

SHEET INDEX

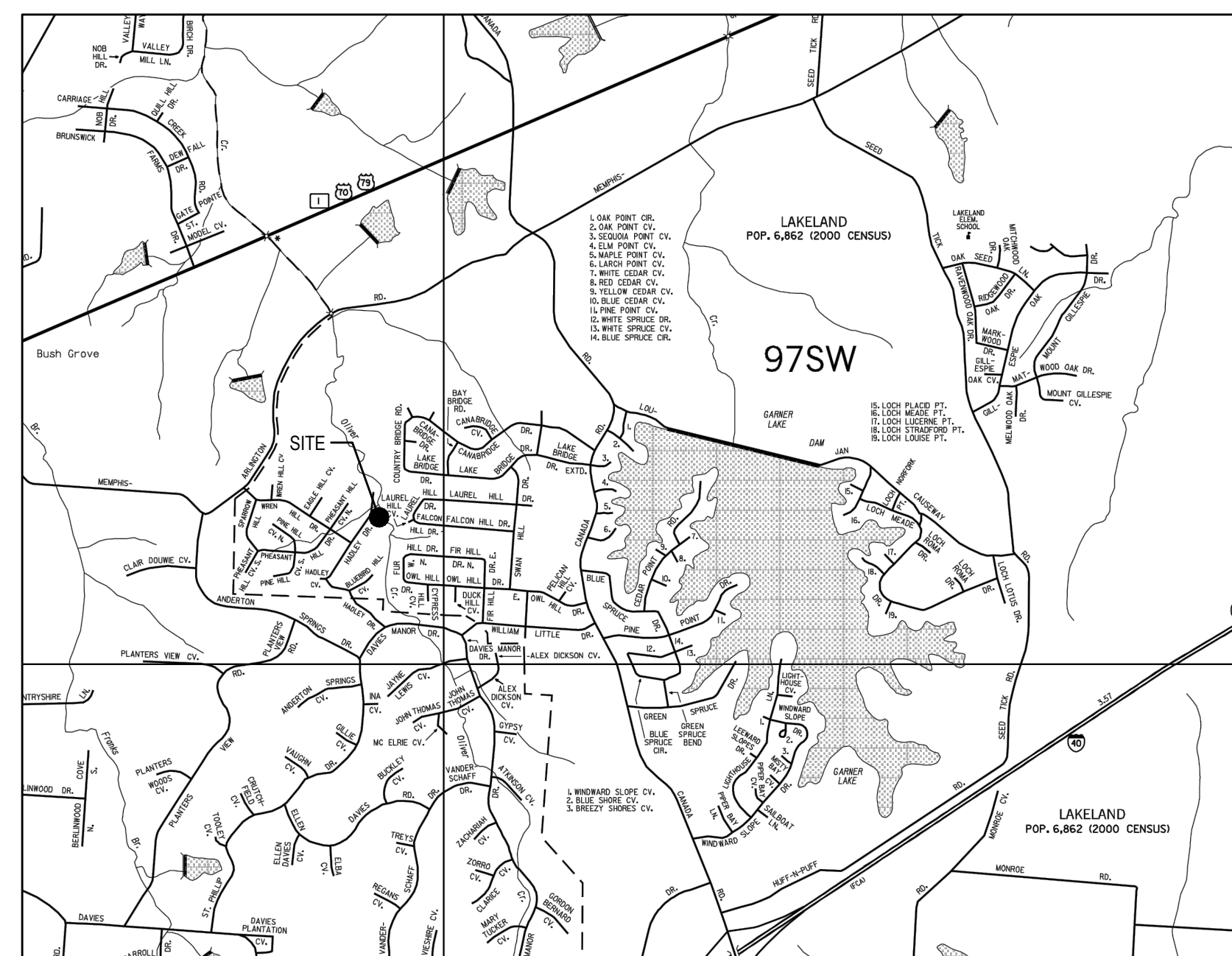
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DESIGN DOCUMENTS

SEPTEMBER 22, 2023

PLANTATION HILLS SUBDIVISION BANK STABILIZATION

4196 HADLEY DRIVE
LAKELAND, TN 38002



VICINITY MAP

N.T.S



Pickering Firm, Inc.
 Architecture • Engineering
 Planning • Surveying

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K:\26689.00\CAD\PLANS\C-000 COVER SHEET.DWG

LINE LEGEND	
----- D ----- D ----- D -----	EXISTING STORM DRAINAGE
----- T ----- T ----- T -----	EXISTING OVERHEAD TELEPHONE LINES
----- UGT ----- UGT -----	EXISTING UNDERGROUND TELEPHONE LINES
----- OHE ----- OHE -----	EXISTING OVERHEAD ELECTRIC LINES
----- UGE ----- UGE -----	EXISTING UNDERGROUND ELECTRIC LINES
----- G ----- G ----- G -----	EXISTING NATURAL GAS LINE
----- W ----- W ----- W -----	EXISTING WATER LINE
----- SS ----- SS ----- SS -----	EXISTING SANITARY SEWER LINE
----- X ----- X ----- X ----- X -----	EXISTING FENCE
----- T ----- T -----	OVERHEAD TELEPHONE LINES
----- UGT ----- UGT -----	UNDERGROUND TELEPHONE LINES
----- OHE ----- OHE -----	OVERHEAD ELECTRIC LINES
----- UGE ----- UGE -----	UNDERGROUND ELECTRIC LINES
----- G ----- G -----	NATURAL GAS LINE
----- W ----- W -----	WATER LINE
----- SS ----- SS -----	SANITARY SEWER LINE
----- X ----- X ----- X ----- X -----	FENCE

SYMBOL LEGEND		ABBREVIATIONS	
⊕	POWER POLE	EP	EDGE OF PAVEMENT
⊙	METAL TRAFFIC POLE	ROW	RIGHT OF WAY
⊕	LIGHT POLE	CL	CENTERLINE
⊕	ELECTRIC BOX	RCP	REINFORCED CONCRETE PIPE
⊕	ANCHOR GUY	CONC	CONCRETE
⊕	TELEPHONE PEDESTAL	CMP	CORRUGATED METAL PIPE
⊕	SANITARY SEWER MANHOLE	SP	SUBJECT PROPERTY LINE
⊕	GAS VALVE	TC	TOP OF CURB
⊕	WATER VALVE	BC	BOTTOM OF CURB
⊕	WATER METER/WATER SHUTOFF	POB	POINT OF BEGINNING
⊕	FIRE HYDRANT	HCR	HANDICAP RAMP
⊕	CURB INLET	⊕	HANDICAP PARKING/ACCESS
⊕	DRAIN INLET	SCO	SEWER CLEANOUT
⊕	STORM SEWER MANHOLE	INLET	INLET
⊕	MONITOR WELL	HDWL	HEADWALL
⊕	FOUND IRON PINNAIL SPIKE	BC	PLAT BOOK
⊕	SET IRON PINNAIL SPIKE	PG	PAGE
⊕	FOUND CONCRETE MONUMENT	C=	DEED CALL
⊕	SIGN	C&M=	CALL & MEASURED DISTANCE
⊕	TREE, SHRUB, PLANTING	ESMT	EASEMENT
⊕	FIRE DEPARTMENT CONNECTION		
⊕	MONITOR WELL		

*NOTE: ALL SYMBOLS, ABBREVIATIONS, OR LINES/TYPES DO NOT NECESSARILY APPEAR ON DRAWING(S). USE ONLY AS APPLICABLE.

CLEARING AND GRUBBING DISCLAIMER:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TREES, STUMPS, BRUSH, TOP SOIL, AND OTHER ORGANIC MATERIAL TO FACILITATE CONSTRUCTION. INFORMATION REGARDING THE LIMITS AND CHARACTERISTICS OF CLEARING AND GRUBBING SHOWN HEREON IS TO BE CONSIDERED APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE FAMILIAR WITH THE SITE IN ORDER TO DETERMINE THE NECESSARY LIMITS OF CLEARING AND GRUBBING.

PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

SPECIAL FLOOD HAZARD STATEMENT

ACCORDING TO THE FEMA/FIRM COMMUNITY PANEL NO. 47157C0310G EFFECTIVE FEBRUARY 6, 2013, THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE X, OR AREA OF MINIMAL FLOOD HAZARD.

STORMWATER POLLUTION PREVENTION NOTE:

THE CONTRACTOR MUST POST A COPY OF THIS PLAN IN THE FIELD OFFICE AND KEEP IT CURRENT PER THE ARAP NARRATIVES AND SWPPP.

CONSTRUCTION PHASING:

ACCESS NOTE:

G.C. TO FENCE OFF STAGING AREAS AND ENSURE SAFE ACCESS FOR VEHICLES AND PEDESTRIANS DURING ALL PHASES OF CONSTRUCTION. COORDINATE TEMPORARY DRIVEWAY CLOSINGS WITH PROJECT ENGINEER.

GRADING AND DRAINAGE NOTES

- CONTRACTOR TO VERIFY UTILITY COMPANY LOCATIONS AND VERTICAL DATA SHOWN ON PLANS. CONTACT UTILITY PROVIDERS BEFORE SITE EXCAVATION BEGINS.
- PROPER DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE PROJECT SITE TO PREVENT THE INCREASE OF THE IN-SITU SOILS MOISTURE CONTENT. FLUCTUATIONS MAY NECESSITATE SOIL IMPROVEMENTS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- ESTABLISH PERMANENT VEGETATION WITH SEEDING OR SOLID SOD ON DISTURBED AREAS.
- DESIGN CONTOURS SHOWN ARE FINISHED GRADE.
- SPOT ELEVATIONS SHOWN ARE FINISHED ASPHALT, GROUND OR CONCRETE ELEVATIONS. SPOT ELEVATIONS ON CURB LINES ARE ON THE BOTTOM OF CURB (GUTTER) UNLESS OTHERWISE NOTED.
- CLEAR AND GRUB AREAS OF THE SITE WHERE CUT OR FILL IS TO OCCUR. REMOVE ORGANIC MATTER, FOREIGN MATERIAL, PAVEMENT, TOPSOIL, FENCES, TRASH, BRUSH, BURIED OBSTRUCTIONS SUCH AS TREE STUMPS, ROOTS AND INACTIVE DRAINAGE STRUCTURES. DISPOSE OF MATERIAL REMOVED WHICH IS NOT TO BE REPLACED. BURNING OF MATERIAL ON THE SITE WILL NOT BE PERMITTED.
- EARTHWORK OPERATIONS SHALL BE PERFORMED PER THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION WHICH IS TO BE PREPARED AT A LATER DATE.
- FILL SHALL BE COMPACTED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO THE MATERIAL'S MAXIMUM STANDARD PROCTOR DRY DENSITY (ASTM D-698)
- THE MOISTURE CONTENT OF FILL SOILS SHALL BE WITHIN THE RANGE OF RECOMMENDED BY MANUFACTURER'S SPECIFICATIONS TO THE OPTIMUM MOISTURE CONTENT.
- SUBGRADES SHALL BE PROOF-ROLLED WITH A LOADED DUMP TRUCK TO DETECT ZONES OF UNSUITABLE AND/OR EXCESSIVELY WET SOILS. IF PUMPING BEGINS, COMPACTION SHALL BE STOPPED IMMEDIATELY AND RESUMED ONLY WHEN THE MATERIAL IS SUFFICIENTLY DRY THAT PUMPING DOES NOT OCCUR.
- PROVIDE SUBGRADE FOR BUILDING PAD PER THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT WHICH IS TO BE PREPARED AT A FUTURE DATE. THE EXPOSED SURFACE IN PAVEMENT OR BUILDING FLOOR AREAS SHALL BE INSPECTED BY THE GEOTECHNICAL ENGINEER AND MAY REQUIRE SOME IMPROVEMENTS IF THE MOISTURE CONTENTS ARE BEYOND ACCEPTABLE LIMITS.
- THE ENGINEERED FILL SUBGRADE SHALL PROVIDE A MAXIMUM ALLOWABLE BEARING PRESSURE AS RECOMMENDED BY THE FUTURE GEOTECHNICAL REPORT AND MANUFACTURER'S SPECIFICATIONS. FOOTING AND FOUNDATION EXCAVATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND SHALL BE INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE PLACING FOUNDATIONS.
- FILL MATERIAL SHOULD CONSIST OF MATERIALS APPROVED BY THE GEOTECHNICAL ENGINEER THAT ARE FREE OF ORGANIC MATTER AND DEBRIS. THE FILL SHOULD BE PLACED AND COMPACTED IN LIFTS OF GEOTECHNICAL ENGINEER'S THICKNESS RECOMMENDATIONS IN LOOSE THICKNESS.
- THE CONTRACTOR SHALL REMOVE SOILS WHICH DO NOT MEET OR EXCEED THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS TO WITHIN THE RECOMMENDED DISTANCE HORIZONTALLY OF THE BUILDING PAD PER THE DIRECTION OF THE GEOTECHNICAL ENGINEER. THESE EXISTING SOILS WHICH ARE NOT USEABLE FOR BACKFILL SHALL BE DISPOSED OF OFFSITE.
- THE CONTRACTOR SHALL ENSURE STOCKPILED SOILS ARE WELL DRAINED AND ARE NOT ALLOWED TO INCREASE MOISTURE CONTENT.
- IN AREAS OF CONSTRUCTION, TOPSOIL SHALL BE STRIPPED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THIS TOPSOIL WILL BE USED FOR THE FINISH GRADING WORK. PROVIDE EROSION CONTROL AS NECESSARY TO PREVENT TOPSOIL FROM ERODING AND DAMAGING ADJACENT PROPERTIES.
- SOFT SOILS SHALL BE USED ON SITE FOR FILL PURPOSES OUTSIDE THE AREAS OF BUILDING AND PAVEMENT CONSTRUCTION. EXCESS SOILS WILL BE DISPOSED OF OFFSITE.
- FILL MATERIAL SHALL CONSIST OF NATURALLY OCCURRING EARTH MATERIALS WITH A PLASTICITY INDEX OF NOT MORE THAN 20%. IT SHALL BE FREE FROM ORGANIC MATTER AND CLAY BALLS WITH AN UPPER PARTICLE SIZE DIAMETER OF 2.5 INCHES.
- PROVIDE NECESSARY AND REQUIRED SHEATHING BRACING, PUMPING & BAILING OPERATIONS TO PROTECT WORKMEN & ADJACENT FACILITIES. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW APPLICABLE SAFETY CODES & REGULATIONS DURING PHASES OF CONSTRUCTION.
- DISTURBED AREAS SHALL BE GRADED TO DRAIN AS INDICATED ON THE PLANS DURING AND UPON COMPLETION OF CONSTRUCTION. NO DRAINAGE SHALL BE DAMMED OR TRAPPED UNLESS SPECIFICALLY DIRECTED BY THE PLANS.

EROSION AND SEDIMENTATION CONTROL NOTES:

- ALL NEWLY CUT AND/OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEED, FERTILIZED, MULCHED AND/OR SODDED AS REQUIRED TO EFFECTIVELY PREVENT SOIL EROSION.
- SILT FENCES, HAY BALES, AND OTHER BEST MANAGEMENT PRACTICES SHALL BE USED AS SHOWN AND AS DIRECTED BY THE ENGINEER TO CONTROL SOIL EROSION.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES, SEDIMENT INLET TRAPS, HAY BALES, AND OTHER BEST MANAGEMENT PRACTICES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES, OR ADJACENT PROPERTIES. THE CONTROLS SHOWN ON THE PLAN ARE THE MINIMUM REQUIRED AND THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NECESSARY OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE CITY OF LAKELAND AND TDEC ARAP GENERAL PERMIT FOR ALL EROSION CONTROL DURING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION CONTROL DEVICES AND REPORTING ANY MAINTENANCE AS REQUIRED BY THE CITY OF LAKELAND AND TDEC ARAP GENERAL PERMIT DURING CONSTRUCTION ACTIVITIES.
- PROVISIONS SHALL BE MADE TO PROTECT DOWNSTREAM WATERCOURSES (I.E., STORM SEWER SYSTEMS, DITCHES, WETLANDS, ETC.) FROM SEDIMENT RUNOFF DEVELOPED FROM THE CONSTRUCTION PROCESS. PROVISIONS INCLUDE, BUT ARE NOT LIMITED TO, STRUCTURAL CONTROLS SUCH AS SILT FENCING, GEOTEXTILE FABRIC PROTECTION OF STORM SEWERS, HAY BALES, DIKES AND SANDBAG BERMES; AND/OR VEGETATION CONTROLS SUCH AS SEEDING OR EXISTING VEGETATIVE BUFFER STRIPS (MINIMUM 25 FEET WIDE).
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROLS AT LOCATIONS SHOWN ON PLANS.
- ABSOLUTELY NO DIRT, MUD, DUST OR SEDIMENT SHALL BE ALLOWED TO MOVE INTO ANY STORM DRAIN APPURTENANCES AND/OR PUBLIC STREETS.
- CONTRACTOR SHALL PERFORM DAILY STREET CLEANING ON ROADS AND STREETS ADJACENT TO THE PROJECT WHICH ARE USED AS ACCESS ROUTES FOR CONSTRUCTION TRAFFIC IF DIRT AND MUD ARE NOT ADEQUATELY REMOVED FROM VEHICLES AT THE CONSTRUCTION EXIT. WASHING OF STREETS IS PROHIBITED.
- LOCATE FUEL/MATERIAL STORAGE AREAS AWAY FROM STORM WATER CONVEYANCE SYSTEMS. USE A MINIMUM 60 MIL POLYETHYLENE LINER UNDER ABOVE GROUND STORAGE TANKS. USE 2 FOOT HIGH BERMS AROUND FUEL STORAGE AREAS.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL ENVIRONMENTAL LAWS.
- CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF FUELS, MATERIALS AND CONTAMINATED EXCAVATIONS IN A LEGALLY APPROVED MANNER.
- AT A MINIMUM, STRUCTURAL CONTROLS SHOULD BE INSPECTED TWICE EVERY CALENDAR WEEK AT LEAST 72 HOURS APART. THE INSPECTOR, APPROVED BY THE OWNER, SHALL HAVE AN ACTIVE CERTIFICATION BY COMPLETING THE "FUNDAMENTALS OF EROSION PREVENTION AND SEDIMENT CONTROL LEVEL 1" COURSE. A COPY OF THE CERTIFICATION SHALL BE KEPT ONSITE. SHOULD CONTROLS BECOME INEFFECTIVE, NECESSARY REPAIRS SHALL BE PERFORMED TO RETURN THE INTEGRITY OF THE STRUCTURAL CONTROLS.
- CONTRACTOR SHALL MAINTAIN, REPAIR AND/OR REPLACE DAMAGED EROSION AND SEDIMENTATION CONTROL SYSTEMS THROUGHOUT THE DURATION OF THE CONTRACT.
- CONTRACTOR WILL PROVIDE PROTECTED STORAGE AREAS FOR CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS AND OTHER POTENTIALLY TOXIC MATERIALS.
- EQUIPMENT STAGING AREA TO BE DESIGNATED BY CONTRACTOR AND APPROVED BY OWNER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ALL EROSION CONTROL NECESSARY FOR UTILITY CONSTRUCTION, EVEN IF THE UTILITIES ARE OUTSIDE THE LIMITS OF GRADING OPERATIONS.
- SEDIMENT WILL BE REMOVED FROM THE UPSTREAM FACE OF THE SILT FENCE WHEN IT REACHES A MAXIMUM DEPTH OF 60% OF THE FENCE'S CAPACITY. THE FENCE WILL BE REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- THE CONTRACTOR SHALL SUBMIT PHASED EROSION CONTROL PLANS TO THE ENGINEER FOR REVIEW AS NEEDED TO CONTROL SEDIMENT AND EROSION DURING CONSTRUCTION.
- CONTRACTOR SHALL "MUCK" OUT WORK AREA THROUGHOUT THE PROJECT WHEN SEDIMENT HAS ACCUMULATED AND SHALL MUCK OUT WORK AREA PRIOR TO FINAL STABILIZATION.
- TEMPORARY SEEDING MAY BE REQUIRED IN ADDITION TO PERMANENT SEEDING TO ASSIST IN COMPLYING WITH THE CONSTRUCTION GENERAL PERMIT.

GENERAL SITE NOTES:

- BEFORE COMMENCING ANY ACTIVITY UNDER OR PERTAINING TO THIS CONTRACT, THE CONTRACTOR SHALL:
 - OBTAIN ALL BUILDING AND CONSTRUCTION PERMITS AS REQUIRED BY PERTINENT REGULATORY AND GOVERNMENTAL AGENCIES.
 - CONTACT THE CITY OF LAKELAND CONSTRUCTION INSPECTION OFFICE.
 - CONTACT UNDERGROUND UTILITIES LOCATING SERVICE.
 - NOTIFY UTILITY COMPANIES MAINTAINING UTILITY LINES OR EASEMENTS WITHIN THE LIMITS OF CONSTRUCTION, OR IN PUBLIC RIGHTS-OF-WAY ADJACENT TO THE PROJECT.
 - BECOME KNOWLEDGEABLE OF EXISTING UTILITIES AND PROTECT SAME WHERE NECESSARY. THIS SHALL INCLUDE UTILITIES SHOWN AND NOT SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL VERIFY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT BEFORE THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR ANY DAMAGE INCURRED BY ANY UTILITY COMPANY TO THEIR UTILITY LINES WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING WORK ON THE PROJECT.
- THE CONTRACTOR SHALL AT ALL TIMES EMPLOY ADEQUATE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT DAMAGE TO THE PROPERTY, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, AND PUBLIC OR PRIVATE DRAINAGE SYSTEMS. ALL NEWLY CUT AND/OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEED, FERTILIZED, & MULCHED AS REQUIRED TO EFFECTIVELY PREVENT SOIL EROSION PER CITY OF LAKELAND AND STATE REGULATIONS. ALL SLOPES 3:1 OR GREATER SHALL BE PERMANENTLY STABILIZED WITH SOLID SOD OR AN EROSION CONTROL MAT WITH SEEDING.
- ALL CONSTRUCTION SHALL MEET THE TDEC AND CITY OF LAKELAND TECHNICAL SPECIFICATIONS.
- THE CONTRACTOR MUST HAVE WRITTEN APPROVAL FROM THE CITY ENGINEER AND THE PROJECT ENGINEER BEFORE ANY CHANGE IN DESIGN IS MADE.
- SEVENTY-TWO (72) HOURS BEFORE BEGINNING ANY EXCAVATION, THE CONTRACTOR SHALL CALL TENNESSEE ONE CALL AT 811 FOR THE LOCATION OF UNDERGROUND UTILITIES.
- THE CONTRACTOR AT NO TIME SHALL ENCRUCH UPON OR CAUSE DISRUPTION TO TRAFFIC FLOW ON ADJACENT PUBLIC RIGHTS-OF-WAY WITHOUT SECURING THE PROPER PERMITS PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ERECT THE PROPER TRAFFIC CONTROL DEVICES ACCORDING TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", AND SHALL PROTECT THE PUBLIC FROM HAZARD OR INJURY BY ERECTING BARRICADES WHERE APPROPRIATE, I.E., AROUND EXCAVATIONS OR OPERATING EQUIPMENT. THE CONTRACTOR SHALL NOT ENTER NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT WRITTEN PERMISSION FROM SAID PROPERTY OWNERS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- ALL SITE RELATED CONCRETE UNLESS SPECIFIED OTHERWISE SHALL BE 4,000 PSI.
- ANY EXISTING UTILITIES REQUIRING RELOCATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WORKING UTILITY SERVICES TO ADJACENT BUILDINGS DURING DEMOLITION AND CONSTRUCTION. COORDINATE ALL PLANNED SERVICE OUTAGES OR EMERGENCIES WITH THE OWNER.
- FIELD STAKING IS TO BE PROVIDED BY THE CONTRACTOR.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE REQUIREMENTS INCLUDING THE LOCAL NOISE ORDINANCE.
- ANY FENCING, SIDEWALK, CURB AND GUTTER, CURB CUT, OR PERSONAL PROPERTY DAMAGED BY CONSTRUCTION SHALL BE REPLACED AND RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL UTILITY LINES ENTERING THE BUILDING SHALL BE SEALED TO PREVENT MIGRATION OF SURFACE AND SUBSURFACE WATER AND SUBSEQUENT WETTING OF THE SUBGRADE SOILS. THE UTILITY LINES SHALL BE SEALED FROM THE BUILDING FOUNDATION TO A MINIMUM OF 3 FEET OUTSIDE THE BUILDING FOUNDATION. THE SEAL MAY CONSIST OF CLAYEY SOILS WITH A MINIMUM PLASTICITY INDEX OF 25 OR WITH LEAN CONCRETE.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING NATURAL GAS, WATER, AND SEWER LINES WHERE CROSSING PROPOSED UTILITIES' CONSTRUCTION. CONTRACTOR SHALL PROVIDE ELEVATIONS OF EXISTING UTILITIES TO THE ENGINEER TO VERIFY ADEQUATE CLEARANCE.
- CONTRACTOR SHALL SUPPLY AND INSTALL ALL ITEMS AND PERFORM ALL WORK NOT COVERED BY UTILITY COMPANIES. VERIFY INSTALLATION PROCEDURE WITH UTILITY COMPANY.
- CONTRACTOR SHALL REMOVE & REPAIR PAVEMENT AS REQUIRED FOR UTILITY CONSTRUCTION INCLUDING BUT NOT LIMITED TO: IRRIGATION SLEEVES, SITE LIGHTING CONDUITS, WATER LINES, SANITARY SEWER LINES, STORM DRAINAGE LINES, ETC. CONTRACTOR HAS OPTION TO BORE CONDUITS.

REVISIONS:

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PROJECT #:	26689.00
DATE:	SEPT 2023
DRAWN BY:	KNR
DESIGNER:	KNR
CHECKED BY:	HJM

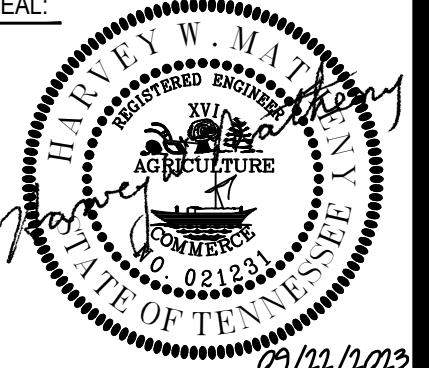


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**PLANTATION HILLS SUBDIVISION
BANK STABILIZATION**

**4196 HADLEY DRIVE
LAKELAND, TN 38002**

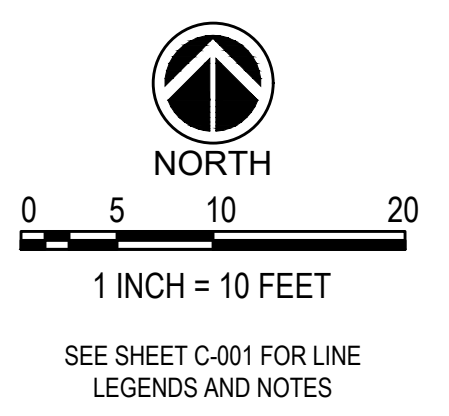
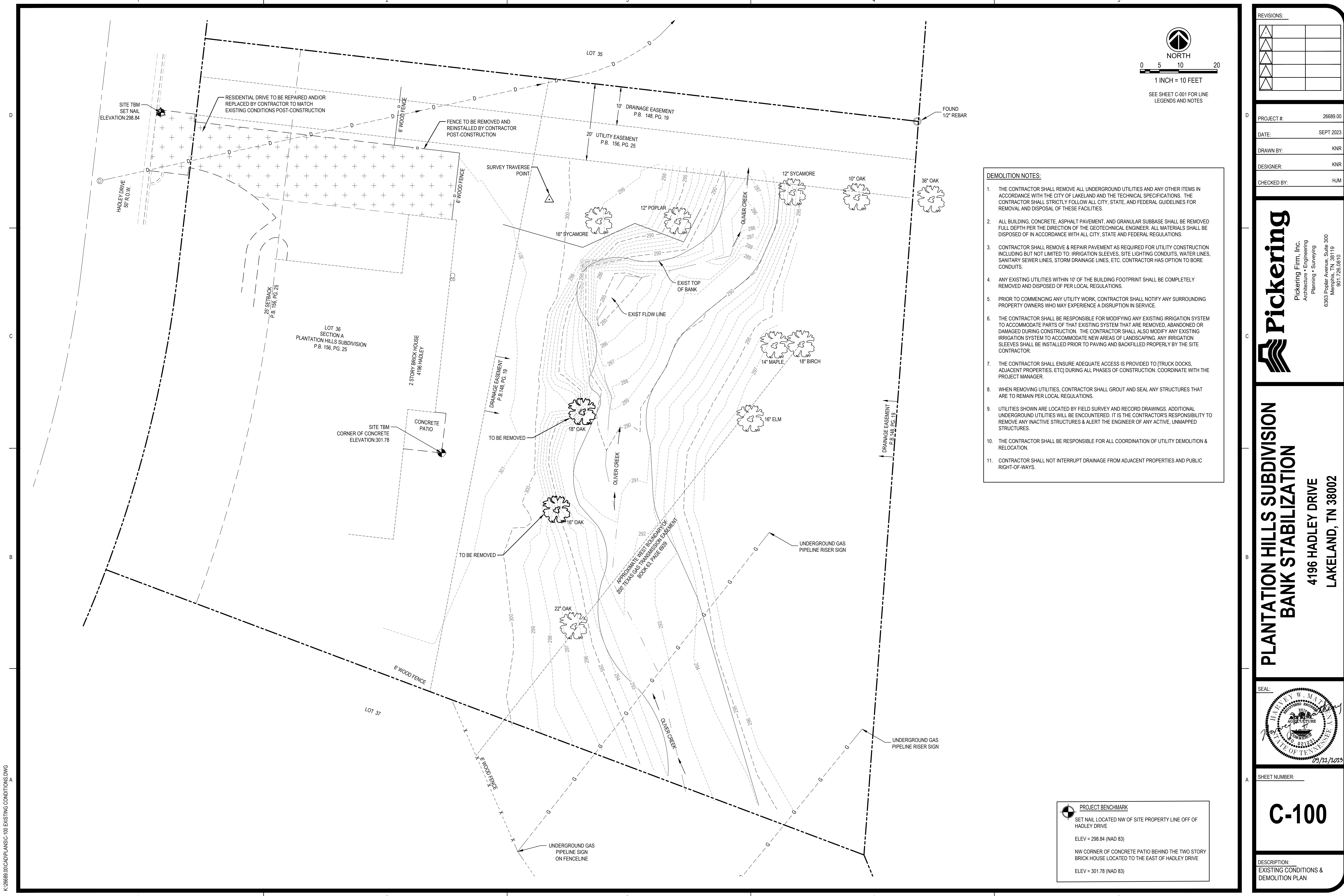
SEAL:



SHEET NUMBER:

C-001

**DESCRIPTION:
GENERAL NOTES**



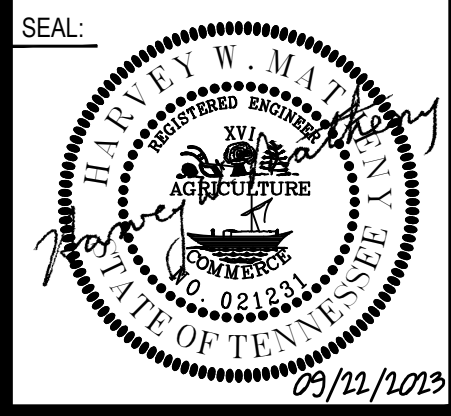
- DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL REMOVE ALL UNDERGROUND UTILITIES AND ANY OTHER ITEMS IN ACCORDANCE WITH THE CITY OF LAKELAND AND THE TECHNICAL SPECIFICATIONS. THE CONTRACTOR SHALL STRICTLY FOLLOW ALL CITY, STATE, AND FEDERAL GUIDELINES FOR REMOVAL AND DISPOSAL OF THESE FACILITIES.
 2. ALL BUILDING, CONCRETE, ASPHALT PAVEMENT, AND GRANULAR SUBBASE SHALL BE REMOVED FULL DEPTH PER THE DIRECTION OF THE GEOTECHNICAL ENGINEER. ALL MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL REGULATIONS.
 3. CONTRACTOR SHALL REMOVE & REPAIR PAVEMENT AS REQUIRED FOR UTILITY CONSTRUCTION INCLUDING BUT NOT LIMITED TO: IRRIGATION SLEEVES, SITE LIGHTING CONDUITS, WATER LINES, SANITARY SEWER LINES, STORM DRAINAGE LINES, ETC. CONTRACTOR HAS OPTION TO BORE CONDUITS.
 4. ANY EXISTING UTILITIES WITHIN 10' OF THE BUILDING FOOTPRINT SHALL BE COMPLETELY REMOVED AND DISPOSED OF PER LOCAL REGULATIONS.
 5. PRIOR TO COMMENCING ANY UTILITY WORK, CONTRACTOR SHALL NOTIFY ANY SURROUNDING PROPERTY OWNERS WHO MAY EXPERIENCE A DISRUPTION IN SERVICE.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MODIFYING ANY EXISTING IRRIGATION SYSTEM TO ACCOMMODATE PARTS OF THAT EXISTING SYSTEM THAT ARE REMOVED, ABANDONED OR DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL ALSO MODIFY ANY EXISTING IRRIGATION SYSTEM TO ACCOMMODATE NEW AREAS OF LANDSCAPING. ANY IRRIGATION SLEEVES SHALL BE INSTALLED PRIOR TO PAVING AND BACKFILLED PROPERLY BY THE SITE CONTRACTOR.
 7. THE CONTRACTOR SHALL ENSURE ADEQUATE ACCESS IS PROVIDED TO (TRUCK DOCKS, ADJACENT PROPERTIES, ETC) DURING ALL PHASES OF CONSTRUCTION. COORDINATE WITH THE PROJECT MANAGER.
 8. WHEN REMOVING UTILITIES, CONTRACTOR SHALL GROUT AND SEAL ANY STRUCTURES THAT ARE TO REMAIN PER LOCAL REGULATIONS.
 9. UTILITIES SHOWN ARE LOCATED BY FIELD SURVEY AND RECORD DRAWINGS. ADDITIONAL UNDERGROUND UTILITIES WILL BE ENCOUNTERED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ANY INACTIVE STRUCTURES & ALERT THE ENGINEER OF ANY ACTIVE, UNMAPPED STRUCTURES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION OF UTILITY DEMOLITION & RELOCATION.
 11. CONTRACTOR SHALL NOT INTERRUPT DRAINAGE FROM ADJACENT PROPERTIES AND PUBLIC RIGHT-OF-WAYS.

REVISIONS:

PROJECT #: 26689.00
 DATE: SEPT 2023
 DRAWN BY: KNR
 DESIGNER: KNR
 CHECKED BY: HUM

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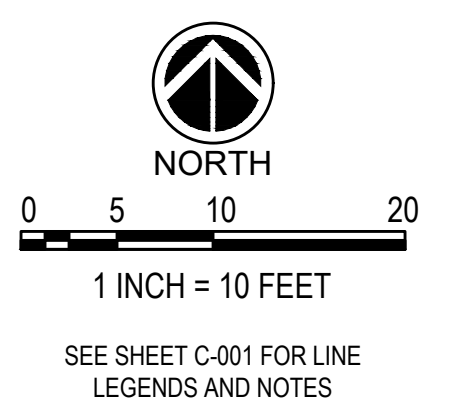
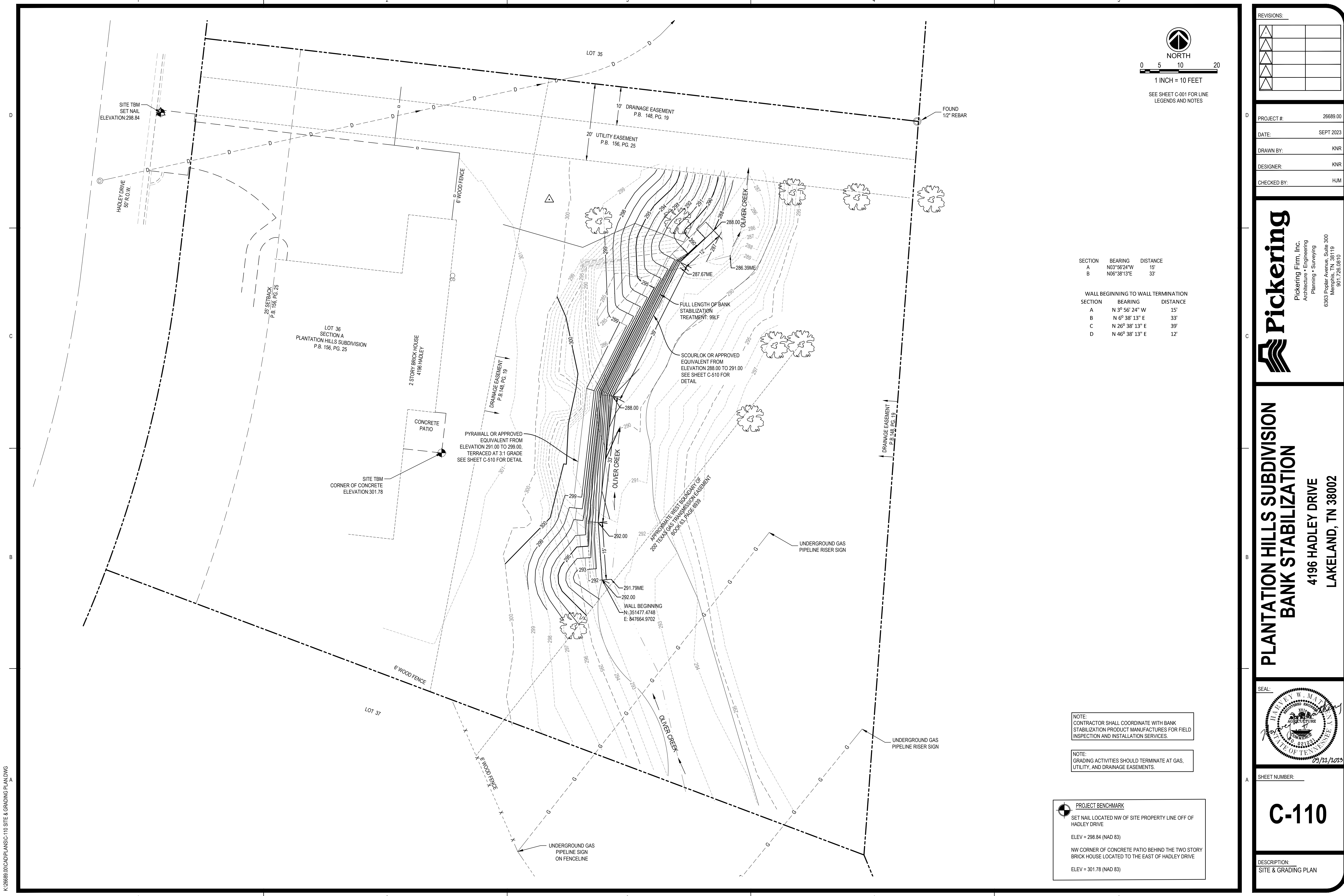


SHEET NUMBER:
C-100

DESCRIPTION:
 EXISTING CONDITIONS &
 DEMOLITION PLAN

PROJECT BENCHMARK
 SET NAIL LOCATED NW OF SITE PROPERTY LINE OFF OF HADLEY DRIVE
 ELEV = 298.84 (NAD 83)
 NW CORNER OF CONCRETE PATIO BEHIND THE TWO STORY BRICK HOUSE LOCATED TO THE EAST OF HADLEY DRIVE
 ELEV = 301.78 (NAD 83)

K:\26689.00\CAD\PLANS\C-100 EXISTING CONDITIONS.DWG



SECTION	BEARING	DISTANCE
A	N03°56'24"W	15'
B	N06°38'13"E	33'

SECTION	BEARING	DISTANCE
A	N 3° 56' 24" W	15'
B	N 6° 38' 13" E	33'
C	N 26° 38' 13" E	39'
D	N 46° 38' 13" E	12'

NOTE:
CONTRACTOR SHALL COORDINATE WITH BANK STABILIZATION PRODUCT MANUFACTURERS FOR FIELD INSPECTION AND INSTALLATION SERVICES.

NOTE:
GRADING ACTIVITIES SHOULD TERMINATE AT GAS, UTILITY, AND DRAINAGE EASEMENTS.

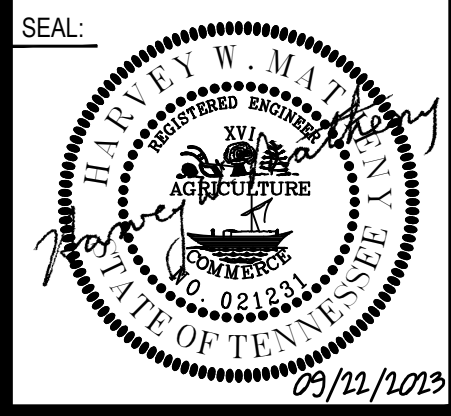
PROJECT BENCHMARK
 SET NAIL LOCATED NW OF SITE PROPERTY LINE OFF OF HADLEY DRIVE
 ELEV = 298.84 (NAD 83)
 NW CORNER OF CONCRETE PATIO BEHIND THE TWO STORY BRICK HOUSE LOCATED TO THE EAST OF HADLEY DRIVE
 ELEV = 301.78 (NAD 83)

REVISIONS:

PROJECT #: 26689.00
 DATE: SEPT 2023
 DRAWN BY: KNR
 DESIGNER: KNR
 CHECKED BY: HJM

Pickering
 Pickering Firm, Inc.
 Architecture • Engineering
 Planning • Surveying
 6383 Poplar Avenue, Suite 300
 Memphis, TN 38119
 901.726.0810

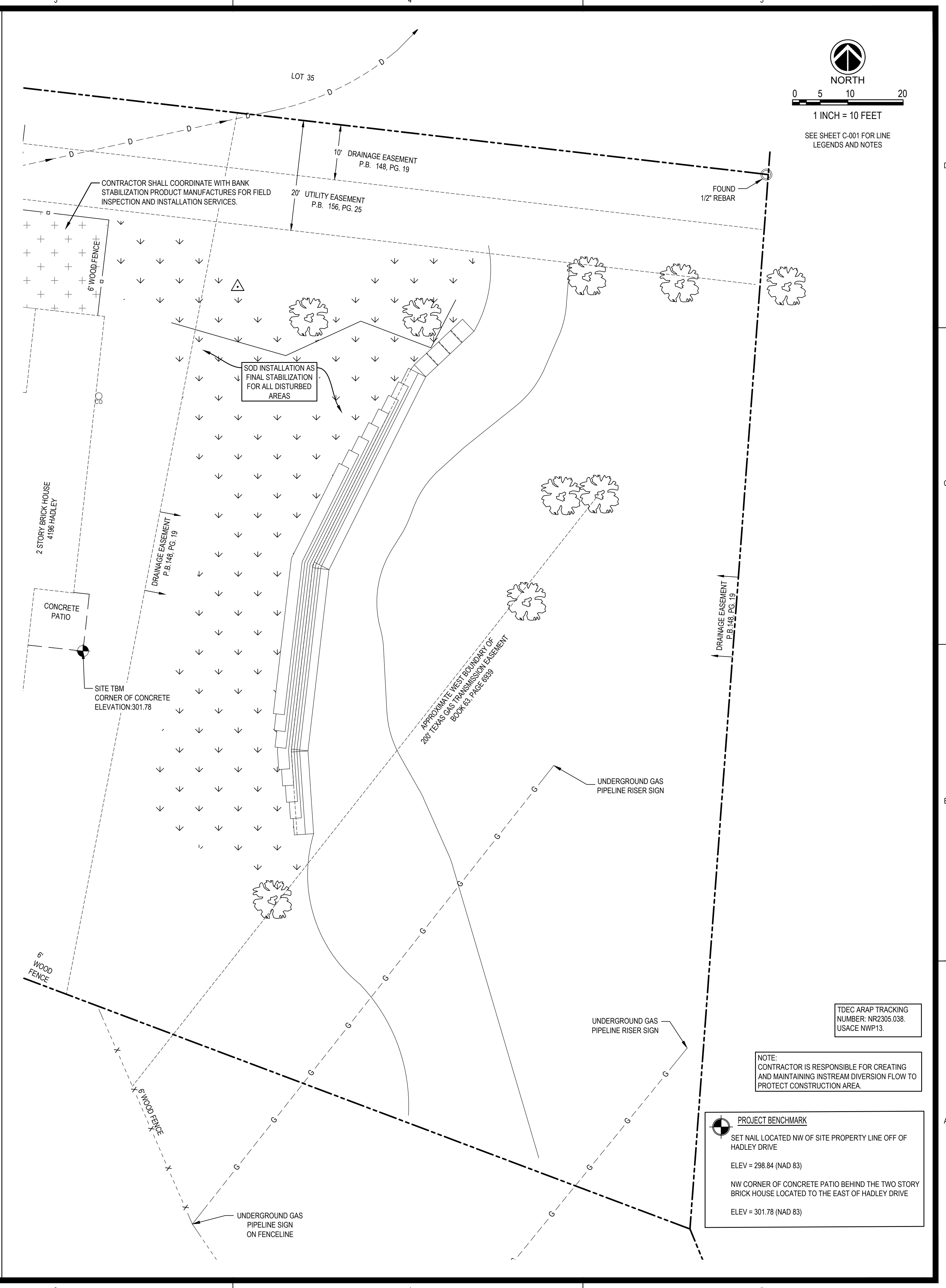
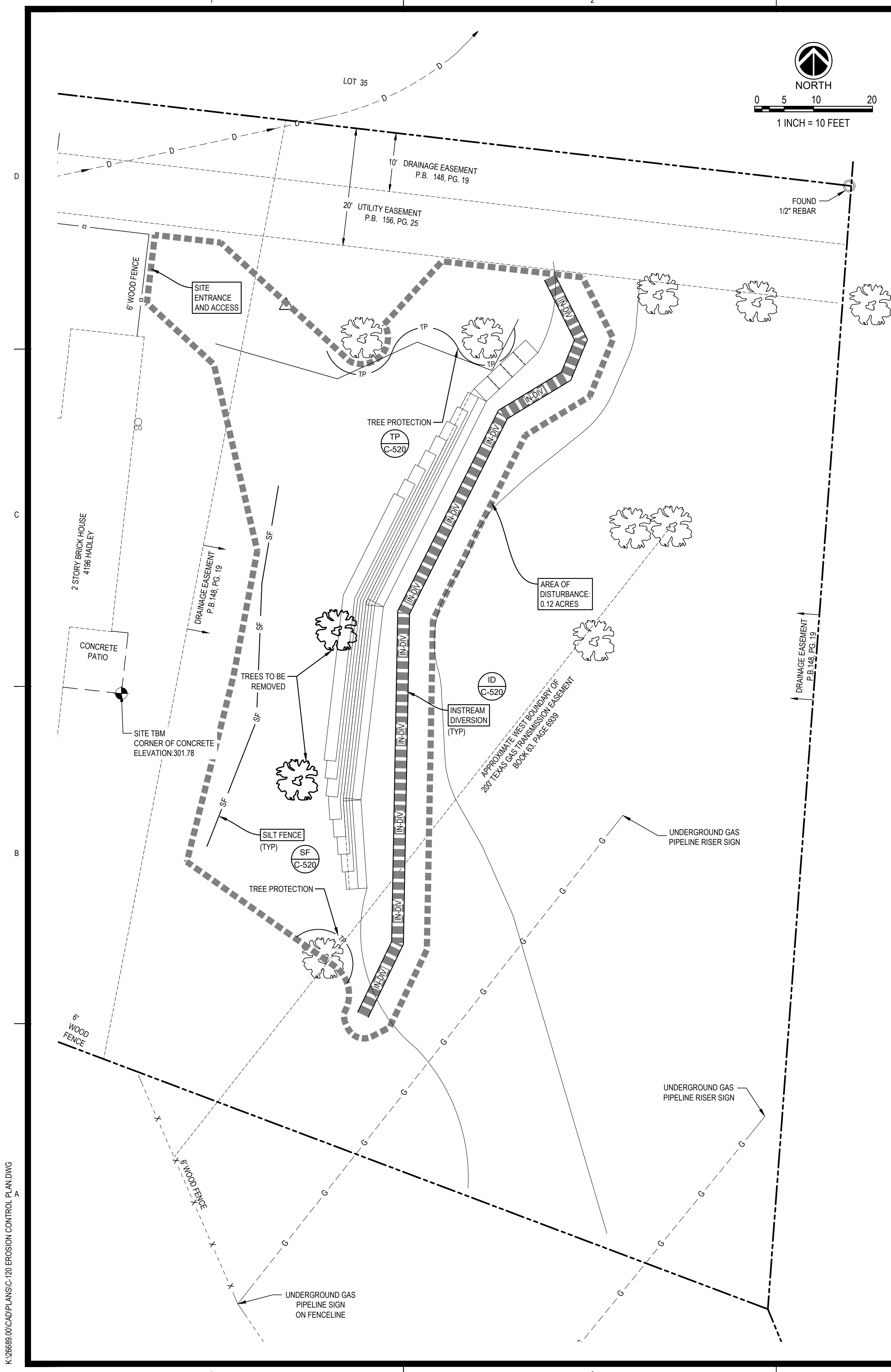
**PLANTATION HILLS SUBDIVISION
 BANK STABILIZATION**
 4196 HADLEY DRIVE
 LAKELAND, TN 38002



SHEET NUMBER:
C-110

DESCRIPTION:
 SITE & GRADING PLAN

K:\26689.00\CAD\PLANS\C-110 SITE & GRADING PLAN.DWG

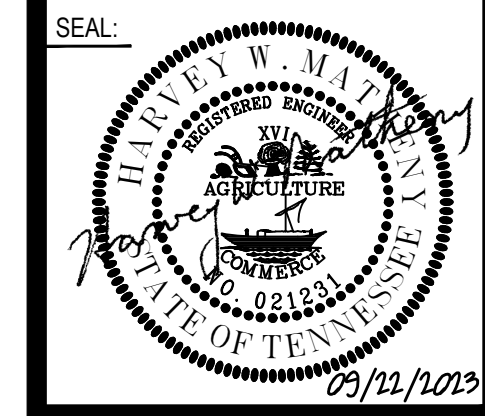


REVISIONS:

PROJECT #: 26689.00
 DATE: SEPT 2023
 DRAWN BY: KNR
 DESIGNER: KNR
 CHECKED BY: HUM



**PLANTATION HILLS SUBDIVISION
 BANK STABILIZATION**
 4196 HADLEY DRIVE
 LAKELAND, TN 38002



SHEET NUMBER:
C-120

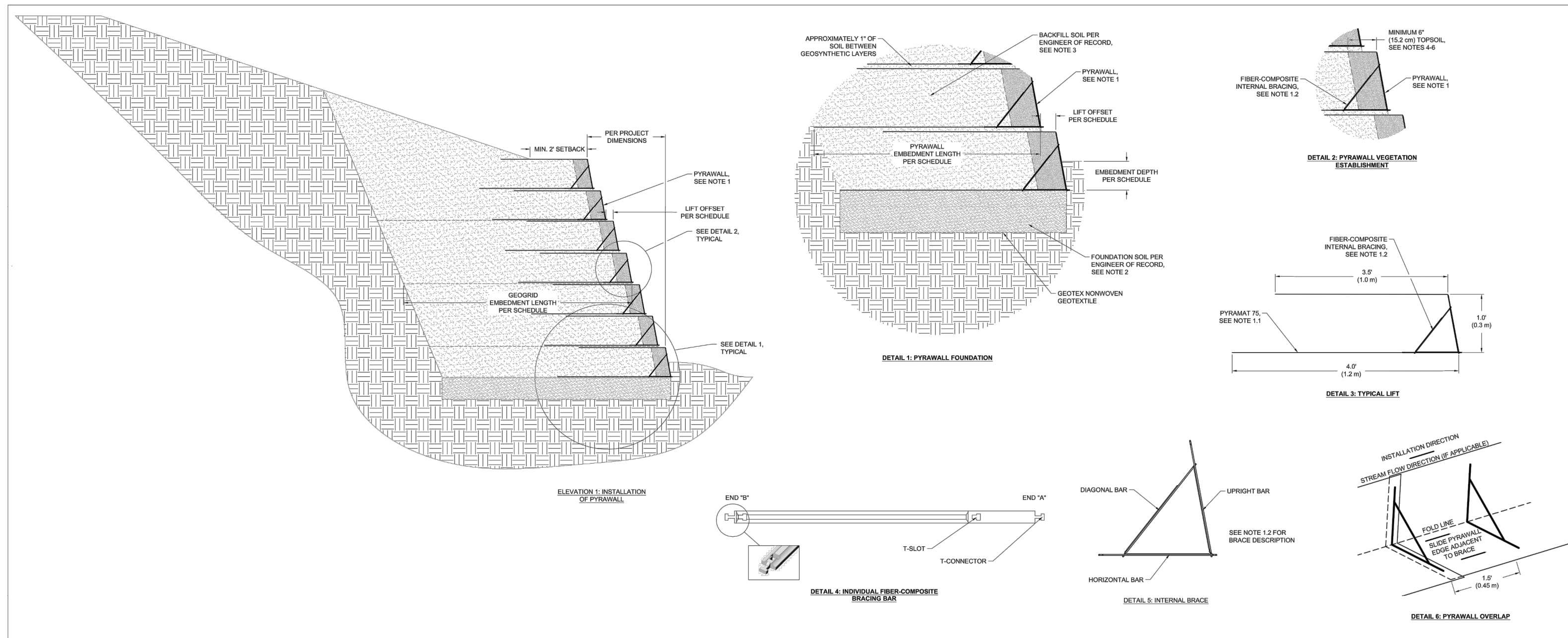
DESCRIPTION:
 EROSION CONTROL PLAN

TDEC ARAP TRACKING NUMBER: NR2305.036. USACE NWF13.

NOTE:
 CONTRACTOR IS RESPONSIBLE FOR CREATING AND MAINTAINING INSTREAM DIVERSION FLOW TO PROTECT CONSTRUCTION AREA.

PROJECT BENCHMARK
 SET NAIL LOCATED NW OF SITE PROPERTY LINE OFF OF HADLEY DRIVE
 ELEV = 298.84 (NAD 83)
 NW CORNER OF CONCRETE PATIO BEHIND THE TWO STORY BRICK HOUSE LOCATED TO THE EAST OF HADLEY DRIVE
 ELEV = 301.78 (NAD 83)

K:\26689.00\CAD\PLANS\C-120 EROSION CONTROL PLAN.DWG



EROSION CONTROL INSTALLATION DETAILS

Please note that the information presented herein is general information only. It is for conceptual use only and not intended to be used for construction. While every effort has been made to ensure its accuracy, this information should not be used for a specific application without the independent professional verification and approval of a qualified geotechnical engineer. This information is provided as a courtesy and does not constitute a contract. All dimensions and materials are subject to change without notice. All dimensions are to be verified by the Engineer of Record.

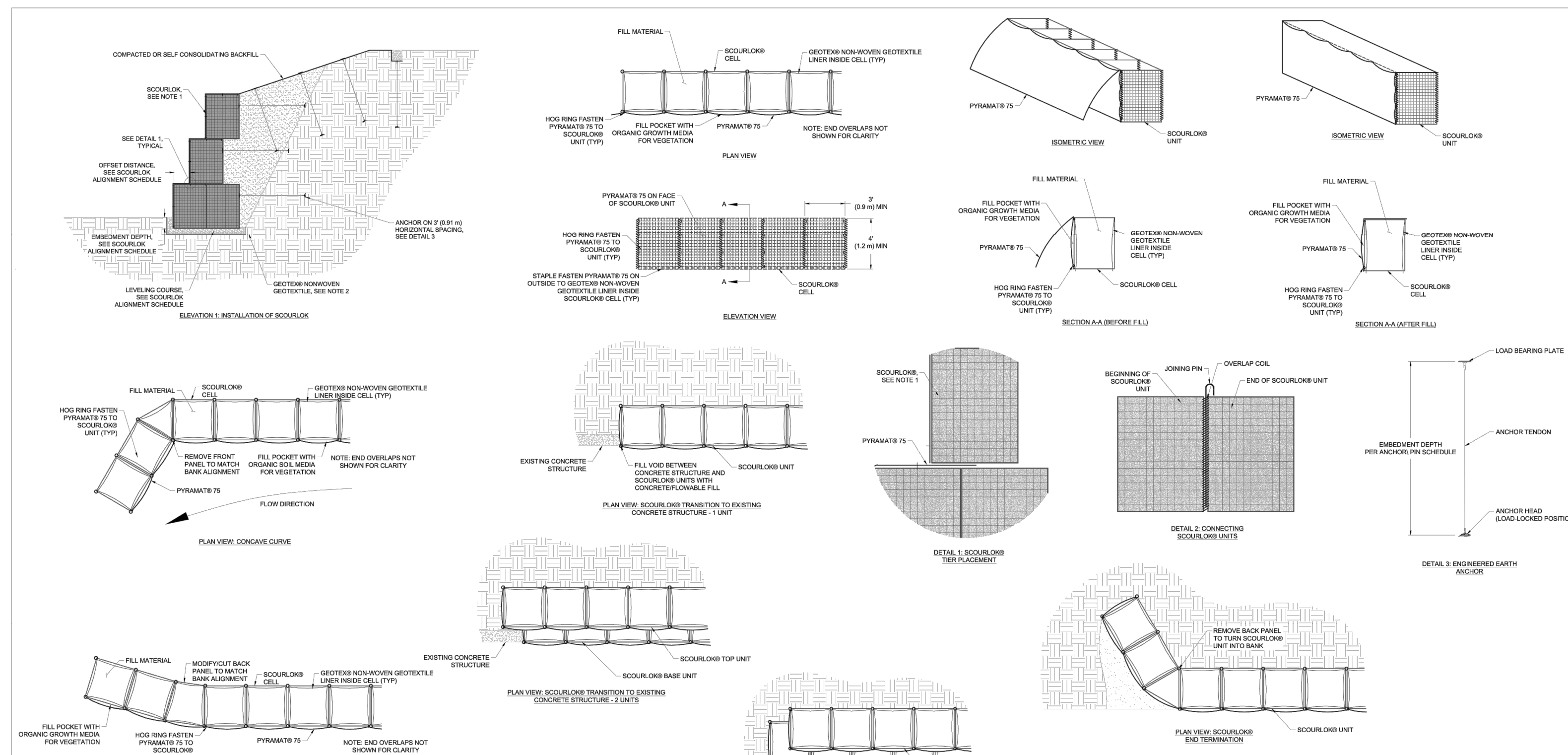
PROPEX GEOSOLUTIONS

PYRAWALL™ PYRAWALL™ INSTALLATION DETAILS

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PYRAWALL™ CONSTRUCTION INFORMATION	
EMBEDMENT DEPTH	PER DESIGN
LEFT OFFSET	PER DESIGN
PYRAWALL EMBEDMENT LENGTH	4 FT (1.2 m) MIN
INTERNAL BRACING HORIZONTAL SPACING	2 FT (0.6 m) MAX

SEE SHEET C-001 FOR LINE LEGENDS AND NOTES



CONCEPTUAL INSTALLATION DETAILS

Please note that the information presented herein is general information only. It is for conceptual use only and not intended to be used for construction. While every effort has been made to ensure its accuracy, this information should not be used for a specific application without the independent professional verification and approval of a qualified geotechnical engineer. This information is provided as a courtesy and does not constitute a contract. All dimensions and materials are subject to change without notice. All dimensions are to be verified by the Engineer of Record.

PROPEX GEOSOLUTIONS

SCOURLOK™ SCOURLOK™ INSTALLATION DETAILS

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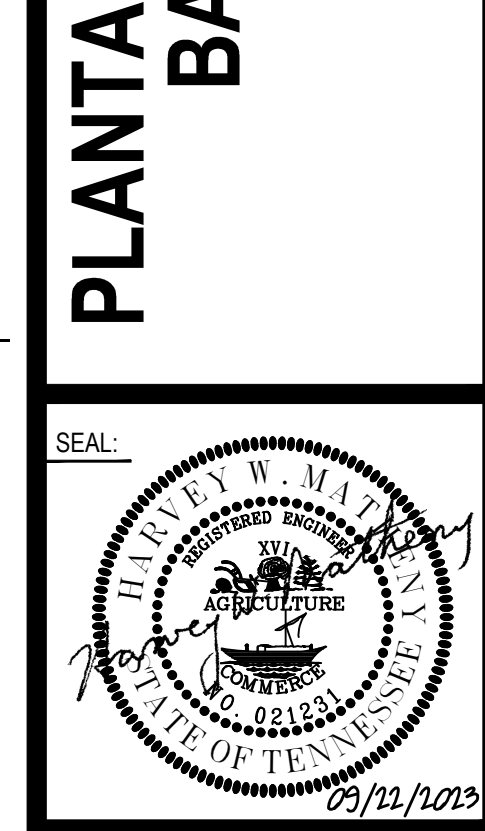
SCOURLOK ALIGNMENT SCHEDULE	
SCOURLOK OFFSET DISTANCE	1.0 ft
SCOURLOK EMBEDMENT DEPTH	3.0 ft
LIVING COURSE DEPTH	0.9 m MIN

REVISIONS:

PROJECT #:	26689.00
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DRAWN BY:	KNR
DESIGNER:	KNR
CHECKED BY:	HJM

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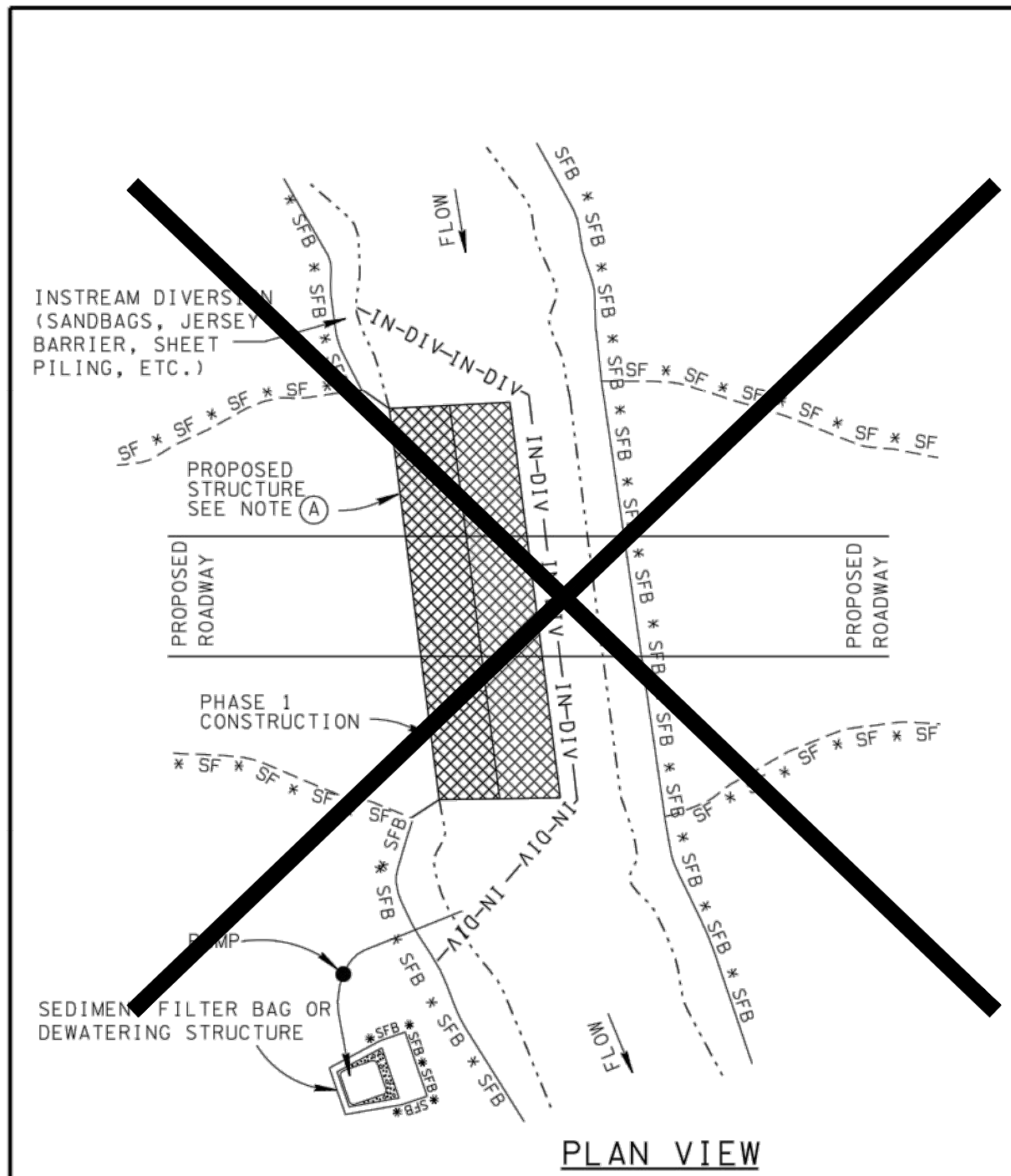
**PLANTATION HILLS SUBDIVISION
 BANK STABILIZATION**
 4196 HADLEY DRIVE
 LAKELAND, TN 38002



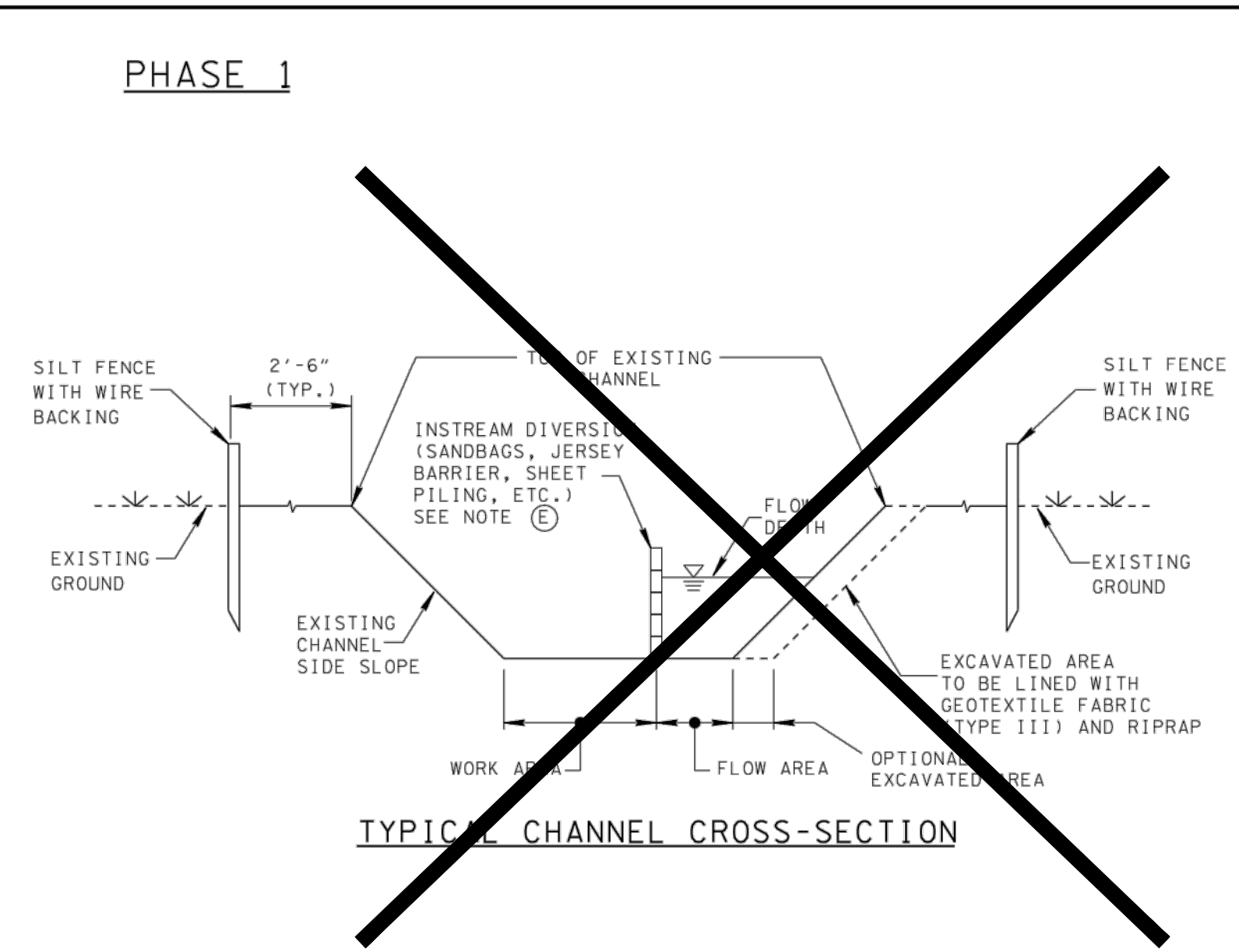
SHEET NUMBER:
C-510

DESCRIPTION:
 SITE & GRADING DETAILS

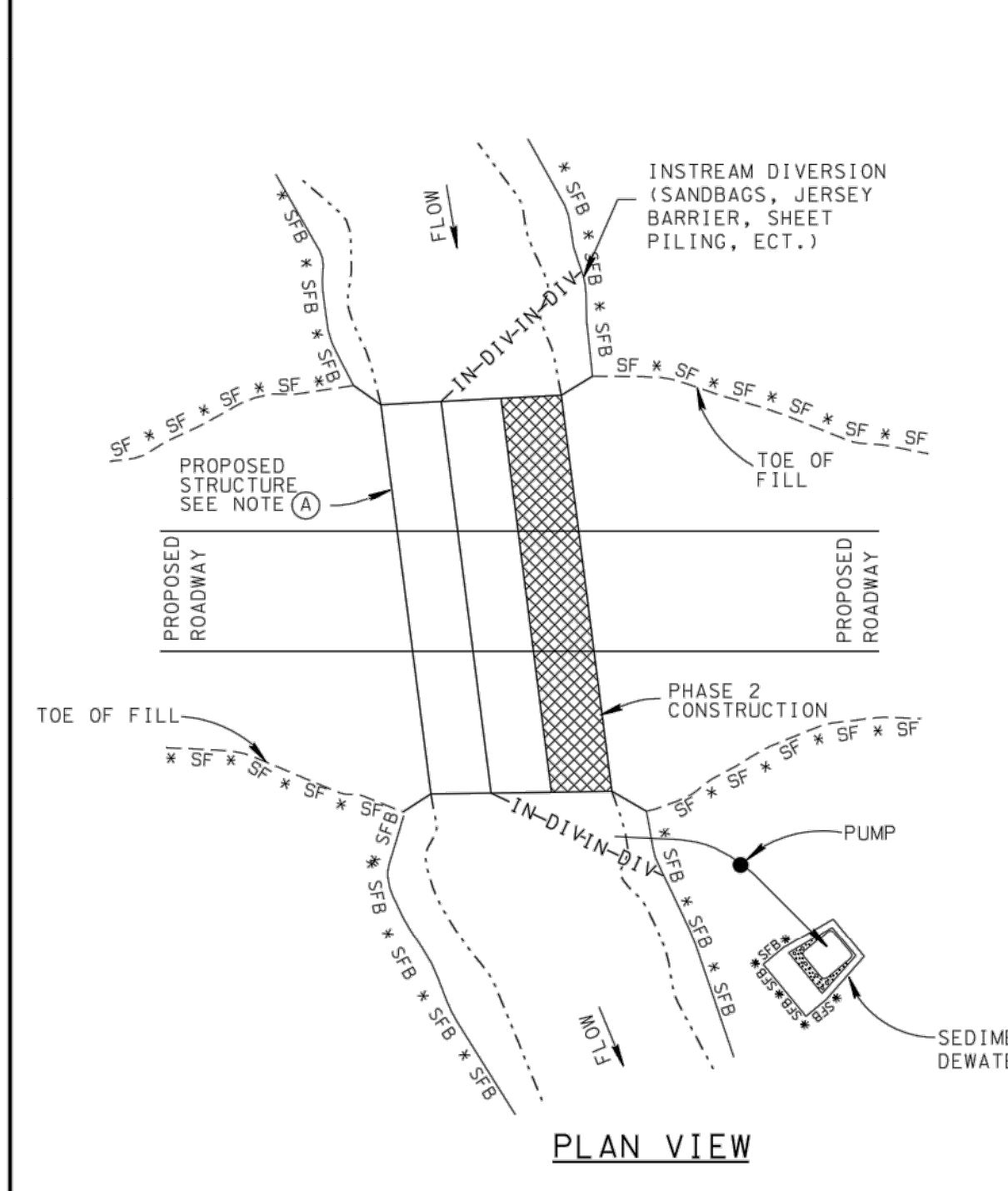
K:\26689.00\CAD\PLANS\C-510 SITE & GRADING DETAILS.DWG



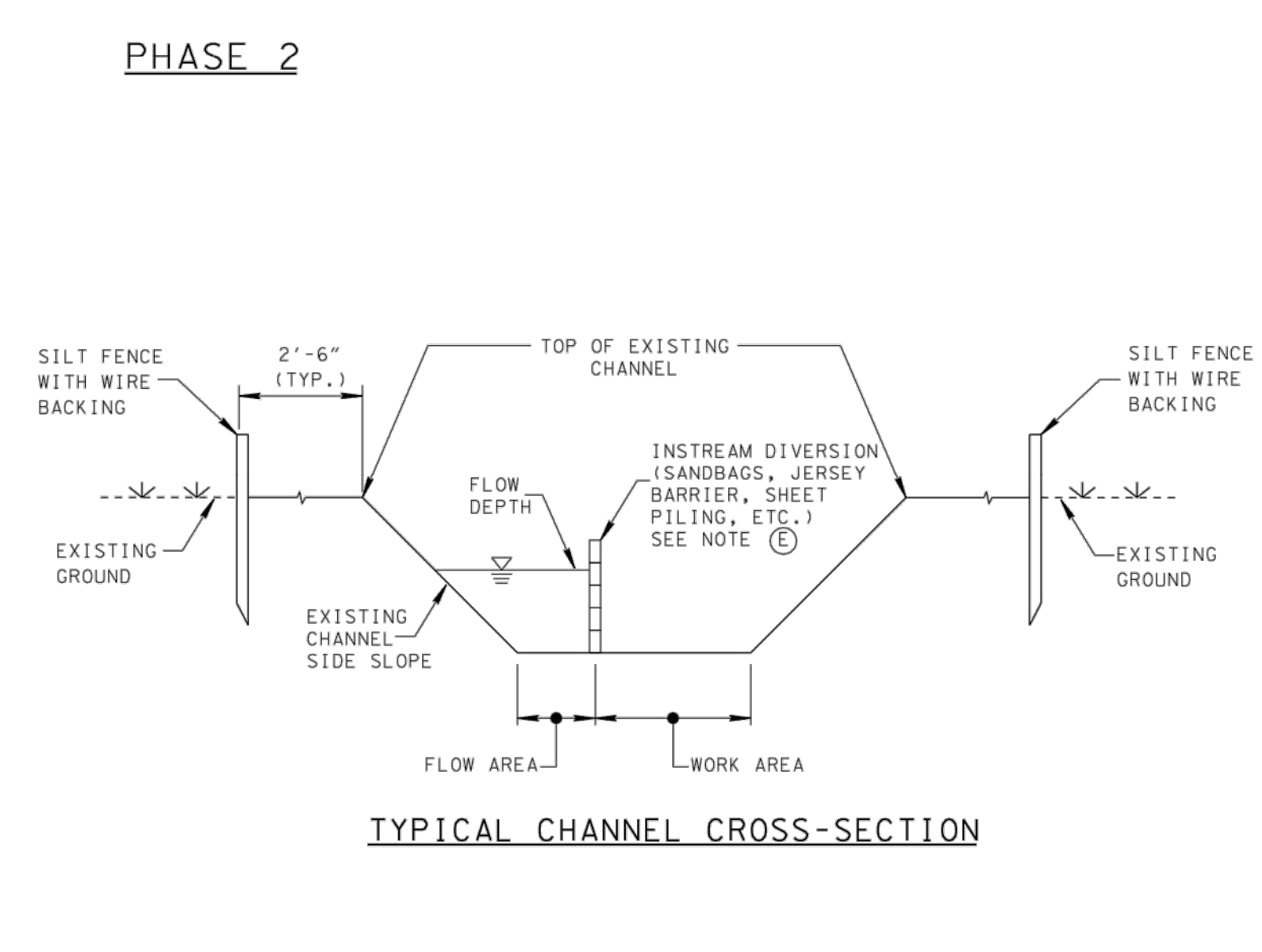
PLAN VIEW



TYPICAL CHANNEL CROSS-SECTION



PLAN VIEW



TYPICAL CHANNEL CROSS-SECTION

EROSION CONTROL PLAN LEGEND: —IN—DIV— INSTREAM DIVERSION

INSTREAM DIVERSION GENERAL NOTES

- ① INSTREAM DIVERSIONS ARE GENERALLY USED WHERE IT IS NECESSARY TO MAINTAIN THE STREAM FLOW WITHIN THE EXISTING CHANNEL DURING THE CONSTRUCTION OF A MULTI-BARREL CULVERT, BOX BRIDGE, OR SLAB BRIDGE. THIS ALLOWS INSTREAM WORK TO BE COMPLETED IN THE DRY, SEPARATED FROM FLOWING WATER.
- ② EXAMPLE SHOWN IS FOR NEW CONSTRUCTION OR REPLACEMENT OF A STRUCTURE WHEN THE ROADWAY IS CLOSED TO TRAFFIC OR WHEN A RUNAROUND IS USED. FOR AN EXAMPLE WHEN TRAFFIC IS MAINTAINED DURING CONSTRUCTION SEE EC-STR-30A. TRAFFIC CONTROL SHOULD BE BASED ON THE SPECIFIC PROJECT, NOT ON THE EXAMPLE SHOWN.
- ③ EXAMPLE SHOWN IS FOR NEW CONSTRUCTION OF A MULTI-BARREL STRUCTURE. ADJUSTMENTS SHOULD BE MADE TO THE INSTREAM DIVERSION FOR A STRUCTURE REPLACEMENT OR WHEN A BRIDGE IS REPLACED WITH A MULTI-BARREL STRUCTURE.
- ④ THE CONSTRUCTION PHASING SHOWN IS AN EXAMPLE. THE CONSTRUCTION PHASING USED SHOULD BE BASED UPON FIELD CONDITIONS OF THE SPECIFIC PROJECT AT THE TIME OF CONSTRUCTION. THE INSTREAM DIVERSION SHOULD BE ADJUSTED ACCORDINGLY.
- ⑤ THE HEIGHT OF THE INSTREAM DIVERSION SHOULD BE A MINIMUM OF 1 FOOT HIGHER THAN THE ORDINARY FLOW IN THE REDUCED CHANNEL WIDTH.
- ⑥ WHERE IT IS NECESSARY TO EXCAVATE THE CHANNEL TO PROVIDE SUFFICIENT FLOW AREA FOR THE ORDINARY FLOW THE EXCAVATED AREA SHOULD BE LINED WITH GEOTEXTILE FABRIC AND RIPRAP. THE EXCAVATED AREA SHOULD BE LIMITED TO CONSTRUCTION LIMITS OF THE STRUCTURE.
- ⑦ DURING CONSTRUCTION OF THE INSTREAM DIVERSION, DAMAGE TO THE EXISTING STREAM AND CANOPY SHALL BE MINIMIZED. ALL EXISTING VEGETATION OUTSIDE THE CUT AND FILL LINES BUT INSIDE THE RIGHT-OF-WAY SHALL NOT BE DISTURBED UNLESS IT INTERFERES WITH CONSTRUCTION OR SAFETY STANDARDS.
- ⑧ CONSTRUCTION SHALL PROCEED AS FOLLOWS:
 1. USE INSTREAM DIVERSION TO DIVERT FLOW TO ONE SIDE OF THE EXISTING CHANNEL AND/OR INTO BARRELS OF THE EXISTING CULVERT.
 2. REMOVE PORTION OF EXISTING STRUCTURE, IF APPLICABLE, AND CONSTRUCT ONE OR MORE BARRELS OF THE PROPOSED CULVERT AND PLACE INLET AND OUTLET PROTECTION.
 3. USE INSTREAM DIVERSION TO DIVERT FLOW TO OTHER SIDE OF THE EXISTING CHANNEL AND INTO BARRELS OF THE NEWLY CONSTRUCTED PROPOSED STRUCTURE.
 4. REMOVE REMAINING PORTION OF EXISTING STRUCTURE, IF APPLICABLE, AND CONSTRUCT REMAINING BARRELS OF THE PROPOSED STRUCTURE AND PLACE INLET AND OUTLET PROTECTION.
 5. REMOVE INSTREAM DIVERSION.
- ⑨ INSTREAM DIVERSION SHALL BE INSPECTED WEEKLY OR AFTER EVERY RAIN EVENT. ANY NEEDED REPAIRS SHALL BE DONE IMMEDIATELY.
- ⑩ INSTREAM DIVERSION MAY BE CONSTRUCTED OF SANDBAGS, JERSEY BARRIER, RIPRAP, SHEET PILING, OR OTHER MATERIALS USED TO SEPARATE THE FLOWING WATER FROM THE WORK AREA.
- ⑪ ONLY GEOTEXTILE FABRIC (TYPE III) LISTED ON THE QUALIFIED PRODUCTS LIST SHALL BE USED.
- ⑫ FOR INSTALLATION DETAILS AND ITEM NUMBERS FOR DEWATERING STRUCTURES (EC-STR-1), SEDIMENT FILTER BAGS (EC-STR-2), SILT FENCE (EC-STR-3B) AND SILT FENCE WITH WIRE BACKING (EC-STR-3C), SEE THEIR RESPECTIVE STANDARD DRAWINGS.
- ⑬ INSTREAM DIVERSIONS SHALL BE PAID FOR UNDER THE FOLLOWING ITEM NUMBERS:

209-65.04	TEMPORARY IN STREAM DIVERSION PER LINEAR FOOT
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OPTIONAL EXCAVATION, GEOTEXTILE, AND RIPRAP SHALL BE INCLUDED IN THE COST OF INSTREAM DIVERSION.

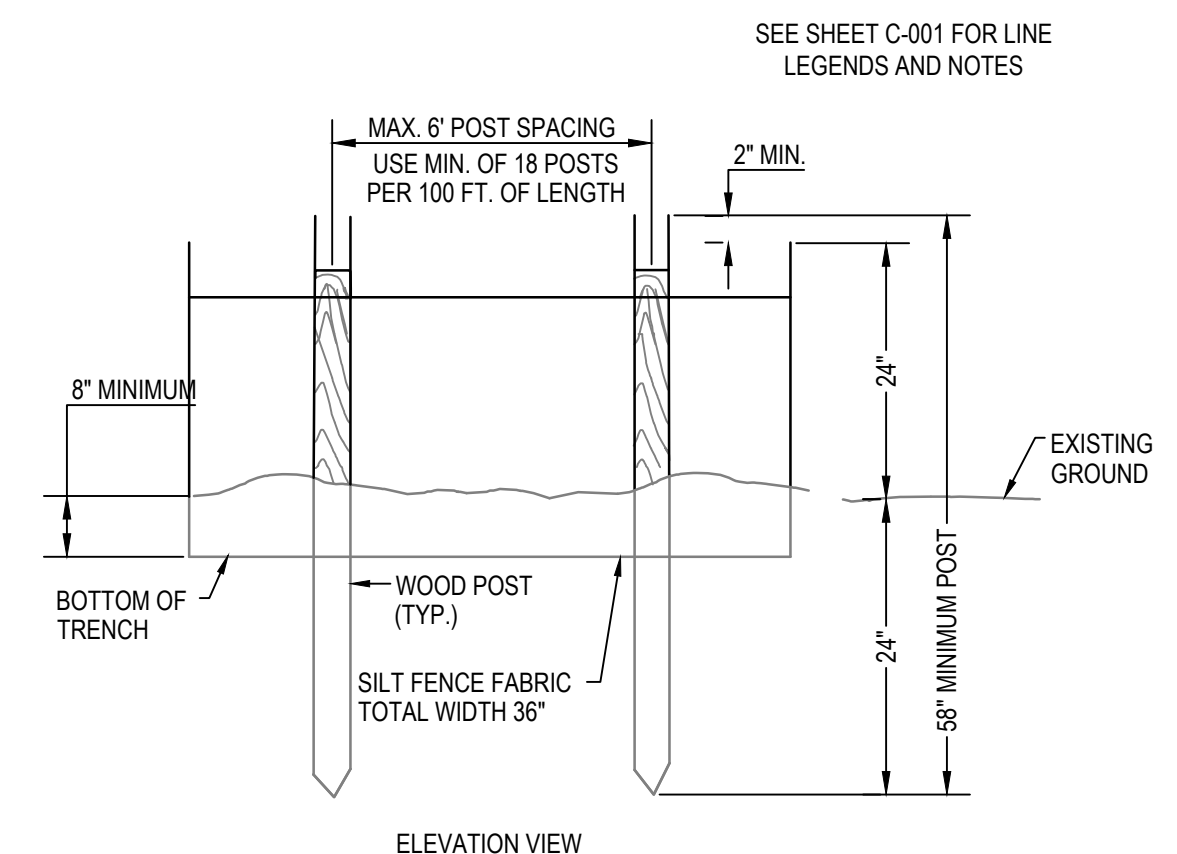
DEWATERING STRUCTURES, SEDIMENT FILTER BAGS, SILT FENCE, AND SILT FENCE WITH WIRE BACKING SHALL BE PAID FOR ACCORDING TO THEIR RESPECTIVE STANDARD DRAWINGS.

PAYMENT SHALL INCLUDE ALL MATERIALS AND LABOR NECESSARY FOR CONSTRUCTION, MAINTENANCE, AND REMOVAL OF INSTREAM DIVERSION.

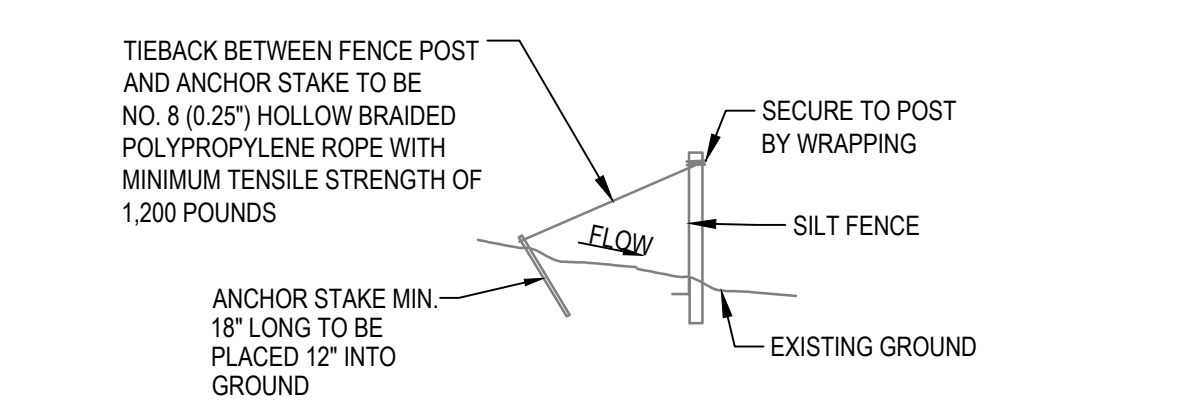
STATE OF TENNESSEE
DEPARTMENT OF TRANSPORTATION

INSTREAM DIVERSION
(WITHOUT TRAFFIC)

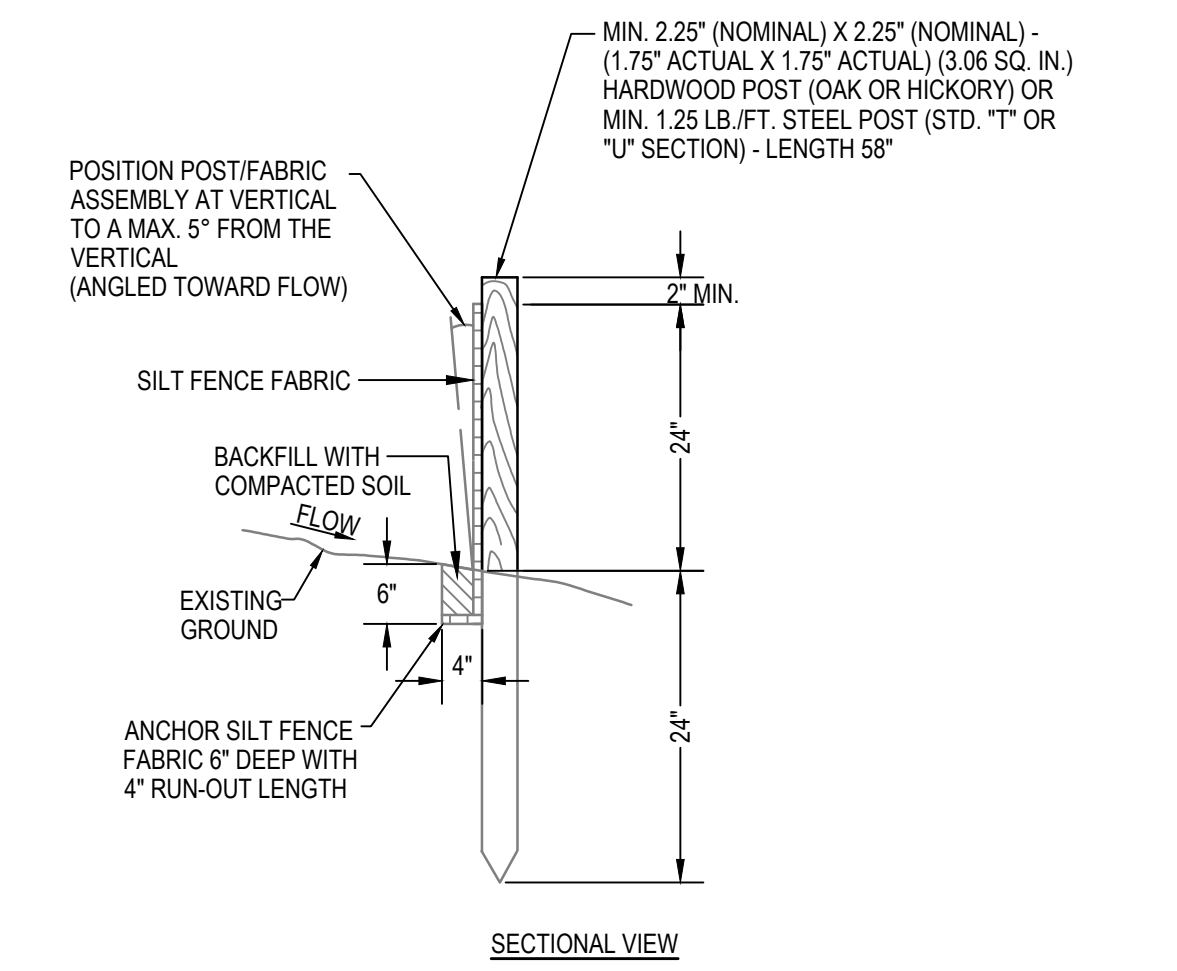
1-1-10 EC-STR-30



ELEVATION VIEW



SILT FENCE TIEBACK FOR STEEL POSTS OR WOOD POSTS (WHEN REQUIRED BY THE ENGINEER OR NOTED IN THE PLANS.)

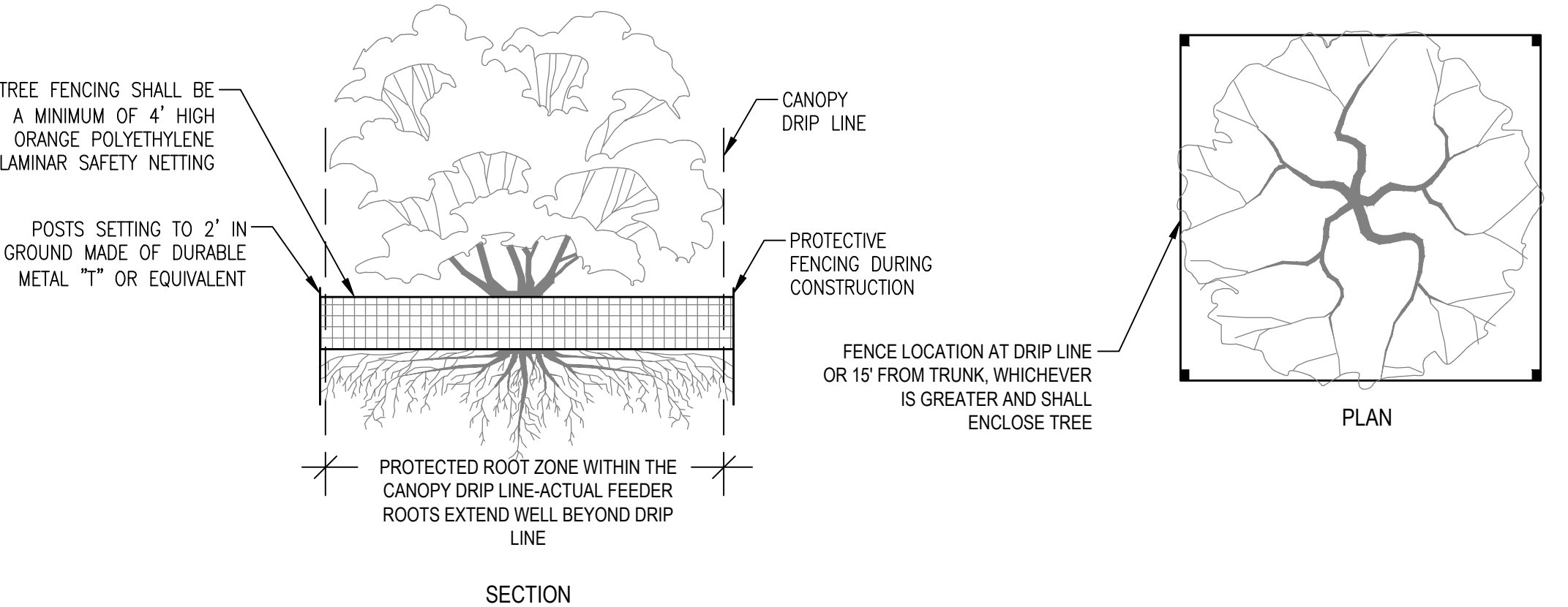


SF SILT FENCE NOT TO SCALE

ID INSTREAM DIVERSION NOT TO SCALE

NOTE: TYPICAL STANDARD DETAIL EC-STR-30 IS TO BE UTILIZED BY CONTRACTOR FOR PURPOSES OF INSTREAM DIVERSION MATERIAL, SEDIMENT FILTER BAG OR DEWATERING STRUCTURE, AND PUMP SELECTION AND LAYOUT. INSTANCES INVOLVING MULTIPLE PHASES OF INSTREAM DIVERSION AND PROPOSED ROADWAY WILL NOT APPLY TO THIS PROJECT.

* BANK STABILIZATION



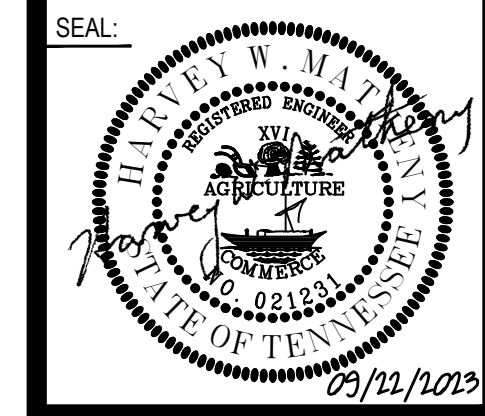
TP TREE PROTECTION NOT TO SCALE

REVISIONS:

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**PLANTATION HILLS SUBDIVISION
BANK STABILIZATION**
4196 HADLEY DRIVE
LAKELAND, TN 38002



SHEET NUMBER:
C-520

DESCRIPTION:
EROSION CONTROL DETAILS

K:\26689.00\CAD\PLANS\C-520 EROSION CONTROL DETAILS.DWG