

PITTSBURG STATE UNIVERSITY RUSS HALL 112 OFFICE CONSOLIDATION

ORIGINAL CONTRACT DOCUMENTS

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CH Project No.: #021008

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Prairie Village, KS 66207

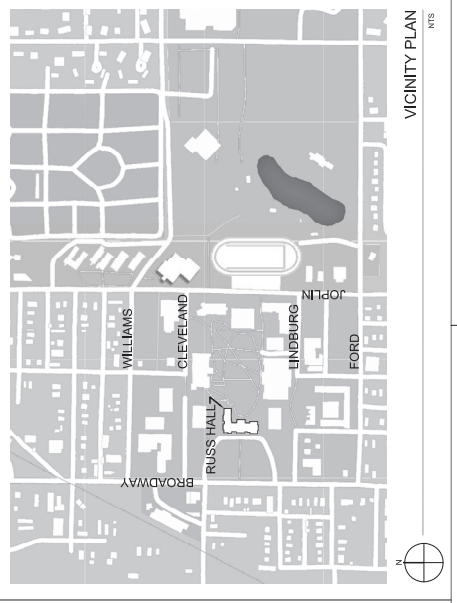
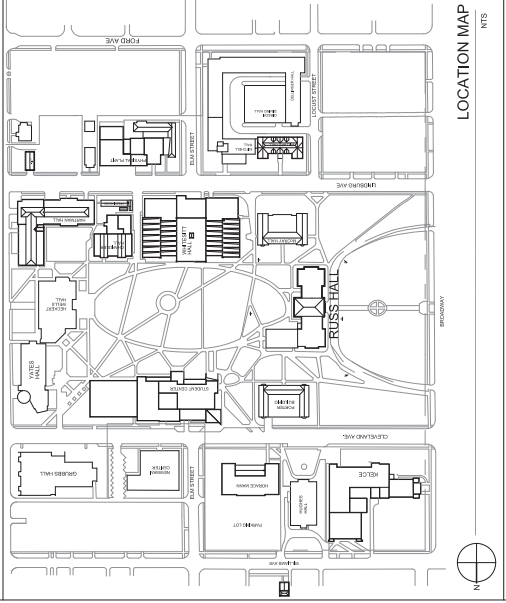
MARK	DATE	DESCRIPTION
		ISSUE DATE AUGUST 2021

PITTSBURG STATE UNIVERSITY
DESIGN AND CONSTRUCTION
105 WHITEHILL HALL
PITTSBURG, KANSAS 66782
620-233-1974

PITTSBURG STATE UNIVERSITY
OFFICE CONSOLIDATION
1701 S BROADWAY STREET, PITTSBURG, KS 66782
DRAWN BY: CK
CHECKED BY: JH
DATE: 08/17/2021

COVER
A-014310
G001
ORIGINAL CONTRACT DOCUMENTS

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G001	COVER
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MARK	DESCRIPTION
01/11/2022	ADDED ROOM 1
09/13/2021	ADDED ROOM 3
01/11/2022	ADDED ROOM 3

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PITTSBURG STATE UNIVERSITY
DESIGN AND CONSTRUCTION
105 WHITEHILL
PITTSBURG, KANSAS 66782
860-293-1974
CHECKED BY: JH
DRAWN BY: CK
DATE: 08/17/2021

PARTIAL DEMOLITION PLAN
RUSSELL HALL 112 OFFICE CONSOLIDATION
1701 BROADWAY STREET, PITTSBURG, KS 66782

A-014310
D101
ORIGINAL CONTRACT DOCUMENTS

PLAN KEY

EXG DOOR TO BE REMOVED
EXG WALL TO REMAIN
EXG WALL TO BE REMOVED

GENERAL DEMOLITION NOTES:

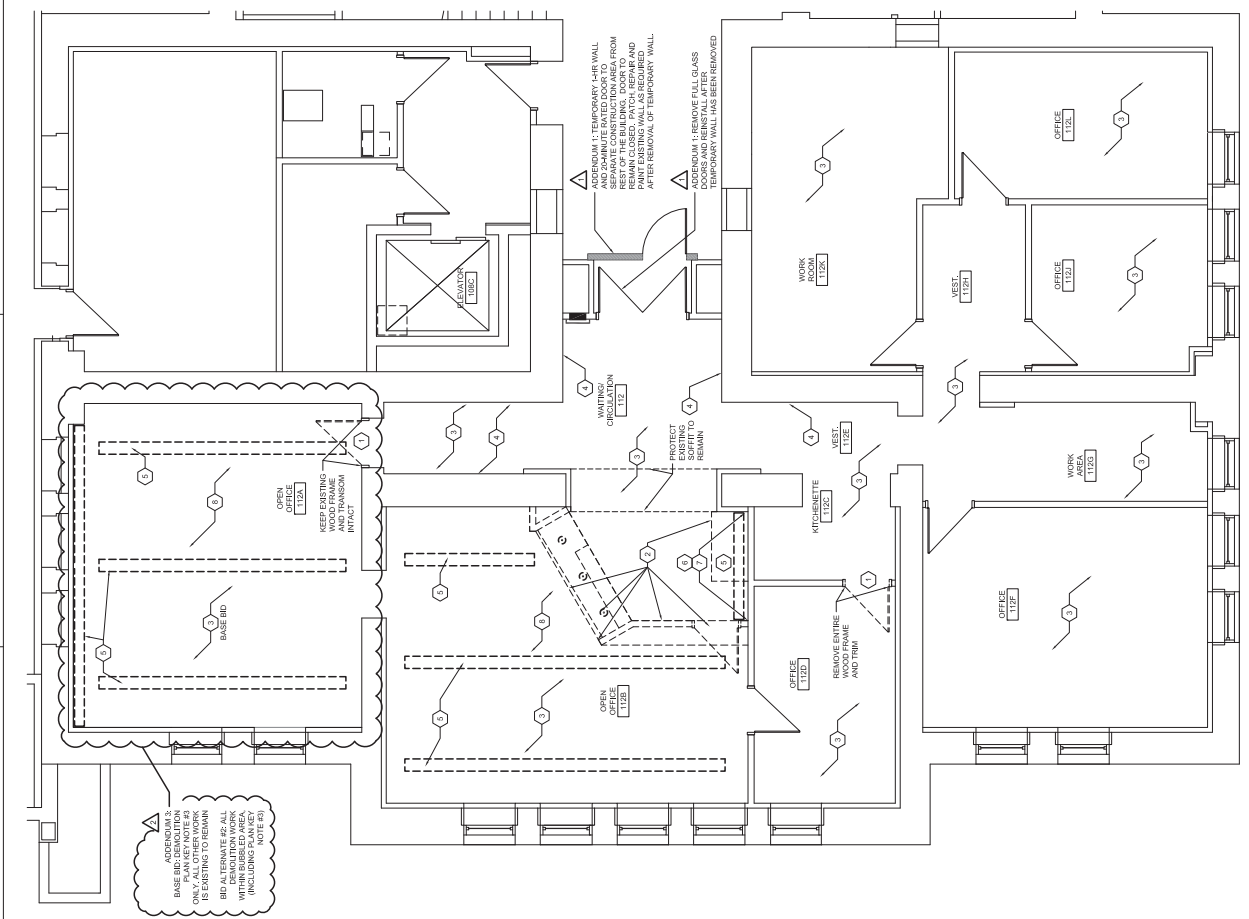
- EXG CONDITIONS INDICATED ON THIS DRAWING SHALL BE DEMOLISHED UNLESS OTHERWISE NOTED. THE INFORMATION IS SHOWN TO BE THE MOST CURRENT INFORMATION AVAILABLE. CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS BEFORE COMMENCING WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- RE MEP DRAWINGS FOR ADDITIONAL INFORMATION. VERIFY THE LOCATION AND DEPTH OF ALL MEPS. COORDINATE THE WORK WITH OWNER TO AVOID DISRUPTING OCCUPANTS.
- PATCH ALL EXISTING CONSTRUCTION TO REMAIN TO MATCH EXISTING CONDITIONS. PATCH WITH SIMILAR MATERIALS. PATCH ALL AREAS FLUSH WITH ADJ. SURFACES.
- ALL WOOD CASES SHALL REMAIN UNLESS OTHERWISE NOTED.
- REMOVE EXISTING WALLCOVERING AND PREPARE ALL SURFACES FOR FINISH.

DEMOLITION PLAN KEY NOTES

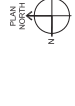
- REMOVE DOOR AND SALVAGE FOR REUSE AS NEW OFFICE DOOR.
- REMOVE CASEWORK, DRYWALL SOFFIT, CEILING AND PARTITION WALL AND GATE ELECTRICAL. RELOCATE ALL ELECTRICAL ELECTRICAL.
- REMOVE EXISTING FLOORING AND PREP FOR NEW FLOORING. REMOVE ALL CARPET TILE AND FINISHES BASE.
- REMOVE EXISTING PARTITION WALLS. INSTALLATION BY OWNER UNDER SEPARATE CONTRACT.
- REMOVE EXISTING DISPLAY BOARDS. REPAIR WALL AS REQUIRED.
- REMOVE EXISTING DAMAGED WOOD BASE BOARD. PATCH WALL TO BE FLUSH AND SMOOTH. PREP TO RECEIVE NEW FINISHES.
- REMOVE EXISTING CHAIR RAIL. PATCH WALL TO BE FLUSH AND SMOOTH. PREP TO RECEIVE NEW FINISHES.
- REMOVE EXISTING CEILING TILE, GRID AND LIGHTING IN 112A AND 112B FOR REUSE. RELOCATE ALL ELECTRICAL.

BUILDING KEY PLAN FIRST FLOOR LINTS

AREA OF WORK



PARTIAL FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"



1

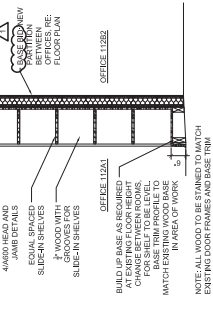
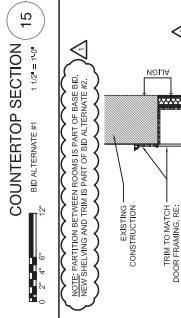
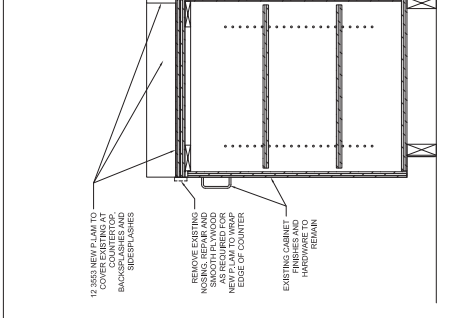
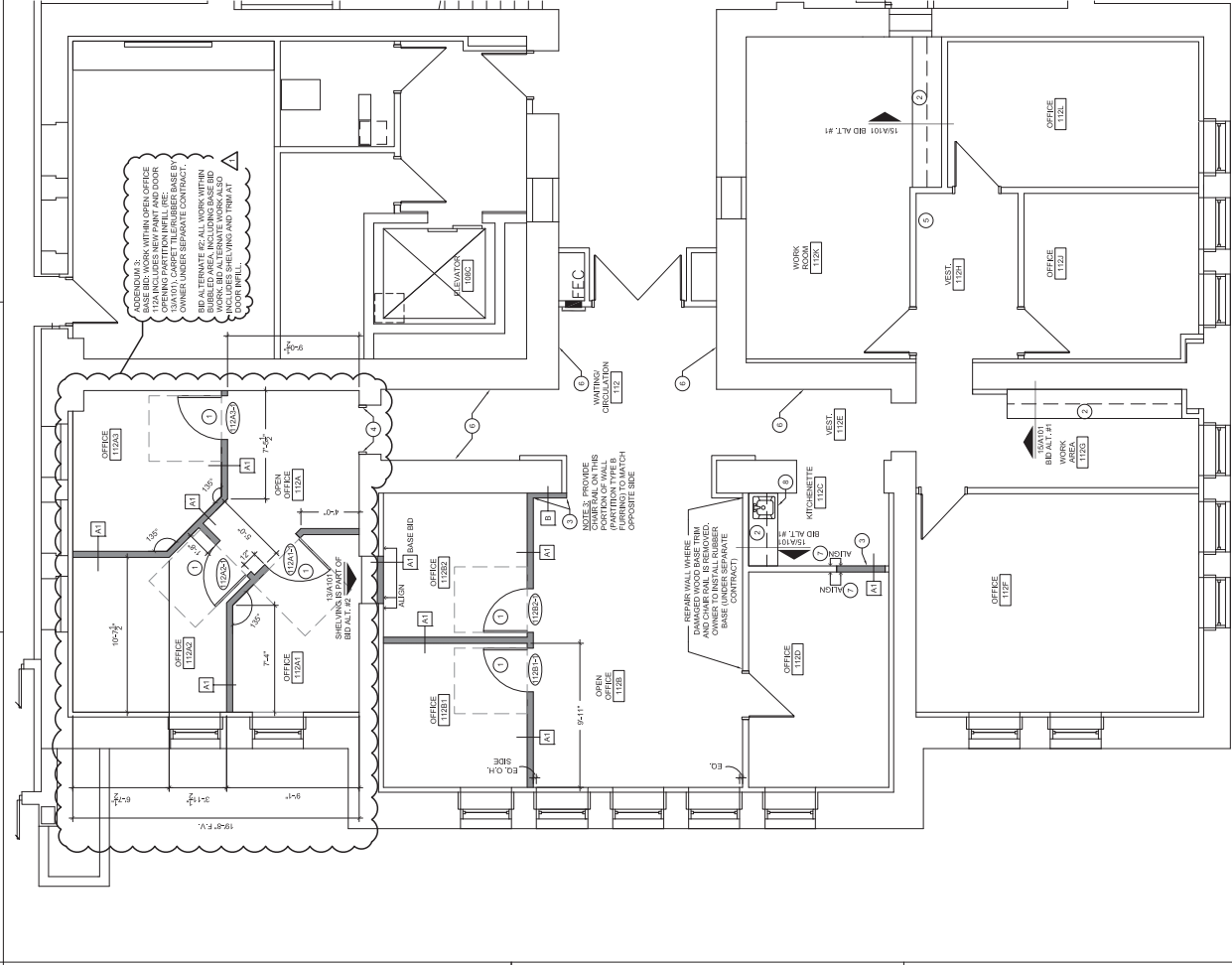
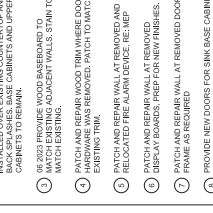
MARK	DATE	DESCRIPTION
	01/11/2022	ISSUE DATE AUGUST 2021

PLAN KEY

- EXISTING DOORS TO REMAIN
- NEW DOOR: NOTE THAT 1/2" TO BE STAINED TO MATCH EXISTING DOOR REUSE
- EXISTING WALL TO REMAIN
- NEW WALL

- GENERAL PLAN NOTES:**
- REFER TO MEP DRAWINGS FOR ADDITIONAL WORK. COORDINATE THE WORK WITH OWNER TO AVOID DISRUPTING OCCUPANTS. DIMENSIONS ARE TO FACE OF DRYWALL.
 - PATCH AND REPAIR EXISTING FLOOR SLAB WITHIN AREA OF WALL DEMOLITION. ALL EXISTING TO REMAIN WOOD BASE AND TRIM TO BE STAINED TO MATCH EXISTING TRIM.
 - NEW CARPET TILE AND RUBBER BASE TO BE INSTALLED BY OWNER UNDER SEPARATE CONTRACT.
 - IF IS THE CONTRACTORS RESPONSIBILITY TO REMOVE ITEMS ARE CALLED OUT FOR REMOVAL IN THE CONTRACT.
 - REMOVE WALLCOVERINGS PROTECT EXISTING WALLCOVERINGS AND TRIM TO REMAIN.

- KEYPLAN NOTES**
- 08 1433 NEW DOOR TO MATCH EXG. INCLUDING GLASS. RE: DOOR SCHEDULE. COORDINATE FOR REUSE OF 1/2" UNPAVED DOORS.
 - 09 1434 NEW DOOR TO MATCH EXG. INCLUDING GLASS. RE: DOOR SCHEDULE. COORDINATE FOR REUSE OF 1/2" UNPAVED DOORS.
 - 09 1435 NEW PLASTIC LAMINATE TO BE INSTALLED OVER EXISTING COUNTERTOP AND CABINETS TO REMAIN. CAMELS AND UPPER CABINETS TO REMAIN.
 - 06 2023 PROVIDE WOOD BASEBOARD TO MATCH EXISTING ADJACENT WALLS. STAIN TO MATCH EXISTING.
 - PATCH AND REPAIR WOOD TRIM THESE DOOR EXISTING TRIM. REUSE AND STAIN TO MATCH EXISTING.
 - PATCH AND REPAIR WALL AT REMOVED AND RELOCATED FIRE ALARM DEVICE. RE: MEP
 - PATCH AND REPAIR WALL AT REMOVED DISPLAY BOARDS. PREP FOR NEW FINISHES.
 - PATCH AND REPAIR WALL AT REMOVED DOOR FRAME AS REQUIRED.
 - PROVIDE NEW DOORS FOR SINK BASE CABINET ALTERNATE #1



REMOVE EXISTING COUNTERTOP AND CABINETS AS REQUIRED FOR REUSE OF COUNTER. EXISTING CABINET HARDWARE TO REMAIN.

NOTE: PARTITION BETWEEN ROOMS IS PART OF BASE BD. NEW SHELVING AND TRIM IS PART OF BID ALTERNATE #2.

NOTE: PARTITION BETWEEN ROOMS IS PART OF BASE BD. NEW SHELVING & TRIM IS PART OF BID ALTERNATE #2.

NOTE: ALL WOOD TO BE STAINED TO MATCH EXISTING DOOR FRAMES AND BASE TRIM.

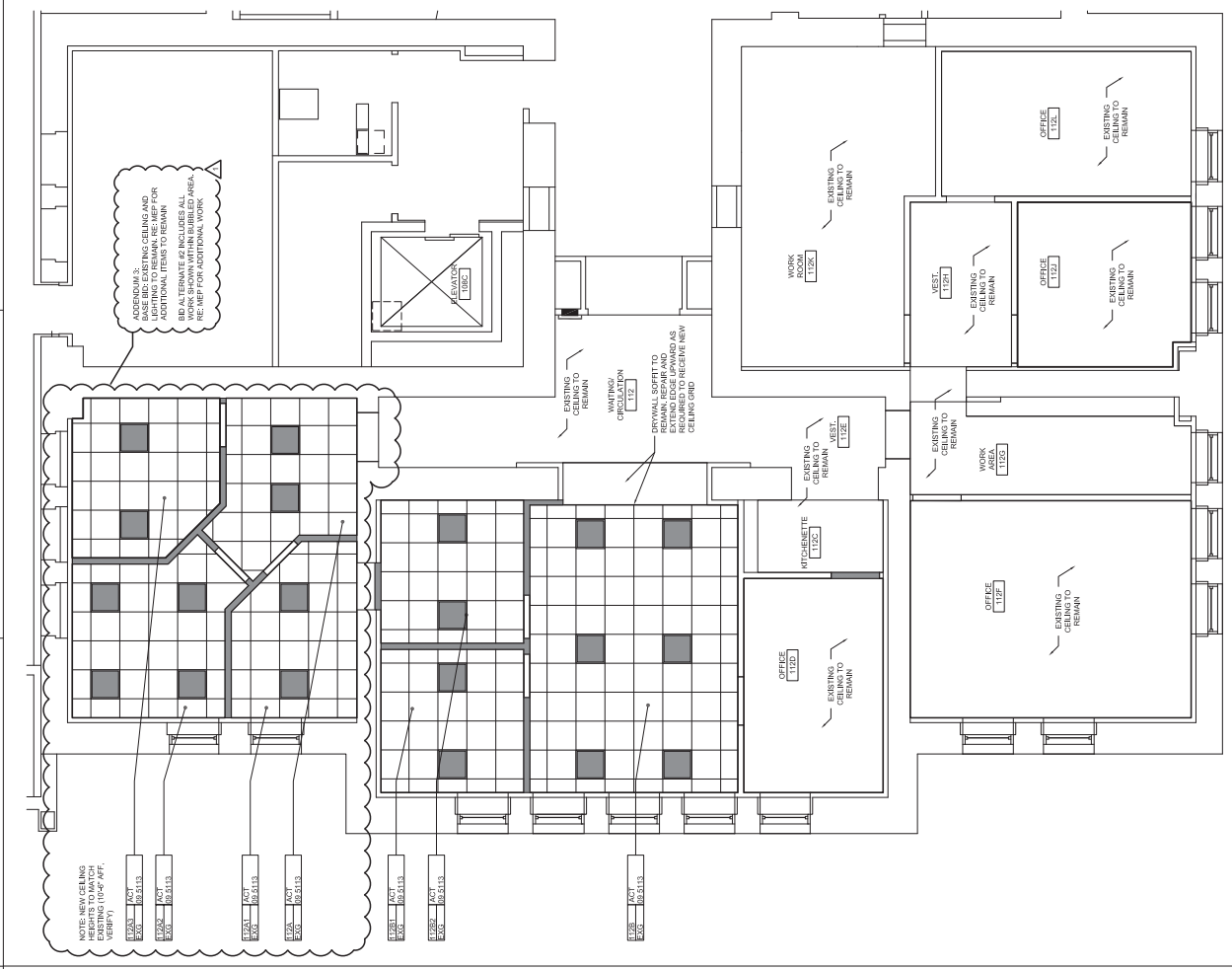


MARK	DATE	DESCRIPTION
	01/14/2022	ADDENDUM 3
ISSUE DATE AUGUST 2021		

REFLECTED CEILING PLAN KEY

08 5113 NEW 2X2 ACT CEILING	
NEW 2X2 FRODORE, REE ELECTRICAL	

- GENERAL RCP NOTES:**
- THE CONTRACTOR SHALL OBTAIN RAS FOR ALL NEW 2X2 ACT CEILING. THE REFLECTED CEILING PLAN WITH ELECTRICAL LIGHTING AND MECHANICAL SUPPLY VENTING CONDITIONS, AND REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.
 - REFLECTED CEILING PLAN SHALL SHOW ALL EXISTING AND NEW 2X2 ACT CEILING, INCLUDING SPRAWLERS, EMT BRIDGES, AND FIRE ALARMS. ALL CEILING ELEMENTS SHALL BE PLACED IN THE CENTER OF THE GRID UNLESS OTHERWISE NOTED.
 - ALL CEILING ELEMENTS TO BE PLACED IN THE CENTER OF THE GRID UNLESS OTHERWISE NOTED. SEE ELECTRICAL DRAWINGS FOR LIGHT FUTURE LOCATIONS AND TYPE-SEE ELECTRICAL DRAWINGS FOR LIGHT FUTURE LOCATIONS AND GRILLE TYPES UNLESS OTHERWISE NOTED.

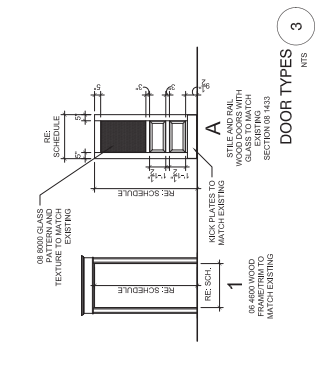
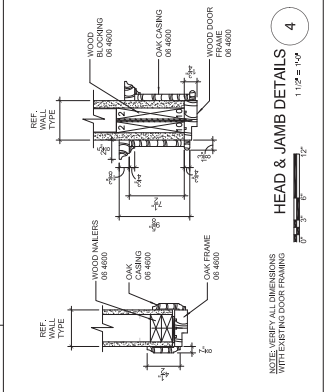


NOTE: NEW CEILING HEIGHTS TO MATCH VENTRY (10'-0" AFF.)

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PARTIAL REFLECTED CEILING PLAN
 1/8" = 1'-0"
 PLAN NORTH

 0 1 2 3 4 5 6 7 8 9 10



MARK	ROOM NAME	DOOR SIZE	HARDWARE SEE PLAN 111	DOOR		FRAME TYPE 30400	SIGNAGE	HEAD & JAMB	SPECIAL INSTRUCTIONS
				TYPE	RATING				
112A-L	OFFICE	3'-0" x 7'-0"		N/A					STAIN ALL DOORS TO MATCH EXISTING BACK BIRD-COORDINATE (BASE OF IT) SALVAGED DOOR AT NEW OPENING, ROOM 112B. LOCK (18B-1) FOUND ON 112B AND 112C. REPAIR OR REPLACE OF 112B AND 112C. REPAIR OR REPLACE OF 112B AND 112C. REPAIR OR REPLACE OF 112B AND 112C. REPAIR OR REPLACE OF 112B AND 112C.
112A-C	OFFICE	3'-0" x 7'-0"		N/A					
112A-D	OFFICE	3'-0" x 7'-0"	MATCH EXISTING	A					
112B-L	OFFICE	3'-0" x 7'-0"		N/A					
112B-C	OFFICE	3'-0" x 7'-0"		N/A					

ROOM NAME	ROOM #	FLOOR		BASE		CEILING		WALLS		SPECIAL INSTRUCTIONS
		C	E	E	W	E	W	E	W	
WAITING/REGISTRATION	112	C	E	C	E	E	E	P	P	STAIN EXISTING WOOD BASE TO REMAIN TO MATCH EXISTING. PAINT EXISTING CHAIR RAIL TO REMAIN.
OFFICE	112A	C	E	C	E	E	E	P	P	
OFFICE	112B	C	E	C	E	E	E	P	P	
OFFICE	112C	C	E	C	E	E	E	P	P	
OFFICE	112D	C	E	C	E	E	E	P	P	
OFFICE	112E	C	E	C	E	E	E	P	P	
OFFICE	112F	C	E	C	E	E	E	P	P	
OFFICE	112G	C	E	C	E	E	E	P	P	
OFFICE	112H	C	E	C	E	E	E	P	P	
OFFICE	112I	C	E	C	E	E	E	P	P	
OFFICE	112J	C	E	C	E	E	E	P	P	
OFFICE	112K	C	E	C	E	E	E	P	P	

DESIGNATION	MATERIAL NAME	SPEC	SPECIAL INSTRUCTIONS
E	EXISTING TO REMAIN		
C	CARPET TILE	N/A	BY OWNER UNDER SEPARATE CONTRACT
RB	RUBBER BASE	N/A	BY OWNER UNDER SEPARATE CONTRACT
W	WOOD TRIM TO MATCH EXISTING	06 4600	
P	PAINT	08 9123	PAINT PROVIDED BY OWNER
ACT	242 ACoustICAL CEILING TILE	08 9113	

DOORS TO OFFICES 112A, 112B, AND 112B-L HAVE THE PART OF BIRD ALTERNATE #2. RE: REP FOR ADDITIONAL INFORMATION

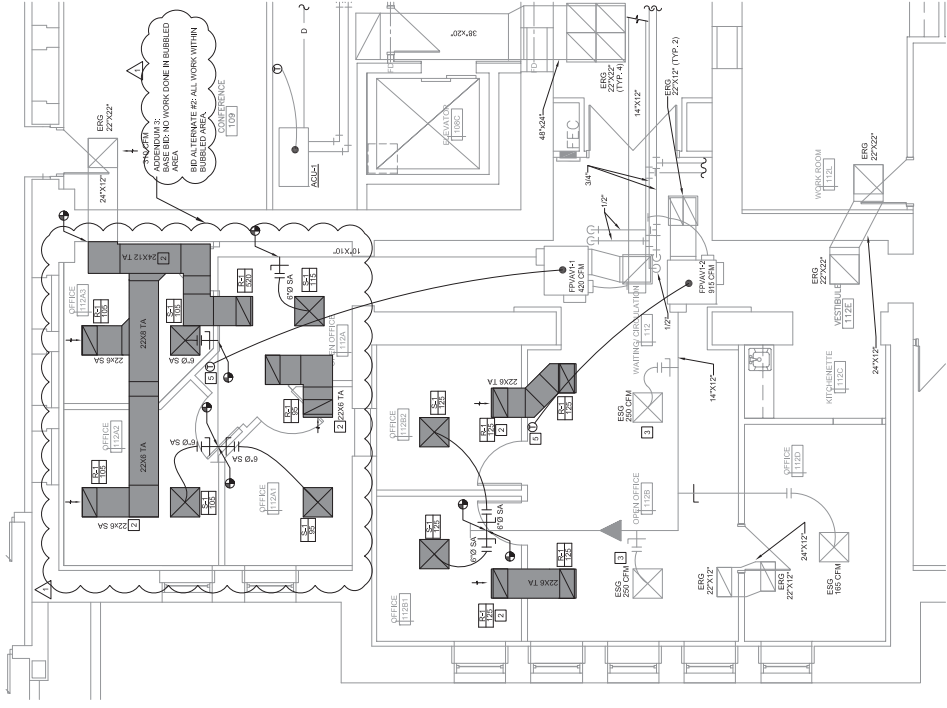
NEW OFFICES 112A, 112B, AND 112B-L HAVE THE PART OF BIRD ALTERNATE #2. RE: REP FOR ADDITIONAL INFORMATION

MARK	ROOM NAME	DOOR SIZE	HARDWARE SEE PLAN 111	DOOR TYPE	RATING	FRAME TYPE 30400	SIGNAGE	HEAD & JAMB	SPECIAL INSTRUCTIONS
112A-L	OFFICE	3'-0" x 7'-0"		N/A					STAIN ALL DOORS TO MATCH EXISTING BACK BIRD-COORDINATE (BASE OF IT) SALVAGED DOOR AT NEW OPENING, ROOM 112B. LOCK (18B-1) FOUND ON 112B AND 112C. REPAIR OR REPLACE OF 112B AND 112C. REPAIR OR REPLACE OF 112B AND 112C. REPAIR OR REPLACE OF 112B AND 112C.
112A-C	OFFICE	3'-0" x 7'-0"		N/A					
112A-D	OFFICE	3'-0" x 7'-0"	MATCH EXISTING	A					
112B-L	OFFICE	3'-0" x 7'-0"		N/A					
112B-C	OFFICE	3'-0" x 7'-0"		N/A					

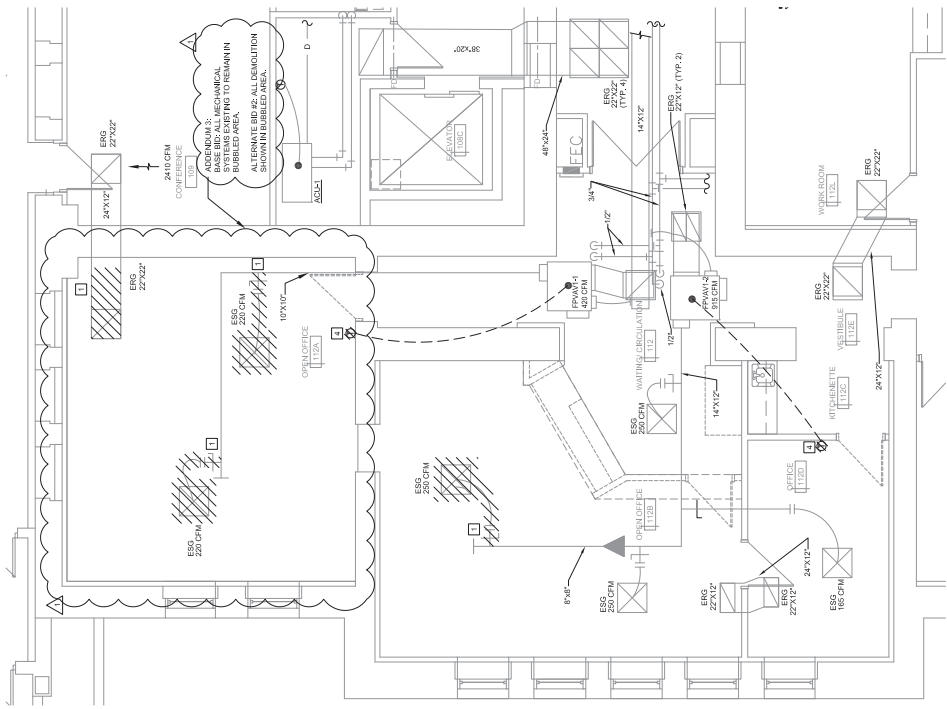
GENERAL NOTES:
 1. SEE M009 FOR GENERAL NOTES.

KEYED NOTES:

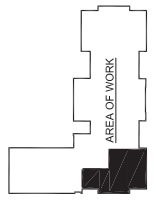
- 1 TEMPORARILY CAP DUCT FOLLOWING DEMOLITION
- 2 INTERNALLY LINED TRANSFER AIR DUCT
- 3 PLACE EXISTING AIR DEVICE TO AIRFLOW NOTED ON
- 4 REMOVE THERMOSTAT FOR RELATIONAL PROTECT AND STORE THERMOSTAT IN SAFE PLACE PRIOR TO REINSTALLATION AT NEW LOCATION
- 5 BID ALTERNATE #2 ALL WORK WITHIN BUBBLED AREA

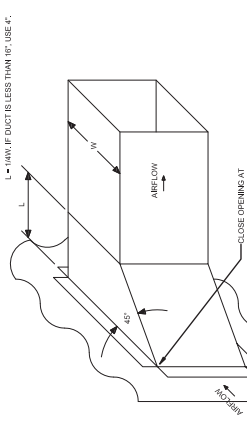


PLAN NORTH
 PARTIAL FIRST FLOOR NEW WORK PLAN
 1/4" = 1'-0"
 2

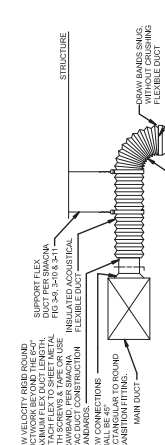


PLAN NORTH
 PARTIAL FIRST FLOOR DEMOLITION PLAN
 1/4" = 1'-0"
 1

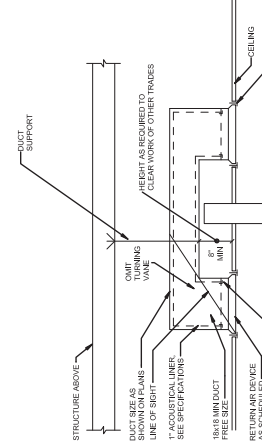




1 45 DEGREE BRANCH TAKE-OFF DETAIL
 NTS



2 FLEXIBLE DUCT CONNECTION TO AIR OUTLET/INLET
 NTS



3 RETURN GRILLE TRANSFER DUCT DETAIL
 NTS

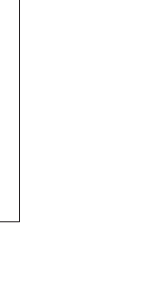
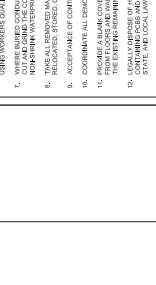
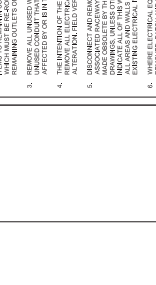
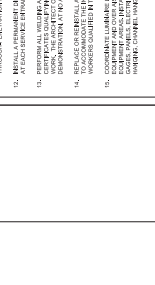
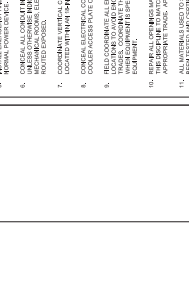
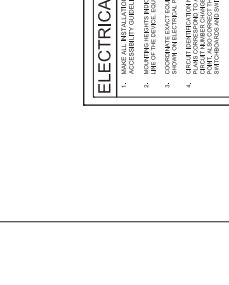
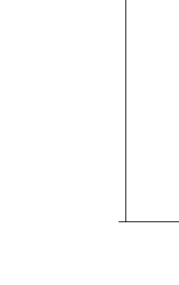
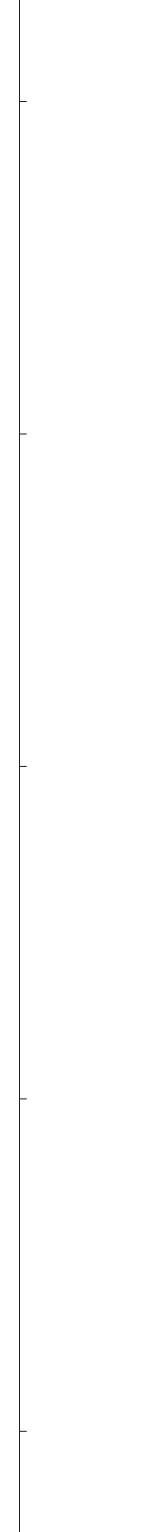
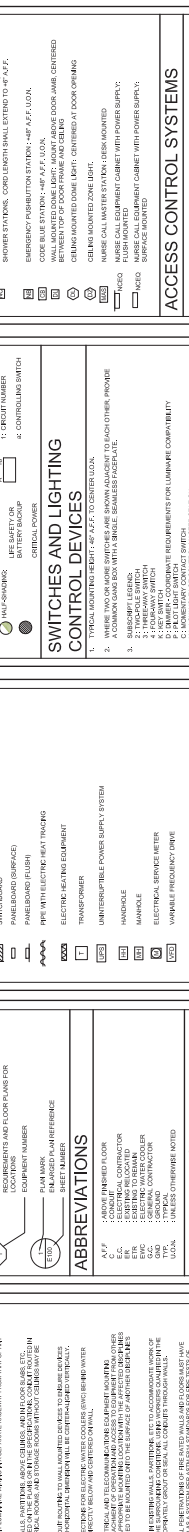
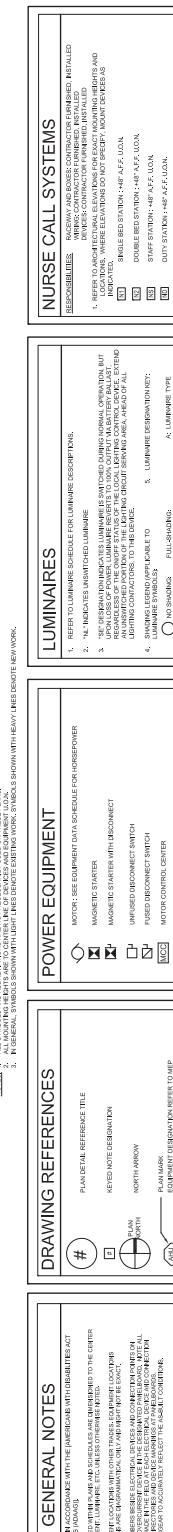
AIR DEVICE SCHEDULE

NOTES:
 1. COORDINATE BORDER FRAME WITH ARCHITECTURAL PLANS.
 2. PROVIDE WITH ACCESSORIES AS LISTED IN THE SPECIFICATIONS.

MARK ID	#	TITUS	MFR.	MODEL	TYPE	LOCATION	SERVICE	NECK SIZE (IN)	FACE SIZE (W x H) (IN)	MATERIAL	FINISH	MAX. TPO (W x H) (IN)	MAX. CFM (IN)	MAX. CFM @ (FT) 50 FPM CONDITIONS	MIN. THICK (FT) 50 FPM	NOTES
R	1		TITUS	206	EGG CRATE	CEILING	SUPPLY AIR	22x10	24x12	STEEL	WHITE	31	30	900	7	1, 2

ELECTRICAL LEGEND AND ABBREVIATIONS (SEE SPECIFICATIONS & SCHEDULES)

1. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
 2. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
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 8. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
 9. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
 10. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.



MARK	DATE	DESCRIPTION
1	09/15/2021	ADDENDUM 1
2	01/11/2022	ADDENDUM 2
3	01/11/2022	ADDENDUM 3

ISSUE DATE: AUGUST 2021

PITTSBURG STATE UNIVERSITY
 OFFICE OF PLANNING,
 DESIGN, AND CONSTRUCTION
 105 WHITEHILL HALL
 PITTSBURG, KANSAS 66782
 620-293-4974

PITTSBURG STATE UNIVERSITY
 RUSSELL HALL 112 OFFICE CONSOLIDATION
 1701 S BROADWAY STREET, PITTSBURG, KS 66782
 CHECKED BY: JBM
 DRAWN BY: CCRP
 DATE: 08/17/2021

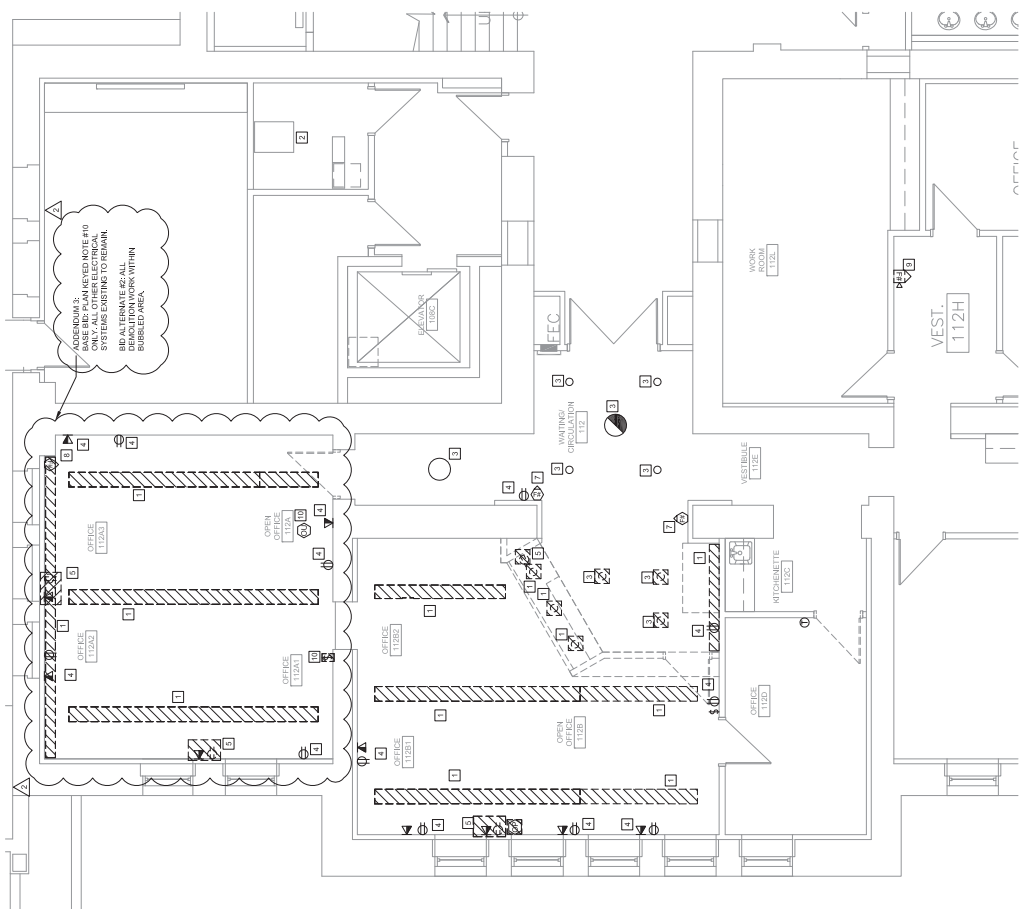
ELECTRICAL DEMOLITION
 PLAN
 A-01-4310
ED101
 ORIGINAL CONTRACT
 DOCUMENTS

GENERAL NOTES:

1. COORDINATE SALVAGE RIGHTS OF ALL LIGHTING WITH THE OWNER PRIOR TO DEMOLITION.
2. OFFICE AREA 112A INCLUDES (1) EXISTING FIRE ALARM SMOKE DETECTOR TO BE RELOCATED TO NEW WORK.

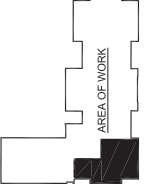
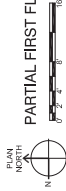
KEYED NOTES:

1. DEMOLISH EXISTING LIGHT FIXTURE.
2. SUBMITT. RACKS TO REMAIN.
3. EXISTING LIGHT FIXTURE TO REMAIN.
4. EXISTING POWER AND DATA TO REMAIN.
5. SALVAGE AND RELOCATE EXISTING DEVICE AS SHOWN ON SHEET E101.
6. SALVAGE EXISTING LIGHT FIXTURE AND RELOCATE AS SHOWN ON SHEET E101.
7. EXISTING FIRE ALARM DEVICE SHALL REMAIN.
8. DEMOLISH FIRE ALARM DEVICE.
9. SALVAGE EXISTING FIRE ALARM DEVICE AND BRING FALL PER E101.
10. RELOCATE EXISTING ROOM LIGHT SWITCH CONTING. ADJACENT TO CEILING OCCUPANCY SENSOR AND LIGHTING WITHIN THE ROOM TO MATCH EXISTING CONTROL POINT.



ADDENDUM 3:
 ALL DEVICES ARE TO
 ONLY ALL OTHER ELECTRICAL
 SYSTEMS EXISTING TO REMAIN.
 BE AN ALTERNATE #2-ALL
 DEVICES WITHIN
 HATCHED AREA.

PARTIAL FIRST FLOOR ELECTRICAL DEMOLITION PLAN
 1/4" = 1'-0"
1



ISSUE DATE	AUGUST 2021
MARK	
DATE	09/15/2021
DESIGNER	ADRIAN
ARCHITECT	ADRIAN
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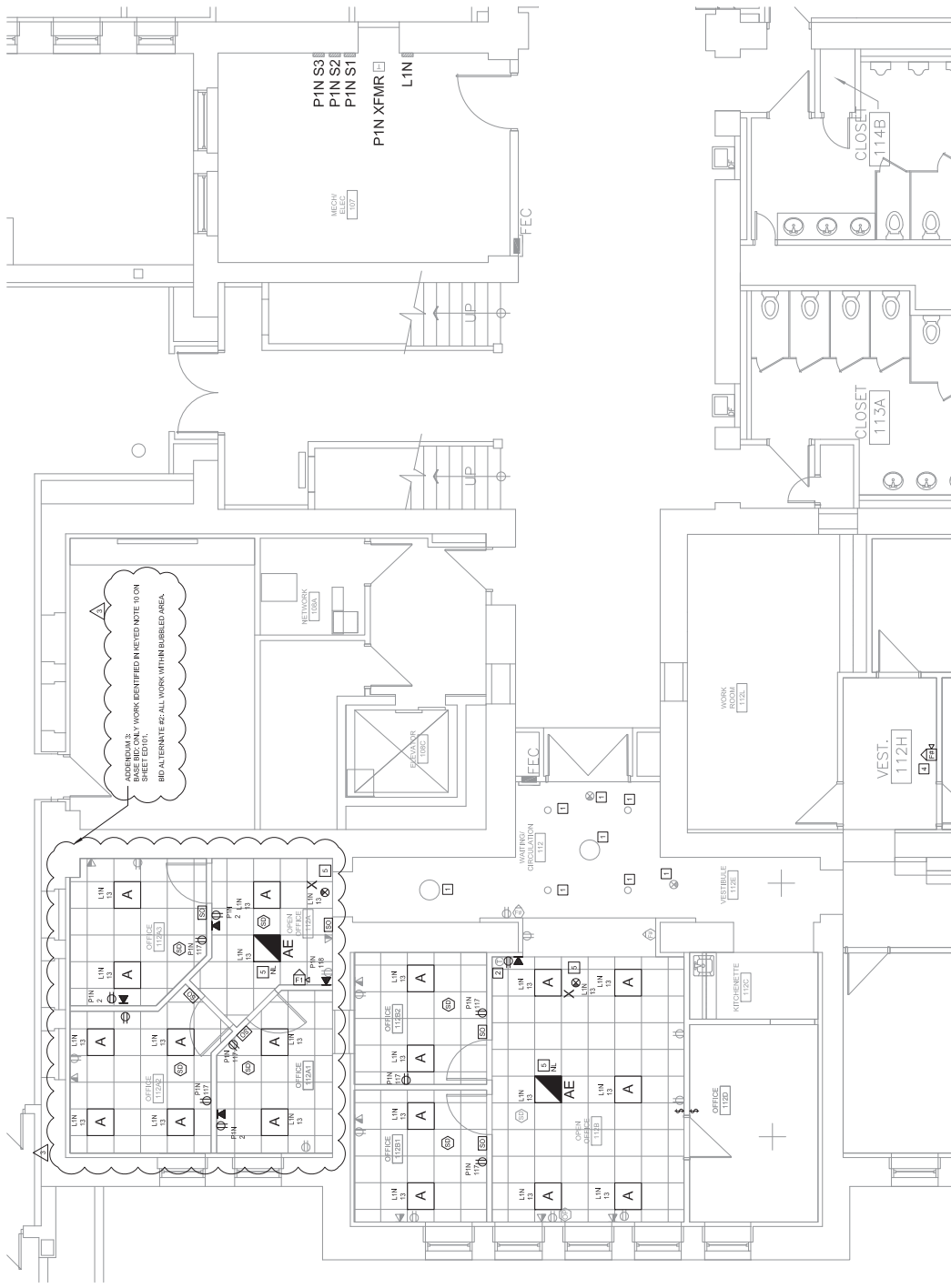
GENERAL NOTES:

1. REVIEW ALL CONTRACT DOCUMENTS, SPECIFICATIONS, ACCESSIBLE SCHEMATIC AND ROUTE DATA TO MATCH PANELS TOGA. PROVIDE NEW ADDRES AS REQUIRED.
2. INSTALL NEW SMOKE DETECTORS AS SHOWN ON THE PLAN. COMPATIBLE SMOKE DETECTORS FURNISHED FROM THE OWNER FROM LISTING 31504.

KEYED NOTES:

1. EXISTING LIGHT FIXTURES SHALL REMAIN.
2. RELOCATE EXISTING THEMOSTAT. THE BACK INTO EXISTING MECHANICAL UNIT. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION.
3. RELOCATE EXISTING RECEPTACLE AND DATA.
4. INSTALL SALVAGED FIRE ALARM DEVICE.
5. REPLACE EXISTING SMOKE ALARMS WITH NEW SMOKE ALARMS FROM EMERGENCY/EGRESS LIGHT FIXTURE TO BULKING LIGHTING INVERTER CIRCUIT ON FLOOR.

ADDENDUM 2: WORK IDENTIFIED IN KEYED NOTE (ON SHEET E101) BIG ALTERNATE 2-CALL WORK WITHIN RUBBED AREA.



PARTIAL FIRST FLOOR ELECTRICAL PLAN
 1/4" = 1'-0"
1

