

## OJAI UNIFIED SCHOOL DISTRICT

**BID ADDENDUM NO. 1**      ISSUED 3/18/2019

### TO THE CONTRACT DOCUMENTS, SPECIFICATIONS AND PLANS FOR OJAI UNIFIED SCHOOL DISTRICT

#### REPAINTING PROJECT AT VARIOUS CAMPUSES

MATILIJA JUNIOR HIGH SCHOOL PROJECT NO. 2019-1608  
MEINERS OAKS ELEMENTARY SCHOOL PROJECT NO. 2019-1110  
MIRA MONTE ELEMENTARY SCHOOL PROJECT NO. 2019-1205  
NORDHOFF HIGH SCHOOL PROJECT NO. 2019-1713  
TOPA TOPA ELEMENTARY SCHOOL PROJECT NO. 2019-1507

THE BIDDER SHALL ATTACH THE ADDENDUM TO THE DOCUMENTS SUBMITTED WITH THE BID TO OJAI UNIFIED SCHOOL DISTRICT TO CERTIFY THAT THE BID ADDENDUM INFORMATION WAS RECEIVED.

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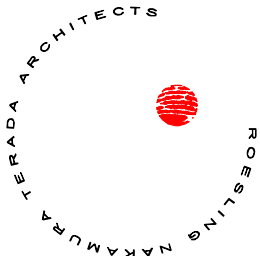
**BID DUE DATE: 10:00 am (local) March 26**

The following additions, modifications, corrections, deletions and clarifications are hereby made to the Contract Documents of the subject Project and constitute **Addendum Number 1**. This Addendum is hereby incorporated into the contract documents by reference.

#### I. RESPONSES TO REQUESTS FOR INFORMATION

No.	QUESTION	RESPONSE	RESPONSE BY
1	For roof restorations, are gutters and downspouts to remain or be replaced?	To remain.	RNT
2	Is Building A at Topa Topa Elementary a roof replacement or resurfacing?	Scope of work does not include replacing or restoring roof surface. It includes minor modifications to roof accessories.	RNT

REROOFING PROJECTS      ADDENDUM NO. 1  
PROJECT NO. 2019-1608, 2019-1110, 2019-1205 2019-1713, 2019-1507



## II. GENERAL INFORMATION

### A. Contract Documents

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No Change.

## III. REVISED SPECIFICATIONS AND DRAWINGS

### A. Specifications – All Projects

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Item 1 **Section 011000** Summary of Work - revised to correctly indicate revised scope of work for **MATILIJA JUNIOR HIGH SCHOOL PROJECT NO. 2019-1608**

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### B. Drawings

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#### **MATILIJA JUNIOR HIGH SCHOOL PROJECT NO. 2019-1608**

Item 2 Revise drawings to revise the roof restorations to be roof replacements. Revised Drawings:

G-000	Title Sheet
AS-100	SITE PLAN
D-100	ROOF DEMOLITION PLANS
A-100	ROOF PLANS
AD-101	ROOF DETAILS

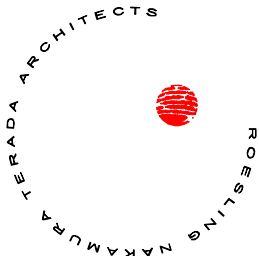
#### **MEINERS OAKS ELEMENTARY SCHOOL PROJECT NO. 2019-1110**

Item 3 **AS-100 SITE PLAN** – revised to include adding gutter and downspouts to south edge of walkway at building G.

REROOFING PROJECTS

ADDENDUM NO. 1

PROJECT NO. 2019-1608, 2019-1110, 2019-1205 2019-1713, 2019-1507



**MIRA MONTE ELEMENTARY SCHOOL PROJECT NO. 2019-1205**

No Change.

**NORDHOFF HIGH SCHOOL PROJECT NO. 2019-1713**

- Item 4 Concrete and storm drain connections revised to be Bid Alternate (optional).  
Revised Drawings:  
G-000 Title Sheet  
A-101 Building I & J Roof Plans  
A-102 Building F Roof Plan
- Item 5 Revisions to extent of gravel  
A-102 Building F Roof Plan

**TOPA TOPA ELEMENTARY SCHOOL PROJECT NO. 2019-1507**

- Item 6 Concrete and storm drain connections revised to be Bid Alternate (optional).  
Revised Drawings:  
G-000 Title Sheet  
A-101 Building A Roof Plan
- Item 7 Scope of gutter and downspout work revised  
A-101 Building A Roof Plan  
AD-101 Roof Details

END OF **BID ADDENDUM NO. 1** ISSUED 3/18/2019

----REVISED DOCUMENTS ATTACHED AFTER THIS PAGE.----

SECTION 011000 - SUMMARY OF WORK

PART 1 - GENERAL

1.1 SUMMARY OF THE WORK:

A. The Work under this Contract necessary for and incidental to the execution and completion of all Work indicated and inferred in the Contract Documents for the roofing replacements at the locations indicated in the summary of work below. **All roofing finished surfaces shall be California Code of Regulations (CCR) Title 24 compliant.**

B. Drawings and Specifications dated January 10, 2019, were prepared by:

ROESLING NAKAMURA TERADA ARCHITECTS, INC.  
285 N Ventura Ave #102, Ventura, CA 93001

C. Summary of Work:

1. Matilija Junior High School (PROJ#-1608) 703 El Paseo Rd, Ojai, CA 93023
  - a. Replace Building C Roof – Built-up Roofing
  - b. Replace Building D Roof – Asphalt Shingles over Aqua Shield Underlayment
  - c. Replace Building F Roof – Built-up Roofing
2. Meiners Oaks Elementary School (PROJ#-1110) 400 S Lomita Ave, Ojai, CA 93023
  - a. Replace Building J Roof - SBS
  - b. Restore Building K3 Roof – Standing Seam Metal
3. Mira Monte Elementary School (PROJ#-1205) 1216 Loma Dr, Ojai, CA 93023
  - a. Replace Building D Roof - SBS
  - b. Replace Building E Roof - SBS
  - c. Restore Building J Roof – Standing Seam Metal
  - d. Replace Building Q Roof - SBS
4. Nordhoff High School (PROJ#-1713) 1401 Maricopa Hwy, Ojai, CA 93023
  - a. Replace Building F Roof - SBS
  - b. Replace Building G Roof - SBS
  - c. Replace Building H Roof - SBS
  - d. Replace Building I Roof - SBS
  - e. Replace Building J Roof - SBS
  - f. Restore Building Q Roof – Standing Seam Metal
5. Topa Topa Elementary School (PROJ#-1507) 916 Mountain View Ave, Ojai, CA 93023
  - a. Restore Building G Roof – Built-up Roofing

ROOFING PROJECTS AT VARIOUS SCHOOLS  
OJAI UNIFIED SCHOOL DISTRICT  
BID

1.1 OCCUPATIONAL SAFETY AND HEALTH ACT REQUIREMENTS:

- A. During the entire construction period, it shall be the responsibility of the Contractor to maintain conditions at the Project site so as to meet in all respects the requirements of the Federal Occupational Safety and Health Administration (OSHA) and the California Occupational Safety and Health Administration (CAL-OSHA). These provisions shall cover the Contractor's employees and all other persons working upon or visiting the site. To this end, the Contractor shall inform himself and his representatives of Federal OSHA and California OSHA standards.
- B. Bid Documents are available online at the Ojai Unified School District's Website (<http://www.ojaiusd.org/Departments/Maintenance/Construction-Projects>)

1.2 COORDINATION REQUIREMENTS:

- A. It is the Contractor's responsibility to coordinate the Work so as to minimize conflicts and optimize efficiency.
- B. Coordinate scheduling, submittals, and Work of the various Sections of Specifications to assure efficient and orderly sequence of installation of interdependent construction elements, with provisions for accommodating items installed later.

1.3 BUILDING SYSTEM COORDINATION:

- A. Notify Architect if conditions are uncovered which would prevent the completed construction from conforming to the requirements of the Work.
- B. Materials/Systems: As specified. Verify compatibility with District-wide standard systems.
- C. "NIC" construction is indicated and specified herein as an aid to the Contractor in scheduling the amount of time and materials necessary for the completion of the Contract.

ROOFING PROJECTS AT VARIOUS SCHOOLS  
OJAI UNIFIED SCHOOL DISTRICT  
BID

1.4 DISTRICT OCCUPANCY:

- A. The District will occupy the campus during the entire period of construction for certain administrative operations during the summer months. Cooperate with the District in all construction operations including the following to minimize conflict and to facilitate District usage.
- B. If and when it should be necessary for the Contractor to impact the day-to-day operations of District's functions in order to pursue the Work, the Contractor shall furnish at least 14 days notice to the District and coordinate the means and timing to avoid, minimize, or circumvent such impacts. The District reserves the right to assess and anticipate such impacts and the right to stop or postpone the Work until a mutually satisfactory time and means can be agreed upon. The Contractor shall include costs for delays caused by normal school operations and scheduled special events.

1.5 CONTRACTOR'S USE OF THE PREMISES:

- A. The Contractor shall limit his use of the premises for construction activities and for storage, to allow for District occupancy or for construction activities by other Contractors.
- B. The Contractor shall be responsible for the following:
  - 1. Coordinate the use of the premises under the direction of the District and construction activities by other Contractors.
  - 2. Assume full responsibility for the protection and safekeeping of products under this Contract which are stored at the site.
  - 3. Move stored products that are under the Contractor's control, which interfere with operations of the District or the other Contractors.
  - 4. Obtain and pay for the use of additional storage or construction areas needed for operations.

1.6 COORDINATION OTHER DISTRICT CONTRACTORS:

- A. The District may have separate contractors or vendors working on the site at the time of this project. The Contractor shall coordinate work activities to not interfere with other District work.

PART 2 - PRODUCTS (Not Applicable)

PART 3 - EXECUTION (Not Applicable)

End of Section

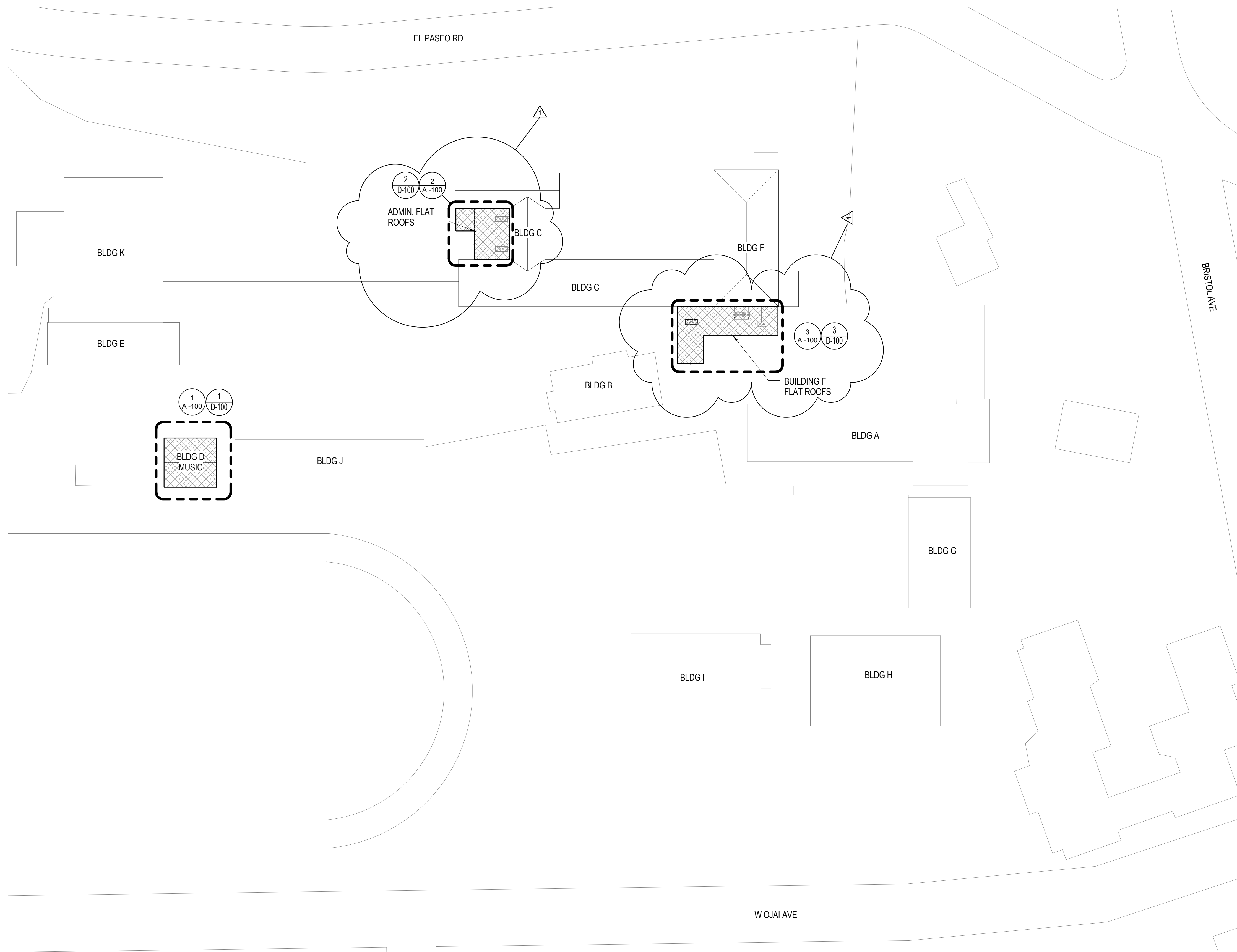
ROOFING PROJECTS AT VARIOUS SCHOOLS  
OJAI UNIFIED SCHOOL DISTRICT  
BID

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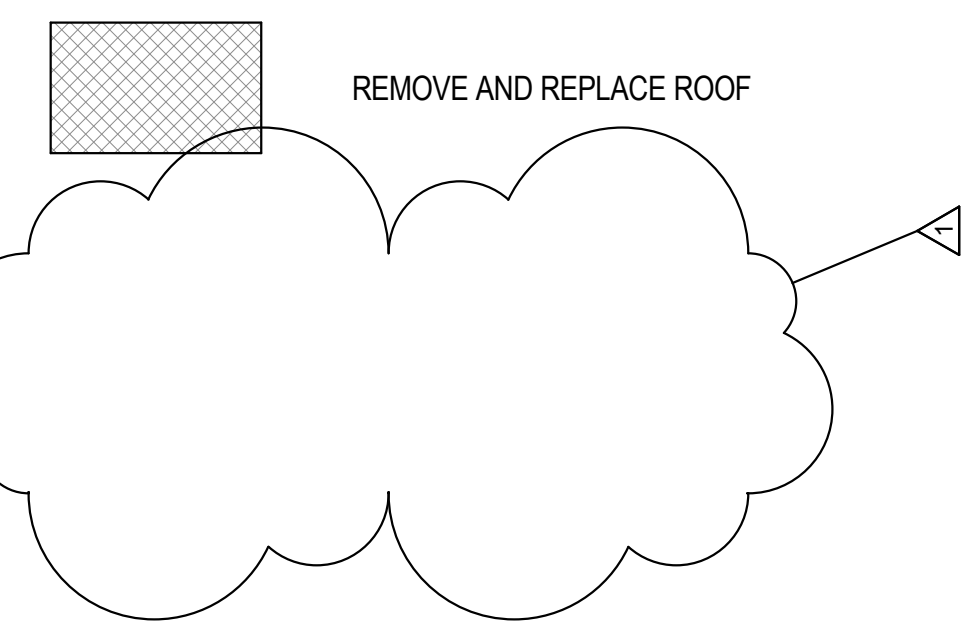




**SHEET GENERAL NOTES**

1. PROTECT ADJACENT STRUCTURES, EQUIPMENT, VEHICLES ETC. FROM OVERSPRAY
2. VERIFY ON FIELD LOCATION OF MECHANICAL EQUIPMENT AND & TYPE OF UTILITY.

**LEGEND**



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**OJAI  
UNIFIED  
SCHOOL  
DISTRICT**

**ROOFING  
PROJECT AT  
MATILIJA  
JUNIOR HIGH  
SCHOOL**

703 EL PASEO ROAD,  
OJAI, CA 93023

100% CDs

No.	Description	Date
1	BID ADDEN. 01	3/15/2019

Sheet Name

**SITE PLAN**

17761.00  
Date 01/10/2019  
Drawn by CLD  
Checked by CY  
Sheet Number

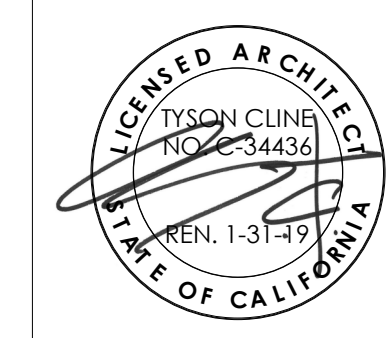
**AS-100**

**1 SITE PLAN**  
1" = 40'-0"





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OJAI  
UNIFIED  
SCHOOL  
DISTRICT

ROOFING  
PROJECT AT  
MATILIJA  
JUNIOR HIGH  
SCHOOL

703 EL PASEO ROAD,  
OJAI, CA 93023

100% CDs

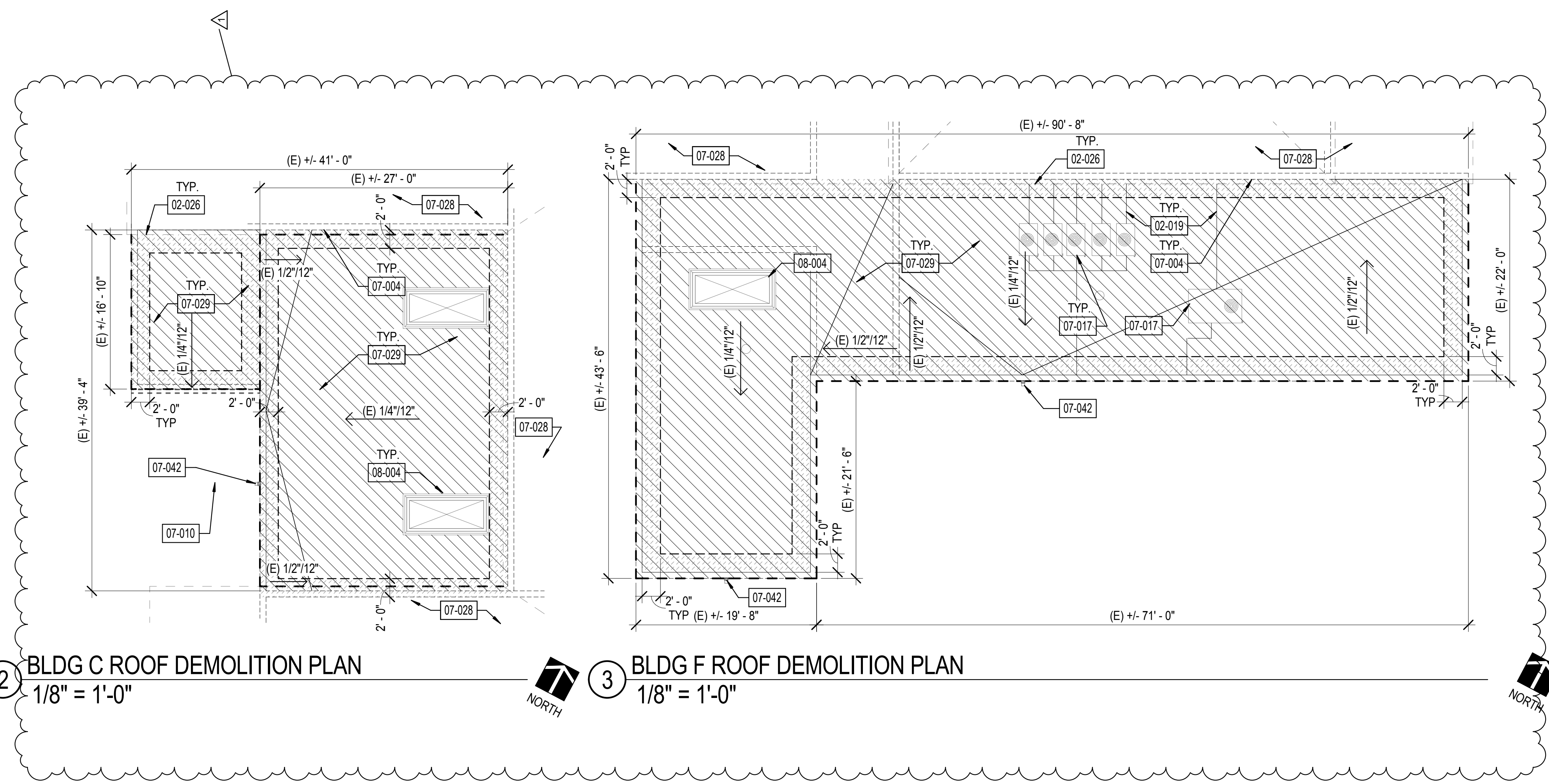
No.	Description	Date
1	BID ADDN. 01	3/15/2019

Sheet Name

ROOF  
DEMOLITION  
PLANS

17761.00  
Date 01/10/19  
Drawn by CLD  
Checked by CY  
Sheet Number

D-100



1 BLDG D ROOF DEMOLITION PLAN  
1/8" = 1'-0"

2 BLDG C ROOF DEMOLITION PLAN  
1/8" = 1'-0"

3 BLDG F ROOF DEMOLITION PLAN  
1/8" = 1'-0"

**SHEET GENERAL NOTES**

- EXISTING ROOF DEMOLITION REQUIRES REMOVAL OF ROOF MEMBRANE.
- AFTER REMOVAL OF ROOFING, THE ARCHITECT WILL REVIEW THE EXISTING PLYWOOD SUBSTRATE. IF PORTIONS OF PLYWOOD REQUIRE REPLACEMENT, THE ARCHITECT WILL IDENTIFY AND PROVIDE WRITTEN DIRECTION TO THE CONTRACTOR TO AUTHORIZE THE WORK. SUCH COSTS WILL BE APPLIED **AGAINST ALLOWANCE NO. 1**.
- EXISTING ROOFING MATERIALS SCHEDULED FOR DEMOLITION HAVE BEEN TESTED AND BEEN FOUND NOT TO CONTAIN ASBESTOS. THIS DOES NOT GUARANTEE THAT ALL ROOFING MATERIALS WILL BE FREE OF ASBESTOS. IF ASBESTOS IS FOUND, COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS FOR ASBESTOS ABATEMENT.
- DO NOT CUT INTO EXISTING PLYWOOD ROOF SHEATHING DURING ROOFING DEMOLITION. ANY PLYWOOD CUT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- DETACH UTILITIES FROM SUPPORTS AND TEMPORARILY SUPPORT AS REQUIRED TO REMOVE AND REPLACE ROOFING.
- REMOVE ALL EXISTING ROOF JACKS AT PIPE OR CONDUIT PENETRATIONS AND PREP TO RECEIVE NEW SEALED PENETRATION PER DETAIL 17/AD-100.
- VERIFY ON FIELD LOCATION OF MECHANICAL EQUIPMENT AND TYPE OF UTILITY.

**LEGEND**

- REMOVE AND REPLACE ROOF
- ASSUMED ROOF SHEATHING REPLACEMENT AT EAVES/ EDGES
- (E) EXHAUST FAN
- (E) VENT PIPE THROUGH ROOF
- (E) SKYLIGHT
- ROOF VENT
- (E) WALL BELOW
- DEMOLISH (E) ITEM

**KEYNOTES**

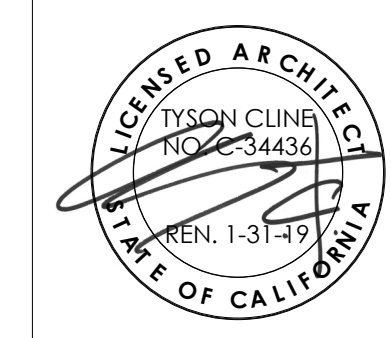
- 02-019 PROTECT IN PLACE (E) ELECTRICAL LINES
- 02-026 LINE OF ROOF ABOVE
- 07-004 LINE OF (E) WALL BELOW
- 07-010 REMOVE (E) GUTTER AND (E) DOWNSPOUT
- 07-017 PROTECT IN PLACE (E) HVAC UNIT, DETACH & TEMPORARILY SUPPORT UNIT AS REQUIRED FOR ROOFING WORK
- 07-028 PROTECT IN PLACE (E) ROOF
- 07-029 DEMOLISH (E) ROOF
- 07-042 REMOVE SCUPPER W/ LEADERHEAD, REFER TO SPECS. FIELD VERIFY LOCATION
- 08-004 PROTECT IN PLACE (E) SKYLIGHT

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**OJAI UNIFIED SCHOOL DISTRICT**

**ROOFING PROJECT AT MATILIJA JUNIOR HIGH SCHOOL**

703 EL PASEO ROAD,  
 OJAI, CA 93023

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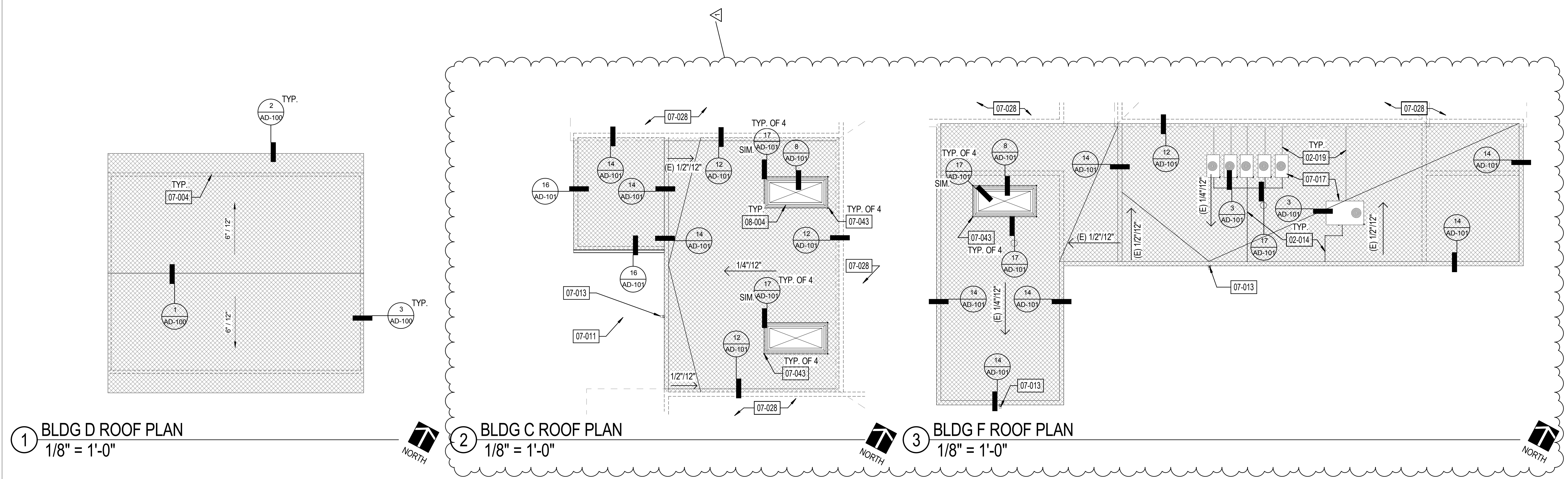
No.	Description	Date
1	BID ADDEN. 01	3/15/2019

Sheet Name

**ROOF PLANS**

17761.00
Date 01/10/19
Drawn by CLD
Checked by CY
Sheet Number

**A -100**



1 BLDG D ROOF PLAN  
 1/8" = 1'-0"

2 BLDG C ROOF PLAN  
 1/8" = 1'-0"

3 BLDG F ROOF PLAN  
 1/8" = 1'-0"

**SHEET GENERAL NOTES**

- ALL ITEMS ARE NEW UNLESS OTHERWISE NOTED.
- ANY ROOFING MEMBERS OBSERVED TO BE COMPROMISED TO BE REPLACED IN COMPLIANCE WITH DSA-APPROVED EXISTING CONDITION DRAWINGS
- INSTALL LIQUID FLASHING AT ALL PIPING ROOF PENETRATIONS PER DETAIL 17/AD-100.
- VERIFY ON FIELD LOCATION OF MECHANICAL EQUIPMENT AND & TYPE OF UTILITY.
- REFER TO DEMO PLAN FOR DIM.

**LEGEND**

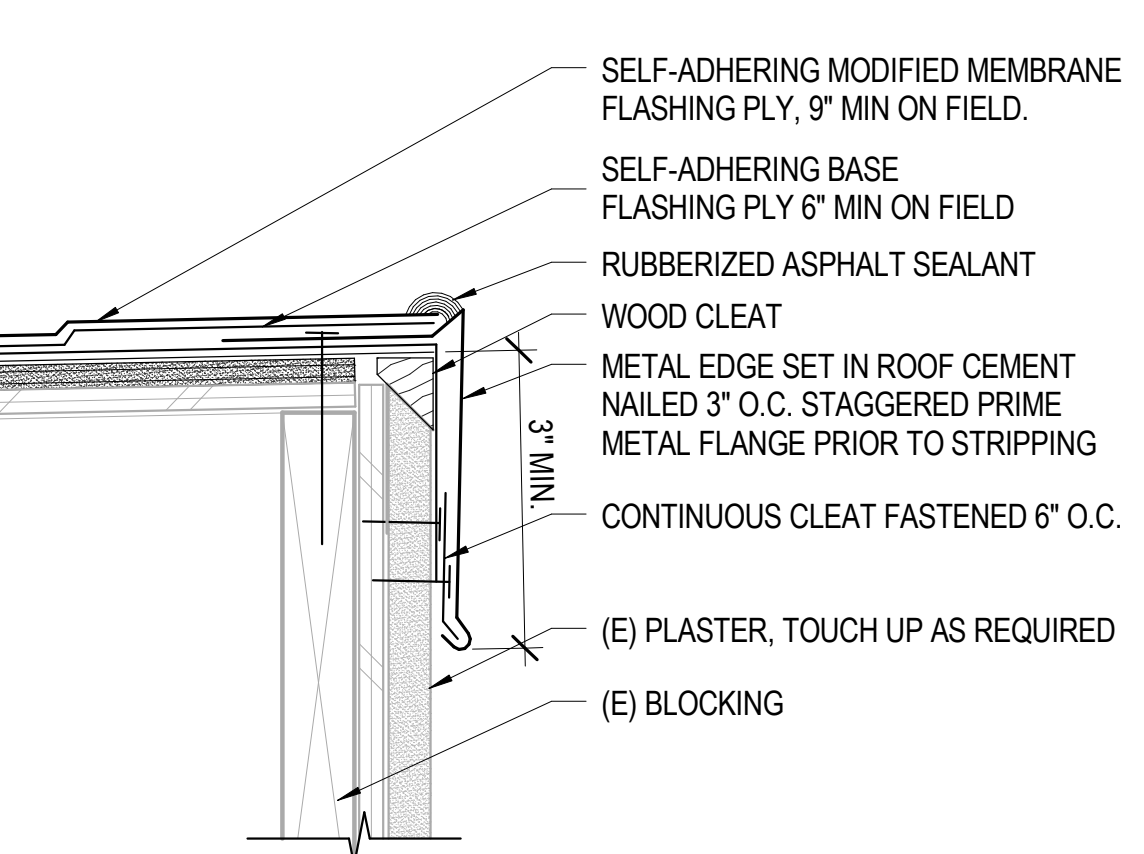
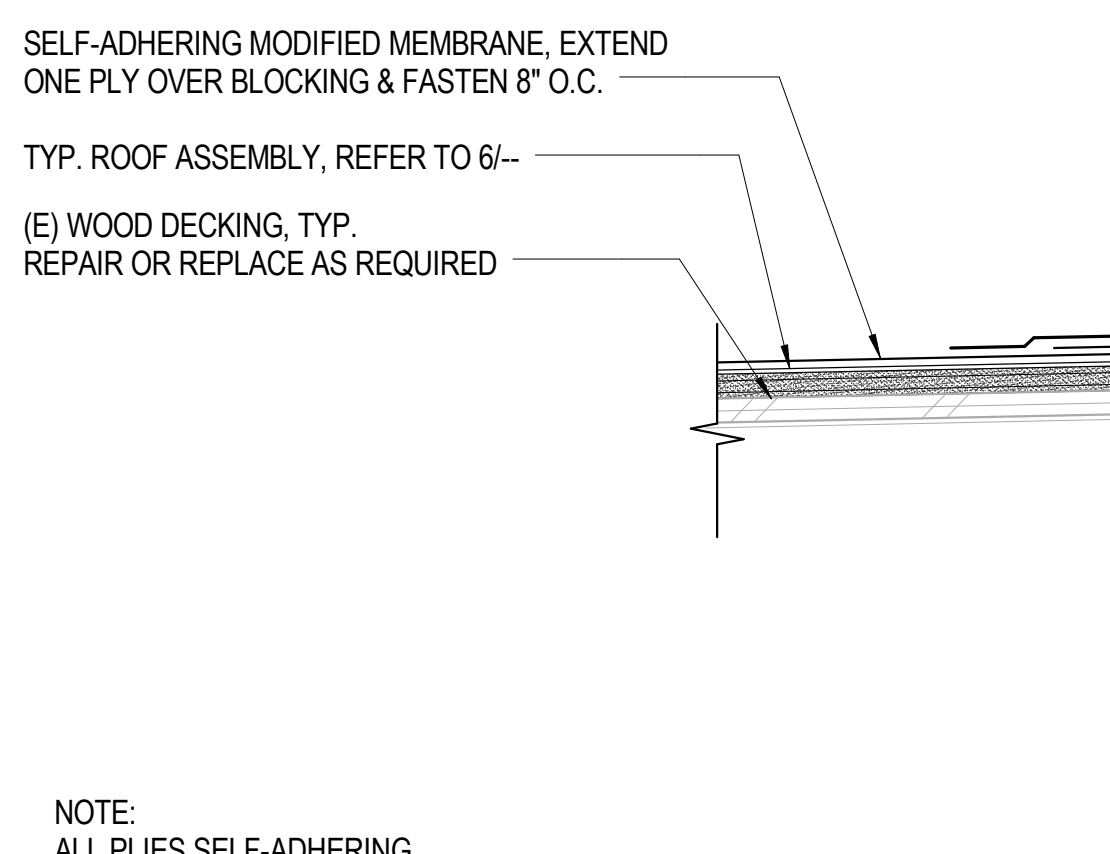
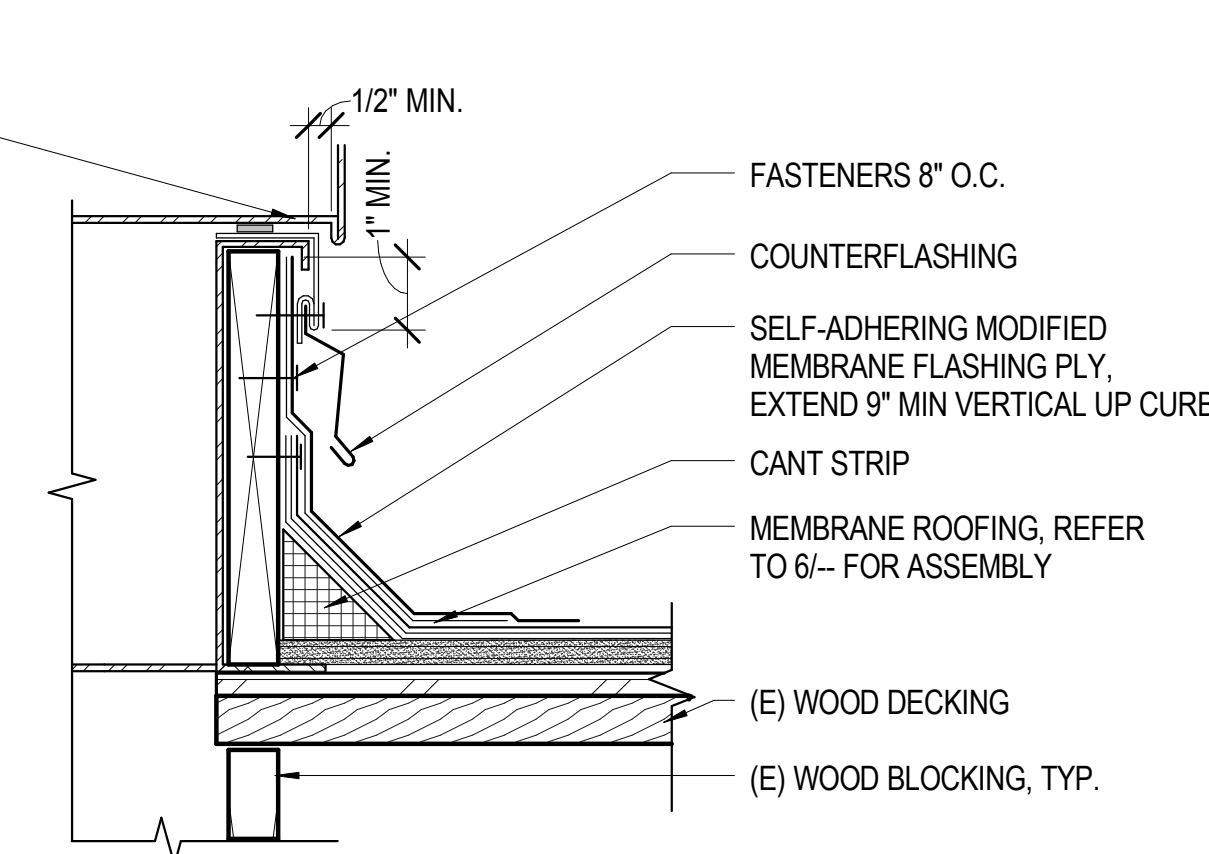
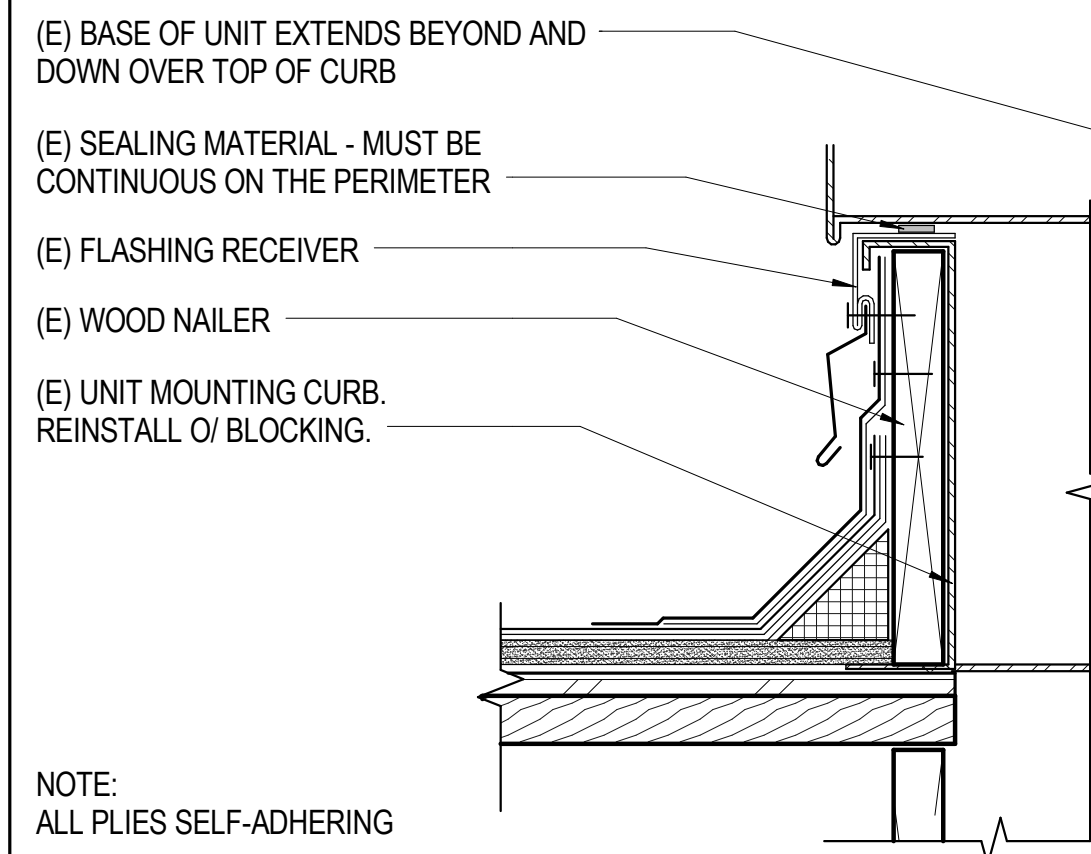
- ASPHALT SHINGLES OVER UNDERLAYMENT OVER (E) DECKING. REFER TO 5/AD-100 FOR ASSEMBLY.
- (E) EXHAUST FAN
- (E) VENT PIPE THROUGH ROOF
- (E) SKYLIGHT
- ROOF VENT
- (E) WALL BELOW

**KEYNOTES**

- 02-014 REINSTALL CONDENSATE LINE WITH TURN DOWN INTO GUTTER.
- 02-019 PROTECT IN PLACE (E) ELECTRICAL LINES
- 07-004 LINE OF (E) WALL BELOW
- 07-011 INSTALL GUTTER AND DOWNSPOUT
- 07-013 INSTALL SCUPPER W/ LEADERHEAD, REFER TO SPECS. FIELD VERIFY LOCATION
- 07-017 PROTECT IN PLACE (E) HVAC UNIT, DETACH & TEMPORARILY SUPPORT UNIT AS REQUIRED FOR ROOFING WORK
- 07-028 PROTECT IN PLACE (E) ROOF
- 07-043 DEMOUNT FOR REINSTALLATION (E) METAL FRAME AS REQUIRED FOR ROOFING WORK
- 08-004 PROTECT IN PLACE (E) SKYLIGHT

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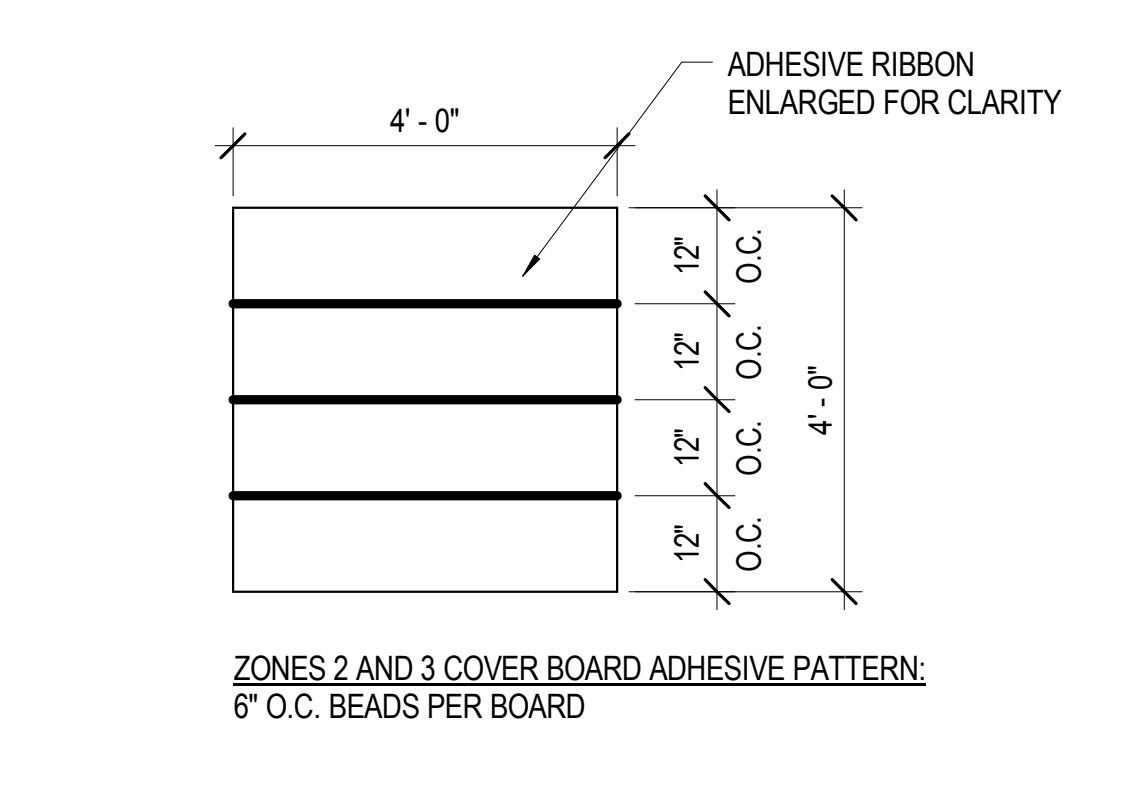
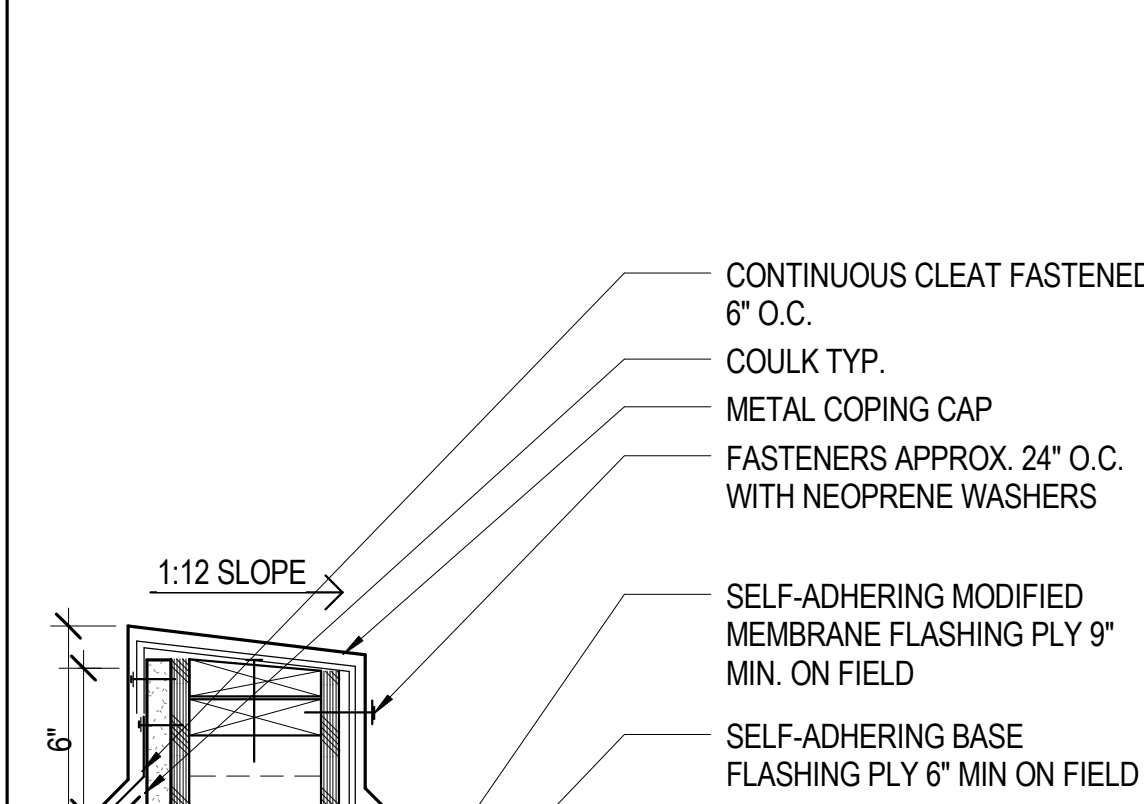
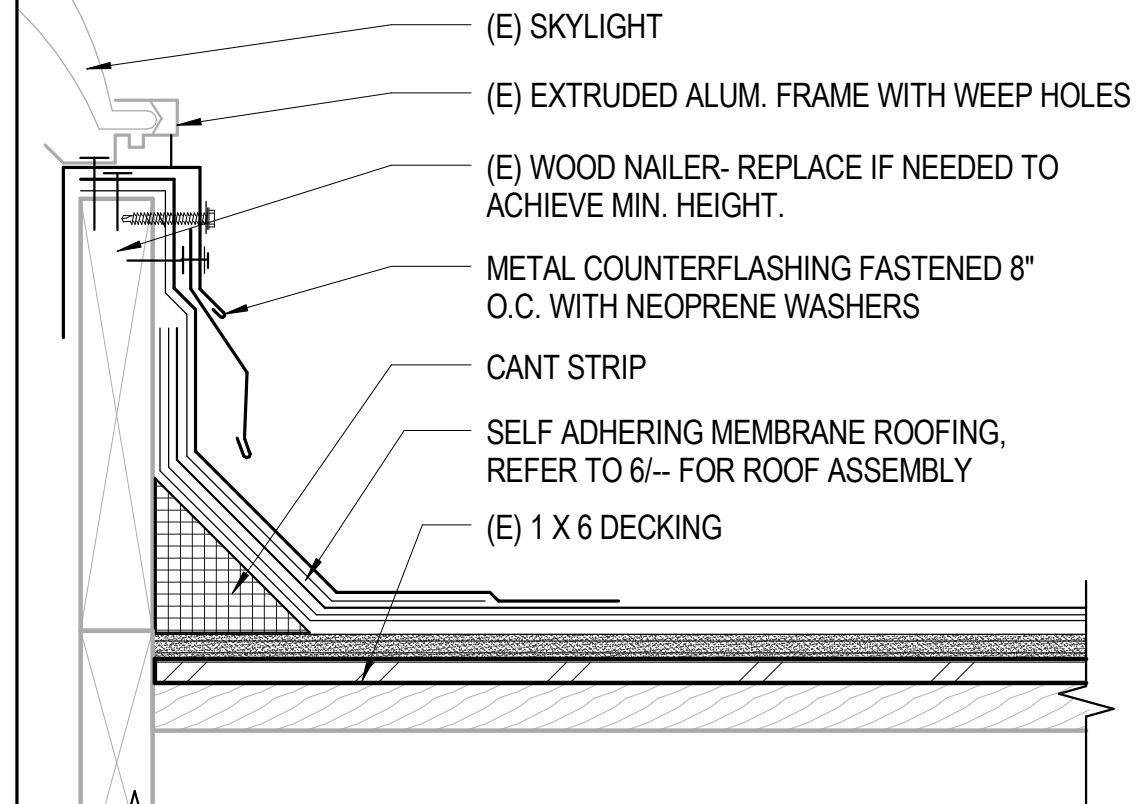
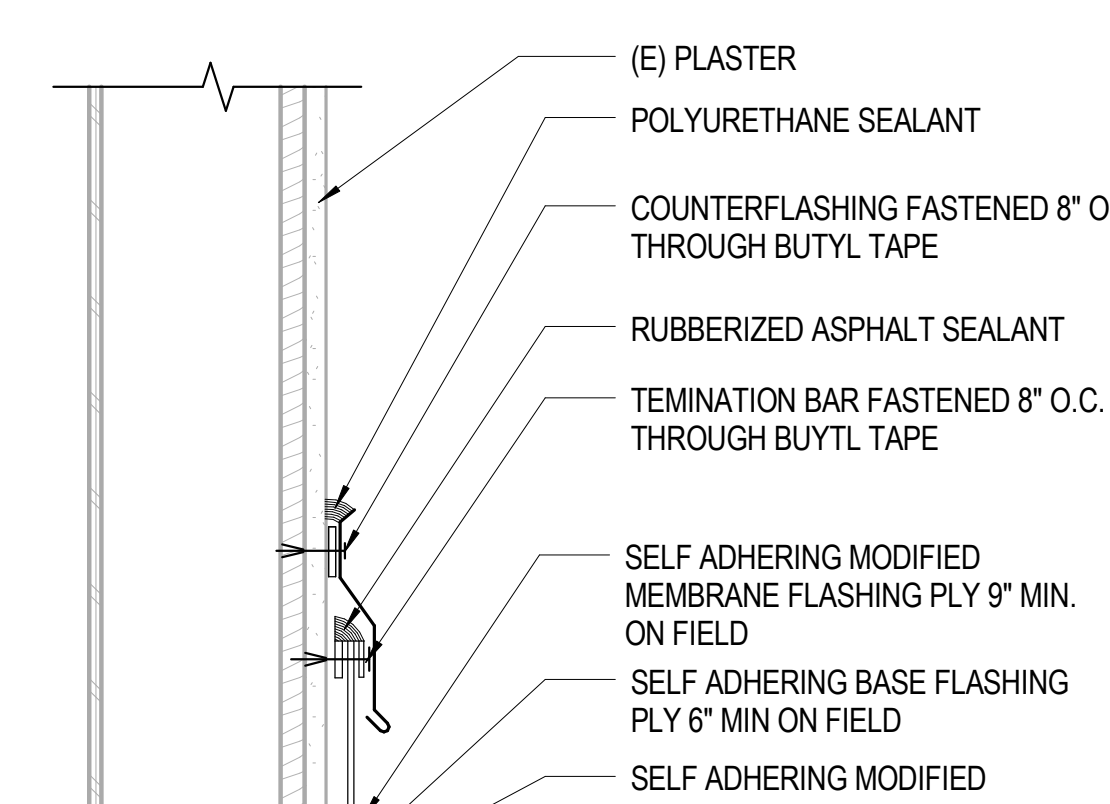
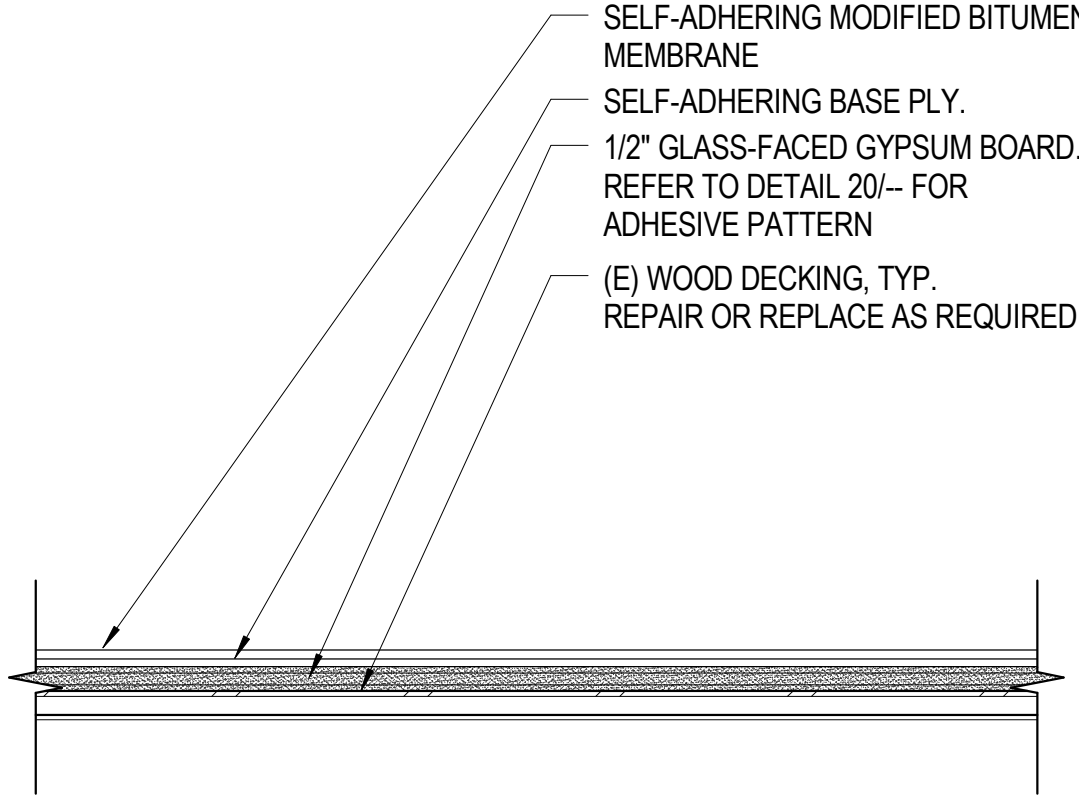


MECHANICAL EQUIPMENT CURB

3" = 1'-0" 3

ROOF METAL EDGE @ STUCCO

3" = 1'-0" 5



TYPICAL ROOF ASSEMBLY

3" = 1'-0" 6

MEMBRANE ROOFING @ SKYLIGHT

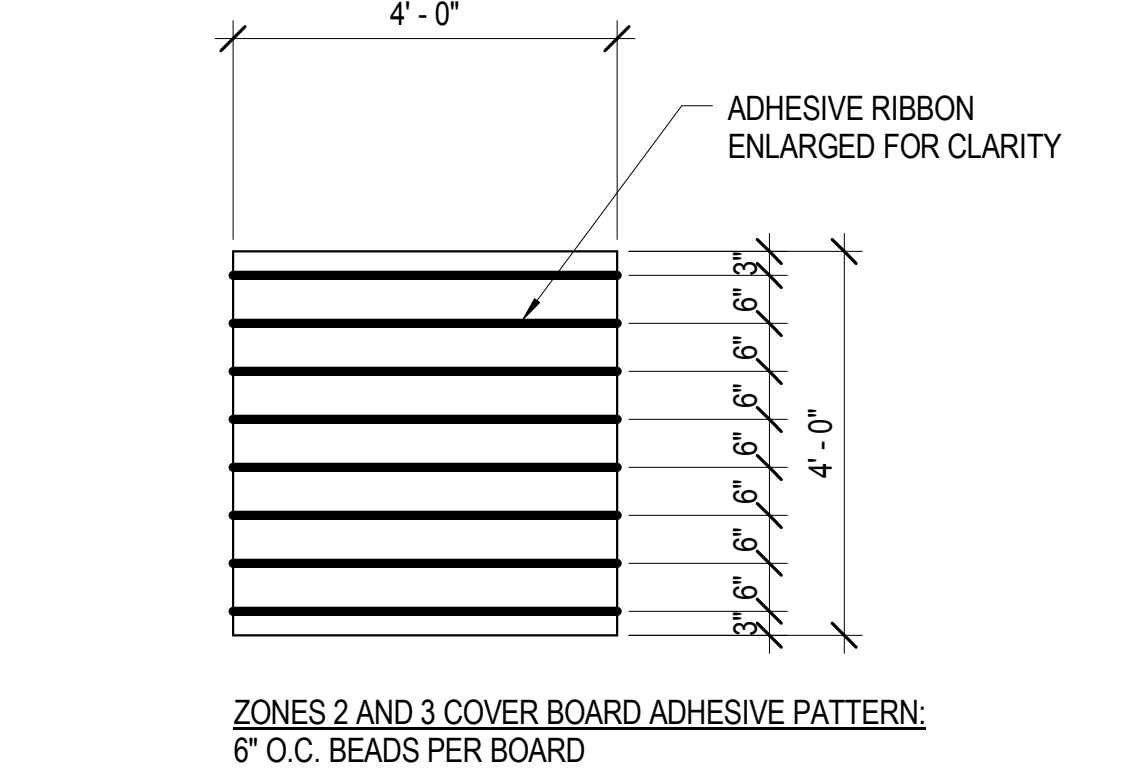
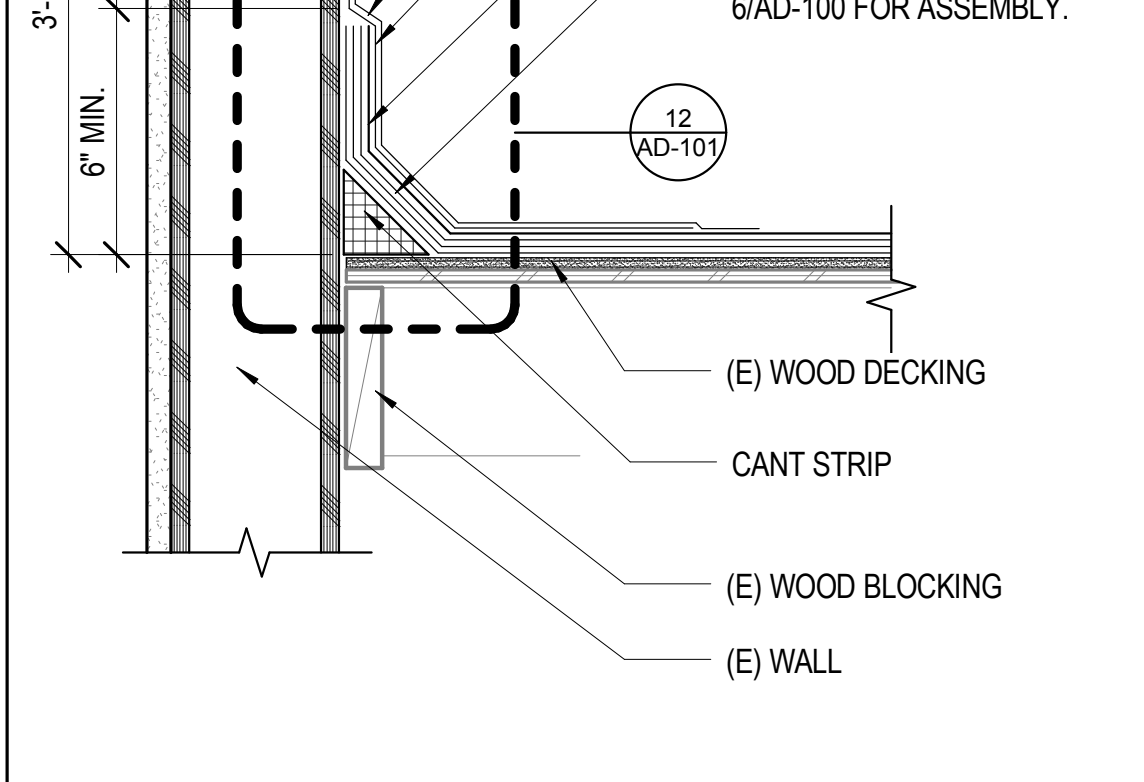
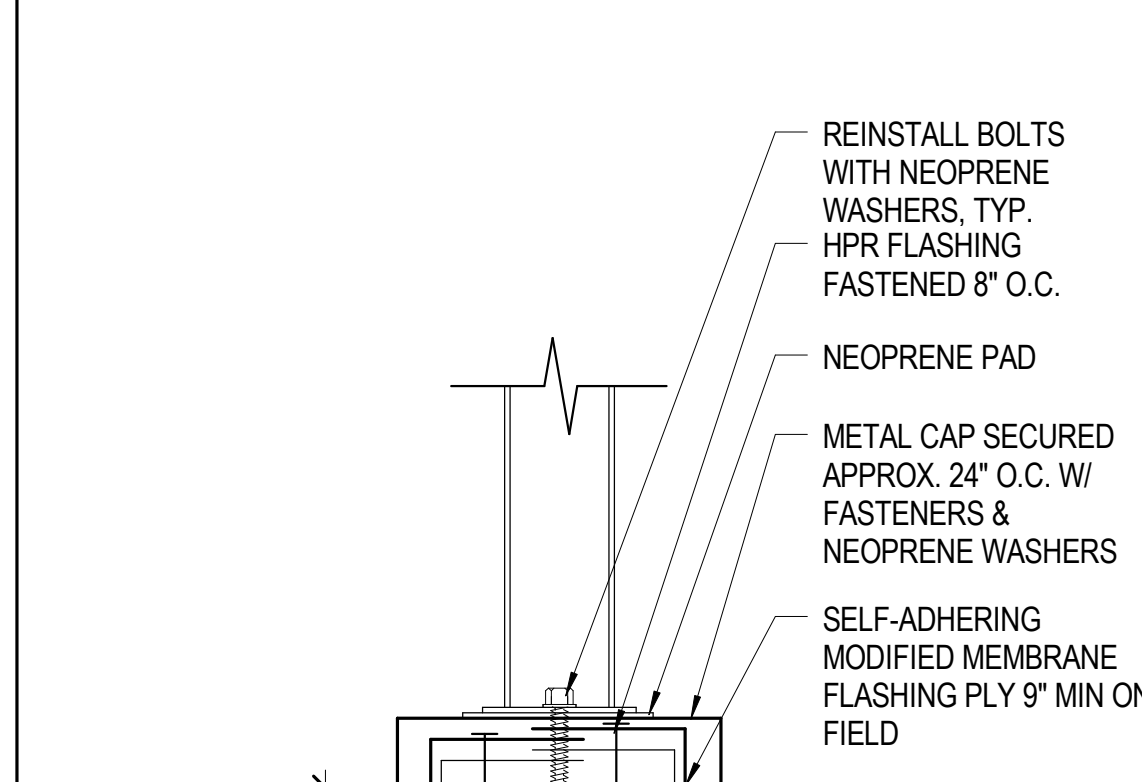
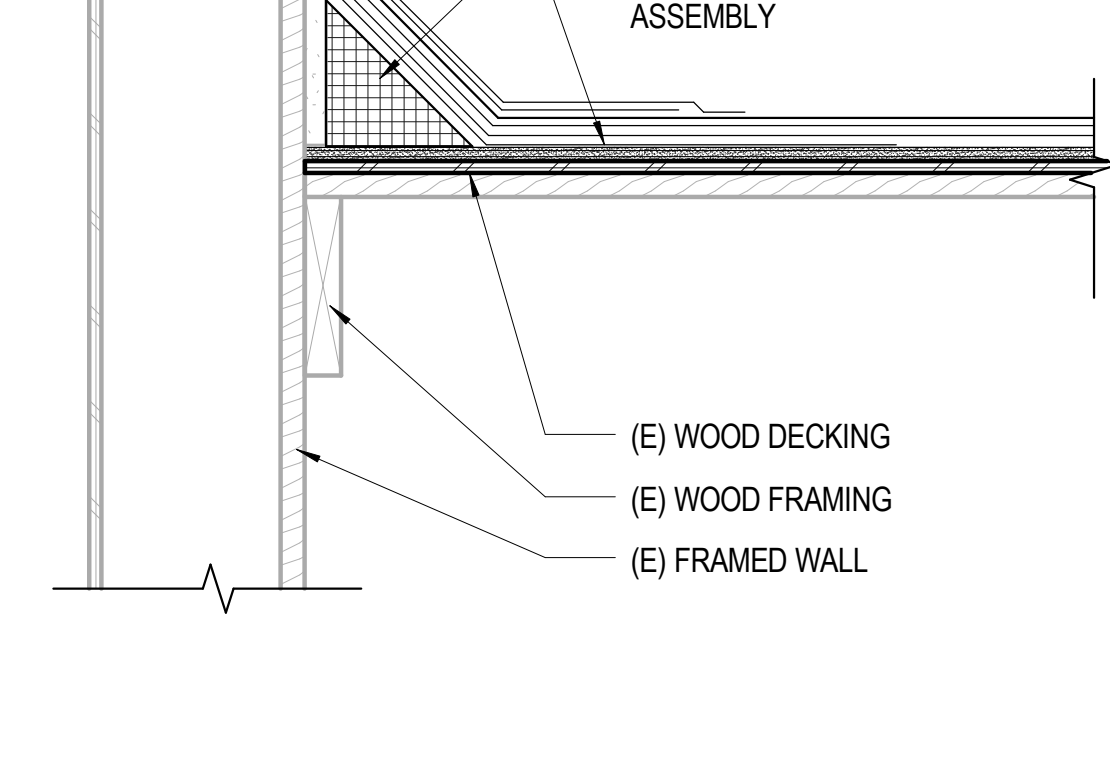
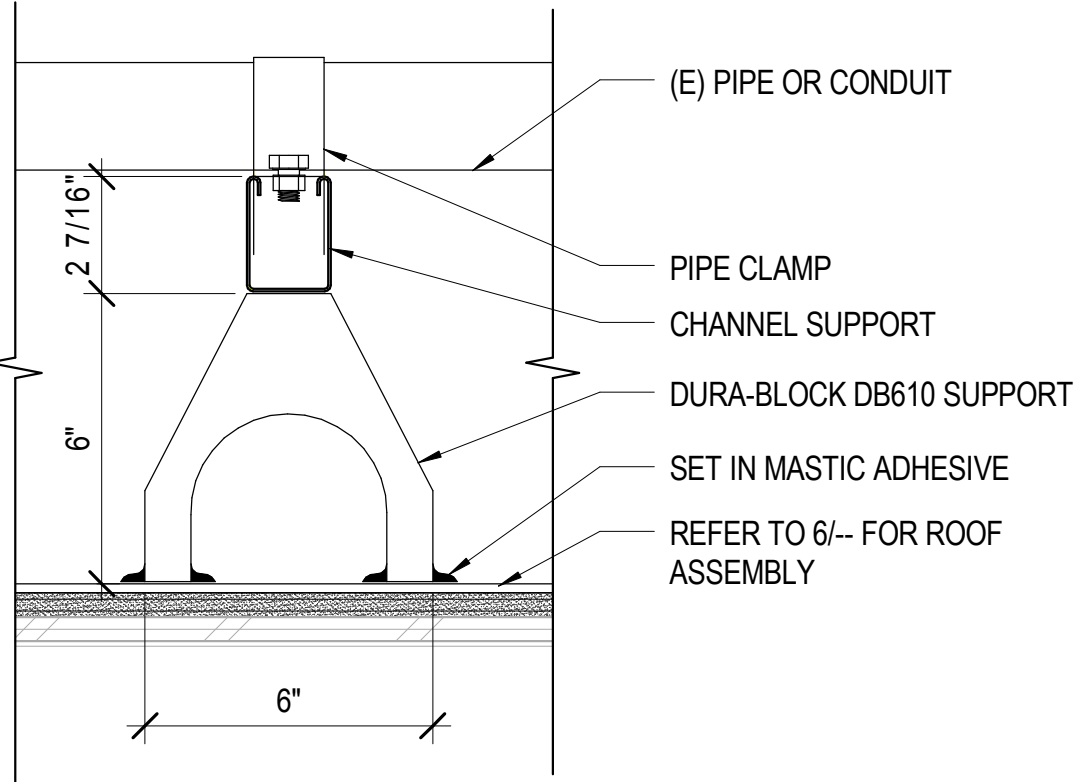
3" = 1'-0" 8

PARAPET CAP

1 1/2" = 1'-0" 14

BASE PLY FASTENER / ADHESIVE PATTERN

1/2" = 1'-0" 15



DURA-BLOCK EQUIPMENT SUPPORT

3" = 1'-0" 11

MEMBRANE ROOFING @ (E) WALL

1 1/2" = 1'-0" 12

EQUIPMENT SUPPORT

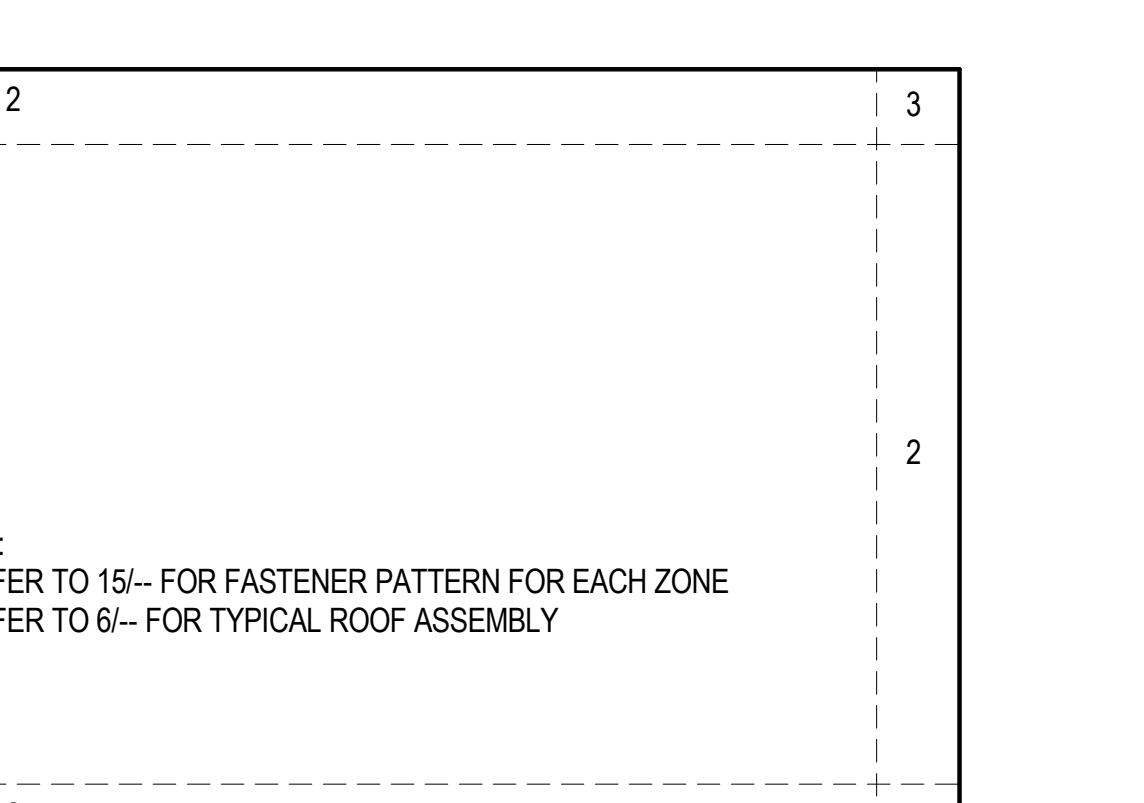
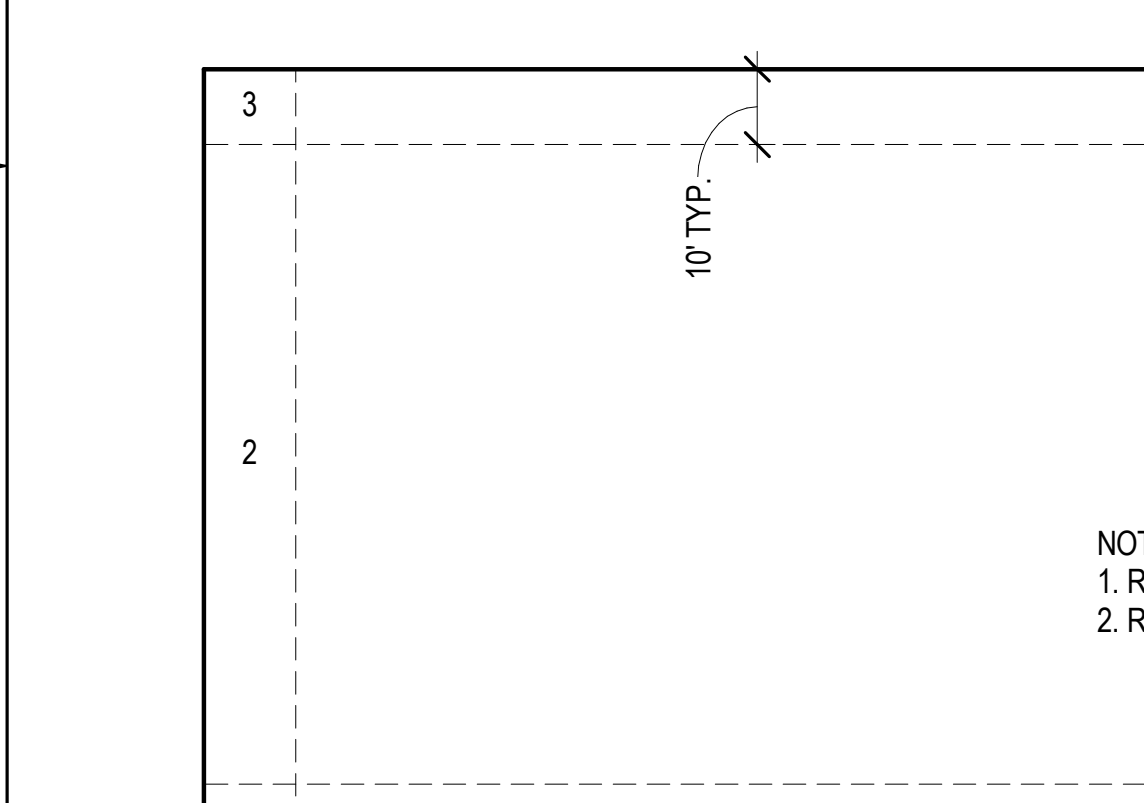
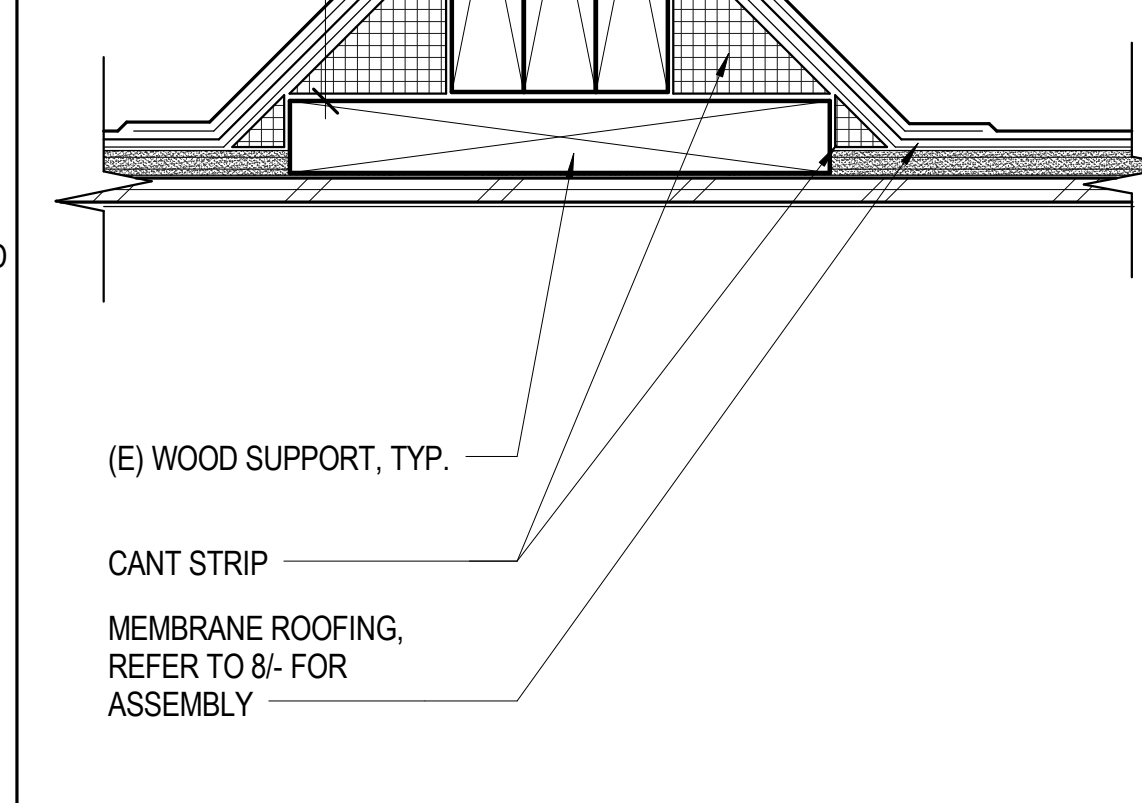
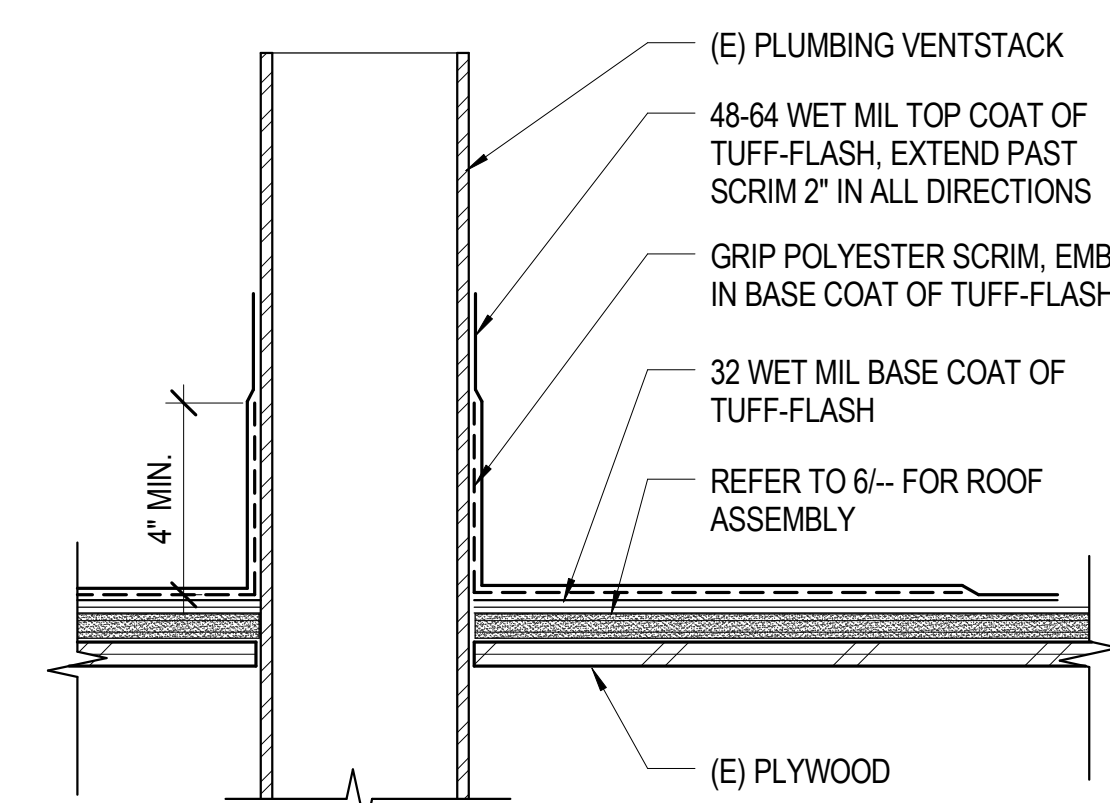
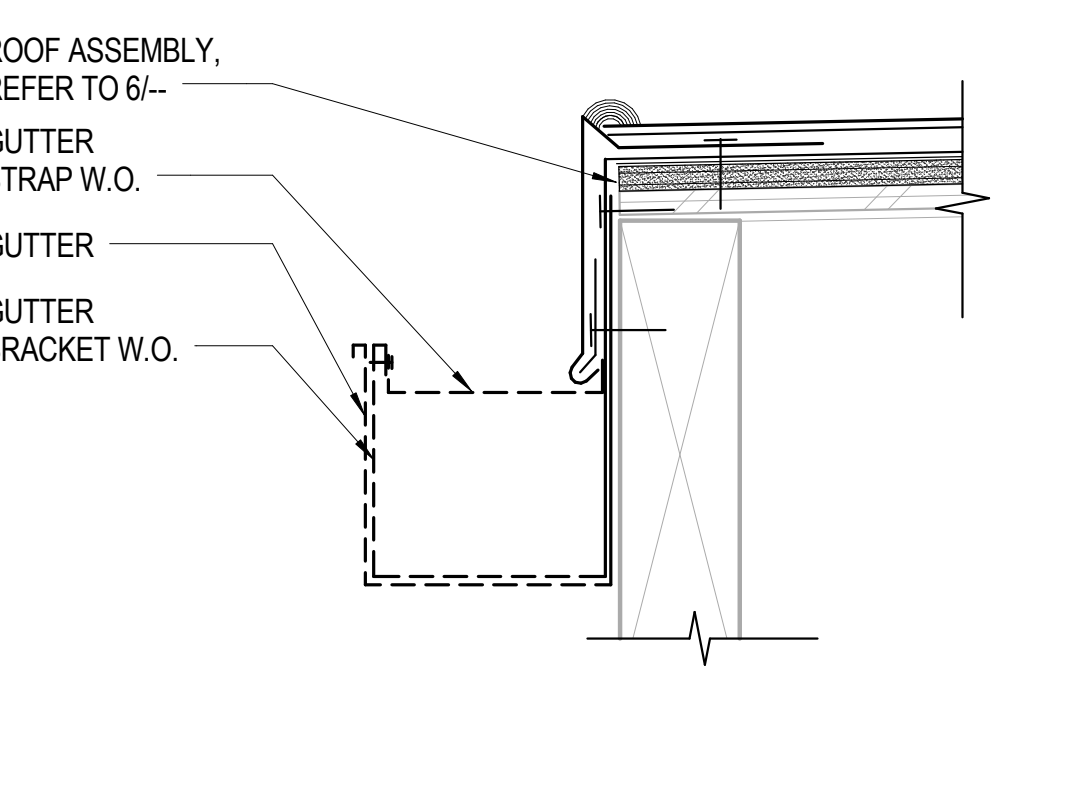
3" = 1'-0" 18

PARAPET CAP

1 1/2" = 1'-0" 14

BASE PLY FASTENER / ADHESIVE PATTERN

1/2" = 1'-0" 15



GUTTER @ METAL FASCIA

3" = 1'-0" 16

MEMBRANE ROOF PENETRATION

3" = 1'-0" 17

EQUIPMENT SUPPORT

3" = 1'-0" 18

ROOF ZONES

1" = 20'-0" 20

ROESLING NAKAMURA TERADA ARCHITECTS

Roesling Nakamura Terada Architects

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LICENSED ARCHITECT  
TYSON CLINE  
NO. 2-34436  
EXPIRES 1-31-19  
STATE OF CALIFORNIA

OJAI UNIFIED SCHOOL DISTRICT

ROOFING PROJECT AT MATILIJIA JUNIOR HIGH SCHOOL

703 EL PASEO ROAD, OJAI, CA 93023

100% CDs

No.	Description	Date
1	BID ADDEN. 01	3/15/2019

Sheet Name

ROOF DETAILS - TYPICAL

17761.00

Date 01/10/19

Drawn by CLD

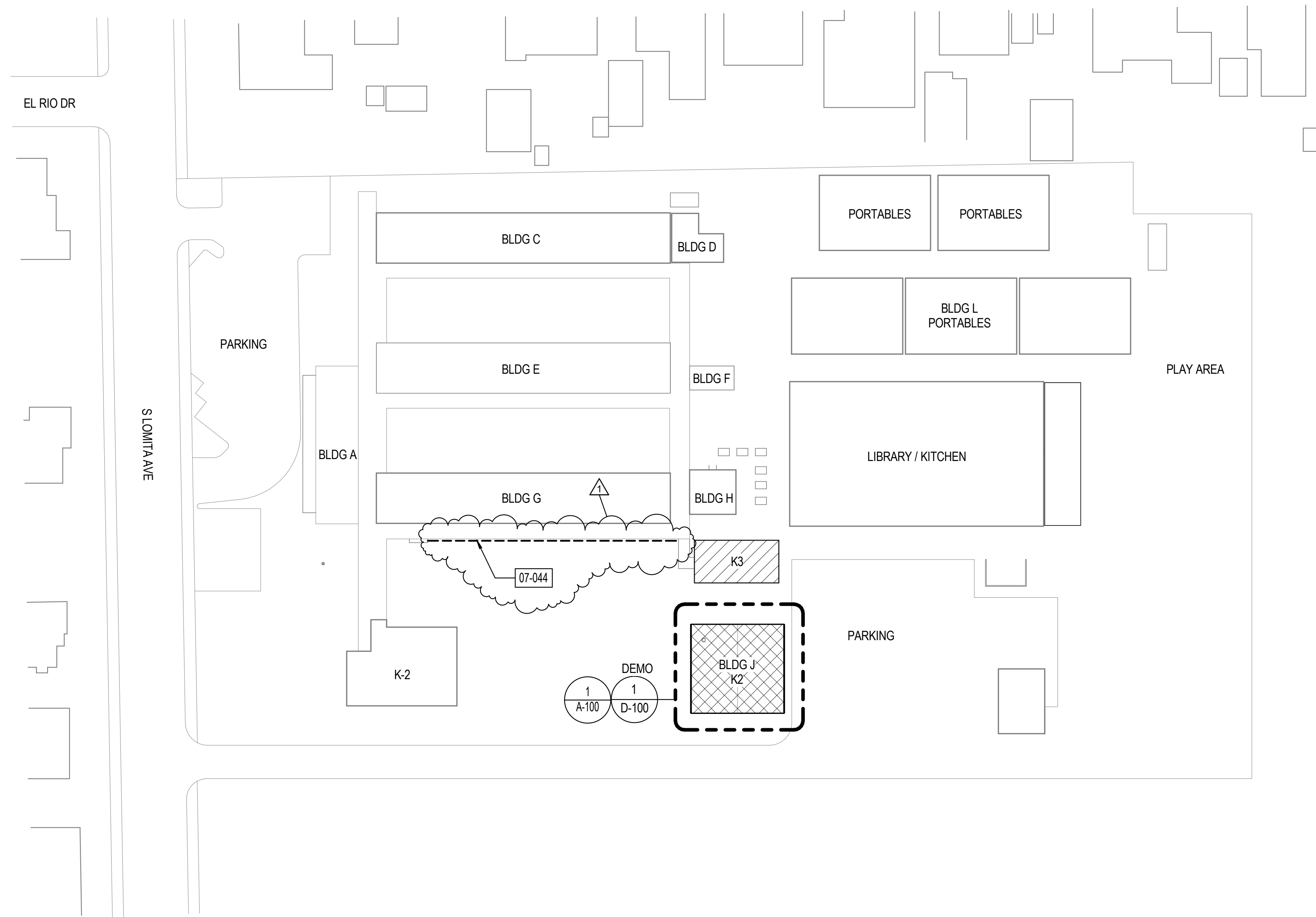
Checked by CY

Sheet Number

AD-101

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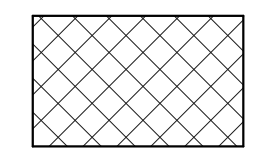
1 SITE PLAN  
1" = 40'-0"



**SHEET GENERAL NOTES**

- 1. PROTECT ADJACENT STRUCTURES, EQUIPMENT, VEHICLES ETC. FROM OVERSPRAY

**LEGEND**

-  REMOVE AND REPLACE ROOF
-  ROOF RESTORATION (STANDING SEAM METAL ROOF)

**KEYNOTES**

07-044 INSTALL GUTTER AND DOWNSPOUTS. SLIDE GUTTER UNDER (E) EDGE METAL TO REMAIN.



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**OJAI  
UNIFIED  
SCHOOL  
DISTRICT**

**MEINERS  
OAKS  
ELEMENTARY  
SCHOOL  
ROOFING  
PROJECT**  
400 S LOMITA AVE,  
OJAI, CA 93023

100% CDs

No.	Description	Date
1	BIDADDEND. 01	3/15/2019

Sheet Name  
**SITE PLAN**

17761.12  
Date 01/10/2019  
Drawn by CLD  
Checked by CY

Sheet Number  
**AS-100**









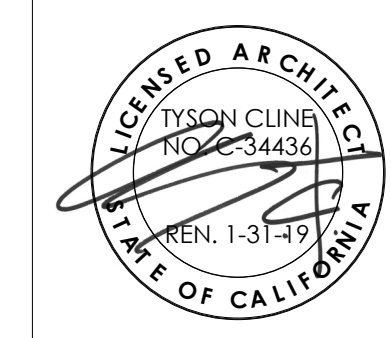








**Roesling Nakamura Terada Architects**  
 285 N Ventura Ave #102  
 Ventura, CA 93001  
 P805.626.5330  
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**OJAI UNIFIED SCHOOL DISTRICT**

**NORDHOFF HIGH SCHOOL ROOFING PROJECT**

1401 MARICOPA HWY,  
 OJAI, CA 93023

100% CDs

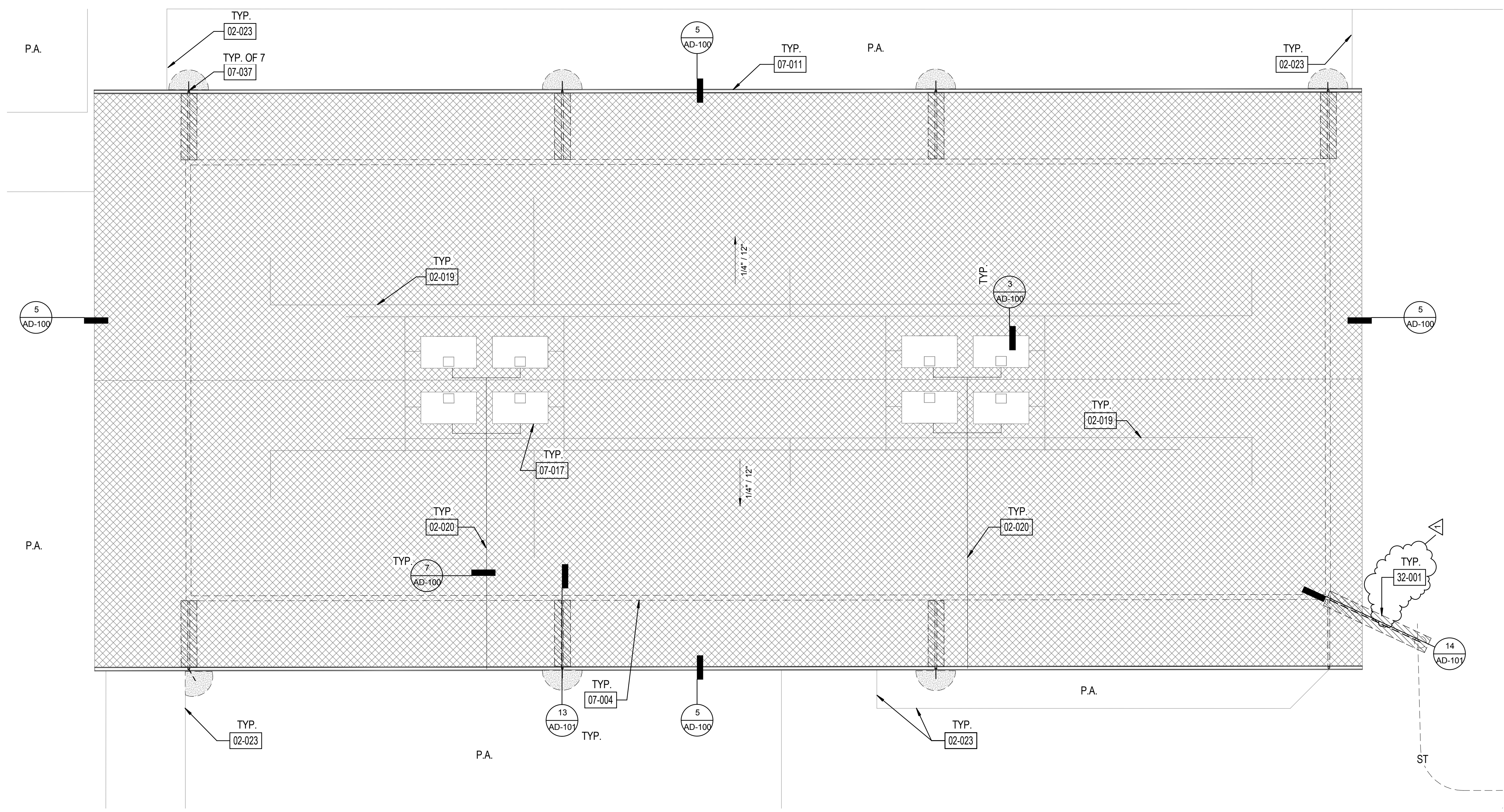
No.	Description	Date
1	BID ADDEND. 1	3/15/2019

Sheet Name

**BLDG F - ROOF PLAN**

17761.11  
 Date 01/10/2019  
 Drawn by CLD  
 Checked by CY  
 Sheet Number

**A-102**



**1 ROOF PLAN - BLDG F**  
 1/8" = 1'-0"



**SHEET GENERAL NOTES**

- ALL ITEMS ARE NEW UNLESS OTHERWISE NOTED.
- ANY ROOFING MEMBERS OBSERVED TO BE COMPROMISED TO BE REPLACED IN COMPLIANCE WITH DSA-APPROVED EXISTING CONDITION DRAWINGS.
- INSTALL PRECAST POLYMER CURB AT ALL PIPING ROOF PENETRATIONS PER DETAIL 6/AD-100.
- VERIFY ON FIELD LOCATION OF MECHANICAL EQUIPMENT AND TYPE OF UTILITY.
- RAISE (E) EQUIPMENT CURBS WHEN NOT 8" TALL. PROVIDE SOLDERED PAN FLASHING UNDER MECHANICAL EQUIPMENT.

**LEGEND**

- BID ALT 01:** DEMOLISH (E) 4" CONC. WALK FOR DOWNSPOUT LINE AND PATCH TO MATCH EXISTING.
- CLASS A MODIFIED BITUMEN ROOFING OVER (E) DECKING. REFER TO 11/AD-100 FOR ASSEMBLY.
- P.A. PLANTER AREA
- (E) EXHAUST FAN
- (E) VENT PIPE THROUGH ROOF
- (E) SKYLIGHT
- ROOF VENT
- (E) WALL BELOW
- BID ALT 01:** DOWNSPOUT CONNECTION TO (E) STORM DRAIN, REFER TO 13/AD-101
- BID ALT 01:** DOWNSPOUT TO (E) LANDSCAPE/GRAVEL, REFER TO 13/AD-101
- (E) STORM DRAIN LINE, U.O.N.

**KEYNOTE LEGEND**

- 02-019 PROTECT IN PLACE (E) ELECTRICAL LINES
- 02-020 INSTALL CONDENSATE LINE WITH TURN DOWN INTO GUTTER
- 02-023 PROTECT IN PLACE (E) CONC. WALK
- 07-004 LINE OF (E) WALL BELOW
- 07-011 INSTALL GUTTER AND DOWNSPOUT
- 07-017 PROTECT IN PLACE (E) HVAC UNIT, DETACH & TEMPORARILY SUPPORT UNIT AS REQUIRED FOR ROOFING WORK
- 07-037 INSTALL DOWNSPOUT, REFER TO SPECS.
- 32-001 MATCH (E) COLORED CONCRETE

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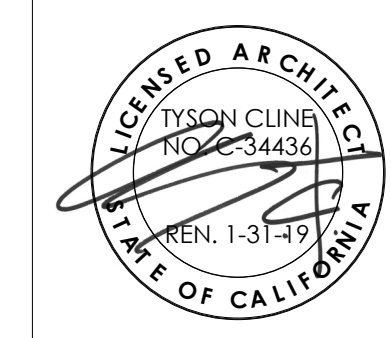








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**OJAI  
 UNIFIED  
 SCHOOL  
 DISTRICT**

**TOPA TOPA  
 ELEMENTARY  
 SCHOOL  
 ROOFING  
 PROJECT**

916 MTN. VIEW AVE,  
 OJAI, CA 93023

100% CDs

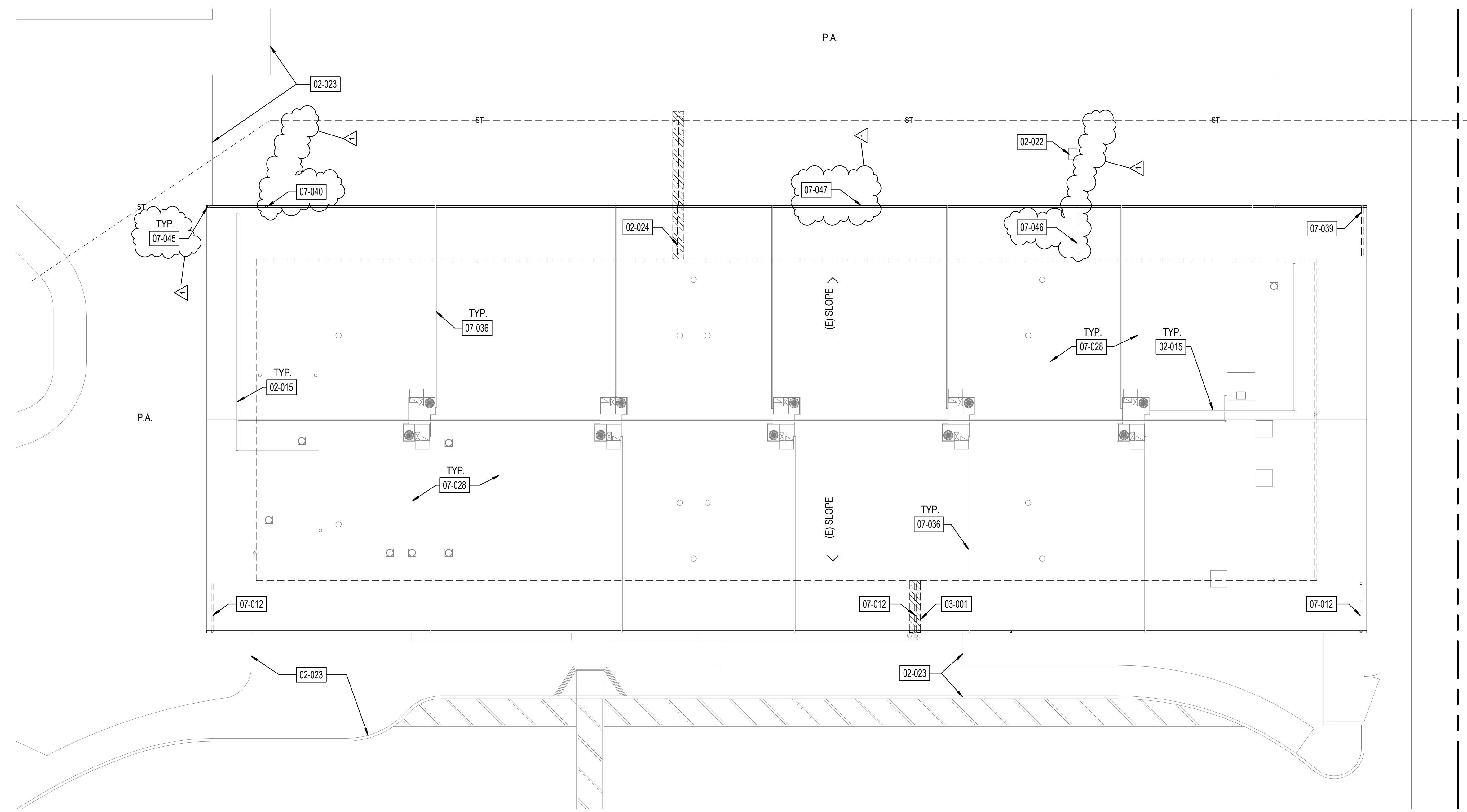
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Sheet Name

**BLDG A -  
 ROOF PLAN**

17761.12  
 Date 01/17/19  
 Drawn by CLD  
 Checked by CY  
 Sheet Number

**A-101**



**1** ROOF PLAN - BLDG A  
 3/32" = 1'-0"

**SHEET GENERAL NOTES**

- ALL ITEMS ARE NEW UNLESS OTHERWISE NOTED.
- ANY ROOFING MEMBERS OBSERVED TO BE COMPROMISED TO BE REPLACED IN COMPLIANCE WITH DSA-APPROVED EXISTING CONDITION DRAWINGS
- INSTALL LIQUID FLASHING AT ALL PIPING & UTILITY ROOF PENETRATIONS PER DETAIL 17/AD-100.
- REFER TO SHEET AD-100 FOR TYPICAL ROOFING DETAILS
- ALL FLASHING SHALL BE 22 GA. MINIMUM U.N.O. COLOR TO MATCH DISTRICT STANDARD.
- PROVIDE POSITIVE DRAINAGE TO GUTTERS.
- VERIFY ON FIELD LOCATION OF MECHANICAL EQUIPMENT AND TYPE OF UTILITY.

**LEGEND**

- DEMOLISH (E) 4" CONC. WALK FOR DOWNSPOUT LINE AND PATCH TO MATCH EXISTING.
- CLASS A MODIFIED BITUMEN ROOFING OVER (E) DECKING. REFER TO 11/AD-100 FOR ASSEMBLY.
- P.A. PLANTER AREA
- (E) EXHAUST FAN
- (E) VENT PIPE THROUGH ROOF
- (E) SKYLIGHT
- ROOF VENT
- (E) WALL BELOW
- BID ADD 01.** DOWNSPOUT CONNECTION TO (E) STORM DRAIN. REFER TO 6/AD-101
- BID ADD 01.** DOWNSPOUT TO (E) LANDSCAPE/GRAVEL. REFER TO 6/AD-101
- (E) STORM DRAIN LINE, U.O.N.

**KEYNOTES**

- 02-015 PROTECT IN PLACE (E) UTILITY LINE
- 02-022 PROTECT IN PLACE (E) GAS VAULTS
- 02-023 PROTECT IN PLACE (E) CONC. WALK
- 02-024 (E) DOWNSPOUT, MAKE NEW CONNECTION TO (E) STORM DRAIN LINE
- 03-001 DEMOLISH (E) 4" CONC. WALK FOR DOWNSPOUT LINE AND PATCH TO MATCH EXISTING.
- 07-012 PROTECT IN PLACE (E) GUTTER AND (E) DOWNSPOUT
- 07-028 PROTECT IN PLACE (E) ROOF
- 07-036 REPLACE DURA-BLOCK EQUIPMENT SUPPORT W/ OMG PIPEGUARD PIPE SUPPORT MINI.
- 07-039 INSTALL NEW GUTTER & DOWNSPOUT, REFERENCE PIPE ATTACHMENT DETAIL.
- 07-040 DOWNSPOUT DOWN (E) SQUARE TUBE COLUMN. SIM. ROUND PIPE COLUMN DETAIL.
- 07-045 REPAIR (E) HOLE IN GUTTER.
- 07-046 UNINSTALL (E) DOWNSPOUT, REPAIR (E) HOLE IN GUTTER.
- 07-047 REVISE PITCH OF GUTTER.

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