OPENINGS TO PREVENT FURTHER MOISTURE PENETRATION AND DAMAGE. BRIDGE OVER CRACKS UP TO 1/2" WIDE, CRACKS AND VOIDS BETWEEN 1/4" AND 1" WIDE SHALL BE OPENED TO A SOUND SURFACE, CLEANED OUT AND PATCHED. IN OPENINGS 1" OR GREATER, THE DEPTH SHALL BE CONTROLLED WITH A CLOSED-CELL, NON-GASING TYPE BACKER ROD. REPAIR SURFACES ACCORDING TO MANUFACTURER'S SPECIFICATIONS.</p> <p>2) APPLY LOCKNY CONCRETE & MASONRY PRIMER / SEALER (AS PER SHERWIN WILLIAMS) TO THE REPAIRED STUCCO SURFACE. APPLY COATING WITH BRUSH, ROLLER OR AIRLESS SPRAY ACCORDING TO MANUFACTURER'S SPECIFICATIONS.</p> <p>3) APPLY SHERWIN WILLIAMS "SHERLASTIC" ACRYLIC ELASTOMERIC MASONRY COATING (2 COATS) TO ALL PRIME/SEALED SURFACES WITH BRUSH, ROLLER OR SPRAY ACCORDING TO MANUFACTURER'S SPECIFICATIONS. COLOR TO BE SELECTED BY ARCHITECT & OWNER.</p> <p>4) EXISTING MURALS: CLEAN SURFACE ALL AROUND AS SPECIFIED AND RESURFACE OVER THE MURALS (NOTES 12, & 3). SHOULD THE OWNER ELECT TO KEEP THE MURALS, CLEAN SURFACE 4" ALL AROUND MURALS AND BOX IN WITH PAINTER'S TAPE TO FRAME IT. COVER & PROTECT MURAL DURING THE AFOREMENTIONED SURFACE PREPARATION AND PAINTING PROCESS.</p> <p>5) WOOD VIGAS (BASE BID): REMOVE WOOD VIGA STUCCO, VIGA NAILERS AND BLOCK AS NECESSARY TO INSTALL POLYURETHANE (PAIX WOOD) VIGA TAILS REPLACING THE EXISTING WOOD VIGA TAILS. VIGAS SHALL BE SOLID WITH NO FLANGE. WATERPROOF THE CAVITY & MECHANICALLY ATTACH TO EXISTING BLOCK WITH LAG BOLTS (OR M REBAR) AND URETHANE ADHESIVE. REFER TO MANUFACTURER'S SPEC FOR INSTALLATION. PATCH HOLES AND SEAL ALL AROUND. -NOTE: VERIFY SIZE OF CAVITY PRIOR TO ORDERING MATERIALS. SEE DETAILS BHT 4</p> <p>6) HOLLOW METAL DOORS & FRAMES, PORCELAIN PANELS: REMOVE PAINT, DIRT, etc. AND APPLY (2) COATS OF PAINT. COLOR TO BE SELECTED BY ARCHITECT & OWNER.</p> <p>7) SCUFFERS (CLAY) SHALL REMAIN - CAULK ALL AROUND AND PAINT TO MATCH VIGAS. METAL SCUFFERS SHALL REMAIN HOWEVER DO NOT PAINT.</p> <p>8) EVAPORATIVE COOLER STANDS: SCRAPE METAL FREE FROM DIRT, RUST, etc. AND PAINT (2) COATS AS PER SPEC.</p> <p>9) METAL PARAPET FLASHING SHALL REMAIN - DO NOT PAINT.</p> <p>10) OVERHEAD DOOR: PAINT FIELD COLOR. CAULK FRAME TO DOOR JAMBS.</p> <p>11) ALUMINUM FRAMES WINDOW SHALL REMAIN. PROTECT FROM APPLICATION OF STUCCO PATCHING AND PAINT. CAULK ALL AROUND FRAMES TO WINDOW JAMBS.</p> <p>12) STEEL FRAME WINDOWS: REMOVE AND INSTALL NEW ALUMINUM FRAMED TRANSLUCENT WINDOWS. (ALTERNATE #2)</p> <p>13) MAIN ENTRANCE METAL GATES, HANDRAILS, LIGHT COVERS: SAND AND PAINT AS PER SPECIFICATIONS (BASE BIDS A,B,C)</p> <p>14) METAL GUARDRAILS AND HANDRAILS (at Deck and Ramp): SAND AND PAINT AS PER SPECIFICATIONS (ALTERNATE #1)</p> <p>15) NEW ALUMINUM-FRAMED TRANSLUCENT WINDOW ASSEMBLIES: (CONTRACTOR AND SUPPLIER SHALL FIELD VERIFY SIZES AND INSTALLATION METHODS PRIOR TO ORDERING MATERIALS) (ALTERNATE #2)</p> <p>16) REMOVE ALUMINUM FRAMED WINDOWS AND INSTALL NEW ALUMINUM-FRAMED TRANSLUCENT WINDOW ASSEMBLIES. (ALTERNATE #2)</p> <p>17) TRANSLUCENT WINDOW TO REMAIN. PROTECT FROM APPLICATION OF STUCCO PATCHING AND PAINT. CAULK ALL AROUND FRAMES TO WINDOW JAMBS.</p>