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SPARTANBURG SCHOOL DISTRICT 7 CLEVELAND ACADEMY OF LEADERSHIP ROOF REPLACEMENT AND SELECT EXTERIOR WALL SEALANT REPLACEMENT

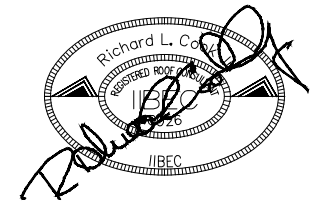
OWNER PROJECT NUMBER: IB# 20-21-03

BEE PROJECT NUMBER: 20023

151 FRANKLIN STREET
SPARTANBURG, SOUTH CAROLINA



1226 YEAMANS HALL ROAD, STE C
HANAHAN, SC 29410



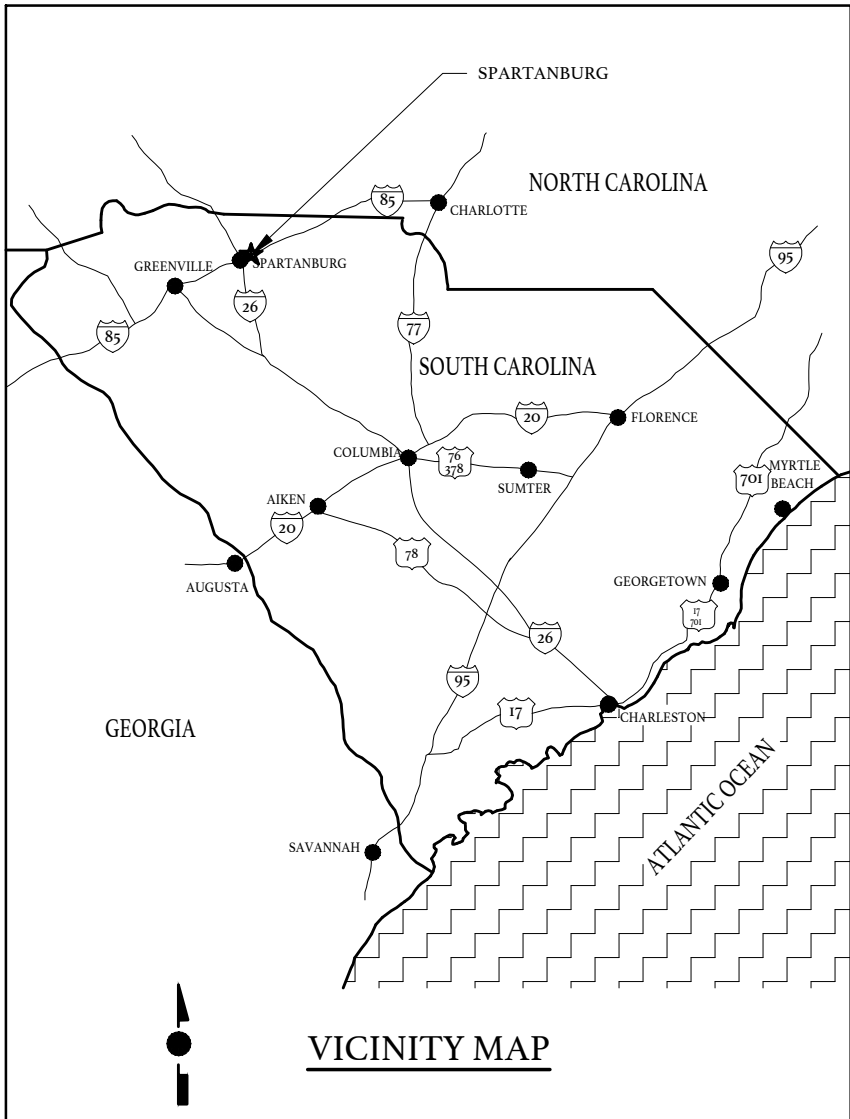
SPARTANBURG SCHOOL DISTRICT 7
**CLEVELAND ACADEMY OF LEADERSHIP
 ROOF REPLACEMENT AND SELECT
 EXTERIOR WALL SEALANT REPLACEMENT**
 OWNER PROJECT NUMBER: IB# 20-21-03
 BEE PROJECT NUMBER: 20023
 151 FRANKLIN STREET
 SPARTANBURG, SOUTH CAROLINA

ABBREVIATIONS	
A	ABANDONED
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
BIA	BRICK INDUSTRY ASSOCIATION
DS	DOWNSPOUT
EPDM	SINGLE PLY
HVAC	HEAT/VENTILATION/AIR CONDITION
N.I.C.	NOT IN CONTRACT
NRCA	NATIONAL ROOFING CONTRACTORS ASSOCIATION
O.C.	ON CENTER
OSHA	OCCUPATIONAL SAFETY AND HEALTH ASSOCIATION
PVC	POLYVINYLCHLORIDE
RD	ROOF DRAIN
SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTORS ASSOCIATION, INC.
SWRI	SEALANT WATERPROOFING RESTORATION INSTITUTE
TYP	TYPICAL
VTR	VENT THRU ROOF

LEGEND	
	ROOF AREA LEVEL SYMBOL
	ROOF DRAIN
	VENT THRU ROOF
	VENTILATOR CURB
	PARAPET WALL
	GUTTER W/ DOWNSPOUT TO STORM DRAIN
	GUTTER W/ EXPANSION JOINT
	GUTTER W/ DOWNSPOUT TO SPLASH BLOCK
	SHINGLES
	SLOPE INDICATOR
	VALLEY
	RIDGE
	ANTENNA

DETAILS/SECTION IDENTIFIER	
	DETAIL/SECTION LABEL
	SHEET SHOWN ON

DRAWING INDEX	
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R107	NEW ROOF PLAN
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R200	DETAILS / SECTIONS BASE BID
R201	DETAILS / SECTIONS BASE BID
R202	DETAILS / SECTIONS BASE BID
R203	DETAILS / SECTIONS BASE BID
R204	DETAILS / SECTIONS BASE BID
R205	DETAILS / SECTIONS BASE BID
R300	DETAILS / SECTIONS ALTERNATE #1
R301	DETAILS / SECTIONS ALTERNATE #1
R400	DETAILS / SECTIONS ALTERNATE #2



DATE:	02/01/2021
BEE PROJECT #:	20023
DESIGNED:	RLC
CHECKED:	JCG
DRAWN:	JCG / CJI
REVISION:	

COVER SHEET

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SUMMARY OF WORK

- A. THE BUILDING WILL REMAIN COMPLETELY FUNCTIONAL AND FULLY PROTECTED AT ALL TIMES DURING THE CONSTRUCTION WORK.
- B. BASE BID WORK INCLUDES TOTAL REMOVAL OF EXISTING ROOFING SYSTEMS DOWN TO THE NAILABLE DECK FOR APPROXIMATELY 1,035 SQUARES FOR ROOF AREAS A AND E. ROOF REPLACEMENT INCLUDES MINOR DECK REPAIRS, ROUGH CARPENTRY, AND AN ARCHITECTURAL LAMINATED SHINGLE ROOF SYSTEM. ALL ASSOCIATED SHEET METAL COMPONENTS AND ACCESSORIES ARE INCLUDED.
 - 1. DEMOLITION OF THE EXISTING ROOF SYSTEM(S) DOWN TO THE DECK IN ACCORDANCE WITH SECTION 02 04 00, CUTTING AND PATCHING AND SECTION 02 05 00, DEMOLITION AND REMOVAL.
 - 2. MODIFICATIONS AND REPAIRS TO METAL FORM DECK SYSTEMS IN ACCORDANCE WITH SECTION 05 31 23, METAL ROOF DECK REPAIR.
 - 3. ROUGH CARPENTRY IN ACCORDANCE WITH SECTION 06 10 00, ROUGH CARPENTRY.
 - a. WHERE VARIATIONS, DEVIATIONS OR DAMAGES EXIST IN WOOD SHEATHING, REMOVE AND REPLACE.
 - b. WHERE DAMAGES OR DETERIORATIONS EXIST IN INSULATION, REMOVE AND REPLACE.
 - 4. ROOF SYSTEM IN ACCORDANCE WITH SECTION 07 31 01, ARCHITECTURAL LAMINATED SHINGLES.
 - 5. SHEET METAL, COMPONENTS AND ACCESSORIES PER SECTION 07 60 00, SHEET METAL.
 - 6. REPLACEMENT OF SEALANT SYSTEMS FROM THE ROOFING AND SHEET METAL IN ACCORDANCE WITH SECTION 07 92 00, SEALANTS FOR ROOFING AND SHEET METAL.
- C. ALTERNATE NUMBER 1 WORK INCLUDES TOTAL REMOVAL OF EXISTING, LOW-SLOPE ROOFING SYSTEM DOWN TO THE STRUCTURAL DECK FOR APPROXIMATELY 20 SQUARES FOR ROOF AREAS B, C AND D. ROOF REPLACEMENT INCLUDES MINOR DECK REPAIRS, ROUGH CARPENTRY, ROOF INSULATION, INCLUDING TAPER, AND A TWO-PLY MODIFIED BITUMEN ROOF SYSTEM. ALL ASSOCIATED SHEET METAL COMPONENTS AND ACCESSORIES ARE INCLUDED.
 - 1. ROOF SYSTEM IN ACCORDANCE WITH SECTION 07 55 27, ROOF REPLACEMENT MODIFIED BITUMEN SHEET ROOFING SYSTEM.
- D. ALTERNATE NUMBER 2 WORK INCLUDES COMPLETE REMOVAL OF ALL SEALANT JOINTS IN THE EXTERIOR MASONRY WALLS LOCATED AT EACH GABLE END OF EACH WING AND REPLACE WITH NEW SEALANT JOINT SYSTEM IN ACCORDANCE WITH SECTION 07 92 10, SEALANTS FOR BUILDING ENVELOPE.
- E. UNIT PRICES AND ALLOWANCE ARE INCLUDED IN ACCORDANCE WITH SECTION 01 21 10, UNIT PRICES AND ALLOWANCE AND ARE TO BE INCLUDED IN THE BASE BID.

UNIT PRICE QUANTITIES

- 1. IN ACCORDANCE WITH SECTION 01 11 00, SUMMARY OF WORK, THE CONTRACT DOCUMENTS INCLUDE WITHIN THE BASE BID SPECIFIC QUANTITIES.
- 2. THE SPECIFIC QUANTITIES ARE LISTED WITHIN THE INDIVIDUAL SPECIFICATION SECTIONS OF THIS PROJECT AND ARE INCLUDED ON THE BID FORM AS NOTED.

A SINGLE UNIT PRICE WILL BE PROVIDED FOR EACH ITEM, TO BE USED AS AN 'ADD' OR 'DEDUCT', BASED ON ACTUAL FIELD CONDITIONS. ANY QUANTITY ABOVE OR BELOW THESE SPECIFIED AMOUNTS WILL RESULT IN AN 'ADD' OR 'DEDUCT' TO THE CONTRACT SUM BASED ON THE REQUIRED UNIT PRICES.
- 3. IN ACCORDANCE WITH SECTION 01 21 10, UNIT PRICES AND ALLOWANCE, THE FOLLOWING DOCUMENTATION IS REQUIRED.
 - A. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL REPAIR UNIT PRICED QUANTITIES USED BASED ON CONTRACT REQUIREMENTS.
 - B. CONTRACTOR SHALL NOTIFY OWNER IN WRITING WHEN 80% OF QUANTITY IS USED FOR EACH UNIT PRICE ITEM.
 - C. OWNER IS NOT RESPONSIBLE FOR QUANTITIES WHICH EXCEED 80% UNLESS OWNER IS NOTIFIED IN WRITING PRIOR TO EXCEEDING THESE QUANTITIES, AND CONTRACTOR RECEIVES APPROVAL TO PROCEED.
 - D. PROVIDE PHOTOGRAPH OR VIDEOTAPE DOCUMENTATION OF REPAIRS AND ACTUAL QUANTITIES USED.
 - E. LOCATE QUANTITIES AND SHOW THEIR LOCATIONS ON DRAWINGS.
 - F. PROVIDE ACTUAL USED QUANTITIES ON EACH APPLICATION FOR PAYMENT REQUEST.
- 4. PROVIDE SUMMARY OF UNIT QUANTITIES 'REQUIRED' VERSE 'USED' AND ABOVE DOCUMENTATION WHEN REQUESTED, AND AS PART OF PROJECT CLOSE-OUT REQUIREMENTS OF SECTION 01 77 00, CONTRACT CLOSE-OUT.

GENERAL M/E/P AND COORDINATION NOTES

- 1. DISCONNECT AND REMOVE ALL ROOFTOP MECHANICAL AND ELECTRICAL EQUIPMENT AS NECESSARY TO COMPLETE THE WORK AND REINSTALL UPON COMPLETION OF WORK. PROVIDE FOR EXTENSION AND MODIFICATION OF SERVICE, UTILITIES, INTERIOR COMPONENTS AND ALL CONNECTIONS AS NECESSARY TO ACCOMMODATE NEW HEIGHTS AND LOCATIONS.
- 2. ANY CABLES, WIRES, SATELLITE OR MICROWAVE DISHES, ANTENNAS AND ROOFTOP MECHANICAL, ELECTRICAL OR ELECTRONIC COMPONENTS SHALL BE TEMPORARILY DISCONNECTED AND RECONNECTED BY QUALIFIED CRAFTSMEN. THIS INCLUDES ROOF AREAS, FLASHINGS AND ADJACENT WALL AREAS.
- 3. EXTEND/RAISE ALL PENETRATIONS, CURBS, MECHANICAL, ELECTRICAL AND PLUMBING COMPONENTS TO A MINIMUM 12" ABOVE THE FINISHED ROOF SURFACE.
- 4. A MINIMUM DISTANCE OF 12 INCHES SHALL EXIST BETWEEN ANY AND ALL PENETRATIONS AND/OR TERMINATIONS.
- 5. USE ROUND SHAPES TO CONSTRUCT EQUIPMENT SUPPORTS AND DO NOT USE PITCH PANS.
- 6. ANY LOCATIONS/CONDITIONS WHERE THE ABOVE REQUIREMENTS CANNOT BE MET, SHALL BE BROUGHT TO THE ATTENTION OF THE CONSULTANT/ENGINEER AND OWNER IMMEDIATELY.

CONSTRUCTION NOTES

- 1. SUBSTRATE SHALL BE INSPECTED AND REPAIRED AS SPECIFIED PRIOR TO SYSTEM INSTALLATION.
- 2. PROVIDE ALL NEW WOOD PRODUCTS AS REQUIRED TO PROVIDE FOR INDICATED DETAILS AND TO MEET SPECIFIED REQUIREMENTS. CONTRACTOR MAY REUSE EXISTING CARPENTRY WHICH ARE SOUND AND COMPATIBLE WITH THE NEW WORK SPECIFIED. EXISTING DAMAGED OR DETERIORATED CARPENTRY NOT OTHERWISE INDICATED FOR REPLACEMENT SHALL BE REMOVED AND REPLACED IN ACCORDANCE WITH SECTION 01 21 10, UNIT PRICES AND ALLOWANCE, AND SECTION 06 10 00, ROUGH CARPENTRY.
- 3. CARPENTRY THICKNESSES AS REQUIRED TO MATCH BUILDING CONDITIONS. STACKED CONFIGURATIONS AND VARYING THICKNESSES MAY BE REQUIRED TO MATCH INSULATION THICKNESSES WITHIN A 1/4" TOLERANCE IN ALL DIRECTIONS.
- 4. ROOFING AND SHEET METAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE CONTRACT REQUIREMENTS. ANY CLARIFICATIONS OR ADDITIONAL INFORMATION SHALL BE IN ACCORDANCE WITH PUBLISHED GUIDELINES OF NRCA ROOFING AND WATERPROOFING MANUAL (5th EDITION) AND SMACNA ARCHITECTURAL SHEET METAL MANUAL (7th EDITION).
- 5. ALL FLASHING TERMINATIONS SHALL HAVE CONFORMING WATERTIGHT SHEET METAL CLOSURES, AND WATERPROOF UNDERLAYMENT ALL SHEETMETAL BELOW W/ SEALED LAPS.
- 6. SPECIFIC AND TYPICAL DETAILS ARE PROVIDED W/ GENERIC TYPE DECK SHOWN. TYPICAL DETAILS APPLY TO ALL INSTANCES WHERE SIMILAR CONDITION OCCURS.
- 7. ALL WORK SHALL BE CONDUCTED IN A SUBSTANTIAL WORKMANLIKE MANNER IN ACCORDANCE WITH SPECIFIED REQUIREMENTS.
- 8. INSTALL FABRICATED CRICKETS TO PROVIDE POSITIVE DRAINAGE ON THE UPSLOPE SIDE OF ALL NON-ROUND PENETRATIONS GREATER THAN 24" WIDE.

IBC/CODE ANALYSIS

- 1. IBC 2018, CHAPTER 15, ROOF ASSEMBLIES AND ROOF TOP STRUCTURES
- 2. SOUTH CAROLINA BUILDING CODE, 2018
- 3. SOUTH CAROLINA EXISTING BUILDING CODE, 2018

GENERAL NOTES

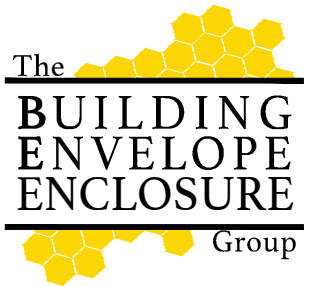
- 1. PRIOR TO PERFORMING WORK, CONTRACTOR SHALL INSPECT DECK SURFACES AND SUBSTRATE CONDITIONS. PROVIDE FOR THE SAFETY AND PROTECTION OF WORKERS AND OCCUPANTS THROUGHOUT THE COURSE OF WORK.
- 2. ALL BUILDING DIMENSIONS, EXISTING CONDITIONS, ITEM LOCATIONS, AND SIZE AND QUANTITY OF PENETRATIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BID.
- 3. LAYDOWN / STORAGE AREA IS LIMITED AND SHALL BE AS APPROVED BY THE OWNER.
- 4. SITE SHALL BE CLEANED ON A DAILY BASIS AND SECURED AT THE END OF EACH WORK DAY.
- 5. BUILDING ACCESS SHALL BE COORDINATED WITH THE OWNER AND SHALL BE ONLY AS REQUIRED TO ACCOMPLISH CONTRACT WORK.

DEMOLITION NOTES

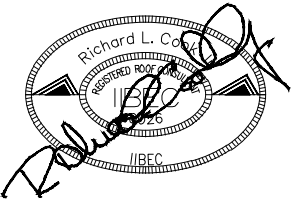
- 1. SEE SECTION 01 50 00, CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS, SECTION 02 04 00, CUTTING AND PATCHING, AND SECTION 02 05 00, DEMOLITION AND REMOVAL.
- 2. REMOVE EXISTING SYSTEMS IN THEIR ENTIRETY DOWN TO THE EXISTING DECK IN INDICATED AREAS OF ROOF REPLACEMENT. AVOID DAMAGING THE ROOF DECK. NO MORE ROOFING SHALL BE REMOVED THAN CAN BE REPLACED BY THE COMPLETE NEW ROOF SYSTEM THE SAME DAY.
- 3. BUILDING ENVELOPE DEMOLITION IS REQUIRED TO THE VARIOUS COMPONENTS AND SYSTEMS TO COMPLETE THE REQUIRED REPAIRS, MODIFICATIONS AND REPLACEMENTS OF THIS PROJECT.
- 4. REMOVE IDENTIFIED ABANDONED PENETRATIONS SHOWN ON DRAWINGS.
- 5. EXISTING NAILERS AND BLOCKING SHALL BE ADDRESSED PER CONSTRUCTION NOTES.
- 6. REMOVE ALL ROOF, TRIM, SIDING, FLASHINGS AND ACCESSORIES AS NOTED, SPECIFIED OR REQUIRED TO COMPLETE THE WORK, ALL NEW SHEET METAL REQUIRED UNLESS OTHERWISE INDICATED.
- 7. THE UNDERSIDE (INTERIOR SIDE) OF THE DECK MAY HAVE HVAC, ELECTRICAL FIXTURES, ETC. ATTACHED. THE CONTRACTOR SHALL HAVE QUALIFIED CRAFTSMEN REMOVE AND REINSTALL ALL AFFECTED ITEMS OF THE DEMOLITION OF ROOFING TO COMPLETE THE WORK AND TO REPAIR/REPLACE DECKING. THE LOCATION AND METHOD OF ATTACHMENT SHALL BE THE SAME AS THE ORIGINAL, UNLESS DIRECTED OR APPROVED OTHERWISE BY THE ROOF CONSULTANT AND/OR THE OWNER.
- 8. ALL DEMOLITION SHALL ADHERE TO ANSI AND OSHA GUIDELINES, AND SECTION 01 52 05.

PROTECTION NOTES

- 1. FACILITIES MAY BE OCCUPIED DURING CONSTRUCTION. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE FACILITY, CONTENTS, AND OCCUPANTS.
- 2. THE BUILDING SHALL BE WATERTIGHT AT THE END OF EACH DAY'S WORK AND WHEN INCLEMENT WEATHER THREATENS.
- 3. CONTRACTOR SHALL PROTECT THE BUILDING EXTERIOR AND GROUNDS INCLUDING SURFACES, GRASS, PLANTS, TREES, SHRUBS, AND OTHER LANDSCAPING. THE CONTRACTOR SHALL RETURN THE SITE AND ANY DAMAGED ITEMS TO ORIGINAL OR BETTER CONDITION.
- 4. ANY SURFACES STAINED, MARRED, OR DAMAGED BY THE WORK OR THE CONTRACTOR, THE CONTRACTOR SHALL RETURN THE SITE AND ANY DAMAGED ITEMS OF THE SITE OR FACILITY TO ORIGINAL OR BETTER CONDITION AND MATCH ADJACENT SURFACES.
- 5. WORK SHALL BE SEQUENCED TO MINIMIZE TRAFFIC ON THE NEW WORK.



1226 YEAMANS HALL ROAD, STE C
HANAHAN, SC 29410



SPARTANBURG SCHOOL DISTRICT 7
 CLEVELAND ACADEMY OF LEADERSHIP
 ROOF REPLACEMENT AND SELECT
 EXTERIOR WALL SEALANT REPLACEMENT
 OWNER PROJECT NUMBER: IB# 20-21-03
 BEE PROJECT NUMBER: 20023
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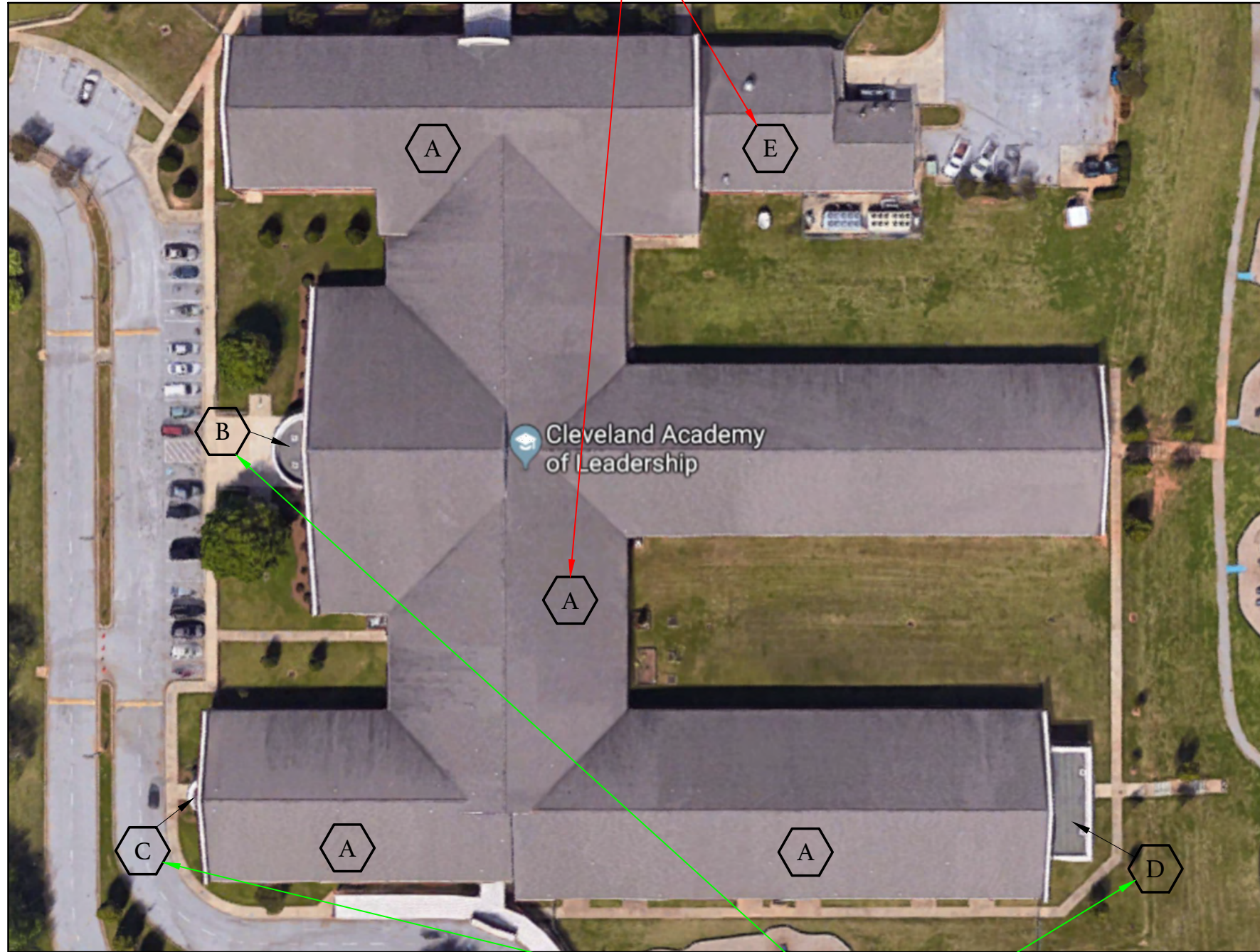
DATE: 02/01/2021
 BEE PROJECT #: 20023
 DESIGNED: RLC
 CHECKED: JCG
 DRAWN: JCG / CJI
 REVISION:

GENERAL NOTES

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PLAN NORTH

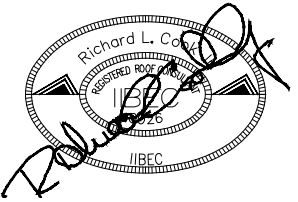


BASE BID
ROOF AREAS A & E,
STEEP SLOPED ASPHALT
FIBERGLASS SHINGLE
REPLACEMENT

ALTERNATE #1
ROOF AREAS B, C, & D
LOW SLOPED ROOF
REPLACEMENT IN LIEU
OF COATING SYSTEM

AERIAL PLAN

NOT TO SCALE



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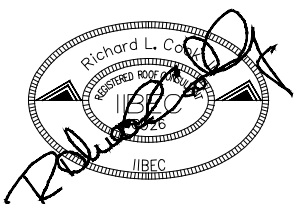
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AERIAL
PLAN

RI02

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OVERALL EXISTING ROOF PLAN

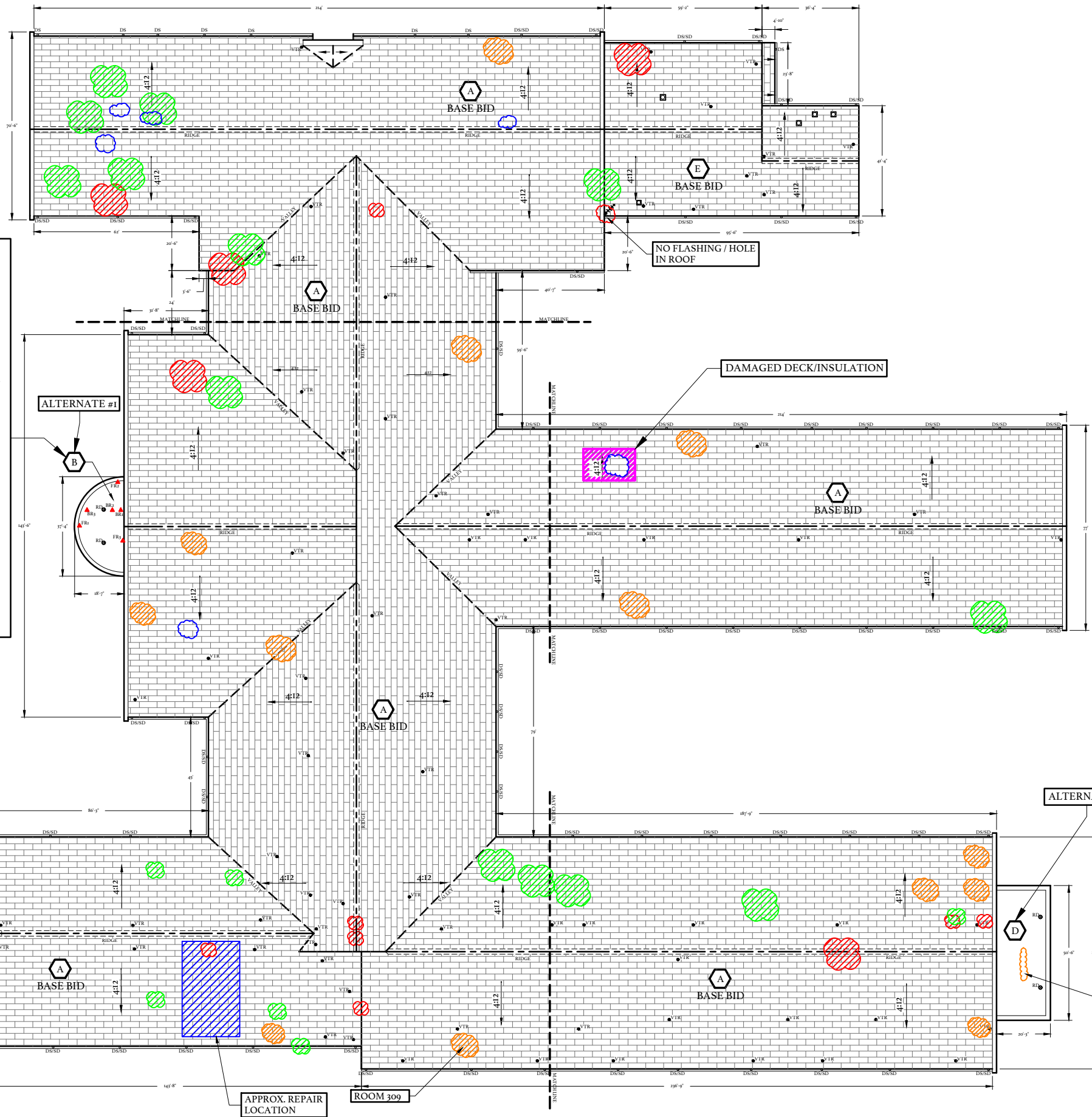
LEGEND

- ROOF AREA LEVEL SYMBOL
- ROOF DRAIN
- VENT THRU ROOF VENTILATOR CURB
- PARAPET WALL
- GUTTER W/ DOWNSPOUT TO STORM DRAIN
- GUTTER W/ EXPANSION JOINT
- GUTTER W/ DOWNSPOUT TO SPLASH BLOCK
- SHINGLES
- SLOPE INDICATOR
- VALLEY
- RIDGE
- ANTENNA
- MISSING/DAMAGED SHINGLE
- APPROXIMATE LEAK LOCATION (2012)
- APPROXIMATE LEAK LOCATION (2018)
- APPROXIMATE LEAK LOCATION (2020)

CORE SAMPLE SUMMARY (AREA B)

- A. CORE SAMPLE SUMMARIES ARE PROVIDED AS GENERAL INFORMATION ONLY. IT IS THE CONTRACTORS' SOLE RESPONSIBILITY TO COLLECT THE NECESSARY FIELD DATA TO PREPARE THEIR BID.
- B. LOCATIONS OF THESE CORES ARE SHOWN ON THE EXISTING ROOF PLAN.

ITEM	DESCRIPTION
BR1-	MODIFIED BITUMEN PERLITE POLYISO METAL DECK TOTAL THICKNESS = 6.25"
BR2-	MODIFIED BITUMEN PERLITE POLYISO METAL DECK TOTAL THICKNESS = 5.5"
BR3-	MODIFIED BITUMEN PERLITE POLYISO METAL DECK TOTAL THICKNESS = 5.75"



**CLEVELAND ACADEMY OF LEADERSHIP
OVERALL EXISTING ROOF PLAN**

NOT TO SCALE

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PHOTO #1



PHOTO #2



PHOTO #3



PHOTO #4



PHOTO #5



PHOTO #6



PHOTO #7

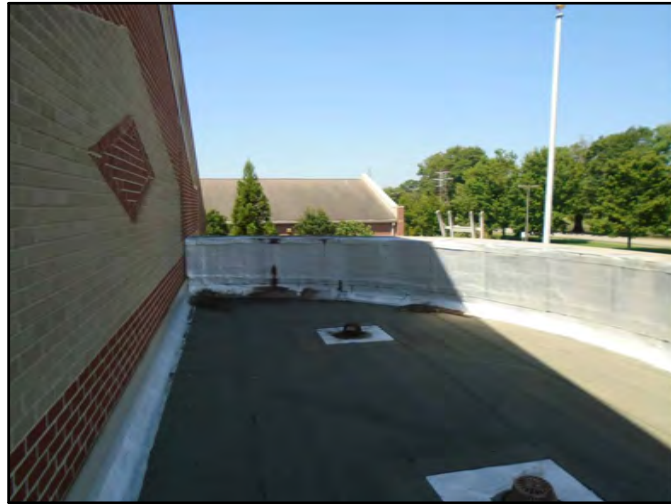


PHOTO #8



PHOTO #9



PHOTO #10

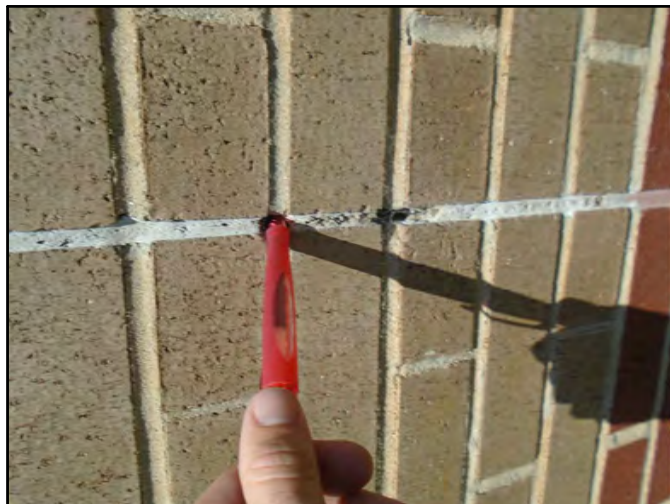
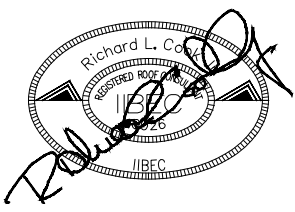


PHOTO #11



PHOTO #12

PHOTOGRAPH PLAN

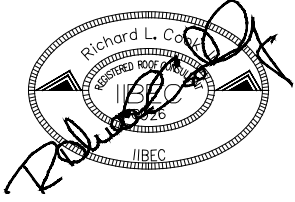


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PHOTOGRAPH PLAN

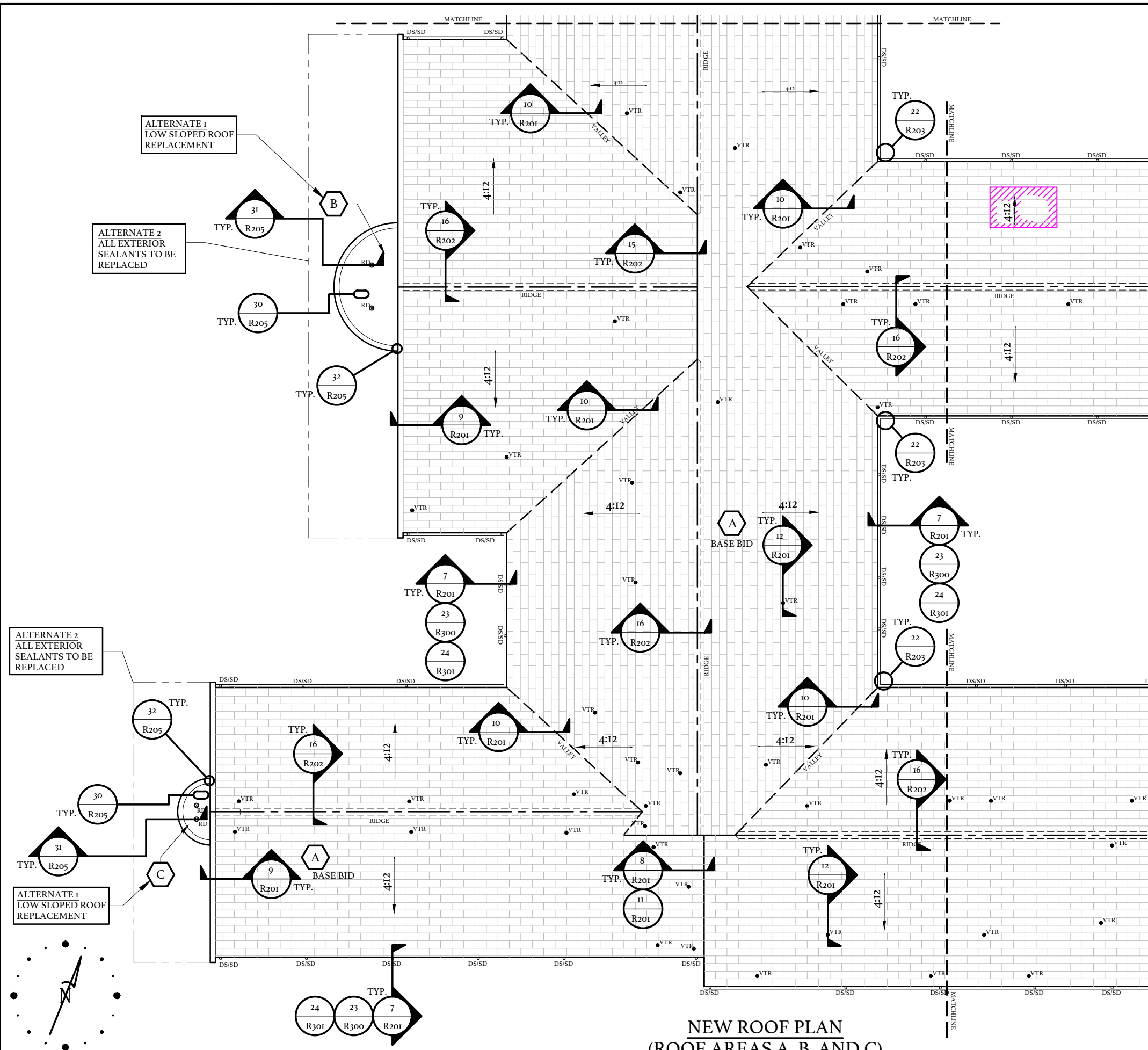
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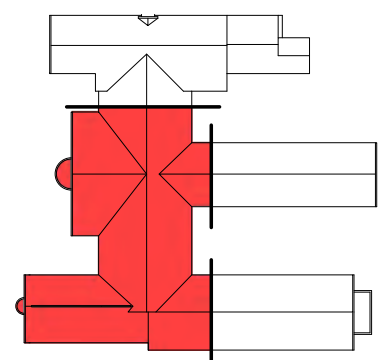
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NEW ROOF PLAN
BASE BID/ ALT. #2



NEW ROOF PLAN
(ROOF AREAS A, B, AND C)



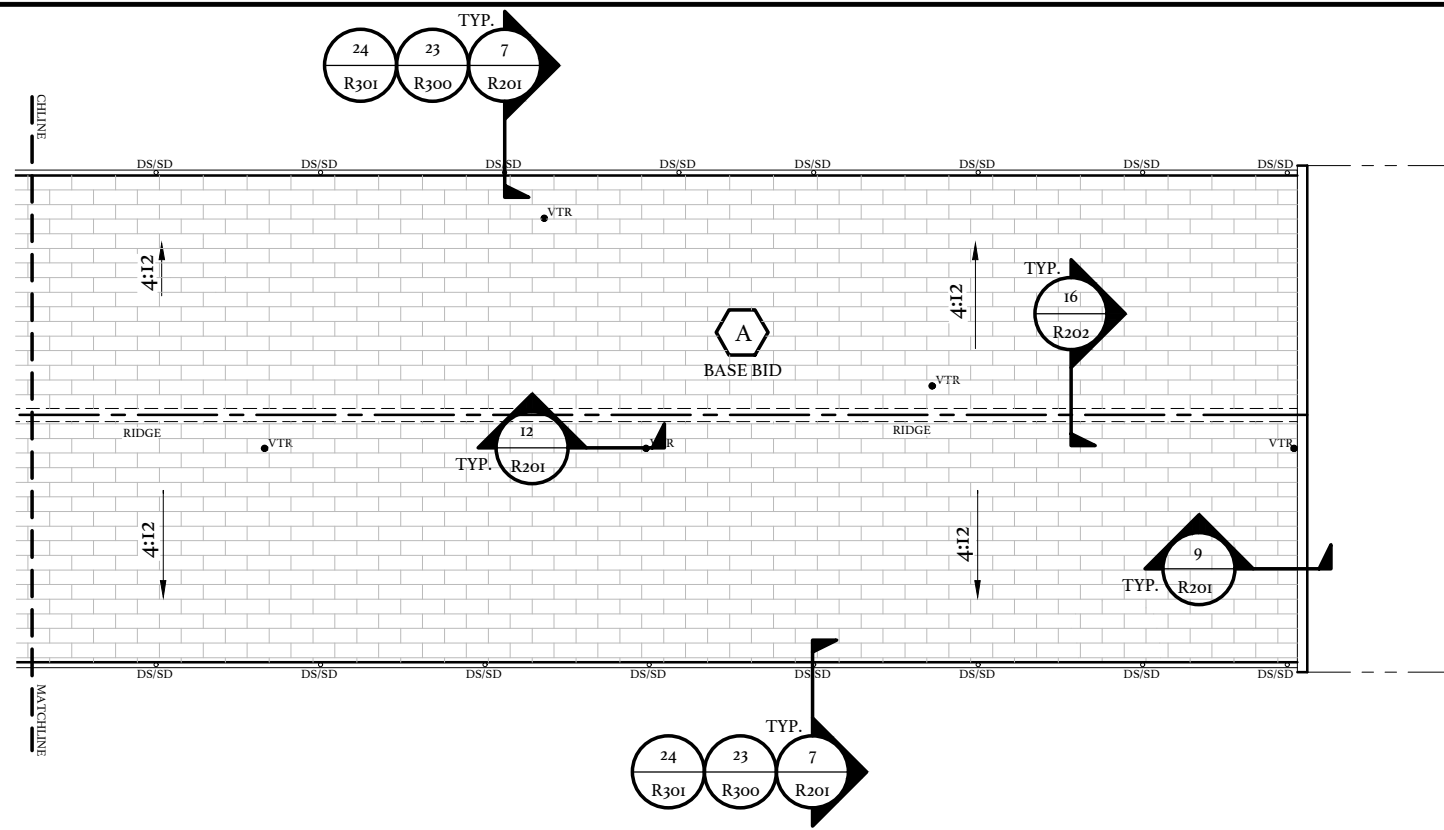
KEY PLAN



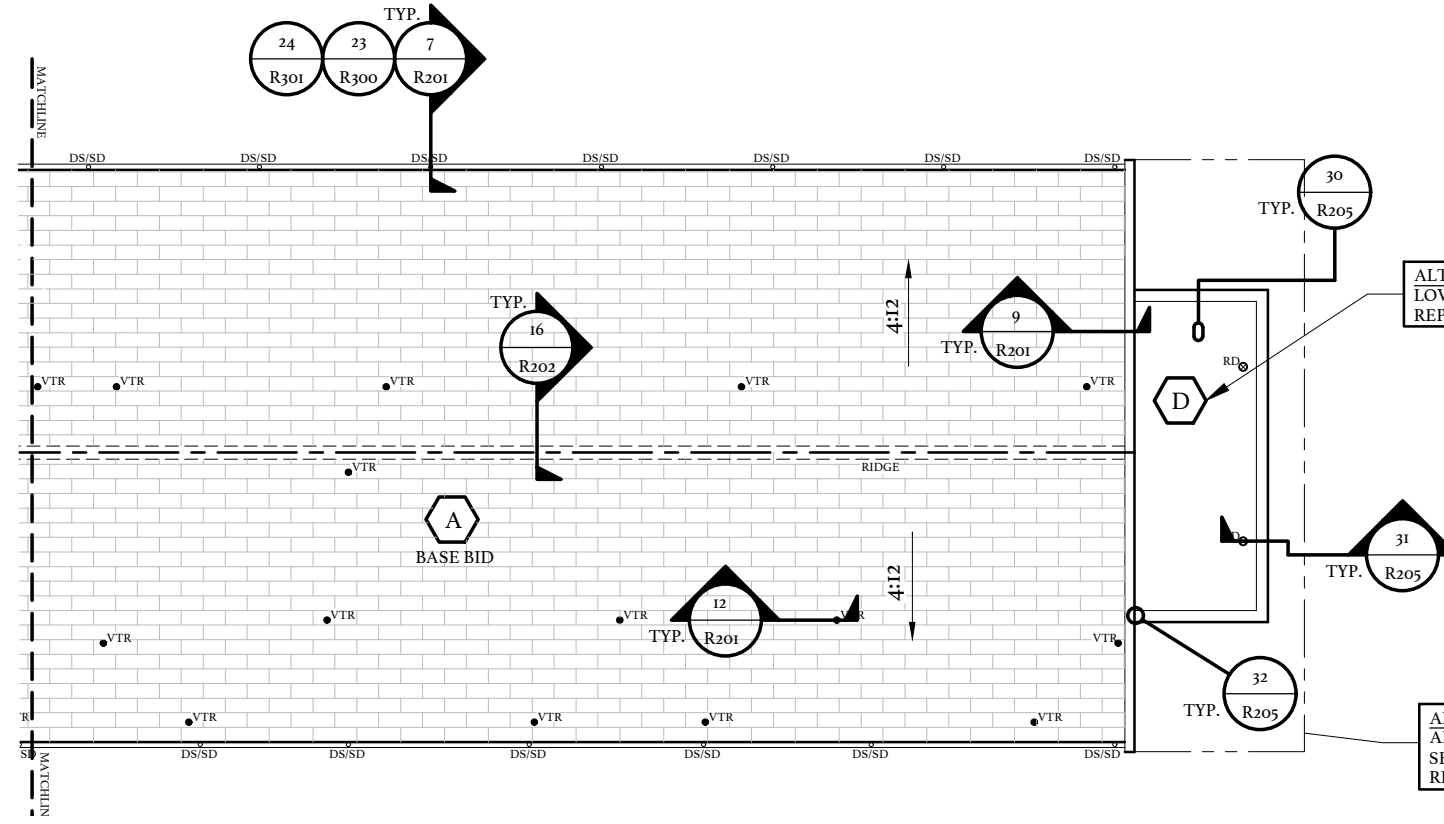
GRAPHIC SCALE

PLAN NORTH

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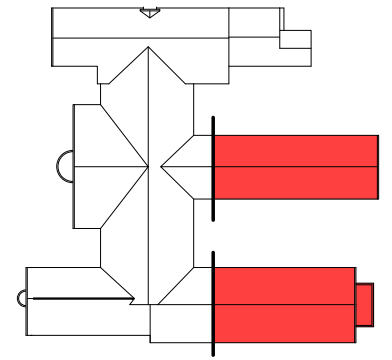


ALTERNATE 2
ALL EXTERIOR
SEALANTS TO BE
REPLACED



ALTERNATE 1
LOW SLOPED ROOF
REPLACEMENT

ALTERNATE 2
ALL EXTERIOR
SEALANTS TO BE
REPLACED



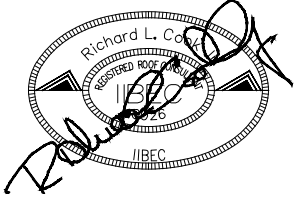
KEY PLAN



GRAPHIC SCALE



NEW ROOF PLAN
(ROOF AREAS A AND D)

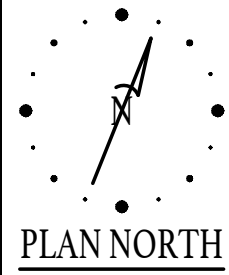
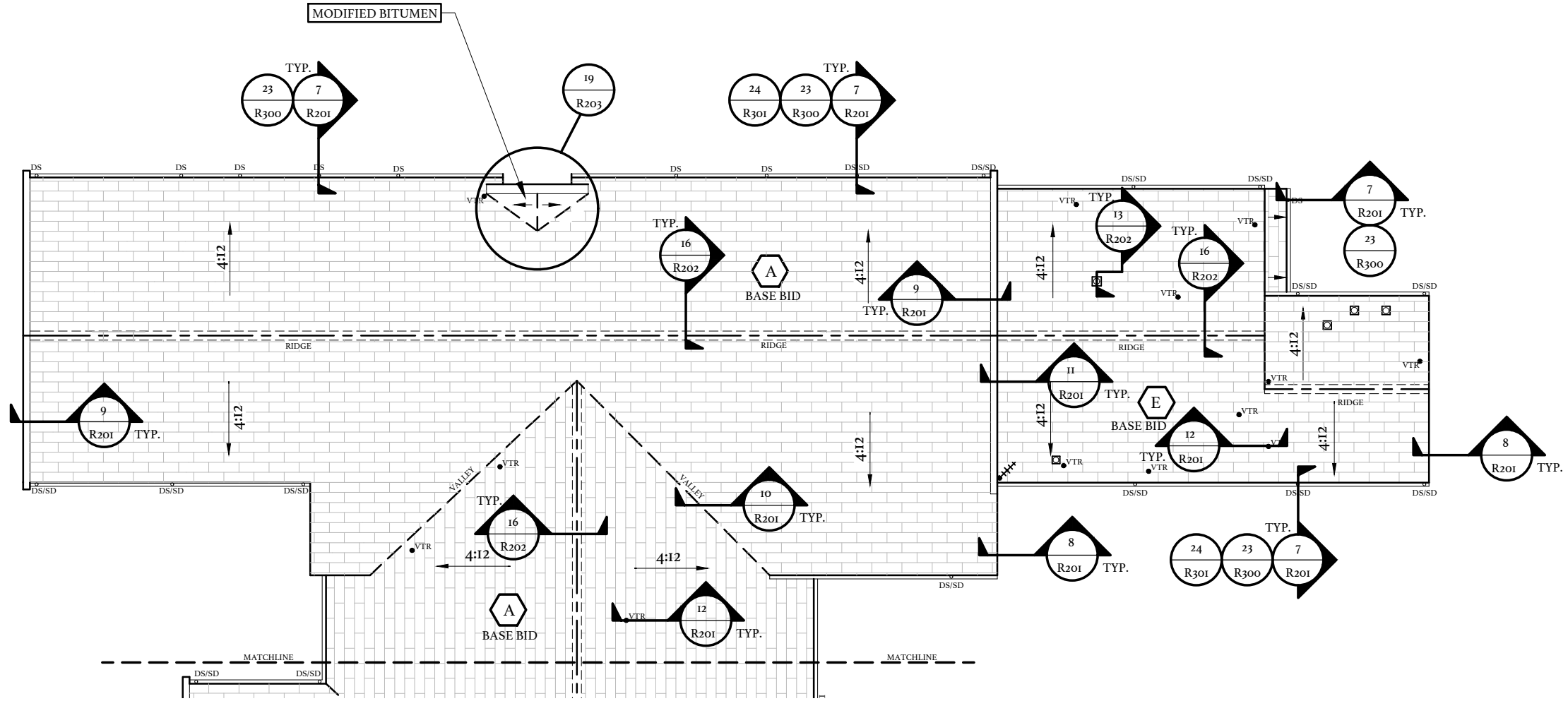
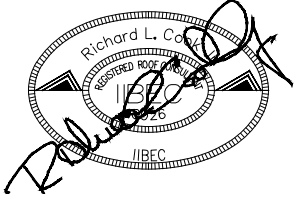


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SPARTANBURG, SOUTH CAROLINA

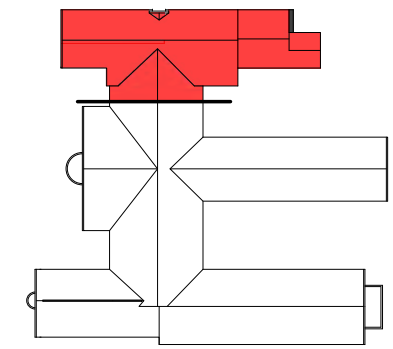
DATE:	02/01/2021
BEE PROJECT #:	20023
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NEW
ROOF PLAN
BASE BID/ ALT #2

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**NEW ROOF PLAN
(ROOF AREAS A AND E)**



KEY PLAN



GRAPHIC SCALE

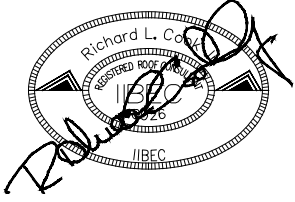
SPARTANBURG SCHOOL DISTRICT 7
**CLEVELAND ACADEMY OF LEADERSHIP
ROOF REPLACEMENT AND SELECT
EXTERIOR WALL SEALANT REPLACEMENT**
OWNER PROJECT NUMBER: IB# 20-21-03
BEE PROJECT NUMBER: 20023
151 FRANKLIN STREET
SPARTANBURG, SOUTH CAROLINA

DATE:	02/01/2021
BEE PROJECT #:	20023
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REVISION:	

**NEW
ROOF PLAN
BASE BID**

RI07

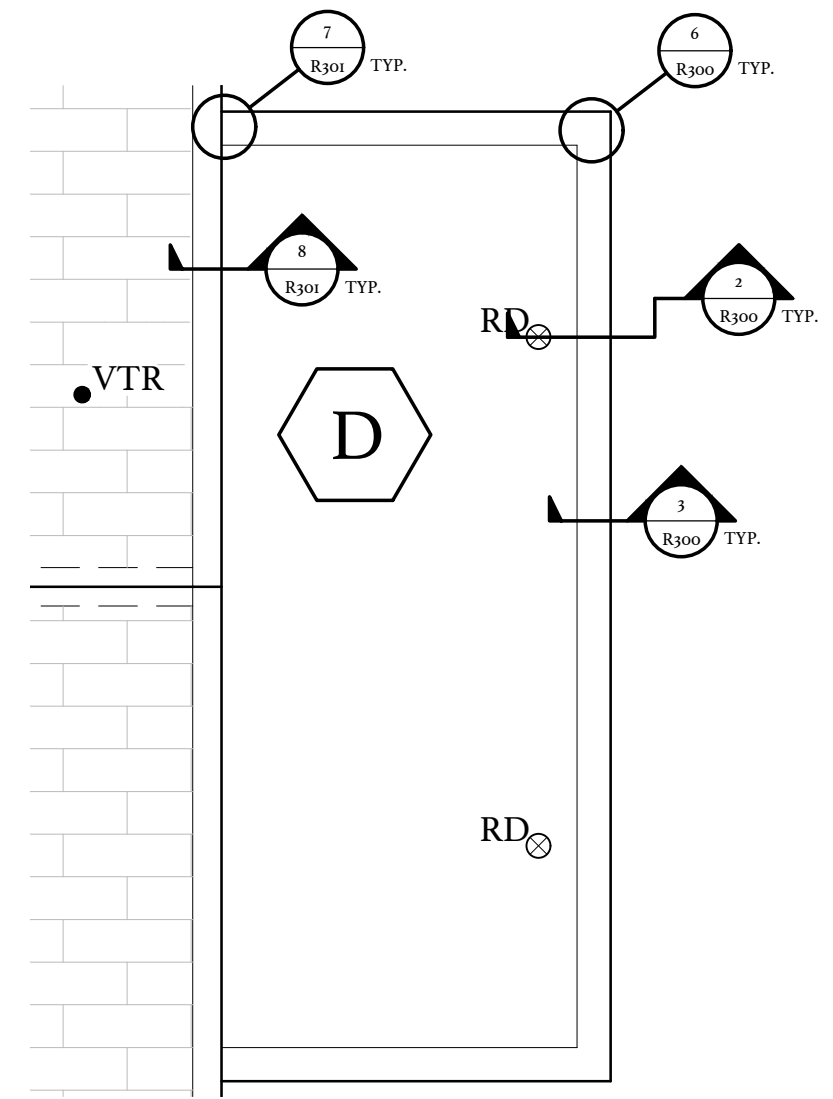
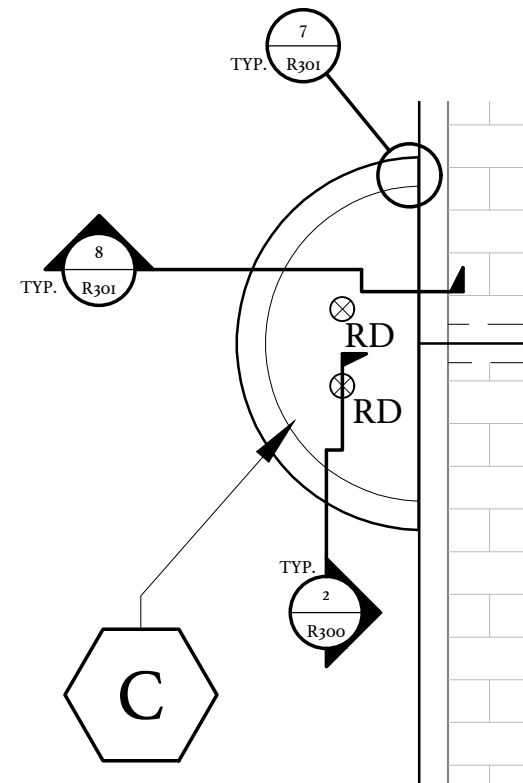
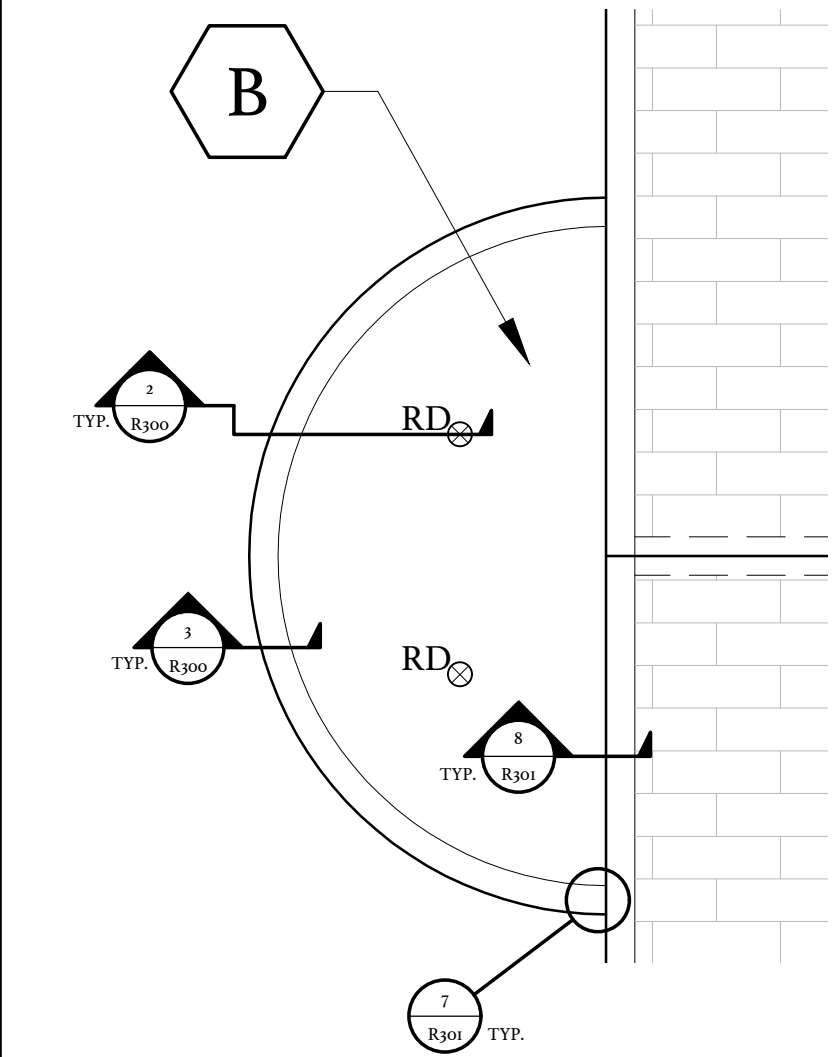
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SPARTANBURG SCHOOL DISTRICT 7
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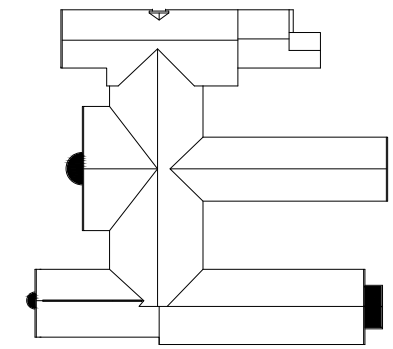
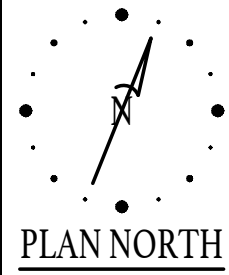
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NEW ROOF PLAN (ALT. #1)



- NOTES:**
1. PROVIDE BASE FLASHING REPAIRS AT ALL BASE FLASHING LAPS.
 2. PROVIDE ROOF DRAIN FLASHING USING PMMA SYSTEM THAT IS COMPATIBLE WITH COATING SYSTEM.
 3. PROVIDE ROOF COATING SYSTEM FOR ENTIRE ROOF AREA.
 4. PROVIDE ROOF SPECIFIC TO BLISTERS FOR ROOF AREAS B, C, AND D.
 5. ENSURE ALL BASE FLASHING LAPS AREA SEALED MASTIC/FABRIC/MASTIC.

TAPER ROOF PLAN (ROOF AREAS B, C, AND D)

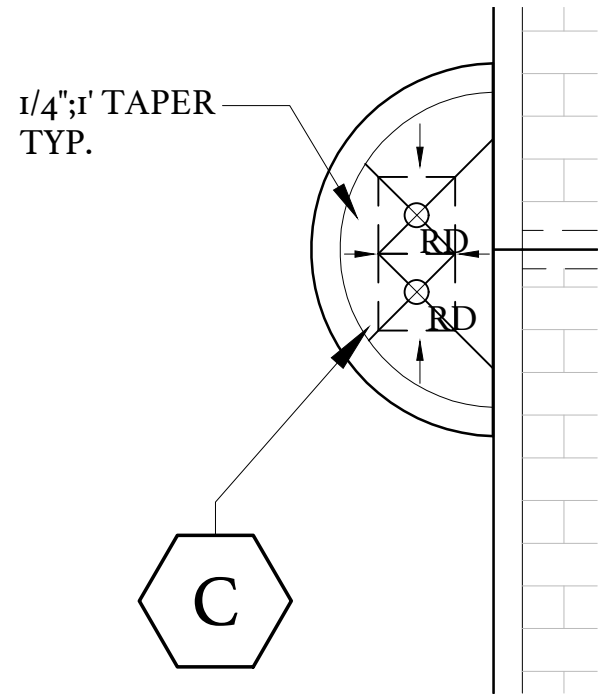
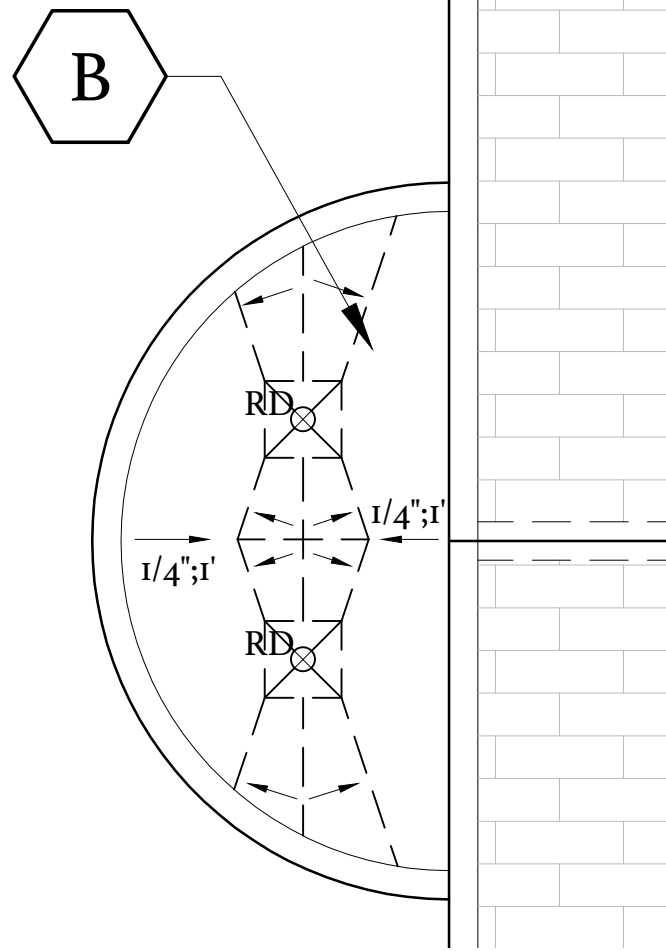


KEY PLAN



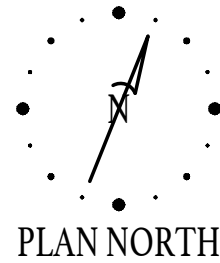
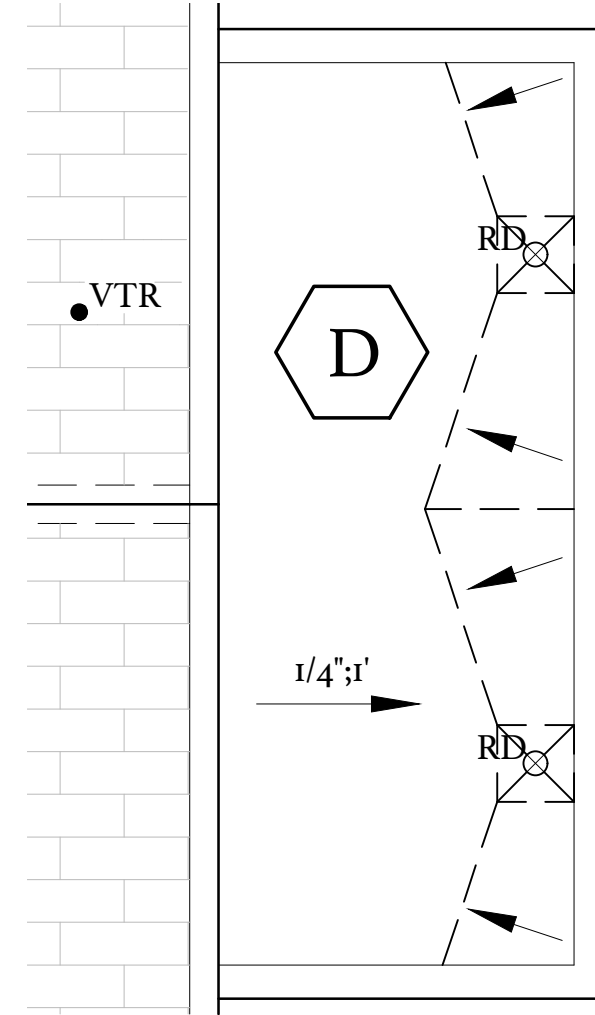
GRAPHIC SCALE

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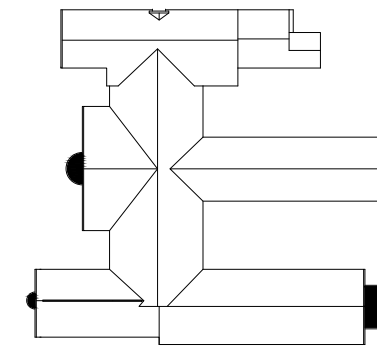


TAPERED INSULATION NOTES

1. AS NOTED IN SPECIFICATIONS, THE PRIMARY SLOPE FOR INDICATED ROOF AREAS SHALL BE PROVIDED WITH TAPERED INSULATION.
 - A. TAPERED INSULATION FOR PRIMARY SLOPE SHALL BE 1/4" INCH PER FOOT.
2. SECONDARY SLOPE (CRICKETS, SADDLES, SUMPS) SHALL PROVIDE A FINISHED SLOPE OF NOT LESS THAN 1/4":1'.
3. BACK SLOPES SHALL BE 2X THE PRIMARY SLOPE.
4. INSULATION THICKNESSES SHALL BE COORDINATED WITH AND MATCH NAILER THICKNESSES AND ADJACENT INSULATION THICKNESSES WITHIN A 1/4" TOLERANCE IN ALL DIRECTIONS.
5. ALL PENETRATIONS AND TERMINATIONS SHALL BE RAISED TO PROVIDE A MINIMUM 8" BASE FLASHING HEIGHT ABOVE THE FINISHED ROOF CONSIDERING TOTAL INSULATION HEIGHT INCLUDING TAPER.
 - A. PROVIDE AN ADDITIONAL TAPERED INSULATION OF 1/8 INCH PER FOOT FOR THE LAST FOUR (4) FEET LEADING TO THE EDGE METAL, AT A DRAINAGE CONDITION.
 - B. PROVIDE AN ADDED TAPERED EDGE STRIP OF 1/8 INCH PER FOOT AT ALL TERMINATIONS (WALLS, PARAPET WALLS, EXPANSION JOINTS, ETC.) AND ALL PENETRATIONS (CURBS, PIPES, SUPPORTS, ETC.).
 - C. PROVIDE A TAPERED CRICKET ON THE HIGH SIDE OF ALL NON-ROUND PENETRATIONS WIDER THAN 24".
6. AT DRAINAGE LOCATIONS ENSURE INSULATION TAPERS UP FROM DRAIN A MINIMUM 1/4":1' AND A MAXIMUM 1":1'. PROVIDE TAPERED FILLER TO MATCH FIELD INSULATION THICKNESSES.
 - A. TAPERED SUMPS SHALL BE 4" X 4", UNLESS AN OVERSIZED TAPERED SUMP IS NOTED ON THE TAPERED ROOF PLANS.
 - B. DRAINS SHALL BE RAISED/SET BASED ON TAPERED INSULATION THICKNESSES.



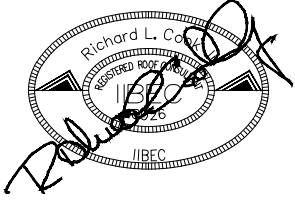
**TAPER ROOF PLAN
(ROOF AREAS B, C, AND D)**



KEY PLAN



GRAPHIC SCALE

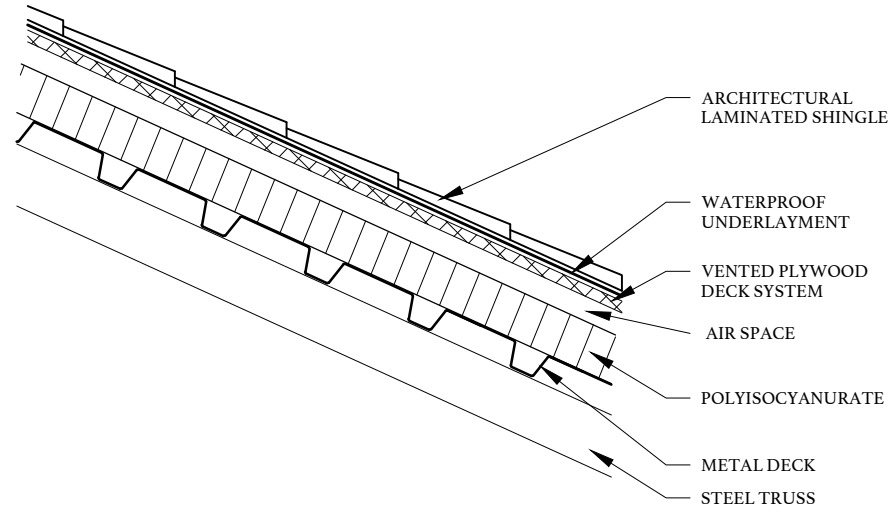


SPARTANBURG SCHOOL DISTRICT 7
CLEVELAND ACADEMY OF LEADERSHIP
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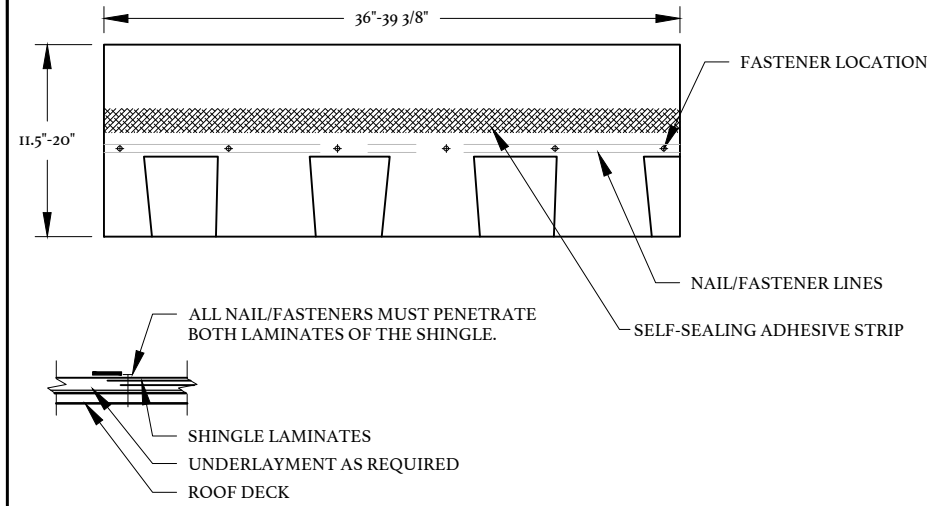
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**TAPER ROOF PLAN
(ALT. #1)**

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1 **EXISTING CONDITION**
R200 NOT TO SCALE (TYPICAL)

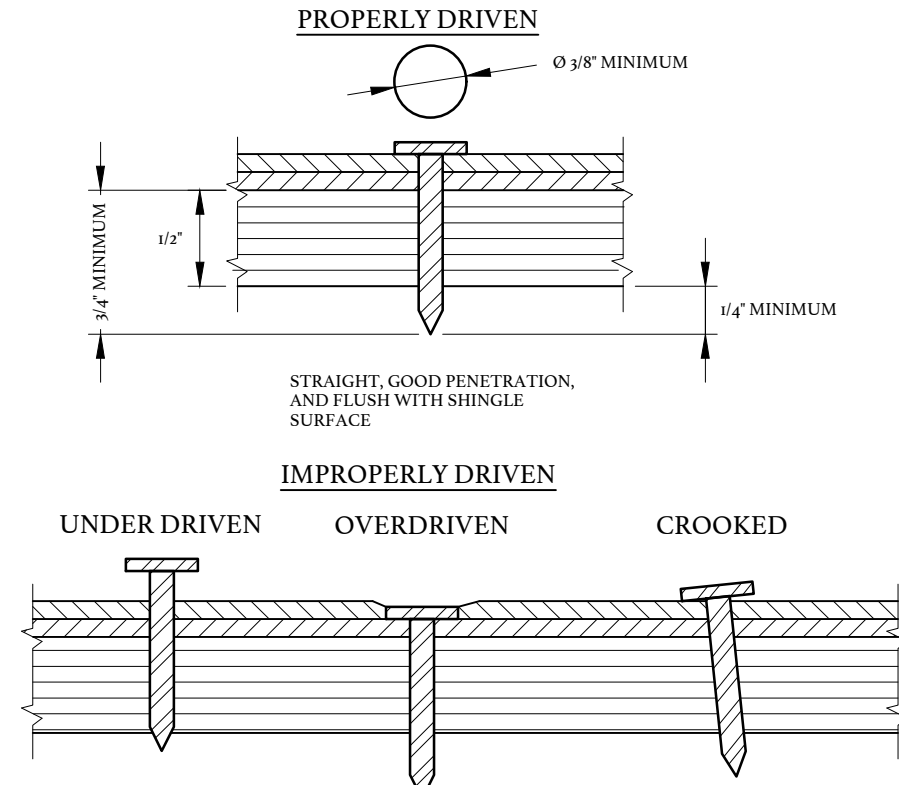


CROSS SECTION

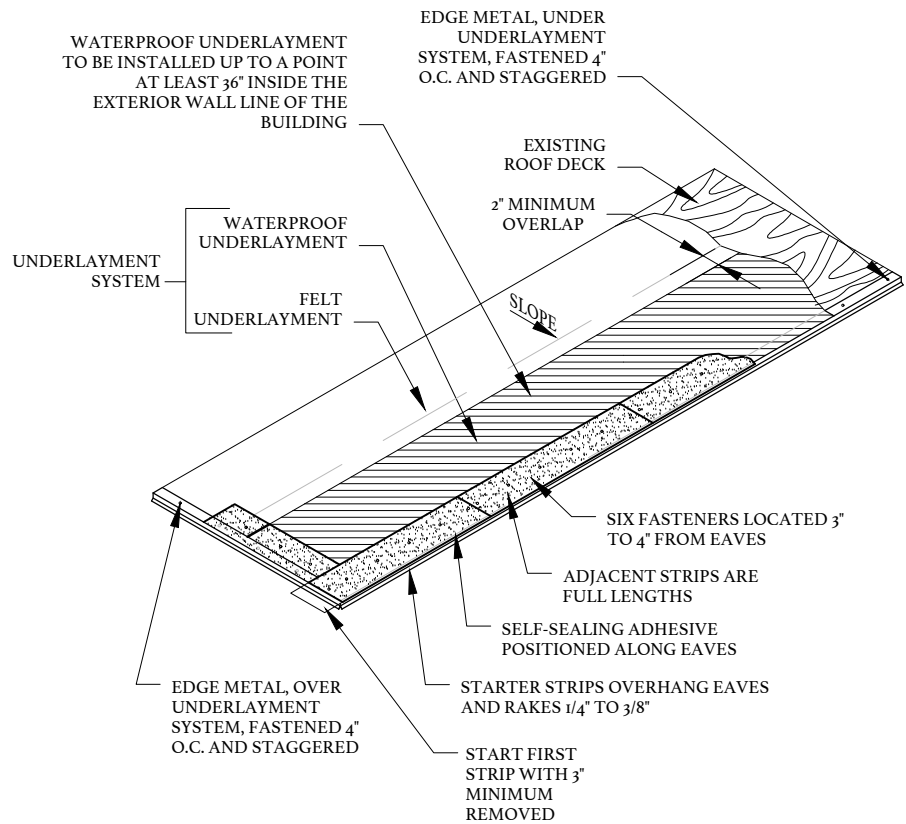
NOTES:

1. STEEP SLOPED ROOF AREAS A & E.
2. SELF-SEALING ADHESIVE STRIP LOCATION AND CONFIGURATION MAY VARY WITH MANUFACTURERS.
3. A MINIMUM OF SIX (6) FASTENERS PER SHINGLE IS REQUIRED WITH 1 FASTENER 1" FROM EACH END OF SHINGLE AND EQUALLY SPACED BETWEEN UNLESS SPECIFICALLY REQUIRED BY THE MANUFACTURERS PRINTED LITERATURE.
4. NAIL/ FASTENER LINES MAY OR MAY NOT BE PROVIDED ON SHINGLES USED.

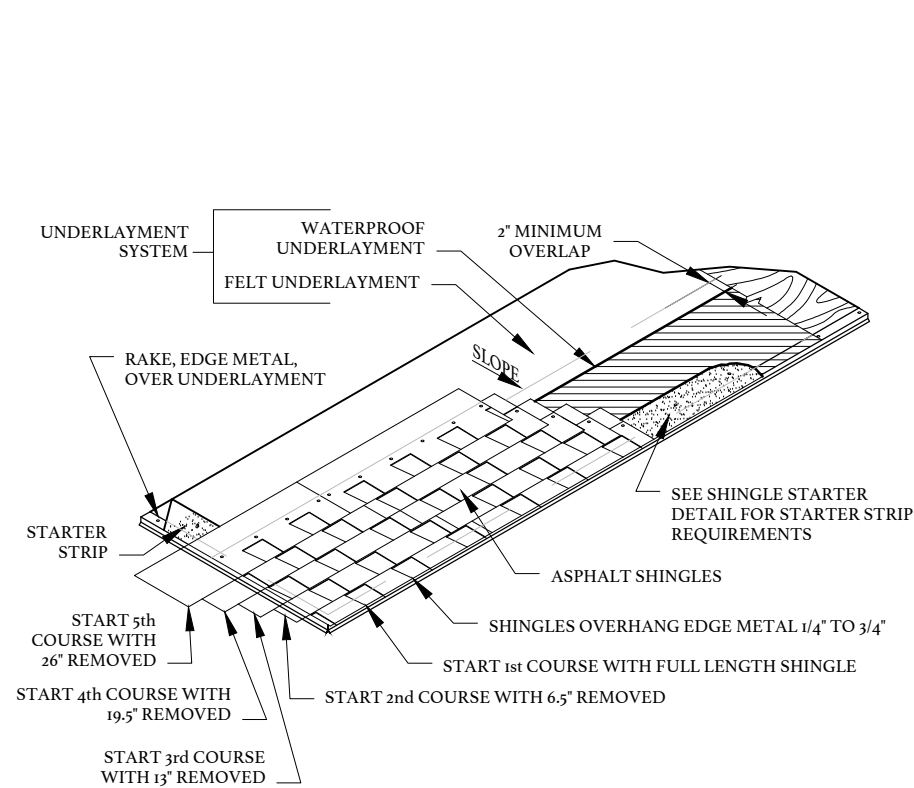
2 **ARCHITECTURAL LAMINATED SHINGLE**
R200 NOT TO SCALE (TYPICAL)



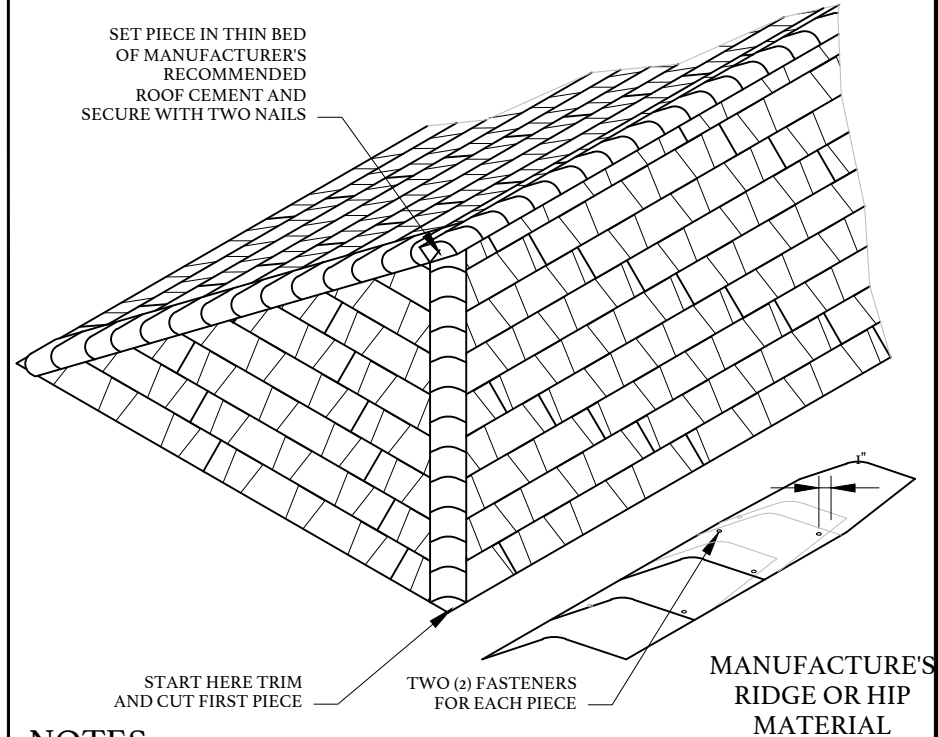
3 **APPLICATION OF ROOFING NAILS**
R200 NOT TO SCALE (TYPICAL)



4 **SHINGLE STARTER STRIP**
R200 NOT TO SCALE (TYPICAL)



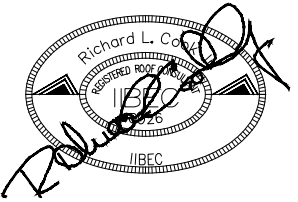
5 **ARCHITECTURAL LAMINATED SHINGLE APPLICATION**
R200 NOT TO SCALE (TYPICAL)



NOTES:

1. A MINIMUM OF TWO (2) FASTENERS IS REQUIRED PER RIDGE/HIP PIECE.
2. THE SPECIFIC ZONE FOR PROPER NAIL PLACEMENT AND EXPOSURE VARIES WITH EACH SHINGLE MANUFACTURER.
3. LOCATION OF SELF-SEALING ADHESIVE STRIP VARIES WITH EACH SHINGLE MANUFACTURER.

6 **HIP AND RIDGE APPLICATION**
R200 NOT TO SCALE (TYPICAL)

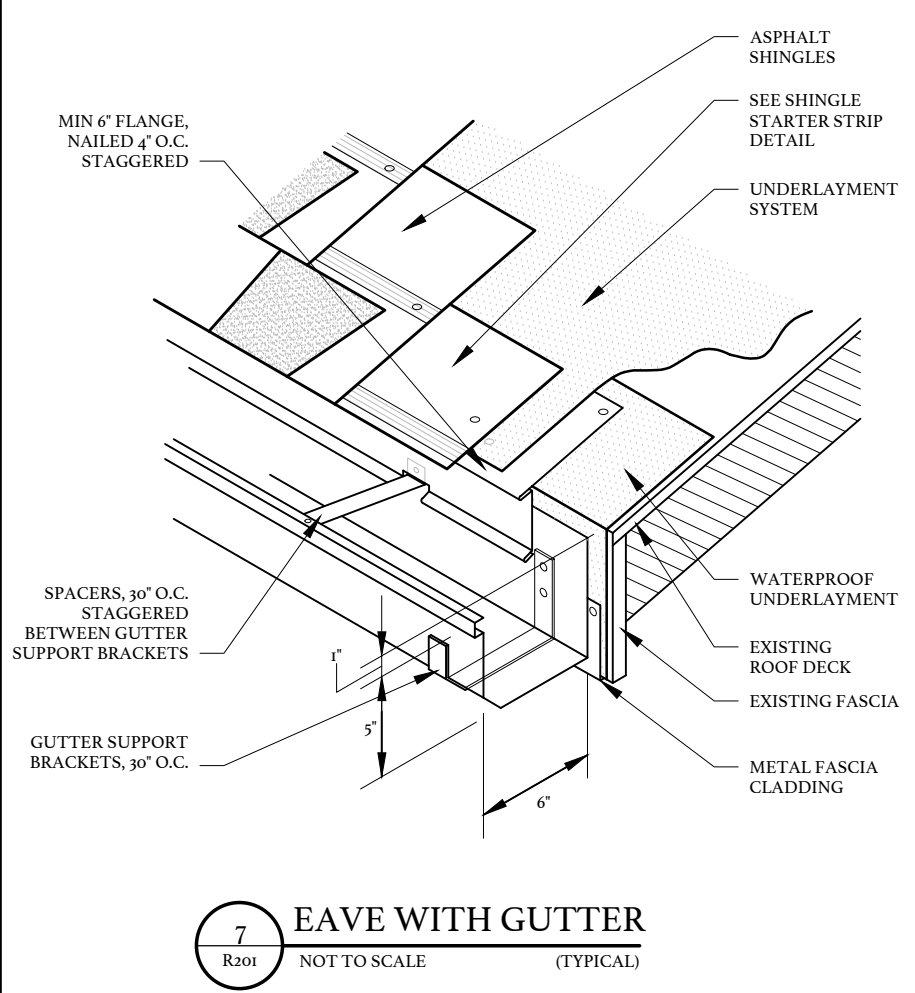
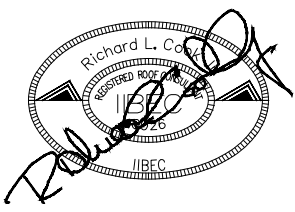


SPARTANBURG SCHOOL DISTRICT 7
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SPARTANBURG, SOUTH CAROLINA

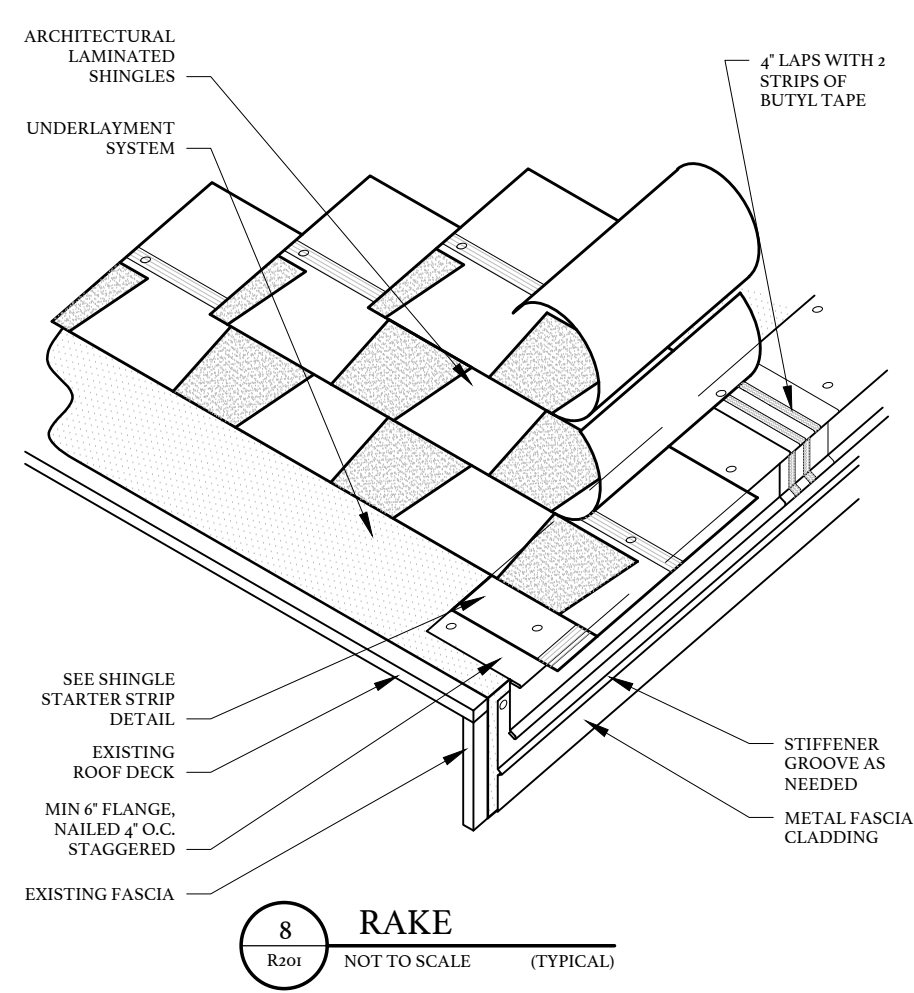
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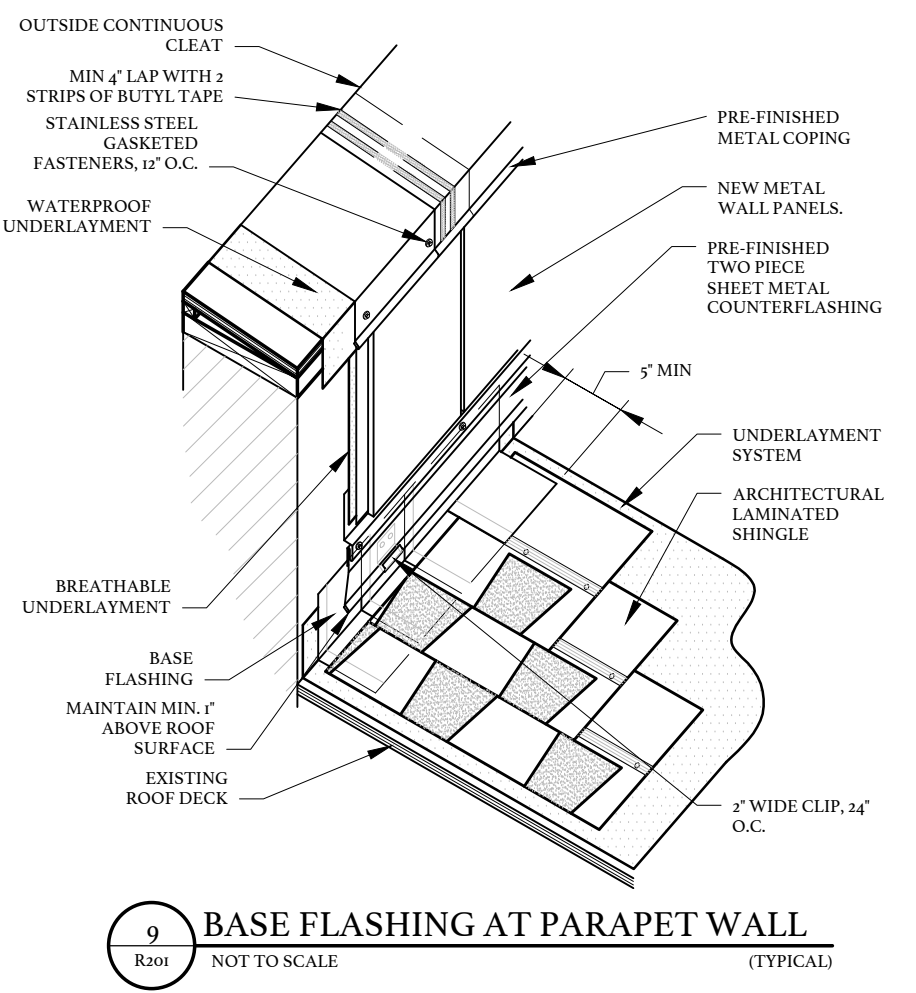
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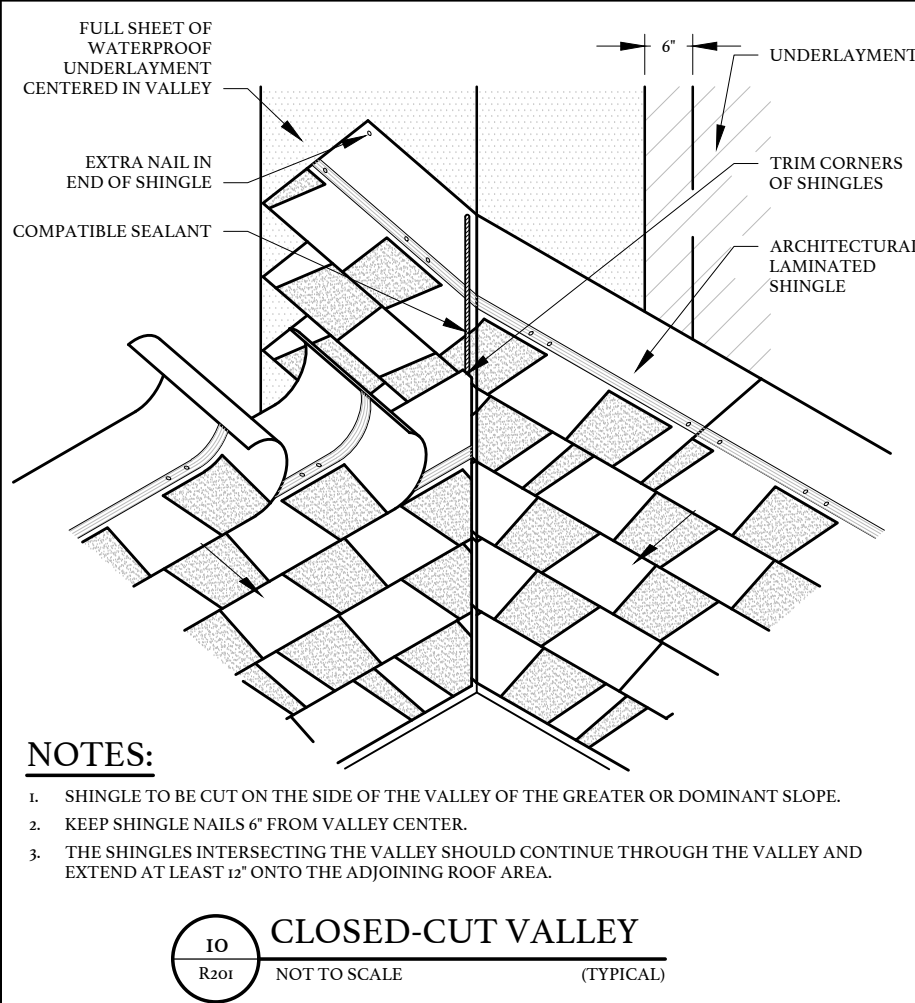
7 EAVE WITH GUTTER
R201 NOT TO SCALE (TYPICAL)



8 RAKE
R201 NOT TO SCALE (TYPICAL)

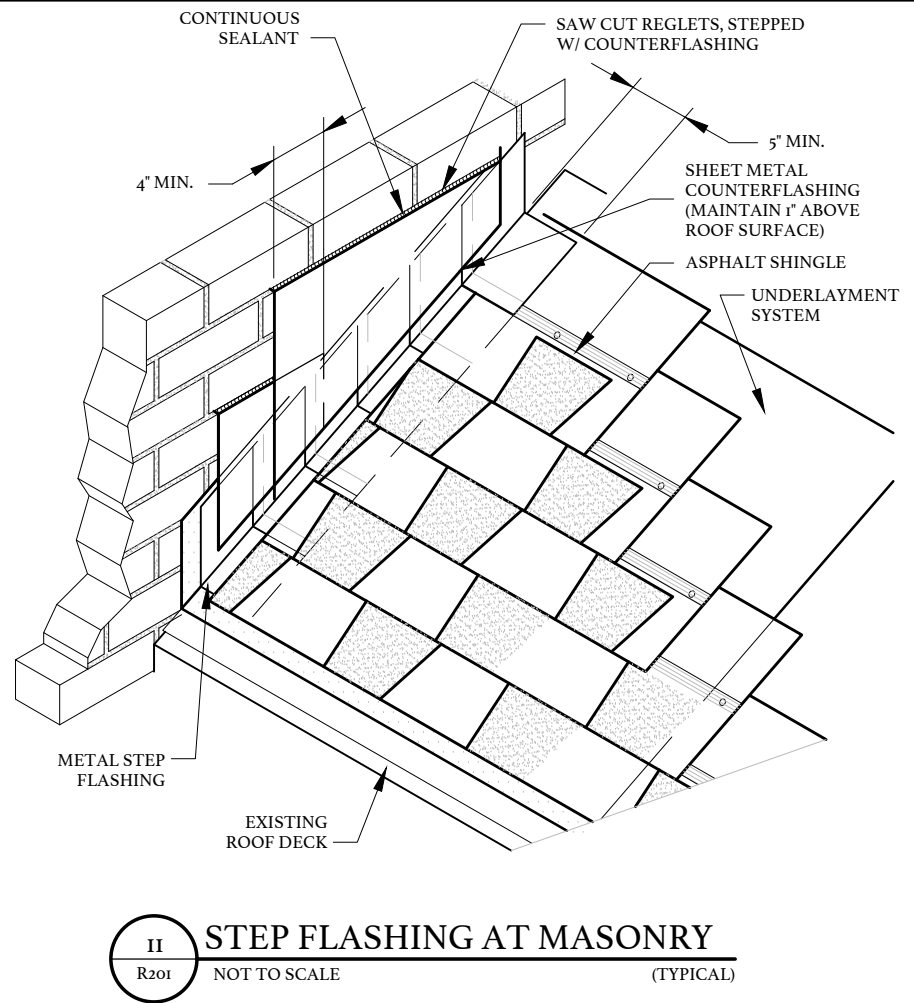


9 BASE FLASHING AT PARAPET WALL
R201 NOT TO SCALE (TYPICAL)

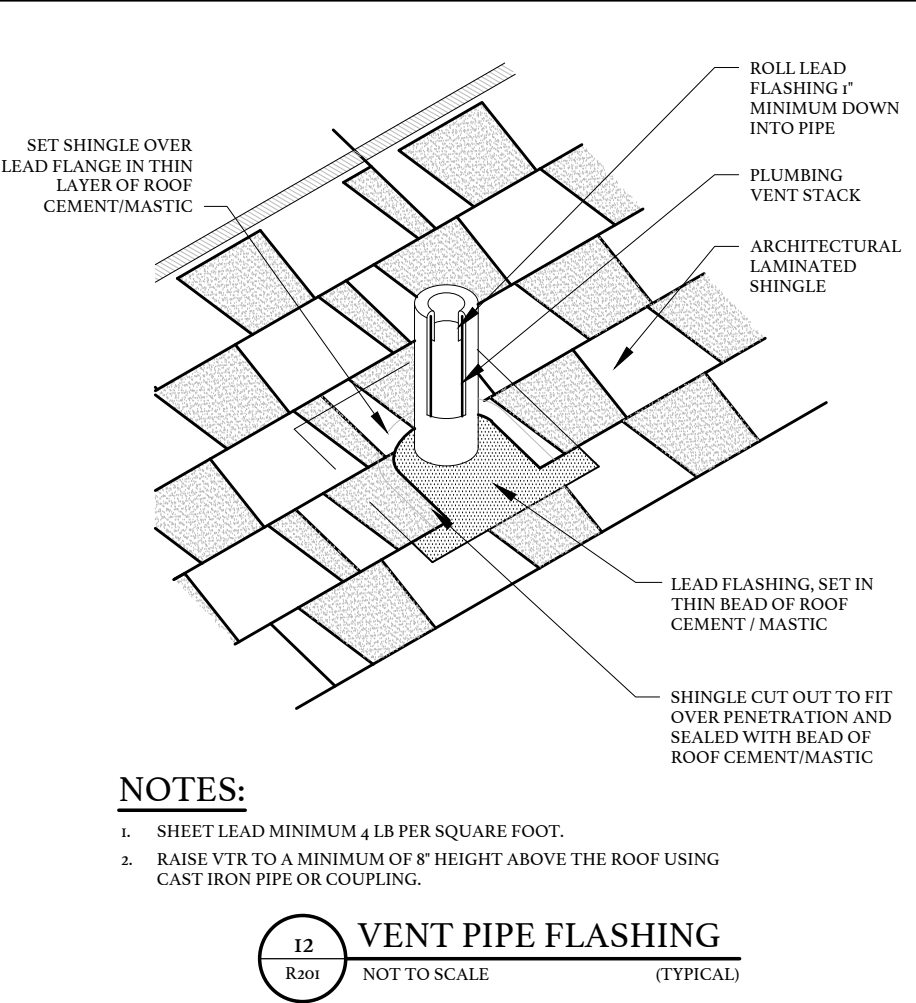


10 CLOSED-CUT VALLEY
R201 NOT TO SCALE (TYPICAL)

- NOTES:**
- SHINGLE TO BE CUT ON THE SIDE OF THE VALLEY OF THE GREATER OR DOMINANT SLOPE.
 - KEEP SHINGLE NAILS 6" FROM VALLEY CENTER.
 - THE SHINGLES INTERSECTING THE VALLEY SHOULD CONTINUE THROUGH THE VALLEY AND EXTEND AT LEAST 12" ONTO THE ADJOINING ROOF AREA.



11 STEP FLASHING AT MASONRY
R201 NOT TO SCALE (TYPICAL)



- NOTES:**
- SHEET LEAD MINIMUM 4 LB PER SQUARE FOOT.
 - RAISE VTR TO A MINIMUM OF 8" HEIGHT ABOVE THE ROOF USING CAST IRON PIPE OR COUPLING.

12 VENT PIPE FLASHING
R201 NOT TO SCALE (TYPICAL)

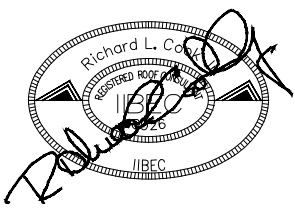
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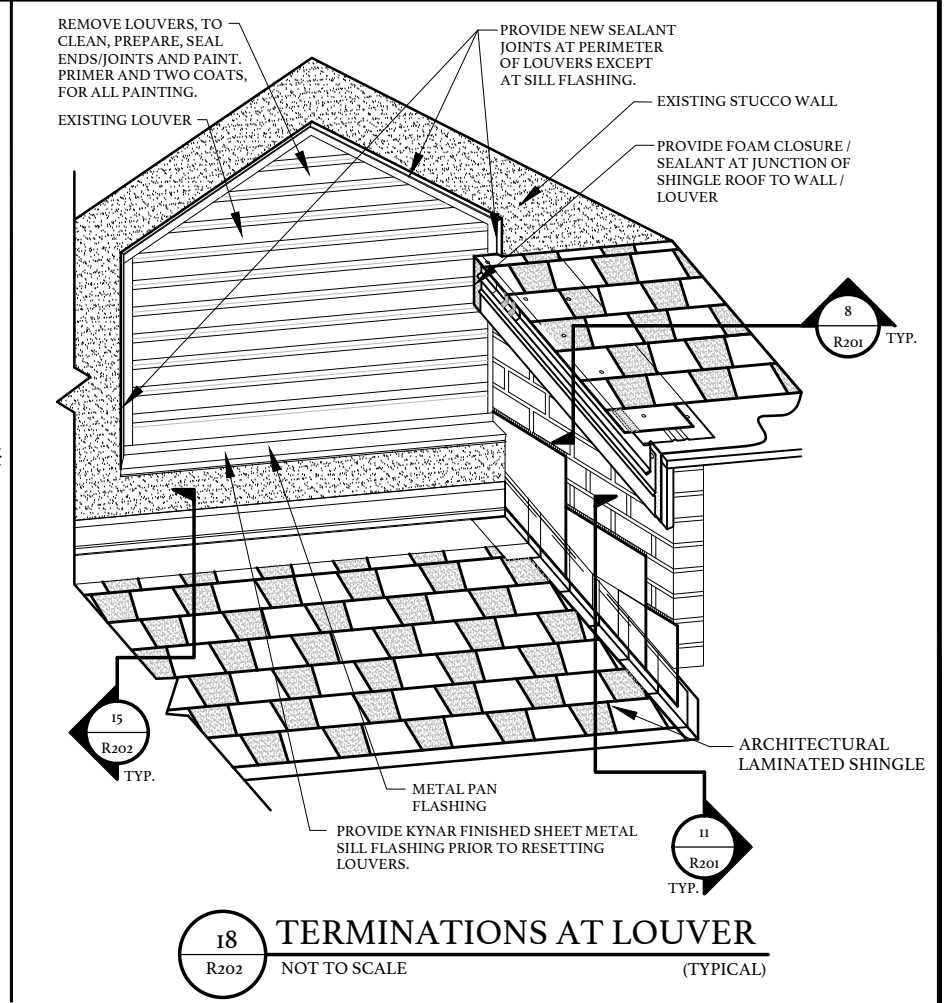
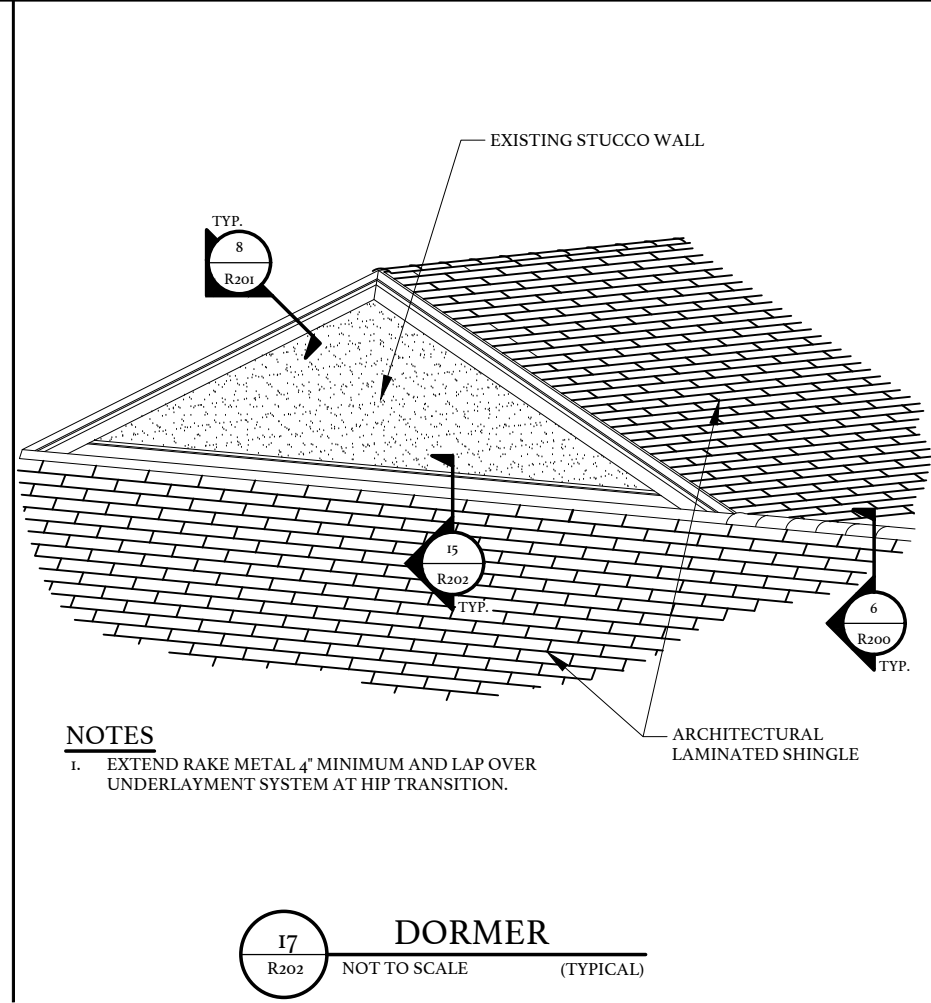
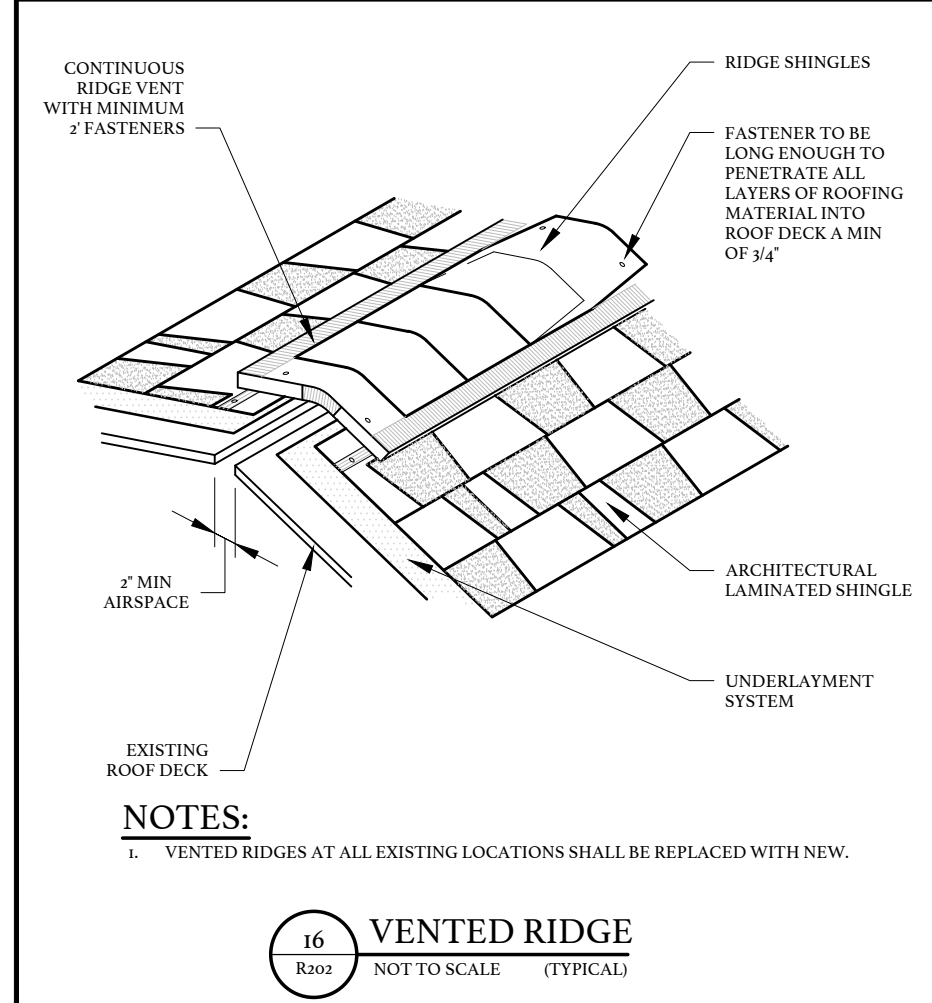
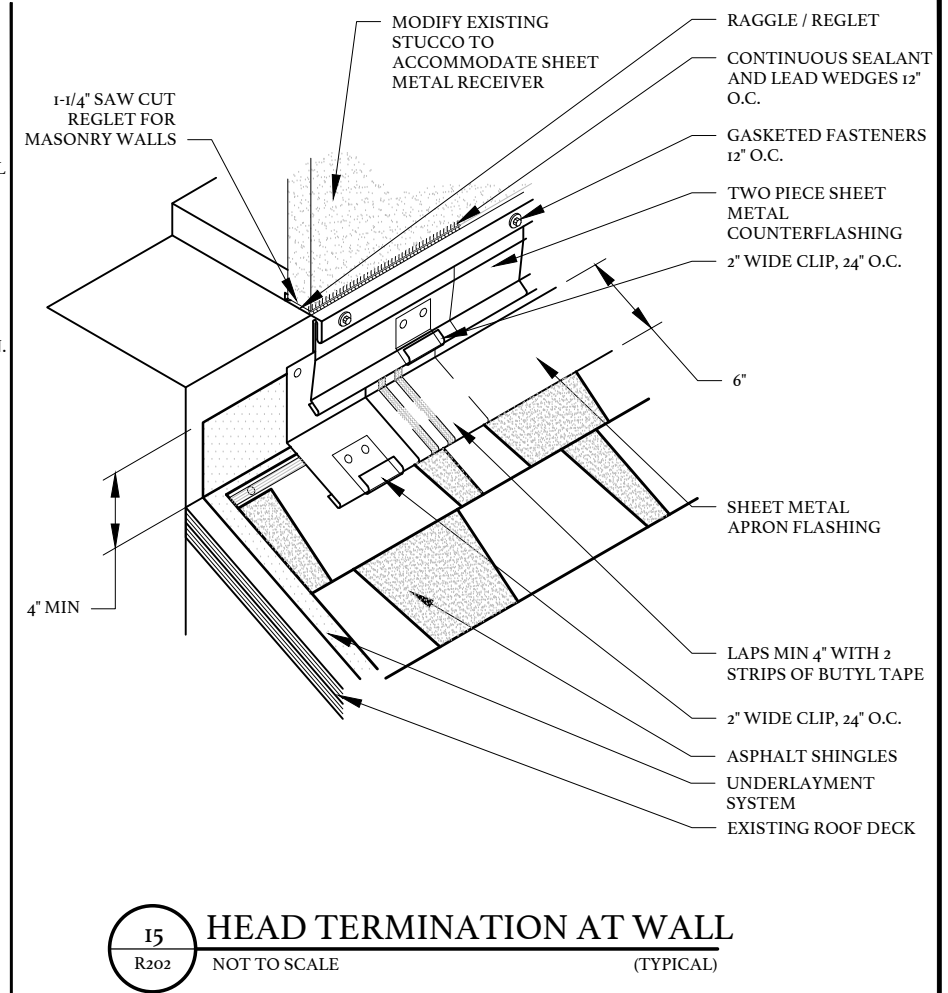
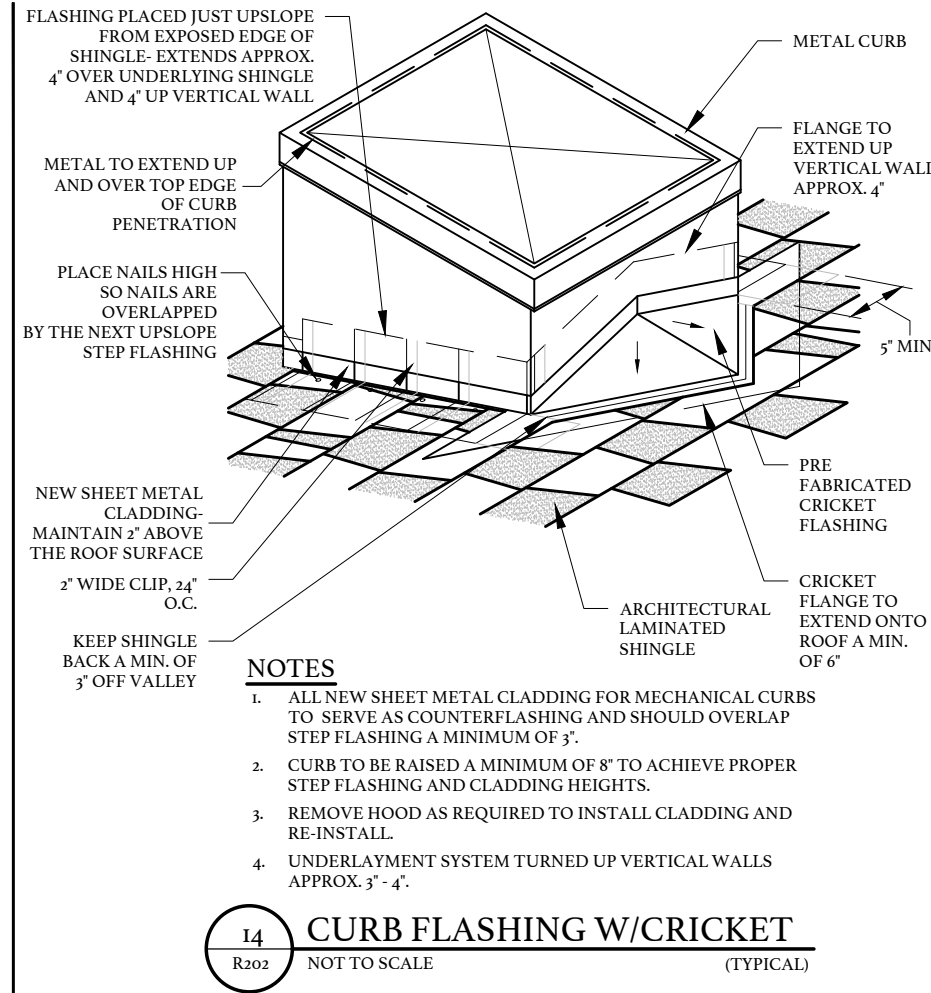
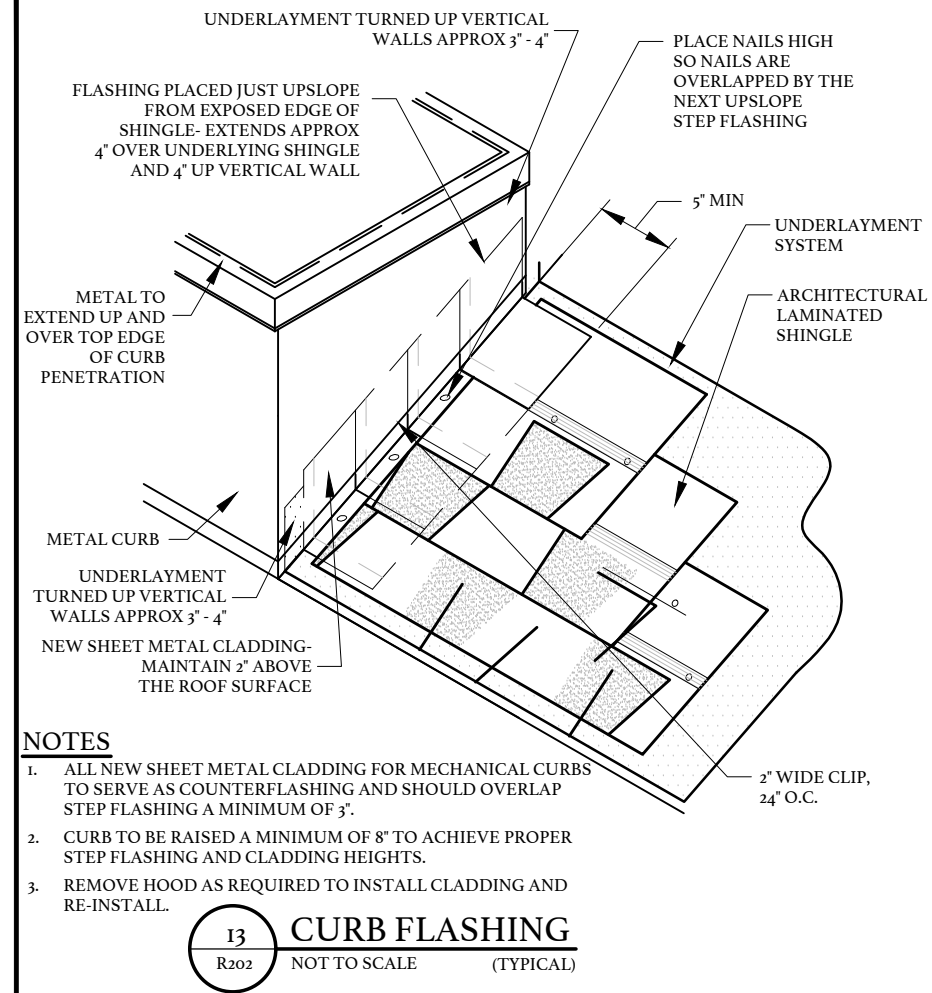
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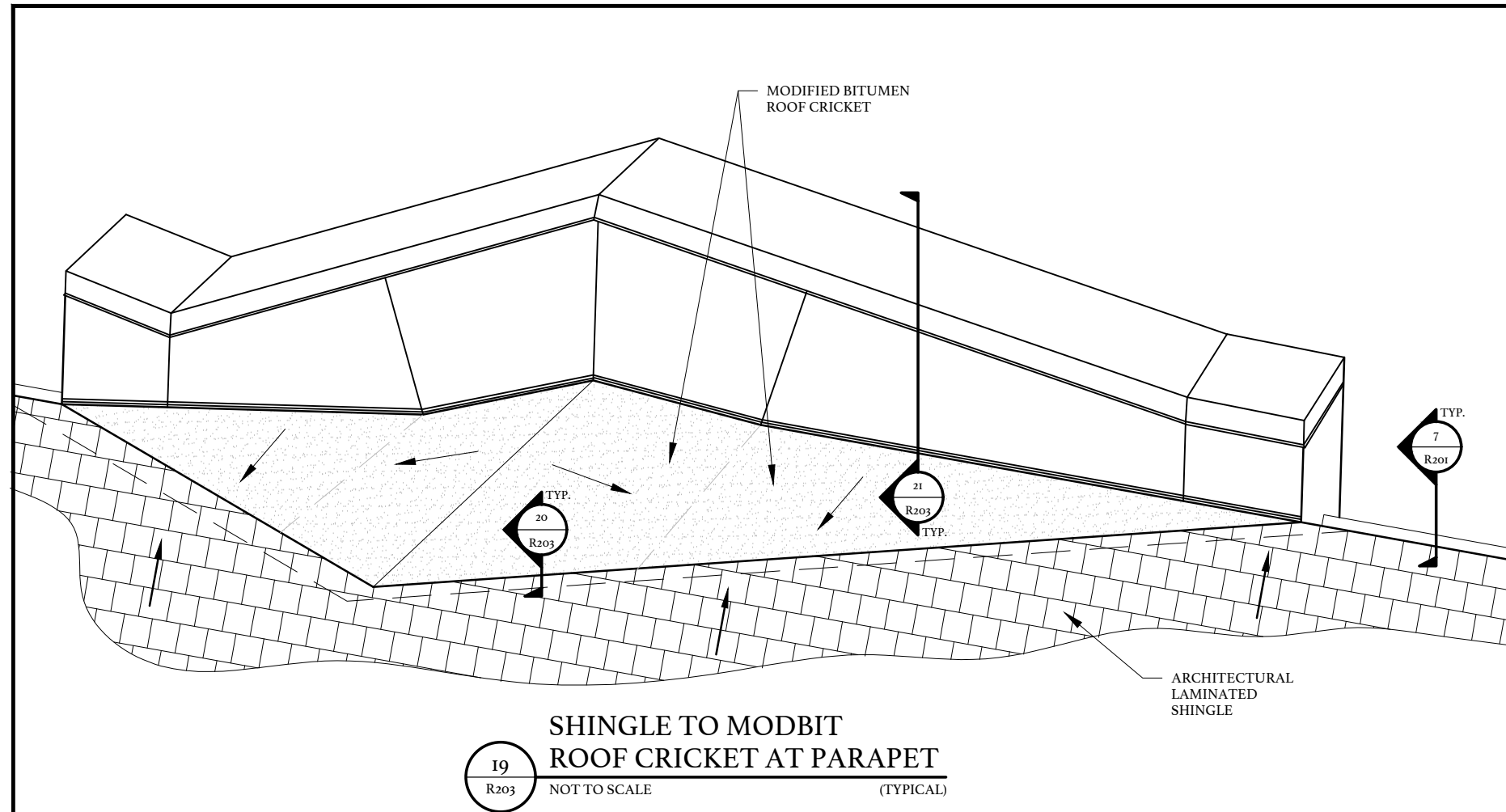
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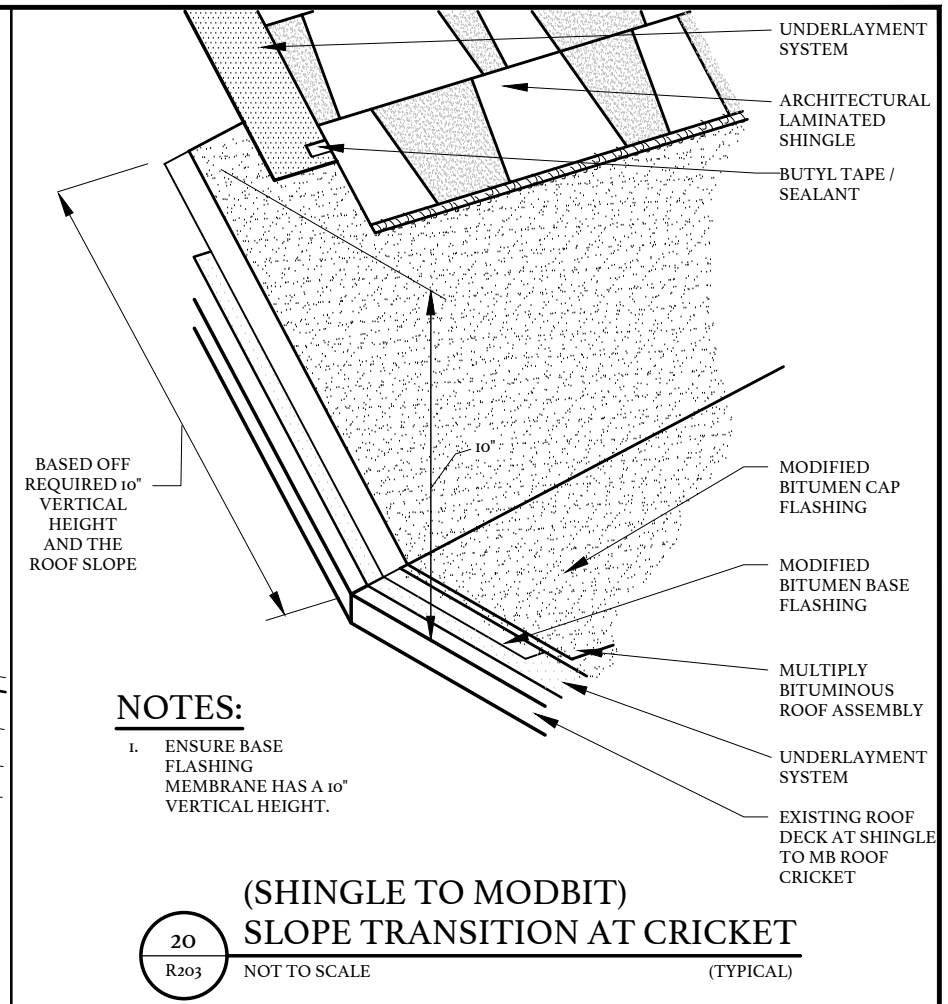
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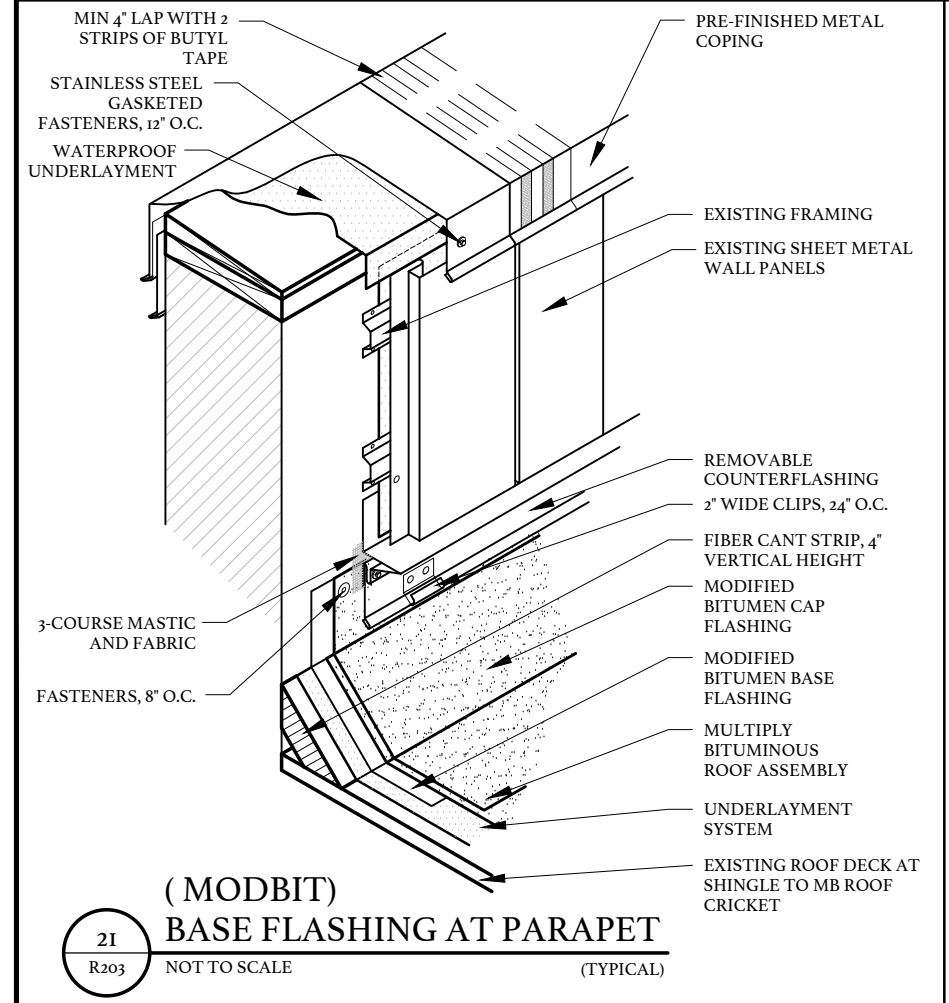
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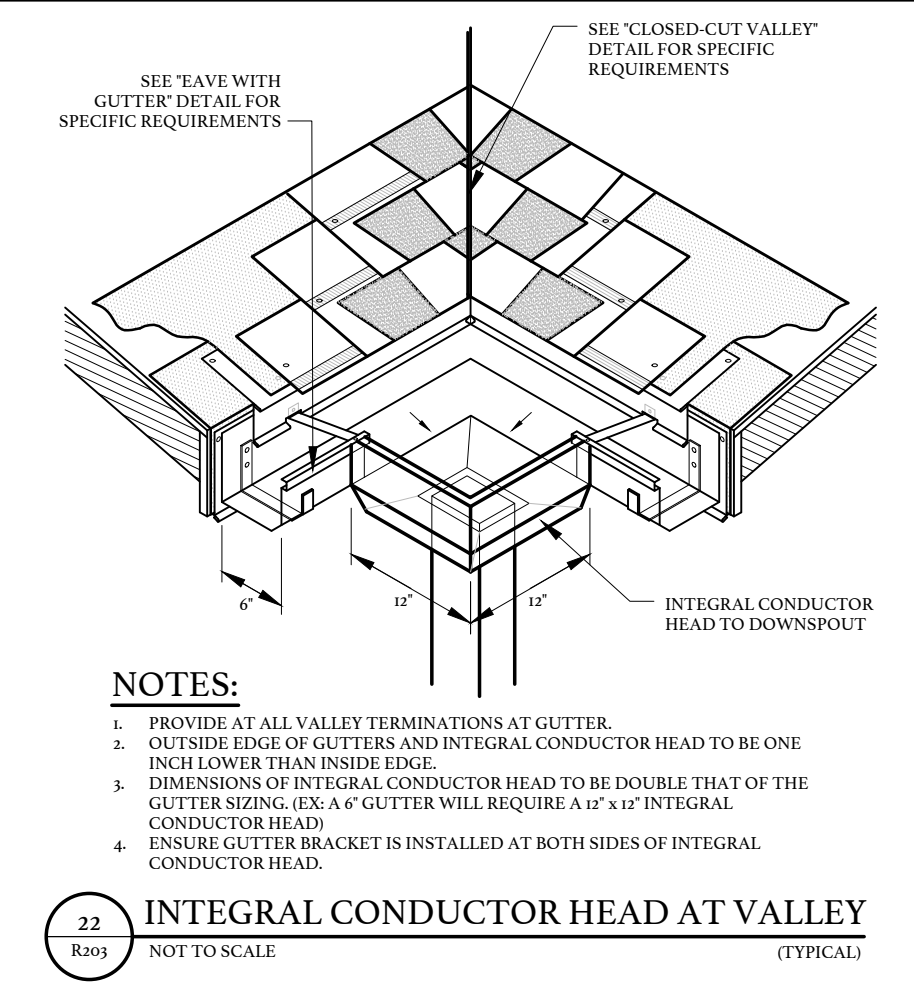
19
R203 NOT TO SCALE (TYPICAL)
SHINGLE TO MODBIT ROOF CRICKET AT PARAPET



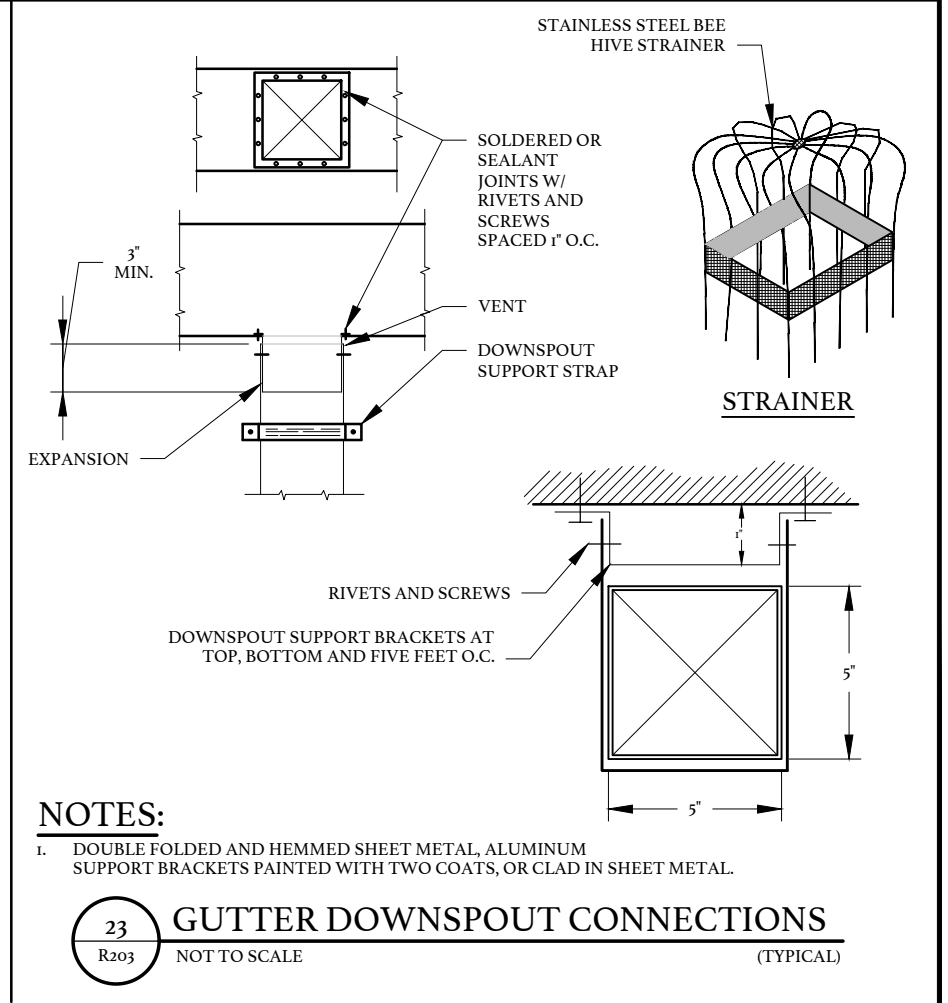
20
R203 NOT TO SCALE (TYPICAL)
(SHINGLE TO MODBIT) SLOPE TRANSITION AT CRICKET



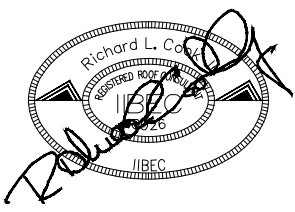
21
R203 NOT TO SCALE (TYPICAL)
(MODBIT) BASE FLASHING AT PARAPET



22
R203 NOT TO SCALE (TYPICAL)
INTEGRAL CONDUCTOR HEAD AT VALLEY



23
R203 NOT TO SCALE (TYPICAL)
GUTTER DOWNSPOUT CONNECTIONS



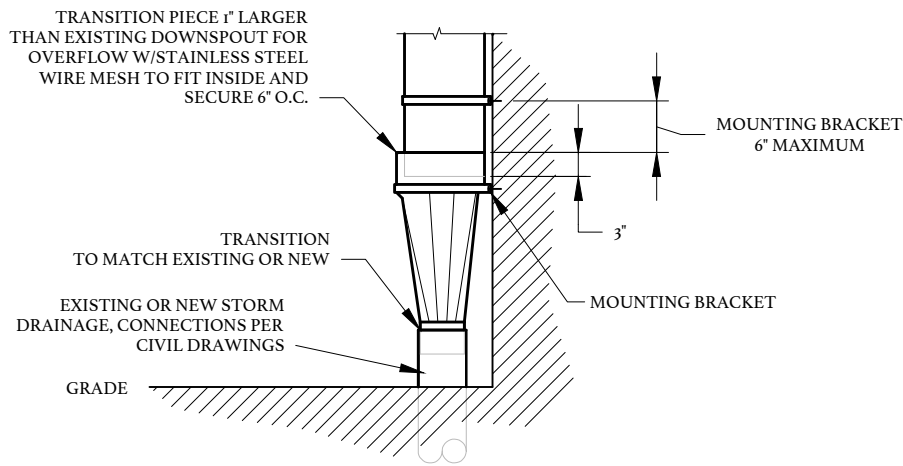
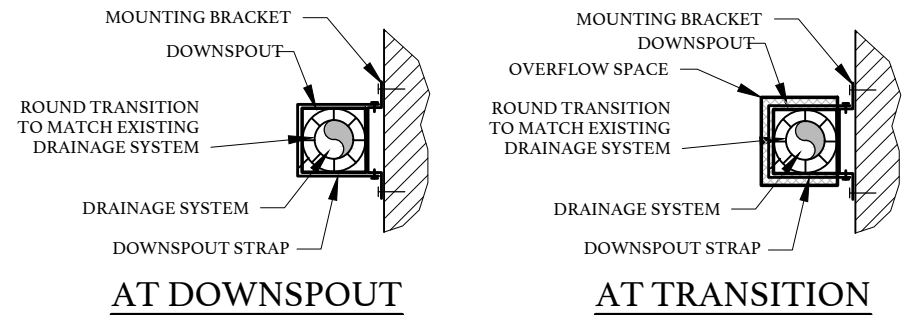
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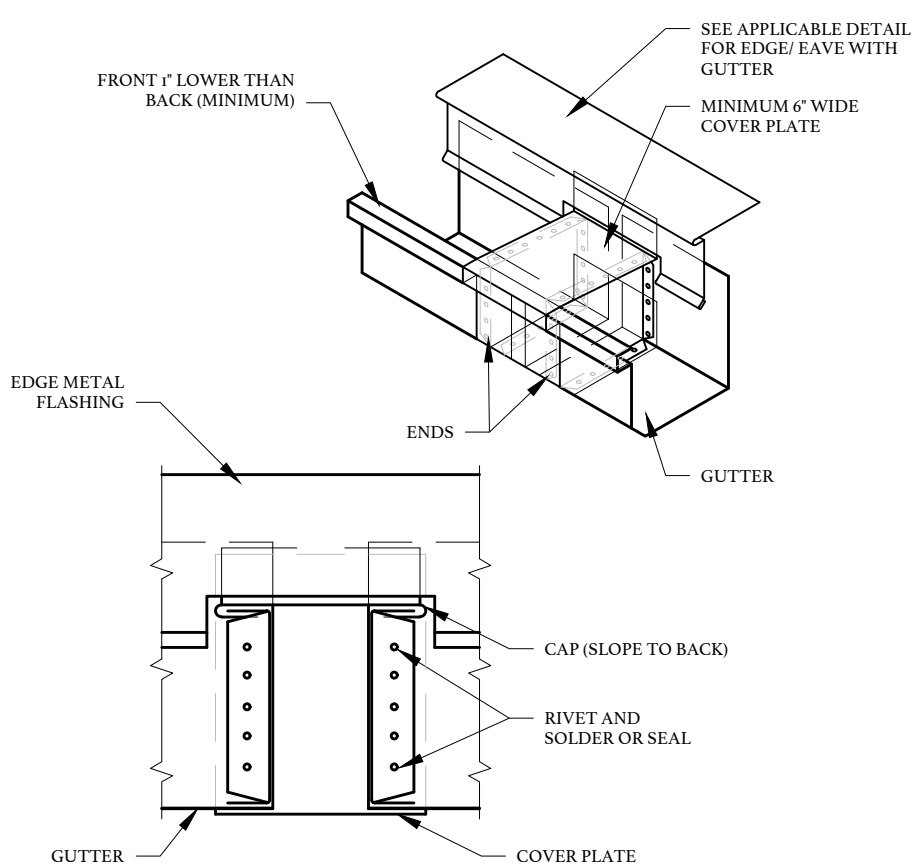
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R203

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24
R204 NOT TO SCALE (TYPICAL)



25
R204 NOT TO SCALE (TYPICAL)

INTENTIONALLY LEFT BLANK

26
R204 NOT USED

INTENTIONALLY LEFT BLANK

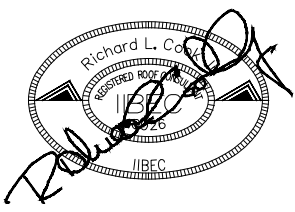
27
R204 NOT USED

INTENTIONALLY LEFT BLANK

28
R204 NOT USED

INTENTIONALLY LEFT BLANK

29
R204 NOT USED

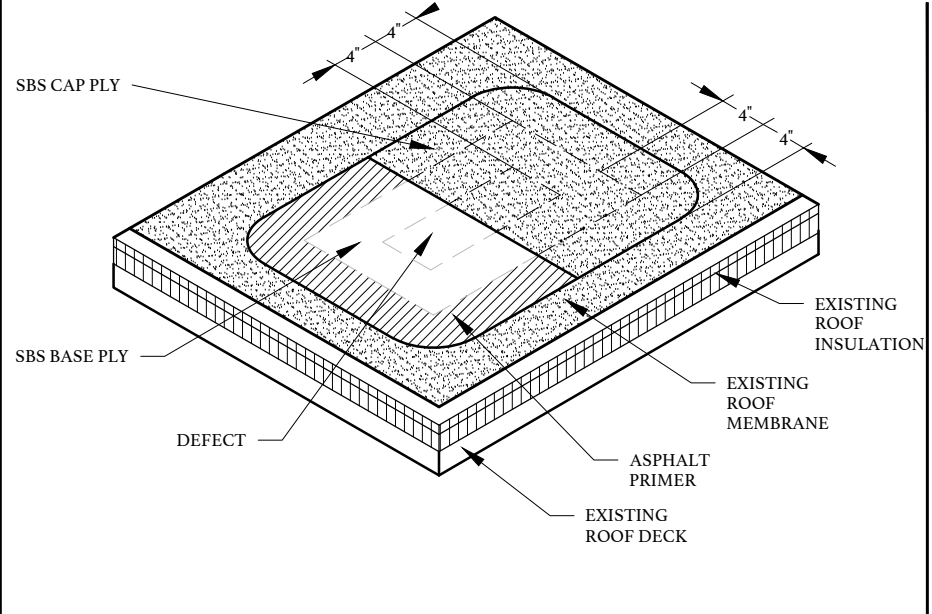


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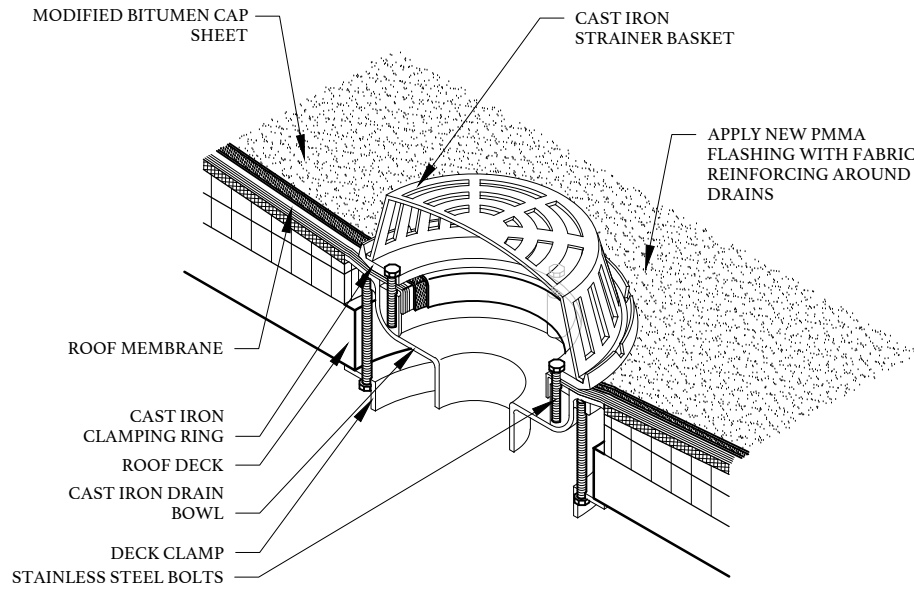
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NOTES:

1. TIE-IN TO THE EXISTING ROOF MEMBRANE IS APPLIED SIMILARLY WITH SURFACE PREPARATION, PRIMING OF THE EXISTING SURFACE, AND THE EXTENSION OF TWO MODIFIED BITUMEN PLIES ONTO THE EXISTING ROOF AREA AS SHOWN.
2. SIMILAR REPAIR FOR THERMOSET AND THERMOPLASTICS IN ACCORDANCE WITH NRCA LOW SLOPED ROOF REPAIRS MANUAL / ARMA / SPRI.

30
R205 **MEMBRANE REPAIR**
NOT TO SCALE (TYPICAL)



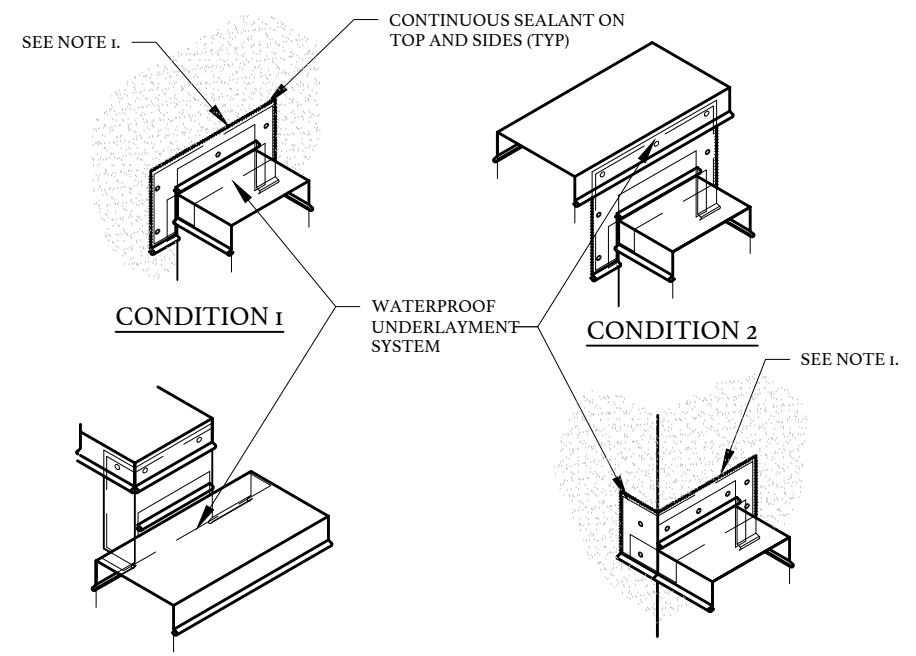
NOTES:

1. REMOVE ALL EXISTING AGGREGATE/GRANULAR SURFACING DOWN TO THE EXISTING ROOF MEMBRANE AND PRIME PER MANUFACTURERS INSTRUCTIONS.
2. PMMA FLASHING TO BE FULLY ADHERED AND TO EXTEND UNDER ROOF DRAIN CLAMPING RING.

31
R205 **ROOF DRAIN REPAIR**
NOT TO SCALE (TYPICAL)

NOTES:

1. CUT REGLET TO DEPTH OF 1 1/4", INSERT LEAD WEDGES 12" O.C. AND PROVIDE BACKER ROD AND SEALANT.
2. WATERPROOF UNDERLAYMENT UNDER ALL SHEET METAL TRANSITION UP VERTICAL SURFACES, AROUND CORNERS AND ONTO HORIZONTAL SURFACES (MINIMUM FOUR INCHES).



32
R205 **COPING AND AREA DIVIDER TERMINATIONS REPAIR**
NOT TO SCALE (TYPICAL)

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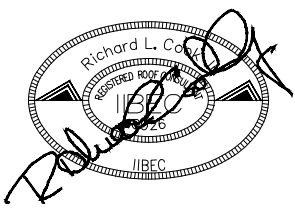
33
R205 **NOT USED**

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34
R205 **NOT USED**

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35
R205 **NOT USED**

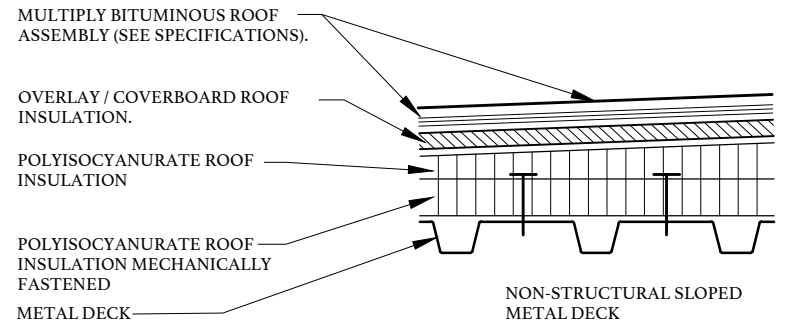


SPARTANBURG SCHOOL DISTRICT 7
CLEVELAND ACADEMY OF LEADERSHIP
ROOF REPLACEMENT AND SELECT
EXTERIOR WALL SEALANT REPLACEMENT
OWNER PROJECT NUMBER: IB# 20-21-03
BEE PROJECT NUMBER: 20023
151 FRANKLIN STREET
SPARTANBURG, SOUTH CAROLINA

DATE:	02/01/2021
BEE PROJECT #:	20023
DESIGNED:	RLC
CHECKED:	JCG
DRAWN:	JCG / CJI
REVISION:	

DETAILS / SECTIONS
BASE BID

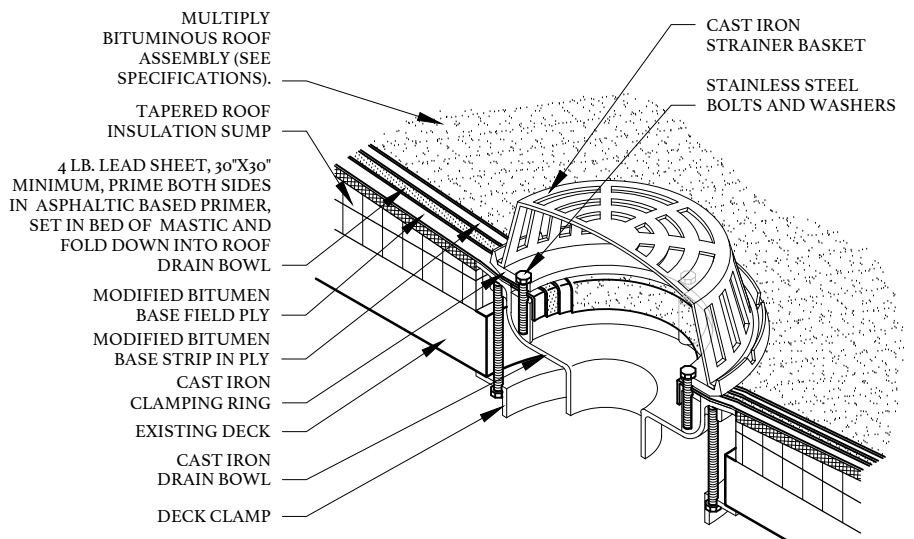
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NOTES:

1. LOW SLOPED ROOF AREA B, C, & D.
2. SEE SPECIFICATIONS FOR INSULATION ASSEMBLY AND ROOF SYSTEM

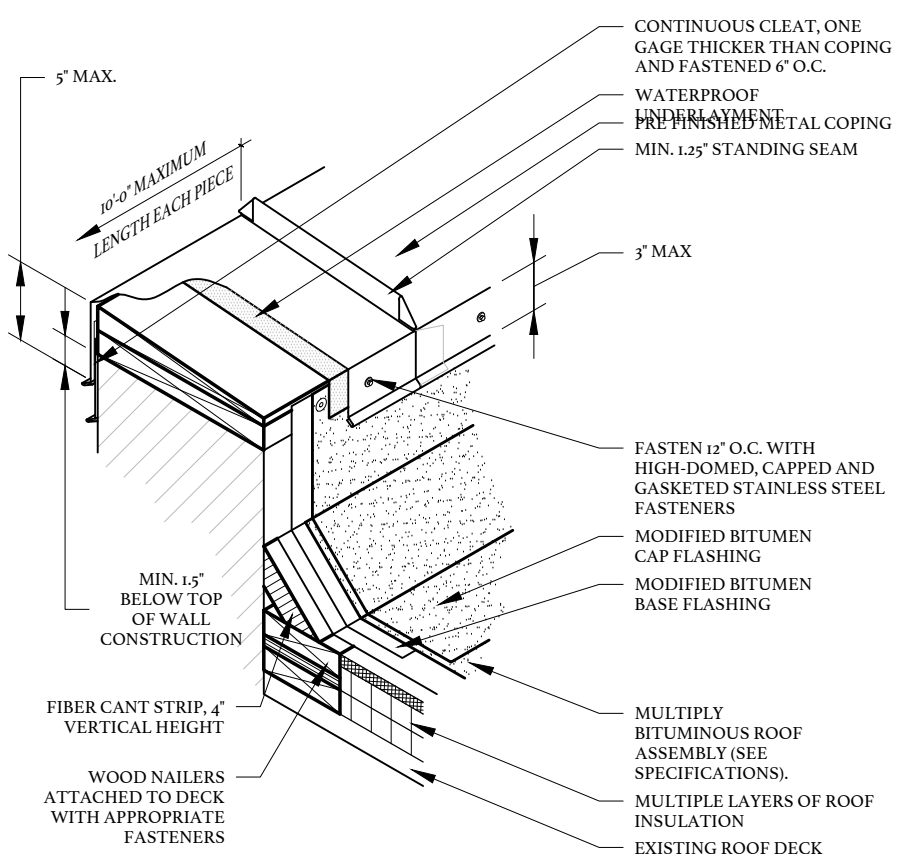
1 MODIFIED BITUMEN ROOF ASSEMBLY
R300 NOT TO SCALE (TYPICAL)



NOTES:

1. DRAIN HEIGHT SHALL BE BASED UPON INSULATION THICKNESS REQUIREMENT AND SHALL BE ACCOMPLISHED BY SINGLE COMPONENT BOWL, EXTENSION BOWL, OR STATIC EXTENDER.

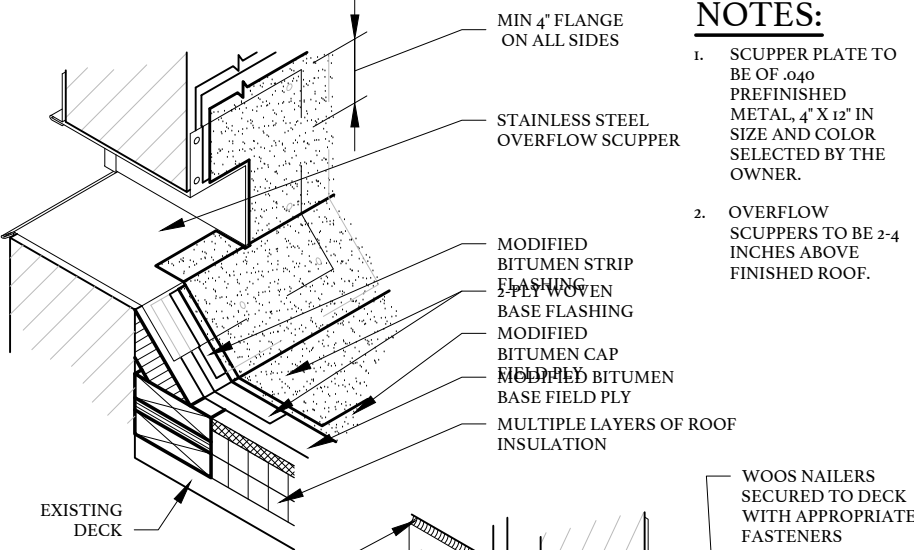
2 ROOF DRAIN
R300 NOT TO SCALE (TYPICAL)



3 BASE FLASHING AT PARAPET
R300 NOT TO SCALE (TYPICAL)

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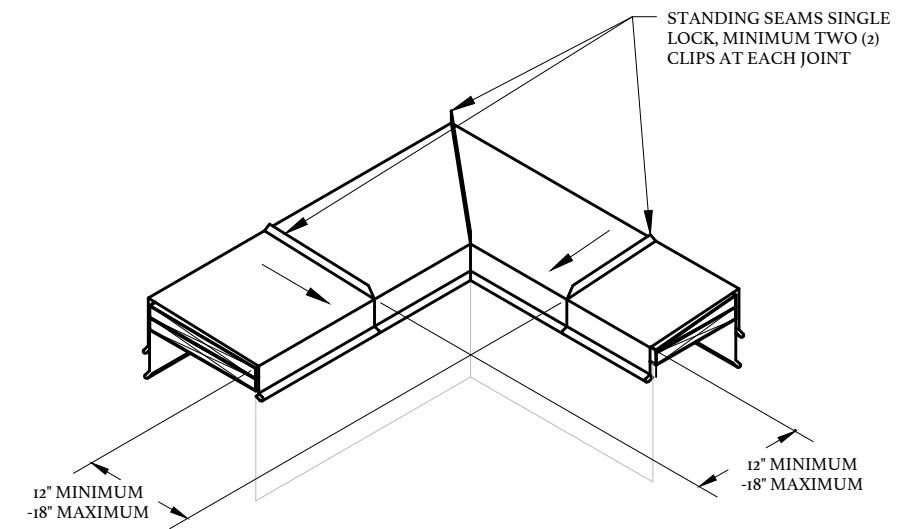
4 NOT USED
R300



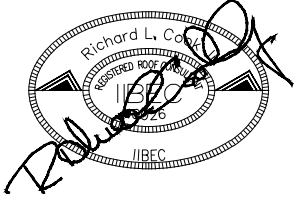
NOTES:

1. SCUPPER PLATE TO BE OF .040 PREFINISHED METAL, 4" X 12" IN SIZE AND COLOR SELECTED BY THE OWNER.
2. OVERFLOW SCUPPERS TO BE 2-4 INCHES ABOVE FINISHED ROOF.

5 OVERFLOW SCUPPER
R300 NOT TO SCALE (TYPICAL)



6 COPING PREFABRICATED CORNER
R300 NOT TO SCALE (TYPICAL)



SPARTANBURG SCHOOL DISTRICT 7
CLEVELAND ACADEMY OF LEADERSHIP
ROOF REPLACEMENT AND SELECT EXTERIOR WALL SEALANT REPLACEMENT
OWNER PROJECT NUMBER: IB# 20-21-03
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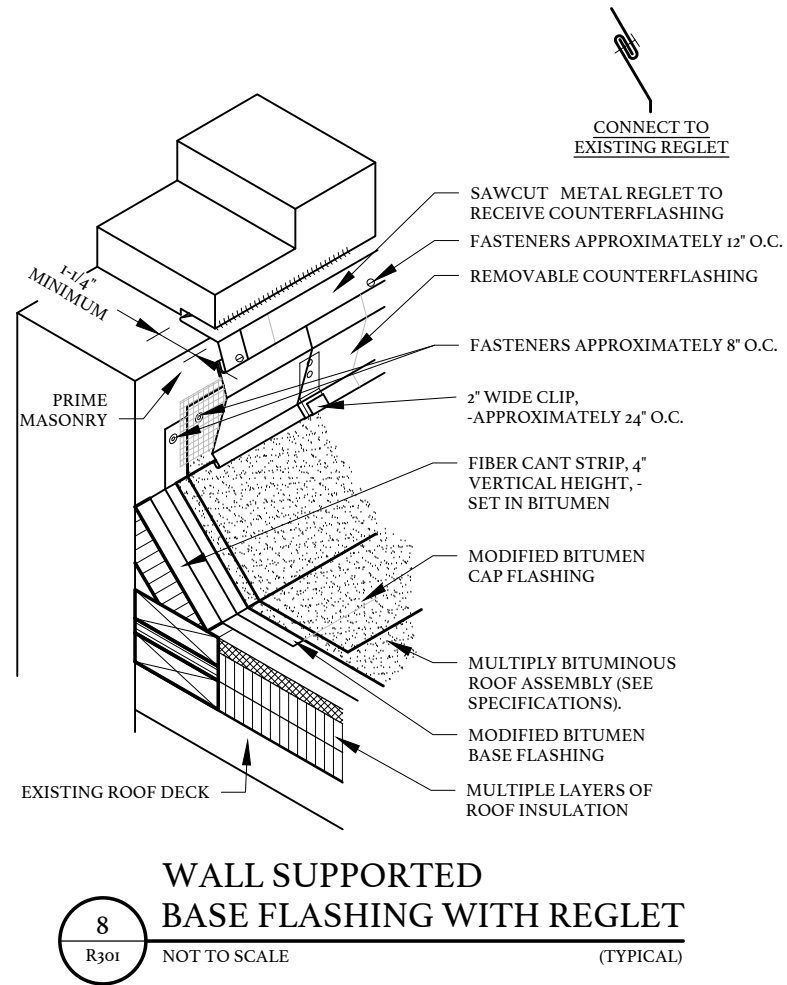
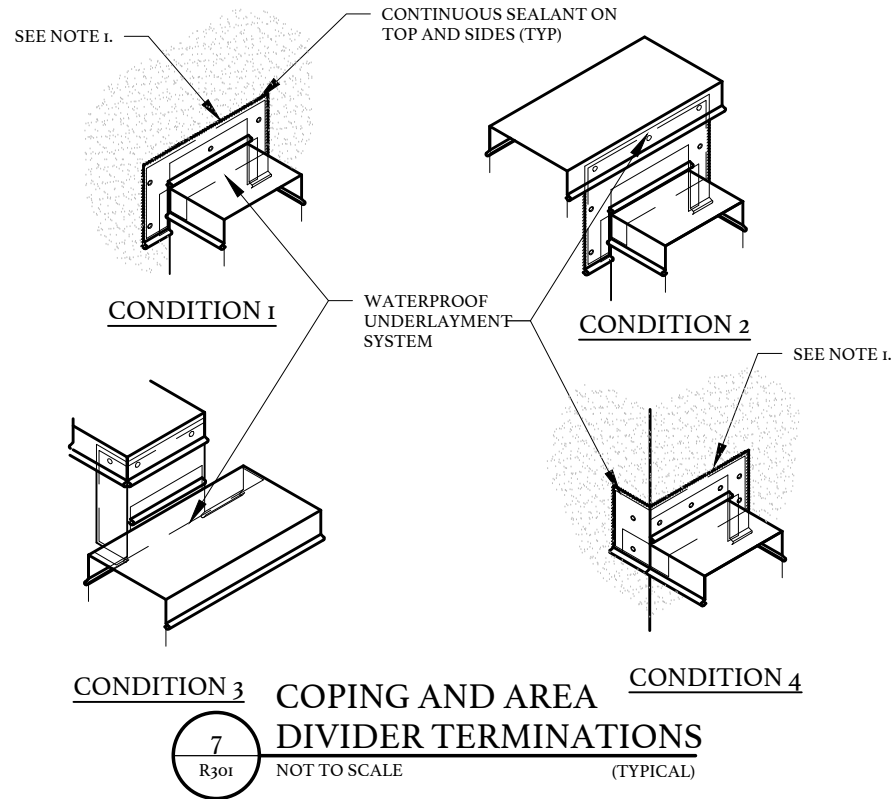
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DETAILS / SECTIONS
ALTERNATE #1

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NOTES:

- CUT REGLET TO DEPTH OF 1 1/4", INSERT LEAD WEDGES 12" O.C. AND PROVIDE BACKER ROD AND SEALANT.
- WATERPROOF UNDERLAYMENT UNDER ALL SHEET METAL TRANSITION UP VERTICAL SURFACES, AROUND CORNERS AND ONTO HORIZONTAL SURFACES (MINIMUM FOUR INCHES).



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9
R301 NOT USED

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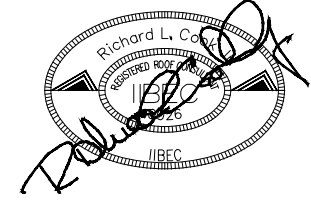
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10
R301 NOT USED

11
R301 NOT USED

12
R301 NOT USED



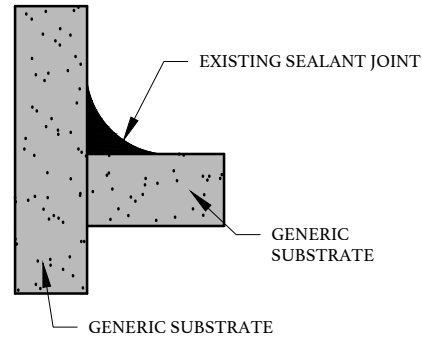
SPARTANBURG SCHOOL DISTRICT 7
CLEVELAND ACADEMY OF LEADERSHIP
ROOF REPLACEMENT AND SELECT
EXTERIOR WALL SEALANT REPLACEMENT

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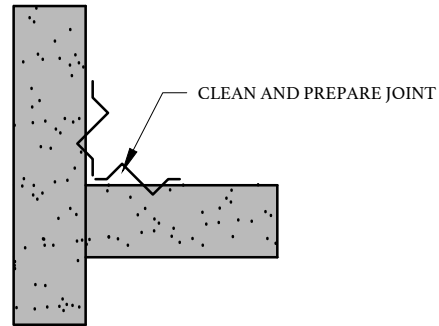
DETAILS / SECTIONS
ALTERNATE #1

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EXISTING CORNER/FILLET JOINT

STEP ONE

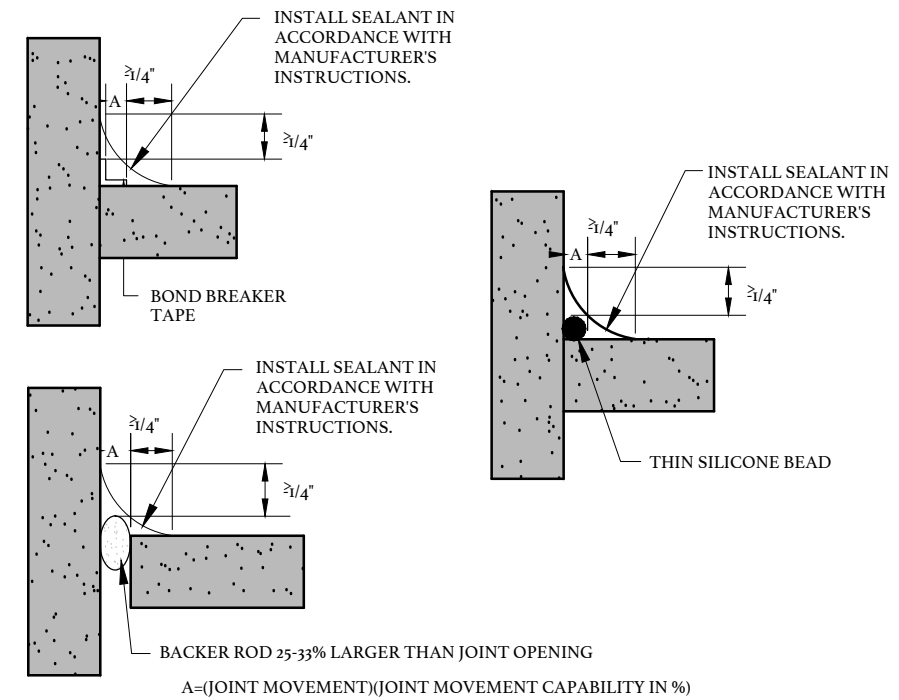


PREPARE CORNER/FILLET JOINT

STEP TWO

NOTES:

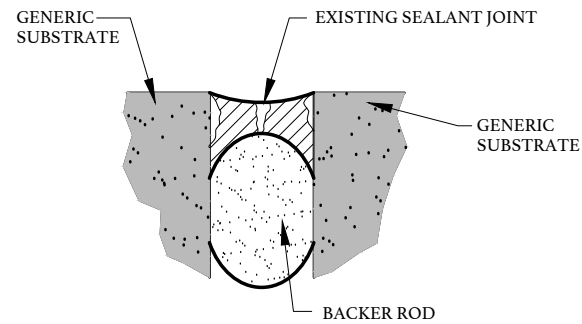
1. A SEALANT IS NO BETTER THAN THE SURFACE TO WHICH IT IS ATTACHED. PROPER PREPARATION IS CRITICAL.
2. THE MANUFACTURERS INSTRUCTIONS MUST BE CAREFULLY FOLLOWED TO OBTAIN PROPER SEALANT ADHESION.
3. ADHERE TO THE JOINT DESIGN AND APPLICATION REQUIREMENTS.
4. CONTRACTOR OPTIONS FOR BOND BREAKER/BACKER ROD FOR CORNER/FILLET JOINT.



NOTES:

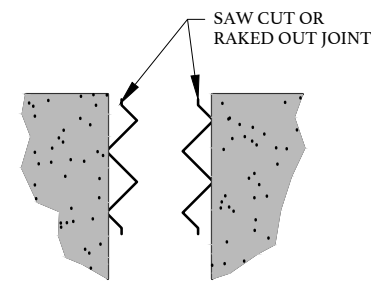
1. EXISTING CONDITIONS WILL DICTATE TYPE OF FILLET JOINT SPACE(SHOWN ABOVE) TO BE USED.
2. CONTRACTOR OPTIONS FOR BOND BREAKER/BACKER ROD FOR CORNER/FILLET JOINT.

PROVIDE CORNER/FILLET JOINT OPTIONS
STEP THREE



EXISTING STANDARD JOINT

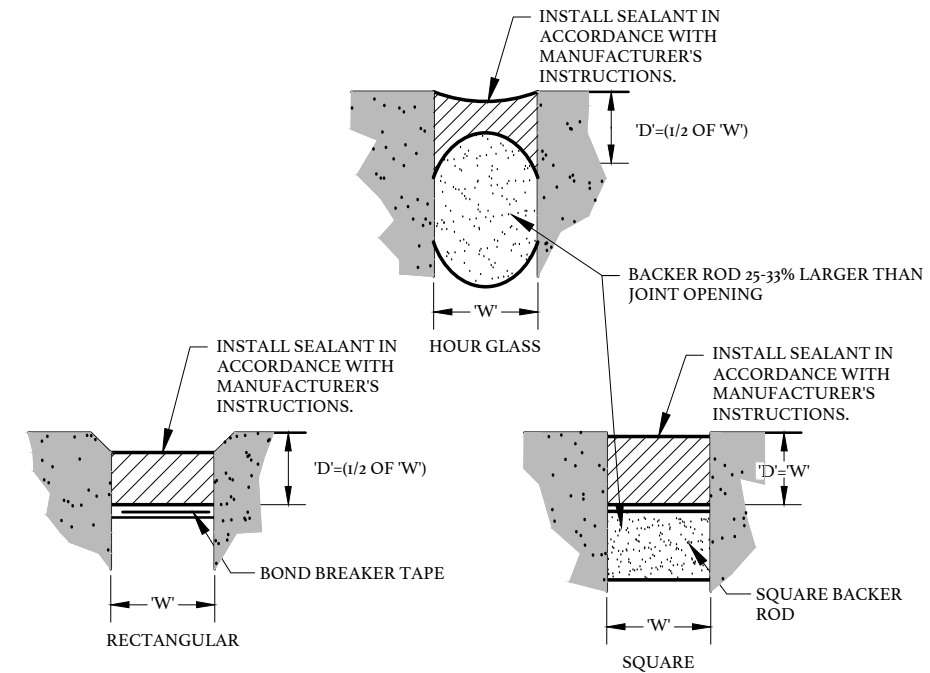
STEP ONE



PREPARE STANDARD JOINT
STEP TWO

NOTES:

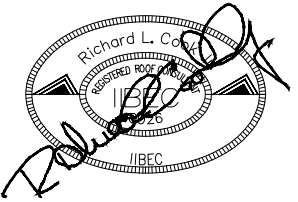
1. A SEALANT IS NO BETTER THAN THE SURFACE TO WHICH IT IS ATTACHED. PROPER PREPARATION IS CRITICAL.
2. THE MANUFACTURERS INSTRUCTIONS MUST BE CAREFULLY FOLLOWED TO OBTAIN PROPER SEALANT ADHESION.
3. ADHERE TO THE JOINT DESIGN AND APPLICATION REQUIREMENTS.



NOTES:

1. EXISTING CONDITIONS WILL DICTATE TYPE OF STANDARD JOINT SPACE(SHOWN ABOVE) TO BE USED.

PROVIDE STANDARD JOINT OPTIONS
STEP THREE



SPARTANBURG SCHOOL DISTRICT 7
CLEVELAND ACADEMY OF LEADERSHIP
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DETAILS / SECTIONS
ALTERNATE #2