

Kendall County Courthouse Roofing 2019

Kendall County Yorkville, Illinois

Wold

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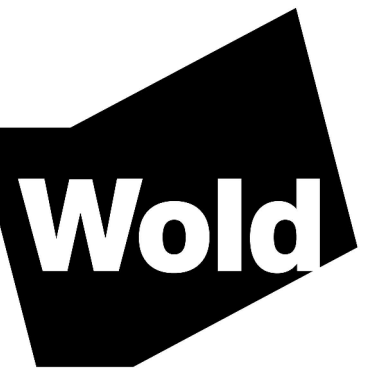
ARCHITECTURAL

- A1.11 ROOF PLAN AND DETAILS
- A2.00 DETAILS - GENERAL - SYMBOLS AND ABBREVIATIONS

ISSUED FOR BID - 07-03-19

IL

1000 Kendall County Courthouse
201907131919



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of Reg State

License Number: **Arch Num** Date: **Issue Date**

Description	Revisions	
	Date	Num

Comm: **193019**
Date: **Issue Date**
Drawn: **MAO**
Check: **Checker** North

ROOF PLAN AND DETAILS

ROOF DEMOLITION GENERAL NOTES:

- ROOF DEMOLITION INCLUDES REMOVING EXISTING BALLAST, REMOVING EXISTING FLASHING / COUNTER FLASHING AT CURBS, WALLS, PIPE PENETRATIONS AND PARAPET INCLUDING SEALANTS, FASTENERS AND ASSOCIATED ACCESSORIES - SEE HATCHED AREAS AND DETAILS. EXISTING ROOFING MEMBRANE TO REMAIN IN PLACE OVER EXISTING INSULATION UNLESS NOTED OTHERWISE. CONTRACTOR TO DISABLE EXISTING MEMBRANE IN ONE OF THE FOLLOWING METHODS PER MANUFACTURER'S RECOMMENDATION: SLIT THE EXISTING MEMBRANE ON A 10'X10' GRID PATTERN OR CUT AND REMOVE 4" DIAMETER CORE IN EXISTING MEMBRANE EVERY 100 S.F. PRIOR TO INSTALLATION OF NEW COVER BOARD TO ALLOW ANY TRAPPED VAPOR TO BE RELEASED.
- DEMOLITION NOTES ARE PROVIDED AS A GUIDE ONLY. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND EXAMINE DRAWINGS AND DETAILS TO DETERMINE EXTENT AND LIMITS OF DEMOLITION REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL ASPECTS OF DEMOLITION. CONTRACTOR TO REVIEW ALL DRAWINGS FOR ADDITIONAL DETAILS AND CONSTRUCTION SEQUENCING NOTES.
- DEMOLITION CONTRACTOR SHALL CAREFULLY REMOVE CONSTRUCTION DESIGNATED FOR DEMOLITION TO MINIMIZE EXTENT OF DAMAGES TO ADJACENT SURFACE. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ALL DAMAGE CREATED DUE TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CONTAINMENT AND CLEANING OF CONSTRUCTION DUST AND DEBRIS DURING AND AFTER ANY DEMOLITION OR INSTALLMENT OF WORK.
- PROTECT EXISTING ROOFTOP MECHANICAL UNITS AND ASSOCIATED PIPING DURING ALL WORK.
- SWEEP ALL ROOF SURFACES TO REMOVE ALL DEBRIS AND DIRT FOR SMOOTH ROOFING AREA PRIOR TO INSTALLATION OF SINGLE PLY ROOFING SYSTEM.

ROOF PLAN GENERAL NOTES:

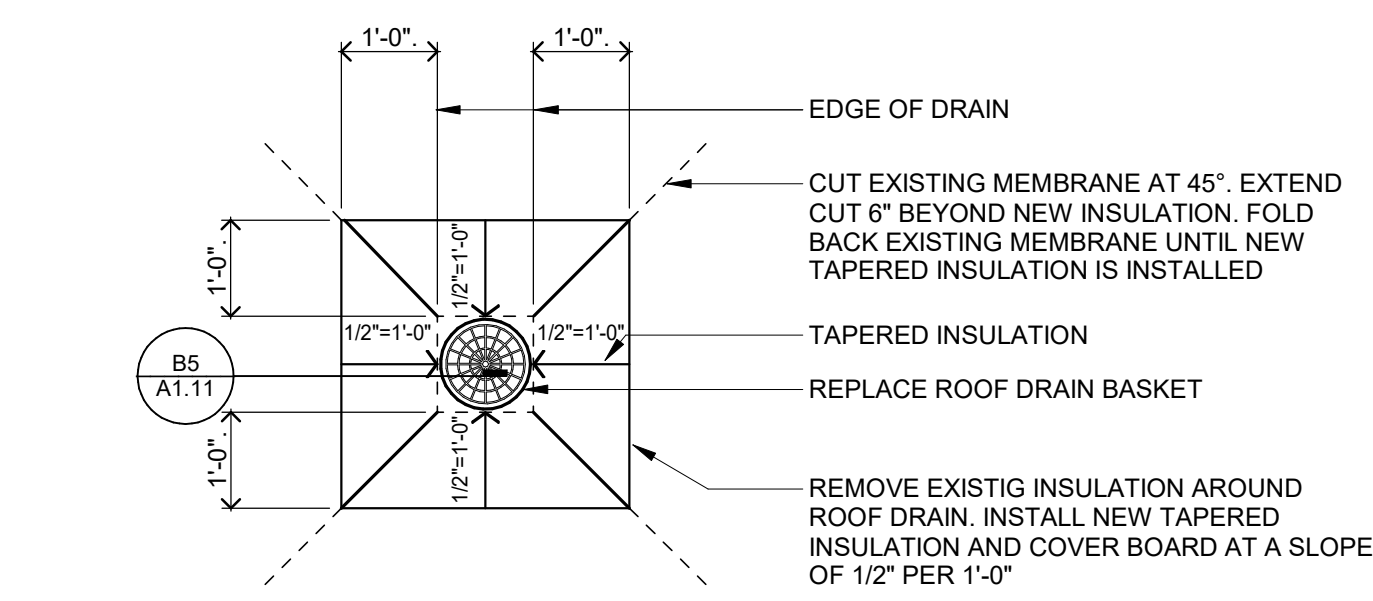
- NEW ROOF SYSTEM: INCLUDES SINGLE PLY MEMBRANE ON 1/2" INSULATION RECOVER BOARD OVER EXISTING ROOF MEMBRANE. FASTEN 1/2" INSULATION RECOVER BOARD THRU EXISTING ROOFING SYSTEM TO THE EXISTING METAL DECK.
- FIELD VERIFY ALL EXISTING CONDITIONS.
- MECHANICAL ITEM LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AN INSULATED, WEATHERTIGHT ENCLOSURE FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR RESPONSIBLE FOR REPAIRING ANY BUILDING AND SITE DAMAGE FROM CONSTRUCTION ACTIVITIES TO ORIGINAL CONDITION.
- INSPECT EXISTING ROOF FOR ANY WET INSULATION AND RUSTED / UNSOUND METAL DECK. REPLACE WITH LIKE MATERIAL ON UNIT PRICE BASIS.
- TEST ROOF DRAIN AFTER COMPLETION OF ROOF WORK.

ROOF LEGEND

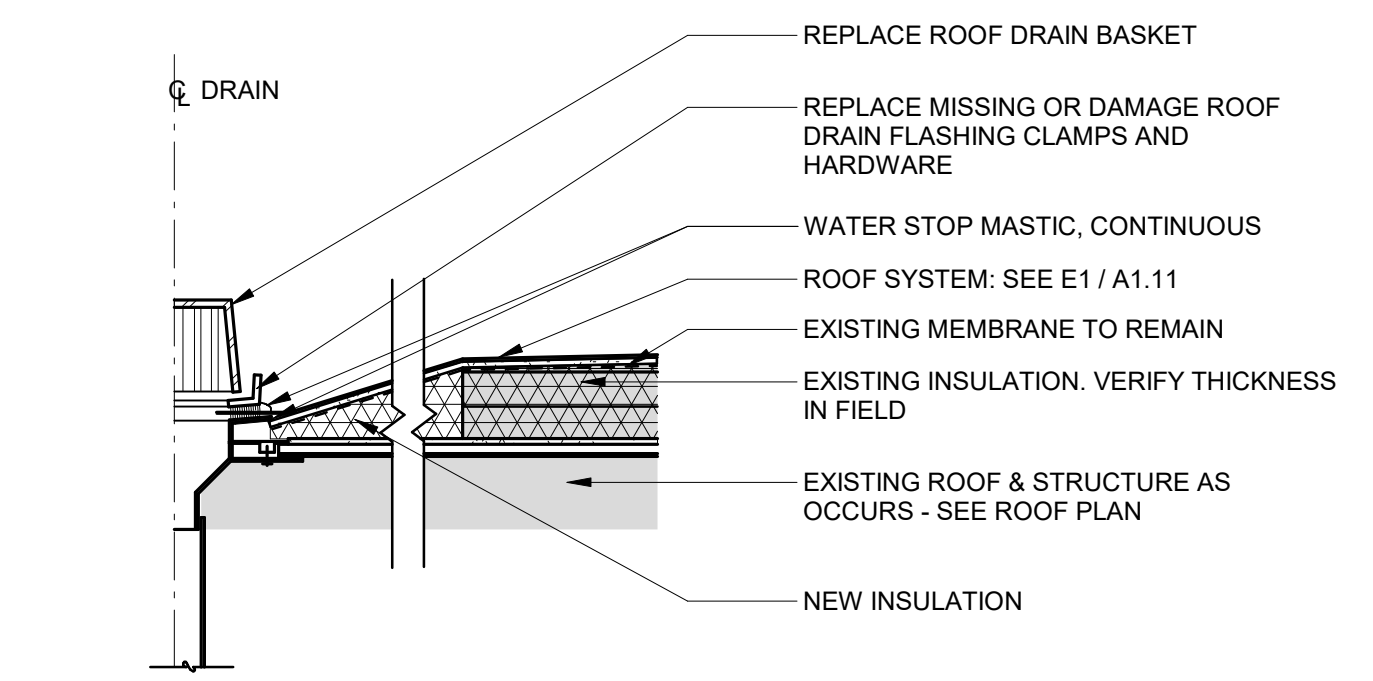
- ROOF DRAIN
- ROOF EXHAUST
- VENT STACK, PIPE OR CONDUIT
- EXISTING SKYLIGHT
- CRICKET FOR POSITIVE DRAINAGE
- SLOPE OF TAPERED INSULATION, VERIFY IN THE FIELD
- SLOPED STRUCTURE
- BASE BID: NEW ROOF SYSTEM (APPROX. ± 6000 SQ. FT.)
- ALTERNATE 1: NEW ROOF SYSTEM (APPROX. ± 500 SQ. FT.)
- NOT IN CONTRACT

ROOF PLAN KEY NOTES:

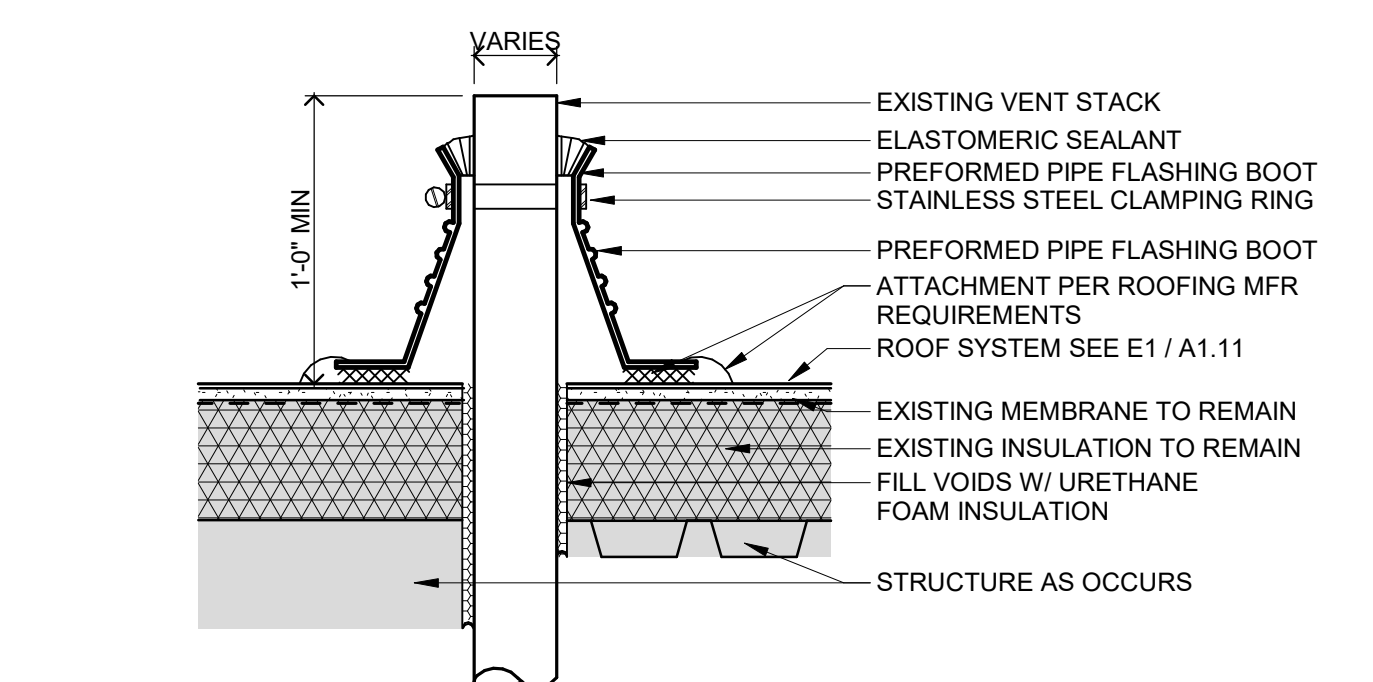
- EXISTING SHEET METAL COPING TO BE REMOVED AND REPLACED TO ALLOW FOR INSTALLATION OF NEW MEMBRANE. NEW TO MATCH EXISTING PROFILE.
- CAREFULLY REMOVE EXISTING SHEET METAL COPING AND REINSTALLED TO ALLOW FOR INSTALLATION OF NEW MEMBRANE.
- PROVIDE WALKWAY PAD AND SPLASHBLOCKS AT DOWNSPOUT DISCHARGE.
- EXISTING ROOF DRAIN LOCATIONS - ADJUST HEIGHT / PROVIDE EXTENSION AS REQUIRED TO MATCH NEW INSULATION / RECOVER BOARD THICKNESS.
- DISCONNECT, REMOVE AND REINSTALL AND RECONNECT EXIST. HVAC UNIT. RAISE CURB. SEE E5 / A1.11, PROVIDE METAL COUNTERFLASHING. CONTRACTOR RESPONSIBLE FOR EXTENSION OF DUCTWORK, GAS AND / OR ELECTRICAL, AS OCCURS.
- REMOVE EXISTING LIGHTNING PROTECTION AND REINSTALL. REMOVAL AND REINSTALLATION SHALL BE BY CERTIFIED LIGHTNING PROTECTION CONTRACTOR.
- RUN MEMBRANE UP THE FACE OF WALL BELOW EXISTING GFRC MOLDING CAP AND SEAL.
- PROVIDE PREFINISHED METAL END WALL FLASHING, COPING END AND CORNER EDGE PIECE AS REQUIRED. PROVIDE SEALANT FOR A COMPLETE WEATHERTIGHT SYSTEM.



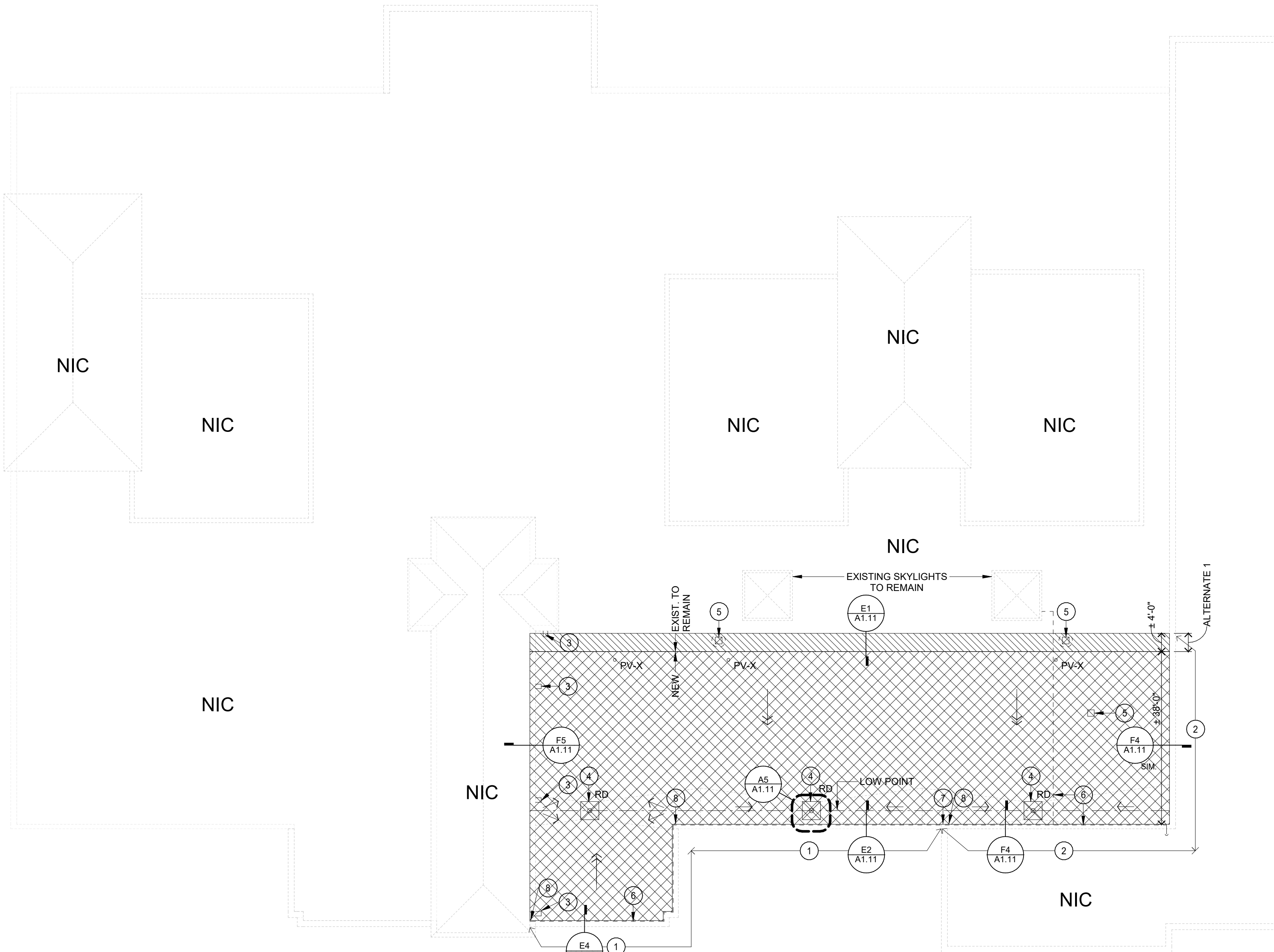
A5 ROOF DRAIN TYPICAL SUMP PUMP
3/8" = 1'-0"



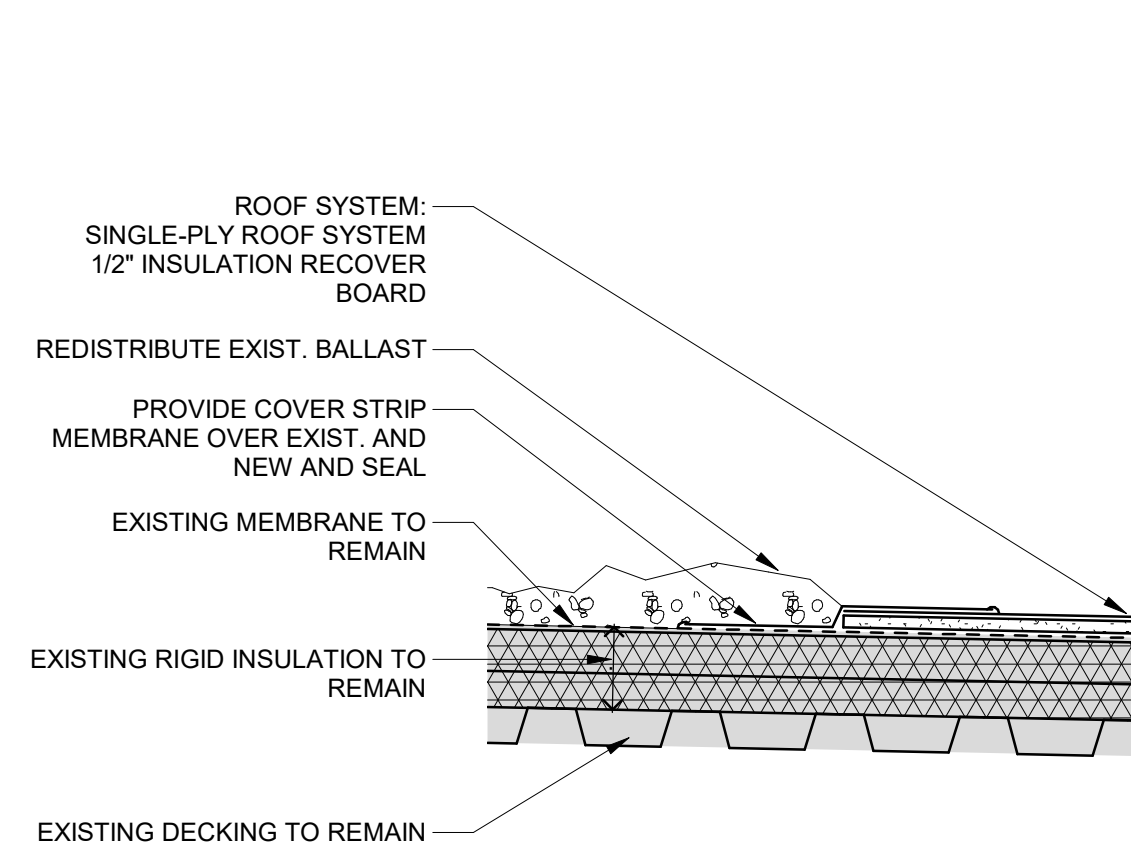
B5 ROOF DRAIN SUMP SECTION
3/4" = 1'-0"



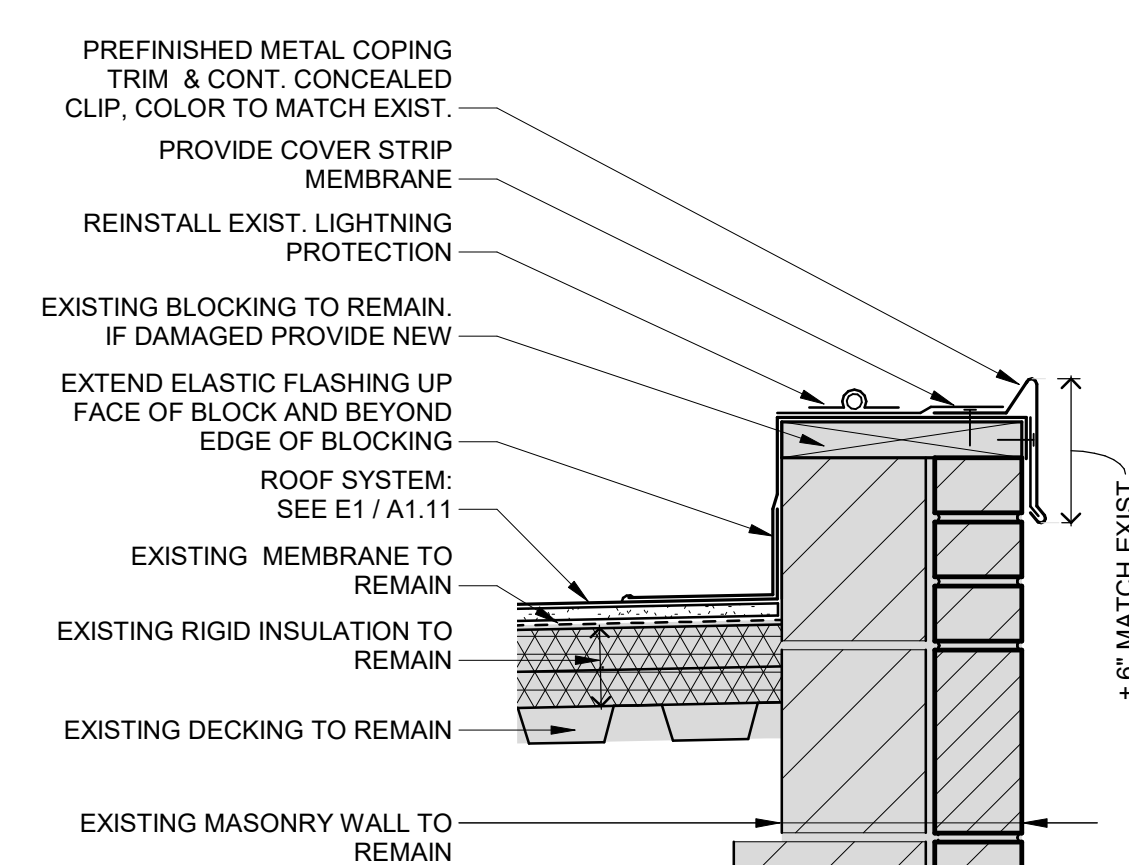
C5 ROOF VENT
1 1/2" = 1'-0"



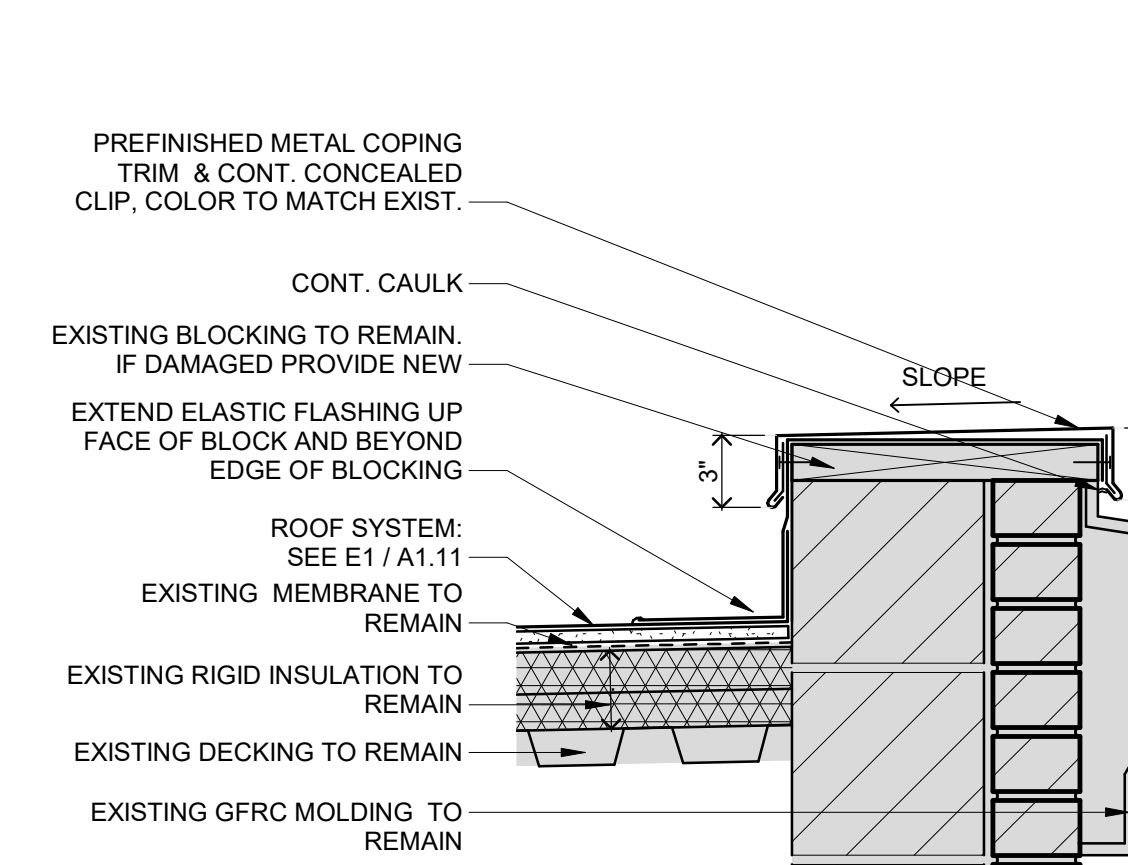
C1 ROOF PLAN
1/16" = 1'-0"



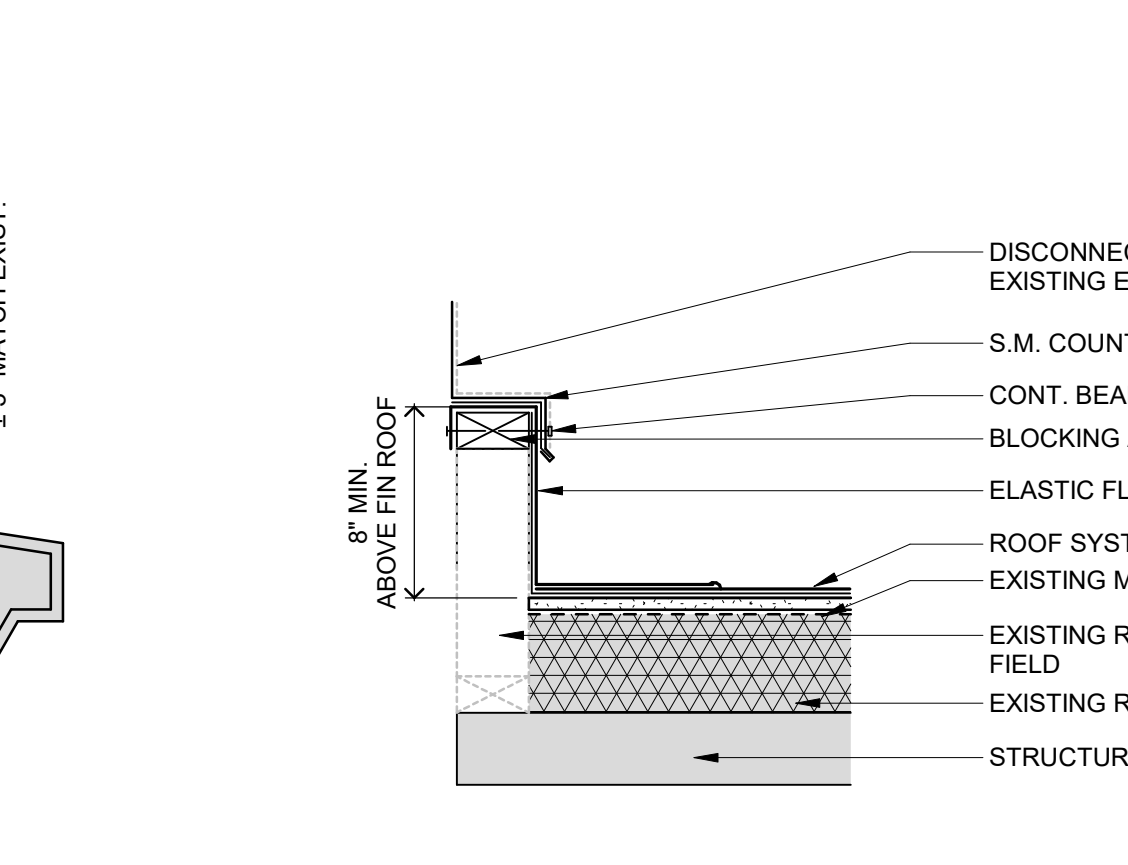
E1 TRANSITION DETAIL
1 1/2" = 1'-0"



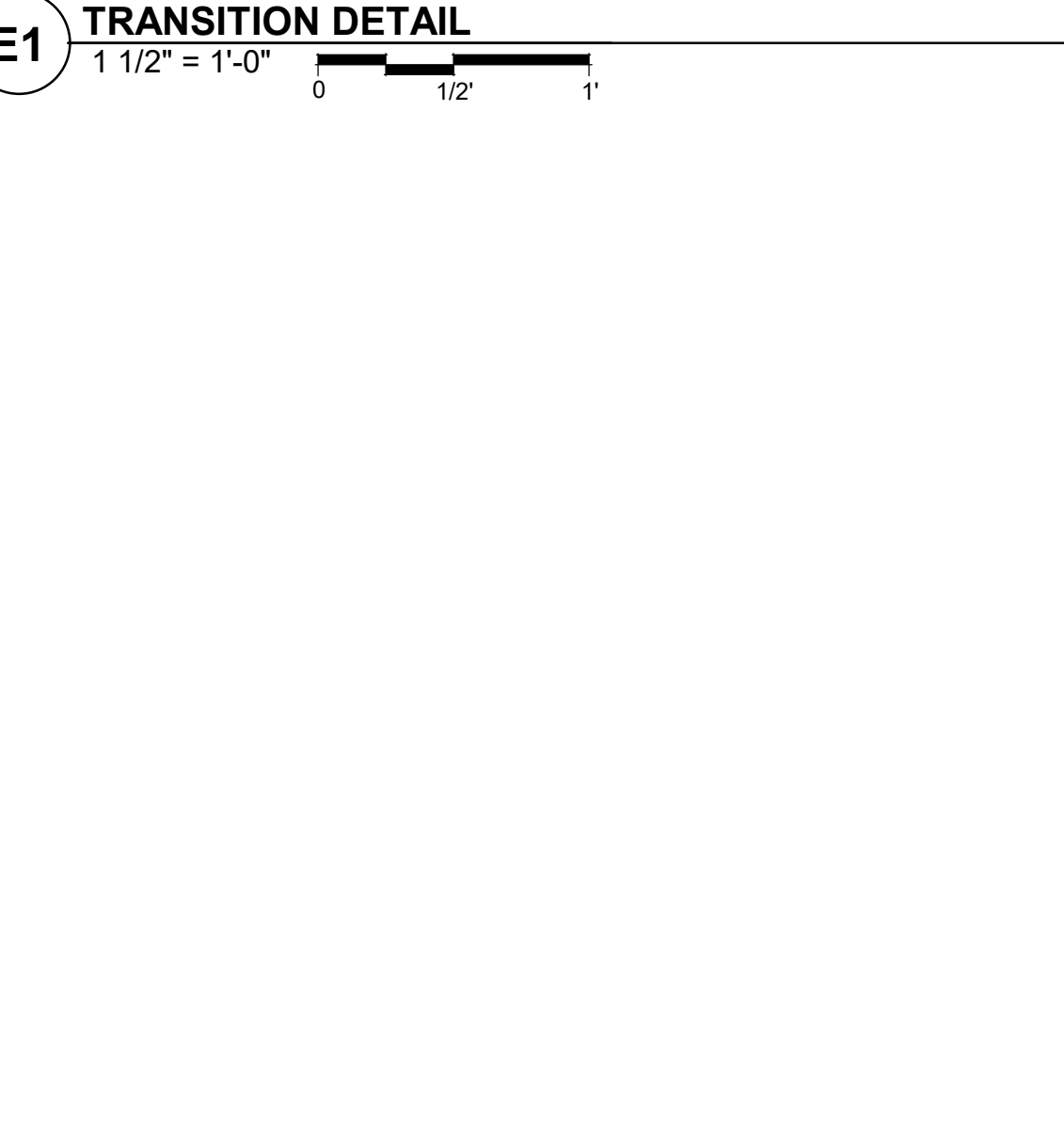
E2 COPING DETAIL
1 1/2" = 1'-0"



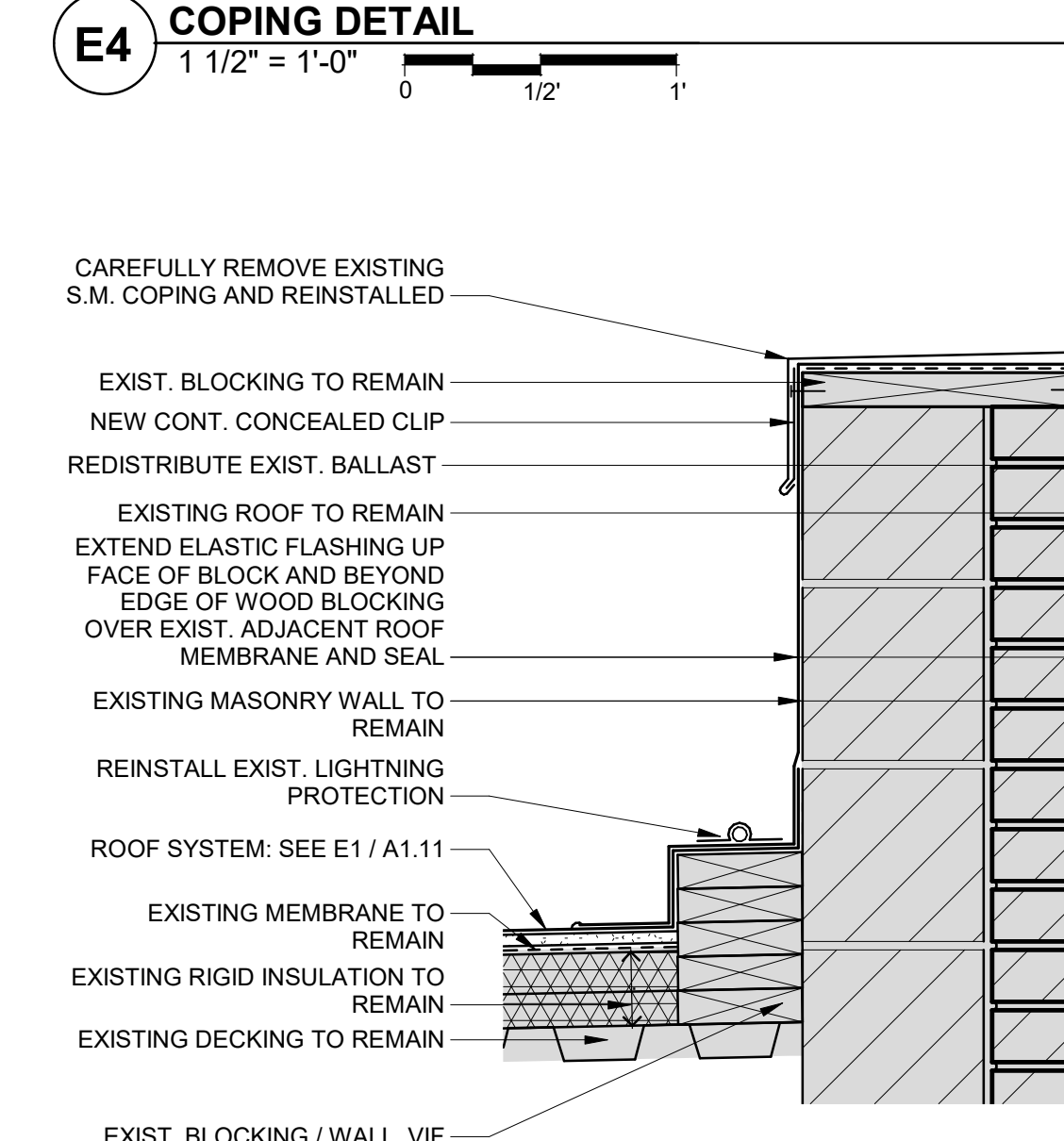
E4 COPING DETAIL
1 1/2" = 1'-0"



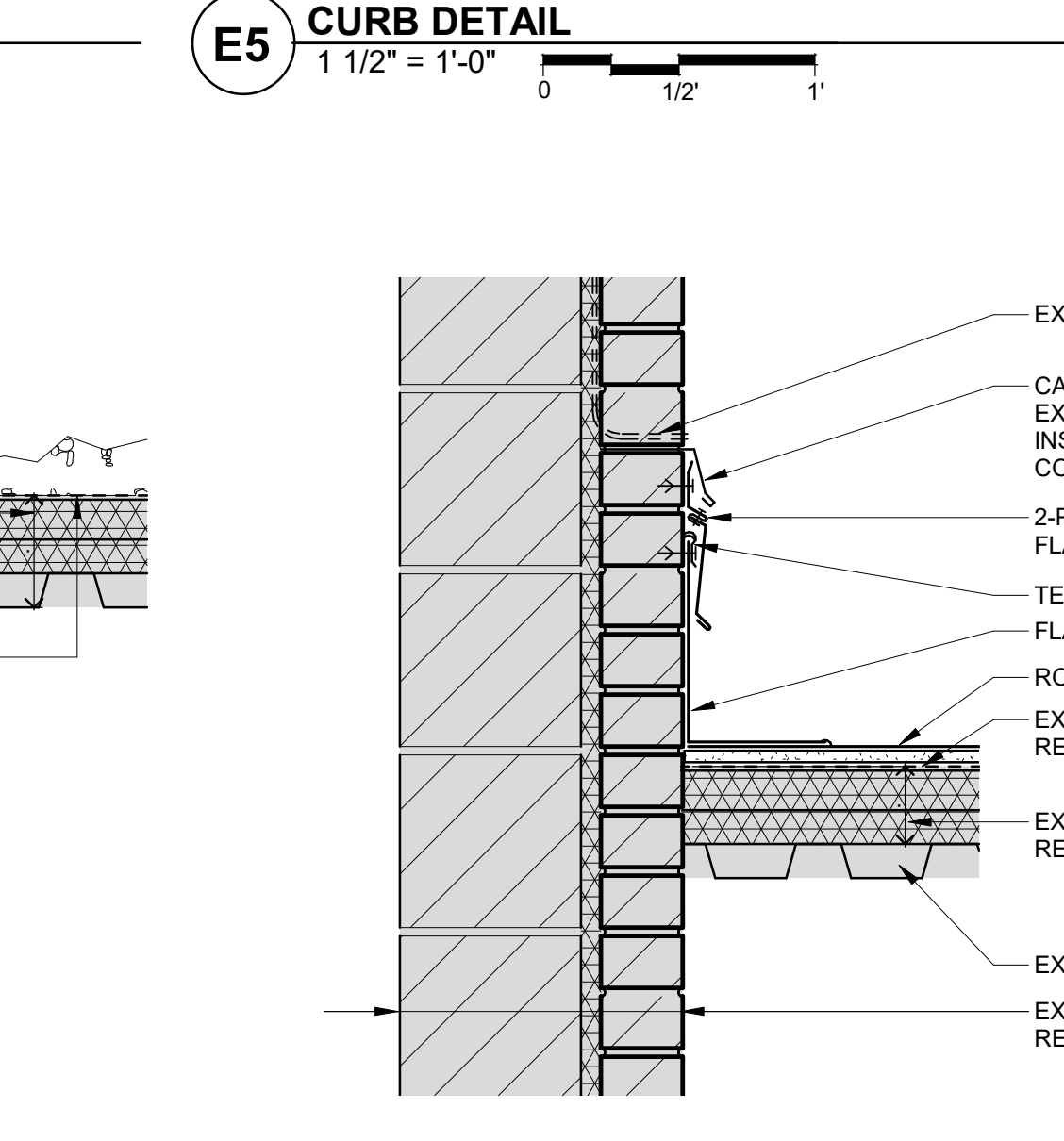
E5 CURB DETAIL
1 1/2" = 1'-0"



F2 COPING DETAIL - NTS
NOT TO SCALE



F4 COPING DETAIL
1 1/2" = 1'-0"



F5 WALL TERMINATION DETAIL
1 1/2" = 1'-0"



ABBREVIATIONS

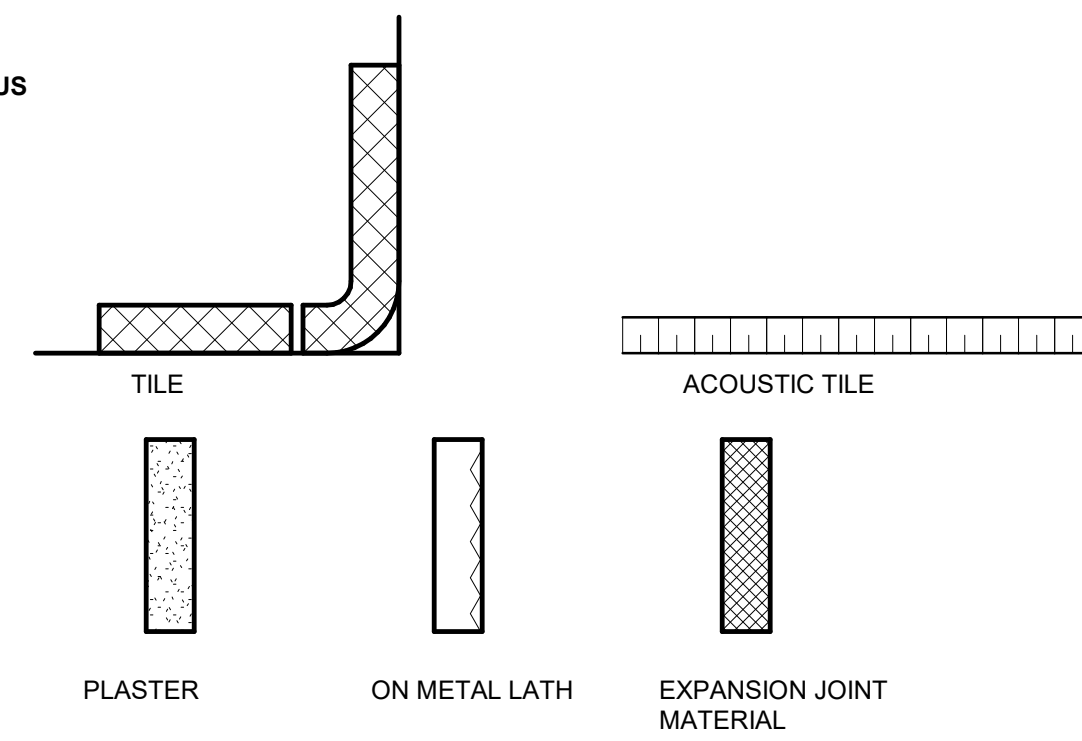
&	AND	FRP	FIBERGLASS REINFORCED PANEL	RUB	RUBBER
@	AT	G BLK	GLAZED CONCRETE BLOCK	RWL	RAIN WATER LEADER
ACT	ACOUSTICAL CEILING TILE	GA	GAUZE	SBD	SMART BOARD
AF	ACCESS FLOORING	GB	GRAB BAR	SCHED	SCHEDULE
AFF	ABOVE FINISHED FLOOR	GRD BLK	GROUND FACE CONCRETE BLOCK	SD	SOAP DISPENSER
ALT #	ALTERNATE NUMBER	GST	GLAZED STRUCTURAL TILE	SF	SQUARE FOOT (FEET)
ALUM	ALUMINUM	GYP BD	GYPSUM BOARD	SFFRONT	STOREFRONT TYPE
AP	ACCESS PANEL	HCAP	HANDICAPPED	SIM	SIMILAR
AWC	ACOUSTICAL WALL COVERING	HM	HOLLOW METAL	SND	SANITARY NAPKIN DISPENSER
AWF	ACOUSTICAL WALL FABRIC	HT	HOMOGENEOUS TILE	SNR	SANITARY NAPKIN RECEPTOR
AWP	ACOUSTICAL WALL PANEL	ID	INSIDE DIAMETER	SST	STAINLESS STEEL
B BLK	BURNISHED CONCRETE BLOCK	INSUL	INSULATION	STN	STONE
BLDG	BUILDING	L... (#)	LOUVER TYPE	STRUCT	STRUCTURAL
BRK	BRICK	LAV	LAVATORY	TBD	TACKBOARD
C BLK	CONCRETE BLOCK	LINO	LINOLEUM	TEMP	TEMPORARY
CG	CORNER GUARD	LVT	LUXURY VINYL TILE	TERR	TERRAZZO
CGP	CAST-IN-PLACE	MIS	MIRROR WITH SHELF	TPH	TOILET PAPER HOLDER
CJ	CONTROL JOINT	MATL	MATERIAL	TWC	TACKABLE WALLCOVERING
CL	CENTER LINE	MAX	MAXIMUM	TYP	TYPICAL
CLG	CEILING	MBD	MARKERBOARD	UL	UNDERWRITERS LABORATORY
CM	CULTURED MARBLE	MECH	MECHANICAL	UNO	UNLESS NOTED OTHERWISE
CMU	CONCRETE MASONRY UNIT	MEF	MOSAIC EPOXY FLOORING	UR	URINAL
CONC	CONCRETE	MIN	MINIMUM	USF	URETHANE SLURRY FLOORING
CONT	CONTINUOUS	MIR	MIRROR	V PLAS	VENEER PLASTER
CPT	CARPET	MISC	MISCELLANEOUS	VAT	VINYL ASBESTOS TILE
CRF	CHEMICAL RESISTANT FLOORING	NIC	NOT IN CONTRACT	NIC	VINYL COMPOSITION TILE
CT	CERAMIC TILE	NO	NUMBER	VIF	VERIFY IN FIELD
CTP	COUNTERTOP	NSF	NON-SLIP FLOORING	VTR	VENT THROUGH ROOF
CU	CONDENSING UNIT	NTS	NOT TO SCALE	VWC	VINYL WALLCOVERING
CUH	CABINET UNIT HEATER	OH	OVERHEAD	WWF	VINYL WALL FABRIC
CW... (#)	CURTAINWALL TYPE	P LAM	PLASTIC LAMINATE	W... (#)	WINDOW TYPE
DEMO	DEMOLITION	P TILE	PORCELAIN TILE	WC	WATER CLOSET
DF	DRINKING FOUNTAIN	PLAS	PLASTER	WD	WOOD
DIA	DIAMETER	PT	PAINT	WSCT	WAINSCOT
DN	DOWN	PTD	PAINTED	WWF	WELDED WIRE FABRIC
E FT	EPOXY PAINT	PVC	POLYVINYL CHLORIDE		
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	PWP	PLASTIC (PHENOLIC) WALL PANEL		
EJ	EXPANSION JOINT	QRT	QUARTZ		
ELEC	ELECTRICAL	QT	QUARRY TILE		
ELEV	ELEVATION	R	RADIUS		
EPDM	ETHYLENE PROPYLENE DIENE MONOMER	RAF	RESILIENT ATHLETIC FLOORING		
EW	ELECTRIC WATER COOLER	RCP	REFLECTED CEILING PLAN		
EXIST	EXISTING	RD	ROOF DRAIN		
EXP	EXPOSED	RES	RESILIENT		
FD	FLOOR DRAIN	RF	RESINOUS FLOORING		
FE	FIRE EXTINGUISHER	RFT	RUBBER FLOOR TILE		
FF&E	FIXTURES	RH	RELIEF HOOD		
FFE	FINISHED FLOOR ELEVATION	RM	ROOM		
		RTU	ROOF TOP UNIT		

SYMBOLS

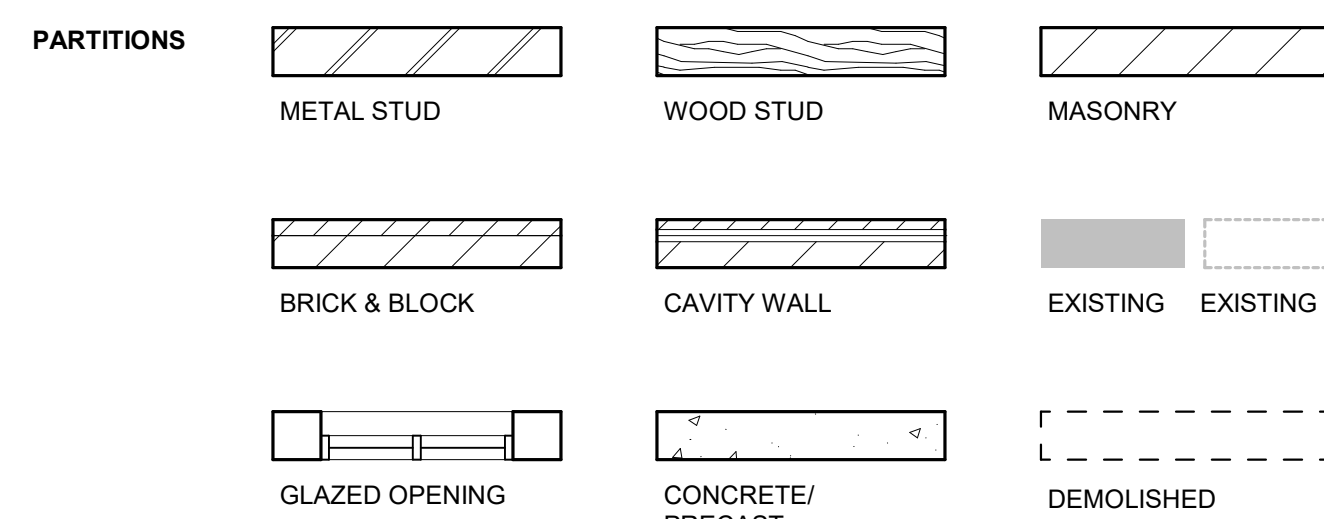
EARTH				
	EARTH	GRANULAR FILL	SAND	
CONCRETE				
	CONCRETE/ PRECAST	TERRAZZO	TOPPING	WIRE MESH
MASONRY/ STONE				
	BLOCK	BRICK	MORTAR NET	CUT STONE
METAL				
	FERROUS	ALUMINUM	OTHER	
WOOD				
	CONSTRUCTION LUMBER	FINISHED	PLYWOOD	PARTICLE BOARD
INSULATION				
	BATT	RIGID	SPRAY FOAM	GRANULAR LOOSE
MISCELLANEOUS				
	EXISTING	EXISTING	DEMOLISHED	

SYMBOLS

MISCELLANEOUS

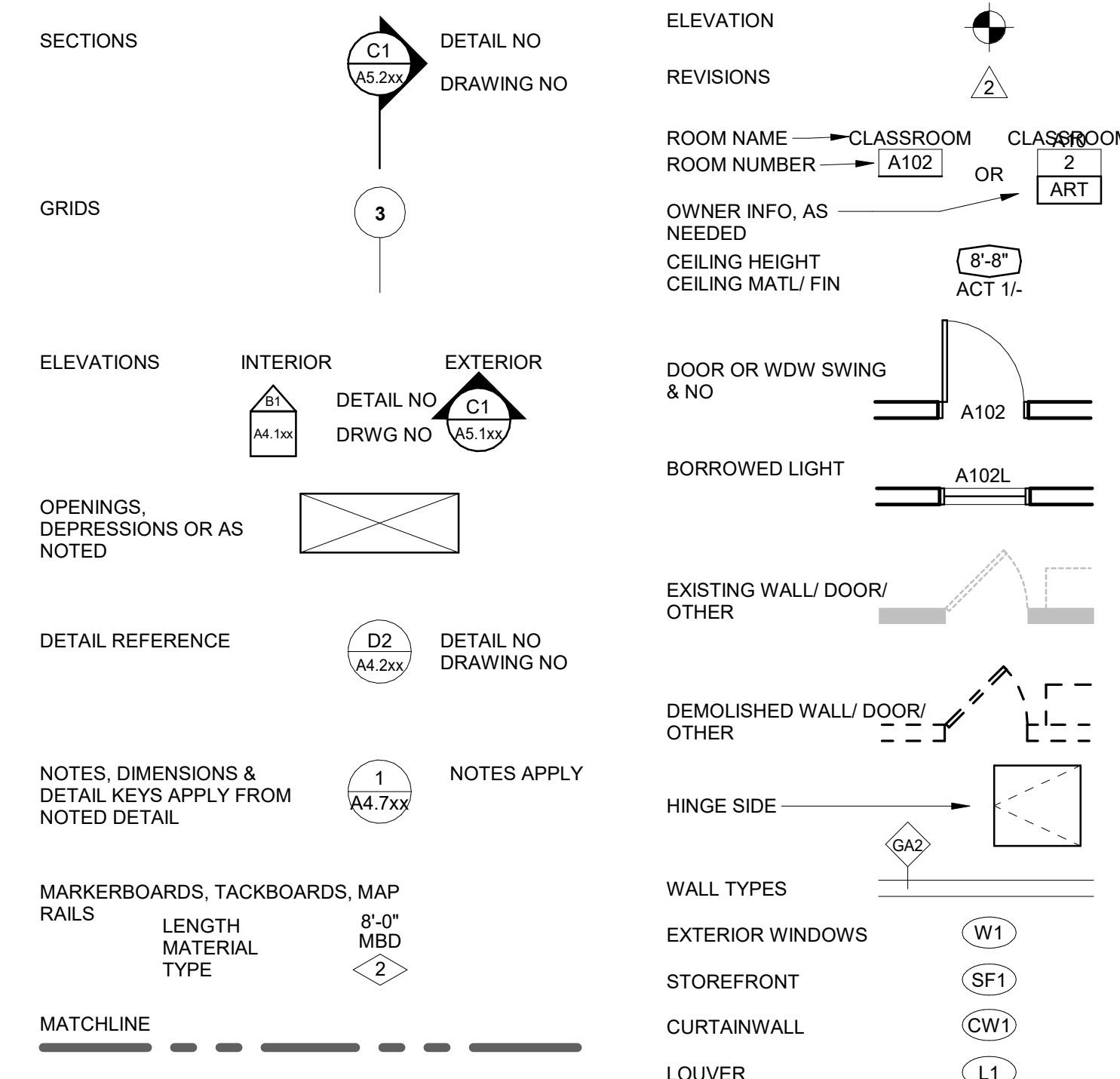


SYMBOLS



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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of Reg State

License Number:	Arch Name	Date	Issue Date
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Description	Revisions	
	Date	Num

Comm: 193019
Date: Issue Date
Drawn: MAO
Check: Checker

**DETAILS -
GENERAL -
SYMBOLS AND
ABBREVIATIONS**

Scale: As indicated

A2.00

ISSUED FOR BID - 07-03-19