

Alamogordo Housing Authority Complex, Office and Cuba Residence Reroof

601 Alta Vista
Alamogordo, New Mexico

CONSTRUCTION DOCUMENTS

date 6.07.19
project no. 18.53

PUBLIC WORKS BID NO. 2019-004



REROOF PROJECT

Alamogordo Housing
Authority Complex, Office
and Cuba Residence Reroof
Bid Lot # 1

601 Alta Vista
Alamogordo, New Mexico

REVISION	DATE

Project no: 18.53
Date: June 2019
Sheet:

PROJECT DATA

PROJECT TO BE A LEVEL 1 ALTERATION AS DESCRIBED IN SECTION 403 AND IN COMPLIANCE WITH CHAPTER 6 OF THE INTERNATIONAL EXISTING BUILDING CODE.

- NO AREA INCREASE
- NO OCCUPANCY CHANGE OR INCREASE IN OCCUPANT LOAD

REGULATING CODES

INTERNATIONAL BUILDING CODE	2015
UNIFORM MECHANICAL CODE	2015
UNIFORM PLUMBING CODE	2015
INTERNATIONAL FIRE CODE	2015
NATIONAL ELECTRIC CODE	2017
NEW MEXICO ELECTRICAL CODE	2017
AMERICAN NATIONAL STANDARDS INSTITUTE A117.1	2003
NEW MEXICO BUILDING CODE	2015

ABBREVIATIONS

ACT	ACOUSTICAL TILE
ADU	AIR HANDLER UNIT
ADA	AMERICANS WITH DISABILITIES ACT
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
ASPH	ASPHALT
B.O.F.	BOTTOM OF FOOTING
C&G	CURB & GUTTER
C.J.	CONTROL JOINT
C	CENTER LINE
CMU	CONCRETE MASONRY UNIT
C.O.L.C.	CITY OF LAS CRUCES
CONC	CONCRETE
DEG	DEGREES
DEMO	DEMOLISH, DEMOLITION
DET	DETAIL
DG	DOOR GRILLE
DS	DOWNSPOUT
DUMP	DUMPSTER
EL & ELEC	ELECTRICAL COMPONENT
EXST	EXISTING
E.J.	EXPANSION JOINT
FD	FIRE DAMPER
FE	FIRE EXTINGUISHER
F.F.	FINISH FLOOR
FP	FLAG POLE
F.O.B.	FACE OF BRICK
F.O.S.	FACE OF STUD/ FACE OF SLAB
GA	GAUGE
GALV	GALVANIZED
GS	GAS METER
GYP BD	GYPSUM BOARD
HVC	HANDICAPPED
HDW	HARDWARE
H.M.	HOLLOW METAL
HT	HEIGHT
LP	LIGHT POLE
MATL	MATERIAL
MAX	MAXIMUM
MD	MOTION DETECTOR
MH	MANHOLE
MIN	MINIMUM
MTL	METAL
N.I.C.	NOT IN CONTRACT
NO	NUMBER
OC	ON CENTER
P	PAINT AND COLOR NO.
PL	PLASTIC LAMINATE AND COLOR NO.
PT	PRESSURE TREATED
PVC	POLY VINYL CHLORIDE
RAD	RADIUS
REINF	REINFORCING
RET	RETAINING
SCWD	SOLID CORE WOOD
SIM	SIMILAR
SHT	SHEET
SQ	SQUARE
STL	STEEL
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T.O.W.	TOP OF WALL STRUCTURE
TRNS	TRANSFORMER
T.S.	TUBE STEEL
TYP	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
USPS	UNITED STATES POSTAL SERVICE
UW	UTILITY WELL
VCT	VINYL COMPOSITION TILE
W.C.O.	WALL CLEAN OUT
WD	WOOD
WH	WALL HYDRANT
WL	WELL
WP	WATER PIPE
WM	WATER METER
WT	WATER
WWF	WELDED WIRE FABRIC
WWM	WOVEN WIRE MESH

DRAWING INDEX

COVER SHEET
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AS100 SITE PLAN
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A300 ROOF IMAGES
A301 ROOF IMAGES

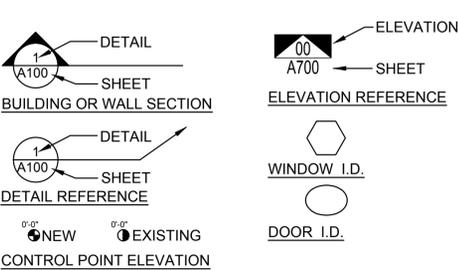
PROJECT TEAM

OWNER	ARCHITECT
ALAMOGORDO HOUSING AUTHORITY 104 AVENIDA AMIGOS ALAMOGORDO, NM 88310 P 575.437.5621 F 575.439.4104	STUDIO D ARCHITECTS 509 S. MAIN, STE D LAS CRUCES, NM 88001 P 575.521.3757 F 575.521.3880
CONTACT: MARISSA RUIZ, CPHM, HOUSING AUTHORITY MANAGER	CONTACT: ABELARDO NATIVIDAD

SITE REQUIREMENTS

THIS PROJECT IS STRICTLY A BUILDING REROOF PROJECT TO CONSIST OF THE INSTALLATION OF A NEW ASPHALT SHINGLE ROOF SYSTEM TO BE INSTALLED OVER THE EXISTING BUILDINGS WOOD ROOF DECK. ALL SITE REQUIREMENTS ARE EXISTING AND ARE TO REMAIN UNCHANGED UNDER THE CONTRACT FOR THIS PROJECT.

SYMBOLS / REFERENCE TAGS



OCCUPANCY LOAD

THIS PROJECT IS STRICTLY A BUILDING REROOF PROJECT. NO SQUARE FOOTAGE WILL BE ADDED OR REMOVED FROM THE BUILDING. THE BUILDINGS EXISTING OCCUPANT LOAD IS TO REMAIN UNCHANGED.

PLUMBING FIXTURE REQUIREMENTS

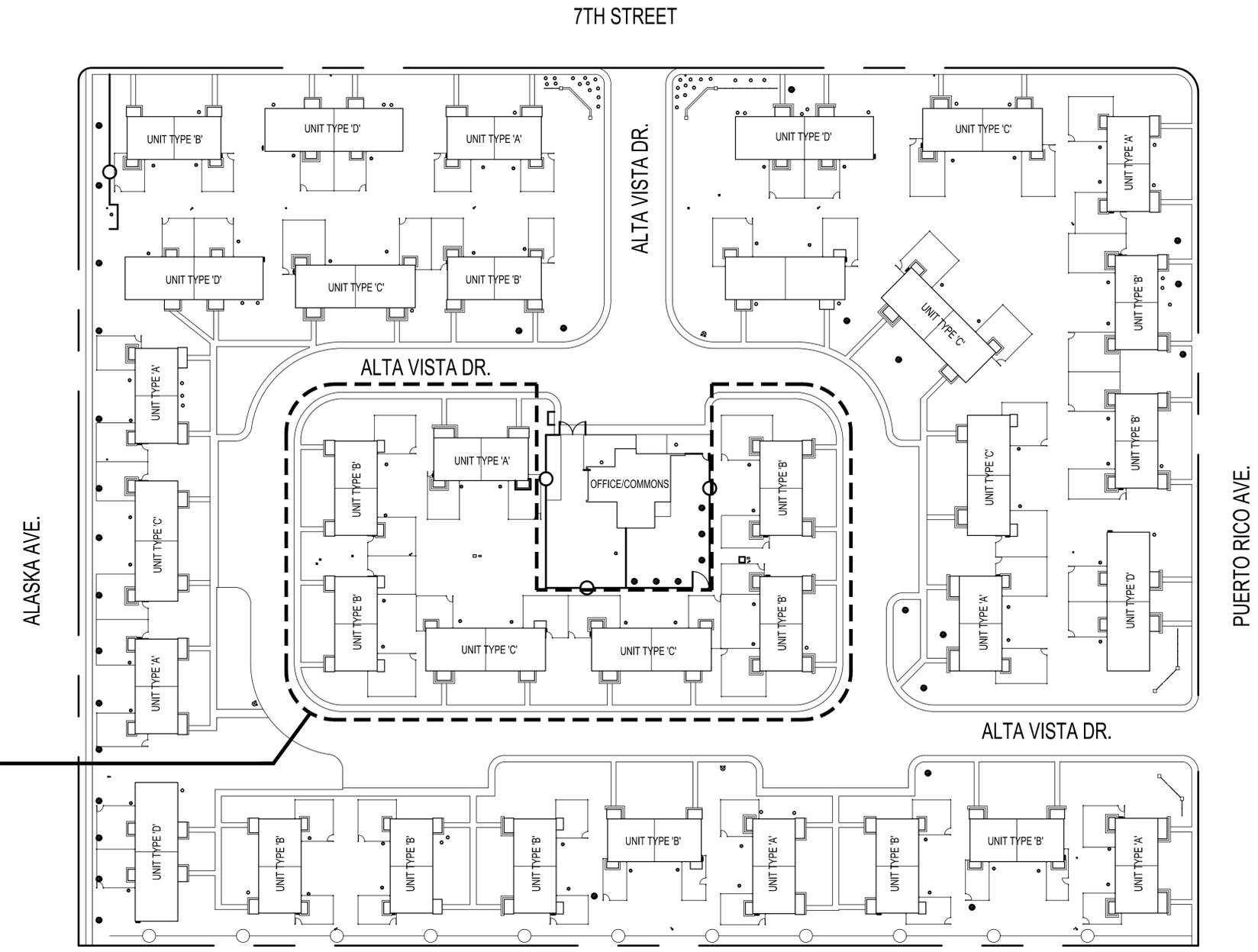
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PROJECT LOCATION



VICINITY MAP

Date: Jun 12, 2019 - 4:22pm User: Station 5
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 Last Saved By: Station 5 Jun 12, 2019 - 4:22pm
 Layout Name: AS100



BID LOT TO INCLUDE RE-ROOF OF (7) RESIDENTIAL UNITS INDICATED, SEE DRAWING SHEETS A100 AND A101 FOR ADDITIONAL INFORMATION.



SITE PLAN 1
 1" = 40'-0" AS100

GENERAL NOTES

- A. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON PLANS AND EXISTING SITE. THE ARCHITECT SHALL BE NOTIFIED OF CONFLICTS OR VARIATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- B. THE ARCHITECT PRODUCING THESE PLANS WILL NOT BE RESPONSIBLE FOR FIELD CHANGES AND DECISIONS UNLESS NOTIFIED IN WRITING OF CHANGES AND THEN ONLY BY WRITTEN APPROVAL BY THE ARCHITECT.
- C. ALL SCALE PLAN DIMENSIONS ARE TO EXISTING FINISHES UNLESS OTHERWISE NOTED.
- D. CONTRACTOR SHALL NOT SCALE DRAWINGS. IN THE EVENT OF OMISSION OF DIMENSIONS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO WILL LEAVE THE CONTRACTOR SOLELY RESPONSIBLE FOR ANY DISCREPANCIES, CORRECTIONS, ETC., RESULTING FROM THE SAME.
- E. THE CONTRACTOR SHALL PROVIDE PROTECTION AS NECESSARY TO PREVENT DAMAGE TO THE EXISTING CONSTRUCTION NOT TO BE REMOVED UNDER CONTRACT AND ANY/ALL ITEMS INDICATED TO REMAIN IN PLACE.
- F. ANY AND ALL ITEMS DAMAGED DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR TO A LIKE NEW CONDITION AT HIS EXPENSE.
- G. THE CONTRACTOR SHALL CLEAN UP ALL DEBRIS CAUSED BY THE WORK OF THIS PROJECT AND SHALL SOLELY BE RESPONSIBLE FOR KEEPING THE PREMISES CLEAN AND NEAT AT ALL TIMES.
- H. THERE SHALL BE LITTLE IF NO INTERRUPTION TO THE ADJACENT RESIDENCES OR ADJACENT BUILDING OPERATIONS DURING THE COURSE OF CONSTRUCTION.
- I. ANY AND ALL CONFLICTS FOUND DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING, SO THAT ADDITIONAL INSTRUCTIONS CAN BE FORWARDED TO THE CONTRACTOR.
- J. THE CONTRACTOR SHALL NOT INSTALL ANY MATERIAL, PRODUCT, ETC. WHICH CONTAINS ASBESTOS OR OTHER TOXIC SUBSTANCES. IF ANY MATERIAL, PRODUCT, ETC. DOES CONTAIN ANY OF THE ABOVE, THE CONTRACTOR SHALL SUBMIT AN EQUAL SUBSTITUTION FOR THE OWNER'S APPROVAL PRIOR TO INSTALLATION. AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL CERTIFY IN WRITING ON COMPANY LETTER HEAD THAT HE IS IN COMPLIANCE.
- K. IF THE CONTRACTOR SUSPECTS THE PRESENCE OF ASBESTOS CONTAINING MATERIALS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY. THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE REMOVAL AND/OR CONTAINMENT OF ALL SUCH MATERIALS. IN ACCORDANCE WITH THE APPLICABLE LAW. ADJUSTMENT TO THE CONSTRUCTION SCHEDULE WILL BE CONSIDERED IF ABATEMENT IS REQUIRED. ANY ASBESTOS REMOVAL WORK SHALL BE COORDINATED BY THE GENERAL CONTRACTOR. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE DETECTION, PRESENCE OR REMOVAL OF ASBESTOS CONTAINING MATERIALS.
- L. THE CONTRACTOR SHALL PROVIDE ALL BARRICADES, FENCES, COVERED WALKS, PLANKING, FENCES LIGHTING, BRACING, SHORING, WARNING SIGNS, GUARDS, ETC. AS REQUIRED FOR PROTECTION OF WORKMEN, THE PUBLIC, BUILDING OCCUPANTS AND ADJOINING PROPERTIES.

GENERAL REROOF NOTES

- A. THE CONTRACTOR IS TO PROVIDE A COMPLETE AND FINISHED ROOF SYSTEM, ANY ITEMS TYPICALLY REQUIRED FOR A COMPLETE SYSTEM BUT NOT SPECIFICALLY CALLED OUT SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- B. THE CONTRACTOR IS TO FIELD VERIFY ALL UNITS SCHEDULED FOR WORK AND EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- C. THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY FOR PROJECT.
- D. DURING ALL PHASES OF THE PROJECT, ALL MATERIAL STORAGE AND CONTRACTOR EMPLOYEE PARKING IS TO BE CONFINED TO AREAS OF CONSTRUCTION AND AS COORDINATED WITH OWNER.
- E. CONTRACTOR IS TO PROVIDE NEW FLASHING AT ALL ROOF PENETRATIONS. ALL ROOF PENETRATIONS MUST BE SEALED WATER TIGHT.
- F. PRIOR TO INSTALLATION OF NEW ROOF, CONTRACTOR IS TO VERIFY:
 - F.A. THAT THE EXISTING ROOF DECK IS SECURELY ATTACHED TO THE ROOF FRAMING SYSTEM.
 - F.B. THAT THE EXISTING ROOF DECK IS STRUCTURALLY SOUND AND THAT ALL ROTTED OR DETERIORATED COMPONENTS HAVE BEEN REPLACED AND OR REINFORCED WITH STRUCTURALLY SOUND MATERIAL EQUAL TO OR STRONGER THAN NEW CONDITION.
 - F.C. THAT THE EXISTING ROOF ASSEMBLY ABOVE THE DECK LINE IS DRY OR OTHERWISE NOT DETERIORATED, MOISTURE MUST NOT BE TRAPPED WITHIN THE NEW ROOF ASSEMBLY.
 - F.D. THAT THE ROOF DRAINAGE IS SUFFICIENT TO PREVENT ACCUMULATION OF WATER ON ROOF OR ON EDGES.

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REROOF PROJECT

Alamogordo Housing Authority Complex, Office and Cuba Residence Reroof Bid Lot # 1

601 Alta Vista
 Alamogordo, New Mexico

REVISION	DATE

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 Sheet:

SITE PLAN

AS100

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR IS TO REMOVE THE EXISTING ASPHALT SHINGLE ROOFING SYSTEM AND ROOFING UNDERPAYMENT TO EXISTING WOOD DECK AND PREPARE SUBSTRATE FOR NEW ROOF SYSTEM TO BE INSTALLED.
2. THE CONTRACTOR IS TO REMOVE ALL EXISTING EDGE FLASHING AND ROOF PENETRATION FLASHINGS AND REPLACE WITH NEW TO MATCH EXISTING PRIOR TO INSTALLATION OF NEW ROOF SYSTEM.
3. THE EXISTING WOOD DECK IS TO BE REMOVED 4'-0" FROM PERIMETER EDGE OF ALL ROOFS AND REPLACED WITH NEW 1/2" PLY-WOOD DECK PRIOR TO INSTALLATION OF NEW ROOF SYSTEM.
4. REPLACE ALL ROOF DECK AT PORCH ROOFS AND REPLACE WITH NEW 1/2" PLYWD. DECK, CONTRACTOR IS TO PROVIDE 2x6 WOOD BLOCKING BETWEEN PORCH TRUSSES AT RIDGE CONDITION FOR ADDED STABILITY.

KEYED NOTES

1. REMOVE EXISTING ROOF SYSTEM AND MOISTURE BARRIER UNDERLAYMENT AS STATED IN ROOFING GENERAL NOTES AND REPLACE WITH NEW ASPHALT SHINGLE SYSTEM AND NEW UNDERLAYMENT.
2. CONTRACTOR TO PROVIDE NEW 4" NON-CORROSIVE METAL DRIP EDGE AT ALL ROOF EDGES.
3. PROVIDE RIDGE CAP SHINGLES AS REQUIRED BY MANUFACTURER INSTALLATION INSTRUCTIONS.
4. PROVIDE VALLEY LEAK BARRIER AND 29GA. GALVANIZED VALLEY TIN AT ALL VALLEY CONDITIONS AND INSTALL PER MANUFACTURER INSTALLATION INSTRUCTIONS.
5. REPLACE ALL FLASHING WITH NEW AT ALL ROOF VENTS AND ROOF PENETRATIONS. SEE IMAGES ON SHEET A301.
6. REMOVE AND REPLACE 4'-0" OF ROOF DECK AT LOW EAVE, SEE DETAIL ON SHEET A200, HATCHED AREA INDICATES EXTENTS OF ROOF DECK TO BE REPLACED.
7. CONTRACTOR TO REMOVE EXISTING UNUSED ELECTRICAL SERVICE CONDUIT THROUGH ROOF AND PATCH ROOF AS REQUIRED BY NEW ROOFING. SEE IMAGE 3/A301, VERIFY LOCATION IN FIELD. CONTRACTOR IS TO REPAIR SOFFIT TO MATCH EXISTING ONCE CONDUIT IS REMOVED AND IS TO PROVIDE CAPS TO COVER CONDUIT HOLES AT PANEL BOX.
8. EXISTING ELECTRICAL SERVICE CONDUIT THROUGH ROOF TO REMAIN. CAREFULLY REMOVE AND REUSE EXISTING FLASHING AS TO NOT REMOVE ELECTRICAL AND MAKE WATER TIGHT UPON REINSTALLATION. VERIFY LOCATION IN FIELD.
9. CONTRACTOR TO PROVIDE NEW GAF 12" MASTER FLOW ROTARY TURBINE ATTIC VENT SYSTEM AS SHOWN OR APPROVED EQUAL. CONTRACTOR IS TO CUT HOLES IN EXISTING ROOF DECK AND INSTALL NEW VENT SYSTEM AS PER MANUFACTURER REQUIREMENTS.



REROOF PROJECT

Alamogordo Housing Authority Complex, Office and Cuba Residence Reroof Bid Lot # 1

601 Alta Vista
Alamogordo, New Mexico

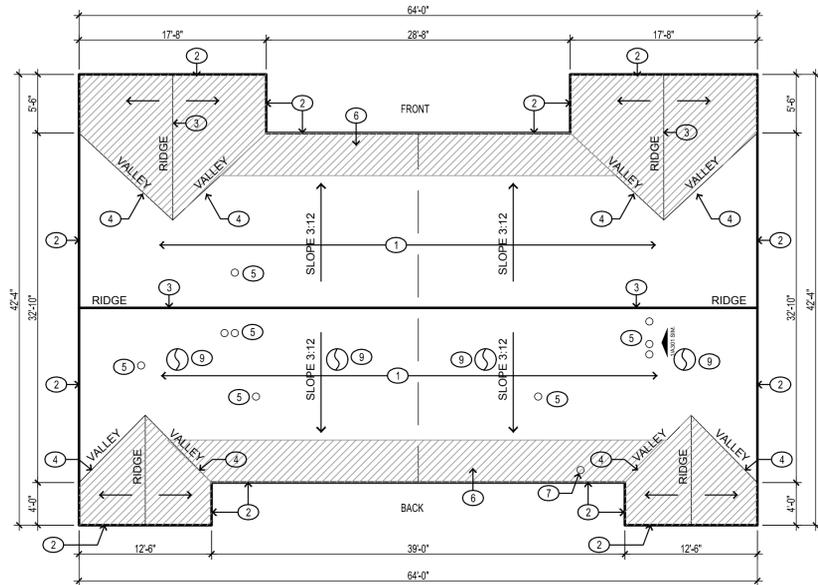
ROOFING SPECIFICATIONS

- ROOF SHINGLES - GAF TIMBERLINE ULTRA HD LIFETIME HIGH DEFINITION SHINGLES WITH 50 YR. COVERAGE WARRANTY OR APPROVED EQUAL.
- ASPHALT/FIBERGLASS SHINGLES
 - 110 MPH WIND RATING MINIMUM
 - PROVIDE ALL REQUIRED ACCESSORIES
 - STARTER STRIP SHINGLES
 - LEAK BARRIERS
 - EDGE FLASHING
 - RIDGE CAP SHINGLES
 - PROVIDE 29GA GALVANIZED METAL VALLEY FLASHING 24" WIDE MIN.
- ROOF DECK UNDERLAYMENT - GAF DECK ARMOR 10 ROOF DECK PROTECTION OR APPROVED EQUAL. INSTALL PER MANUFACTURER REQUIREMENTS.

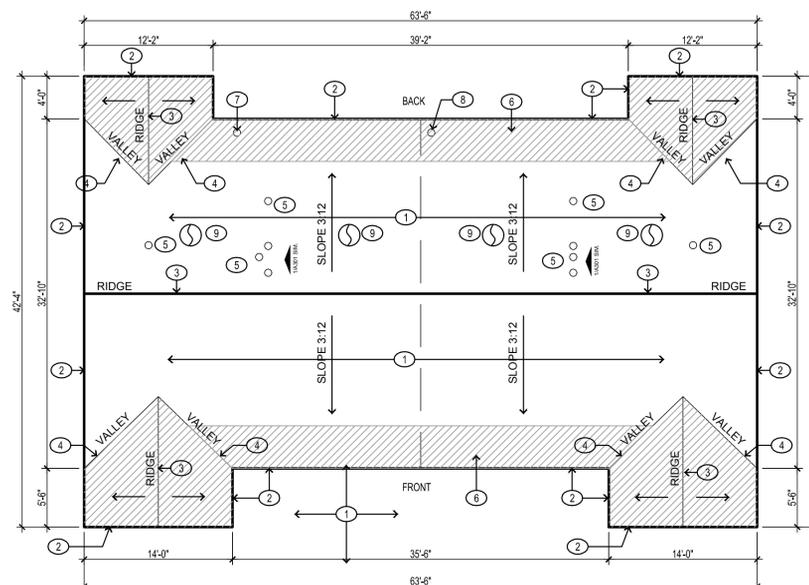
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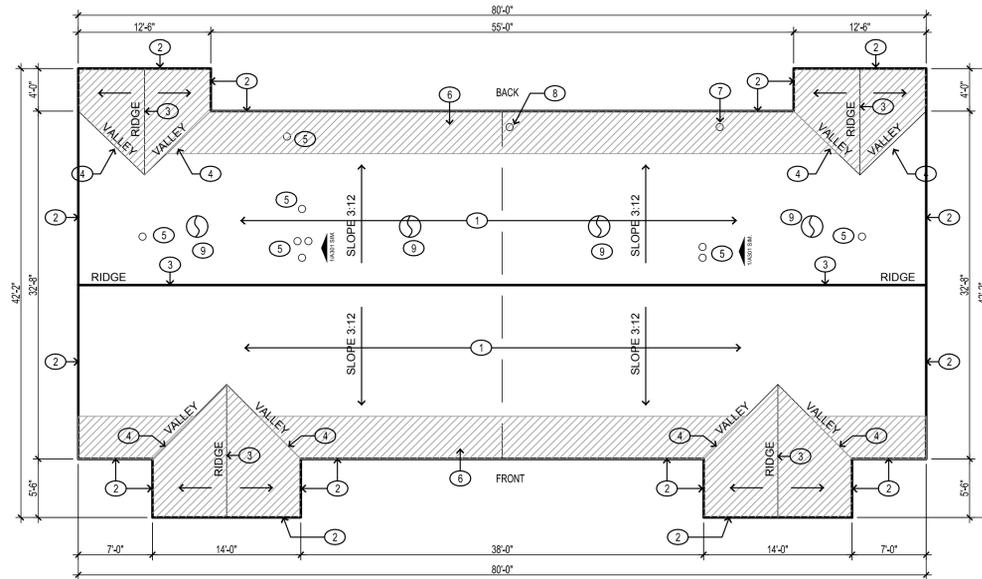
ROOF PLAN BUILDING UNITS A, B, & C
A101



ROOF PLAN UNIT TYPE "A" 1
1/8" = 1'-0" A101



ROOF PLAN UNIT TYPE "B" 2
1/8" = 1'-0" A101



ROOF PLAN UNIT TYPE "C" 3
1/8" = 1'-0" A101

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Layout Name: A101



REEROOF PROJECT

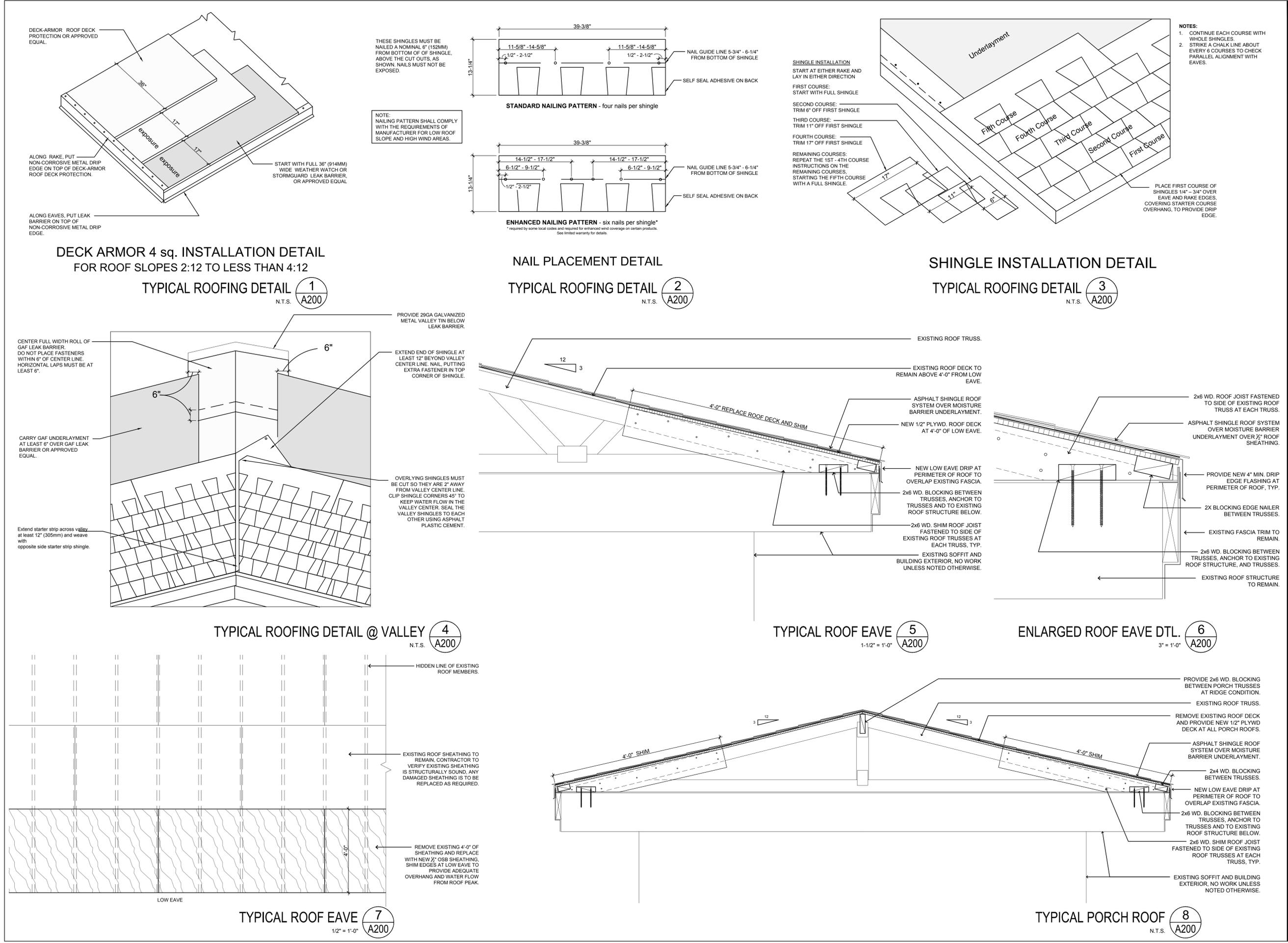
Alamogordo Housing Authority Complex, Office and Cuba Residence Reroof Bid Lot # 1

601 Alta Vista
Alamogordo, New Mexico

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Project no: 18.53
Date: June 2019
Sheet: A200

TYPICAL ROOFING DETAILS
A200



Date: Jun 12, 2019 - 4:24pm User:Sharon 5
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 Last Saved By: Sharon 5 Jun 07, 2019 - 1:25pm
 Layout Name: A200



06.12.19

REROOF PROJECT

Alamogordo Housing
Authority Complex, Office
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Bid Lot # 1

601 Alta Vista
Alamogordo, New Mexico

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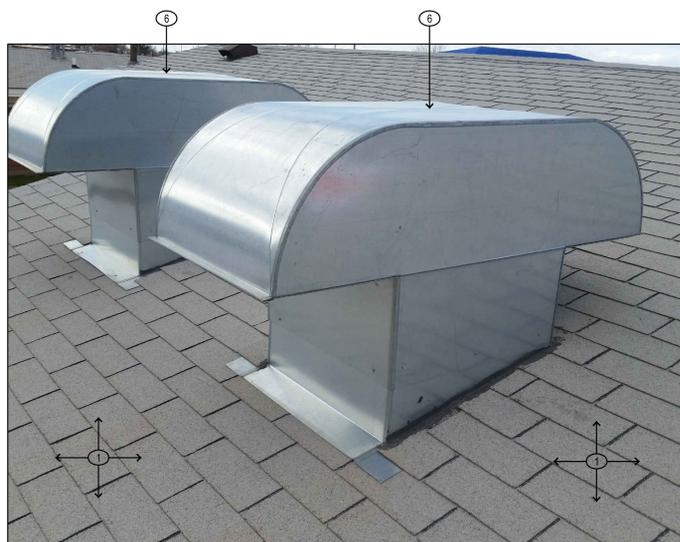
Project no: 18.53
Date: June 2019
Sheet:

ROOF IMAGES

A300

KEYED NOTES

- EXISTING ROOF SYSTEM TO BE REMOVED IN ITS ENTIRETY DOWN TO ROOF DECK AND REPLACED WITH NEW ROOF SYSTEM AS SHOWN ON DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR IS TO REMOVE AND REPLACE ALL EDGE FLASHING WITH NEW NON-CORROSIVE EDGE FLASHING TO BE 3" DEEP MIN. TO OVERLAP EXISTING FASCIA.
- REMOVE EXISTING ATTIC VENT AND REPLACE WITH NEW TO ATTIC VENT TO MEET NEW ROOF SYSTEM MANUFACTURER RECOMMENDATIONS.
- REPLACE FLASHING AT ALL ROOF VENTS AND ROOF PENETRATIONS, TYP.
- REMOVE AND REPLACE FLASHING AT ROOF TO WALL CONDITION FOR A WATER TIGHT SEAL, SEE ROOF MANUFACTURER RECOMMENDATIONS.
- EXISTING VENTS TO REMAIN, FLASH NEW ROOF TO EXISTING VENTS FOR WATER TIGHT SEAL.



ROOF IMAGE (EXIST) **1**
N.T.S. **A300**



ROOF IMAGE (EXIST) **2**
N.T.S. **A300**



ROOF IMAGE (EXIST) **3**
N.T.S. **A300**



ROOF IMAGE (EXIST) **4**
N.T.S. **A300**



ROOF IMAGE (EXIST) **5**
N.T.S. **A300**



ROOF IMAGE (EXIST) **6**
N.T.S. **A300**



ROOF IMAGE (EXIST) **1**
N.T.S. **A301**



ROOF IMAGE (EXIST) **2**
N.T.S. **A301**



ROOF IMAGE (EXIST) **3**
N.T.S. **A301**



ROOF IMAGE (EXIST) **4**
N.T.S. **A301**



ROOF IMAGE (EXIST) **5**
N.T.S. **A301**



ROOF IMAGE (EXIST) **6**
N.T.S. **A301**



ROOF IMAGE (EXIST) **7**
N.T.S. **A301**



ROOF IMAGE (EXIST) **8**
N.T.S. **A301**



ROOF IMAGE (EXIST) **9**
N.T.S. **A301**

KEYED NOTES

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2. REPLACE FLASHING AT ALL ROOF VENT/ROOF PENETRATIONS, TYP.
3. EXISTING ELECTRICAL SERVICE CONDUIT AND FLASHING TO BE REMOVED. CONTRACTOR IS TO PATCH ROOF DECK AND MAKE READY FOR NEW ROOF SYSTEM INSTALLATION.
4. REMOVE EXISTING UNUSED FLASHING FROM ROOF, PATCH ROOF DECK AND MAKE READY FOR NEW ROOF SYSTEM INSTALLATION.



REROOF PROJECT

Alamogordo Housing
Authority Complex, Office
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Bid Lot # 1

601 Alta Vista
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ROOF IMAGES

A301

Alamogordo Housing Authority Complex, Office and Cuba Residence Reroof

104 Avenida Amigos
Alamogordo, New Mexico

CONSTRUCTION DOCUMENTS

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PUBLIC WORKS BID NO. 2019-004



REROOF PROJECT

Alamogordo Housing Authority Complex, Office and Cuba Residence Reroof
Bid Lot # 2

104 Avenida Amigos
Alamogordo, New Mexico

REVISION	DATE
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Project no: 18.53
Date: June 2019
Sheet:

PROJECT DATA

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WM	WATER METER
WT	WATER
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WWM	WOVEN WIRE MESH

DRAWING INDEX

COVER SHEET
ARCHITECTURAL
AS100 SITE PLAN
A100 ROOF PLAN OFFICE, MAINT. & LEARNING CTR.
A200 TYPICAL ROOFING DETAILS
A300 ROOF IMAGES
A301 ROOF IMAGES
A302 ROOF IMAGES
A303 ROOF IMAGES

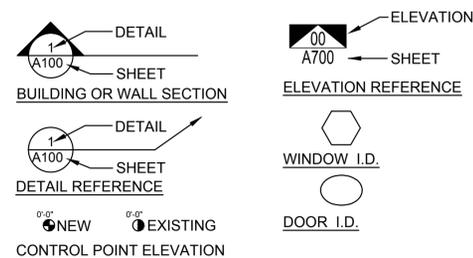
PROJECT TEAM

OWNER	ARCHITECT
ALAMOGORDO HOUSING AUTHORITY 104 AVENIDA AMIGOS ALAMOGORDO, NM 88310 P 575.437.5621 F 575.439.4104	STUDIO D ARCHITECTS 509 S. MAIN, STE D LAS CRUCES, NM 88001 P 575.521.3757 F 575.521.3880 CONTACT: ABELARDO NATIVIDAD
CONTACT: MARISSA RUIZ, CPHM, HOUSING AUTHORITY MANAGER	

SITE REQUIREMENTS

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SYMBOLS / REFERENCE TAGS



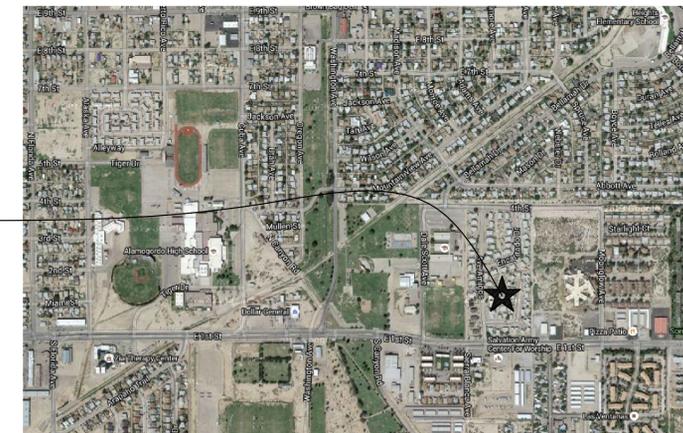
OCCUPANCY LOAD

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THIS PROJECT IS STRICTLY A BUILDING REROOF PROJECT. THE BUILDINGS EXISTING OCCUPANT LOAD IS TO REMAIN UNCHANGED. THEREFORE THE PLUMBING FIXTURE REQUIREMENTS ARE TO REMAIN UNCHANGED.

PROJECT LOCATION



VICINITY MAP

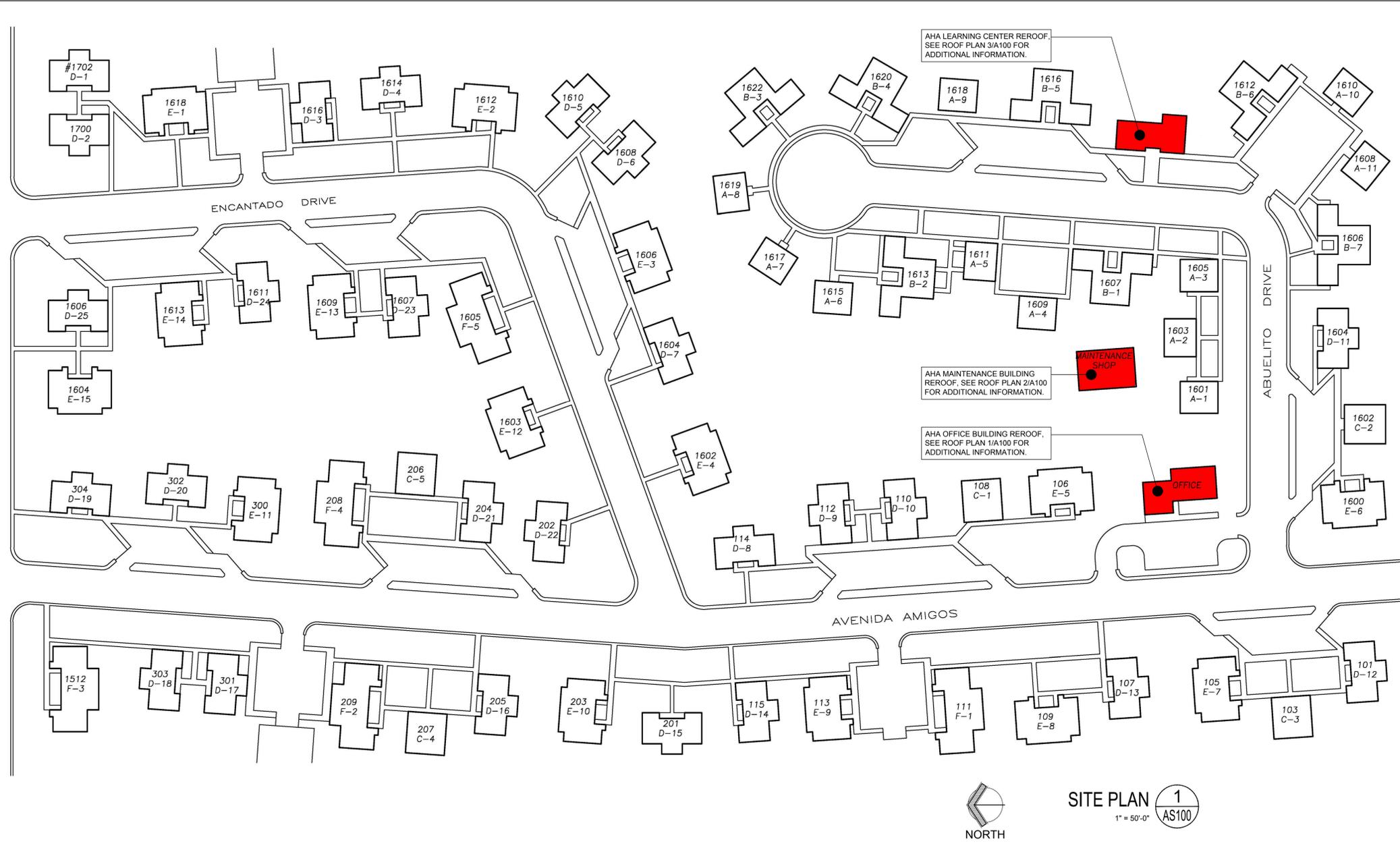


GENERAL NOTES

- A. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON PLANS AND EXISTING SITE. THE ARCHITECT SHALL BE NOTIFIED OF CONFLICTS OR VARIATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- B. THE ARCHITECT PRODUCING THESE PLANS WILL NOT BE RESPONSIBLE FOR FIELD CHANGES AND DECISIONS UNLESS NOTIFIED IN WRITING OF CHANGES AND THEN ONLY BY WRITTEN APPROVAL BY THE ARCHITECT.
- C. ALL SCALE PLAN DIMENSIONS ARE TO EXISTING FINISHES UNLESS OTHERWISE NOTED.
- D. CONTRACTOR SHALL NOT SCALE DRAWINGS. IN THE EVENT OF OMISSION OF DIMENSIONS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO WILL LEAVE THE CONTRACTOR SOLELY RESPONSIBLE FOR ANY DISCREPANCIES, CORRECTIONS, ETC., RESULTING FROM THE SAME.
- E. THE CONTRACTOR SHALL PROVIDE PROTECTION AS NECESSARY TO PREVENT DAMAGE TO THE EXISTING CONSTRUCTION NOT TO BE REMOVED UNDER CONTRACT AND ANY/ALL ITEMS INDICATED TO REMAIN IN PLACE.
- F. ANY AND ALL ITEMS DAMAGED DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR TO A LIKE NEW CONDITION AT HIS EXPENSE.
- G. THE CONTRACTOR SHALL CLEAN UP ALL DEBRIS CAUSED BY THE WORK OF THIS PROJECT AND SHALL SOLELY BE RESPONSIBLE FOR KEEPING THE PREMISES CLEAN AND NEAT AT ALL TIMES.
- H. THERE SHALL BE LITTLE IF NO INTERRUPTION TO THE ADJACENT RESIDENCES OR ADJACENT BUILDING OPERATIONS DURING THE COURSE OF CONSTRUCTION. ANY AND ALL CONFLICTS FOUND DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING, SO THAT ADDITIONAL INSTRUCTIONS CAN BE FORWARDED TO THE CONTRACTOR.
- I. THE CONTRACTOR SHALL NOT INSTALL ANY MATERIAL, PRODUCT, ETC. WHICH CONTAINS ASBESTOS OR OTHER TOXIC SUBSTANCES. IF ANY MATERIAL, PRODUCT, ETC. DOES CONTAIN ANY OF THE ABOVE, THE CONTRACTOR SHALL SUBMIT AN EQUAL SUBSTITUTION FOR THE OWNER'S APPROVAL PRIOR TO INSTALLATION. AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL CERTIFY IN WRITING ON COMPANY LETTER HEAD THAT HE IS IN COMPLIANCE.
- J. IF THE CONTRACTOR SUSPECTS THE PRESENCE OF ASBESTOS CONTAINING MATERIALS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY. THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE REMOVAL AND/OR CONTAINMENT OF ALL SUCH MATERIALS. IN ACCORDANCE WITH THE APPLICABLE LAW, ADJUSTMENT TO THE CONSTRUCTION SCHEDULE WILL BE CONSIDERED IF ABATEMENT IS REQUIRED. ANY ASBESTOS REMOVAL WORK SHALL BE COORDINATED BY THE GENERAL CONTRACTOR. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE DETECTION, PRESENCE OR REMOVAL OF ASBESTOS CONTAINING MATERIALS.
- K. THE CONTRACTOR SHALL PROVIDE ALL BARRICADES, FENCES, COVERED WALKS, PLANKING, FENCES LIGHTING, BRACING, SHORING, WARNING SIGNS, GUARDS, ETC. AS REQUIRED FOR PROTECTION OF WORKMEN, THE PUBLIC, BUILDING OCCUPANTS AND ADJOINING PROPERTIES.

GENERAL REROOF NOTES

- A. THE CONTRACTOR IS TO PROVIDE A COMPLETE AND FINISHED ROOF SYSTEM, ANY ITEMS TYPICALLY REQUIRED FOR A COMPLETE SYSTEM BUT NOT SPECIFICALLY CALLED OUT SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- B. THE CONTRACTOR IS TO FIELD VERIFY ALL UNITS SCHEDULED FOR WORK AND EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- C. THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY FOR PROJECT.
- D. DURING ALL PHASES OF THE PROJECT, ALL MATERIAL STORAGE AND CONTRACTOR EMPLOYEE PARKING IS TO BE CONFINED TO AREAS OF CONSTRUCTION AND AS COORDINATED WITH OWNER.
- E. CONTRACTOR IS TO PROVIDE NEW FLASHING AT ALL ROOF PENETRATIONS, ALL ROOF PENETRATIONS MUST BE SEALED WATER TIGHT.
- F. PRIOR TO INSTALLATION OF NEW ROOF, CONTRACTOR IS TO VERIFY:
 - F.A. THAT THE EXISTING ROOF DECK IS SECURELY ATTACHED TO THE ROOF FRAMING SYSTEM.
 - F.B. THAT THE EXISTING ROOF DECK IS STRUCTURALLY SOUND AND THAT ALL ROTTED OR DETERIORATED COMPONENTS HAVE BEEN REPLACED AND OR REINFORCED WITH STRUCTURALLY SOUND MATERIAL EQUAL TO OR STRONGER THAN NEW CONDITION.
 - F.C. THAT THE EXISTING ROOF ASSEMBLY ABOVE THE DECK LINE IS DRY OR OTHERWISE NOT DETERIORATED, MOISTURE MUST NOT BE TRAPPED WITHIN THE NEW ROOF ASSEMBLY.
 - F.D. THAT THE ROOF DRAINAGE IS SUFFICIENT TO PREVENT ACCUMULATION OF WATER ON ROOF OR ON EDGES.



SITE PLAN 1
1" = 50'-0" AS100

REROOF PROJECT

**Alamogordo Housing
Authority Complex, Office
and Cuba Residence Reroof
Bid Lot # 2**

104 Avenida Amigos
Alamogordo, New Mexico

REVISION	DATE

Project no: 18.53
Date: June 2019
Sheet:

SITE PLAN

AS100

Date: Jun 12, 2019 - 4:37pm User: Station 5
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 Last Saved By: Station 5 Jun 12, 2019 - 4:37pm
 Layout Name: AS100

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR IS TO REMOVE THE EXISTING ASPHALT SHINGLE ROOFING SYSTEM AND ROOFING UNDERPAYMENT TO EXISTING WOOD DECK AND PREPARE SUBSTRATE FOR NEW ROOF SYSTEM TO BE INSTALLED.
2. THE CONTRACTOR IS TO REMOVE ALL EXISTING EDGE FLASHING AND ROOF PENETRATION FLASHINGS AND REPLACE WITH NEW TO MATCH EXISTING PRIOR TO INSTALLATION OF NEW ROOF SYSTEM.
3. THE EXISTING WOOD DECK IS TO BE REMOVED 4'-0" FROM PERIMETER EDGE OF ALL ROOFS AND REPLACED WITH NEW 1/2" O.S.B. WOOD DECK PRIOR TO INSTALLATION OF NEW ROOF SYSTEM.

KEYED NOTES

1. REMOVE EXISTING ROOF SYSTEM AND MOISTURE BARRIER UNDERLAYMENT AS STATED IN ROOFING GENERAL NOTES AND REPLACE WITH NEW ASPHALT SHINGLE SYSTEM AND NEW UNDERLAYMENT.
2. CONTRACTOR TO PROVIDE NEW 4" MIN. NON-CORROSIVE METAL DRIP EDGE AT ALL ROOF EDGES.
3. PROVIDE RIDGE CAP SHINGLES AS REQUIRED BY MANUFACTURER INSTALLATION INSTRUCTIONS.
4. PROVIDE VALLEY LEAK BARRIER AND 29GA GALVANIZED VALLEY TIN AT ALL VALLEY CONDITIONS AND INSTALL PER MANUFACTURER INSTALLATION INSTRUCTIONS.
5. REPLACE ALL FLASHING WITH NEW AT ALL ROOF VENT AND ROOF PENETRATIONS.
6. CONTRACTOR IS TO REMOVE EXISTING ATTIC VENTS AND PATCH ROOF DECK FOR NEW ROOF INSTALLATION.
7. EXISTING TURBINE STYLE ATTIC VENTS TO BE REMOVED AND REPLACED WITH NEW GAF MASTER FLOW ROTARY TURBINE, SIZE TO MATCH EXISTING AS PART OF THE NEW ROOF SYSTEM.
8. EXISTING ROOF TOP UNIT TO REMAIN, CONTRACTOR IS TO FLASH NEW ROOF TO EXISTING UNIT CURB FOR A WATER TIGHT SEAL.
9. EXISTING ROOF TOP UNIT TO REMAIN, CONTRACTOR IS TO FLASH NEW ROOF TO EXISTING UNIT DUCT PENETRATION FOR A WATER TIGHT SEAL.
10. EXISTING ELECTRICAL SERVICE CONDUIT TO REMAIN, CONTRACTOR IS TO REMOVE AND REUSE EXISTING CONDUIT FLASHING AS TO NOT REMOVE ELECTRICAL AND MAKE WATER TIGHT UPON REINSTALLATION.
11. SEAL WATER TIGHT ALL ELECTRICAL, GAS, CONDENSATE AND WATER LINES TO ROOF TOP UNITS, REPLACE/REPAIR ITEMS AS REQUIRED.
12. NEW GAF 14" MASTER FLOW ROTARY TURBINE ATTIC VENT SYSTEM OR APPROVED EQUAL, CONTRACTOR IS TO CUT HOLE IN EXISTING ROOF DECK AND INSTALL UNIT AS PER MANUFACTURER REQUIREMENTS.
13. CONTRACTOR TO REMOVE EXISTING DRIP EDGE FLASHING AND EXISTING FASCIA TRIM AND REPLACE WITH NEW 4" DRIP EDGE FLASHING AND NEW PRE-FINISHED FASCIA TRIM. SEE DETAIL 7/A200.



REROOF PROJECT

Alamogordo Housing Authority Complex, Office and Cuba Residence Reroof Bid Lot # 2

104 Avenida Amigos
Alamogordo, New Mexico

ROOFING SPECIFICATIONS

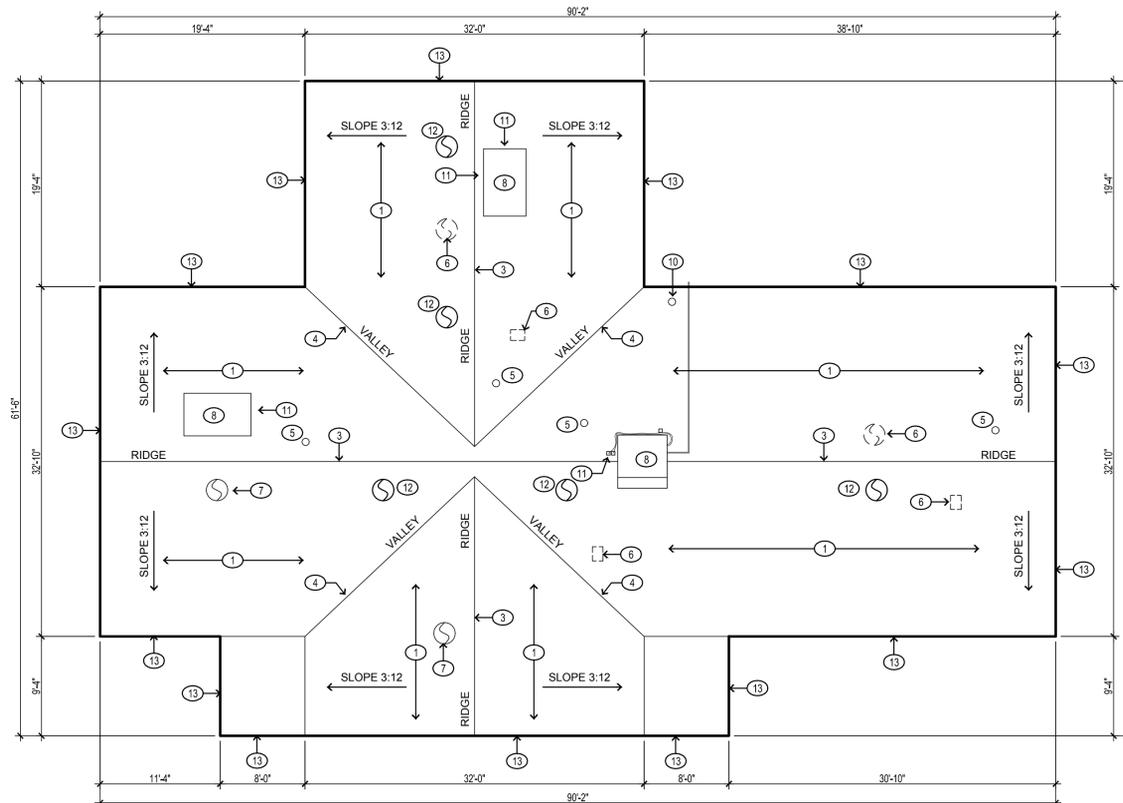
- ROOF SHINGLES - GAF TIMBERLINE ULTRA HD LIFETIME HIGH DEFINITION SHINGLES WITH 50 YR. COVERAGE WARRANTY OR APPROVED EQUAL.
- ASPHALT/FIBERGLASS SHINGLES
 - 110 MPH WIND RATING MINIMUM
 - PROVIDE ALL REQUIRED ACCESSORIES
 - STARTER STRIP SHINGLES
 - LEAK BARRIERS
 - EDGE FLASHING
 - RIDGE CAP SHINGLES
 - PROVIDE 29GA GALVANIZED METAL VALLEY FLASHING, 24" WIDE MIN.

ROOF DECK UNDERLAYMENT - GAF DECK ARMOR 10 ROOF DECK PROTECTION OR APPROVED EQUAL. INSTALL PER MANUFACTURER REQUIREMENTS.

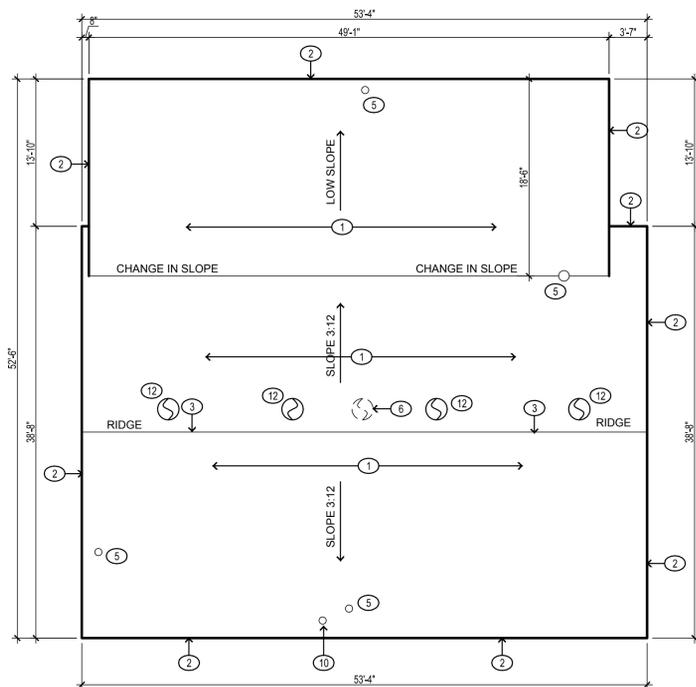
REVISION DATE

Project no: 18.53
Date: June 2019
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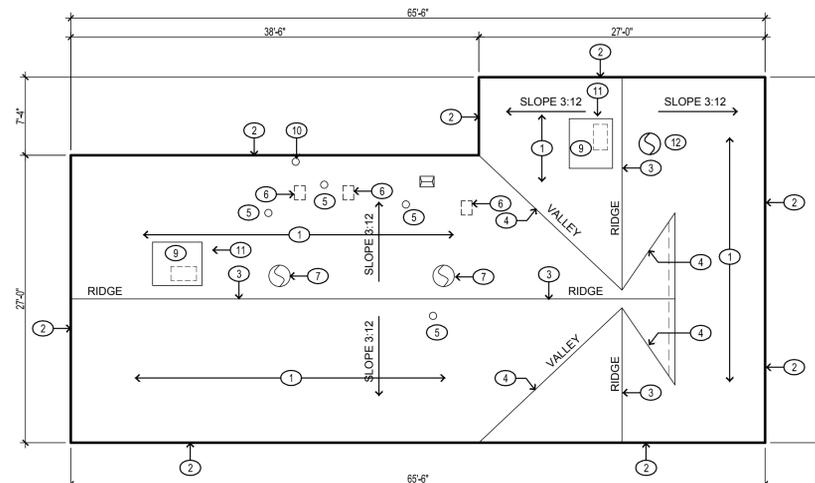
**ROOF PLAN
OFFICE, MAINT.,
& LEARNING CTR.
A100**



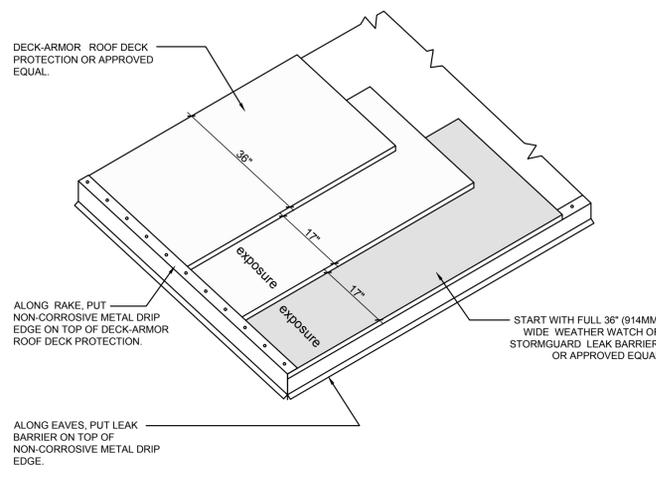
ROOF PLAN OFFICE BUILDING 1
1/8" = 1'-0" A100



ROOF PLAN MAINTENANCE BUILDING 2
1/8" = 1'-0" A100

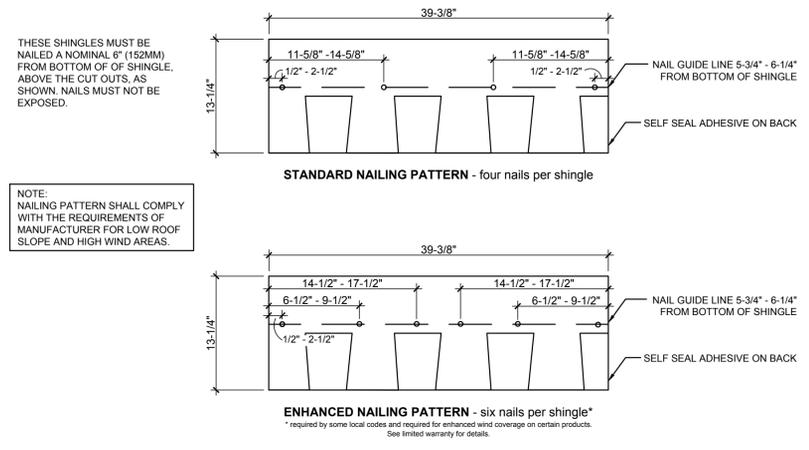


ROOF PLAN LEARNING CENTER 3
1/8" = 1'-0" A100



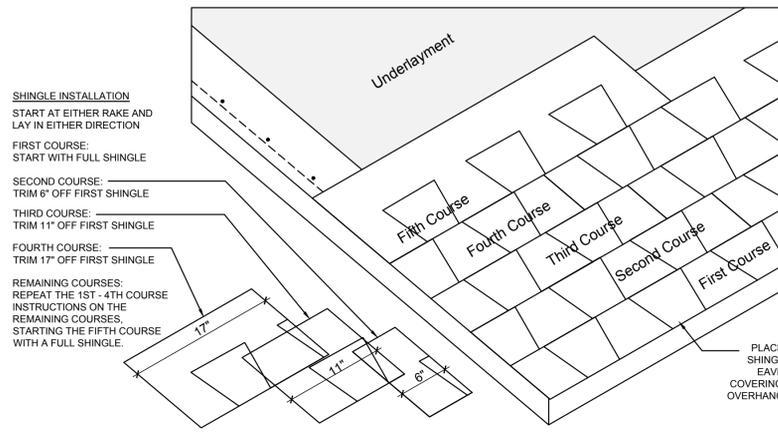
DECK ARMOR 4 sq. INSTALLATION DETAIL
FOR ROOF SLOPES 2:12 TO LESS THAN 4:12

TYPICAL ROOFING DETAIL 1
N.T.S. A200



NAIL PLACEMENT DETAIL

TYPICAL ROOFING DETAIL 2
N.T.S. A200

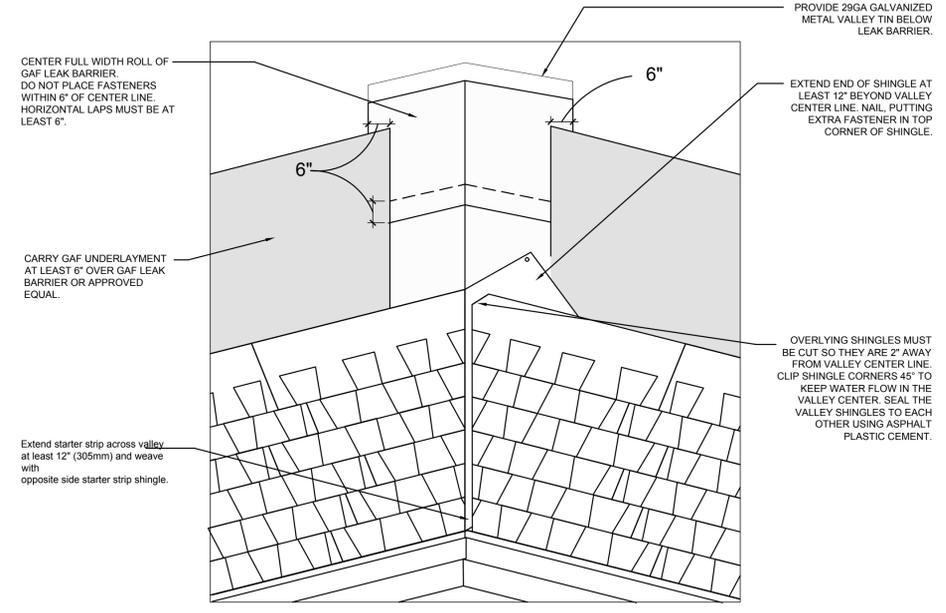


SHINGLE INSTALLATION DETAIL

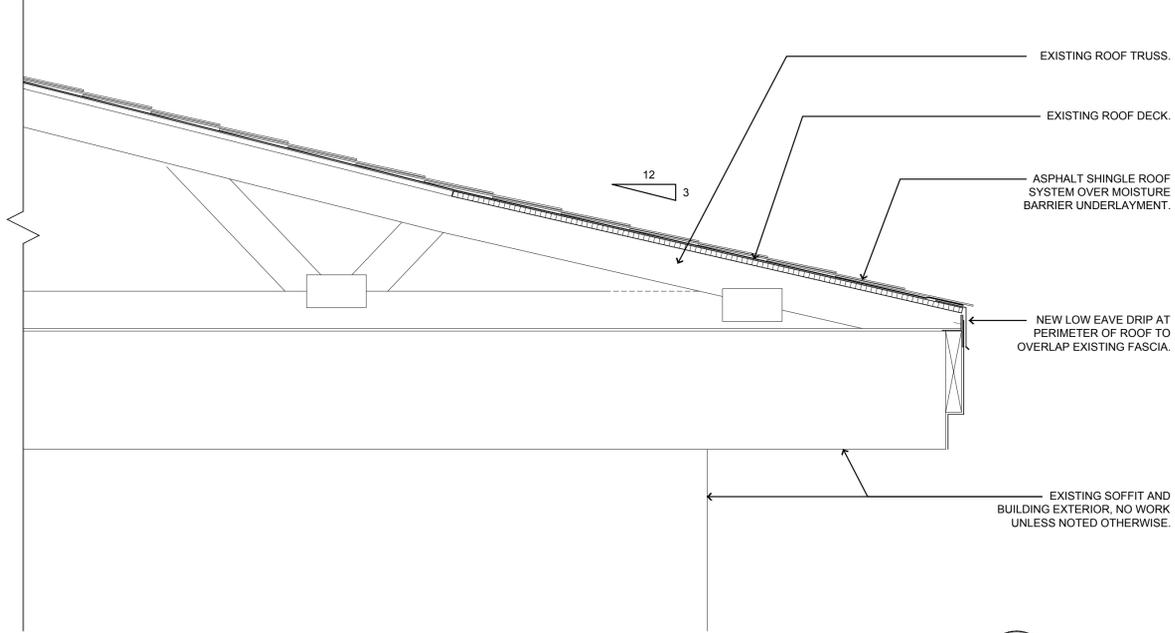
TYPICAL ROOFING DETAIL 3
N.T.S. A200

- NOTES:**
1. CONTINUE EACH COURSE WITH WHOLE SHINGLES.
 2. STRIKE A CHALK LINE ABOUT EVERY 6 COURSES TO CHECK PARALLEL ALIGNMENT WITH EAVES.

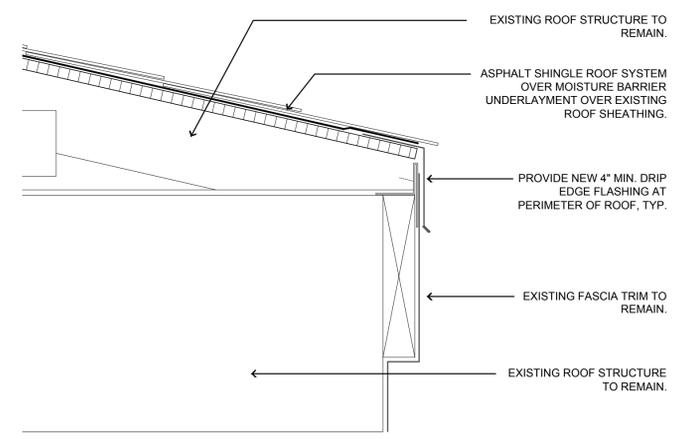
PLACE FIRST COURSE OF SHINGLES 1/4" - 3/4" OVER EAVE AND RAKE EDGES, COVERING STARTER COURSE OVERHANG, TO PROVIDE DRIP EDGE.



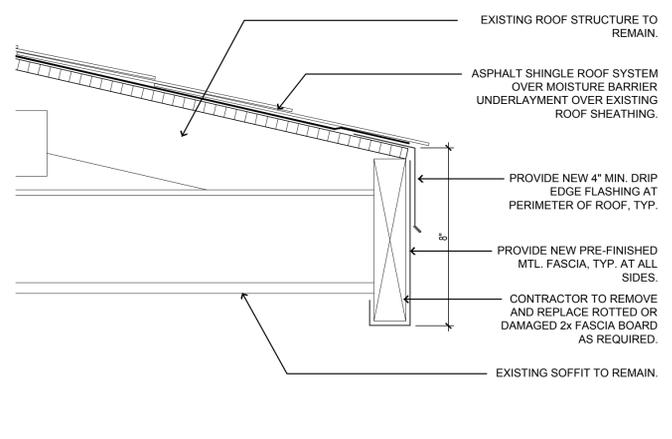
TYPICAL ROOFING DETAIL 4
N.T.S. A200



TYPICAL ROOF EAVE 5
1-1/2" = 1'-0" A200



ENLARGED ROOF EAVE DTL. 6
3" = 1'-0" A200



ENLARGED ROOF EAVE DTL. 7
3" = 1'-0" A200

STATE OF NEW MEXICO
ABELARDO NATIVIDAD
NO. 004727
06.12.19

REROOF PROJECT

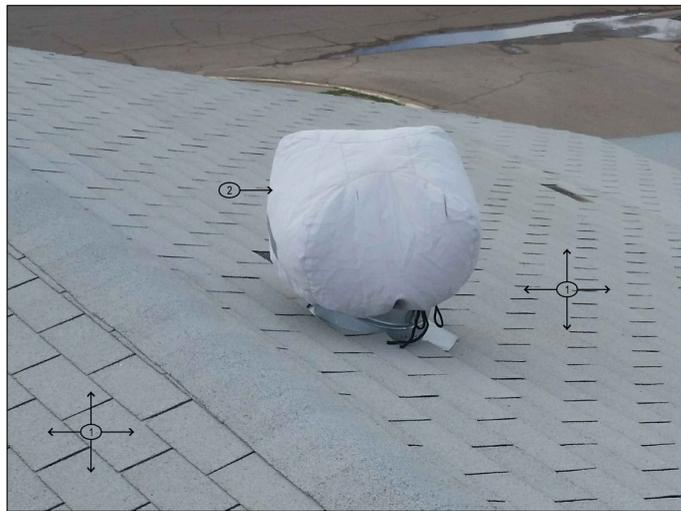
Alamogordo Housing
Authority Complex, Office
and Cuba Residence Reroof
Bid Lot # 2

104 Avenida Amigos
Alamogordo, New Mexico

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**TYPICAL
ROOFING
DETAILS
A200**



ROOF IMAGE 1
N.T.S. A300



ROOF IMAGE 2
N.T.S. A300



ROOF IMAGE 3
N.T.S. A300



ROOF IMAGE 4
N.T.S. A300



ROOF IMAGE 5
N.T.S. A300



ROOF IMAGE 6
N.T.S. A300



ROOF IMAGE 7
N.T.S. A300



ROOF IMAGE 8
N.T.S. A300



ROOF IMAGE 9
N.T.S. A300

KEYED NOTES

- EXISTING ROOF SYSTEM TO BE REMOVED IN ITS ENTIRETY DOWN TO ROOF DECK AND REPLACED WITH NEW ROOF SYSTEM AS SHOWN ON DRAWINGS AND SPECIFICATIONS.
- REMOVE EXISTING WHIRLYBIRD ATTIC VENTS AND REPLACE WITH NEW TO MATCH EXISTING.
- REMOVE EXISTING ATTIC VENT AND PATCH ROOF DECK AS REQUIRED FOR NEW ROOF INSTALLATION. REPLACE FLASHING AT ALL ROOF VENT PENETRATIONS, TYP.
- FLASH AND SEAL ALL SERVICE LINES, ELECTRICAL, GAS, WATER, AND CONDENSATE LINES TO ROOF TOP UNITS FOR A WATER TIGHT SEAL.
- FLASH NEW ROOF SYSTEM TO EXISTING HVAC ROOF CURBS, CONTRACTOR IS TO NOTIFY OWNER IF ANY ITEMS ARE IN NEED OF REPLACEMENT.
- EXISTING ELECTRICAL SERVICE CONDUIT TO REMAIN, CONTRACTOR IS TO CAREFULLY REMOVE EXISTING FLASHING BOOT AND REUSE UPON NEW ROOF INSTALLATION, CONTRACTOR IS TO VERIFY A WATER TIGHT SEAL.



REROOF PROJECT

Alamogordo Housing
Authority Complex, Office
and Cuba Residence Reroof
Bid Lot # 2

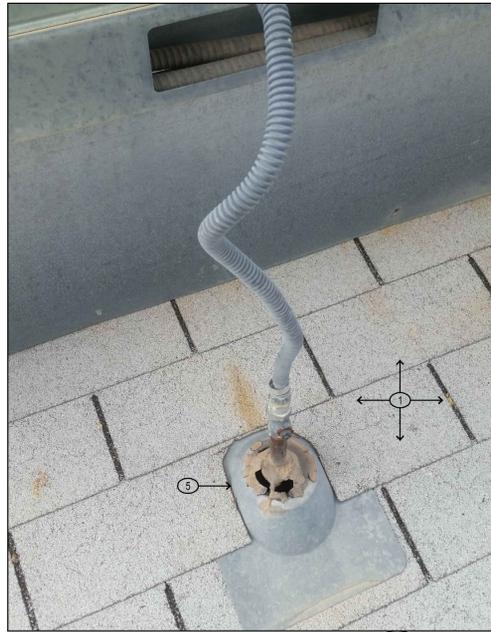
104 Avenida Amigos
Alamogordo, New Mexico

REVISION DATE

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Sheet:

ROOF IMAGES

A300



ROOF IMAGE 1
N.T.S. A300



ROOF IMAGE 2
N.T.S. A300



ROOF IMAGE 3
N.T.S. A300



ROOF IMAGE 4
N.T.S. A300



ROOF IMAGE 5
N.T.S. A300



ROOF IMAGE 6
N.T.S. A300



ROOF IMAGE 7
N.T.S. A300



ROOF IMAGE 8
N.T.S. A300



ROOF IMAGE 9
N.T.S. A300

KEYED NOTES

1. EXISTING ROOF SYSTEM TO BE REMOVED IN ITS ENTIRETY DOWN TO ROOF DECK AND REPLACED WITH NEW ROOF SYSTEM AS SHOWN ON DRAWINGS AND SPECIFICATIONS.
2. NOT USED.
3. REMOVE EXISTING ATTIC VENT AND PATCH ROOF DECK AS REQUIRED FOR NEW ROOF INSTALLATION.
4. NOT USED.
5. FLASH AND SEAL ALL SERVICE LINES, ELECTRICAL, GAS, WATER, AND CONDENSATE LINES TO ROOF TOP UNITS FOR A WATER TIGHT SEAL.
6. FLASH NEW ROOF SYSTEM TO EXISTING HVAC ROOF CURBS, CONTRACTOR IS TO NOTIFY OWNER IF ANY ITEMS ARE IN NEED OF REPLACEMENT.
7. NOT USED.



REROOF PROJECT

Alamogordo Housing
Authority Complex, Office
and Cuba Residence Reroof
Bid Lot # 2

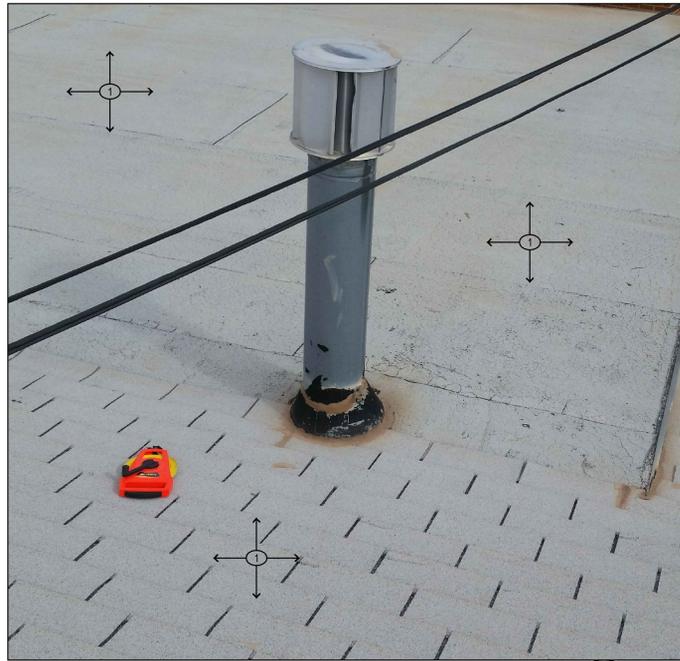
104 Avenida Amigos
Alamogordo, New Mexico

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Sheet:

ROOF IMAGES

A301



ROOF IMAGE 1
N.T.S. A302



ROOF IMAGE 2
N.T.S. A302



ROOF IMAGE 3
N.T.S. A302



ROOF IMAGE 4
N.T.S. A302



ROOF IMAGE 5
N.T.S. A302

KEYED NOTES

1. EXISTING ROOF SYSTEM TO BE REMOVED IN ITS ENTIRETY DOWN TO ROOF DECK AND REPLACED WITH NEW ROOF SYSTEM AS SHOWN ON DRAWINGS AND SPECIFICATIONS.
2. REMOVE EXISTING WHIRLYBIRD ATTIC VENTS AND REPLACE WITH NEW TO MATCH EXISTING.
3. NOT USED.
4. REPLACE FLASHING AT ALL ROOF VENTS AND ROOF PENETRATIONS, TYP.
5. NOT USED.
6. NOT USED.
7. NOT USED.



REROOF PROJECT

Alamogordo Housing Authority Complex, Office and Cuba Residence Reroof Bid Lot # 2

104 Avenida Amigos
Alamogordo, New Mexico

REVISION	DATE

Project no: 18.53
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ROOF IMAGES

A302



ROOF IMAGE **1**
N.T.S. **A303**



ROOF IMAGE **2**
N.T.S. **A303**



ROOF IMAGE **3**
N.T.S. **A303**



ROOF IMAGE **4**
N.T.S. **A303**



ROOF IMAGE **5**
N.T.S. **A303**



ROOF IMAGE **6**
N.T.S. **A303**

KEYED NOTES

1. EXISTING ROOF SYSTEM TO BE REMOVED IN ITS ENTIRETY DOWN TO ROOF DECK AND REPLACED WITH NEW ROOF SYSTEM AS SHOWN ON DRAWINGS AND SPECIFICATIONS.
2. NOT USED.
3. REMOVE EXISTING ATTIC VENT AND PATCH ROOF DECK AS REQUIRED FOR NEW ROOF INSTALLATION.
4. REPLACE FLASHING AT ALL ROOF VENT PENETRATIONS, TYP.
5. FLASH AND SEAL ALL SERVICE LINES, ELECTRICAL, GAS, WATER, AND CONDENSATE LINES TO ROOF TOP UNITS FOR A WATER TIGHT SEAL.
6. FLASH NEW ROOF SYSTEM TO EXISTING HVAC ROOF CURBS. CONTRACTOR IS TO NOTIFY OWNER IF ANY ITEMS ARE IN NEED OF REPLACEMENT.
7. REPLACE FLASHING BOOT AT RTU ELECTRICAL/GAS.



REROOF PROJECT

Alamogordo Housing
Authority Complex, Office
and Cuba Residence Reroof
Bid Lot # 2

104 Avenida Amigos
Alamogordo, New Mexico

REVISION	DATE

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Date: June 2019
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ROOF IMAGES

A303

Alamogordo Housing Authority Complex, Office and Cuba Residence Reroof

2408 Cuba Avenue
Alamogordo, New Mexico

CONSTRUCTION DOCUMENTS

date 6.07.19
project no. 18.53

PUBLIC WORKS BID NO. 2019-004



REROOF PROJECT

Alamogordo Housing Authority Complex, Office and Cuba Residence Reroof
Bid Lot # 3

2408 Cuba Avenue
Alamogordo, New Mexico

REVISION	DATE

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Date: June 2019
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PROJECT DATA

PROJECT TO BE A LEVEL 1 ALTERATION AS DESCRIBED IN SECTION 403 AND IN COMPLIANCE WITH CHAPTER 6 OF THE INTERNATIONAL EXISTING BUILDING CODE.

- NO AREA INCREASE
- NO OCCUPANCY CHANGE OR INCREASE IN OCCUPANT LOAD

REGULATING CODES

INTERNATIONAL BUILDING CODE	2015
UNIFORM MECHANICAL CODE	2015
UNIFORM PLUMBING CODE	2015
INTERNATIONAL FIRE CODE	2015
NATIONAL ELECTRIC CODE	2017
NEW MEXICO ELECTRICAL CODE	2017
AMERICAN NATIONAL STANDARDS INSTITUTE A117.1	2003
NEW MEXICO BUILDING CODE	2015

ABBREVIATIONS

ACT	ACOUSTICAL TILE
ADU	AIR HANDLER UNIT
ADA	AMERICANS WITH DISABILITIES ACT
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
ASPH	ASPHALT
B.O.F.	BOTTOM OF FOOTING
C&G	CURB & GUTTER
C.J.	CONTROL JOINT
CL	CENTER LINE
CMU	CONCRETE MASONRY UNIT
C.O.L.C.	CITY OF LAS CRUCES
CONC	CONCRETE
DEG	DEGREES
DEMO	DEMOLISH, DEMOLITION
DET	DETAIL
DG	DOOR GRILLE
DS	DOWNSPOUT
DUMP	DUMPSTER
EL & ELEC	ELECTRICAL COMPONENT
EXST	EXISTING
E.J.	EXPANSION JOINT
FD	FIRE DAMPER
FE	FIRE EXTINGUISHER
F.F.	FINISH FLOOR
FP	FLAG POLE
F.O.B.	FACE OF BRICK
F.O.S.	FACE OF STUD/ FACE OF SLAB
GA	GAUGE
GALV	GALVANIZED
GS	GAS METER
GYP BD	GYPSUM BOARD
HVC	HANDICAPPED
HDW	HARDWARE
H.M.	HOLLOW METAL
HT	HEIGHT
LP	LIGHT POLE
MATL	MATERIAL
MAX	MAXIMUM
MD	MOTION DETECTOR
MH	MANHOLE
MIN	MINIMUM
MTL	METAL
N.I.C.	NOT IN CONTRACT
NO	NUMBER
OC	ON CENTER
P	PAINT AND COLOR NO.
PL	PLASTIC LAMINATE AND COLOR NO.
PT	PRESSURE TREATED
PVC	POLY VINYL CHLORIDE
RAD	RADIUS
REINF	REINFORCING
RET	RETAINING
SCWD	SOLID CORE WOOD
SIM	SIMILAR
SHT	SHEET
SQ	SQUARE
STL	STEEL
THK	THICK
T.J.	TOOLED JOINT
T.O.B.	TOP OF BRICK
T.O.C.	TOP OF CURB
T.O.C.W.	TOP OF CONCRETE WALK
T.O.P.	TOP OF PARAPET
T.O.W.	TOP OF WALL STRUCTURE
TRNS	TRANSFORMER
T.S.	TUBE STEEL
TYP	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
USPS	UNITED STATES POSTAL SERVICE
UW	UTILITY WELL
VCT	VINYL COMPOSITION TILE
W.C.O.	WALL CLEAN OUT
WD	WOOD
WH	WALL HYDRANT
WL	WELL
WP	WATER PIPE
WM	WATER METER
WT	WATER
WWF	WELDED WIRE FABRIC
WWM	WOVEN WIRE MESH

DRAWING INDEX

COVER SHEET
ARCHITECTURAL
AS100 SITE PLAN
A100 ROOF PLAN, ROOF IMAGES
A200 TYPICAL ROOFING DETAILS

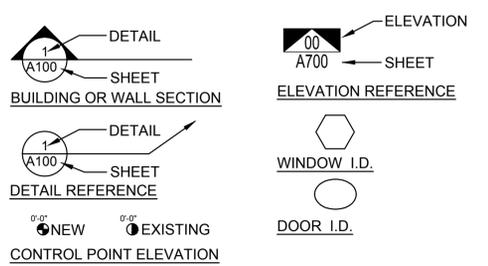
PROJECT TEAM

OWNER	ARCHITECT
ALAMOGORDO HOUSING AUTHORITY 104 AVENIDA AMIGOS ALAMOGORDO, NM 88310 P 575.437.5621 F 575.439.4104	STUDIO D ARCHITECTS 509 S. MAIN, STE D LAS CRUCES, NM 88001 P 575.521.3757 F 575.521.3880
CONTACT: MARISSA RUIZ, CPHM, HOUSING AUTHORITY MANAGER	CONTACT: ABELARDO NATIVIDAD

SITE REQUIREMENTS

THIS PROJECT IS STRICTLY A BUILDING REROOF PROJECT TO CONSIST OF THE INSTALLATION OF A NEW ASPHALT SHINGLE ROOF SYSTEM TO BE INSTALLED OVER THE EXISTING BUILDINGS WOOD ROOF DECK. ALL SITE REQUIREMENTS ARE EXISTING AND ARE TO REMAIN UNCHANGED UNDER THE CONTRACT FOR THIS PROJECT.

SYMBOLS / REFERENCE TAGS



OCCUPANCY LOAD

THIS PROJECT IS STRICTLY A BUILDING REROOF PROJECT. NO SQUARE FOOTAGE WILL BE ADDED OR REMOVED FROM THE BUILDING. THE BUILDINGS EXISTING OCCUPANT LOAD IS TO REMAIN UNCHANGED.

PLUMBING FIXTURE REQUIREMENTS

THIS PROJECT IS STRICTLY A BUILDING REROOF PROJECT. THE BUILDINGS EXISTING OCCUPANT LOAD IS TO REMAIN UNCHANGED. THEREFORE THE PLUMBING FIXTURE REQUIREMENTS ARE TO REMAIN UNCHANGED.

PROJECT LOCATION



VICINITY MAP

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SITE PLAN 1
 1" = 10'-0" AS100

GENERAL NOTES

- A. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON PLANS AND EXISTING SITE. THE ARCHITECT SHALL BE NOTIFIED OF CONFLICTS OR VARIATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- B. THE ARCHITECT PRODUCING THESE PLANS WILL NOT BE RESPONSIBLE FOR FIELD CHANGES AND DECISIONS UNLESS NOTIFIED IN WRITING OF CHANGES AND THEN ONLY BY WRITTEN APPROVAL BY THE ARCHITECT.
- C. ALL SCALE PLAN DIMENSIONS ARE TO EXISTING FINISHES UNLESS OTHERWISE NOTED.
- D. CONTRACTOR SHALL NOT SCALE DRAWINGS. IN THE EVENT OF OMISSION OF DIMENSIONS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO WILL LEAVE THE CONTRACTOR SOLELY RESPONSIBLE FOR ANY DISCREPANCIES, CORRECTIONS, ETC., RESULTING FROM THE SAME.
- E. THE CONTRACTOR SHALL PROVIDE PROTECTION AS NECESSARY TO PREVENT DAMAGE TO THE EXISTING CONSTRUCTION NOT TO BE REMOVED UNDER CONTRACT AND ANY/ALL ITEMS INDICATED TO REMAIN IN PLACE.
- F. ANY AND ALL ITEMS DAMAGED DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR TO A LIKE NEW CONDITION AT HIS EXPENSE.
- G. THE CONTRACTOR SHALL CLEAN UP ALL DEBRIS CAUSED BY THE WORK OF THIS PROJECT AND SHALL SOLELY BE RESPONSIBLE FOR KEEPING THE PREMISES CLEAN AND NEAT AT ALL TIMES.
- H. THERE SHALL BE LITTLE IF NO INTERRUPTION TO THE ADJACENT RESIDENCES OR ADJACENT BUILDING OPERATIONS DURING THE COURSE OF CONSTRUCTION.
- I. ANY AND ALL CONFLICTS FOUND DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING, SO THAT ADDITIONAL INSTRUCTIONS CAN BE FORWARDED TO THE CONTRACTOR.
- J. THE CONTRACTOR SHALL NOT INSTALL ANY MATERIAL, PRODUCT, ETC. WHICH CONTAINS ASBESTOS OR OTHER TOXIC SUBSTANCES. IF ANY MATERIAL, PRODUCT, ETC. DOES CONTAIN ANY OF THE ABOVE, THE CONTRACTOR SHALL SUBMIT AN EQUAL SUBSTITUTION FOR THE OWNER'S APPROVAL PRIOR TO INSTALLATION. AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL CERTIFY IN WRITING ON COMPANY LETTER HEAD THAT HE IS IN COMPLIANCE.
- K. IF THE CONTRACTOR SUSPECTS THE PRESENCE OF ASBESTOS CONTAINING MATERIALS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY. THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE REMOVAL AND/OR CONTAINMENT OF ALL SUCH MATERIALS. IN ACCORDANCE WITH THE APPLICABLE LAW. ADJUSTMENT TO THE CONSTRUCTION SCHEDULE WILL BE CONSIDERED IF ABATEMENT IS REQUIRED. ANY ASBESTOS REMOVAL WORK SHALL BE COORDINATED BY THE GENERAL CONTRACTOR. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE DETECTION, PRESENCE OR REMOVAL OF ASBESTOS CONTAINING MATERIALS.
- L. THE CONTRACTOR SHALL PROVIDE ALL BARRICADES, FENCES, COVERED WALKS, PLANKING, FENCES LIGHTING, BRACING, SHORING, WARNING SIGNS, GUARDS, ETC. AS REQUIRED FOR PROTECTION OF WORKMEN, THE PUBLIC, BUILDING OCCUPANTS AND ADJOINING PROPERTIES.

GENERAL REROOF NOTES

- A. THE CONTRACTOR IS TO PROVIDE A COMPLETE AND FINISHED ROOF SYSTEM, ANY ITEMS TYPICALLY REQUIRED FOR A COMPLETE SYSTEM BUT NOT SPECIFICALLY CALLED OUT SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- B. THE CONTRACTOR IS TO FIELD VERIFY ALL UNITS SCHEDULED FOR WORK AND EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- C. THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY FOR PROJECT.
- D. DURING ALL PHASES OF THE PROJECT, ALL MATERIAL STORAGE AND CONTRACTOR EMPLOYEE PARKING IS TO BE CONFINED TO AREAS OF CONSTRUCTION AND AS COORDINATED WITH OWNER.
- E. CONTRACTOR IS TO PROVIDE NEW FLASHING AT ALL ROOF PENETRATIONS, ALL ROOF PENETRATIONS MUST BE SEALED WATER TIGHT.
- F. PRIOR TO INSTALLATION OF NEW ROOF, CONTRACTOR IS TO VERIFY:
 - F.A. THAT THE EXISTING ROOF DECK IS SECURELY ATTACHED TO THE ROOF FRAMING SYSTEM.
 - F.B. THAT THE EXISTING ROOF DECK IS STRUCTURALLY SOUND AND THAT ALL ROTTED OR DETERIORATED COMPONENTS HAVE BEEN REPLACED AND OR REINFORCED WITH STRUCTURALLY SOUND MATERIAL EQUAL TO OR STRONGER THAN NEW CONDITION.
 - F.C. THAT THE EXISTING ROOF ASSEMBLY ABOVE THE DECK LINE IS DRY OR OTHERWISE NOT DETERIORATED, MOISTURE MUST NOT BE TRAPPED WITHIN THE NEW ROOF ASSEMBLY.
 - F.D. THAT THE ROOF DRAINAGE IS SUFFICIENT TO PREVENT ACCUMULATION OF WATER ON ROOF OR ON EDGES.



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REROOF PROJECT

Alamogordo Housing
 Authority Complex, Office
 and Cuba Residence Reroof
 Bid Lot # 3

2408 Cuba Avenue
 Alamogordo, New Mexico

REVISION	DATE

Project no: 18.53
 Date: June 2019
 Sheet:

SITE PLAN

AS100



REROOF PROJECT

Alamogordo Housing
Authority Complex, Office
and Cuba Residence Reroof
Bid Lot # 3

2408 Cuba Avenue
Alamogordo, New Mexico

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR IS TO REMOVE THE EXISTING ASPHALT SHINGLE ROOFING SYSTEM AND ROOFING UNDERPAYMENT TO EXISTING WOOD DECK AND PREPARE SUBSTRATE FOR NEW ROOF SYSTEM TO BE INSTALLED.
2. THE CONTRACTOR IS TO REMOVE ALL EXISTING EDGE FLASHING AND ROOF PENETRATION FLASHINGS AND REPLACE WITH NEW TO MATCH EXISTING PRIOR TO INSTALLATION OF NEW ROOF SYSTEM.
3. THE EXISTING WOOD DECK IS TO BE REMOVED 4'-0" FROM PERIMETER EDGE OF ALL ROOFS AND REPLACED WITH NEW 1/2" O.S.B. WOOD DECK PRIOR TO INSTALLATION OF NEW ROOF SYSTEM.

KEYED NOTES (F.P.)

1. REMOVE EXISTING ROOF SYSTEM AND MOISTURE BARRIER UNDERLAYMENT AS STATED IN ROOFING GENERAL NOTES AND REPLACE WITH NEW ASPHALT SHINGLE SYSTEM AND NEW UNDERLAYMENT AS SPECIFIED.
2. CONTRACTOR TO PROVIDE NEW 4" MIN. NON-CORROSIVE METAL DRIP EDGE AT ALL ROOF EDGES.
3. PROVIDE RIDGE CAP SHINGLES AS REQUIRED BY MANUFACTURER INSTALLATION INSTRUCTIONS.
4. PROVIDE VALLEY LEAK BARRIER AND 29GA. GALVANIZED VALLEY TIN AT ALL VALLEY CONDITIONS AND INSTALL PER MANUFACTURER INSTALLATION INSTRUCTIONS.
5. REPLACE ALL FLASHING WITH NEW AT ALL ROOF VENT AND ROOF PENETRATIONS, SEE IMAGES ON THIS SHEET.
6. CONTRACTOR TO PROVIDE NEW GAF 14" MASTER FLOW ROTARY TURBINE ATTIC VENT SYSTEM AS SHOWN OR APPROVED EQUAL. CONTRACTOR IS TO CUT HOLES IN EXISTING ROOF DECK AND INSTALL NEW VENT SYSTEM AS PER MANUFACTURER REQUIREMENTS.
7. EXISTING EVAPORATIVE COOLER. CONTRACTOR IS TO REMOVE EVAP COOLER AS REQUIRED BY NEW WORK.
8. REMOVE EXISTING DOWN DRAFT EVAP COOLER DUCT AND PROVIDE NEW TO MATCH EXISTING. CONTRACTOR IS TO FLASH NEW DUCT TO NEW ROOF SYSTEM FOR A WATER TIGHT SEAL.

ROOFING SPECIFICATIONS

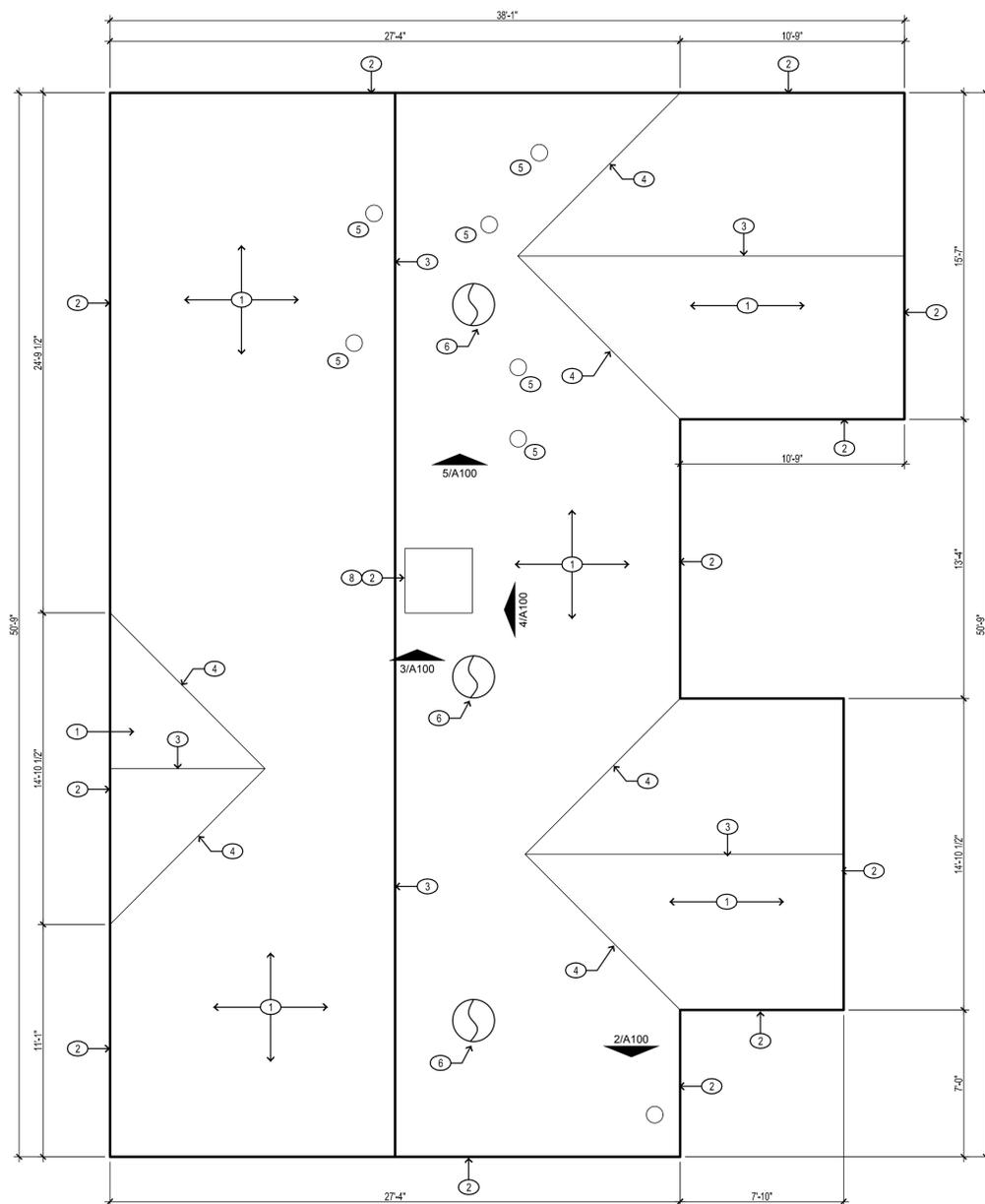
ROOF SHINGLES - GAF TIMBERLINE ULTRA HD LIFETIME HIGH DEFINITION SHINGLES WITH 50 YR. COVERAGE WARRANTY OR APPROVED EQUAL.

- ASPHALT/FIBERGLASS SHINGLES
- 110 MPH WIND RATING MINIMUM
- PROVIDE ALL REQUIRED ACCESSORIES
 - STARTER STRIP SHINGLES
 - LEAK BARRIERS
 - EDGE FLASHING
 - RIDGE CAP SHINGLES

ROOF DECK UNDERLAYMENT - GAF DECK ARMOR 10 ROOF DECK PROTECTION OR APPROVED EQUAL. INSTALL PER MANUFACTURER REQUIREMENTS.

KEYED NOTES (IMAGES)

1. EXISTING ROOF SYSTEM TO BE REMOVED IN ITS ENTIRETY DOWN TO ROOF DECK AND REPLACED WITH NEW ROOF SYSTEM AS SHOWN ON DRAWINGS AND SPECIFICATIONS.
2. REPLACE FLASHING AT ALL ROOF VENT PENETRATIONS, TYP.
3. REPLACE FLASHING AT ALL HEATER/FURNACE FLUES.
4. FLASH AND SEAL ALL SERVICE LINES, ELECTRICAL, GAS, WATER, AND CONDENSATE LINES TO ROOF TOP UNITS FOR A WATER TIGHT SEAL.
5. CONTRACTOR IS TO REMOVE AND REPLACE EVAP COOLER DOWN DRAFT ROOF CURB. FLASH NEW ROOF TO NEW CURB FOR WATER TIGHT SEAL.
6. CONTRACTOR TO REMOVE AND REINSTALL EVAP COOLER AND EVAP COOLER SUPPORTS. SET EVAP COOLER ONTO NEW DOWNDRAFT DUCT AND ANCHOR SUPPORTS TO ROOF USING ACCEPTABLE ANCHORING METHODS AND SEAL FOR WATERTIGHT SEAL.
7. EXISTING ELECTRICAL SERVICE CONDUIT TO REMAIN. CONTRACTOR IS TO CAREFULLY REMOVE EXISTING FLASHING BOOT AND REUSE UPON NEW ROOF INSTALLATION. CONTRACTOR IS TO VERIFY A WATER TIGHT SEAL.
8. EXISTING TELEVISION DISH TO BE REMOVED AND RELOCATED BY OTHERS.



ROOF PLAN CUBA BUILDING

1
A100

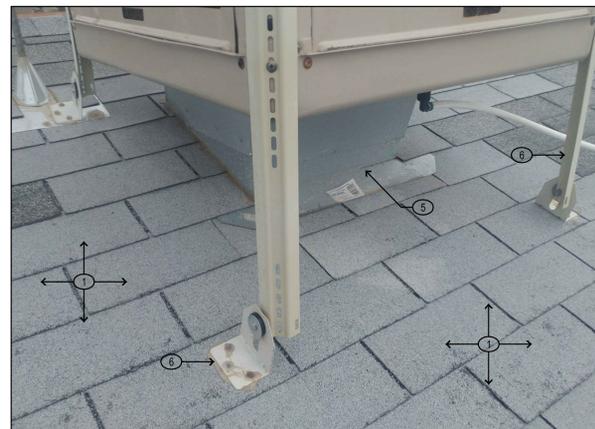
1/4" = 1'-0"



ROOF IMAGE (EXIST.) 2
N.T.S. A100



ROOF IMAGE (EXIST.) 3
N.T.S. A100



ROOF IMAGE (EXIST.) 4
N.T.S. A100



ROOF IMAGE (EXIST.) 5
N.T.S. A100

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ROOF PLAN
CUBA BUILDING

A100

REROOF PROJECT

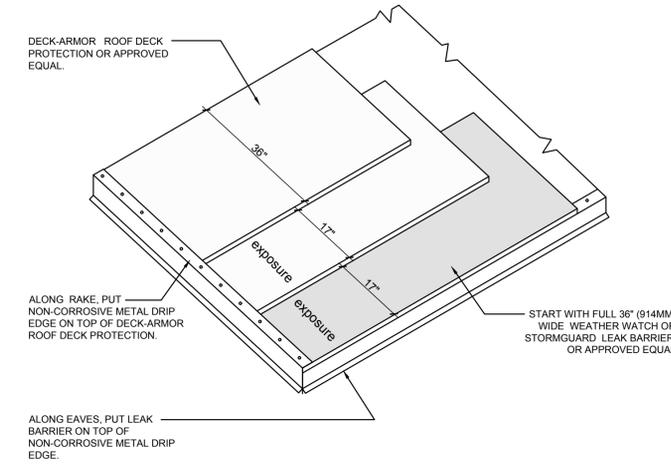
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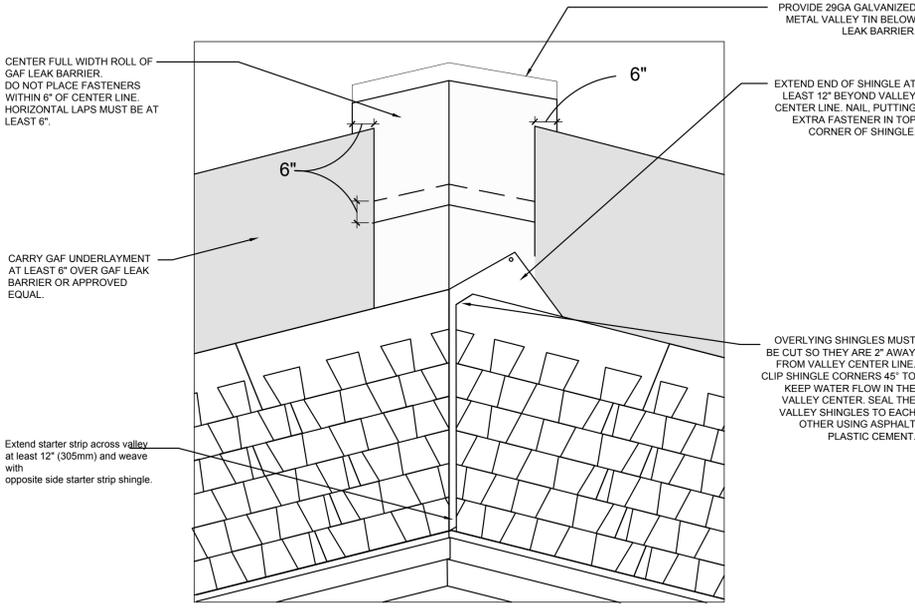
Project no: 18.53
Date: June 2019
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TYPICAL ROOFING DETAILS
A200



DECK ARMOR 4 sq. INSTALLATION DETAIL
FOR ROOF SLOPES 2:12 TO LESS THAN 4:12

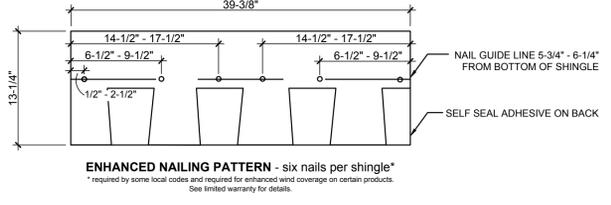
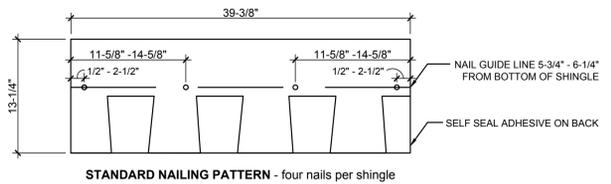
TYPICAL ROOFING DETAIL 1
N.T.S. A200



TYPICAL ROOFING DETAIL @ VALLEY 4
N.T.S. A200

NOTE: NAILING PATTERN SHALL COMPLY WITH THE REQUIREMENTS OF MANUFACTURER FOR LOW ROOF SLOPE AND HIGH WIND AREAS.

THESE SHINGLES MUST BE NAILED A NOMINAL 6" (152MM) FROM BOTTOM OF OF SHINGLE, ABOVE THE CUT OUTS, AS SHOWN. NAILS MUST NOT BE EXPOSED.



NAIL PLACEMENT DETAIL

TYPICAL ROOFING DETAIL 2
N.T.S. A200

SHINGLE INSTALLATION
START AT EITHER RAKE AND LAY IN EITHER DIRECTION

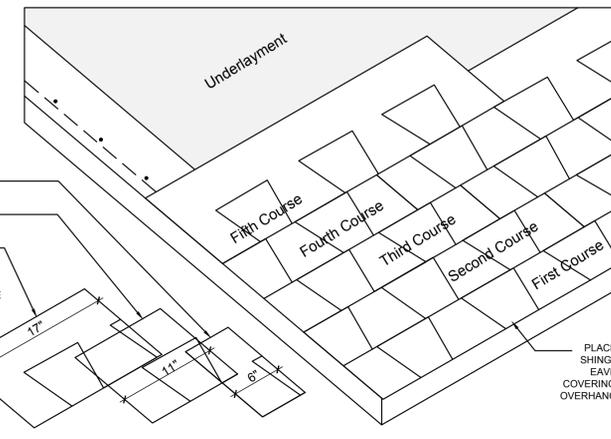
FIRST COURSE:
START WITH FULL SHINGLE

SECOND COURSE:
TRIM 6" OFF FIRST SHINGLE

THIRD COURSE:
TRIM 11" OFF FIRST SHINGLE

FOURTH COURSE:
TRIM 17" OFF FIRST SHINGLE

REMAINING COURSES:
REPEAT THE 1ST - 4TH COURSE INSTRUCTIONS ON THE REMAINING COURSES, STARTING THE FIFTH COURSE WITH A FULL SHINGLE.

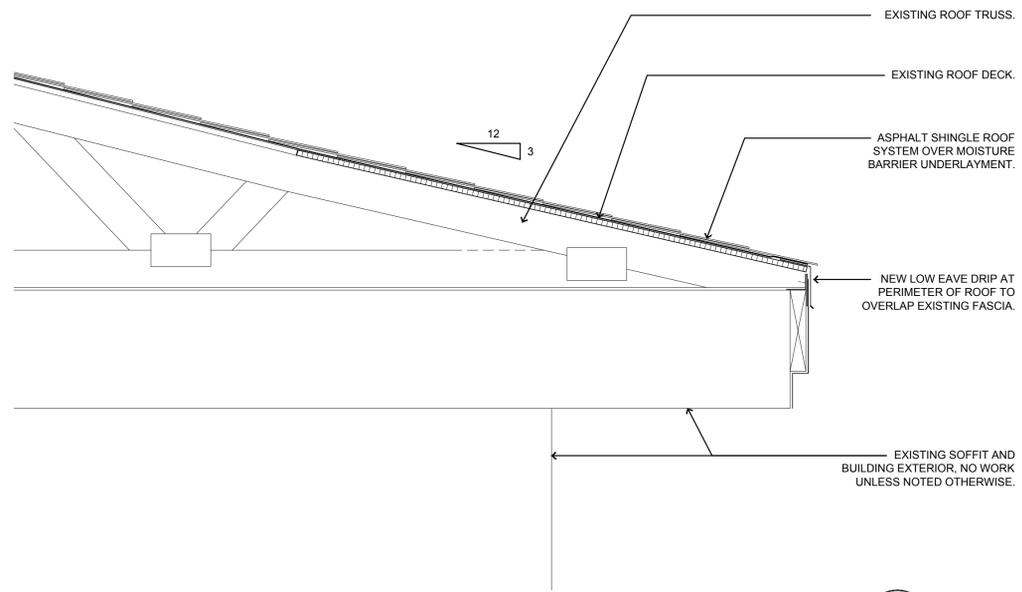


- NOTES:**
1. CONTINUE EACH COURSE WITH WHOLE SHINGLES.
 2. STRIKE A CHALK LINE ABOUT EVERY 6 COURSES TO CHECK PARALLEL ALIGNMENT WITH EAVES.

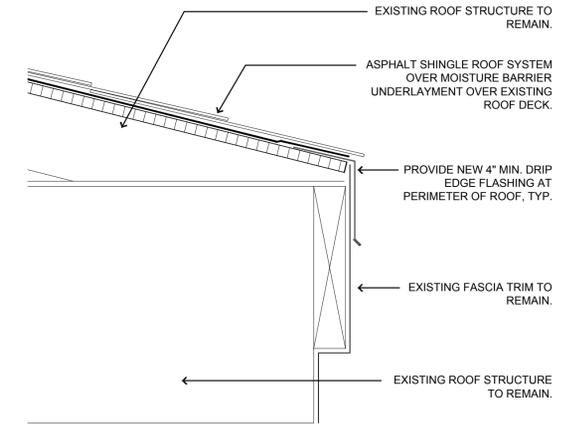
PLACE FIRST COURSE OF SHINGLES 1/4" - 3/4" OVER EAVE AND RAKE EDGES, COVERING STARTER COURSE OVERHANG, TO PROVIDE DRIP EDGE.

SHINGLE INSTALLATION DETAIL

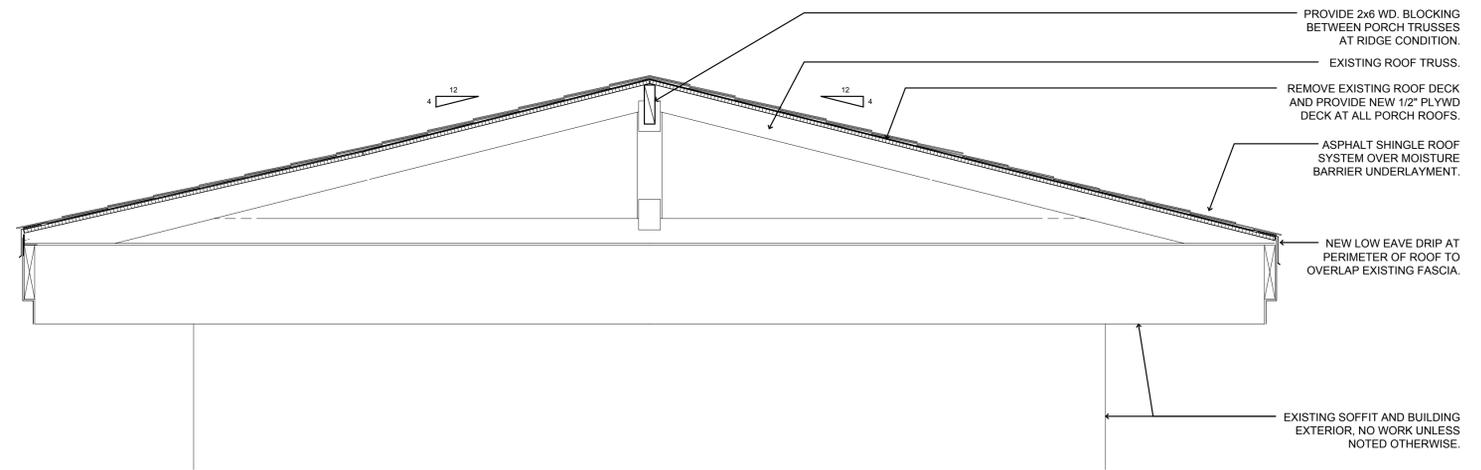
TYPICAL ROOFING DETAIL 3
N.T.S. A200



TYPICAL ROOF EAVE 5
1-1/2" = 1'-0" A200



ENLARGED ROOF EAVE DTL. 6
3" = 1'-0" A200



TYPICAL PORCH ROOF 8
N.T.S. A200

NOT USED 7
1/2" = 1'-0" A200