

#### OJAI UNIFIED SCHOOL DISTRICT

**BID ADDENDUM NO. 1** 

ISSUED 3/18/2019

#### TO THE CONTRACT DOCUMENTS, SPECIFICATIONS AND PLANS FOR OJAI UNIFIED SCHOOL DISTRICT

#### REPAINTING PROJECT AT VARIOUS CAMPUSES

MATILIJA JUNIOR HIGH SCHOOL PROJECT NO. 2019-1608 MEINERS OAKS ELEMENTARY SCHOOL PROJECT NO. 2019-1110 MIRA MONTE ELEMENTARY SCHOOL PROJECT NO. 2019-1205 NORDHOFF HIGH SCHOOL PROJECT NO. 2019-1713 TOPA TOPA ELEMENTARY SCHOOL PROJECT NO. 2019-1507

THE BIDDER SHALL ATTACH THE ADDENDUM TO THE DOCUMENTS SUBMITTED WITH THE BID TO OJAI UNIFIED SCHOOL DISTRICT TO CERTIFY THAT THE BID ADDENDUM INFORMATION WAS RECEIVED.

BID DUE DATE: 10:00 am (local) March 26

The following additions, modifications, corrections, deletions and clarifications are hereby made to the Contract Documents of the subject Project and constitute Addendum Number 1. This Addendum is hereby incorporated into the contract documents by reference.

#### I. RESPONSES TO REQUESTS FOR INFORMATION

No.	QUESTION	RESPONSE	RESPONSE BY
1	For roof restorations, are gutters and downspouts to remain or be replaced?	To remain.	RNT
2	Is Building A at Topa Topa Elementary a roof replacement or resurfacing?	Scope of work does not include replacing or restoring roof surface. It includes minor modifications to roof accessories.	RNT

**REROOFING PROJECTS** ADDENDUM NO. 1 PROJECT NO. 2019-1608, 2019-1110, 2019-1205 2019-1713, 2019-1507



#### **II. GENERAL INFORMATION**

#### A. Contract Documents

No Change.

#### III. REVISED SPECIFICATIONS AND DRAWINGS

#### A. Specifications – All Projects

Item 1 Section 011000 Summary of Work - revised to correctly indicate revised scope of work for MATILIJA JUNIOR HIGH SCHOOL PROJECT NO. 2019-1608

B. Drawings

#### MATILIJA JUNIOR HIGH SCHOOL PROJECT NO. 2019-1608

Item 2 Revise drawings to revise the roof restorations to be roof replacements. Revised Drawings:

G-000 Title Sheet AS-100 SITE PLAN

D-100 ROOF DEMOLITION PLANS

A-100 ROOF PLANS AD-101 ROOF DETAILS

#### **MEINERS OAKS ELEMENTARY SCHOOL PROJECT NO. 2019-1110**

Item 3 **AS-100 SITE PLAN** – revised to include adding gutter and downspouts to south edge of walkway at building G.

REROOFING PROJECTS ADDENDUM NO. 1 PROJECT NO. 2019-1608, 2019-1110, 2019-1205 2019-1713, 2019-1507



#### MIRA MONTE ELEMENTARY SCHOOL PROJECT NO. 2019-1205

No Change.

#### **NORDHOFF HIGH SCHOOL PROJECT NO. 2019-1713**

Item 4 Concrete and storm drain connections revised to be Bid Alternate (optional).

Revised Drawings:

G-000 Title Sheet

A-101 Building I & J Roof Plans

A-102 Building F Roof Plan

Item 5 Revisions to extent of gravel

A-102 Building F Roof Plan

#### **TOPA TOPA ELEMENTARY SCHOOL PROJECT NO. 2019-1507**

Item 6 Concrete and storm drain connections revised to be Bid Alternate (optional).

Revised Drawings:

G-000 Title Sheet

A-101 Building A Roof Plan

Item 7 Scope of gutter and downspout work revised

A-101 Building A Roof Plan

AD-101 Roof Details

END OF **BID ADDENDUM NO. 1** ISSUED 3/18/2019

----REVISED DOCUMENTS ATTACHED AFTER THIS PAGE.----

REROOFING PROJECTS ADDENDUM NO. 1 PROJECT NO. 2019-1608, 2019-1110, 2019-1205 2019-1713, 2019-1507

#### SECTION <u>011000</u> - SUMMARY OF WORK

#### PART 1 - GENERAL

#### 1.1 SUMMARY OF THE WORK:

- A. The Work under this Contract necessary for and incidental to the execution and completion of all Work indicated and inferred in the Contract Documents for the roofing replacements at the locations indicated in the summary of work below. All roofing finished surfaces shall be California Code of Regulations (CCR) Title 24 compliant.
- B. Drawings and Specifications dated January 10, 2019, were prepared by:

ROESLING NAKAMURA TERADA ARCHITECTS, INC. 285 N Ventura Ave #102, Ventura, CA 93001

#### C. Summary of Work:

- 1. Matilija Junior High School (PROJ#-1608) 703 El Paseo Rd, Ojai, CA 93023
  - a. Replace Building C Roof Built-up Roofing
  - b. Replace Building D Roof Asphalt Shingles over Aqua Shield Underlayment
  - c. Replace Building F Roof Built-up Roofing
- 2. Meiners Oaks Elementary School (PROJ#-1110) 400 S Lomita Ave, Ojai, CA 93023
  - a. Replace Building J Roof SBS
  - b. Restore Building K3 Roof Standing Seam Metal
- 3. Mira Monte Elementary School (PROJ#-1205) 1216 Loma Dr, Ojai, CA 93023
  - a. Replace Building D Roof SBS
  - b. Replace Building E Roof SBS
  - c. Restore Building J Roof Standing Seam Metal
  - d. Replace Building Q Roof SBS
- 4. Nordhoff High School (PROJ#-1713) 1401 Maricopa Hwy, Ojai, CA 93023
  - a. Replace Building F Roof SBS
  - b. Replace Building G Roof SBS
  - c. Replace Building H Roof SBS
  - d. Replace Building I Roof SBS
  - e. Replace Building J Roof SBS
  - f. Restore Building Q Roof Standing Seam Metal
- 5. Topa Topa Elementary School (PROJ#-1507) 916 Mountain View Ave, Ojai, CA 93023
  - a. Restore Building G Roof Built-up Roofing

#### 1.1 OCCUPATIONAL SAFETY AND HEALTH ACT REQUIREMENTS:

- A. During the entire construction period, it shall be the responsibility of the Contractor to maintain conditions at the Project site so as to meet in all respects the requirements of the Federal Occupational Safety and Health Administration (OSHA) and the California Occupational Safety and Health Administration (CAL-OSHA). These provisions shall cover the Contractor's employees and all other persons working upon or visiting the site. To this end, the Contractor shall inform himself and his representatives of Federal OSHA and California OSHA standards.
- B. Bid Documents are available online at the Ojai Unified School District's Website (<a href="http://www.ojaiusd.org/Departments/Maintenance/Construction-Projects">http://www.ojaiusd.org/Departments/Maintenance/Construction-Projects</a>)

#### 1.2 COORDINATION REQUIREMENTS:

- A. It is the Contractor's responsibility to coordinate the Work so as to minimize conflicts and optimize efficiency.
- B. Coordinate scheduling, submittals, and Work of the various Sections of Specifications to assure efficient and orderly sequence of installation of interdependent construction elements, with provisions for accommodating items installed later.

#### 1.3 BUILDING SYSTEM COORDINATION:

- A. Notify Architect if conditions are uncovered which would prevent the completed construction from conforming to the requirements of the Work.
- B. Materials/Systems: As specified. Verify compatibility with District-wide standard systems.
- C. "NIC" construction is indicated and specified herein as an aid to the Contractor in scheduling the amount of time and materials necessary for the completion of the Contract.

#### 1.4 DISTRICT OCCUPANCY:

- A. The District will occupy the campus during the entire period of construction for certain administrative operations during the summer months. Cooperate with the District in all construction operations including the following to minimize conflict and to facilitate District usage.
- B. If and when it should be necessary for the Contractor to impact the day-to-day operations of District's functions in order to pursue the Work, the Contractor shall furnish at least 14 days notice to the District and coordinate the means and timing to avoid, minimize, or circumvent such impacts. The District reserves the right to assess and anticipate such impacts and the right to stop or postpone the Work until a mutually satisfactory time and means can be agreed upon. The Contractor shall include costs for delays caused by normal school operations and scheduled special events.

#### 1.5 CONTRACTOR'S USE OF THE PREMISES:

- A. The Contractor shall limit his use of the premises for construction activities and for storage, to allow for District occupancy or for construction activities by other Contractors.
- B. The Contractor shall be responsible for the following:
  - 1. Coordinate the use of the premises under the direction of the District and construction activities by other Contractors.
  - 2. Assume full responsibility for the protection and safekeeping of products under this Contract which are stored at the site.
  - 3. Move stored products that are under the Contractor's control, which interfere with operations of the District or the other Contractors.
  - 4. Obtain and pay for the use of additional storage or construction areas needed for operations.

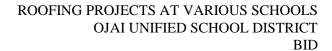
#### 1.6 COORDINATION OTHER DISTRICT CONTRACTORS:

A. The District may have separate contractors or vendors working on the site at the time of this project. The Contractor shall coordinate work activities to not interfere with other District work.

PART 2 - PRODUCTS (Not Applicable)

PART 3 - EXECUTION (Not Applicable)

**End of Section** 



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# MATILIJA JUNIOR HIGH SCHOOL ROOFING PROJECT NO. 2019-1608

# OJAI UNIFIED SCHOOL DISTRICT

	INLVIATIONS		
Ø	DIAMETER	HR.	HOUR
&	AND	HT.	HEIGHT
	CENTERLINE	INSUL.	INSULATION
	POUND OR NUMBER		INTERIOR
		INT.	_
A.B.		JT.	JOINT
ABV.	ABOVE	LAM.	LAMINATE
ACP	ACOUSTICAL CEILING PANEL	LAV.	LAVATORY
	AREA DRAIN	LT.	LIGHT
	ADJUSTABLE	MFR.	MANUFACTURER
A.F.F.	ABOVE FINISH FLOOR	MATR'L	MATERIAL
	ABOVE FINISH GRADE		MAXIMUM
ALUM.	ALUMINUM	M.B.	MACHINE BOLT
BLDG.	BUILDING	MECH.	MECHANICAL
BLKG.		MIN.	MINIMUM
BM.		MISC.	MISCELLANEOUS
B.O.B.		M.R.	MOISTURE RESISTANT
BOT.		MTL.	METAL
BTWN.		(N)	NEW
CAB.			NOT IN CONTRACT
	CALIFORNIA		NUMBER
C.F.O.I			NOT TO SCALE
	OWNER INSTALLED	O/	OVER
C.I.P.	CAST IN PLACE	O.C.	ON CENTER
CJ	CONSTRUCTION JOINT	O.F.C.I.	OWNER FURNISHED
C.J.	CONTROL JOINT		CONTACTOR INSTALLED
C.L.	CHAIN LINK	O.F.O.I.	OWNER FURNISHED
CLG.	CEILING	· · · · · · · · · · · · · · · · · · ·	OWNER INSTALLED
CLR.	CLEAR	OPP.	OPPOSITE
CMU	CONCRETE MASONRY UNIT	PB	PULL BOX
	CLEAN OUT		PERFORATED
			_
	CENTER OF COLUMN		PLATE OR PLASTIC
COL.	COLUMN	PLAST.	
COMP.	COMPOSITION		PLYWOOD
CONC.	CONCRETE CONSTRUCTION	PR.	PAIR
	CONSTRUCTION		PROJECTION
CONT.			PRESSURE TREATED
C.T.	CERAMIC TILE	R OR RAD	DOUGLAS FIR
DBL.	DOUBLE	R OR RAD	RADIUS
DF	DOUGLAS FIR	REFL.	REFLECTED
D.F.		REFRIG.	REFRIGERATOR
DFCI		REINF.	
	CONTRACTOR INSTALL		REINFORCEMENT
DIA	DIAMETER	REQ.	REQUIRED OR
	DIMENSION	rieg.	REQUIREMENTS
DN	DOWN	RM.	ROOM
	DOOR		SOLID CORE
DIV.	DRAWING	S.C.	SCHEDULE
DVVG	EXICTING	SUTIO	CHEATHING
			SHEATHING
EA		SHT.	
	EXPANSION JOINT	SIM.	
ELECT.	ELECTRICAL	SJ	SAWCUT JOINT
ELEV.	ELEVATION	S.M.S.	SHEET METAL SCREWS
EQ	EQUAL	SQ.	SQUARE
EQUIP.	EQUIPMENT	S.S.	STAINLESS STEEL
EXIST.	EQUIPMENT EXISTING	ST.	STANDARD
EXT.	EXTERIOR	STL.	STEEL
FD	FLOOR DRAIN FOUNDATION	STOR.	STORAGE
FDN.	FOUNDATION	STRUCT.	STRUCTURAL
	FIRE EXTINGUISHER		SUSPENDED
	FIRE EXTINGUISHER CABINET		TOP & BOTTOM
	FINISH FLOOR	TELID	TEMPERED
FIN.	FINISH	T.O.	TOP OF
FIN. FLR.	FLOOR	T.O. T.O.B.	TOP OF BEAM
F.O.C.		TS	TUBE STEEL
F.O.F.		T.W.	TOP OF WALL
F.O.S.		TYP.	TYPICAL
⊢RΔM/C	FRAMING	$\square$ $\square$ $\square$	LINI ESS NOTED OTHERW

UNLESS NOTED OTHERWISE

UNLESS OTHERWISE NOTED

VINYL COMPOSITION TILE

VERTICAL

WOOD

WEIGHT

VERTICAL GRAIN

VERIFY IN FIELD

WHERE OCCURS

WATER RESISTANT

WATERPROOF

DOUGLAS FIR

U.N.O.

U.O.N.

V.C.T.

V.I.F.

W/

WD.

W.O.

W.P.

W.R.

WT.

**ABBREVIATIONS** 

FRAM'G

FTG.

F.V.

HDR.

HORIZ.

FIBERGLASS REINFORCED

GYPSUM WALL BOARD

FOOT OR FEET

FIELD VERIFY

GALVANIZED

GYPSUM BOARD

HOT DIP GALV

HORIZONTAL

**HOLLOW METAL** 

HEADER

FOOTING

## **DEMOLITION NOTES**

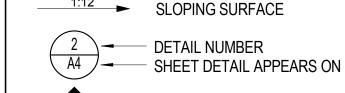
- 1. IDENTIFY ALL DAMAGED ELEMENTS DESIGNATED TO REMAIN OR BE RELOCATED. REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH DEMOLITION WORK.
- 2. GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND VERIFYING DEMOLITION PLANS IN RELATION TO STRUCTURAL AND CONSTRUCTION DRAWINGS. CONTRACTOR SHALL VERIFY AND COORDINATE THE EXTENT OF DEMOLITION WORK WITH NEW WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY AND ALL CONFLICTS, DISCREPANCIES OR PROBLEMS.
- 3. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO DEMOLITION. THE CONTRACTOR SHALL BEWARE OF POTENTIAL HAZARDS FROM DEMOLITION WORK NEAR UTILITIES. PIPES AND CONDUIT ENCOUNTERED IN DEMOLISHED PARTITIONS AND AREAS WHICH ARE TO REMAIN IN USE SHALL BE RE-ROUTED AND CONCEALED. THOSE WHICH ARE TO BE ABANDONED SHALL BE CAPPED AND CONCEALED IN FLOOR, WALL OR
- 4. THE GENERAL CONTRACTOR SHALL ERECT ALL NECESSARY TEMPORARY SOLID AND/OR PLASTIC DROP CLOTH PARTITIONS TO PROTECT AREAS TO REMAIN WHILE DEMOLITION AND CONSTRUCTION ARE IN PROGRESS.
- 5. BRACE AND SUPPORT EXISTING WORK PRIOR TO AND DURING DEMOLITION AND NEW WORK, AND UNTIL SAFE TO REMOVE SUCH BRACING AND SUPPORTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL SHORING DESIGN AND CALCULATIONS.
- 6. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK REQUIRED INCLUDING THE REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS, BROKEN CONCRETE, ETC., FROM THE SITE. PROPER SHORING SHALL BE EXECUTED FOR THE SAFETY OF THE STRUCTURE AND WORKMEN.
- 7. THE OWNER SHALL HAVE FIRST RIGHTS OF REFUSAL FOR ALL DEMOLISHED MATERIALS.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM DEMOLITION AT NO ADDITIONAL COST TO THE OWNER. THE GENERAL CONTRACTOR SHALL BE EXTREMELY CAREFUL TO PROTECT AND NOT TO DAMAGE ANY PORTION OF EXISTING INSTALLATION NOT BEING REMOVED. ANY EXISTING FACILITIES INDICATED TO REMAIN WHICH ARE SO DAMAGED SHALL BE REPLACED EQUAL TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER.
- 9. CUT EXISTING PORTIONS OF WALLS, FLOORS, CEILINGS, ETC., WHERE INDICATED AND AS NECESSARY FOR NEW WORK. UNLESS SPECIFICALLY SHOWN ON THESE PLANS, NO STRUCTURAL MEMBER SHALL BE CUT, NEITHER DRILLED NOR NOTCHED, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER, THE ARCHITECT AND THE AUTHORITY HAVING JURISDICTION.
- 10. ALL TRADES CONCERNED SHALL COORDINATE EACH OTHER'S WORKS PRIOR TO AND DURING DEMOLITION.
- 11. ANY PROJECTING OR SURFACE-MOUNTED ITEMS BEING ABANDONED SHALL BE REMOVED, CAPPED AND CONCEALED BEHIND FINISHED SURFACES, UNLESS OTHERWISE NOTED. PATCH AND FINISH TO MATCH EXISTING ADJACENT SURFACE.
- 12. SURFACES WHERE MATERIAL IS REMOVED TO INSTALL NEW WORK OR TO RECEIVE NEW FINISH SHALL BE REPAIRED AND PATCHED TO MATCH ORIGINAL CONDITIONS. RETEXTURE AND REPAINT WALL OR CEILING WHERE PATCHED TO MATCH EXISTING. WITH NO EVIDENCE THAT PATCH HAS OCCURRED.
- 13. ALL EXISTING AREAS TO REMAIN OR NEW CONSTRUCTION WORK THAT ARE DAMAGED SHALL BE PATCHED AS REQUIRED TO MATCH EXISTING ADJACENT AREA IN MATERIAL, FINISH AND COLOR, UNLESS OTHERWISE
- 14. ALL EQUIPMENT AND MATERIAL WHICH ARE IN OPERATING CONDITION WHEN REMOVED SHALL BE MAINTAINED AS SUCH AND RETURNED TO THE OWNER OR TO BE REINSTALLED WHERE INDICATED. PROPERLY RECONNECT EQUIPMENT TO RESUME OPERATION.

#### **GENERAL NOTES**

- 1. THE PROJECT MANUAL ISSUED AS PART OF THESE CONSTRUCTION DOCUMENTS IS AN INTEGRAL PART OF THE CONTRACT DOCUMENTS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THAT ALL WORKMANSHIP, MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE APPLICABLE CODES AND FEDERAL REQUIREMENTS AND REGULATIONS.
- 3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS PRIOR TO SUBMITTING A BID. THE CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- 4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, GRADES, ELEVATIONS AND DIMENSIONS BEFORE STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY OR INCONSISTENCY.
- 5. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL EXISTING UTILITY SERVICES IN THE AREA TO BE EXCAVATED PRIOR TO THE BEGINNING OF EXCAVATION. THE CONTRACTOR SHALL PROTECT ALL UTILITY LINES AND SERVICE LINES TO REMAIN WHICH ARE ENCOUNTERED DURING CONSTRUCTION
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ENFORCEMENT OF FEDERAL AND STATE OF CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REQUIREMENTS AND REGULATIONS.
- 7. DO NOT SCALE ANY DRAWINGS IN THIS SET.
- 8. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- 9. ALL OMISSIONS AND CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK SO INVOLVED. NO CHANGES ARE TO BE MADE UNLESS THE ARCHITECT AND THE OWNER ARE NOTIFIED IN WRITING AND APPROVE SUCH A CHANGE ACCORDING TO THE CONTRACT
- 10. THE ARCHITECT IS NOT RESPONSIBLE FOR ASBESTOS ABATEMENT.
- 11. TRADE NAMES AND MANUFACTURERS REFERRED TO ARE FOR QUALITY STANDARDS ONLY. SUBSTITUTIONS WILL BE PERMITTED AS APPROVED BY THE OWNER AND THE ARCHITECT ONLY UPON SUBMITTAL. AND FOR A LIMITED PERIOD.
- 12. ITEMS SHOWN AS N.I.C. ON PLANS MAY REQUIRE SEPARATE SUBMITTALS. APPROVALS AND PERMITS. INSTALLING CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR SUCH ITEMS.
- 13. CONTRACTOR SHALL ENSURE ALL FINISH MATERIALS WILL BE FLUSH WHERE NEW FINISH SURFACE MATERIALS JOIN EXISTING TO PROVIDE SMOOTH TRANSITION.
- 14. CONTRACTOR ACKNOWLEDGES THAT DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE TO REPRESENT THE INTENT OF THE WORK TO BE ACCOMPLISHED. CONTRACTOR IS TO INSTALL MATERIALS AND SYSTEMS WITH EXPERIENCED SKILLED CRAFTSMEN WHO WILL BE RESPONSIBLE FOR THE INTEGRITY OF THEIR RESPECTIVE WORK. NOT EVERY DETAIL OF EACH CONDITION IS DRAWN. CONTRACTOR AND SUB-CONTRACTOR ARE RESPONSIBLE FOR COMPLETE WORKMANLIKE INSTALLATION OF ALL MATERIALS AND SYSTEMS AND WILL NEED TO PROVIDE ADDITIONAL DETAILS FOR INSTALLATION BASED ON GENERAL INFORMATION SHOWN. FOR INSTANCE, NOT EVERY WATERPROOFING OR FLASHING DETAIL FOR EVERY CONDITION IS SHOWN. CONTRACTOR IS TO PROVIDE DETAILS AND INSTALLATION FOR A COMPLETE WATERTIGHT INSTALLATION.
- 15. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITION NOT COVERED BY THE CONTRACT DOCUMENTS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED, DETAILS AND SPECIFICATIONS FOR THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE AUTHORITY HAVING JURISDICTION BEFORE PROCEEDING WITH THE WORK.
- 16. DURING CONSTRUCTION PERIOD, CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. THE LOAD SHALL NOT EXCEED THE DESIGN LIVE LOADS FOR EACH PARTICULAR LEVEL.

### **LEGEND**

----- PROPERTY LINE



- SECTION NUMBER SHEET SECTION APPEARS ON

SHEET SECTION APPEARS ON

ELEVATION NUMBER

CONCRETE SOIL

**PLYWOOD** 

WOOD BLOCKING

WOOD CONTINUOUS MEMBER

**CONTROL POINT** 1222A

**KEYNOTE** 

DOOR NUMBER REFERENCE, REFER TO DOOR SCHEDULE

WINDOW NUMBER REFERENCE, REFER TO WINDOW TYPES

WORK POINT, CONNECTION POINT, DATUM POINT OR

C03A  $\langle 1A \rangle$ 

A3

WALL TYPE REFERENCE, REFER TO AD101-AD106

SIGN TYPE REFERENCE, REFER TO AD701 X' - X" TICK INDICATES DIMENSIONS TO FACE OF STUD, GRIDLINES

OR FACE OF STRUCTURE DOT INDICATES DIMENSION TO CENTERLINE

**APPLICABLE CODES** 

ARROW INDICATES DIMENSION TO F.O. FINISH OR CLEAR DIMENSION SPOT ELEVATION

#### PROJECT DIRECTORY

OJAI UNIFIED SCHOOL DISTRICT 414 E. OJAI AVE, OJAI, CA 93023 CONTACT: ADAM DUTTER

ARCHITECT

P: (805) 640-4300

ROESLING NAKAMURA TERADA ARCHITECTS, INC. 285 N VENTURA AVE, SUITE 102, VENTURA, CA 93001 CONTACT: CATHERINE YOUNG, NCARB P: (805) 626-5330

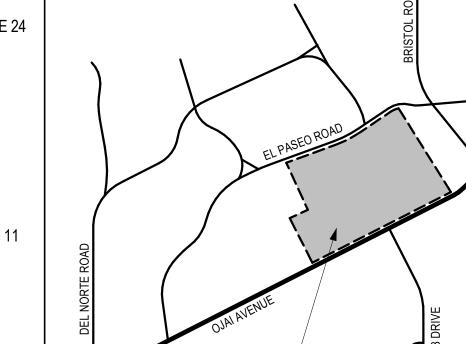
#### PROJECT DESCRIPTION

REMOVE AND REPLACE ROOF OF:  $\sim \sim \sim \sim \sim$ BUILDING Ø (ASPHALT SHINGLE) (BUILDING F (BUILT-UP ROOF) BUILDING C (BUILT-UP ROOF)

#### SHEET INDEX

G-000 TITLE SHEET AS-100 SITE PLAN D-100 ROOF DEMOLITION PLANS A-100 ROOF PLANS AD-100 ROOF DETAILS - TYPICAL

AD-101 ROOF DETAILS - TYPICAL



TITLE SHEET

17761.00 01/10/2019 Drawn by CLD Checked by CY Sheet Number

No. Description

Sheet Name

BID ADDEN. 01 3/15/2019

Roesling Nakamura

285 N Ventura Ave #102 Ventura, CA 93001 P805.626.5330 F805.626.5350

www.RNTarchitects.com

OJAI

**UNIFIED** 

SCHOOL

DISTRICT

**Terada Architects** 

G-000

**PROJECT SITE** MATILIJA JUNIOR

CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING PARTS OF THE TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS (CCR):

2016 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, C.C.R. TITLE 24 PART 1 AND 2

2016 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R. 2016 CALIFORNIA ELECTRICAL CODE (CEC), C.C.R. TITLE 24 PART 3 2016 CALIFORNIA MECHANICAL CODE (CMC), C.C.R. TITLE 24 PART 4 2016 CALIFORNIA PLUMBING CODE (CPC), C.C.R. TITLE 24 PART 5 2016 CALIFORNIA ENERGY CODE, C.C.R. TITLE 24 PART 6 2016 CALIFORNIA HISTORICAL CODE, C.C.R. TITLE 24 PART 8 2016 CALIFORNIA FIRE CODE, C.C.R. TITLE 24 PART 9 2016 CALIFORNIA EXISTING BUILDING CODE, C.C.R. TITLE 24 PART 10 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, C.C.R. TITLE 24 PART 11 2016 CALIFORNIA REFERENCED STANDARDS CODE, C.C.R. TITLE 24 PART 12 TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

#### **APPLICABLE STANDARDS:**

2016 CBC (FOR SFM) REFERENCED STANDARDS CHAPTER 35

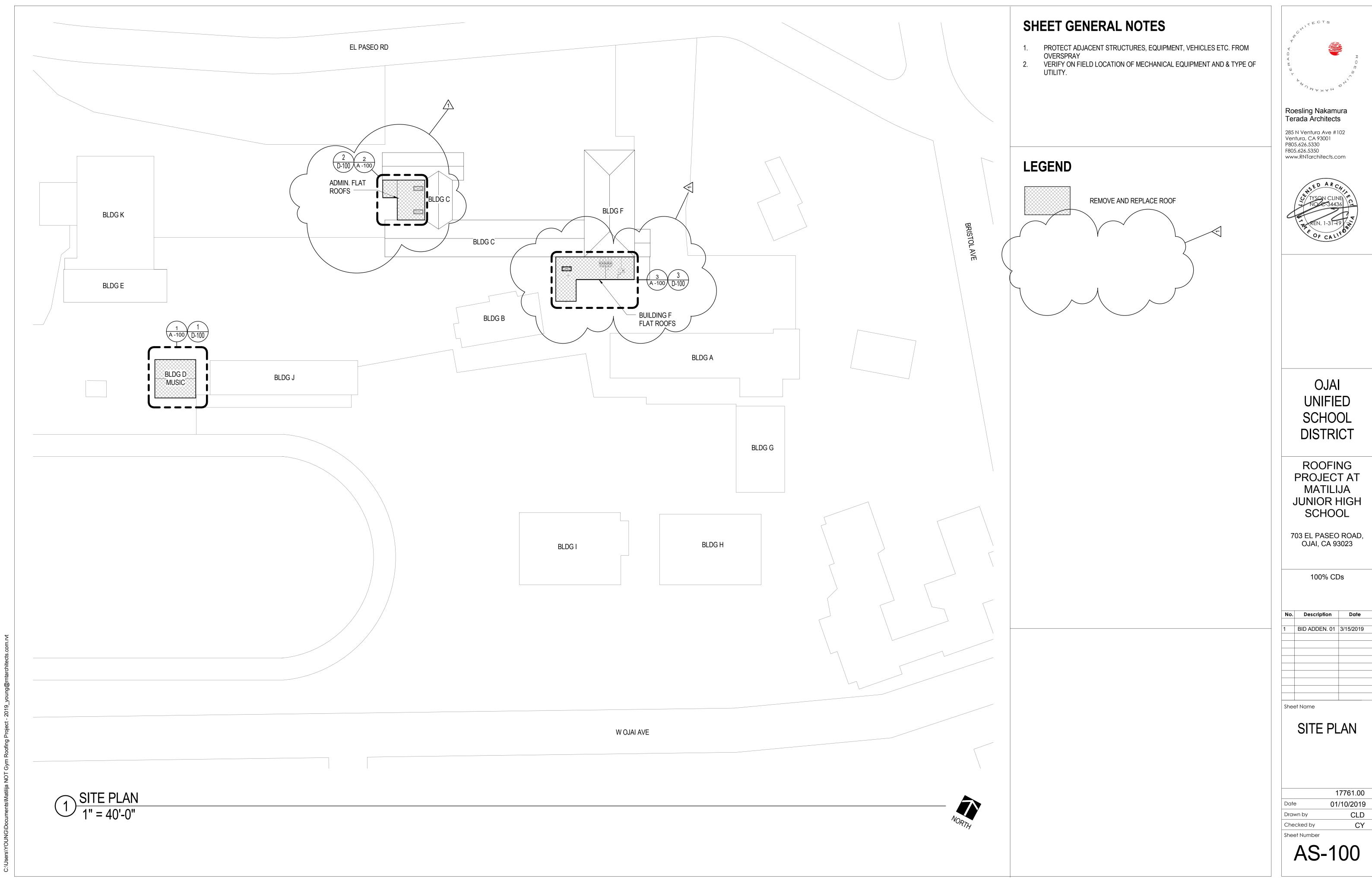
AUTOMATIC SPRINKLER SYSTEMS (CALIF. AMENDED), 2016 **EDITION** DRY CHEMICAL EXTINGUISHING SYSTEMS, 2017 EDITION NFPA 17 NFPA 17A WET CHEMICAL EXTINGUISHING SYSTEMS, 2017 EDITION PRIVATE FIRE SERVICE MAINS (CALIF. AMENDED), 2016 EDITION

NATIONAL FIRE ALARM CODE (CALIF. AMENDED), 2016 EDITION CRITICAL RADIANT FLUX OF FLOOR COVERINGS, 2015 EDITION NFPA 253 NFPA 2001 CLEAN AGENT FIRE EXTINGUISHING SYSTEMS (CALIF. AMENDED), 2015 EDITION

**ROOFING** PROJECT AT MATILIJA JUNIOR HIGH **SCHOOL** 703 EL PASEO ROAD. OJAI, CA 93023 100% CDs

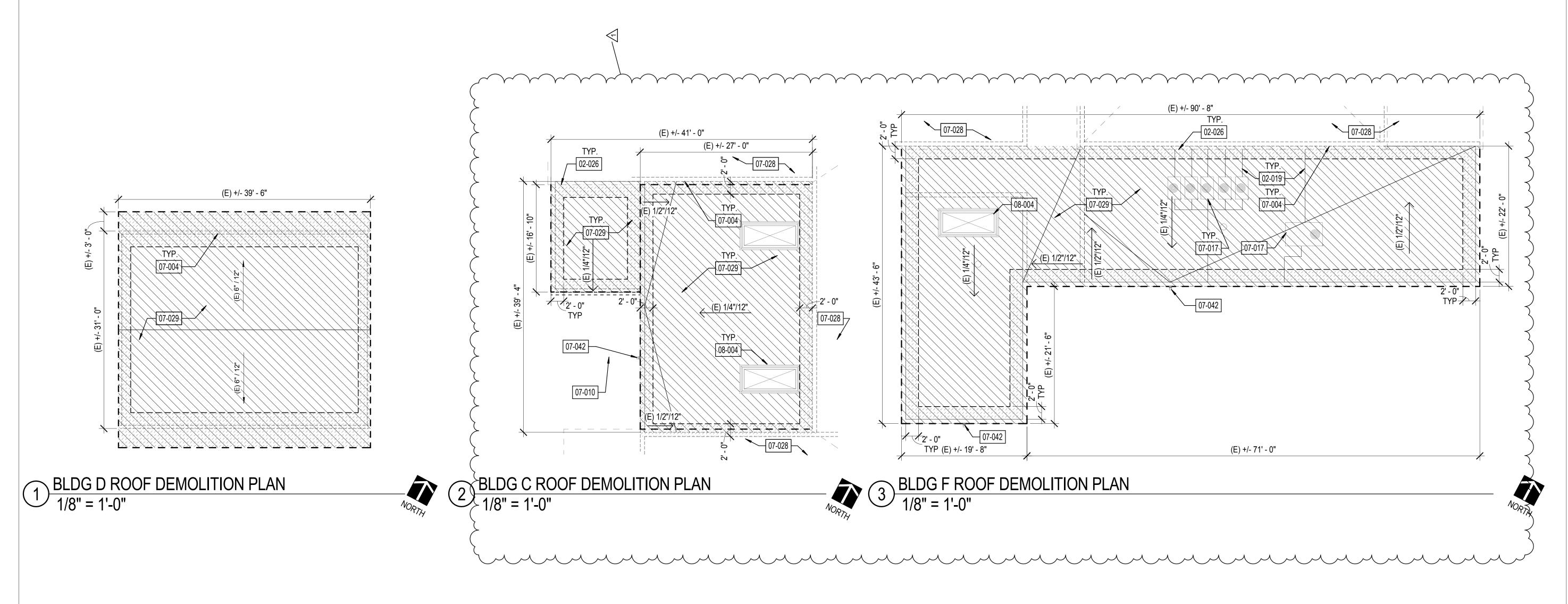
**VICINITY MAP** 

HIGH SCHOOL





01/10/2019 CY



Roesling Nakamura Terada Architects

Ventura, CA 93001 P805.626.5330 F805.626.5350 www.RNTarchitects.com



OJAI UNIFIED SCHOOL **DISTRICT** 

**ROOFING** PROJECT AT MATILIJA **JUNIOR HIGH** SCHOOL

703 EL PASEO ROAD, OJAI, CA 93023

100% CDs

٥.	Description	Date
	BID ADDEN. 01	3/15/2019

Sheet Name

**ROOF** DEMOLITION **PLANS** 

	17761.00
Date	01/10/19
Drawn by	CLD
Checked by	CY
Sheet Number	

D-100

# SHEET GENERAL NOTES

- EXISTING ROOF DEMOLITION REQUIRES REMOVAL OF ROOF MEMBRANE. AFTER REMOVAL OF ROOFING, THE ARCHITECT WILL REVIEW THE EXISTING PLYWOOD SUBSTRATE. IF PORTIONS OF PLYWOOD REQUIRE REPLACEMENT, THE ARCHITECT WILL IDENTIFY AND PROVIDE WRITTEN DIRECTION TO THE CONTRACTOR TO AUTHORIZE THE WORK. SUCH COSTS WILL BE APPLIED **AGAINST ALLOWANCE NO. 1.**
- EXISTING ROOFING MATERIALS SCHEDULED FOR DEMOLITION HAVE BEEN TESTED AND BEEN FOUND NOT TO CONTAIN ASBESTOS. THIS DOES NOT GUARANTEE THAT ALL ROOFING MATERIALS WILL BE FREE OF ASBESTOS. IF ASBESTOS IS FOUND, COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS FOR ASBESTOS ABATEMENT.
- DO NOT CUT INTO EXISTING PLYWOOD ROOF SHEATHING DURING ROOFING DEMOLITION. ANY PLYWOOD CUT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- DETACH UTILITIES FROM SUPPORTS AND TEMPORARILY SUPPORT AS REQUIRED TO REMOVE AND REPLACE ROOFING. REMOVE ALL EXISTING ROOF JACKS AT PIPE OR CONDUIT
- PENETRATIONS AND PREP TO RECEIVE NEW SEALED PENETRATION PER DETAIL 17/AD-100.
- VERIFY ON FIELD LOCATION OF MECHANICAL EQUIPMENT AND & TYPE OF UTILITY.

## **LEGEND**

REMOVE AND REPLACE ROOF

(E) EXHAUST FAN

 $\bigcirc$ 

\_ \_ \_ \_ \_ \_ \_ \_

ASSUMED ROOF SHEATHING REPLACEMENT AT EAVES/

**EDGES** 

(E) VENT PIPE THROUGH ROOF

(E) SKYLIGHT

**ROOF VENT** 

DEMOLISH (E) ITEM

(E) WALL BELOW

### **KEYNOTES**

PROTECT IN PLACE (E) ELECTRICAL LINES

02-026 LINE OF ROOF ABOVE

07-004 LINE OF (E) WALL BELOW 07-010 REMOVE (E) GUTTER AND (E) DOWNSPOUT

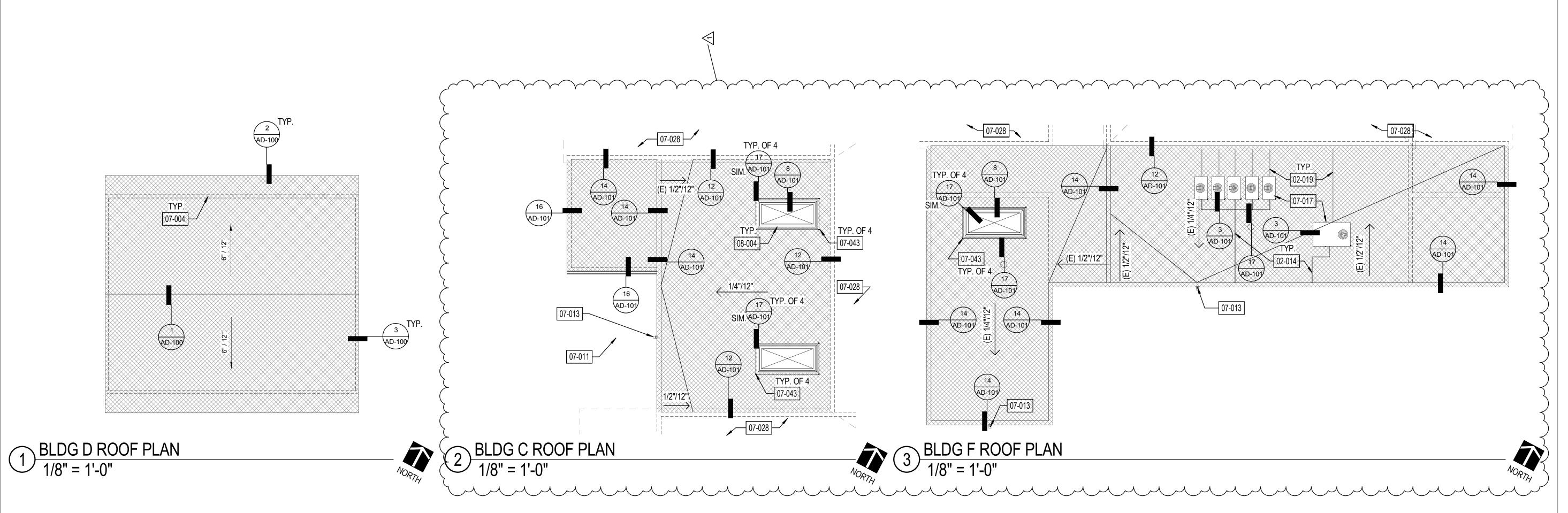
PROTECT IN PLACE (E) HVAC UNIT, DETACH & TEMPORARILY SUPPORT UNIT AS REQUIRED FOR ROOFING WORK

07-028 PROTECT IN PLACE (E) ROOF

07-029 DEMOLISH (E) ROOF

07-042 REMOVE SCUPPER W/ LEADERHEAD, REFER TO SPECS. FIELD VERIFY LOCATION

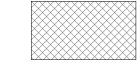
PROTECT IN PLACE (E) SKYLIGHT



# SHEET GENERAL NOTES

- ALL ITEMS ARE NEW UNLESS OTHERWISE NOTED.
- ANY ROOFING MEMBERS OBSERVED TO BE COMPROMISED TO BE REPLACED IN COMPLIACE WITH DSA-APPROVED EXISTING CONDITION DRAWINGS
- 3. INSTALL LIQUID FLASHING AT ALL PIPING ROOF PENETRATIONS PER DETAIL 17/AD-100.
- VERIFY ON FIELD LOCATION OF MECHANICAL EQUIPMENT AND & TYPE OF UTILITY.
- 5. REFER TO DEMO PLAN FOR DIM.

## **LEGEND**



ASPHALT SHINGLES OVER UNDERLAYMENT OVER (E) DECKING. REFER TO 5/AD-100 FOR ASSEMBLY.

(E) EXHAUST FAN

(E) VENT PIPE THROUGH ROOF

(E) SKYLIGHT

\_\_\_\_\_

(E) WALL BELOW

**ROOF VENT** 

# **KEYNOTES**

REINSTALL CONDENSATE LINE WITH TURN DOWN INTO GUTTER. 02-019

PROTECT IN PLACE (E) ELECTRICAL LINES

07-004 LINE OF (E) WALL BELOW

07-011 INSTALL GUTTER AND DOWNSPOUT

INSTALL SCUPPER W/ LEADERHEAD, REFER TO SPECS. FIELD VERIFY LOCATION

07-017 PROTECT IN PLACE (E) HVAC UNIT, DETACH & TEMPORARILY SUPPORT UNIT AS REQUIRED FOR ROOFING WORK

07-028 PROTECT IN PLACE (E) ROOF

DEMOUNT FOR REINSTALLATION (E) METAL FRAME AS REQUIRED FOR ROOFING WORK 07-043

PROTECT IN PLACE (E) SKYLIGHT

Roesling Nakamura Terada Architects

285 N Ventura Ave #102 Ventura, CA 93001 P805.626.5330 F805.626.5350 www.RNTarchitects.com



OJAI UNIFIED SCHOOL **DISTRICT** 

ROOFING PROJECT AT MATILIJA JUNIOR HIGH SCHOOL

703 EL PASEO ROAD, OJAI, CA 93023

100% CDs

No. Description

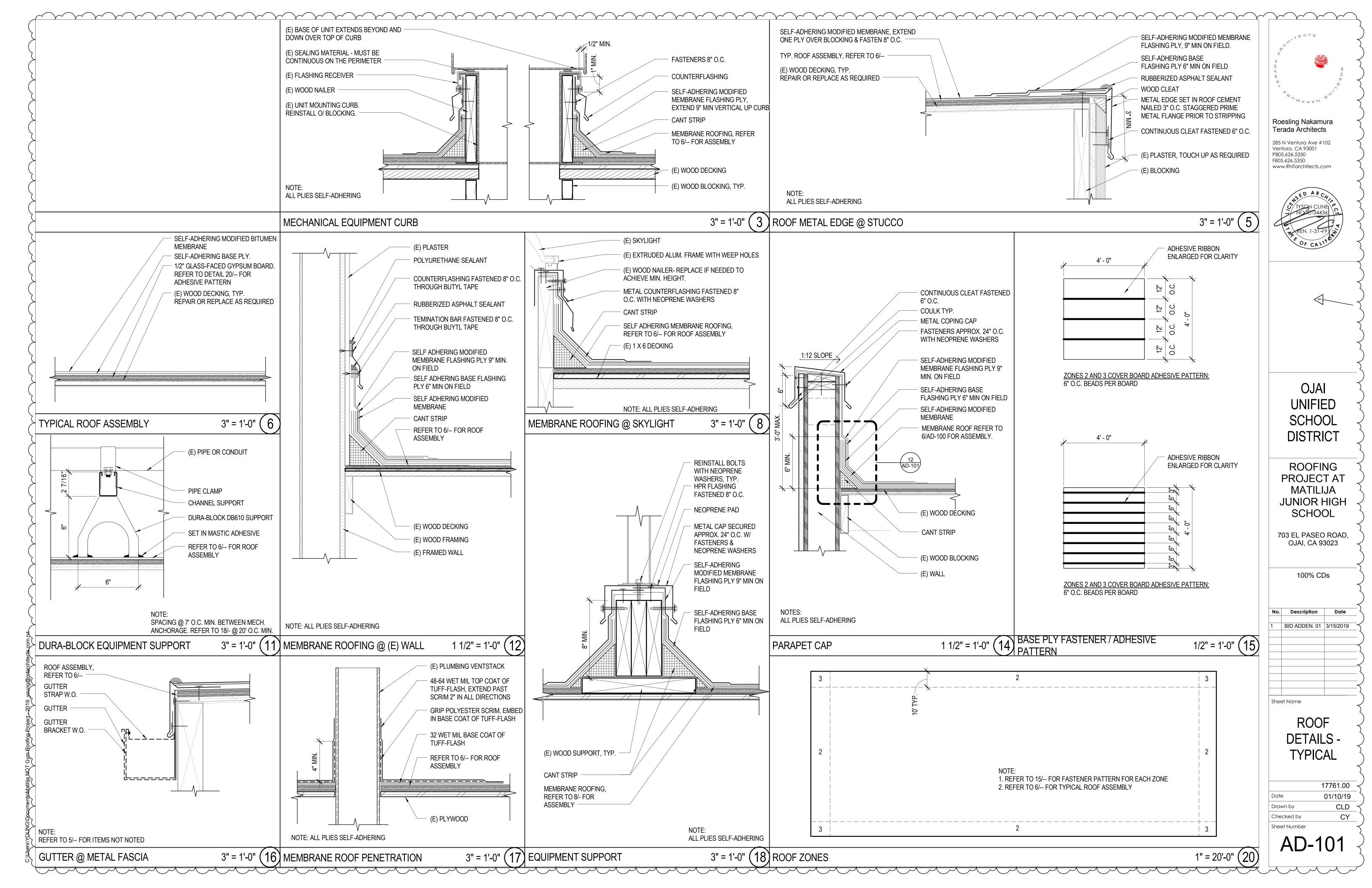
BID ADDEN. 01 3/15/2019

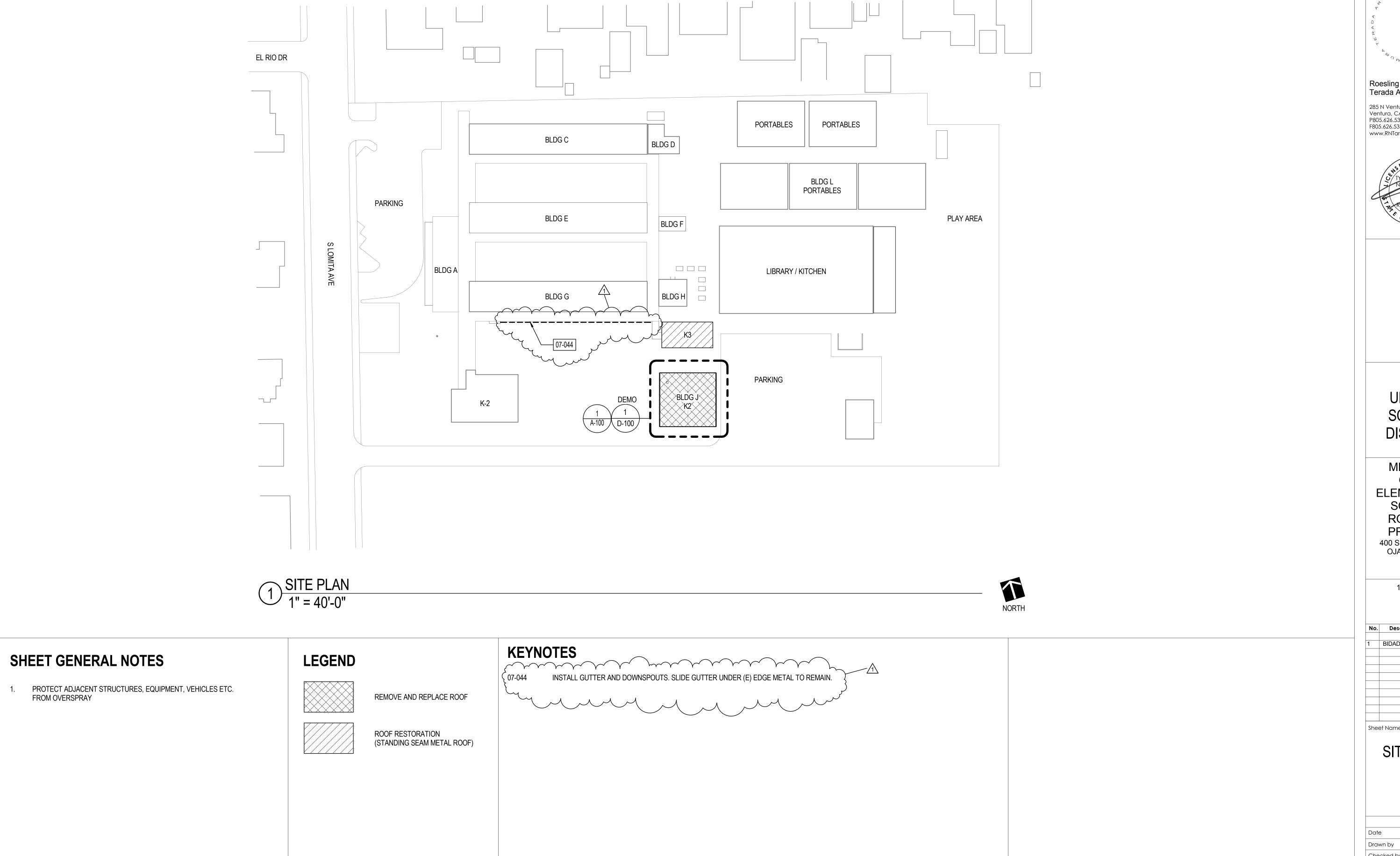
Sheet Name

ROOF PLANS

	17761.00
Date	01/10/19
Drawn by	CLD
Checked by	CY
Sheet Number	

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TECTS

ROMO

Roesling Nakamura Terada Architects

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OJAI UNIFIED SCHOOL DISTRICT

MEINERS
OAKS
ELEMENTARY
SCHOOL
ROOFING
PROJECT
400 S LOMITA AVE,
OJAI, CA 93023

100% CDs

No.	Description	Date
1	BIDADDEND. 01	3/15/2019

SITE PLAN

	17701.12
Date	01/10/2019
Drawn by	CLD
Checked by	CY
Sheet Number	

AS-100

# NORDHOFF HIGH SCHOOL ROOFING PROJECT NO. 2019-1713

# OJAI UNIFIED SCHOOL DISTRICT

### **ABBREVIATIONS**

ARR	REVIATIONS		
Ø	DIAMETER	HR.	HOUR
&	AND	HT.	HEIGHT
CL OR C	_	INSUL.	
#		INT.	_
A.B.		JT.	JOINT
ABV.			LAMINATE LAVATORY
ACP A.D.	AREA DRAIN		LIGHT
ADJ.	ADJUSTABLE	MFR.	MANUFACTURER
A.F.F.	ABOVE FINISH FLOOR	MATR'L	MATERIAL
A.F.G.	ABOVE FINISH GRADE	MAX.	MAXIMUM
	ALUMINUM	M.B.	
BLDG. BLKG.		MECH. MIN.	
BM	RFAM	MISC.	
B.O.B.	BOTTOM OF BEAM	M.R.	MOISTURE RESISTANT
BOT.	ROTTOM	MTL.	
BTWN.		(N)	
CAB.	CABINET CALIFORNIA	N.I.C. NO. OR#	NOT IN CONTRACT
C.F.O.I		N.T.S.	
	OWNER INSTALLED	0/	
C.I.P.	CAST IN PLACE	O.C.	
CJ	CONSTRUCTION JOINT	O.F.C.I.	OWNER FURNISHED
C.J. C.L.	CONTROL JOINT CHAIN LINK	O.F.O.I.	CONTACTOR INSTALLED OWNER FURNISHED
CLG.		O.F.O.I.	OWNER PORNISHED OWNER INSTALLED
CLR.		OPP.	OPPOSITE
CMU	CONCRETE MASONRY UNIT		PULL BOX
C.O.	CLEAN OUT		PERFORATED
C.O.C.	CENTER OF COLUMN COLUMN	PL.	PLATE OR PLASTIC
COL.			PLYWOOD
CONC.	CONCRETE	PR.	
CONSTR.	CONSTRUCTION		PROJECTION
			PRESSURE TREATED
C.T.	CERAMIC TILE	R OR RAD	DOUGLAS FIR
DBL. DF	DOUBLE DOUGLAS FIR DRINKING FOUNTAIN	R UK KAD REFI	REFLECTED
D.F.	DRINKING FOUNTAIN		
DFCI			
	CONTRACTOR INSTALL		REINFORCEMENT
DIA.		REQ. RM.	REQUIRED OR REQUIREMENT
DIM. DN	DIMENSION DOWN		ROOM SOLID CORE
DR.			SCHEDULE
			SHEATHING
(E)		SHT.	
EA	EACH EXPANSION JOINT	SIM.	SIMILAR
EJ   ELECT	ELECTRICAL	SM S	SHEET METAL SCREWS
			SQUARE
EQ	EQUAL		STAINLESS STEEL
EQUIP.	EQUIPMENT		STANDARD
EXIST.		STL.	
EXT. FD			STORAGE STRUCTURAL
FDN.			SUSPENDED
F.E.	FIRE EXTINGUISHER	T&B	TOP & BOTTOM
F.E.C.	FIRE EXTINGUISHER CABINET	TEMP.	
F.F.		T.O.	
FIN. FLR.	FINISH FLOOR	T.O.B. TS	TOP OF BEAM TUBE STEEL
F.O.C.	FACE OF CONCRETE	T.W.	TOP OF WALL
F.O.F.	FACE OF FINISH	TYP.	TYPICAL
F.O.S.	FACE OF STRUCTURE	U.N.O.	UNLESS NOTED OTHERWISE
FRAM'G	FRAMING	U.O.N.	UNLESS OTHERWISE NOTED
FRP	FIBERGLASS REINFORCED	V.C.T.	VINYL COMPOSITION TILE
ET	PANEL FOOT OR FEET	VERT.	VERTICAL CRAIN
FT. FTG.	FOOT OR FEET FOOTING	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
F.V.	FIELD VERIFY	V.I.F.	VERIFY IN FIELD
GA.	GAUGE	W/	WITH
GALV.	GALVANIZED	WD.	WOOD
GWB	GYPSUM WALL BOARD	W.O.	WHERE OCCURS
	GYPSUM BOARD		WATERPROOF
HDG HDR	HOT DIP GALV	W.R. WT	WATER RESISTANT WEIGHT

HDR.

HORIZ.

HEADER

HORIZONTAL

HOLLOW METAL

WEIGHT

### **DEMOLITION NOTES**

- 1. IDENTIFY ALL DAMAGED ELEMENTS DESIGNATED TO REMAIN OR BE RELOCATED. REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH DEMOLITION WORK.
- 2. GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND VERIFYING DEMOLITION PLANS IN RELATION TO STRUCTURAL AND CONSTRUCTION DRAWINGS. CONTRACTOR SHALL VERIFY AND COORDINATE THE EXTENT OF DEMOLITION WORK WITH NEW WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY AND ALL CONFLICTS, DISCREPANCIES OR PROBLEMS.
- 3. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO DEMOLITION. THE CONTRACTOR SHALL BEWARE OF POTENTIAL HAZARDS FROM DEMOLITION WORK NEAR UTILITIES. PIPES AND CONDUIT ENCOUNTERED IN DEMOLISHED PARTITIONS AND AREAS WHICH ARE TO REMAIN IN USE SHALL BE RE-ROUTED AND CONCEALED. THOSE WHICH ARE TO BE ABANDONED SHALL BE CAPPED AND CONCEALED IN FLOOR, WALL OR CEILING.
- 4. THE GENERAL CONTRACTOR SHALL ERECT ALL NECESSARY TEMPORARY SOLID AND/OR PLASTIC DROP CLOTH PARTITIONS TO PROTECT AREAS TO REMAIN WHILE DEMOLITION AND CONSTRUCTION ARE IN PROGRESS.
- 5. BRACE AND SUPPORT EXISTING WORK PRIOR TO AND DURING DEMOLITION AND NEW WORK, AND UNTIL SAFE TO REMOVE SUCH BRACING AND SUPPORTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL SHORING DESIGN AND CALCULATIONS.
- 6. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK REQUIRED INCLUDING THE REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS, BROKEN CONCRETE, ETC., FROM THE SITE. PROPER SHORING SHALL BE EXECUTED FOR THE SAFETY OF THE STRUCTURE AND WORKMEN.
- 7. THE OWNER SHALL HAVE FIRST RIGHTS OF REFUSAL FOR ALL DEMOLISHED MATERIALS.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM DEMOLITION AT NO ADDITIONAL COST TO THE OWNER. THE GENERAL CONTRACTOR SHALL BE EXTREMELY CAREFUL TO PROTECT AND NOT TO DAMAGE ANY PORTION OF EXISTING INSTALLATION NOT BEING REMOVED. ANY EXISTING FACILITIES INDICATED TO REMAIN WHICH ARE SO DAMAGED SHALL BE REPLACED EQUAL TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER.
- 9. CUT EXISTING PORTIONS OF WALLS, FLOORS, CEILINGS, ETC., WHERE INDICATED AND AS NECESSARY FOR NEW WORK. UNLESS SPECIFICALLY SHOWN ON THESE PLANS, NO STRUCTURAL MEMBER SHALL BE CUT, NEITHER DRILLED NOR NOTCHED, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER. THE ARCHITECT AND THE AUTHORITY HAVING JURISDICTION.
- 10. ALL TRADES CONCERNED SHALL COORDINATE EACH OTHER'S WORKS PRIOR TO AND DURING DEMOLITION.
- 11. ANY PROJECTING OR SURFACE-MOUNTED ITEMS BEING ABANDONED SHALL BE REMOVED, CAPPED AND CONCEALED BEHIND FINISHED SURFACES, UNLESS OTHERWISE NOTED. PATCH AND FINISH TO MATCH EXISTING ADJACENT SURFACE.
- 12. SURFACES WHERE MATERIAL IS REMOVED TO INSTALL NEW WORK OR TO RECEIVE NEW FINISH SHALL BE REPAIRED AND PATCHED TO MATCH ORIGINAL CONDITIONS. RETEXTURE AND REPAINT WALL OR CEILING WHERE PATCHED TO MATCH EXISTING, WITH NO EVIDENCE THAT PATCH HAS OCCURRED.
- ALL EXISTING AREAS TO REMAIN OR NEW CONSTRUCTION WORK THAT ARE DAMAGED SHALL BE PATCHED AS REQUIRED TO MATCH EXISTING ADJACENT AREA IN MATERIAL, FINISH AND COLOR, UNLESS OTHERWISE
- 14. ALL EQUIPMENT AND MATERIAL WHICH ARE IN OPERATING CONDITION WHEN REMOVED SHALL BE MAINTAINED AS SUCH AND RETURNED TO THE OWNER OR TO BE REINSTALLED WHERE INDICATED. PROPERLY RECONNECT EQUIPMENT TO RESUME OPERATION.

#### **GENERAL NOTES**

- 1. THE PROJECT MANUAL ISSUED AS PART OF THESE CONSTRUCTION DOCUMENTS IS AN INTEGRAL PART OF THE CONTRACT DOCUMENTS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THAT ALL WORKMANSHIP, MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE APPLICABLE CODES AND FEDERAL REQUIREMENTS AND REGULATIONS.
- 3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS PRIOR TO SUBMITTING A BID. THE CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- 4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, GRADES, ELEVATIONS AND DIMENSIONS BEFORE STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY OR INCONSISTENCY
- 5. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL EXISTING UTILITY SERVICES IN THE AREA TO BE EXCAVATED PRIOR TO THE BEGINNING OF EXCAVATION. THE CONTRACTOR SHALL PROTECT ALL UTILITY LINES AND SERVICE LINES TO REMAIN WHICH ARE ENCOUNTERED DURING
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ENFORCEMENT OF FEDERAL AND STATE OF CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REQUIREMENTS AND REGULATIONS.
- 7. DO NOT SCALE ANY DRAWINGS IN THIS SET.
- 8. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS. SECTIONS AND DETAILS. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- 9. ALL OMISSIONS AND CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK SO INVOLVED. NO CHANGES ARE TO BE MADE UNLESS THE ARCHITECT AND THE OWNER ARE NOTIFIED IN WRITING AND APPROVE SUCH A CHANGE ACCORDING TO THE CONTRACT.
- 10. THE ARCHITECT IS NOT RESPONSIBLE FOR ASBESTOS ABATEMENT.
- 11. TRADE NAMES AND MANUFACTURERS REFERRED TO ARE FOR QUALITY STANDARDS ONLY. SUBSTITUTIONS WILL BE PERMITTED AS APPROVED BY THE OWNER AND THE ARCHITECT ONLY UPON SUBMITTAL, AND FOR A LIMITED PERIOD.
- 12. ITEMS SHOWN AS N.I.C. ON PLANS MAY REQUIRE SEPARATE SUBMITTALS. APPROVALS AND PERMITS. INSTALLING CONTRACTOR IS RESPONSIBLE FOR **OBTAINING PERMITS FOR SUCH ITEMS.**
- 13. CONTRACTOR SHALL ENSURE ALL FINISH MATERIALS WILL BE FLUSH WHERE NEW FINISH SURFACE MATERIALS JOIN EXISTING TO PROVIDE SMOOTH TRANSITION.
- 14. CONTRACTOR ACKNOWLEDGES THAT DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE TO REPRESENT THE INTENT OF THE WORK TO BE ACCOMPLISHED. CONTRACTOR IS TO INSTALL MATERIALS AND SYSTEMS WITH EXPERIENCED SKILLED CRAFTSMEN WHO WILL BE RESPONSIBLE FOR
- THE INTEGRITY OF THEIR RESPECTIVE WORK. NOT EVERY DETAIL OF EACH CONDITION IS DRAWN. CONTRACTOR AND SUB-CONTRACTOR ARE RESPONSIBLE FOR COMPLETE WORKMANLIKE INSTALLATION OF ALL MATERIALS AND SYSTEMS AND WILL NEED TO PROVIDE ADDITIONAL DETAILS FOR INSTALLATION BASED ON GENERAL INFORMATION SHOWN. FOR INSTANCE, NOT EVERY WATERPROOFING OR FLASHING DETAIL FOR EVERY CONDITION IS SHOWN. CONTRACTOR IS TO PROVIDE DETAILS AND INSTALLATION FOR A COMPLETE WATERTIGHT INSTALLATION.
- 15. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITION NOT COVERED BY THE CONTRACT DOCUMENTS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED, DETAILS AND SPECIFICATIONS FOR THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE AUTHORITY HAVING JURISDICTION BEFORE PROCEEDING WITH THE WORK.
- DURING CONSTRUCTION PERIOD, CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. THE LOAD SHALL NOT EXCEED THE DESIGN LIVE LOADS FOR EACH PARTICULAR LEVEL.

#### APPLICABLE CODES

CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING PARTS OF THE TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS (CCR):

2016 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, C.C.R. TITLE 24 PART 1 AND 2

2016 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R. 2016 CALIFORNIA ELECTRICAL CODE (CEC), C.C.R. TITLE 24 PART 3 2016 CALIFORNIA MECHANICAL CODE (CMC), C.C.R. TITLE 24 PART 4 2016 CALIFORNIA PLUMBING CODE (CPC), C.C.R. TITLE 24 PART 5 2016 CALIFORNIA ENERGY CODE, C.C.R. TITLE 24 PART 6 2016 CALIFORNIA HISTORICAL CODE, C.C.R. TITLE 24 PART 8 2016 CALIFORNIA FIRE CODE, C.C.R. TITLE 24 PART 9 2016 CALIFORNIA EXISTING BUILDING CODE, C.C.R. TITLE 24 PART 10 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, C.C.R. TITLE 24 PART 11

2016 CALIFORNIA REFERENCED STANDARDS CODE, C.C.R. TITLE 24 PART 12

TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

#### **APPLICABLE STANDARDS**

2016 CBC (FOR SFM) REFERENCED STANDARDS CHAPTER 35

AUTOMATIC SPRINKLER SYSTEMS (CALIF. AMENDED), 2016 EDITION

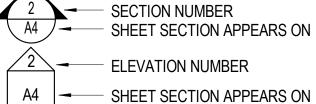
DRY CHEMICAL EXTINGUISHING SYSTEMS, 2017 EDITION WET CHEMICAL EXTINGUISHING SYSTEMS, 2017 EDITION PRIVATE FIRE SERVICE MAINS (CALIF. AMENDED), 2016 EDITION NATIONAL FIRE ALARM CODE (CALIF. AMENDED), 2016 EDITION CRITICAL RADIANT FLUX OF FLOOR COVERINGS, 2015 EDITION CLEAN AGENT FIRE EXTINGUISHING SYSTEMS (CALIF. AMENDED), NFPA 2001

**LEGEND** 

# — – PROPERTY LINE 1:12 ► SLOPING SURFACE

2015 EDITION

**→** DETAIL NUMBER A4 - SHEET DETAIL APPEARS ON





CONCRETE

**PLYWOOD** 

WOOD BLOCKING WOOD CONTINUOUS MEMBER

**CONTROL POINT** 



WORK POINT, CONNECTION POINT, DATUM POINT OR



**KEYNOTE** 



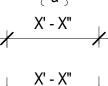
WINDOW NUMBER REFERENCE, REFER TO WINDOW TYPES

DOOR NUMBER REFERENCE, REFER TO DOOR SCHEDULE



WALL TYPE REFERENCE, REFER TO AD101-AD106

SIGN TYPE REFERENCE, REFER TO AD701



TICK INDICATES DIMENSIONS TO FACE OF STUD. GRIDLINES OR FACE OF STRUCTURE

DOT INDICATES DIMENSION TO CENTERLINE

ARROW INDICATES DIMENSION TO F.O. FINISH OR CLEAR DIMENSION

SPOT ELEVATION

# SHEET INDEX

G-000 TITLE SHEET SITE PLAN

BLDG H - ROOF DEMOLITION PLAN BLDG I & J - ROOF DEMOLITION PLANS BLDG F - ROOF DEMOLITION PLAN BLDG G - ROOF DEMOLITION PLANS

BLDG H - ROOF PLAN BLDG I & J - ROOF PLANS BLDG F - ROOF PLAN BLDG G - ROOF PLANS

**ROOF DETAILS - TYPICAL ROOF DETAILS - TYPICAL** 

### PROJECT DIRECTORY

CLIENT OJAI UNIFIED SCHOOL DISTRICT 414 E. OJAI AVE

OJAI, CA 93023 CONTACT: ADAM DUTTER P: (805) 640-4300

#### **ARCHITECT**

ROESLING NAKAMURA TERADA ARCHITECTS, INC. 285 N VENTURA AVE, SUITE 102 VENTURA. CA 93001 CONTACT: CATHERINE YOUNG P: (805) 626-5330

### PROJECT DESCRIPTION

REMOVE AND REPLACE ROOF OF:

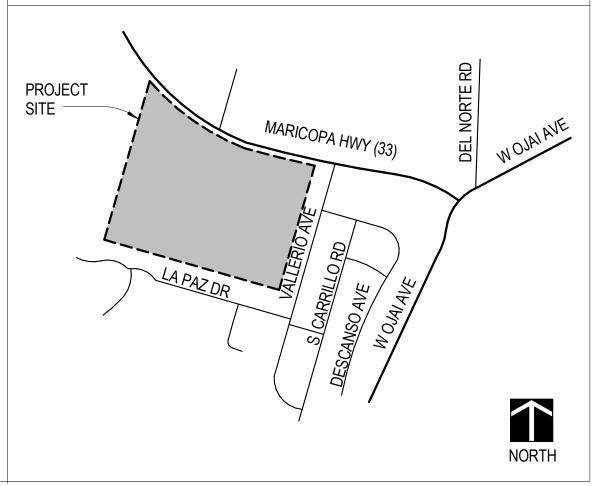
**BUILDING F BUILDING G BUILDING H BUILDING I BUILDING J** 

**ROOF RESTORATION OF:** 

#### BUILDING Q (BUILT-UP ROOFING)

OPTIONAL **BID ALTERNATE 01**: SAW CUT (E) CONCRETE TO CONNECT DOWN SPOUTS TO (E) STORM DRAIN AS INDICATED AND REPLACE CONCRETE WITH MATCHING CONCRETE.

### **VICINITY MAP**





285 N Ventura Ave #102 Ventura, CA 93001 P805.626.5330 F805.626.5350 www.RNTarchitects.com



# OJAI **UNIFIED** SCHOOL DISTRICT

NORDHOFF HIGH SCHOOL **ROOFING PROJECT** 

1401 MARICOPA HWY, OJAI, CA 93023

100% CDs

No. Description BID ADDEND. 1 3/15/2019

Sheet Name

TITLE SHEET

	17761.11
Date	01/10/2019
Orawn by	CLD
Checked by	CY
heat Number	

# NORDHOFF HIGH SCHOOL ROOFING PROJECT NO. 2019-1713

# OJAI UNIFIED SCHOOL DISTRICT

### **ABBREVIATIONS**

	ARR	REVIATIONS		
	Ø	DIAMETER	HR.	HOUR
	CL OR C	AND CENTERLINE POUND OR NUMBER	INSUL.	HEIGHT INSULATION
	#	POUND OR NUMBER	IIN I .	INTERIOR
	A.B.	ANCHOR BOLT	JT.	JOINT
	ABV.			LAMINATE
	ACP	ACOUSTICAL CEILING PANEL AREA DRAIN	LAV. LT.	LICHT
		ADJUSTABLE		MANUFACTURER
	A.F.F.	ABOVE FINISH FLOOR	MATR'L	MATERIAL
		ABOVE FINISH GRADE		
	ALUM.	ALUMINUM	M.B.	
	BLDG.	BUILDING	MECH.	
	BLKG.	BUILDING BLOCKING BEAM	MIN.	_
	B O B	BOTTOM OF BEAM	MR	MISCELLANEOUS MOISTURE RESISTANT
	BOT.	BOTTOM	MTL.	
	BTWN.	BOTTOM BETWEEN CABINET CALIFORNIA	(N)	
	CAB.	CABINET	N.I.C.	NOT IN CONTRACT
	CALIF.	CALIFORNIA	NO. OR #	
	C.F.O.I		N.T.S.	
	C.I.P.	OWNER INSTALLED CAST IN PLACE	O/ O.C.	
	CJ	CONSTRUCTION JOINT		
	C.J.		· · · · · · · · · · · · · · · · · · ·	CONTACTOR INSTALLED
	C.L.	CONTROL JOINT CHAIN LINK	O.F.O.I.	OWNER FURNISHED
	CLG.	CEILING	0.00	OWNER INSTALLED
		CLEAR	OPP.	
		CONCRETE MASONRY UNIT		PULL BOX PERFORATED
	C.O.C.	CENTER OF COLUMN	PL.	PLATE OR PLASTIC
	COL.	CENTER OF COLUMN COLUMN COMPOSITION	PLAST.	PLASTER
	COMP.	COMPOSITION	PLYWD.	PLYWOOD
	CONC.	CONCRETE	PR.	PAIR
	CONSTR.	COMPOSITION CONCRETE CONSTRUCTION CONTINUOUS CERAMIC TILE	PROJ. PTDF	PRESSURE TREATED
	C.T.	CERAMIC TILE DOUBLE DOUGLAS FIR DRINKING FOUNTAIN	Ι.Ι.Δ.Ι.	DOUGLAS FIR
	DBL.	DOUBLE	R OR RAD	RADIUS
	DF	DOUGLAS FIR	REFL.	REFLECTED
	DFCI	DISTRICT FURNISHED CONTRACTOR INSTALL	KEINF.	REINFORCEMENT
	DIA.	DIAMETER		REQUIRED OR REQUIREMENTS
	DIM.	DIMENSION	RM.	
		DOWN		SOLID CORE
	DR.			SCHEDULE
		DRAWING EXISTING	SHT'G SHT.	SHEATHING
	EA	FACH	SIM	SIMILAR
	EJ	EXPANSION JOINT	SJ	SAWCUT JOINT
	ELECT.	ELECTRICAL	S.M.S.	SHEET METAL SCREWS
	ELEV.	ELEVATION	SQ.	SQUARE
	EOLIID			STAINLESS STEEL STANDARD
	EXIST.	EXISTING	STL.	STEEL
	EXT.	EXISTING EXTERIOR	STOR.	STORAGE
	FD	FLOOR DRAIN	STRUCT.	STRUCTURAL
		FOUNDATION FIRE EXTINGUISHER		SUSPENDED
		FIRE EXTINGUISHER CABINET		
		FINISH FLOOR	T.O.	
	FIN.	FINISH	T.O.B.	TOP OF BEAM
	FLR.	FLOOR	TS	TUBE STEEL
	F.O.C.	FACE OF CONCRETE	T.W.	TOP OF WALL
)	F.O.F. F.O.S.	FACE OF FINISH FACE OF STRUCTURE	TYP. U.N.O.	TYPICAL UNLESS NOTED OTHERWISE
,	FRAM'G	FRAMING	U.O.N.	UNLESS OTHERWISE NOTED
Ì	FRP	FIBERGLASS REINFORCED	V.C.T.	VINYL COMPOSITION TILE
		PANEL	VERT.	VERTICAL
	FT.	FOOTING	V.G.D.F.	VERTICAL GRAIN
•	FTG. F.V.	FOOTING FIELD VERIFY	V.I.F.	DOUGLAS FIR VERIFY IN FIELD
)	GA.	GAUGE	V.I.F. W/	WITH
	GALV.	GALVANIZED	WD.	WOOD
	GWB	GYPSUM WALL BOARD	W.O.	WHERE OCCURS
	GYP. BD.		W.P.	WATERPROOF
	HDG HDR	HOT DIP GALV HEADER	W.R. wt	WATER RESISTANT WEIGHT

HDR.

HORIZ.

HEADER

HORIZONTAL

HOLLOW METAL

WEIGHT

### **DEMOLITION NOTES**

- 1. IDENTIFY ALL DAMAGED ELEMENTS DESIGNATED TO REMAIN OR BE RELOCATED. REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH DEMOLITION WORK.
- 2. GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND VERIFYING DEMOLITION PLANS IN RELATION TO STRUCTURAL AND CONSTRUCTION DRAWINGS. CONTRACTOR SHALL VERIFY AND COORDINATE THE EXTENT OF DEMOLITION WORK WITH NEW WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY AND ALL CONFLICTS, DISCREPANCIES OR PROBLEMS.
- 3. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO DEMOLITION. THE CONTRACTOR SHALL BEWARE OF POTENTIAL HAZARDS FROM DEMOLITION WORK NEAR UTILITIES. PIPES AND CONDUIT ENCOUNTERED IN DEMOLISHED PARTITIONS AND AREAS WHICH ARE TO REMAIN IN USE SHALL BE RE-ROUTED AND CONCEALED. THOSE WHICH ARE TO BE ABANDONED SHALL BE CAPPED AND CONCEALED IN FLOOR, WALL OR CEILING.
- 4. THE GENERAL CONTRACTOR SHALL ERECT ALL NECESSARY TEMPORARY SOLID AND/OR PLASTIC DROP CLOTH PARTITIONS TO PROTECT AREAS TO REMAIN WHILE DEMOLITION AND CONSTRUCTION ARE IN PROGRESS.
- 5. BRACE AND SUPPORT EXISTING WORK PRIOR TO AND DURING DEMOLITION AND NEW WORK, AND UNTIL SAFE TO REMOVE SUCH BRACING AND SUPPORTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL SHORING DESIGN AND CALCULATIONS.
- 6. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK REQUIRED INCLUDING THE REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS, BROKEN CONCRETE, ETC., FROM THE SITE. PROPER SHORING SHALL BE EXECUTED FOR THE SAFETY OF THE STRUCTURE AND WORKMEN.
- 7. THE OWNER SHALL HAVE FIRST RIGHTS OF REFUSAL FOR ALL DEMOLISHED MATERIALS.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM DEMOLITION AT NO ADDITIONAL COST TO THE OWNER. THE GENERAL CONTRACTOR SHALL BE EXTREMELY CAREFUL TO PROTECT AND NOT TO DAMAGE ANY PORTION OF EXISTING INSTALLATION NOT BEING REMOVED. ANY EXISTING FACILITIES INDICATED TO REMAIN WHICH ARE SO DAMAGED SHALL BE REPLACED EQUAL TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER.
- 9. CUT EXISTING PORTIONS OF WALLS, FLOORS, CEILINGS, ETC., WHERE INDICATED AND AS NECESSARY FOR NEW WORK. UNLESS SPECIFICALLY SHOWN ON THESE PLANS, NO STRUCTURAL MEMBER SHALL BE CUT, NEITHER DRILLED NOR NOTCHED, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER. THE ARCHITECT AND THE AUTHORITY HAVING JURISDICTION.
- 10. ALL TRADES CONCERNED SHALL COORDINATE EACH OTHER'S WORKS PRIOR TO AND DURING DEMOLITION.
- 11. ANY PROJECTING OR SURFACE-MOUNTED ITEMS BEING ABANDONED SHALL BE REMOVED, CAPPED AND CONCEALED BEHIND FINISHED SURFACES, UNLESS OTHERWISE NOTED. PATCH AND FINISH TO MATCH EXISTING ADJACENT SURFACE.
- 12. SURFACES WHERE MATERIAL IS REMOVED TO INSTALL NEW WORK OR TO RECEIVE NEW FINISH SHALL BE REPAIRED AND PATCHED TO MATCH ORIGINAL CONDITIONS. RETEXTURE AND REPAINT WALL OR CEILING WHERE PATCHED TO MATCH EXISTING, WITH NO EVIDENCE THAT PATCH HAS OCCURRED.
- ALL EXISTING AREAS TO REMAIN OR NEW CONSTRUCTION WORK THAT ARE DAMAGED SHALL BE PATCHED AS REQUIRED TO MATCH EXISTING ADJACENT AREA IN MATERIAL, FINISH AND COLOR, UNLESS OTHERWISE
- 14. ALL EQUIPMENT AND MATERIAL WHICH ARE IN OPERATING CONDITION WHEN REMOVED SHALL BE MAINTAINED AS SUCH AND RETURNED TO THE OWNER OR TO BE REINSTALLED WHERE INDICATED. PROPERLY RECONNECT EQUIPMENT TO RESUME OPERATION.

#### **GENERAL NOTES**

- 1. THE PROJECT MANUAL ISSUED AS PART OF THESE CONSTRUCTION DOCUMENTS IS AN INTEGRAL PART OF THE CONTRACT DOCUMENTS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THAT ALL WORKMANSHIP, MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE APPLICABLE CODES AND FEDERAL REQUIREMENTS AND REGULATIONS.
- 3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS PRIOR TO SUBMITTING A BID. THE CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- 4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, GRADES, ELEVATIONS AND DIMENSIONS BEFORE STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY OR INCONSISTENCY
- 5. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL EXISTING UTILITY SERVICES IN THE AREA TO BE EXCAVATED PRIOR TO THE BEGINNING OF EXCAVATION. THE CONTRACTOR SHALL PROTECT ALL UTILITY LINES AND SERVICE LINES TO REMAIN WHICH ARE ENCOUNTERED DURING
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ENFORCEMENT OF FEDERAL AND STATE OF CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REQUIREMENTS AND REGULATIONS.
- 7. DO NOT SCALE ANY DRAWINGS IN THIS SET.
- 8. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS. SECTIONS AND DETAILS. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- 9. ALL OMISSIONS AND CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK SO INVOLVED. NO CHANGES ARE TO BE MADE UNLESS THE ARCHITECT AND THE OWNER ARE NOTIFIED IN WRITING AND APPROVE SUCH A CHANGE ACCORDING TO THE CONTRACT.
- 10. THE ARCHITECT IS NOT RESPONSIBLE FOR ASBESTOS ABATEMENT.
- 11. TRADE NAMES AND MANUFACTURERS REFERRED TO ARE FOR QUALITY STANDARDS ONLY. SUBSTITUTIONS WILL BE PERMITTED AS APPROVED BY THE OWNER AND THE ARCHITECT ONLY UPON SUBMITTAL, AND FOR A LIMITED PERIOD.
- 12. ITEMS SHOWN AS N.I.C. ON PLANS MAY REQUIRE SEPARATE SUBMITTALS. APPROVALS AND PERMITS. INSTALLING CONTRACTOR IS RESPONSIBLE FOR **OBTAINING PERMITS FOR SUCH ITEMS.**
- 13. CONTRACTOR SHALL ENSURE ALL FINISH MATERIALS WILL BE FLUSH WHERE NEW FINISH SURFACE MATERIALS JOIN EXISTING TO PROVIDE SMOOTH TRANSITION.
- 14. CONTRACTOR ACKNOWLEDGES THAT DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE TO REPRESENT THE INTENT OF THE WORK TO BE ACCOMPLISHED. CONTRACTOR IS TO INSTALL MATERIALS AND SYSTEMS WITH EXPERIENCED SKILLED CRAFTSMEN WHO WILL BE RESPONSIBLE FOR
- THE INTEGRITY OF THEIR RESPECTIVE WORK. NOT EVERY DETAIL OF EACH CONDITION IS DRAWN. CONTRACTOR AND SUB-CONTRACTOR ARE RESPONSIBLE FOR COMPLETE WORKMANLIKE INSTALLATION OF ALL MATERIALS AND SYSTEMS AND WILL NEED TO PROVIDE ADDITIONAL DETAILS FOR INSTALLATION BASED ON GENERAL INFORMATION SHOWN. FOR INSTANCE, NOT EVERY WATERPROOFING OR FLASHING DETAIL FOR EVERY CONDITION IS SHOWN. CONTRACTOR IS TO PROVIDE DETAILS AND INSTALLATION FOR A COMPLETE WATERTIGHT INSTALLATION.
- 15. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITION NOT COVERED BY THE CONTRACT DOCUMENTS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED, DETAILS AND SPECIFICATIONS FOR THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE AUTHORITY HAVING JURISDICTION BEFORE PROCEEDING WITH THE WORK.
- DURING CONSTRUCTION PERIOD, CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. THE LOAD SHALL NOT EXCEED THE DESIGN LIVE LOADS FOR EACH PARTICULAR LEVEL.

#### APPLICABLE CODES

CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING PARTS OF THE TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS (CCR):

2016 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, C.C.R. TITLE 24 PART 1 AND 2

2016 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R. 2016 CALIFORNIA ELECTRICAL CODE (CEC), C.C.R. TITLE 24 PART 3 2016 CALIFORNIA MECHANICAL CODE (CMC), C.C.R. TITLE 24 PART 4 2016 CALIFORNIA PLUMBING CODE (CPC), C.C.R. TITLE 24 PART 5 2016 CALIFORNIA ENERGY CODE, C.C.R. TITLE 24 PART 6 2016 CALIFORNIA HISTORICAL CODE, C.C.R. TITLE 24 PART 8 2016 CALIFORNIA FIRE CODE, C.C.R. TITLE 24 PART 9 2016 CALIFORNIA EXISTING BUILDING CODE, C.C.R. TITLE 24 PART 10 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, C.C.R. TITLE 24 PART 11 2016 CALIFORNIA REFERENCED STANDARDS CODE, C.C.R. TITLE 24 PART 12

#### **APPLICABLE STANDARDS**

2016 CBC (FOR SFM) REFERENCED STANDARDS CHAPTER 35

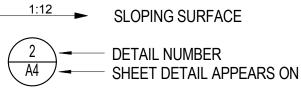
AUTOMATIC SPRINKLER SYSTEMS (CALIF. AMENDED), 2016 EDITION

TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

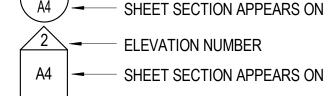
DRY CHEMICAL EXTINGUISHING SYSTEMS, 2017 EDITION WET CHEMICAL EXTINGUISHING SYSTEMS, 2017 EDITION PRIVATE FIRE SERVICE MAINS (CALIF. AMENDED), 2016 EDITION NATIONAL FIRE ALARM CODE (CALIF. AMENDED), 2016 EDITION CRITICAL RADIANT FLUX OF FLOOR COVERINGS, 2015 EDITION CLEAN AGENT FIRE EXTINGUISHING SYSTEMS (CALIF. AMENDED), NFPA 2001

# 2015 EDITION

# — – PROPERTY LINE



2 SECTION NUMBER



**LEGEND** 

SHEET SECTION APPEARS ON



**PLYWOOD** 

CONCRETE

WOOD BLOCKING WOOD CONTINUOUS MEMBER



WORK POINT, CONNECTION POINT, DATUM POINT OR



**KEYNOTE** 

**CONTROL POINT** 

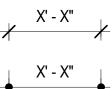


DOOR NUMBER REFERENCE, REFER TO DOOR SCHEDULE WINDOW NUMBER REFERENCE, REFER TO WINDOW TYPES



WALL TYPE REFERENCE, REFER TO AD101-AD106

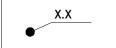
SIGN TYPE REFERENCE, REFER TO AD701



TICK INDICATES DIMENSIONS TO FACE OF STUD. GRIDLINES OR FACE OF STRUCTURE

DOT INDICATES DIMENSION TO CENTERLINE

ARROW INDICATES DIMENSION TO F.O. FINISH OR CLEAR DIMENSION



SPOT ELEVATION

# SHEET INDEX

G-000 TITLE SHEET SITE PLAN

BLDG H - ROOF DEMOLITION PLAN BLDG I & J - ROOF DEMOLITION PLANS BLDG F - ROOF DEMOLITION PLAN BLDG G - ROOF DEMOLITION PLANS

BLDG H - ROOF PLAN BLDG I & J - ROOF PLANS BLDG F - ROOF PLAN

BLDG G - ROOF PLANS **ROOF DETAILS - TYPICAL ROOF DETAILS - TYPICAL** 

### PROJECT DIRECTORY

#### CLIENT OJAI UNIFIED SCHOOL DISTRICT 414 E. OJAI AVE

OJAI, CA 93023 CONTACT: ADAM DUTTER P: (805) 640-4300

#### **ARCHITECT**

ROESLING NAKAMURA TERADA ARCHITECTS, INC. 285 N VENTURA AVE, SUITE 102 VENTURA. CA 93001 CONTACT: CATHERINE YOUNG P: (805) 626-5330

#### PROJECT DESCRIPTION

REMOVE AND REPLACE ROOF OF:

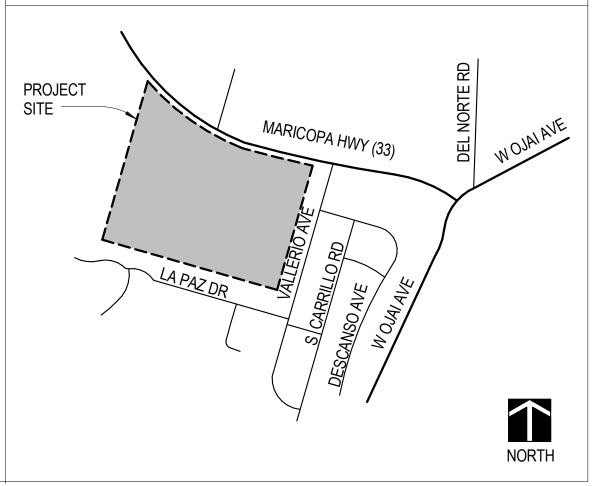
**BUILDING F BUILDING G BUILDING H BUILDING I BUILDING J** 

**ROOF RESTORATION OF:** 

#### BUILDING Q (BUILT-UP ROOFING)

OPTIONAL BID ALTERNATE: SAW CUT (E) CONCRETE TO CONNECT DOWN SPOUTS TO (E) STORM DRAIN AS INDICATED AND REPLACE CONCRETE WITH MATCHING CONCRETE.

### **VICINITY MAP**





285 N Ventura Ave #102 Ventura, CA 93001 P805.626.5330 F805.626.5350 www.RNTarchitects.com



# OJAI **UNIFIED** SCHOOL DISTRICT

NORDHOFF HIGH SCHOOL **ROOFING PROJECT** 

1401 MARICOPA HWY, OJAI, CA 93023

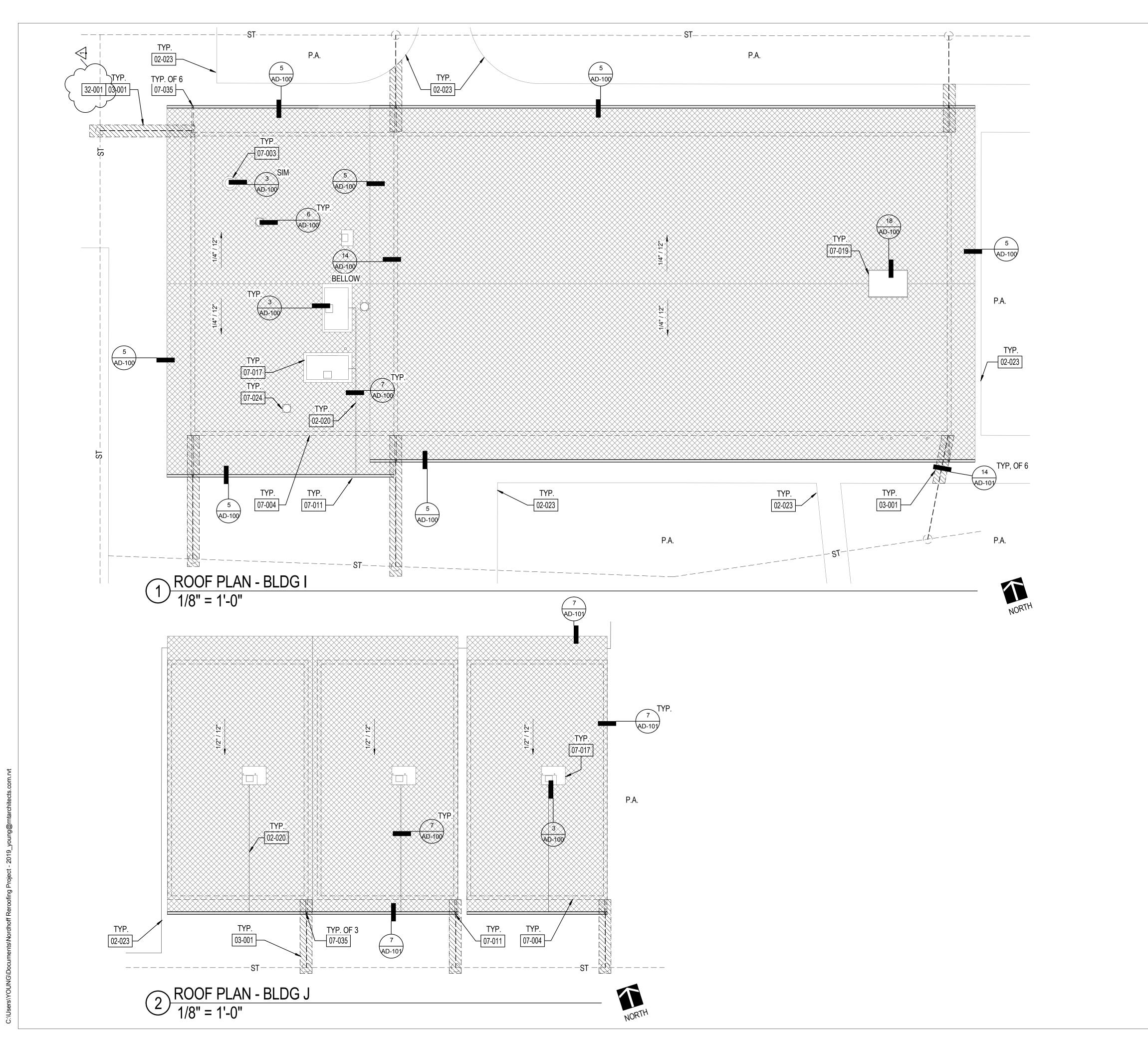
100% CDs

No. Description BID ADDEND. 1 3/15/2019

Sheet Name

TITLE SHEET

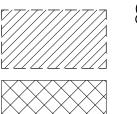
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Drawn by	CLD
Checked by	CY
heet Number	



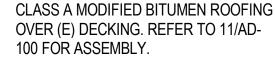
## SHEET GENERAL NOTES

- 1. ALL ITEMS ARE NEW UNLESS OTHERWISE NOTED.
- 2. ANY ROOFING MEMBERS OBSERVED TO BE COMPROMISED TO BE REPLACED IN COMPLIANCE WITH DSA-APPROVED EXISTING CONDITION DRAWINGS.
- 3. INSTALL PRECAST POLYMER CURB AT ALL PIPING ROOF PENETRATIONS PER DETAIL 6/AD-100.
- 4. VERIFY ON FIELD LOCATION OF MECHANICAL EQUIPMENT AND & TYPE OF UTILITY.

## **LEGEND**



BID ALT 01: DEMOLISH (E) 4" CONC.
WALK FOR DOWNSPOUT LINE AND
PATCH TO MATCH EXISTING.



P.A. PLANTER AREA

(E) EXHAUST FAN

(E) EXHAUST FAN
(E) VENT PIPE THROUGH ROOF

(E) SKYLIGHTROOF VENT

----- (E) WALL BELOW

BID ALT 01: DOWNSPOUT CONNECTION TO (E)
STORM DRAIN, REFER TO 13/AD-101

BID ALT 01: DOWNSPOUT TO (E)
LANDSCAPE/GRAVEL, REFER TO 13/AD-101

---st---- (E) STORM DRAIN LINE, U.O.N.

# **KEYNOTE LEGEND**

02-023

02-020 INSTALL CONDENSATE LINE WITH TURN DOWN INTO GUTTER

PROTECT IN PLACE (E) CONC. WALK

03-001 DEMOLISH (E) 4" CONC. WALK FOR DOWNSPOUD LINE AND

PATCH TO MATCH EXISTING.

07-003 PROTECT IN PLACE (E) ROOF VENT 07-004 LINE OF (E) WALL BELOW

07-011 INSTALL GUTTER AND DOWNSPOUT

07-017 PROTECT IN PLACE (E) HVAC UNIT, DETACH & TEMPORARILY SUPPORT UNIT AS REQUIRED FOR ROOFING WORK

07-019 PROTECT IN PLACE (E) ROOF HATCH

07-024 PROTECT IN PLACE (E) EXHAUST FAN

07-035 GUTTER

32-001 MATCH (E) COLORED CONCRETE



Roesling Nakamura Terada Architects

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OJAI UNIFIED SCHOOL DISTRICT

NORDHOFF HIGH SCHOOL ROOFING PROJECT

1401 MARICOPA HWY, OJAI, CA 93023

100% CDs

Description Date

BID ADDEND. 1 3/15/2019

BLDG I & J -ROOF PLANS

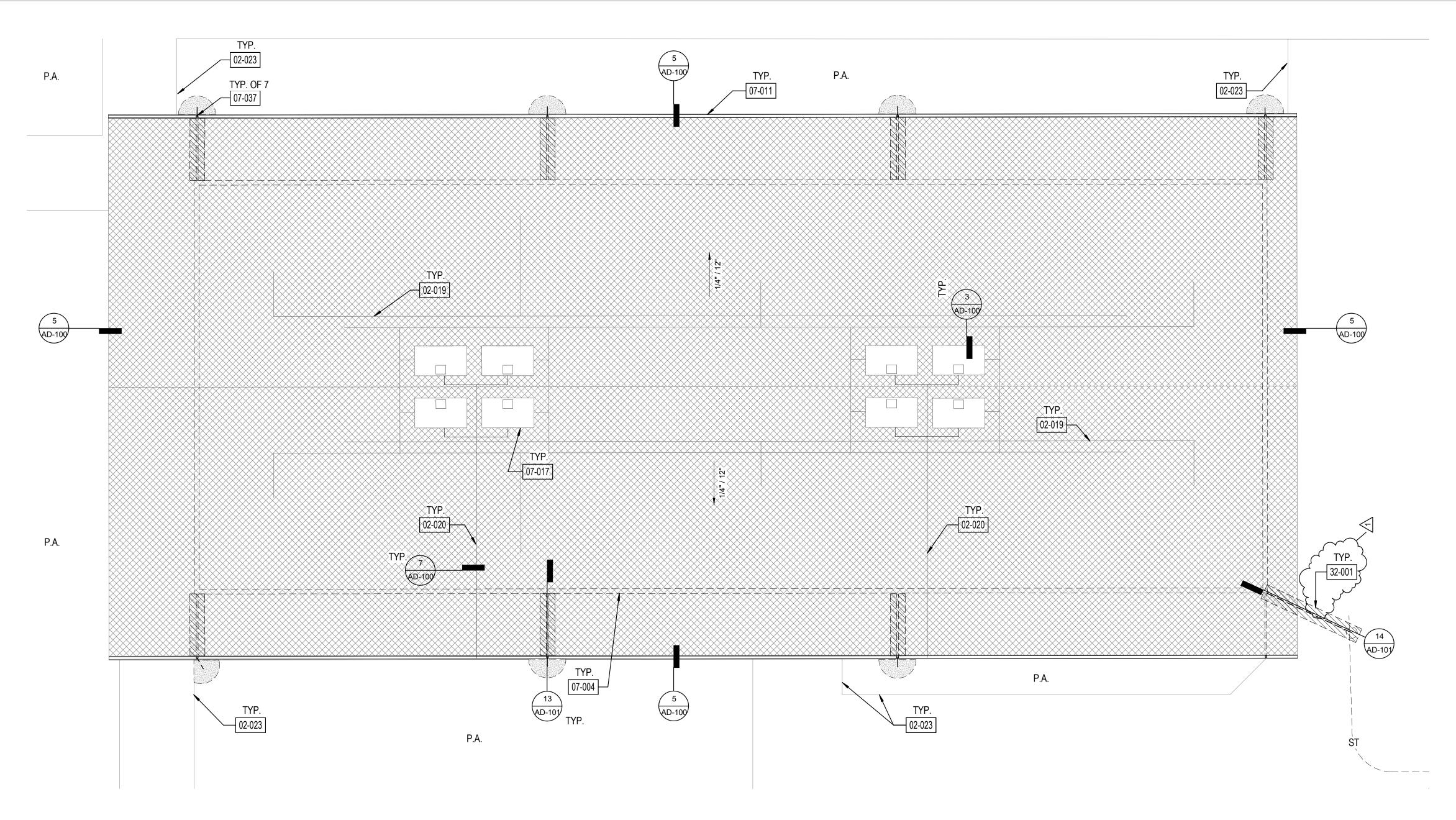
 Date
 01/10/2019

 Drawn by
 CLD

 Checked by
 CY

A-101

Sheet Number



 $1 \frac{\text{ROOF PLAN - BLDG F}}{1/8" = 1'-0"}$ 

**LEGEND** 



# SHEET GENERAL NOTES

- ANY ROOFING MEMBERS OBSERVED TO BE COMPROMISED TO BE REPLACED IN COMPLIANCE WITH DSA-APPROVED EXISTING CONDITION
- PER DETAIL 6/AD-100.
- VERIFY ON FIELD LOCATION OF MECHANICAL EQUIPMENT AND & TYPE OF SAISE (E) EQUIPMENT CURBS WHEN NOT 8" TALL. PROVIDE SOLDERED PAN FLASHING UNDER MECHANICAL EQUIPMENT.

# **KEYNOTE LEGEND**

- 02-019 PROTECT IN PLACE (E) ELECTRICAL LINES
- 02-020 INSTALL CONDENSATE LINE WITH TURN DOWN INTO GUTTER
- 02-023
- 07-004
- 07-01
- 07-01
- 07-037
- 32-00

ALL ITEMS ARE NEW UNLESS OTHERWISE NOTED. INSTALL PRECAST POLYMER CURB AT ALL PIPING ROOF PENETRATIONS

#### P.A. PLANTER AREA (E) EXHAUST FAN (E) VENT PIPE THROUGH ROOF (E) SKYLIGHT **ROOF VENT** (E) WALL BELOW \_\_\_\_\_ BID ALT 01: DOWNSPOUT CONNECTION TO (E) STORM DRAIN, REFER TO 13/AD-101 BID ALT 01: DOWNSPOUT TO (E) LANDSCAPE/GRAVEL, REFER TO 13/AD-101 (E) STORM DRAIN LINE, U.O.N. ---ST----

BID ALT 01: DEMOLISH (E) 4" CONC.

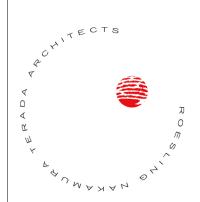
CLASS A MODIFIED BITUMEN ROOFING OVER (E) DECKING. REFER TO 11/AD-

WALK FOR DOWNSPOUT LINE AND

PATCH TO MATCH EXISTING.

100 FOR ASSEMBLY.

023	PROTECT IN PLACE (E) CONC. WALK
004	LINE OF (E) WALL BELOW
011	INSTALL GUTTER AND DOWNSPOUT
017	PROTECT IN PLACE (E) HVAC UNIT, DETACH & TEMPORARILY SUPPORT UNIT AS REQUIRED FOR ROOFING WORK
037	INSTALL DOWNSPOUT, REFER TO SPECS.
001	MATCH (E) COLORED CONCRETE



Roesling Nakamura Terada Architects

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OJAI UNIFIED SCHOOL DISTRICT

NORDHOFF HIGH SCHOOL ROOFING **PROJECT** 

1401 MARICOPA HWY, OJAI, CA 93023

100% CDs

No. Description

BID ADDEND. 1 3/15/2019

Sheet Name

BLDG F -**ROOF PLAN** 

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Checked by	CY
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A-102

# TOPA TOPA ELEMENTARY SCHOOL ROOFING PROJECT NO. 2019-1507

# OJAI UNIFIED SCHOOL DISTRICT

### ADDDE\/IATIONS

ABB	REVIATIONS		
Ø	DIAMETER	HR.	HOUR
&	AND	HT.	HEIGHT
CL OR C	_	INSUL.	INSULATION
#		INT.	INTERIOR
A.B.	ANCHOR BOLT	JT.	JOINT
ABV.		LAM.	LAMINATE
ACP	ACOUSTICAL CEILING PANEL	LAV. LT.	LAVATORY LIGHT
	AREA DRAIN ADJUSTABLE	MFR.	_
A.F.G.	ABOVE FINISH GRADE	MAX.	MAXIMUM
ALUM.	ALUMINUM	M.B.	MACHINE BOLT
BLDG.	BUILDING	MECH.	MECHANICAL
BLKG.	BLOCKING	MIN.	MINIMUM
BM.		MISC.	MISCELLANEOUS
B.O.B.		M.R.	MOISTURE RESISTANT
BOT.		MTL.	METAL
BTWN. CAB.		(N) N.I.C.	NEW NOT IN CONTRACT
	CALIFORNIA	NO. OR #	
C.F.O.I		N.T.S.	NOT TO SCALE
0.1 .0.1	OWNER INSTALLED	0/	OVER
C.I.P.	CAST IN PLACE	O.C.	ON CENTER
CJ	CONSTRUCTION JOINT	O.F.C.I.	OWNER FURNISHED
C.J.	CONTROL JOINT		CONTACTOR INSTALLED
C.L.	CHAIN LINK	O.F.O.I.	OWNER FURNISHED
CLG.	CEILING	0.00	OWNER INSTALLED
CLR.	CLEAR	OPP.	OPPOSITE
CMU C.O.	CONCRETE MASONRY UNIT	PB DEDE	PULL BOX PERFORATED
C.O.C.			PLATE OR PLASTIC
COL.			PLASTER
COMP	COMPOSITION		PLYWOOD
CONC.	CONCRETE	PR.	
CONSTR.	CONSTRUCTION		PROJECTION
CONT.		P.T.D.F.	PRESSURE TREATED
C.T.	CERAMIC TILE	R OR RAD	DOUGLAS FIR
DBL. DF		REFL.	
D.F.		REFRIG.	
DFCI	DISTRICT FURNISHED		
	CONTRACTOR INSTALL		REINFORCEMENT
DIA.	DIAMETER	REQ.	REQUIRED OR REQUIREMENT
DIM.	DIMENSION	RM.	
DN	DOWN	S.C.	SOLID CORE
DR.	DOOR		SCHEDULE
DWG			SHEATHING
(E) EA		SHT. SIM.	
			SAWCUT JOINT
			SHEET METAL SCREWS
ELEV.	ELEVATION	SQ.	SQUARE
EQ	EQUAL		STAINLESS STEEL
EQUIP.			STANDARD
EXIST.	EXISTING	STL.	
EXT. FD	EXTERIOR FLOOR DRAIN	STOR.	STORAGE STRUCTURAL
EDN FD	FOUNDATION		SUSPENDED
F F	FIRE EXTINGUISHER		TOP & BOTTOM
	FIRE EXTINGUISHER CABINET		
F.F.	FINISH FLOOR	T.O.	TOP OF
FIN.	FINISH	T.O.B.	TOP OF BEAM
FLR.	FLOOR	TS	TUBE STEEL
F.O.C.	FACE OF CONCRETE	T.W.	TOP OF WALL
F.O.F.	FACE OF FINISH	TYP.	TYPICAL
F.O.S.	FACE OF STRUCTURE	U.N.O.	UNLESS NOTED OTHERWISE
FRAM'G FRP	FRAMING FIBERGLASS REINFORCED		UNLESS OTHERWISE NOTED VINYL COMPOSITION TILE
LIM	PANEL	V.C.T. VERT.	VERTICAL VERTICAL
FT.	FOOT OR FEET	V.G.D.F.	VERTICAL GRAIN
FTG.	FOOTING		DOUGLAS FIR
F.V.	FIELD VERIFY	V.I.F.	VERIFY IN FIELD
GA.	GAUGE	W/	WITH
GALV.	GALVANIZED	WD.	WOOD
GWR	GYPSLIM WALL BOARD	WΩ	WHERE OCCURS

GYPSUM WALL BOARD

GYP. BD. GYPSUM BOARD

HORIZ.

HEADER

HOT DIP GALV

HORIZONTAL

HOLLOW METAL

WHERE OCCURS

WATER RESISTANT

WATERPROOF

WEIGHT

W.O.

# **DEMOLITION NOTES**

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- 4. THE GENERAL CONTRACTOR SHALL ERECT ALL NECESSARY TEMPORARY SOLID AND/OR PLASTIC DROP CLOTH PARTITIONS TO PROTECT AREAS TO REMAIN WHILE DEMOLITION AND CONSTRUCTION ARE IN PROGRESS.
- 5. BRACE AND SUPPORT EXISTING WORK PRIOR TO AND DURING DEMOLITION AND NEW WORK, AND UNTIL SAFE TO REMOVE SUCH BRACING AND SUPPORTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL SHORING DESIGN AND CALCULATIONS.
- 6. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK REQUIRED INCLUDING THE REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS, BROKEN CONCRETE, ETC., FROM THE SITE. PROPER SHORING SHALL BE EXECUTED FOR THE SAFETY OF THE STRUCTURE AND WORKMEN.
- 7. THE OWNER SHALL HAVE FIRST RIGHTS OF REFUSAL FOR ALL DEMOLISHED MATERIALS.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM DEMOLITION AT NO ADDITIONAL COST TO THE OWNER. THE GENERAL CONTRACTOR SHALL BE EXTREMELY CAREFUL TO PROTECT AND NOT TO DAMAGE ANY PORTION OF EXISTING INSTALLATION NOT BEING REMOVED. ANY EXISTING FACILITIES INDICATED TO REMAIN WHICH ARE SO DAMAGED SHALL BE REPLACED EQUAL TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER.
- 9. CUT EXISTING PORTIONS OF WALLS, FLOORS, CEILINGS, ETC., WHERE INDICATED AND AS NECESSARY FOR NEW WORK. UNLESS SPECIFICALLY SHOWN ON THESE PLANS. NO STRUCTURAL MEMBER SHALL BE CUT. NEITHER DRILLED NOR NOTCHED, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER. THE ARCHITECT AND THE AUTHORITY HAVING JURISDICTION.
- 10. ALL TRADES CONCERNED SHALL COORDINATE EACH OTHER'S WORKS PRIOR TO AND DURING DEMOLITION.
- 11. ANY PROJECTING OR SURFACE-MOUNTED ITEMS BEING ABANDONED SHALL BE REMOVED, CAPPED AND CONCEALED BEHIND FINISHED SURFACES, UNLESS OTHERWISE NOTED. PATCH AND FINISH TO MATCH EXISTING ADJACENT SURFACE.
- 12. SURFACES WHERE MATERIAL IS REMOVED TO INSTALL NEW WORK OR TO RECEIVE NEW FINISH SHALL BE REPAIRED AND PATCHED TO MATCH ORIGINAL CONDITIONS. RETEXTURE AND REPAINT WALL OR CEILING WHERE PATCHED TO MATCH EXISTING, WITH NO EVIDENCE THAT PATCH HAS OCCURRED.
- ALL EXISTING AREAS TO REMAIN OR NEW CONSTRUCTION WORK THAT ARE DAMAGED SHALL BE PATCHED AS REQUIRED TO MATCH EXISTING ADJACENT AREA IN MATERIAL, FINISH AND COLOR, UNLESS OTHERWISE
- 14. ALL EQUIPMENT AND MATERIAL WHICH ARE IN OPERATING CONDITION WHEN REMOVED SHALL BE MAINTAINED AS SUCH AND RETURNED TO THE OWNER OR TO BE REINSTALLED WHERE INDICATED. PROPERLY RECONNECT EQUIPMENT TO RESUME OPERATION.

#### **GENERAL NOTES**

- 1. THE PROJECT MANUAL ISSUED AS PART OF THESE CONSTRUCTION DOCUMENTS IS AN INTEGRAL PART OF THE CONTRACT DOCUMENTS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THAT ALL WORKMANSHIP, MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE APPLICABLE CODES AND FEDERAL REQUIREMENTS AND REGULATIONS.
- 3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS PRIOR TO SUBMITTING A BID. THE CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- 4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, GRADES, ELEVATIONS AND DIMENSIONS BEFORE STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY OR INCONSISTENCY
- 5. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL EXISTING UTILITY SERVICES IN THE AREA TO BE EXCAVATED PRIOR TO THE BEGINNING OF EXCAVATION. THE CONTRACTOR SHALL PROTECT ALL UTILITY LINES AND SERVICE LINES TO REMAIN WHICH ARE ENCOUNTERED DURING
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ENFORCEMENT OF FEDERAL AND STATE OF CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REQUIREMENTS AND REGULATIONS.
- 7. DO NOT SCALE ANY DRAWINGS IN THIS SET.
- 8. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS. SECTIONS AND DETAILS. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- 9. ALL OMISSIONS AND CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK SO INVOLVED. NO CHANGES ARE TO BE MADE UNLESS THE ARCHITECT AND THE OWNER ARE NOTIFIED IN WRITING AND APPROVE SUCH A CHANGE ACCORDING TO THE CONTRACT.
- 10. THE ARCHITECT IS NOT RESPONSIBLE FOR ASBESTOS ABATEMENT.
- 11. TRADE NAMES AND MANUFACTURERS REFERRED TO ARE FOR QUALITY STANDARDS ONLY. SUBSTITUTIONS WILL BE PERMITTED AS APPROVED BY THE OWNER AND THE ARCHITECT ONLY UPON SUBMITTAL, AND FOR A LIMITED PERIOD.
- 12. ITEMS SHOWN AS N.I.C. ON PLANS MAY REQUIRE SEPARATE SUBMITTALS. APPROVALS AND PERMITS. INSTALLING CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR SUCH ITEMS.
- 13. CONTRACTOR SHALL ENSURE ALL FINISH MATERIALS WILL BE FLUSH WHERE NEW FINISH SURFACE MATERIALS JOIN EXISTING TO PROVIDE
- 14. CONTRACTOR ACKNOWLEDGES THAT DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE TO REPRESENT THE INTENT OF THE WORK TO BE ACCOMPLISHED. CONTRACTOR IS TO INSTALL MATERIALS AND SYSTEMS
- CONDITION IS DRAWN. CONTRACTOR AND SUB-CONTRACTOR ARE RESPONSIBLE FOR COMPLETE WORKMANLIKE INSTALLATION OF ALL MATERIALS AND SYSTEMS AND WILL NEED TO PROVIDE ADDITIONAL DETAILS FOR INSTALLATION BASED ON GENERAL INFORMATION SHOWN. FOR INSTANCE, NOT EVERY WATERPROOFING OR FLASHING DETAIL FOR EVERY CONDITION IS SHOWN. CONTRACTOR IS TO PROVIDE DETAILS AND
- 15. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE ANY EXISTING CONDITION NOT COVERED BY THE CONTRACT DOCUMENTS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED, DETAILS AND SPECIFICATIONS FOR THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE AUTHORITY HAVING JURISDICTION BEFORE PROCEEDING WITH THE WORK.
- DURING CONSTRUCTION PERIOD, CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. THE LOAD SHALL

#### APPLICABLE CODES

CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING PARTS OF THE TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS (CCR):

2016 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, C.C.R. TITLE 24 PART 1 AND 2

2016 CALIFORNIA ELECTRICAL CODE (CEC), C.C.R. TITLE 24 PART 3 2016 CALIFORNIA MECHANICAL CODE (CMC), C.C.R. TITLE 24 PART 4 2016 CALIFORNIA PLUMBING CODE (CPC), C.C.R. TITLE 24 PART 5 2016 CALIFORNIA ENERGY CODE, C.C.R. TITLE 24 PART 6 2016 CALIFORNIA HISTORICAL CODE, C.C.R. TITLE 24 PART 8 2016 CALIFORNIA FIRE CODE, C.C.R. TITLE 24 PART 9 2016 CALIFORNIA EXISTING BUILDING CODE, C.C.R. TITLE 24 PART 10

2016 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.

2016 CALIFORNIA GREEN BUILDING STANDARDS CODE. C.C.R. TITLE 24 PART 11 2016 CALIFORNIA REFERENCED STANDARDS CODE, C.C.R. TITLE 24 PART 12 TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

#### **APPLICABLE STANDARDS**

2016 CBC (FOR SFM) REFERENCED STANDARDS CHAPTER 35

AUTOMATIC SPRINKLER SYSTEMS (CALIF. AMENDED), 2016 DRY CHEMICAL EXTINGUISHING SYSTEMS, 2017 EDITION

WET CHEMICAL EXTINGUISHING SYSTEMS, 2017 EDITION PRIVATE FIRE SERVICE MAINS (CALIF. AMENDED), 2016 EDITION NATIONAL FIRE ALARM CODE (CALIF. AMENDED), 2016 EDITION CRITICAL RADIANT FLUX OF FLOOR COVERINGS, 2015 EDITION CLEAN AGENT FIRE EXTINGUISHING SYSTEMS (CALIF. AMENDED), NFPA 2001

2015 EDITION

**LEGEND** 

1222A

A3

C03A



**→** DETAIL NUMBER A4 - SHEET DETAIL APPEARS ON 2 SECTION NUMBER

→ SHEET SECTION APPEARS ON

CONCRETE

**PLYWOOD** 

WOOD BLOCKING

**CONTROL POINT** 

KEYNOTE

WOOD CONTINUOUS MEMBER

WORK POINT, CONNECTION POINT, DATUM POINT OR

DOOR NUMBER REFERENCE, REFER TO DOOR SCHEDULE

WINDOW NUMBER REFERENCE, REFER TO WINDOW TYPES

TICK INDICATES DIMENSIONS TO FACE OF STUD. GRIDLINES

ARROW INDICATES DIMENSION TO F.O. FINISH OR CLEAR

WALL TYPE REFERENCE, REFER TO AD101-AD106

SIGN TYPE REFERENCE, REFER TO AD701

DOT INDICATES DIMENSION TO CENTERLINE

OR FACE OF STRUCTURE

DIMENSION

SPOT ELEVATION

SOIL

SMOOTH TRANSITION.

WITH EXPERIENCED SKILLED CRAFTSMEN WHO WILL BE RESPONSIBLE FOR

- THE INTEGRITY OF THEIR RESPECTIVE WORK. NOT EVERY DETAIL OF EACH INSTALLATION FOR A COMPLETE WATERTIGHT INSTALLATION.
- IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD
- NOT EXCEED THE DESIGN LIVE LOADS FOR EACH PARTICULAR LEVEL.

# PROJECT DESCRIPTION

munum

ROESLING NAKAMURA TERADA ARCHITECTS, INC.

REMOVE AND REPLACE ROOF OF:

SHEET INDEX

CLIENT

414 E. OJAI AVE

P: (805) 640-4300

VENTURA. CA 93001

P: (805) 626-5330

**ARCHITECT** 

OJAI, CA 93023

TITLE SHEET

BLDG E - ROOF DEMO PLAN

BLDG E - ROOF PLAN

BLDG A - ROOF PLAN

**ROOF DETAILS - TYPICAL** 

**ROOF DETAILS - TYPICAL** 

PROJECT DIRECTORY

OJAI UNIFIED SCHOOL DISTRICT

285 N VENTURA AVE. SUITE 102

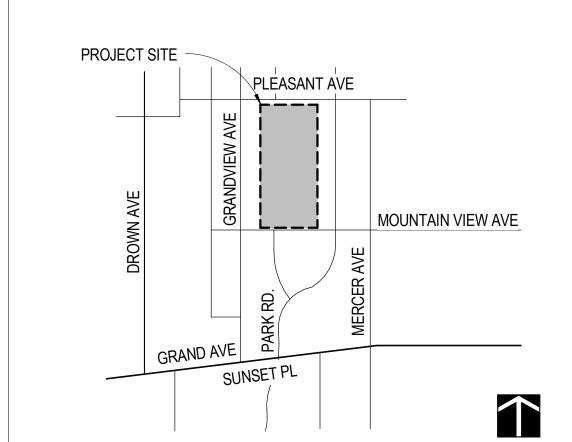
**CONTACT: CATHERINE YOUNG** 

CONTACT: ADAM DUTTER

SITE PLAN

OPTIONAL BID ALTERNATE: SAW CUT (E) CONCRETE TO CONNECT DOWN SPOUTS TO (E) STORM DRAIN AS INDICATED AND REPLACE CONCRETE WITH MATCHING CONCRETE.

#### **VICINITY MAP**



Roesling Nakamura **Terada Architects** 

285 N Ventura Ave #102 Ventura, CA 93001 P805.626.5330 F805.626.5350 www.RNTarchitects.com



OJAI **UNIFIED** SCHOOL DISTRICT

TOPA TOPA **ELEMENTARY SCHOOL ROOFING PROJECT** 

916 MTN. VIEW AVE. OJAI, CA 93023

100% CDs

No. Description BID ADDEND. 1 3/15/2019

Sheet Name

TITLE SHEET

17761.12 1/10/2019 Drawn by CLD Checked by CY Sheet Number

# TOPA TOPA ELEMENTARY SCHOOL ROOFING PROJECT NO. 2019-1507

# OJAI UNIFIED SCHOOL DISTRICT

### ADDDE\/IATIONS

ABB	REVIATIONS		
Ø	DIAMETER	HR.	HOUR
&	AND	HT.	HEIGHT
CL OR C	_	INSUL.	INSULATION
#		INT.	INTERIOR
A.B.	ANCHOR BOLT	JT.	JOINT
ABV.		LAM.	LAMINATE
ACP	ACOUSTICAL CEILING PANEL	LAV. LT.	LAVATORY LIGHT
	AREA DRAIN ADJUSTABLE	MFR.	_
A.F.G.	ABOVE FINISH GRADE	MAX.	MAXIMUM
ALUM.	ALUMINUM	M.B.	MACHINE BOLT
BLDG.	BUILDING	MECH.	MECHANICAL
BLKG.	BLOCKING	MIN.	MINIMUM
BM.		MISC.	MISCELLANEOUS
B.O.B.		M.R.	MOISTURE RESISTANT
BOT.		MTL.	METAL
BTWN. CAB.		(N) N.I.C.	NEW NOT IN CONTRACT
	CALIFORNIA	NO. OR #	
C.F.O.I		N.T.S.	NOT TO SCALE
0.1 .0.1	OWNER INSTALLED	0/	OVER
C.I.P.	CAST IN PLACE	O.C.	ON CENTER
CJ	CONSTRUCTION JOINT	O.F.C.I.	OWNER FURNISHED
C.J.	CONTROL JOINT		CONTACTOR INSTALLED
C.L.	CHAIN LINK	O.F.O.I.	OWNER FURNISHED
CLG.	CEILING	0.00	OWNER INSTALLED
CLR.	CLEAR	OPP.	OPPOSITE
CMU C.O.	CONCRETE MASONRY UNIT	PB DEDE	PULL BOX PERFORATED
C.O.C.			PLATE OR PLASTIC
COL.			PLASTER
COMP.	COMPOSITION		PLYWOOD
CONC.	CONCRETE	PR.	
			PROJECTION
CONT.		P.T.D.F.	PRESSURE TREATED
C.T.	CERAMIC TILE	R OR RAD	DOUGLAS FIR
DBL. DF		REFL.	
D.F.		REFRIG.	
DFCI	DISTRICT FURNISHED		
	CONTRACTOR INSTALL		REINFORCEMENT
DIA.	DIAMETER	REQ.	REQUIRED OR REQUIREMENT
DIM.	DIMENSION	RM.	
DN	DOWN	S.C.	SOLID CORE
DR.	DOOR		SCHEDULE
DWG			SHEATHING
(E) EA		SHT. SIM.	
			SAWCUT JOINT
			SHEET METAL SCREWS
ELEV.	ELEVATION	SQ.	SQUARE
EQ	EQUAL		STAINLESS STEEL
EQUIP.			STANDARD
EXIST.	EXISTING	STL.	
EXT. FD	EXTERIOR FLOOR DRAIN	STOR.	STORAGE STRUCTURAL
EDN FD	FOUNDATION		SUSPENDED
F F	FIRE EXTINGUISHER		TOP & BOTTOM
	FIRE EXTINGUISHER CABINET		
F.F.	FINISH FLOOR	T.O.	TOP OF
FIN.	FINISH	T.O.B.	TOP OF BEAM
FLR.	FLOOR	TS	TUBE STEEL
F.O.C.	FACE OF CONCRETE	T.W.	TOP OF WALL
F.O.F.	FACE OF FINISH	TYP.	TYPICAL
F.O.S.	FACE OF STRUCTURE	U.N.O.	UNLESS NOTED OTHERWISE
FRAM'G FRP	FRAMING FIBERGLASS REINFORCED		UNLESS OTHERWISE NOTED VINYL COMPOSITION TILE
LIM	PANEL	V.C.T. VERT.	VERTICAL VERTICAL
FT.	FOOT OR FEET	V.G.D.F.	VERTICAL GRAIN
FTG.	FOOTING		DOUGLAS FIR
F.V.	FIELD VERIFY	V.I.F.	VERIFY IN FIELD
GA.	GAUGE	W/	WITH
GALV.	GALVANIZED	WD.	WOOD
GWR	GYPSLIM WALL BOARD	WΩ	WHERE OCCURS

GYPSUM WALL BOARD

GYP. BD. GYPSUM BOARD

HORIZ.

HEADER

HOT DIP GALV

HORIZONTAL

HOLLOW METAL

WHERE OCCURS

WATER RESISTANT

WATERPROOF

WEIGHT

W.O.

# **DEMOLITION NOTES**

- 1. IDENTIFY ALL DAMAGED ELEMENTS DESIGNATED TO REMAIN OR BE RELOCATED. REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH DEMOLITION WORK.
- 2. GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND VERIFYING DEMOLITION PLANS IN RELATION TO STRUCTURAL AND CONSTRUCTION DRAWINGS. CONTRACTOR SHALL VERIFY AND COORDINATE THE EXTENT OF DEMOLITION WORK WITH NEW WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY AND ALL CONFLICTS, DISCREPANCIES OR PROBLEMS.
- 3. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO DEMOLITION. THE CONTRACTOR SHALL BEWARE OF POTENTIAL HAZARDS FROM DEMOLITION WORK NEAR UTILITIES. PIPES AND CONDUIT ENCOUNTERED IN DEMOLISHED PARTITIONS AND AREAS WHICH ARE TO REMAIN IN USE SHALL BE RE-ROUTED AND CONCEALED. THOSE WHICH ARE TO BE ABANDONED SHALL BE CAPPED AND CONCEALED IN FLOOR. WALL OR CEILING.
- 4. THE GENERAL CONTRACTOR SHALL ERECT ALL NECESSARY TEMPORARY SOLID AND/OR PLASTIC DROP CLOTH PARTITIONS TO PROTECT AREAS TO REMAIN WHILE DEMOLITION AND CONSTRUCTION ARE IN PROGRESS.
- 5. BRACE AND SUPPORT EXISTING WORK PRIOR TO AND DURING DEMOLITION AND NEW WORK, AND UNTIL SAFE TO REMOVE SUCH BRACING AND SUPPORTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL SHORING DESIGN AND CALCULATIONS.
- 6. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK REQUIRED INCLUDING THE REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS, BROKEN CONCRETE, ETC., FROM THE SITE. PROPER SHORING SHALL BE EXECUTED FOR THE SAFETY OF THE STRUCTURE AND WORKMEN.
- 7. THE OWNER SHALL HAVE FIRST RIGHTS OF REFUSAL FOR ALL DEMOLISHED MATERIALS.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM DEMOLITION AT NO ADDITIONAL COST TO THE OWNER. THE GENERAL CONTRACTOR SHALL BE EXTREMELY CAREFUL TO PROTECT AND NOT TO DAMAGE ANY PORTION OF EXISTING INSTALLATION NOT BEING REMOVED. ANY EXISTING FACILITIES INDICATED TO REMAIN WHICH ARE SO DAMAGED SHALL BE REPLACED EQUAL TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER.
- 9. CUT EXISTING PORTIONS OF WALLS, FLOORS, CEILINGS, ETC., WHERE INDICATED AND AS NECESSARY FOR NEW WORK. UNLESS SPECIFICALLY SHOWN ON THESE PLANS. NO STRUCTURAL MEMBER SHALL BE CUT. NEITHER DRILLED NOR NOTCHED, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER. THE ARCHITECT AND THE AUTHORITY HAVING JURISDICTION.
- 10. ALL TRADES CONCERNED SHALL COORDINATE EACH OTHER'S WORKS PRIOR TO AND DURING DEMOLITION.
- 11. ANY PROJECTING OR SURFACE-MOUNTED ITEMS BEING ABANDONED SHALL BE REMOVED, CAPPED AND CONCEALED BEHIND FINISHED SURFACES, UNLESS OTHERWISE NOTED. PATCH AND FINISH TO MATCH EXISTING ADJACENT SURFACE.
- 12. SURFACES WHERE MATERIAL IS REMOVED TO INSTALL NEW WORK OR TO RECEIVE NEW FINISH SHALL BE REPAIRED AND PATCHED TO MATCH ORIGINAL CONDITIONS. RETEXTURE AND REPAINT WALL OR CEILING WHERE PATCHED TO MATCH EXISTING, WITH NO EVIDENCE THAT PATCH HAS OCCURRED.
- ALL EXISTING AREAS TO REMAIN OR NEW CONSTRUCTION WORK THAT ARE DAMAGED SHALL BE PATCHED AS REQUIRED TO MATCH EXISTING ADJACENT AREA IN MATERIAL, FINISH AND COLOR, UNLESS OTHERWISE
- 14. ALL EQUIPMENT AND MATERIAL WHICH ARE IN OPERATING CONDITION WHEN REMOVED SHALL BE MAINTAINED AS SUCH AND RETURNED TO THE OWNER OR TO BE REINSTALLED WHERE INDICATED. PROPERLY RECONNECT EQUIPMENT TO RESUME OPERATION.

#### **GENERAL NOTES**

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- 7. DO NOT SCALE ANY DRAWINGS IN THIS SET.
- 8. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS. SECTIONS AND DETAILS. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- 9. ALL OMISSIONS AND CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK SO INVOLVED. NO CHANGES ARE TO BE MADE UNLESS THE ARCHITECT AND THE OWNER ARE NOTIFIED IN WRITING AND APPROVE SUCH A CHANGE ACCORDING TO THE CONTRACT.
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- 12. ITEMS SHOWN AS N.I.C. ON PLANS MAY REQUIRE SEPARATE SUBMITTALS. APPROVALS AND PERMITS. INSTALLING CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR SUCH ITEMS.
- 13. CONTRACTOR SHALL ENSURE ALL FINISH MATERIALS WILL BE FLUSH WHERE NEW FINISH SURFACE MATERIALS JOIN EXISTING TO PROVIDE SMOOTH TRANSITION.
- 14. CONTRACTOR ACKNOWLEDGES THAT DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE TO REPRESENT THE INTENT OF THE WORK TO BE ACCOMPLISHED. CONTRACTOR IS TO INSTALL MATERIALS AND SYSTEMS
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- 15. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITION NOT COVERED BY THE CONTRACT DOCUMENTS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED, DETAILS AND SPECIFICATIONS FOR THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE AUTHORITY HAVING
- DURING CONSTRUCTION PERIOD, CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. THE LOAD SHALL NOT EXCEED THE DESIGN LIVE LOADS FOR EACH PARTICULAR LEVEL.

#### APPLICABLE CODES

CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING PARTS OF THE TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS (CCR):

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#### 2015 EDITION

TITLE SHEET SITE PLAN

SHEET INDEX

BLDG E - ROOF DEMO PLAN BLDG E - ROOF PLAN

BLDG A - ROOF PLAN **ROOF DETAILS - TYPICAL ROOF DETAILS - TYPICAL** 

## PROJECT DIRECTORY

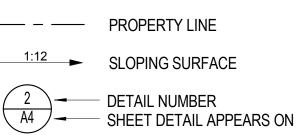
#### CLIENT

OJAI UNIFIED SCHOOL DISTRICT 414 E. OJAI AVE OJAI, CA 93023 CONTACT: ADAM DUTTER P: (805) 640-4300

#### **ARCHITECT**

ROESLING NAKAMURA TERADA ARCHITECTS, INC. 285 N VENTURA AVE. SUITE 102 VENTURA. CA 93001 **CONTACT: CATHERINE YOUNG** P: (805) 626-5330

### **LEGEND**



**→** DETAIL NUMBER

2 SECTION NUMBER

→ SHEET SECTION APPEARS ON

CONCRETE

WOOD BLOCKING

**CONTROL POINT** 

KEYNOTE

WOOD CONTINUOUS MEMBER

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DIMENSION

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1222A

A3

C03A

WITH EXPERIENCED SKILLED CRAFTSMEN WHO WILL BE RESPONSIBLE FOR THE INTEGRITY OF THEIR RESPECTIVE WORK. NOT EVERY DETAIL OF EACH

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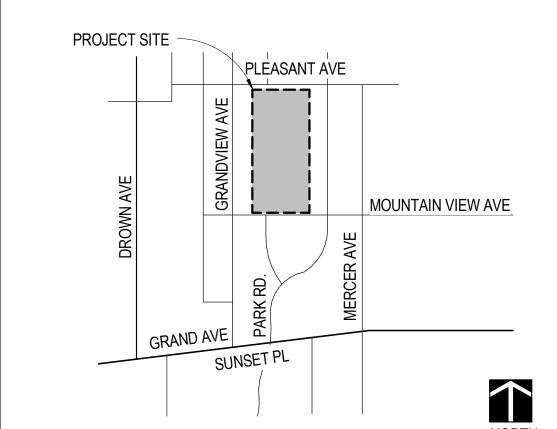
# PROJECT DESCRIPTION



OPTIONAL BID ALTERNATE:

SAW CUT (E) CONCRETE TO CONNECT DOWN SPOUTS TO (E) STORM DRAIN AS INDICATED AND REPLACE CONCRETE WITH MATCHING CONCRETE. munum

### **VICINITY MAP**



Roesling Nakamura **Terada Architects** 

285 N Ventura Ave #102 Ventura, CA 93001 P805.626.5330 F805.626.5350 www.RNTarchitects.com



OJAI **UNIFIED** SCHOOL DISTRICT

TOPA TOPA **ELEMENTARY SCHOOL ROOFING PROJECT** 

916 MTN. VIEW AVE. OJAI, CA 93023

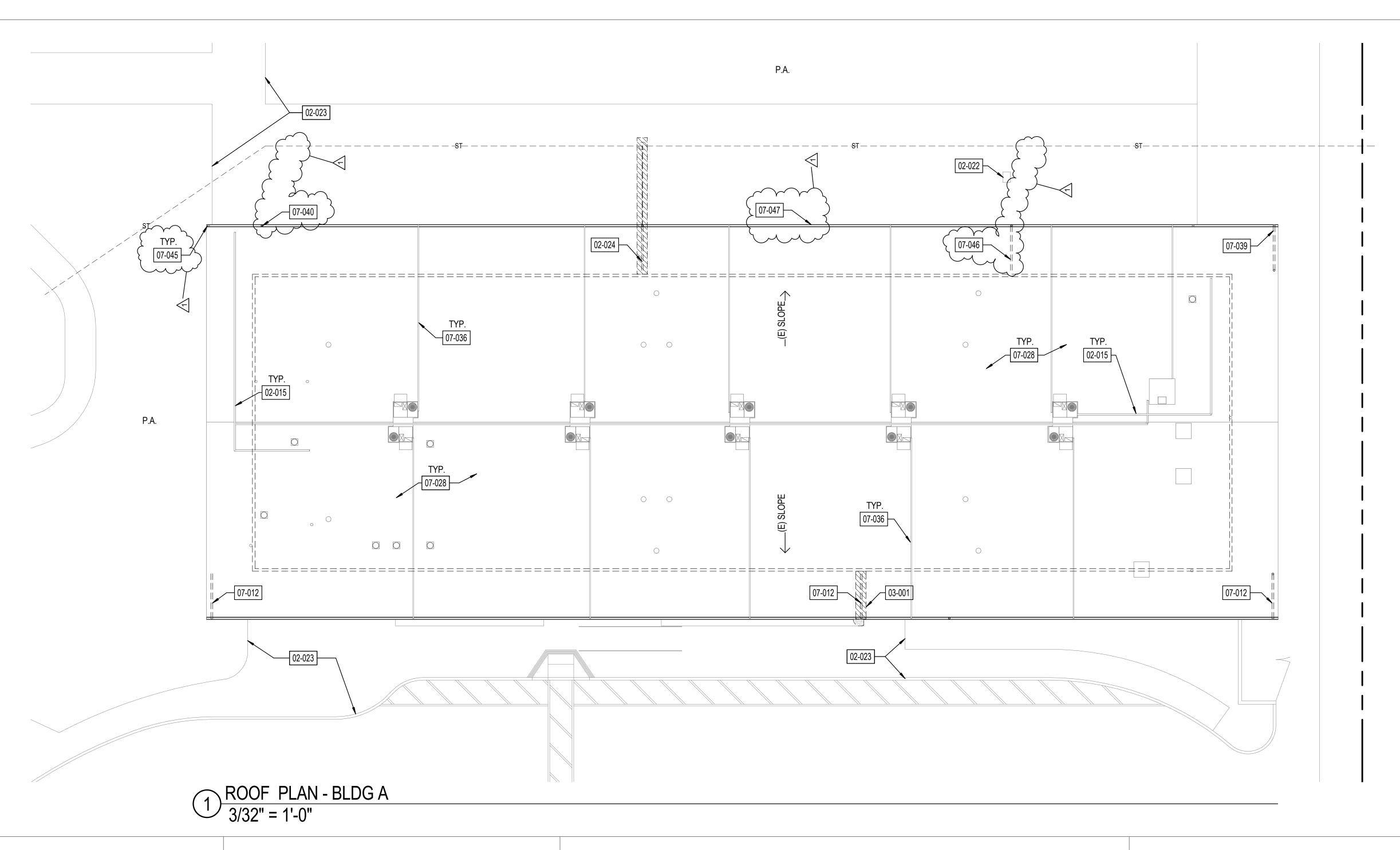
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No. Description BID ADDEND. 1 3/15/2019

Sheet Name

TITLE SHEET

17761.12 1/10/2019 Drawn by CLD Checked by CY Sheet Number



### SHEET GENERAL NOTES

- ALL ITEMS ARE NEW UNLESS OTHERWISE NOTED.
- ANY ROOFING MEMBERS OBSERVED TO BE COMPROMISED TO BE REPLACED IN COMPLIACE WITH DSA-APPROVED EXISTING CONDITION DRAWINGS
- INSTALL LIQUID FLASHING AT ALL PIPING & UTILITY ROOF PENETRATIONS PER DETAIL 17/AD-100.
- REFER TO SHEET AD-100 FOR TYPICAL ROOFING DETAILS ALL FLASHING SHALL BE 22 GA. MINIMUM U.N.O. COLOR TO MATCH
- DISTRICT STANDARD.
- PROVIDE POSITIVE DRAINAGE TO GUTTERS.
- VERIFY ON FIELD LOCATION OF MECHANICAL EQUIPMENT AND & TYPE OF UTILITY.

# **LEGEND**

DEMOLISH (E) 4" CONC. WALK FOR DOWNSPOUD LINE AND PATCH TO

MATCH EXISTING. CLASS A MODIFIED BITUMEN ROOFING OVER (E) DECKING. REFER TO 11/AD-

P.A. 

---ST---

PLANTER AREA

100 FOR ASSEMBLY.

(E) EXHAUST FAN (E) VENT PIPE THROUGH ROOF

 $\bigcirc$ (E) SKYLIGHT

**ROOF VENT** \_ \_ \_ \_ \_ \_ \_ \_ -----

BID ADD 01. DOWNSPOUT CONNECTION TO (E) STORM DRAIN, REFER TO 6/AD-101 ----++ BID ADD 01. DOWNSPOUT TO (E) LANDSCAPE/GRAVEL, REFER TO 6/AD-101

(E) STORM DRAIN LINE, U.O.N.

# **KEYNOTES**

03-001

02-015 PROTECT IN PLACE (E) UTILITY LINE 02-022 RROTECT IN PLACE (E) GAS VAULTS

PROTECT IN PLACE (E) CONC. WALK 02-023 02-024

(E) DOWNSPOUT, MAKE NEW CONNECTION TO (E) STORM DRAIN LINE

DEMOLISH (E) 4" CONC. WALK FOR DOWNSPOUD LINE AND PATCH TO MATCH EXISTING. PROTECT IN PLACE (E) GUTTER AND (E) DOWNSPOUT

07-012 07-028 PROTECT IN PLACE (E) ROOF

REPLACE DURA-BLOCK EQUIPMENT SUPPORT W/ OMG PIPEGUARD PIPE SUPPORT MINI. 07-036 07-039 INSTALL NEW GUTTER & DOWNSPOUT, REFERENCE PIPE ATTACHMENT DETAIL.

07-040 DOWNSPOUT DOWN (E) SQUARE TUBE COLUMN. SIM. ROUND PIPE COLUMN DETAIL.

07-045 REPAIR (E) HOLE IN GUTTER.

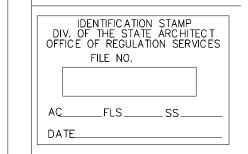
07-046 UNINSTALL (E) DOWNSPOUT, REPAIR (E) HOLE IN GUTTER.

07-047 REVISE PITCH OF GUTTER.

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OJAI UNIFIED SCHOOL **DISTRICT** 

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BLDG A -**ROOF PLAN** 

	17761.12
Date	01/17/19
Drawn by	CLD
Checked by	CY
Sheet Number	

A-101

