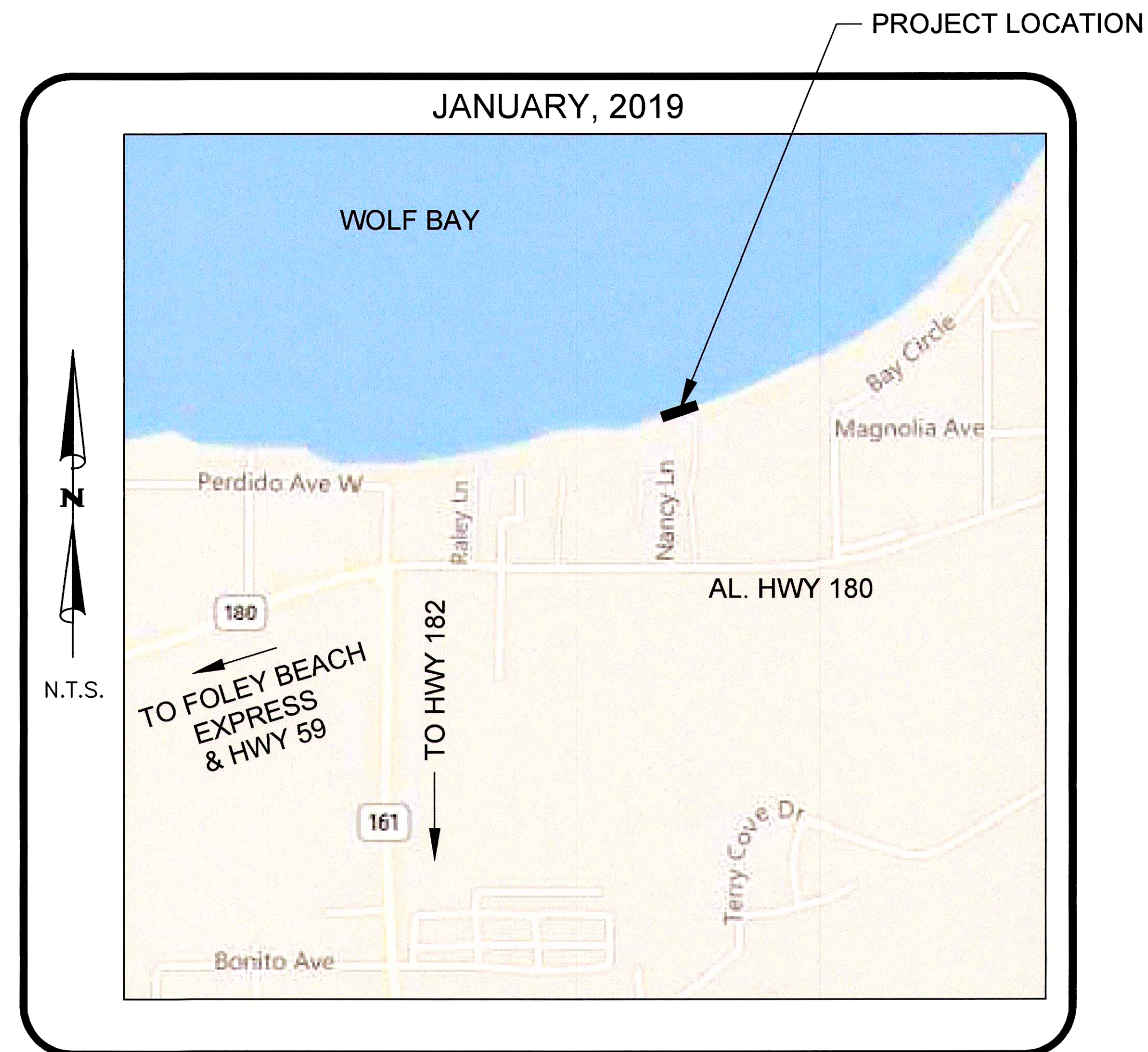


ART CENTER SHORELINE STABILIZATION & BOARDWALK

CITY OF ORANGE BEACH

CIVIL CONSTRUCTION DRAWINGS

INDEX OF SHEETS
1. TITLE SHEET
2. PROJECT NOTES
3. EXISTING CONDITIONS PLAN
4. AREA PERMITTED
5. SITE PLAN & EROSION CONTROL PLAN
6. BOARDWALK CROSS SECTIONS
7. BOARDWALK / RIP-RAP SECTION



VICINITY MAP

UTILITY PROVIDERS	
SANITARY SEWER	CITY OF ORANGE BEACH
WATER	ORANGE BEACH WATER AUTHORITY
POWER	BALDWIN EMC
TELEPHONE	CENTURYLINK

PREPARED BY:



11143 Old Highway 31 Spanish Fort, AL 36527
818 N. McKenzie Street Foley, AL 36535

Phone: (251) 544-7900
Phone: (251) 970-7900



GENERAL NOTES:

1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE IF THE LOCATIONS SHOWN ARE CORRECT AND TO DETERMINE IF THERE ARE ADDITIONAL LINES THAT ARE NOT SHOWN ON THE PLANS. ALSO, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL UTILITY LINES DURING CONSTRUCTION WITH NO ADDITIONAL COMPENSATION. THE CONTRACTOR SHALL NOTIFY THE RESPECTIVE UTILITY OWNER FOR ANY LINES THAT MAY CONFLICT WITH THE CONSTRUCTION AND THEY WILL MAKE THE ADJUSTMENTS NECESSARY (IN THE OPINION OF THE ENGINEER). IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL UTILITY ADJUSTMENTS, AND THERE WILL BE NO ADDITIONAL COMPENSATION FOR THIS COORDINATION, OR ANY DELAYS RESULTING FROM UTILITY ADJUSTMENTS. FOR UTILITY LOCATION SERVICE, THE CONTRACTOR SHALL CALL 1-800-292-8525 AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY OWNER FOR THE COORDINATION OF ANY UTILITIES REQUIRING RELOCATION. THE ENGINEER RESERVES THE RIGHT TO RELOCATE OR ADJUST REQUIRED SANITARY SEWER LINE LOCATIONS AND WATER MAINS TO AVOID EXISTING UTILITIES LOCATED BY THE CONTRACTOR.
2. ALL EXISTING BUILDINGS LOCATED WITHIN THE PROJECT LIMITS, EXCEPT THOSE NOTED ON THE PLANS TO BE REMOVED, SHALL BE LEFT IN PLACE. ANY DAMAGE TO THESE BUILDINGS BY THE CONTRACTOR'S OPERATIONS SHALL BE REMEDIATED AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL RESTORE ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK TO A CONDITION EQUAL TO OR BETTER THAN EXISTED BEFORE COMMENCING CONSTRUCTION WORK, UNLESS SPECIFICALLY EXEMPTED BY THE DRAWINGS. RESTORATION WORK INCLUDES, BUT IS NOT LIMITED TO PAVEMENT, BASE, SUB GRADE, CONCRETE CURBS, THERMOPLASTIC TRAFFIC MARKINGS, SIDEWALKS, STORM WATER PIPE, ETC. ALL RESTORATION WORK SHALL BE PER A.L.D.O.T. STANDARDS AND SPECIFICATIONS AND A.L.D.O.T. PERMIT REQUIREMENTS IF THERE IS A CONFLICT WITH A.L.D.O.T. REQUIREMENTS AND THE CONTRACT DOCUMENTS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN. IF ADDITIONAL TOPOGRAPHY OR ANY OTHER INFORMATION IS NECESSARY FOR THE CONTRACTOR TO RECONSTRUCT ALL FACILITIES TO PRE CONSTRUCTION GRADES AND DIMENSIONS, THE ACQUISITION OF SUCH ADDITIONAL INFORMATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND AT HIS EXPENSE. THE CONTRACTOR SHALL RECONSTRUCT ALL FACILITIES TO PRE-CONSTRUCTION GRADES AND DIMENSIONS, UNLESS OTHERWISE NOTED. WATER, FERTILIZE AND SUPPLY ALL VEGETATION REMOVED AND REPLACED AT NOT EXPENSE TO THE OWNER, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
4. ALL TREES, SHRUBS, ETC., ALONG THE LINES OF CONSTRUCTION SHALL BE PROTECTED WHERE POSSIBLE UNLESS NOTED OTHERWISE ON THE DRAWINGS. NO TREES LARGER THAN THREE INCHES (3") IN DIAMETER SHALL BE DESTROYED WITHOUT PRIOR APPROVAL OF THE ENGINEER AND OWNER.
5. ALL EXCESS MATERIAL FROM EXCAVATIONS AND BORING (INCLUDING REMOVAL OF EXISTING PAVEMENT, CURB AND GUTTER, AND SIDEWALKS) BELONG TO THE CONTRACTOR AND SHALL BE DISPOSED OF BY THE CONTRACTOR IN AN ACCEPTABLE MANNER. COST FOR SUCH REMOVAL AND DISPOSAL IS A SUBSIDIARY OBLIGATION OF THE VARIOUS PAY ITEMS AND WILL NOT BE PAID FOR SEPARATELY.
6. CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTY AT ALL TIMES. CONSTRUCTION ALONG THE ROUTE SHOULD BE DONE IN STAGES TO MINIMIZE INCONVENIENCE TO LOCAL TRAFFIC.
7. THE CONTRACTOR SHALL AT ALL TIMES, GAIN PERMISSION FROM THE ENGINEER FOR ANY PROPOSED CONSTRUCTION THAT WILL AFFECT TRAFFIC ON THE ART CENTER AND/OR PARK PROPERTY.
8. THE CONTRACTOR SHALL PROVIDE ANY TEMPORARY CONTROLS AND/OR STRUCTURES REQUIRED TO MAINTAIN SUITABLE AND SAFE WORKING CONDITIONS AT ALL TIMES. SUCH ITEMS SHALL BE REMOVED ONCE THAT PORTION OF WORK HAS BEEN COMPLETED.
9. SHOULD THE CONTRACTOR ELECT TO OBTAIN AREAS FOR THE PURPOSE OF STORING MATERIALS AND EQUIPMENT OR FOR CONDUCTING HIS WORK OPERATIONS, HE SHALL FURNISH THE OWNER AND ENGINEER A COPY OF THE AGREEMENT BETWEEN HIM AND THE OWNER OF THE PROPERTY PRIOR TO USING THE AREA (NO DIRECT PAYMENT). ANY CURB AND GUTTER, SIDEWALK, DRIVEWAY, ETC. DAMAGED BY THE CONTRACTOR WHEN HAULING MATERIALS OR MOVING EQUIPMENT IN OR OUT FROM THIS STORAGE AREA SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
10. THE OWNER RESERVES THE RIGHT TO DELETE, REDUCE AND/OR INCREASE ANY BID ITEM OR ITEM OF WORK. NO ADJUSTMENT WILL BE MADE TO THE OTHER BID ITEM PRICES DUE TO THESE REVISIONS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND TEMPORARILY RELOCATING ALL INFORMATION AND TRAFFIC SIGNS DURING CONSTRUCTION. SIGN SHOULD BE VISIBLE TO MOTORIZED VEHICLES; REPOSITION SIGNS IN A PRE-CONSTRUCTION LOCATION IMMEDIATELY AFTER CONSTRUCTION IS COMPLETED IN THESE AREAS. EXISTING STREET & ROAD NAMES SIGNS IN THE PROJECT AREAS SHALL BE KEPT VISIBLE AT ALL TIMES FOR THE FACILITATION OF ACCESS BY EMERGENCY VEHICLE TRAFFIC.
12. FOLLOWING FINAL ACCEPTANCE OF THIS PROJECT, THE CONTRACTOR SHALL FINALIZE AND SUBMIT TO THE ENGINEER A COMPLETE SET OF RECORD DRAWINGS SHOWING ACTUAL QUANTITIES, LOCATION AND VALVE REFERENCES. THE ENGINEER WILL FURNISH THE CONTRACTOR AN 'ISSUED FOR CONSTRUCTION' SET OF DRAWINGS TO BE USED FOR THIS PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A RECORD DRAWING SET OF PLANS AS THE PROJECT PROGRESSES, PAY ESTIMATES SHALL NOT BE RECOMMENDED FOR PAYMENT UNTIL THE CONTRACTOR HAS DEMONSTRATED TO THE OWNER'S REPRESENTATIVE THAT THE RECORD DRAWINGS ARE BEING MAINTAINED.

EROSION & SEDIMENTATION NOTES

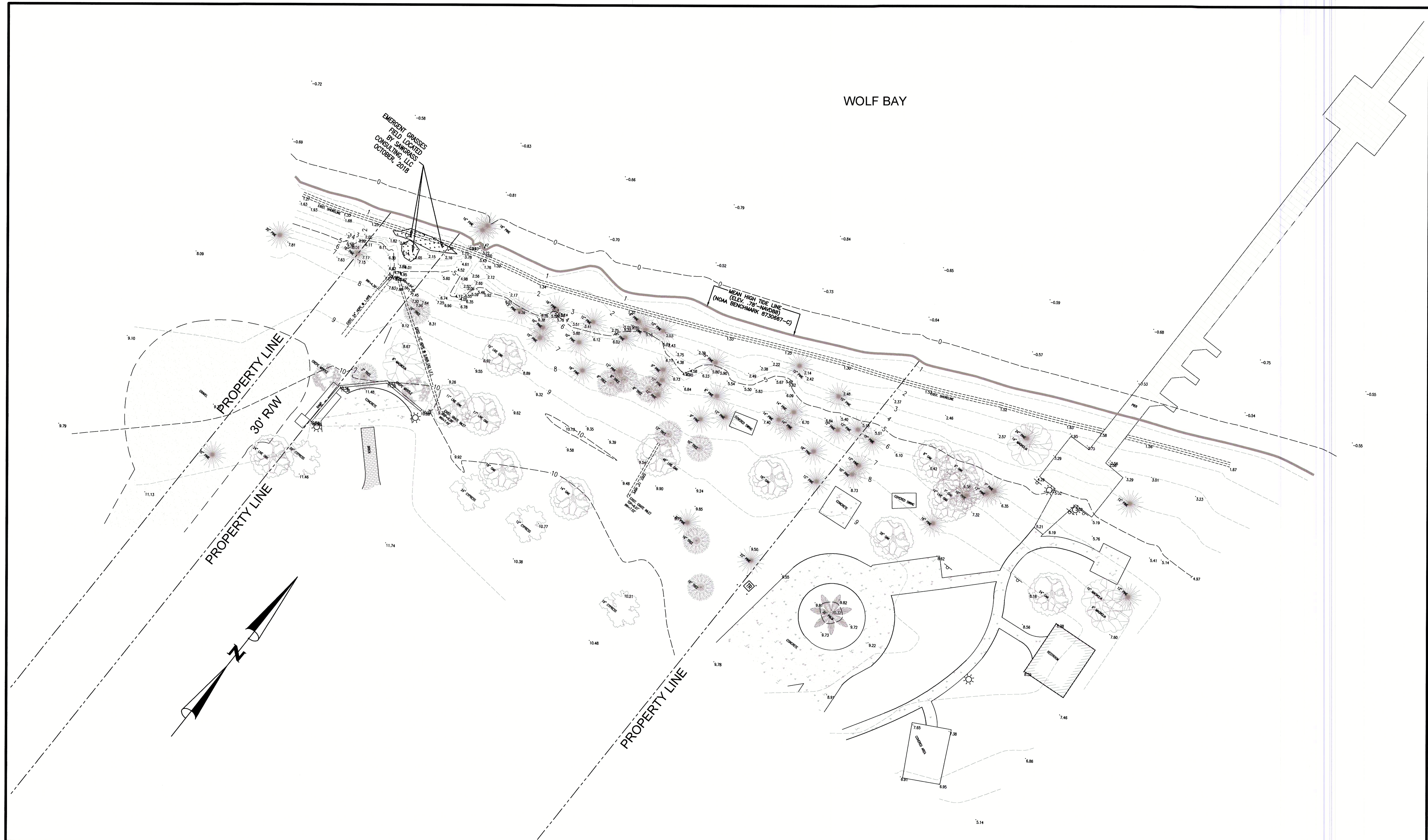
1. ALL DRAINAGE DRAINS MUST BE GRASSED AND RIP-RAP MUST BE PLACED AS SHOWN TO CONTROL EROSION.
2. SILT FENCE MUST MEET THE REQUIREMENTS OF LOCAL JURISDICTIONAL AGENCY, SAID REQUIREMENTS AS SHOWN BY THESE PLANS.
3. DISTURBED AREAS SHALL BE VEGETATED AFTER CONSTRUCTION.
4. ADDITIONAL EROSION CONTROL MEASURES OR SILT BARRIERS TO BE PLACED AS DIRECTED BY THE PROJECT ENGINEER AND/OR LOCAL JURISDICTIONAL INSPECTOR.
5. ALL CONSTRUCTION ACTIVITIES SHALL INCORPORATE BEST MANAGEMENT PRACTICES AS REQUIRED BY A.D.E.M. AND E.P.A. AND THE CONTRACT SPECIFICATIONS TO CONTROL EROSION, SEDIMENTATION AND THE POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION CONSTRUCTION PRACTICES INCLUDE:
6. CONSTRUCT TEMPORARY SEDIMENTATION BASINS OR EARTHEN BERMS AT DOWN-GRADIENT ENDS OF NEWLY GRADED AREAS TO PROVIDE FOR SEDIMENT AND TURBIDITY REMOVAL.
7. LIMIT SITE CLEARING TO THOSE AREAS REQUIRED FOR A PARTICULAR PHASE OF CONSTRUCTION EXISTING TREES AND VEGETATION TO REMAIN WHEREVER POSSIBLE.
8. TURBIDITY BARRIERS, HAY BALES AND OTHER EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETE AND THE POTENTIAL FOR EROSION IS ELIMINATED. BARRIERS SHALL BE PLACED FULL LENGTH OF DISTURBED AREA.
9. DO NOT EMPLOY SILT FENCES IN A MANNER TO CAUSE THEM TO ACT AS A DAM ACROSS PERMANENTLY FLOWING WATERCOURSES. USE SILT FENCES AT UPLAND LOCATIONS AND TURBIDITY BARRIERS IN PERMANENT WATER BODIES, REGARDLESS OF WATER DEPTH.
10. TURBIDITY BARRIERS MAY BE EITHER FLOATING OR STAKED TYPE OR ANY COMBINATION OF TYPES THAT WILL SUIT SITE CONDITIONS, AND MEET EROSION CONTROL AND WATER QUALITY REQUIREMENTS. INSTALL POSTS IN STAKED TURBIDITY BARRIERS IN THE VERTICAL POSITION UNLESS OTHERWISE NOTED.
11. DISTURBED AREAS WITHIN PERMANENT AND TEMPORARY EASEMENTS AND RIGHTS-OF-WAYS SHALL BE RESTORED TO PRE-EXISTING CONDITIONS OR BETTER BY INSTALLING TOPSOIL AND SOLID SOD IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. THE TYPE OF SOLID SOD SHALL MATCH EXISTING SOD AS DETERMINED BY THE ENGINEER.
12. FOR ALL CONSTRUCTION ALONG AND/OR ACROSS WATERWAYS, BANK PROTECTION AND STABILIZATION SHALL BE REQUIRED AS PER LOCAL JURISDICTIONAL EROSION LAWS.
13. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED. CONSTRUCTION ENTRANCE PADS SHALL BE INSTALLED BY THE CONTRACTOR AT CONSTRUCTION ACCESS POINTS PRIOR TO LAND DISTURBANCE.
14. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED.
15. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT IS WITHIN 12" OF THE TOP OF THE SILT FENCE UTILIZED FOR EROSION CONTROL.
16. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
17. TREE PROTECTION AND EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
18. ALL DISTURBED AREAS TO BE GRASSED AS SOON AS POSSIBLE.
19. ALL SLOPES SHALL BE STABILIZED AS SOON AS POSSIBLE.
20. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM REQUIRED MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL DEVICES TO ENSURE THEIR FUNCTION AT ALL TIMES.

SITE NOTES

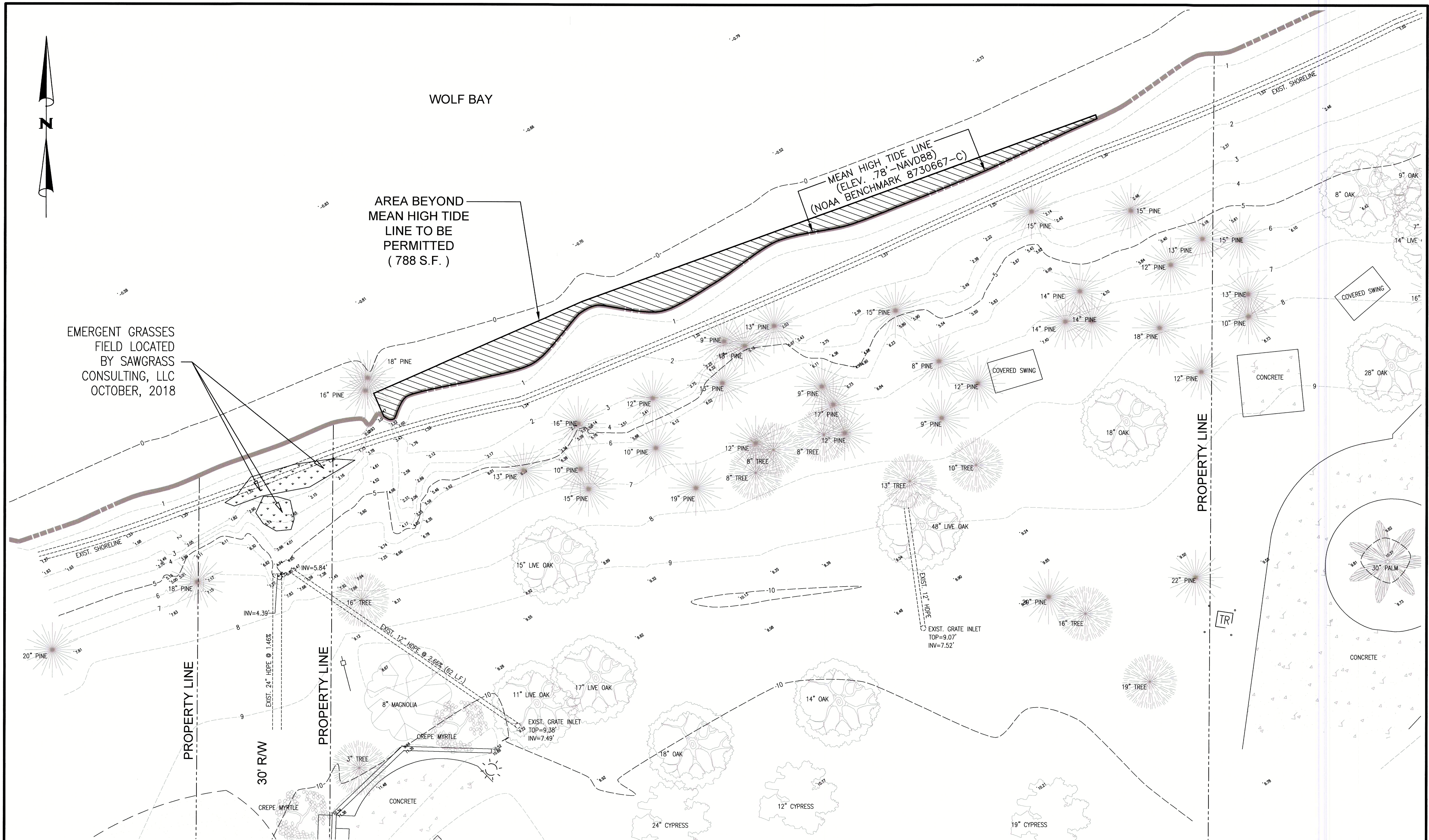
1. ALL CONCRETE SHALL BE CLASS A, 3,000 PSI AT 28 DAYS COMPRESSIVE STRENGTH WITH A MAXIMUM SLUMP OF 4" UNLESS NOTED OTHERWISE. ALL EXPOSED CONCRETE TO HAVE A FINE BROOM FINISH.
2. ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER OR TENANT.
3. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, PART VI, SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
4. THE CONTRACTOR SHALL SIZE, INSTALL, AND MAINTAIN ADEQUATE CONTROLS FOR THE SITE. REFER TO THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL, AND STORM WATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS, LATEST EDITION.

ONSITE CONTACT: THOMAS E. GRANGER, P.E.
(251) 544.7900 OFFICE
(251) 295.6921 CELL

NUMBER:	REVISION:	DATE:	<div><div><div>Sawgrass</div><div>CONSULTING, LLC</div><div>ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT</div></div><div>11143 Old Highway 31 Spanish Fort, AL 36527 Phone: (251) 544-7900 818 N. McKenzie Street Foley, AL 36635 Phone: (251) 970-7900</div></div>	PROJECT NOTES		<div>SCALE: N.T.S.</div> <div>DATE: JAN., 2019</div> <div>DRAWN BY: J.C.</div> <div>CHECKED BY: T.E.G.</div> <div>SHEET: 2 OF 7</div>
				ART CENTER/SHORELINE STABILIZATION		
				CITY OF ORANGE BEACH		



NUMBER:	REVISION:	DATE:	<div>GRAPHIC SCALE</div> <div><div><div>20</div><div>0</div><div>20</div></div><div>(IN FEET)</div><div>1 inch = 20 ft.</div></div>	<div><div><div>Sawgrass</div><div>CONSULTING, LLC</div></div><div>ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT</div><div><div>11143 Old Highway 31 Spanish Fort, AL 36527</div><div>818 N. McKenzie Street Foley, AL 36535</div><div><div>Phone: (251) 544-7900</div><div>Phone: (251) 970-7900</div></div></div></div>	EXISTING CONDITIONS PLAN		SCALE: 1"=20'
					ART CENTER/ShORELINE STABILIZATION		DATE: JAN., 2016
					CITY OF ORANGE BEACH		DRAWN BY: J.C.
							CHECKED BY: T.E.G.
						SHEET: 3 OF 7	



NUMBER:	REVISION:	DATE:	 <p>ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT</p> <p>11143 Old Highway 31 Spanish Fort, AL 36527 Phone: (251) 544-7900 818 N. McKenzie Street Foley, AL 36535 Phone: (251) 970-7900</p>	AREA PERMITTED		SCALE: 1"=20'
	REVISED 6-28-2018			ART CENTER/ShORELINE STABILIZATION		DATE: JAN., 2019
	REVISED 12-4-2018			CITY OF ORANGE BEACH		DRAWN BY: J.C.
						CHECKED BY: T.E.G.
						SHEET 4 OF 7

EROSION CONTROL LEGEND

- PROPOSED "A" SILT FENCE
- PROPOSED TURBIDITY BARRIER

WOLF BAY

PROPOSED 8' WIDE BOARDWALK

SEE SHT. 7 FOR SECTION "A-A"

MEAN HIGH TIDE LINE
(ELEV. .78' - NAVD88)
(NOAA BENCHMARK 8730667-C)

PROPOSED 6' WIDE ACCESS RAMP

REQ'D: TYPE "A" SILT FENCE

REQ'D: TURBIDITY BARRIER
REQ'D: REMOVE EXIST. 18" & 16" PINE TREE

REQ'D: 170 S.Y. CL. II RIP-RAP BELOW BOARDWALK (9' WIDE x 18" THICK)

EMERGENT GRASSES FIELD LOCATED BY SAWGRASS CONSULTING, LLC OCTOBER, 2018

PROPOSED 6' WIDE ACCESS RAMP

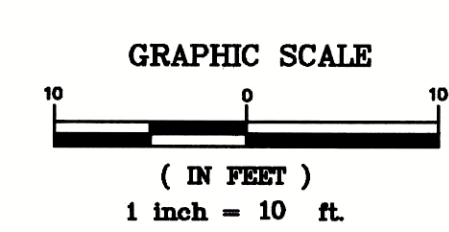
PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

TRI

NUMBER:	REVISION:	DATE:
	REVISED 6-28-2018	
	REVISED 12-4-2018	



Sawgrass CONSULTING, LLC

ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT

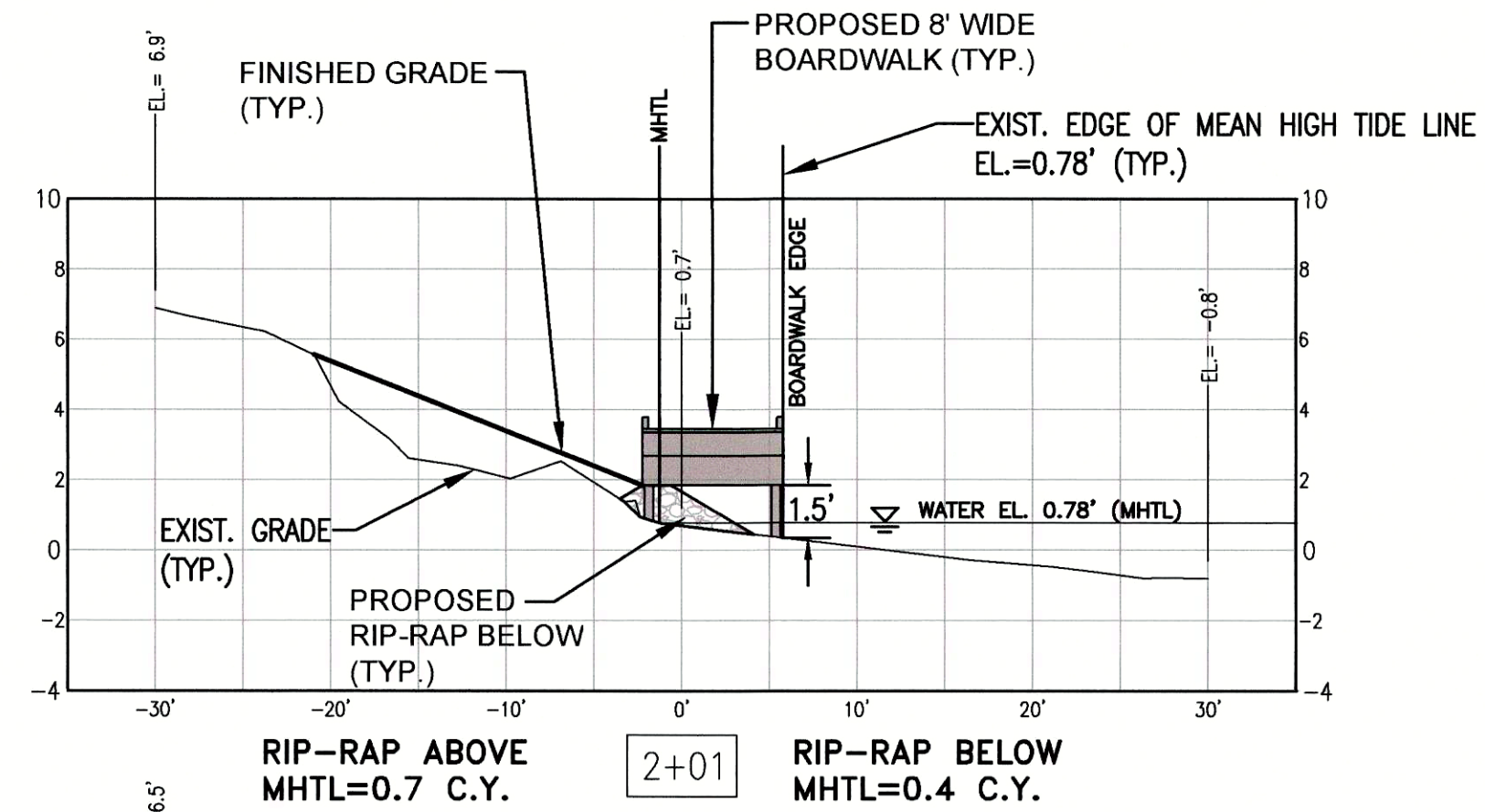
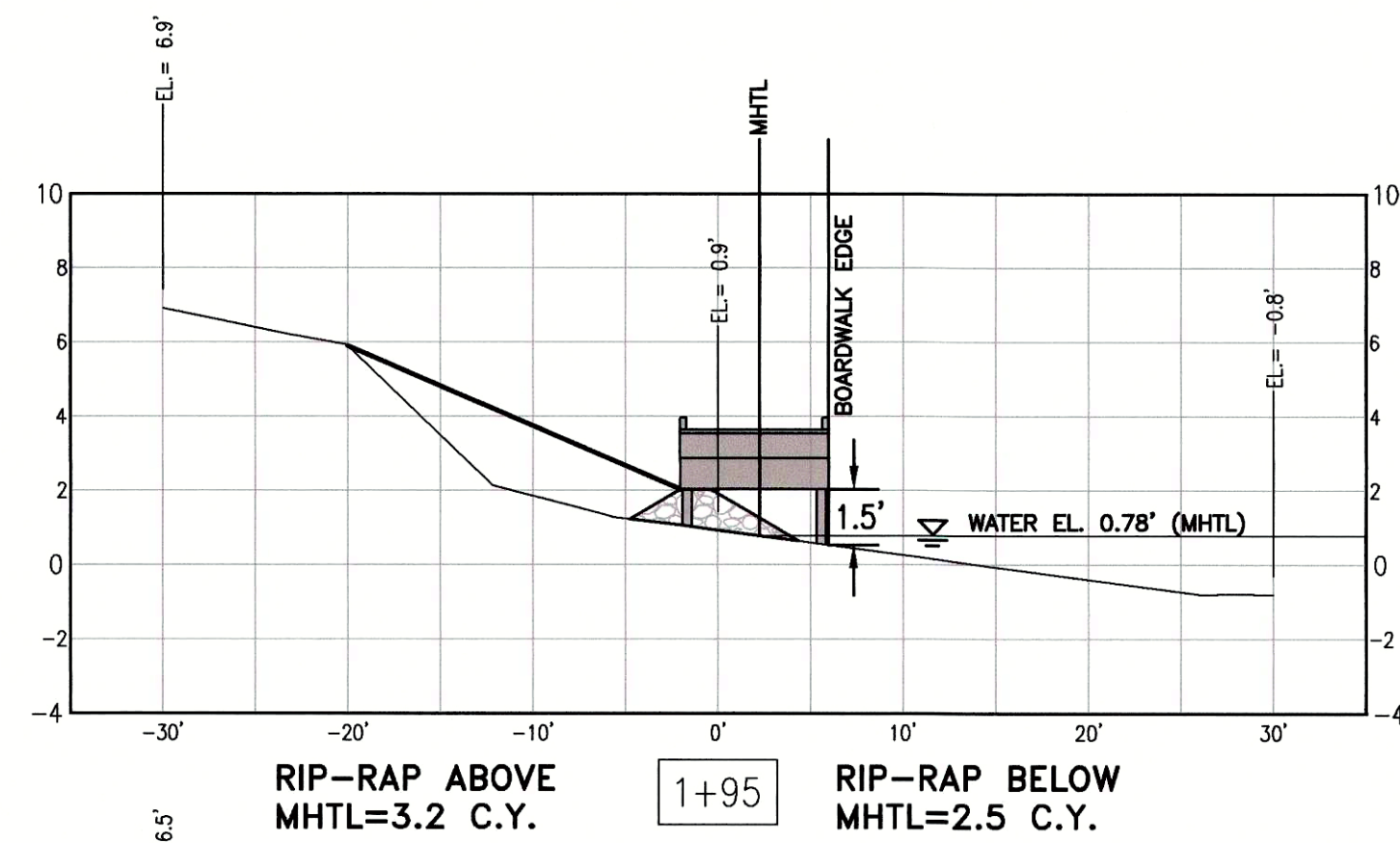
11143 Old Highway 31 Spanish Fort, AL 36527 Phone: (251) 544-7900
818 N. McKenzie Street Foley, AL 36535 Phone: (251) 970-7900

SITE PLAN & EROSION CONTROL PLAN

ART CENTER/ShORELINE STABILIZATION

CITY OF ORANGE BEACH

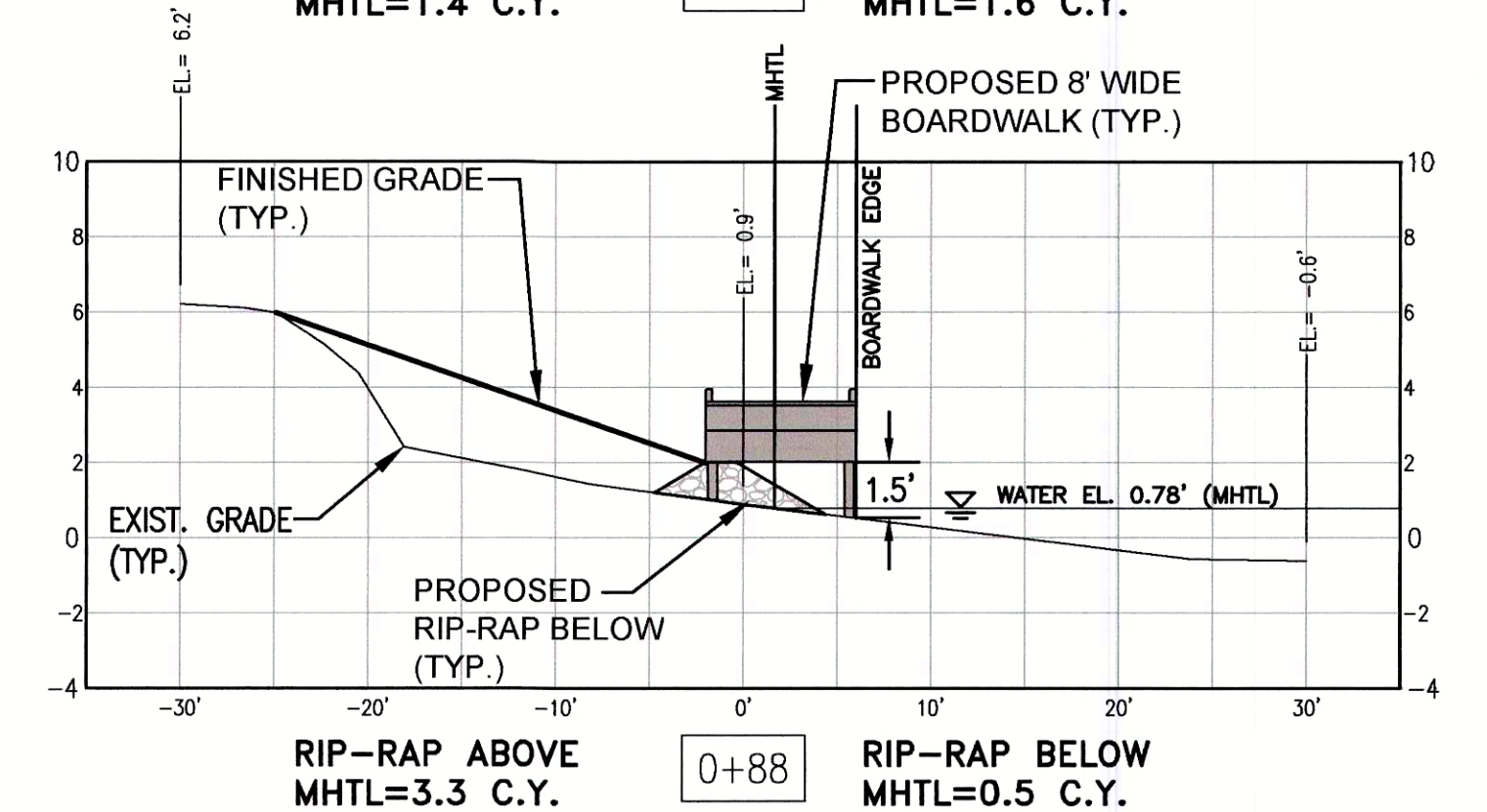
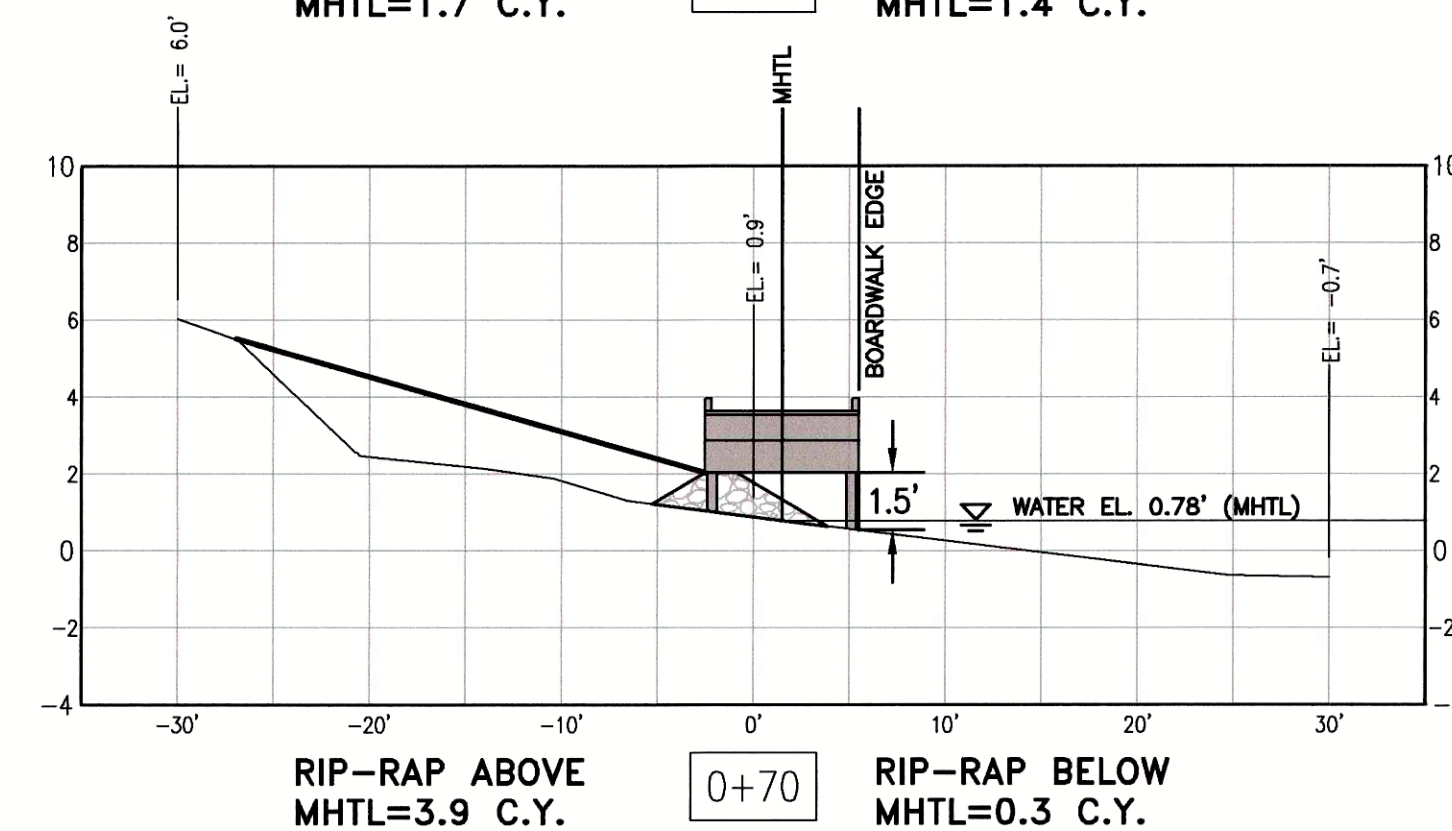
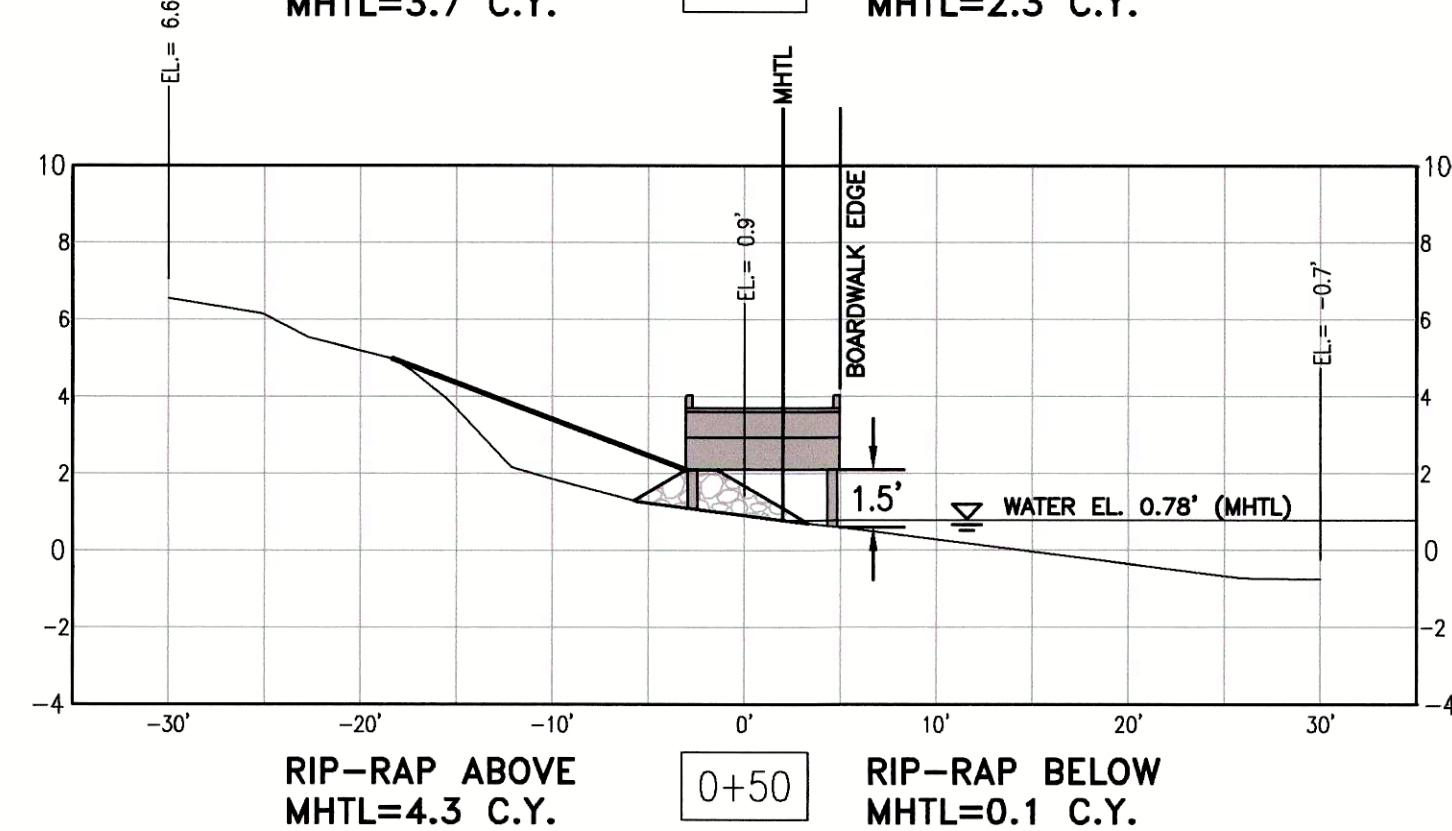
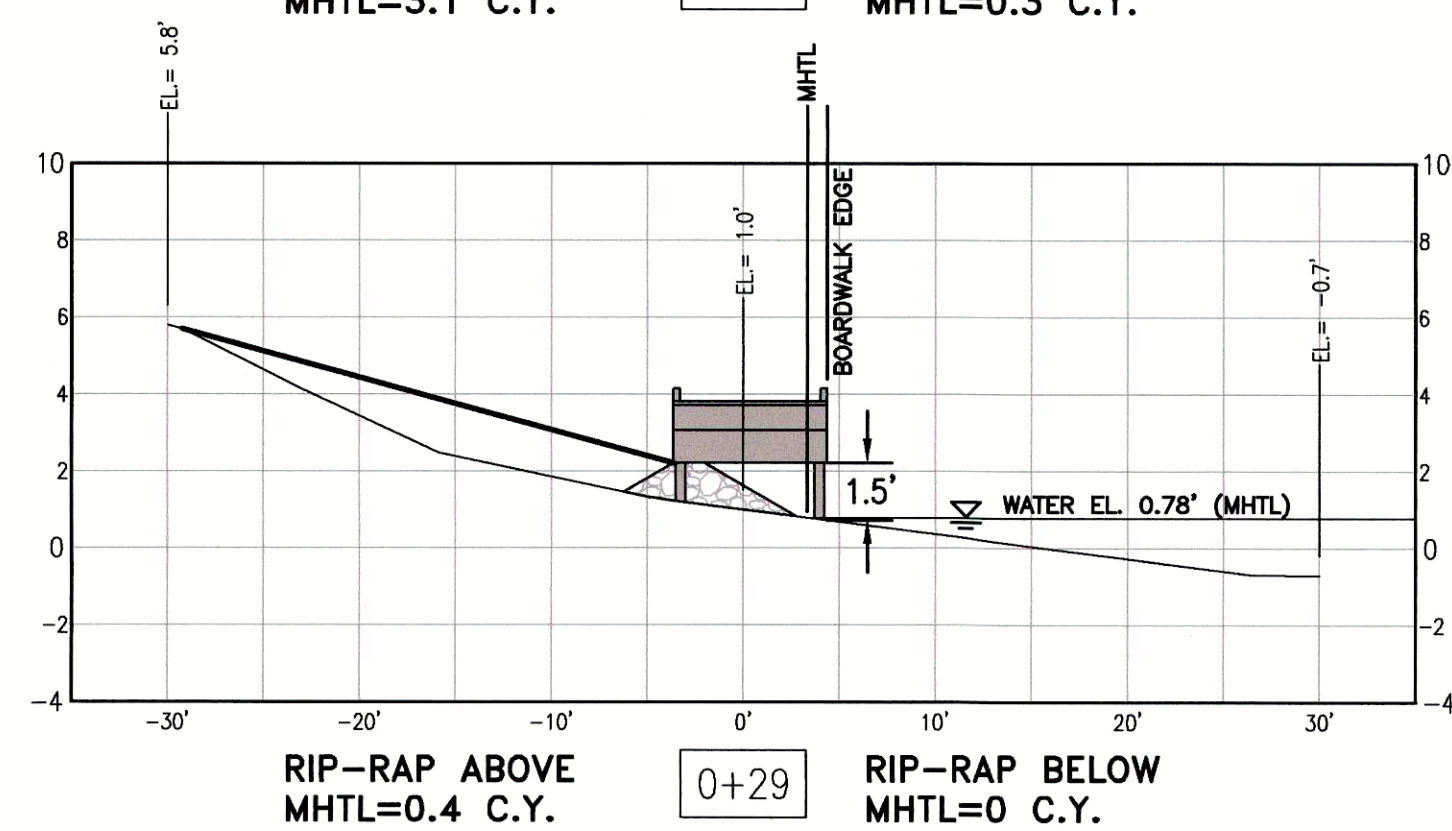
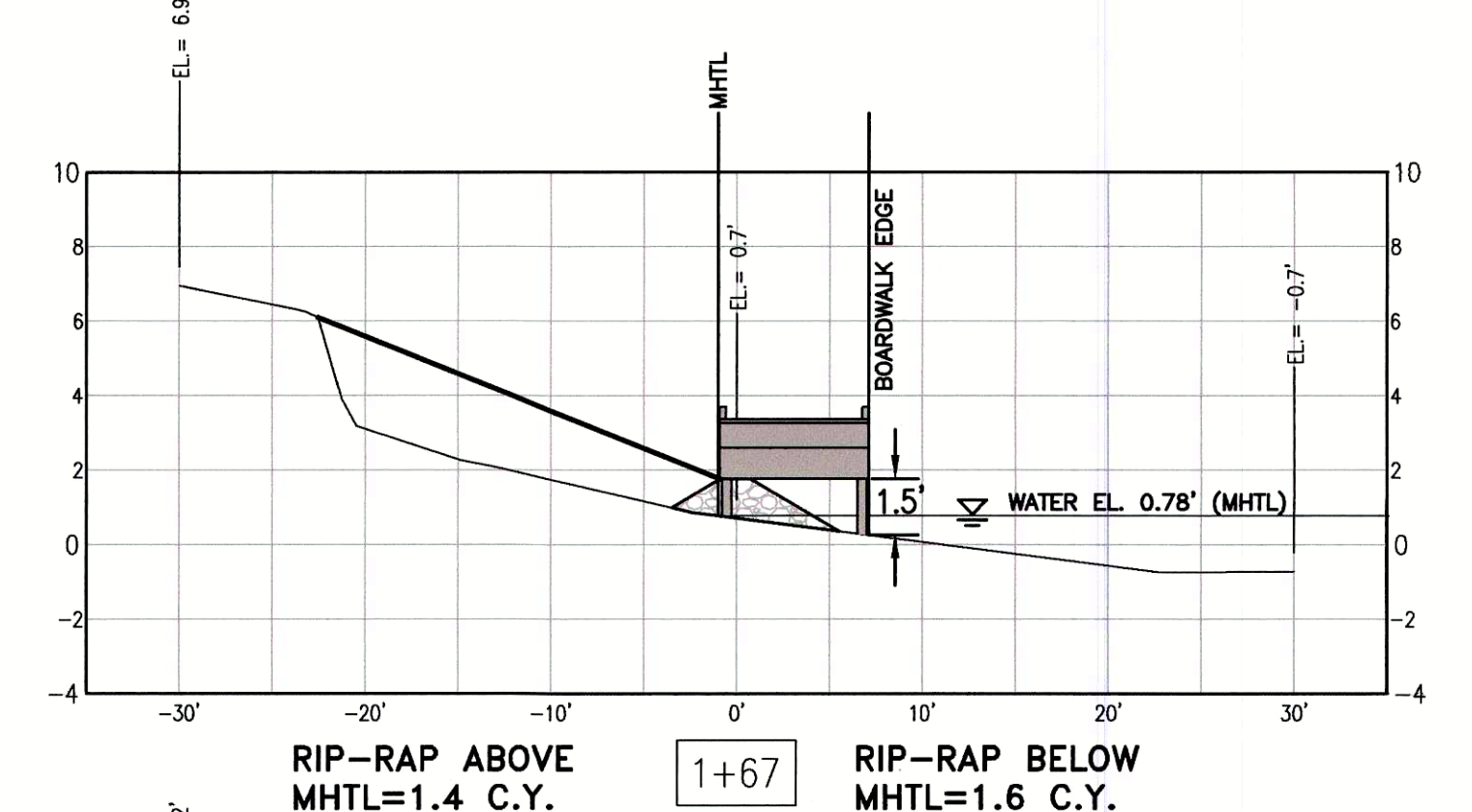
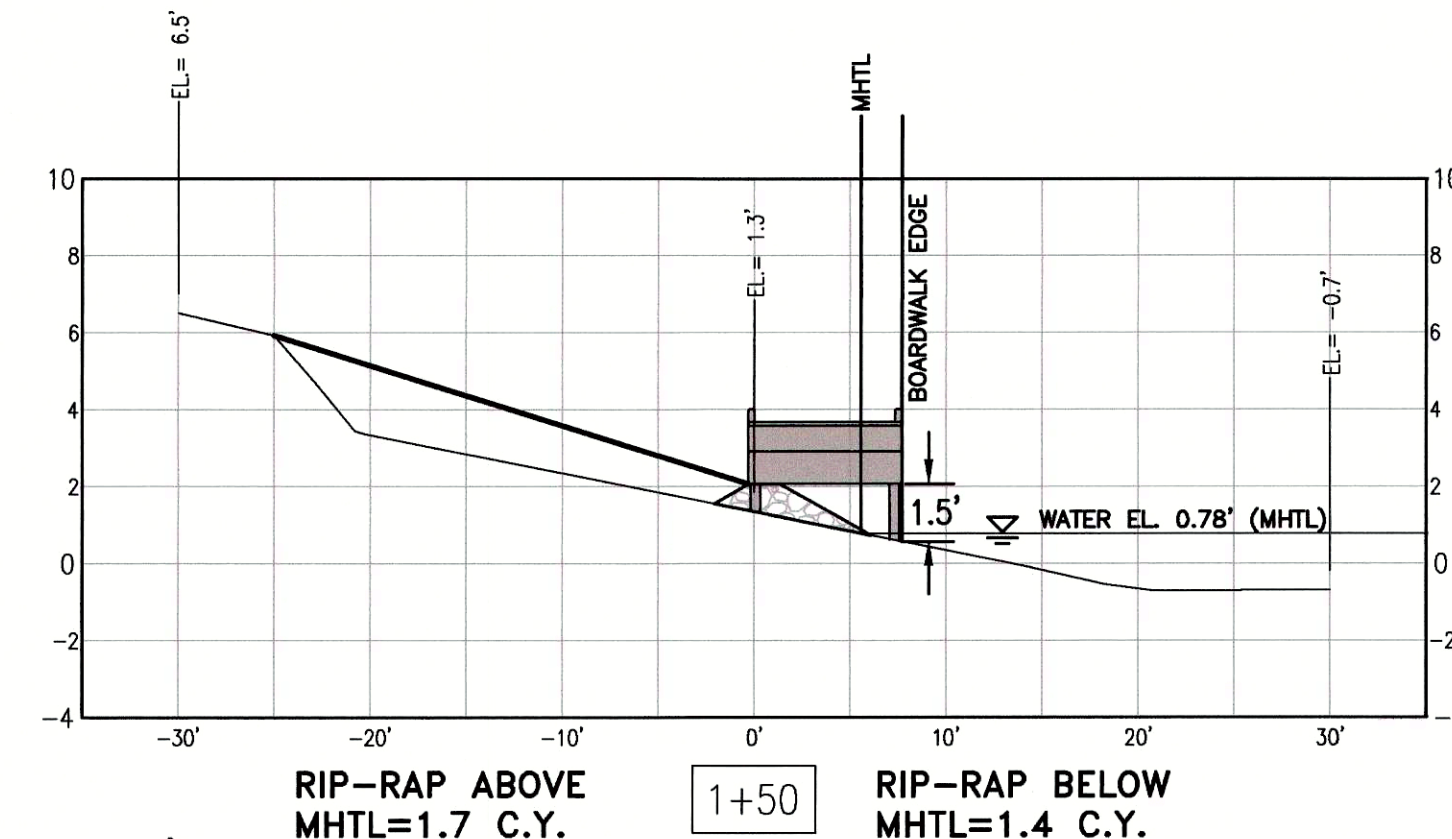
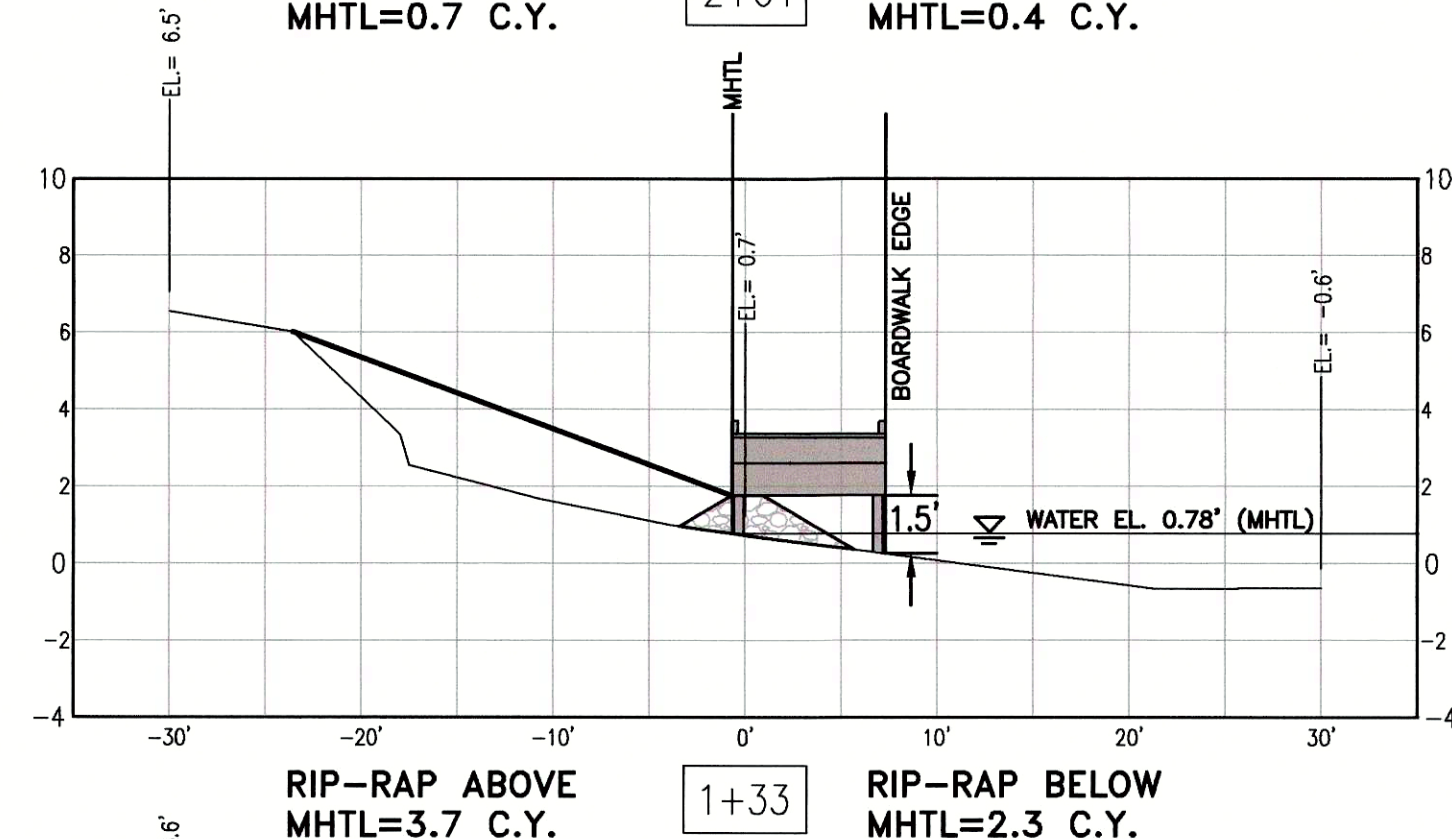
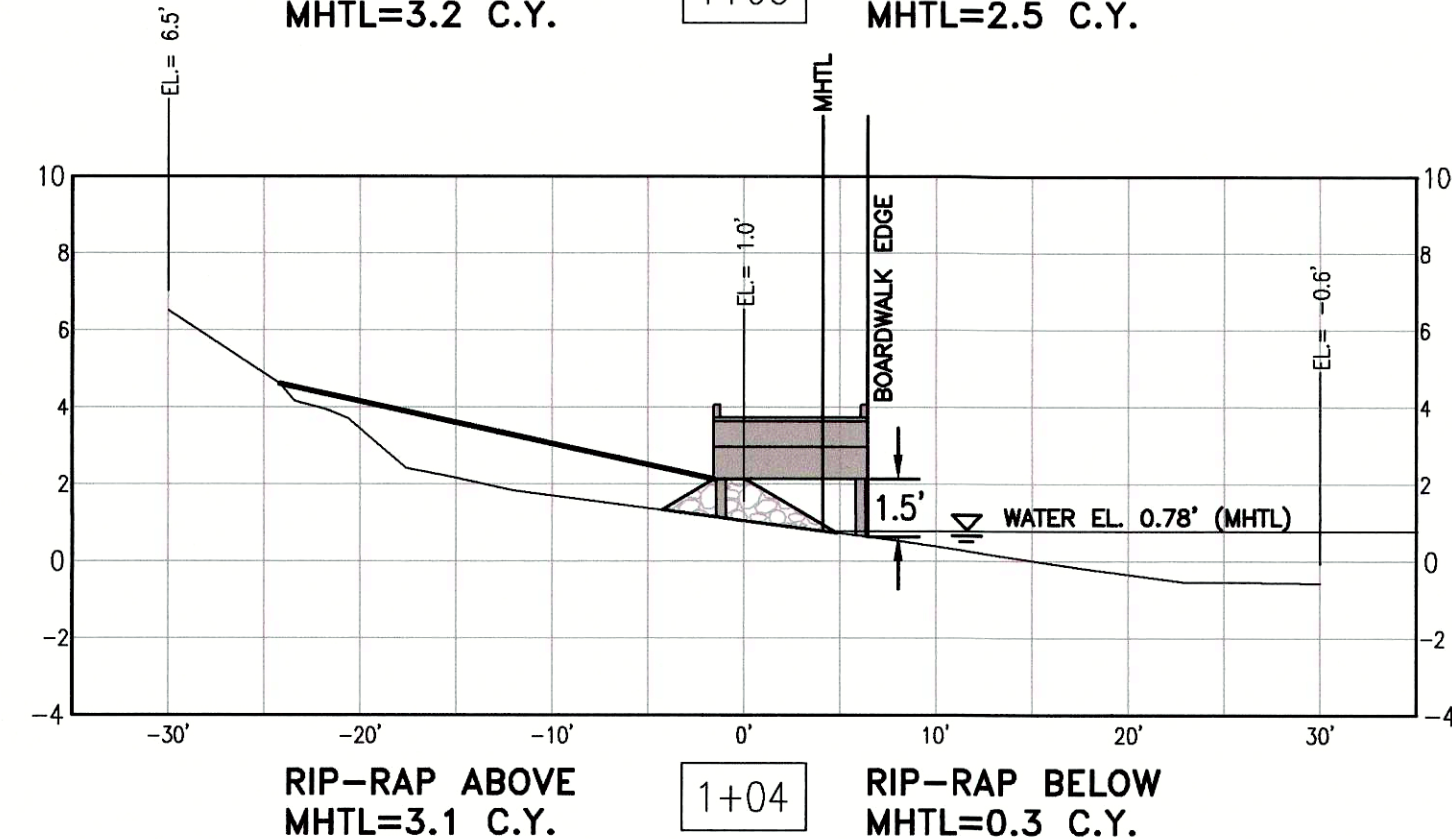
SCALE:	1"=10'
DATE:	JAN., 2019
DRAWN BY:	J.C.
CHECKED BY:	T.E.G.
SHEET:	5 OF 7



TOTAL RIP-RAP ABOVE MHTL=27.7 C.Y.

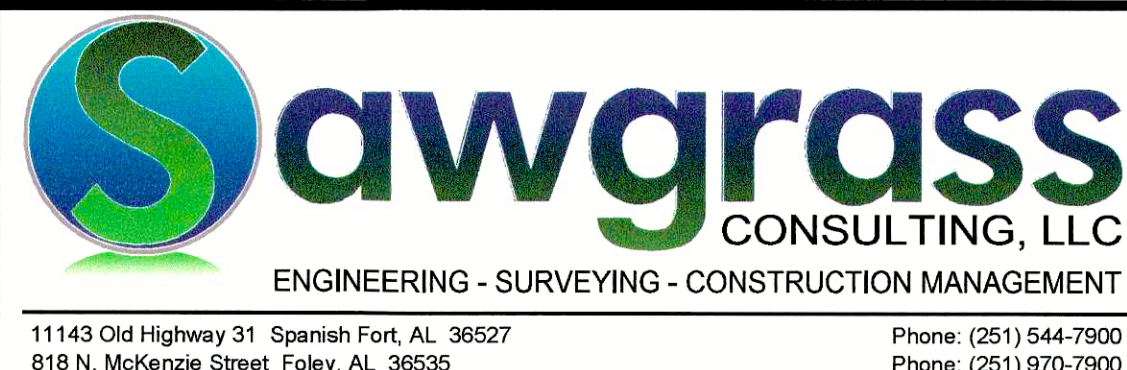
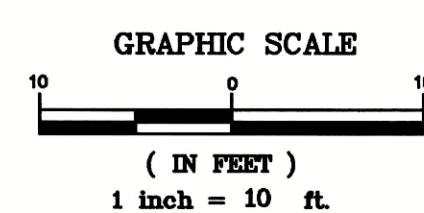
TOTAL RIP-RAP BELOW MHTL=9.3 C.Y.

TOTAL RIP-RAP=37 C.Y.



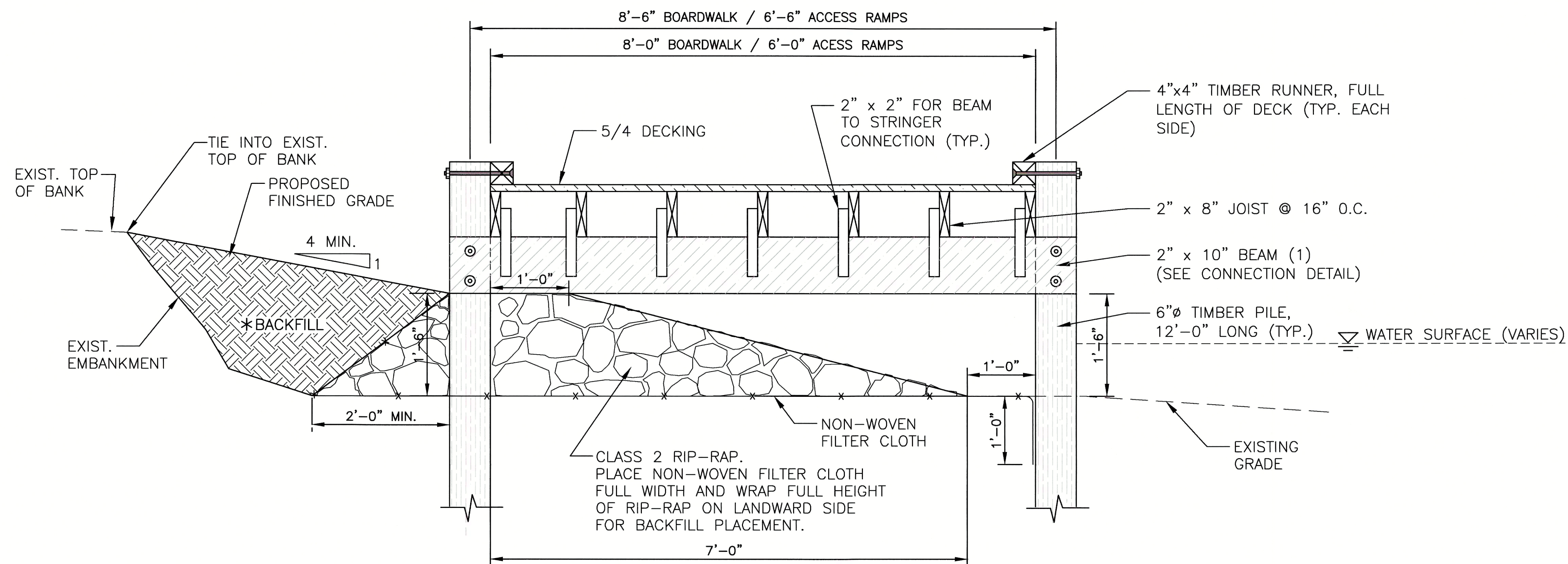
SCALES: 1"=10' HORZ.
1"=5' VERT.

NUMBER:	REVISION:	DATE:
	REVISED 12-4-2018	

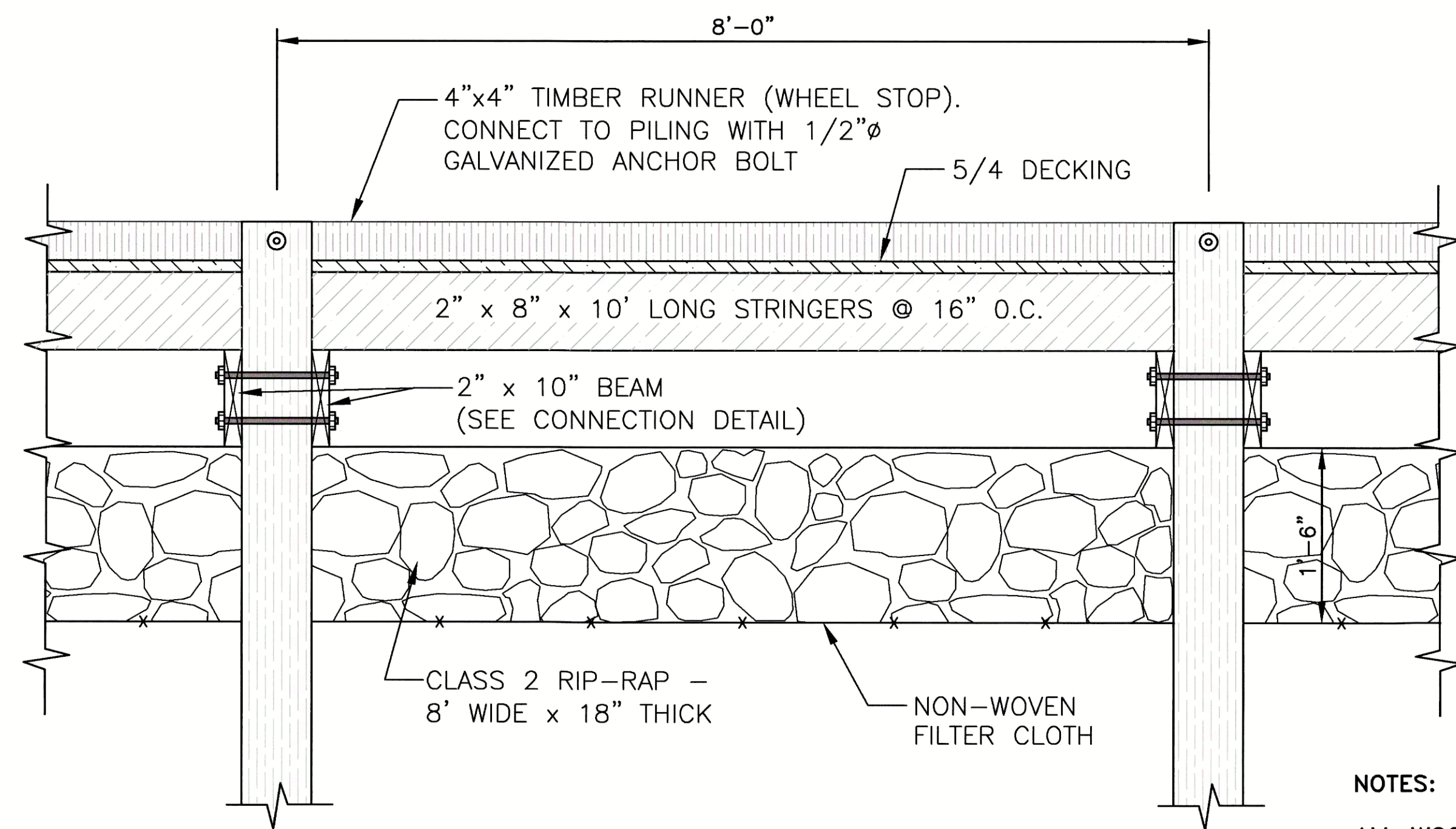


BOARDWALK CROSS SECTIONS
ART CENTER/SHORELINE STABILIZATION
CITY OF ORANGE BEACH

SCALE:	1"=10' H., 1"=5' V.
DATE:	JAN., 2019
DRAWN BY:	J.C.
CHECKED BY:	T.E.G.
SHEET:	6 OF 7



SECTION "A-A"
N.T.S.



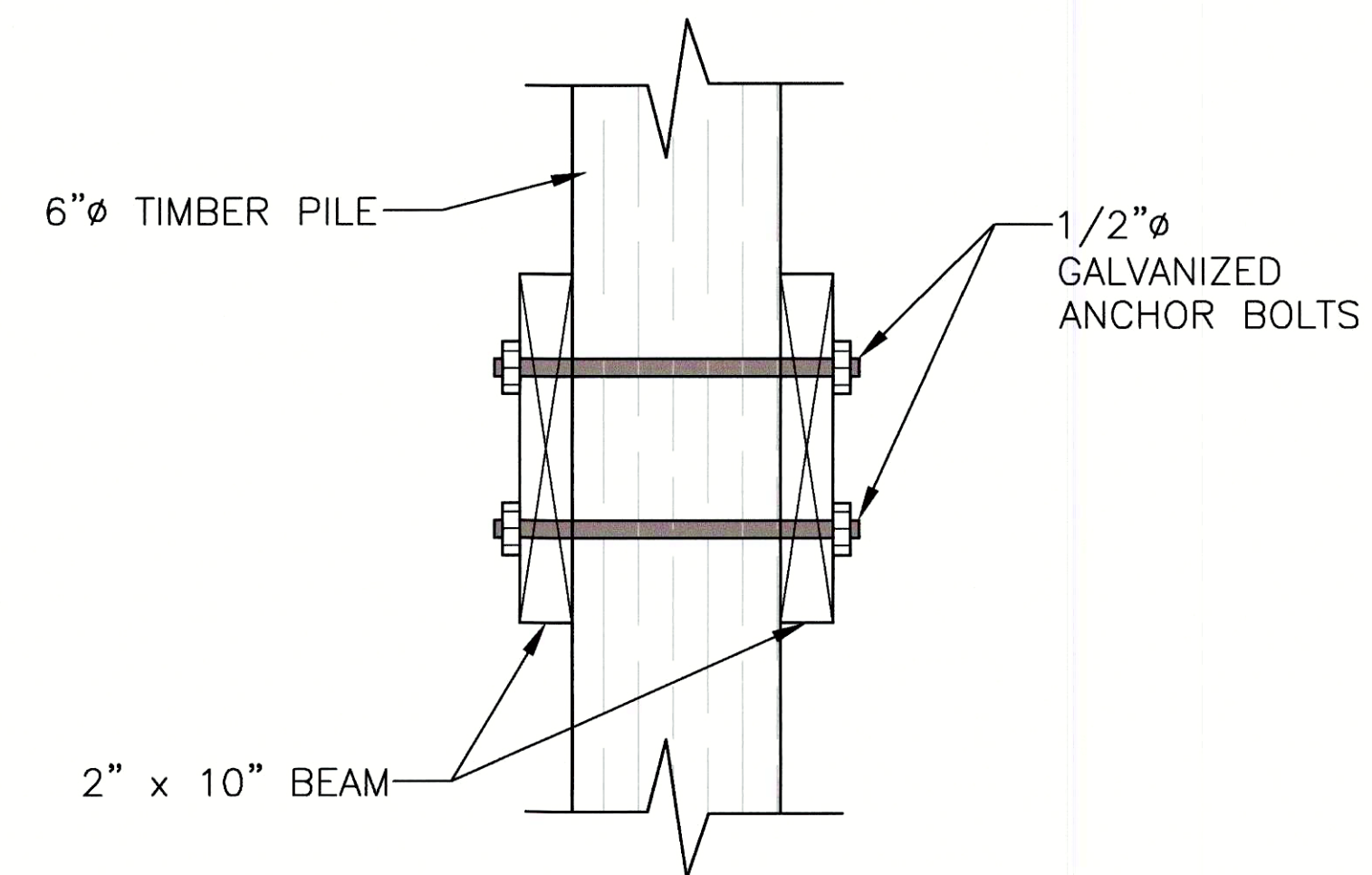
ELEVATION
N.T.S.

NOTES:

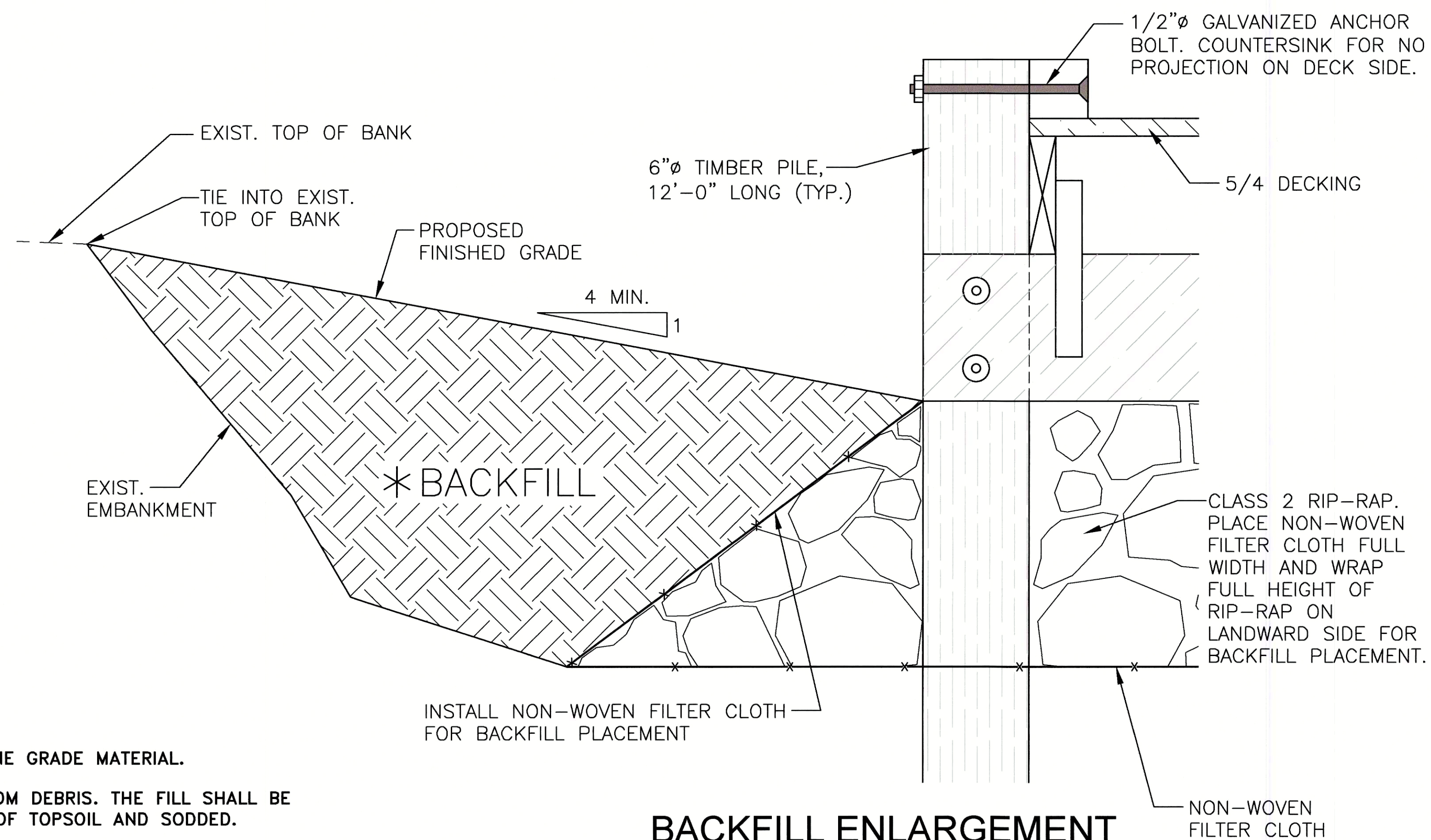
ALL WOOD TO BE TREATED, MARINE GRADE MATERIAL.

* BACKFILL TO BE CLEAN, FREE FROM DEBRIS. THE FILL SHALL BE TOPPED WITH A MINIMUM OF 6" OF TOPSOIL AND SODDED.

DECK SCREWS SHALL BE 316 STAINLESS STEEL AND COUNTERSUNK IN DECK. MINIMUM LENGTH 2 1/2".



CONNECTOR DETAIL
N.T.S.



BACKFILL ENLARGEMENT
N.T.S.

NUMBER:	REVISION:	DATE:
	REVISED DETAILS	1-2-19



BOARDWALK / RIP-RAP SECTION
ART CENTER/SHORELINE STABILIZATION
CITY OF ORANGE BEACH

SCALE:	N.T.S.
DATE:	JAN., 2019
DRAWN BY:	J.C.
CHECKED BY:	T.E.G.
SHEET:	7 OF 7