

FLOOR PLAN
SCALE: 3/8" = 1' - 0"

DOOR SCHEDULE				
NO.:	Size	Type	Model	Notes
A	3070	METAL EXT.	See Specs.	ADA HARDWARE. CLOSURE
B	(2) 3070	METAL EXT.	See Specs.	ADA HARDWARE

ROOM FINISH SCHEDULE						
No.:	Name:	FLOORS	WALLS	CEILING		
		SEE NOTES	BASE	MATERIALS	FINISH	MATERIAL
				SEE ELEVATIONS	B&B	OSB, PAINTED
100	COVERED	F-2	N.A.			9
101	STORAGE	F-2	WOOD	WOOD STUDS	OSB PT	9
102	RESTROOM 1	F-3	VINYL	WOOD STUDS	N-1	MAG/GYP
103	RESTROOM 2	F-3	VINYL	WOOD STUDS	N-1	MAG/GYP

NOTES:
F-2 = LIGHT BROOM FINISHED CONCRETE
F-3 = STONHARD WITH BASE
FLOOR, WALL & CEILINGS TO BE WASHABLE FINISH SURFACES TO MEET HEALTH DEPT. REQUIREMENTS
N-1 GREEN BOARD PAINTED
DEFINITIONS:
PT: PAINT 1 PRIMER COAT, 2 FINISH COATS (COLOR SELECTED BY OWNER)
MAG/GYP: MAGNESIUM / GYPSUM BOARD (PT) 1/2" THICK - OVER RETS ROOMS, ADD 2" x 4" BLOCKING @ 12" o. c. BETWEEN JOISTSZ
D: BY MANUFACTURER
B.M.: BOARD AND BATTEN
B&B: VARIES
VAR.:

Foley Mel Roberts Park Tennis Restroom Code Data:

- BUILDING IS DESIGNED, & SHALL BE CONSTRUCTED UNDER: 2018 "I-CODES", 2017 NATIONAL ELECTRICAL CODE, & 2009 ANSI A117.1.
- BUILDING IS OF TYPE "VB" CONSTRUCTION (UNPROTECTED) & IS ONE STORY ABOVE GRADE.
- BUILDING AREA IS 1,120 SQ. FT. (28' x 40')
- ENTIRE STRUCTURE IS "B" OCCUPANCY (BUSINESS) (SECTION 304).
- ALLOWABLE AREA FOR ONE STORY BUILDING OF TYPE "VB" WITH A "B" OCCUPANCY, WITHOUT A SPRINKLER SYSTEM IS 19,000 SQUARE FEET > 1,344 SQ. FT. (TABLE 506.2).
- SEPARATION OF OCCUPANCIES IS NOT REQUIRED, BECAUSE THERE IS ONLY ONE OCCUPANCY AND AN "B" BUILDING, IS NOT REQUIRED TO BE SEPARATED FROM ANOTHER "B" BUILDING (TABLE 506.4).
- A SPRINKLER SYSTEM, CONFORMING WITH SECTION 403, IS NOT REQUIRED BECAUSE THIS TYPE OF BUILDING IS NOT MENTIONED IN SECTION 403.
- A STANDPIPE SYSTEM IS NOT REQUIRED (SECTIONS 405.3.1, 405.3.8).
- PROVIDE ONE PORTABLE FIRE EXTINGUISHERS (SA-10B,C) AT EXIT DOOR, LOCATED, AND MOUNTED AS DIRECTED BY THE LOCAL FIRE MARSHAL HAVING JURISDICTION (406).
- OCCUPANCY RATE = 1,120 SQ. (see table) = 43 OCCUPANTS (TABLE 1004.1.2).
- A FIRE ALARM SYSTEM, IS NOT REQUIRED IN GROUP "B" BUILDINGS (401.2) BECAUSE THE OCCUPANT LOAD IS 43 < 100 ABOVE OR BELOW THE LOWEST LEVEL OF EXIT DISCHARGE.
- A EMERGENCY ALARM SYSTEM IS NOT REQUIRED BECAUSE THIS BUILDING IS NOT A GROUP "H" OCCUPANCY (SECTION 408).
- A SMOKE CONTROL SYSTEM IS NOT REQUIRED BY ANY SECTION OF THIS CODE.
- SEE THE MECHANICAL PART OF THE CONTRACT DOCUMENTS FOR ANY REQUIREMENTS FOR SMOKE DETECTION, SMOKE CONTROL DAMPERS, DUCTS, ETC. (SECTION 404).
- ONE EXIT (< 2 PROVIDED) IS ALLOWED WITH UP TO 49 to > 43 OCCUPANTS (TABLE 1006.2.1).
- THE MAXIMUM COMMON PATH OF EGRESS TRAVEL IN A NON-SPRINKLED BUILDING IS LIMITED TO 15' x 24' +/-.
- EXIT SIGNS ARE NOT REQUIRED IN ROOMS OR AREAS, THAT REQUIRE ONLY ONE EXIT OR EXIT ACCESS (1013.1 Exception 1).
- THE MAIN BUILDING HAS 2 EXITS, SO TABLE 10.06.2.1 DOES NOT APPLY.
- MAXIMUM EXIT ACCESS TRAVEL DISTANCE (SEE FLOOR PLAN) = 24' x 200' (TABLE 1011.2).

ADA NOTES:
1) SIGNS TO COMPLY WITH ICC/ANSI A117.1-2009, THE AMERICAN NATIONAL STANDARD FOR "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".
2) ALL OPERABLE PARTS, SHALL OPERATE WITH ONE HAND & SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST TO OPERATE.
3) ALL LAVATORIES DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES TO BE BETWEEN 34" & 48" HIGH ABOVE FINISHED FLOOR AND OPERABLE PARTS SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. SINKS TO HAVE PADDLE HANDLES.
4) ALL INTERIOR FLOORS, AND EXTERIOR LANDINGS WITHIN 5 FEET (5'-0") OF AN EXTERIOR DOOR, TO SLOPE NO MORE THAN 1:48 WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

- A. Occupancy or Occupancies: B Business.
- B. Physical Properties:
- Square Footage of Building: 1120 SqFt
 - Square Footage of Each Tenant Space: 1120 SqFt
 - Number of Stories Above Grade: 1 Story
 - Wind Speed: 160 mph
 - Exposure Class: "C open
 - Separation Distance: > 30'
 - Height: 12'-7"
 - Elevation: 12'-7"
 - Feet Above Grade: 0.67'
 - Flood Hazard Determination: ZONE "X"
- C. Type of Construction: V Wood
- Area Increase: N/A
 - Height Increase: N/A
 - Allowed Area Per Floor: 9000 SqFt
 - Allowed Number of Stories: 2
 - Protected (A) (B): (B)
- D. Occupancy Requirements:
- Occupant Load:
 - Assembly (616 SqFt/15): 42
 - Storage (365 SqFt/500): 1
 - Total Occupant Load: 43
 - Number of Exits: 2
 - Means of Egress Travel: 29' (a.) Life Safety Plan: YES
- E. Fire Protection of Structure:
- Sprinkled: NO
 - Fire Alarm: NO
- F. Tenant Separation: N/A
- G. Table 403.1 Minimum Required Plumbing Fixtures:
- Water Closets: (a.) Male 1 (b.) Female 1
 - Lavatories: (a.) Male 1 (b.) Female 1
 - Bathrooms/Shower: N/A
 - Drinking Fountain: N/A AT SITE
 - Other: N/A

DUDLEY L. FLOTTE
CSI, CCS, Architect
8279 River Road North
Foley, Alabama, 36535
Phone: (251) 963-6700
FAX: (251) 963-6700
architect@dufflet.com



J.E. STIGLER
ENGINEER
L.L.C.
309 W. LAUREL AVE.
FOLEY, AL 36535
(251) 963-6700
251-963-6700 FAX
jstigler@stigler.com

JOB NUMBER:
LES 200308

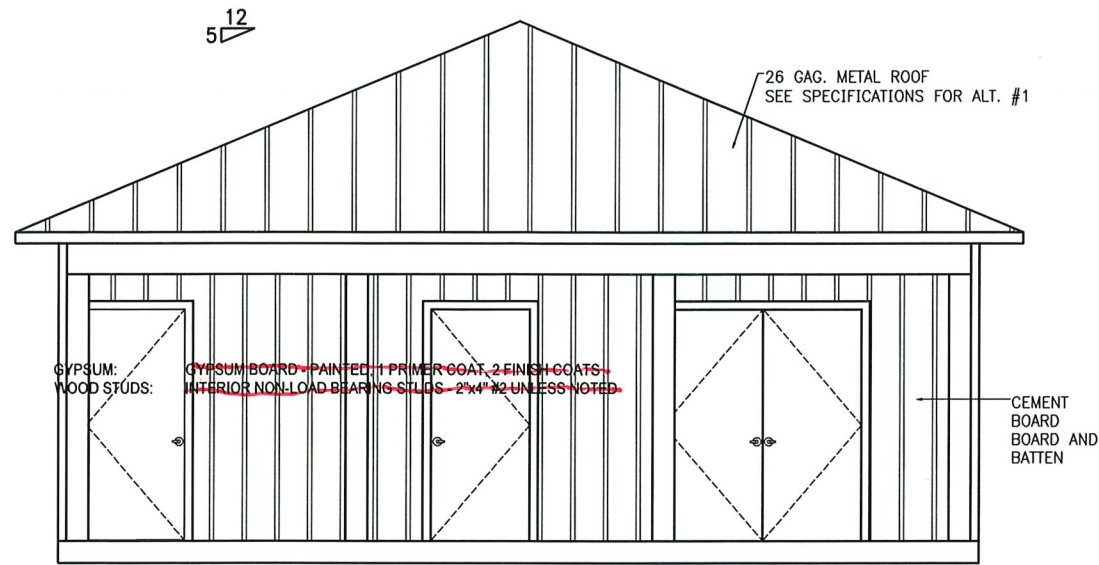
City of Foley
Mel Roberts Park
Tennis Pavilion

DATE:
06.02.2020
DRAWN: RRA
CHECKED: RRA
REVISION:
07.27.2020

SCALE:
3/8" = 1'-0"

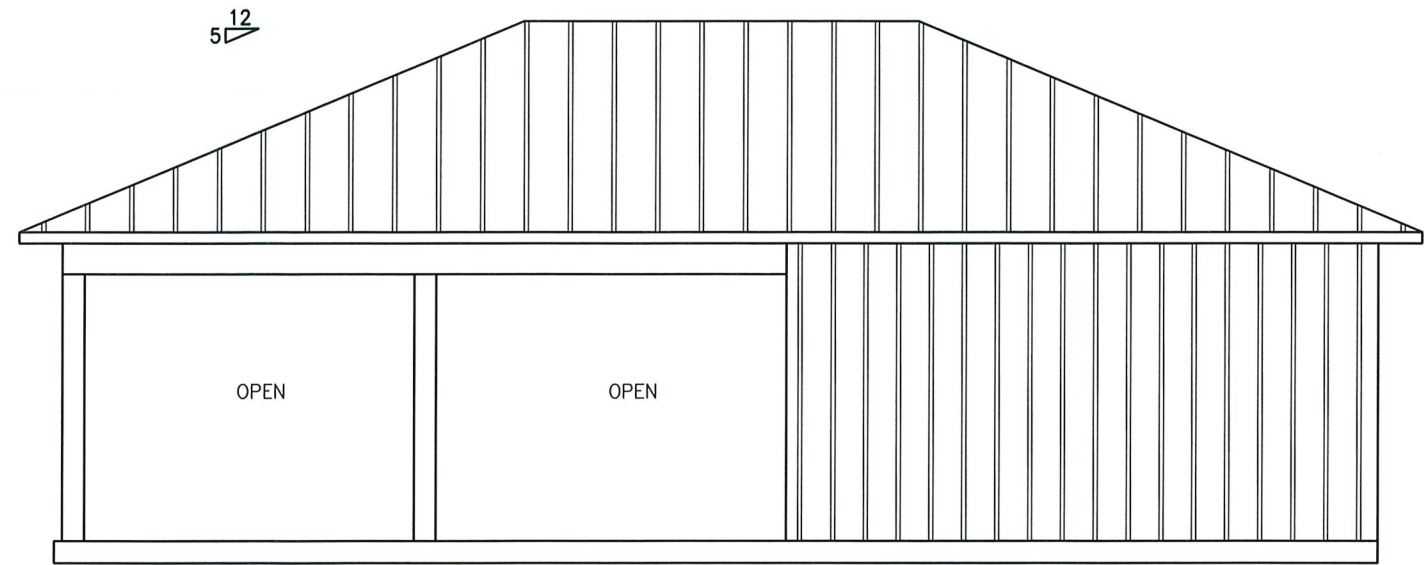
SHEET NO:
A01
OF
12

FLOOR PLAN
SCALE: 3/8" = 1'-0"

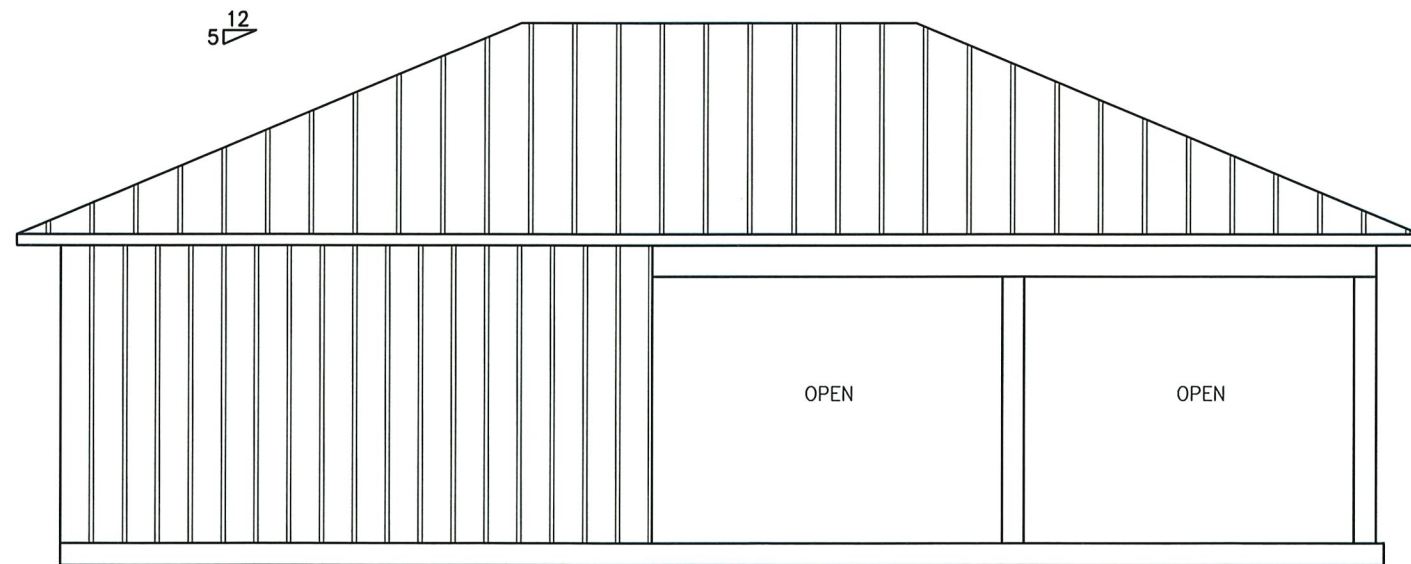


SOUTH ELEVATION
SCALE: 3/8" = 1' - 0"

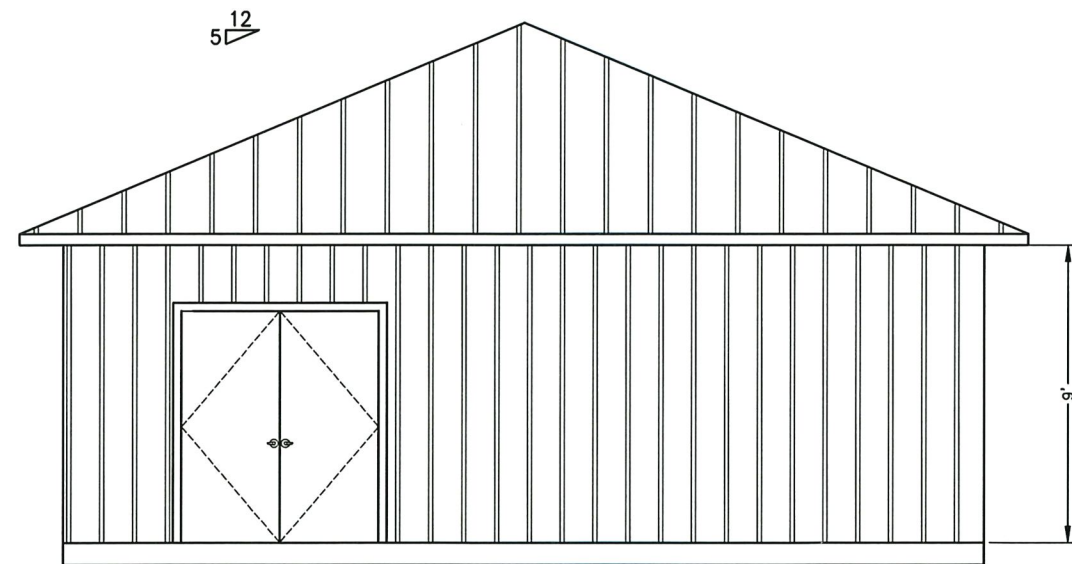
NOTE: ALL EXTERIOR WALLS
TO BE BOARD & BATTEN



EAST ELEVATION
SCALE: 3/8" = 1' - 0"



WEST ELEVATION
SCALE: 3/8" = 1' - 0"



NORTH ELEVATION
SCALE: 3/8" = 1' - 0"

NOTE: ALL WALL TOPS ARE 9'-0" ABOVE FLOOR

ELEVATIONS
SCALE: 3/8" = 1' - 0"

DUDLEY L. FLOTTE
CSI, CCS, Architect
8276 River Road North
Foley, Alabama, 36535
Phone: (251) 468-6700
FAX: (251) 468-6700
architect@duflotte.com



L.D. DOWDY
ENGINEER
L.D.
DOWDY
303 W. TANK LANE
FOLEY, AL 36535
365-512-0500
365-512-0500 FAX
larry@dowdyeng.com

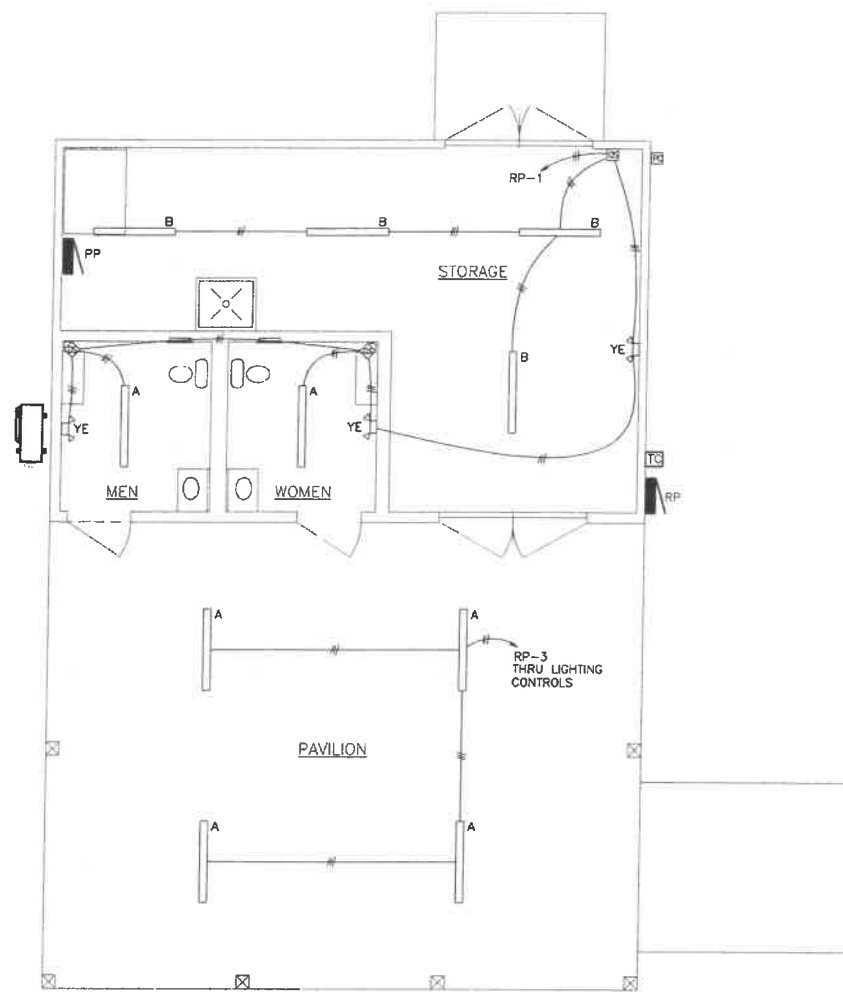
JOB NUMBER:
LES 200308

City of Foley
Mel Roberts Park
Tennis Pavilion

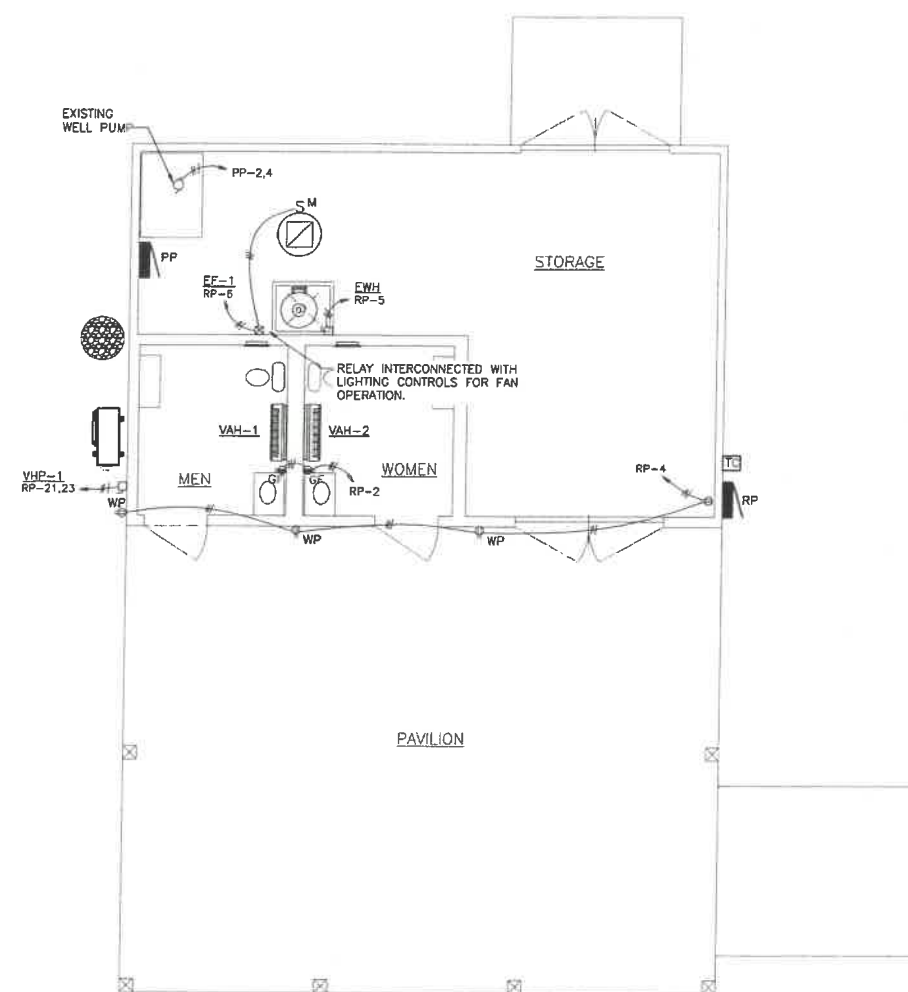
DATE:
06.02.2020
DRAWN: RRA
CHECKED: RRA
REVISION:

SCALE:
3/8" = 1'-0"

SHEET NO:
A02
OF
12



1 LIGHTING PLAN
SCALE: 1/4" = 1'-0"



2 POWER PLAN
SCALE: 1/4" = 1'-0"



3 EXISTING PANEL (~100 LF FROM PANEL RP)



4 EXISTING WELL PUMP SYSTEM

NOTE: THE EXISTING WELL PUMP IS TO REMAIN IN OPERATION FOR DURATION OF PROJECT.

THIS CAN BE TEMPORARY POWER OR THE EXISTING POWER MAY BE MODIFIED AS REQUIRED FOR EXISTING BUILDING & SLAB DEMOLITION



STEWART ENGINEERING AND CONSTRUCTION
40990 STATE HWY 59
BAY MINETTE, ALABAMA 36507
(251) 437-4313 (251) 437-1782 Fax
wstewart@stewartengineering.net

Revisions:		
No.	Date	Description

City of Foley
Mel Roberts Park Tennis Pavilion
901 N Cedar Street
Foley, Alabama 36535

Title:
ELECTRICAL PLAN

Project No.: -
Drawn By: Wade Stewart
Checked: Wade Stewart
Date: June 2, 2020

Sheet Number:
E1.1