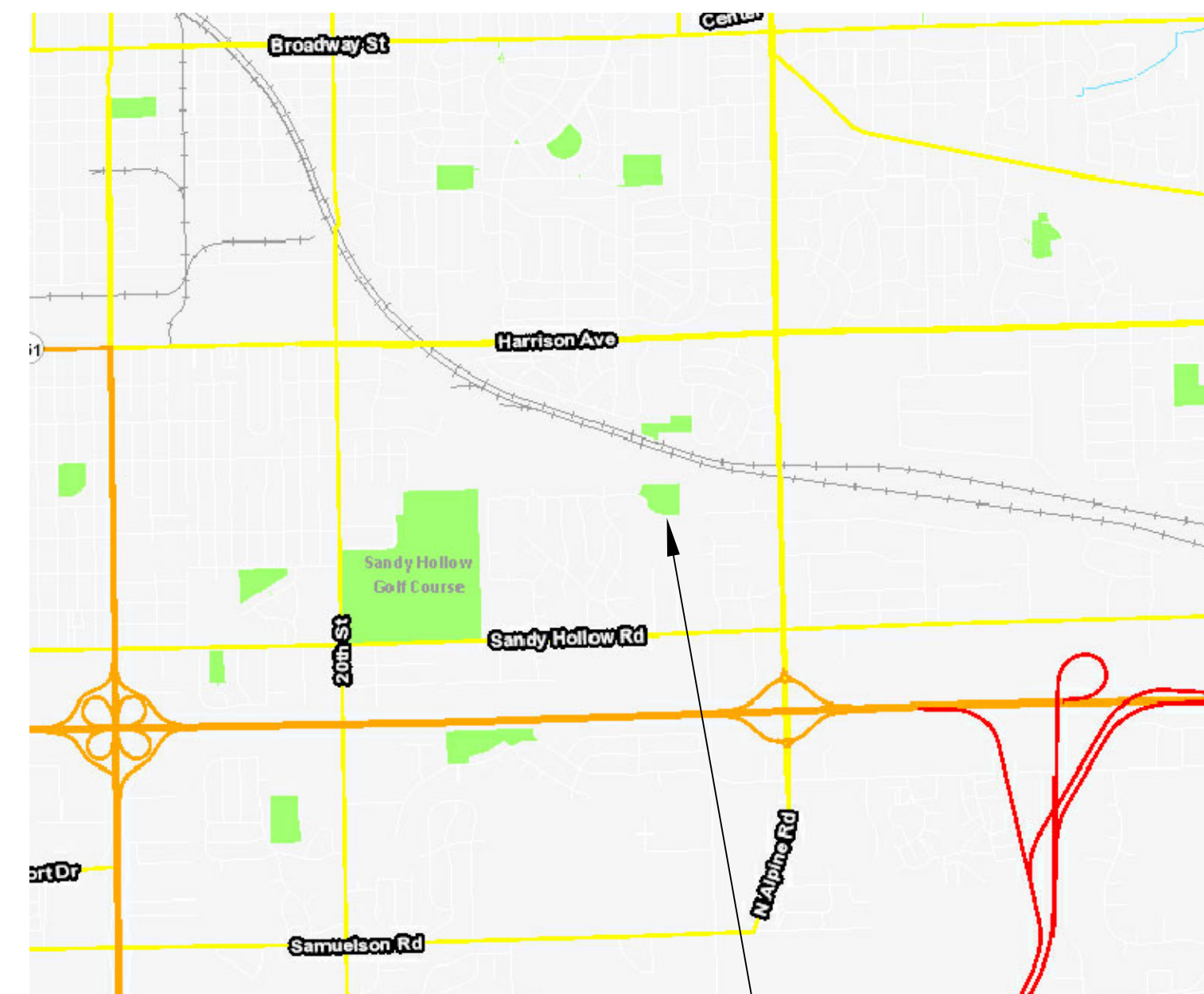


Construction Plans for Ekberg Pine Manor Park New Park Construction

Bid #19-2232

3750 Balsam Lane
Rockford, Illinois 61109



Site Location Map

(Base Information From WinGIS)

Drawing Index

Site Survey

- 1 Topographic Survey (prepared by Fehr Graham Engineering)

Construction Plans

- L1 Site Context Plan
- L2 Existing Conditions and Removals Plan
- L3 Site Construction Plan - West
- L4 Site Construction Plan - East
- L5 Playground Area Construction Plan
- L6 Site Restoration and Landscape Plan
- L7 Construction Details
- L8 Construction Details
- L9 SWPPP Site Map
- L10 SWPPP Details

Civil Engineer

Jeff Linkenheld
Arc Design Resources, Inc.
5291 Zenith Parkway
Loves Park, IL 61111
815-484-4300
Licensed Professional Engineer #062-048405

Landscape Architect

Thomas Lind
Rockford Park District
401 S. Main St.
Rockford, Illinois 61101
815-987-1649
Landscape Architect License #157-001439

EKBERG
PINE
MANOR
PARK



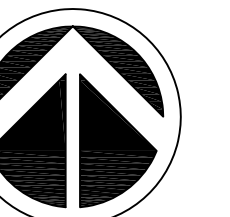
ROCKFORD
PARK DISTRICT

401 SOUTH MAIN STREET
ROCKFORD, ILLINOIS 61101
815-987-8800
ROCKFORDPARKDISTRICT.ORG

PROJECT DATA

Ekberg Pine Manor Park
New Park Construction

3750 Balsam Lane
Rockford, IL 61109



NORTH



NOT TO SCALE

BASE INFORMATION
PROVIDED BY:
Fehr Graham

ISSUE

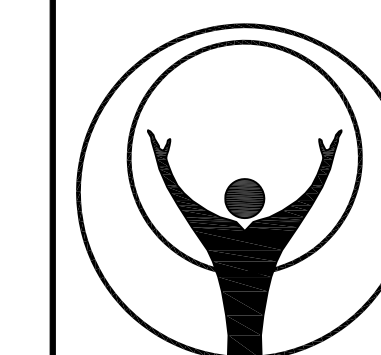
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1	06/06/18	75% Review
2	06/21/18	95% Review
3	07/13/18	Plan Review
4	08/28/19	For Bid

SHEET TITLE:

TITLE SHEET

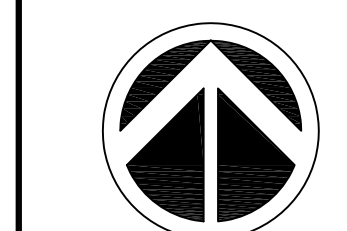
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PROJECT DATA

Ekberg Pine Manor Park
New Park Construction
3750 Balsam Lane
Rockford, IL 61109



NORTH
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SCALE: 1" = 30'0"

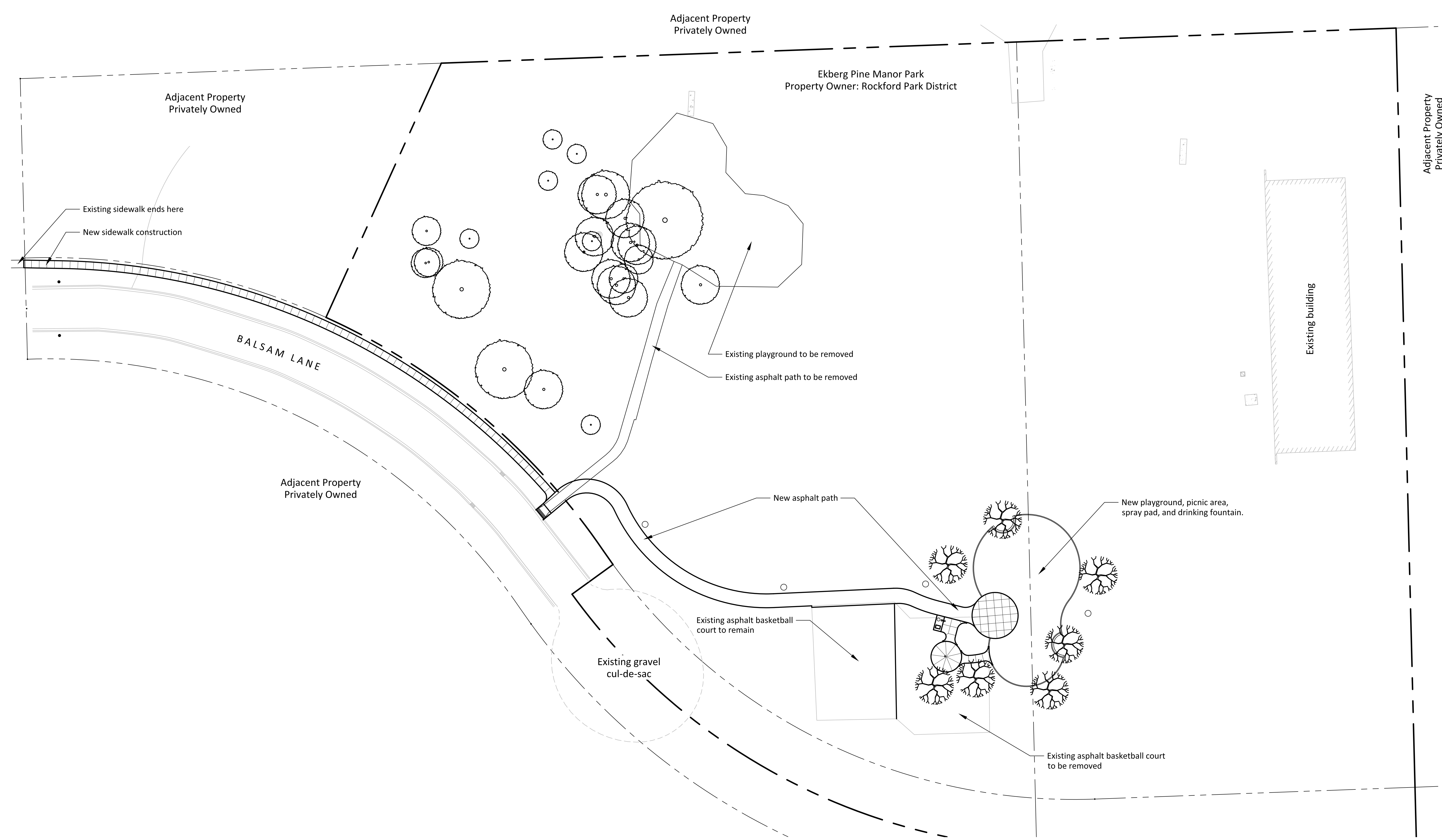
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PROVIDED BY:
Fehr Graham

ISSUE

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1	06/06/18	75% Review
2	06/21/18	95% Review
3	07/13/18	Plan Review
4	08/28/19	For Bid

SHEET TITLE:
**SITE
CONTEXT
PLAN**

SHEET NUMBER:
L-1



Adjacent Property
Privately Owned

Adjacent Property
Privately Owned

Ekberg Pine Manor Park
Property Owner: Rockford Park District

Adjacent Property
Privately Owned

BALSAM LANE

Adjacent Property
Privately Owned

Existing sidewalk ends here
New sidewalk construction

Existing playground to be removed
Existing asphalt path to be removed

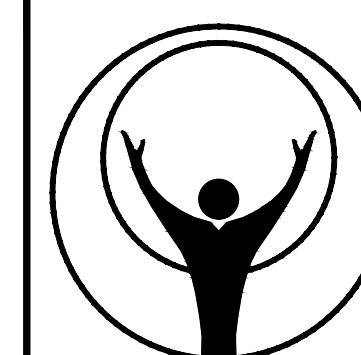
New asphalt path
New playground, picnic area,
spray pad, and drinking fountain.

Existing asphalt basketball
court to remain

Existing gravel
cul-de-sac

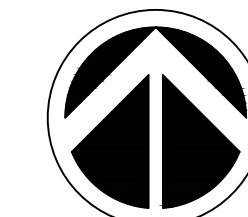
Existing asphalt basketball court
to be removed

Existing building



PROJECT DATA

Ekberg Pine Manor Park
New Park Construction
3750 Balsam Lane
Rockford, IL 61109



NORTH

0 15 30
SCALE: 1" = 30'0"

BASE INFORMATION
PROVIDED BY:
Fehr Graham

ISSUE

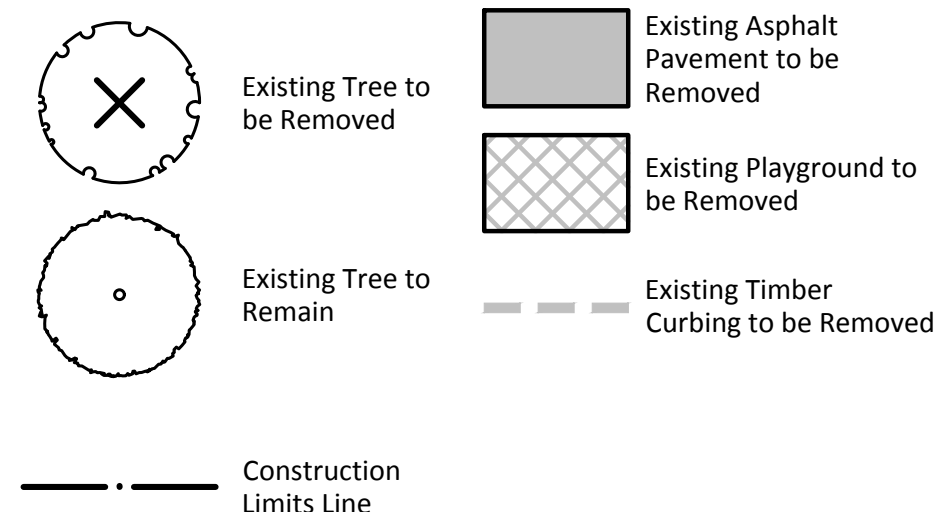
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2	06/21/18	95% Review
3	07/13/18	Plan Review
4	08/28/19	For Bid

SHEET TITLE:
**EXISTING
CONDITIONS
AND
REMOVALS
PLAN**

SHEET NUMBER:

L-2

Key



Notes

General Notes:

- Temporary chain-link construction fencing shall be installed and maintained throughout the duration of the project. 'Authorized Personnel Only' signage shall be installed on the construction fencing. Construction fencing location shall be approved by the Owner.
- Existing playground equipment will be removed by the Owner. The equipment will be removed at grade and the concrete footings will remain. Contractor is responsible for removing the concrete footings.
- All existing site features or amenities not designated for removal shall remain and be protected throughout construction. Any damage to existing pavements, vegetation, amenities, structures, etc. will be repaired or replaced by the Contractor at no additional expense to the Owner.

General Notes, continued:

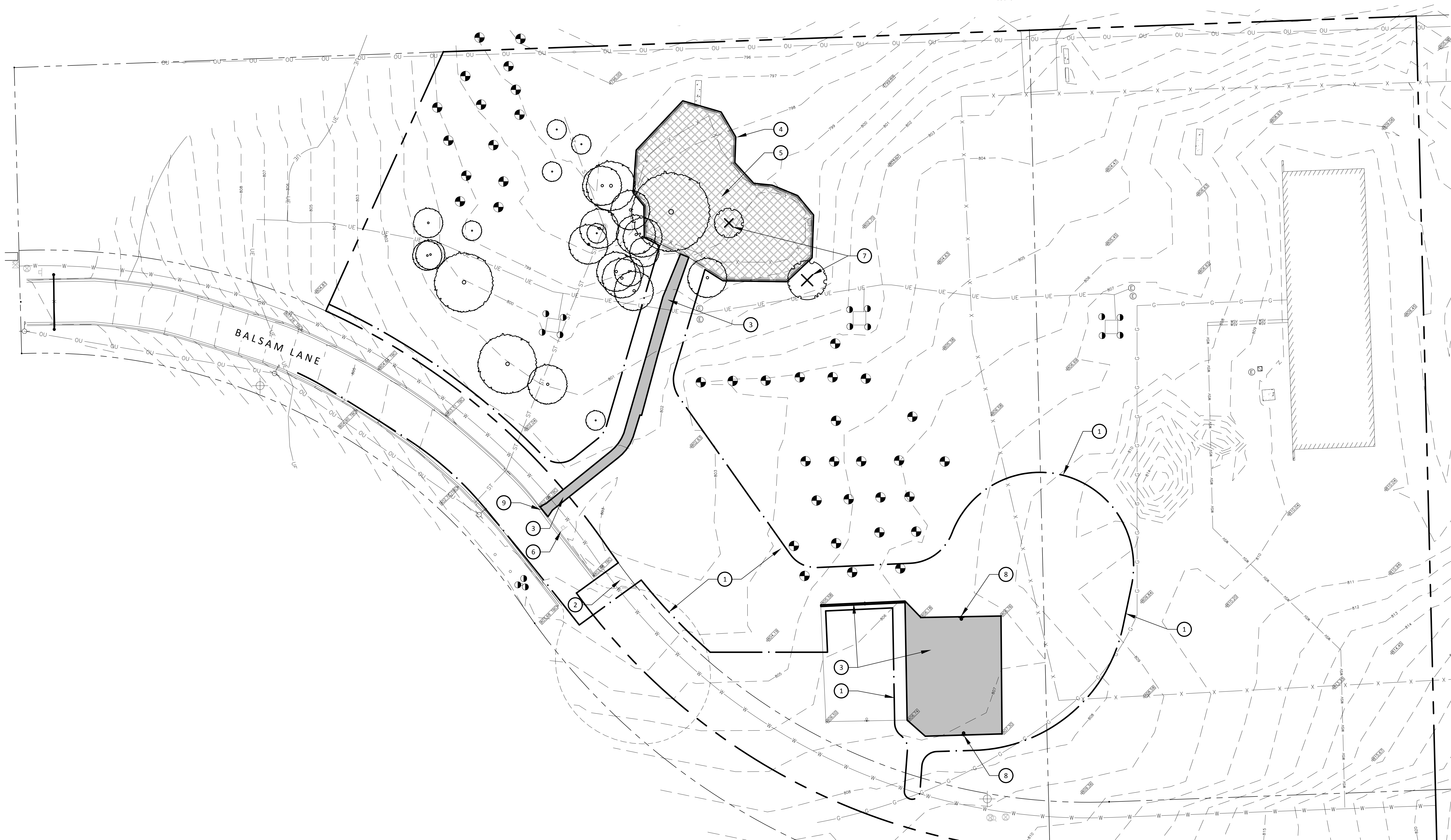
- All existing trees shall remain and be protected throughout construction, unless noted otherwise. No construction activity, other than what is shown on the plans, shall be permitted within the drip line of existing trees. Any trees damaged during construction shall be subject to the Tree Replacement Fee Schedule outlined in the specifications. See Detail.
- All items designated for removal shall be legally disposed of off-site.
- The Contractor is responsible for verifying site conditions before bidding and construction, and will immediately notify the Owner of any inaccuracies.
- Site access to be permitted only at locations shown. Construction traffic will not be permitted to access the site from any other location.

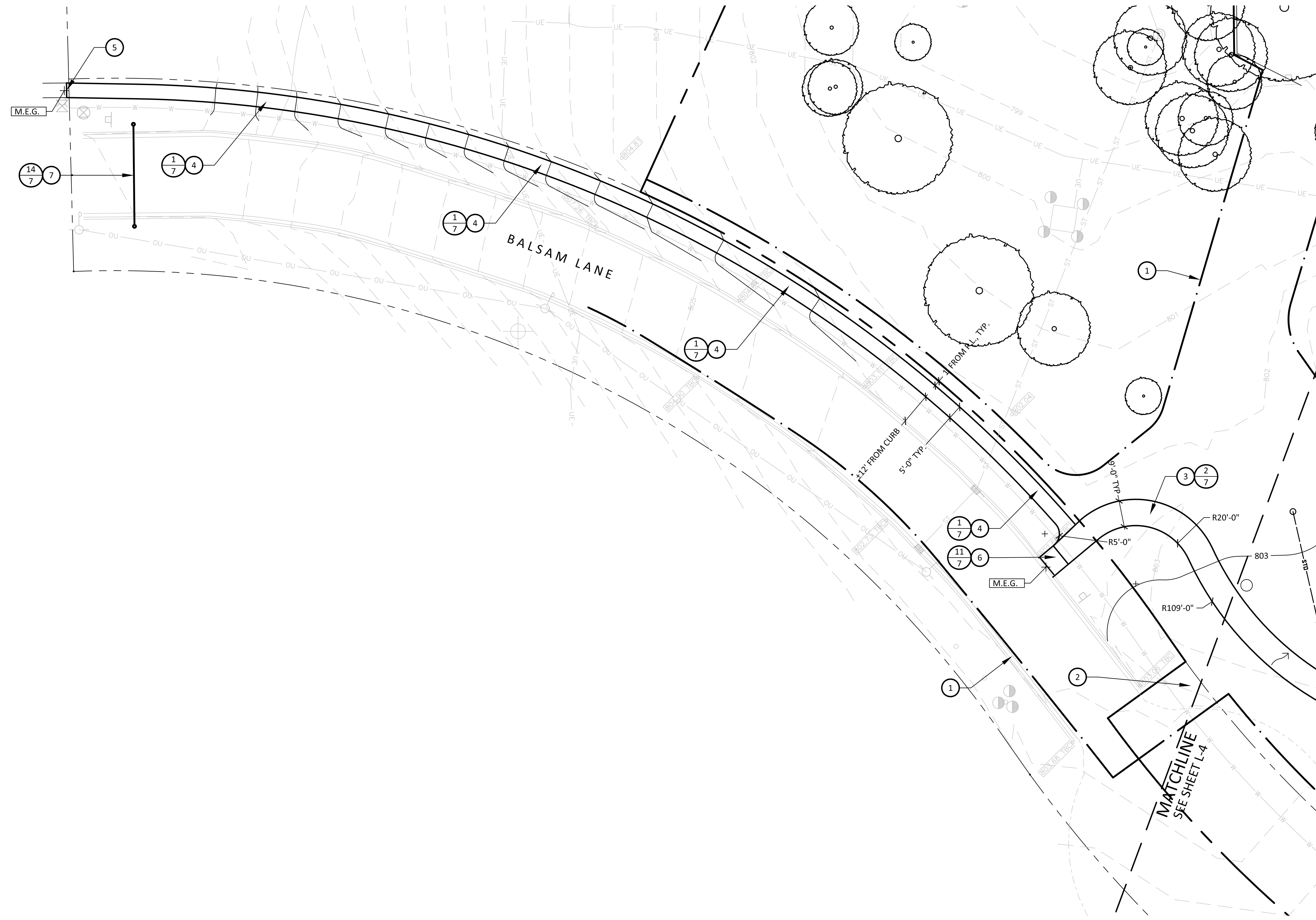
General Notes, continued:

- The existing chain link construction fencing around the existing playground and the new groundwater treatment facility will be removed by Others.
- Keyed Notes
1. Construction work limits line. Construction activity shall only be permitted within work limits. Any damage outside of construction limits shall be repaired at no additional expense to the Owner.
 2. Work site access point. Construction site access shall only be permitted at designated access point. Protect existing concrete curb and pavements. Any damage curbing or pavement will be repaired to the satisfaction of the City of Rockford at no additional expense to the Owner. Construct access point with large aggregate for dual use as tracking pad.
 3. Remove existing asphalt pavement, including all stone base material to existing sub-grade elevation. Sawcut existing asphalt basketball court.

Keyed Notes, continued:

4. Remove existing playground perimeter timber curbing to existing sub-grade.
5. Remove six inch (6") layer of existing playground surfacing material. Remove existing benches, bench footings, and existing playground equipment concrete footings. Backfill footing holes with compacted clay material to existing playground sub-grade elevation.
6. Existing sign to remain. Protect during construction.
7. Remove existing ash tree, including stump to a depth of 6" below grade. Backfill with topsoil.
8. Remove existing basketball outfit, including concrete footing. Backfill footing holes with compacted clay material.
9. Sawcut back of curb to create ramp opening matching proposed path width.





Notes

1. Construction work limits line. Construction activity shall only be permitted within work limits. Any damage outside of construction limits shall be repaired at no additional expense to the Owner.
2. Work site access point. Construction site access shall only be permitted at designated access point. Protect existing concrete curb and pavements. Any damage curbing or pavement will be repaired at no additional expense to the Owner.
3. Provide new asphalt pavement. Refer to detail.
4. ALTERNATE BID: Provide new concrete walk. Install concrete to walk to match existing longitudinal slope and provide new 1% cross slope towards street. Provide tooled control joints a minimum of 5' o.c. or as shown on plan. Provide expansion joints 30' o.c. Refer to detail.
5. Provide 1/2" expansion joint and meet grade where new concrete walk meets existing concrete.
6. Provide detectable warning strip where new concrete walk meets Balsam Lane. Refer to detail.
7. Install 35' wide double leaf barrier gate. Refer to Detail.

Grading & Utility Key

- 731 — Existing one-foot contour line
- 731 — Proposed one-foot contour line
- Existing spot elevation
- 731.65 Proposed spot elevation
- Proposed water service line
- S10 — Proposed storm sewer drainage line
- Indicates proposed surface drainage flow direction
- M.E.G. Match existing grade

EKBERG
PINE
MANOR
PARK



**ROCKFORD
PARK DISTRICT**

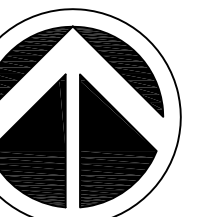
401 SOUTH MAIN STREET
ROCKFORD, ILLINOIS 61101

815-987-8800
ROCKFORDPARKDISTRICT.ORG

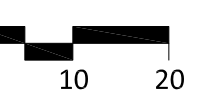
PROJECT DATA

Ekberg Pine Manor Park
New Park Construction

3750 Balsam Lane
Rockford, IL 61109



NORTH



SCALE: 1" = 20'0"

BASE INFORMATION
PROVIDED BY:
Fehr Graham

ISSUE

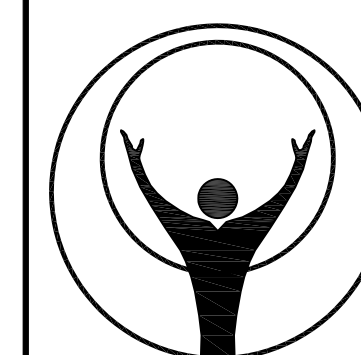
#	DATE	DESCRIPTION
1	06/06/18	75% Review
2	06/21/18	95% Review
3	07/13/18	Plan Review
4	08/28/19	For Bid

SHEET TITLE:

SITE
CONSTRUCTION
PLAN - WEST

SHEET NUMBER:

L-3



**ROCKFORD
PARK DISTRICT**

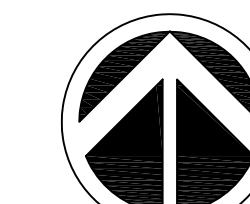
401 SOUTH MAIN STREET
ROCKFORD, ILLINOIS 61101

815-987-8800
ROCKFORDPARKDISTRICT.ORG

PROJECT DATA

Ekberg Pine Manor Park
New Park Construction

3750 Balsam Lane
Rockford, IL 61109



NORTH

0 10 20
SCALE: 1" = 20'0"

BASE INFORMATION
PROVIDED BY:
Fehr Graham

ISSUE

#	DATE	DESCRIPTION
1	06/06/18	75% Review
2	06/21/18	95% Review
3	07/13/18	Plan Review
4	08/28/19	For Bid

SHEET TITLE:

**SITE
CONSTRUCTION
PLAN - EAST**

SHEET NUMBER:

L-4

Notes

- Construction work limits line. Construction activity shall only be permitted within work limits. Any damage outside of construction limits shall be repaired at no additional expense to the Owner.
- Work site access point. Construction site access shall only be permitted at designated access point. Protect existing concrete curb and pavements. Any damage curbing or pavement will be repaired at no additional expense to the Owner.
- Provide new asphalt pavement. Refer to detail.
- Sawcut edge of existing asphalt basketball court to provide clean transition to new asphalt path.
- New pathway light, by Others.
- Water main connection by City of Rockford. City to install service to property line. Contractor to coordinate.
- Provide new park water service line. Refer to detail and utility key.
- Provide new park storm water drainage line. Refer to detail and utility key.
- Provide playground under drainage line. Refer to detail and utility key.
- Provide NDS drainage structure. Ensure that surrounding grade drains to structure. Refer to details and Utility Plan.
- Playground area construction reference point. Refer to Playground Area Construction Plan.

Grading & Utility Notes

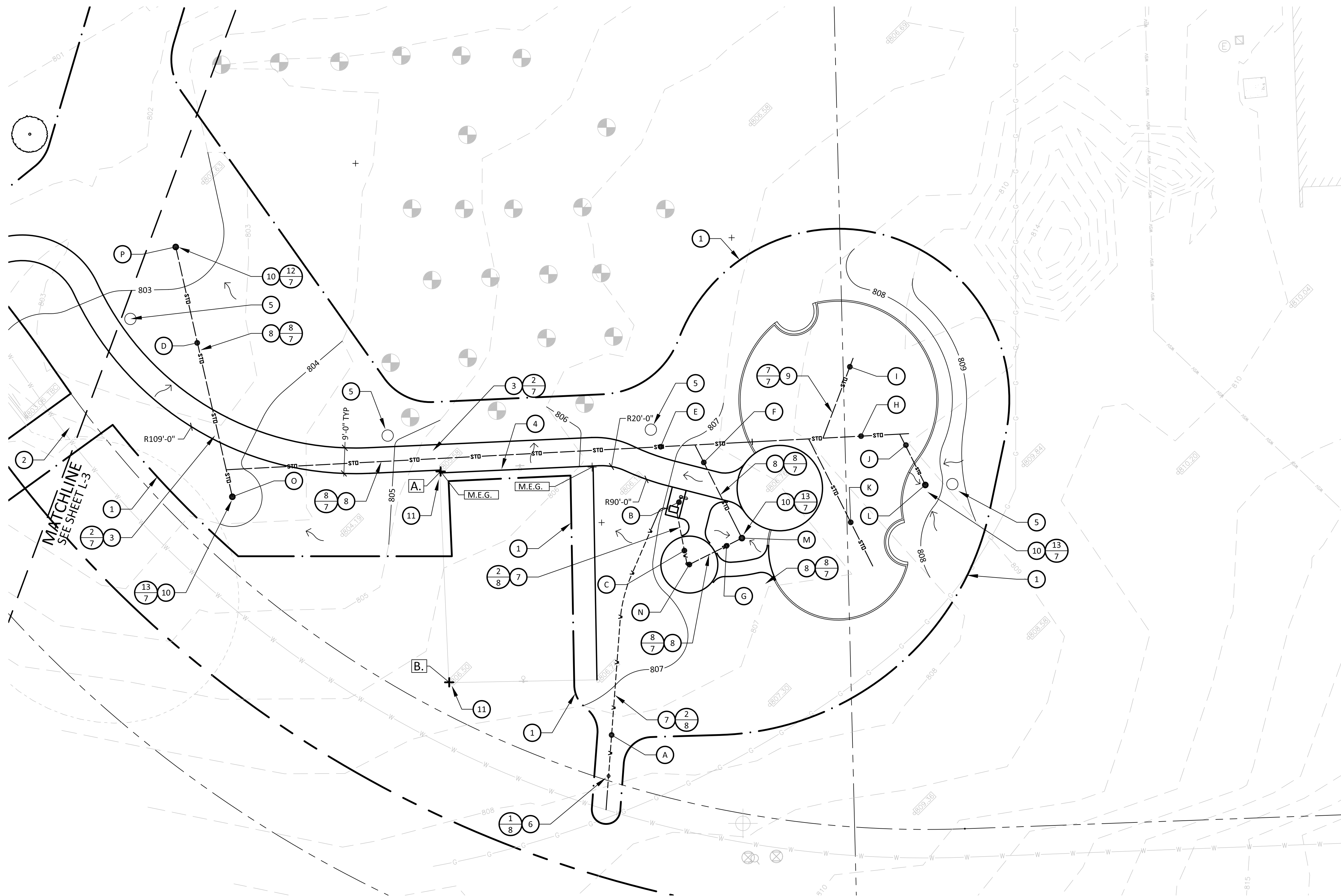
- Contractor shall strip and stockpile topsoil material within areas of new excavation. Provide a minimum 6" topsoil layer over all graded areas. Topsoil shall be free of existing vegetation and debris. Refer to Landscape and Restoration sheets.
- Contractor shall separately stockpile topsoil and excess materials encountered during site construction in areas shown on the plan. Re-spread topsoil materials once rough grading is complete. Use excess materials as necessary for fill areas. If excess fill material is encountered it is to be placed within the existing playground area footprint.
- Grade site and pavements as shown. Provide positive drainage to proposed drainage structures as shown. Minimum slope of vegetated surfaces shall be 2%.
- Install pavements at existing grade or as shown. All paved surfaces shall not exceed 2.0% cross slope and 5.0% longitudinal slope. All paved surfaces are designed to a maximum 1.5% cross slope and 4.5% longitudinal slope.
- If water service is to be directionally bored it shall meet City of Rockford requirements. Water service must be a minimum of 18" from all existing and proposed footings, structures, etc. and match the minimum depth requirements shown on the details. Water service shall be encased where it crosses proposed storm sewer.
- An as-built utility plan shall be provided by the Contractor upon completion.
- Quantities provided below are for reference only. Bidder is to confirm quantities independently based on what is depicted in the plans.
- NDS Catch Basin structures are designed with a minimum 12" between rim and invert elevations. Adjust riser pipe length as necessary to provide elevations shown below.
- NDS Flow Well structures are designed with a minimum 24" between rim and invert elevations. Adjust riser pipe length as necessary to provide elevations shown below. On Flow Well structures with both inlet and outlet pipes the outlet pipe invert is to be the same or higher than the inlet to promote stormwater infiltration.

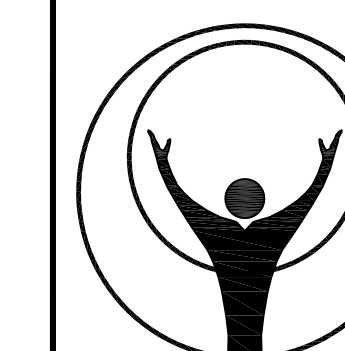
Utility Key

- A. 2" HDPE (DR 9 PE 3408) water service (108 linear feet). Connect proposed water service line to service box installed by City of Rockford. Provide all necessary connections and new b-box valve.
- B. 3/4" HDPE (DR 26 PE 3408) water service to drinking fountain (5 linear feet)
- C. 3/4" HDPE (DR 26 PE 3408) water service to spray pad (20 linear feet)
- D. 4" HDPE storm drain line (90 linear feet @ 2.3%)
- E. 4" HDPE storm drain line (185 linear feet @ 1.4%)
- F. 4" HDPE storm drain line (35 linear feet @ 1.1%)
- G. 4" HDPE storm drain line (20 linear feet @ 5.0%)
- H. 4" rigid perforated PVC storm drain line (55 linear feet @ 1.0%)
- I. 4" rigid perforated PVC storm drain line (30 linear feet @ 1.0%)
- J. 4" rigid perforated PVC storm drain line (20 linear feet @ 3.0%)
- K. 4" rigid perforated PVC storm drain line (50 linear feet @ 1.0%)
- L. NDS Catch Basin Rim: 807.20, Out: 806.20
- M. NDS Flow Well Sump Rim: 807.20, Out: 805.20
- N. 4" Floor Drain Rim: 807.20, Out: 806.20
- O. NDS Catch Basin Rim: 803.75, In: 802.75
- P. NDS Flow Well Sump Rim: 802.70, In: 800.70

Grading & Utility Key

- 731 Existing one-foot contour line
- 731 Proposed one-foot contour line
- Existing spot elevation
- 731.65 Proposed spot elevation
- Proposed water service line
- Proposed storm sewer drainage line
- Indicates proposed surface drainage flow direction
- Match existing grade
- Monitoring / extraction well. Do not disturb.

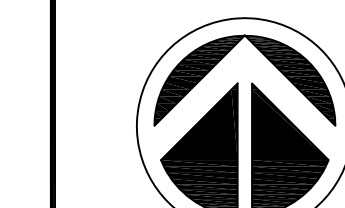




PROJECT DATA

Ekberg Pine Manor Park
New Park Construction

3750 Balsam Lane
Rockford, IL 61109



NORTH

0 5 10
SCALE: 1" = 10'0"

BASE INFORMATION
PROVIDED BY:
Fehr Graham

ISSUE

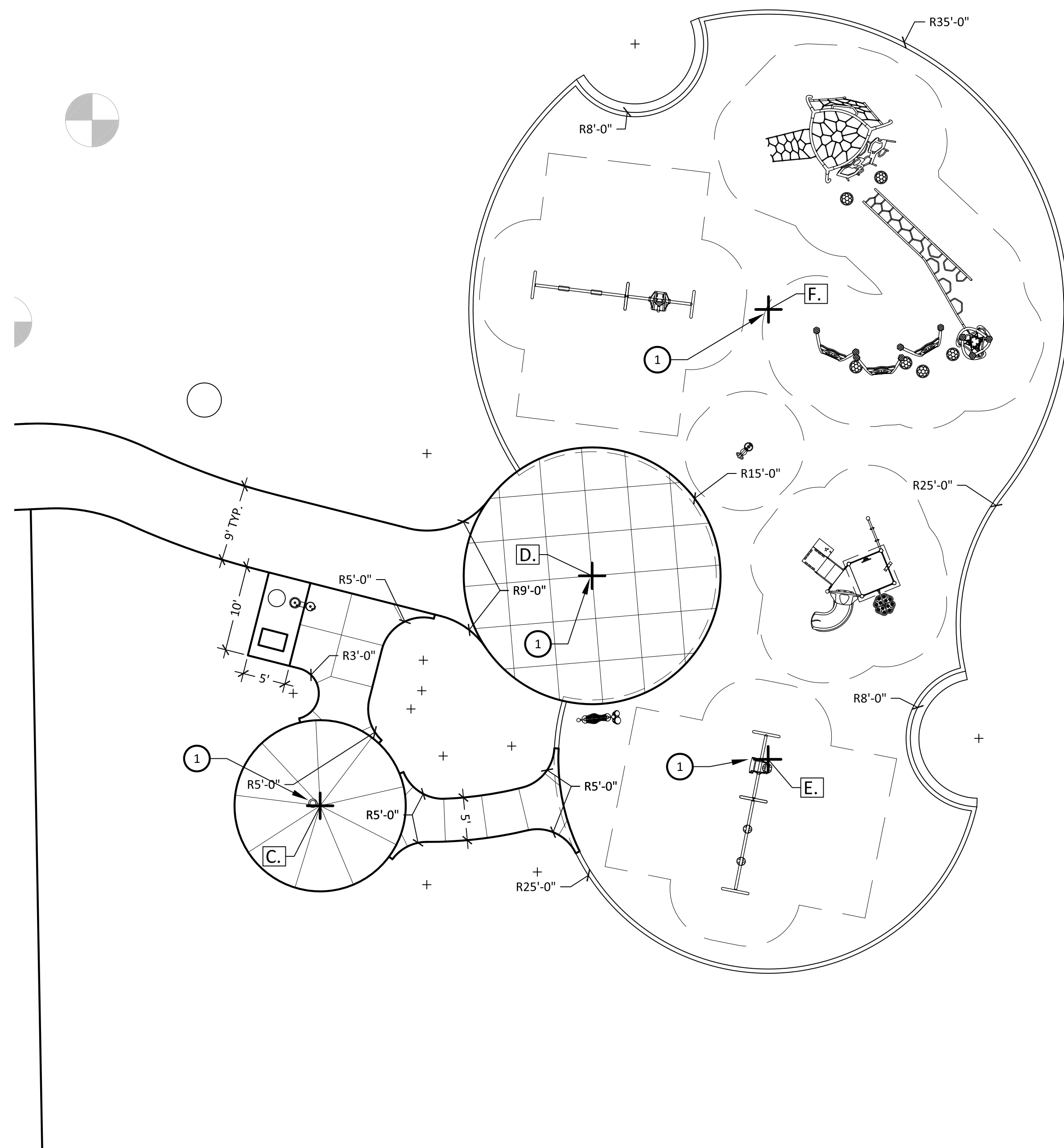
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1	06/06/18	75% Review
2	06/21/18	95% Review
3	07/13/18	Plan Review
4	08/28/19	For Bid

SHEET TITLE:

**PLAYGROUND
AREA
CONSTRUCTION
PLAN**

SHEET NUMBER:

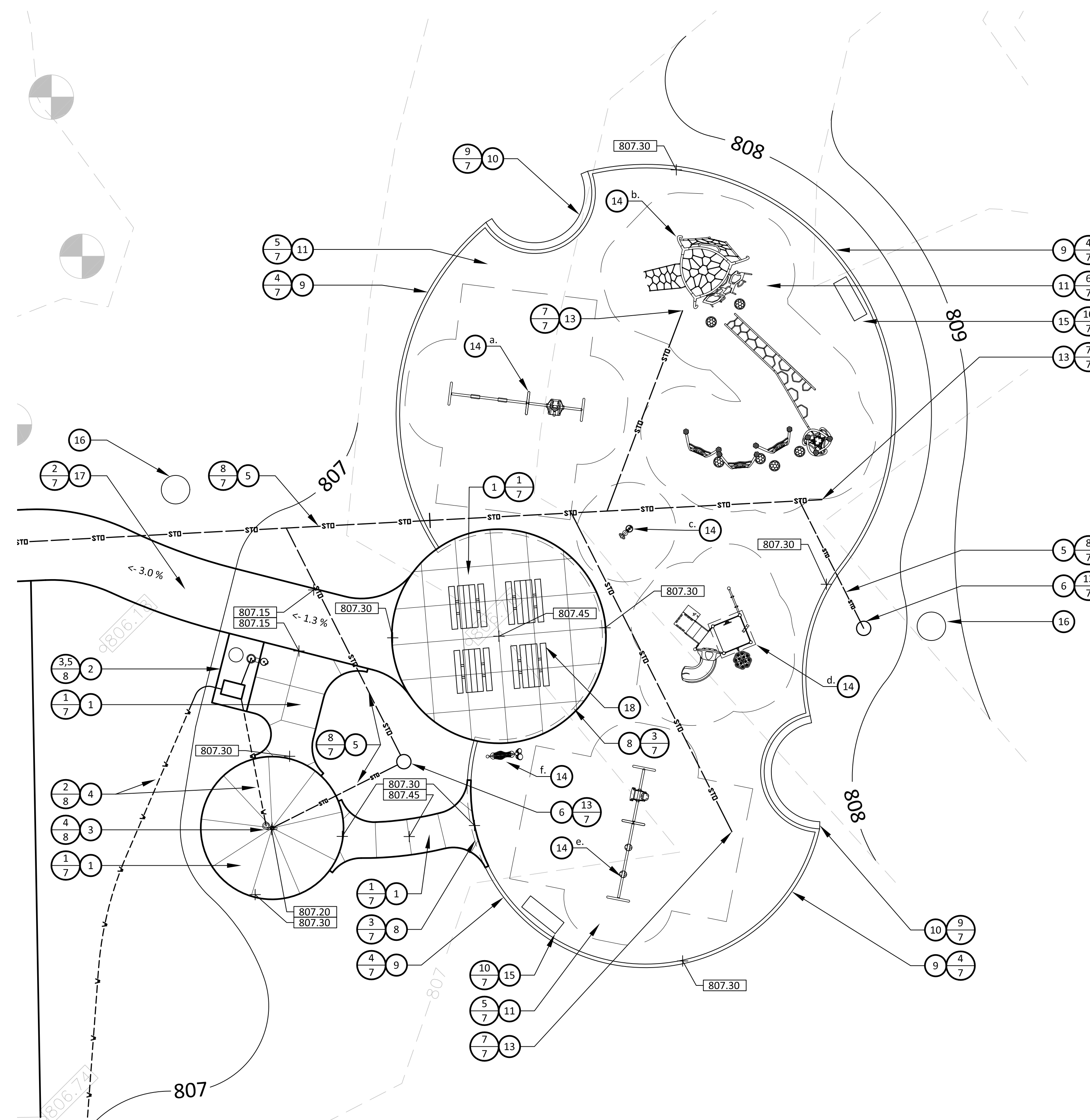
L-5



Playground Area Layout & Dimension Plan

1. Denotes playground construction layout base point. New base points are located using the northwest (A.) and southwest (B.) corners of the existing basketball court as references.

Point #	From A	From B	Description
C.	93.80'	94.10'	Centerpoint of Spray Pad
D.	119.70'	134.80'	Centerpoint of Picnic Area
E.	142.80'	144.60'	Centerpoint of Swings Area
F.	142.30'	169.10'	Centerpoint of Playground



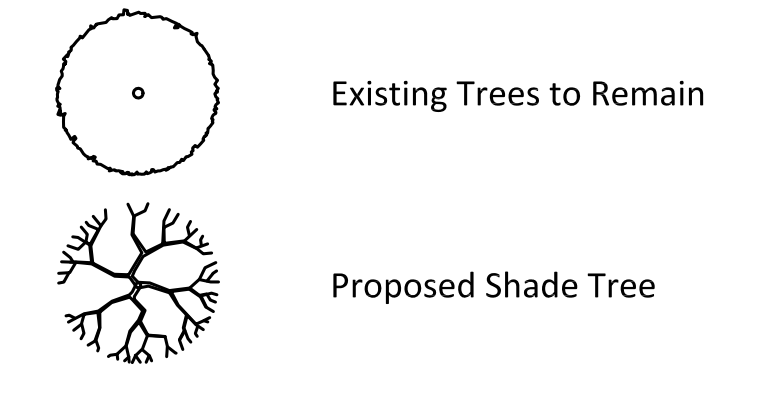
Playground Area Grading & Construction Plan

- | | | |
|---|---|---|
| <ol style="list-style-type: none"> 1. Provide new concrete walk. Refer to details. 2. Provide drinking fountain and service manhole. Refer to detail. 3. Provide spray feature and drain. Refer to detail and Site Utility Plan. 4. Water service line. Refer to detail and Site Utility Plan. 5. Storm drainage line. Refer to detail and Site Utility Plan. 6. NDS catch basin structure. Refer to detail and Site Utility Plan. 7. NDS flow-well structure. Refer to detail and Site Utility Plan. 8. Provide 6" x 12" curb faced walk where playground surfacing is adjacent to concrete walk. Refer to detail. 9. Provide concrete perimeter curb. Refer to detail. 10. ALTERNATE BID: Provide new seat wall. Refer to detail. 11. Install new engineered wood fiber playground surfacing, EWF material to be provided by the Owner, soil separator fabric to be provided by the Contractor. Prepare playground sub-grade to provide positive slope to playground under-drainage system. Surfacing installation shall comply with current applicable standards established by ASTM and CPSC. Refer to detail. | <ol style="list-style-type: none"> 12. Provide four (4) new picnic tables with strap anchor kits. Model WUT-G-6TP by Pilot Rock. 13. Excavate as necessary and provide playground under-drainage line. Drainage line within playground to be perforated with filter sock and clean-outs. Install pipe with a minimum 1% slope. Refer to detail and Site Utility Plan. 14. New playground equipment, refer to the Playground Equipment list. The playground equipment will be furnished by the Owner. The equipment will be delivered to the site and offloaded by the Contractor. Owner will provide secure on-site storage. Contractor responsible for assembling and installing the playground equipment, including concrete footings. Playground installation shall comply with current applicable standards established by ASTM and CPSC. Contact Doug Oberbroekling with Cunningham Recreation at 815-355-9225, refer to quote #133064. Safety zones shown are for general reference purposes only. Contractor shall follow manufacturer's installation instructions and safety zone requirements. 15. Provide new in ground bench. Follow manufacturer's installation instructions. Refer to detail. 16. New pathway light, by Others. 17. Provide new asphalt path. Refer to detail. | <p>Playground Equipment List</p> <ol style="list-style-type: none"> a. 5-12 Year Old Swings b. 5-12 Year Old Play Structure c. Spring Rider d. 2-5 Year Old Play Structure e. 2-5 Year Old Swings f. Music Play Panel |
|---|---|---|

Plant List

Symbol	Plant Name	Size	Quantity
SHADE TREES			
LT	<i>Liriodendron tulipifera</i> Tulip Tree	2"	4
QR	<i>Quercus rubra</i> Northern Red Oak	2"	3

Planting Key

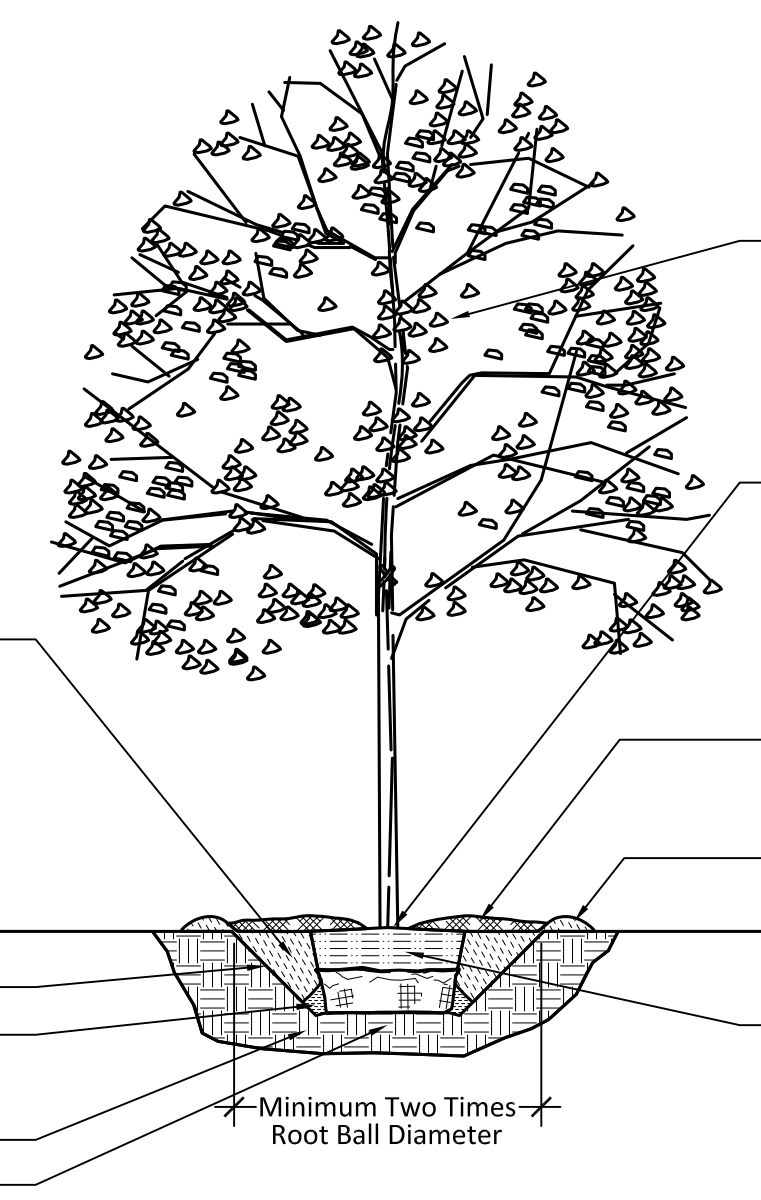
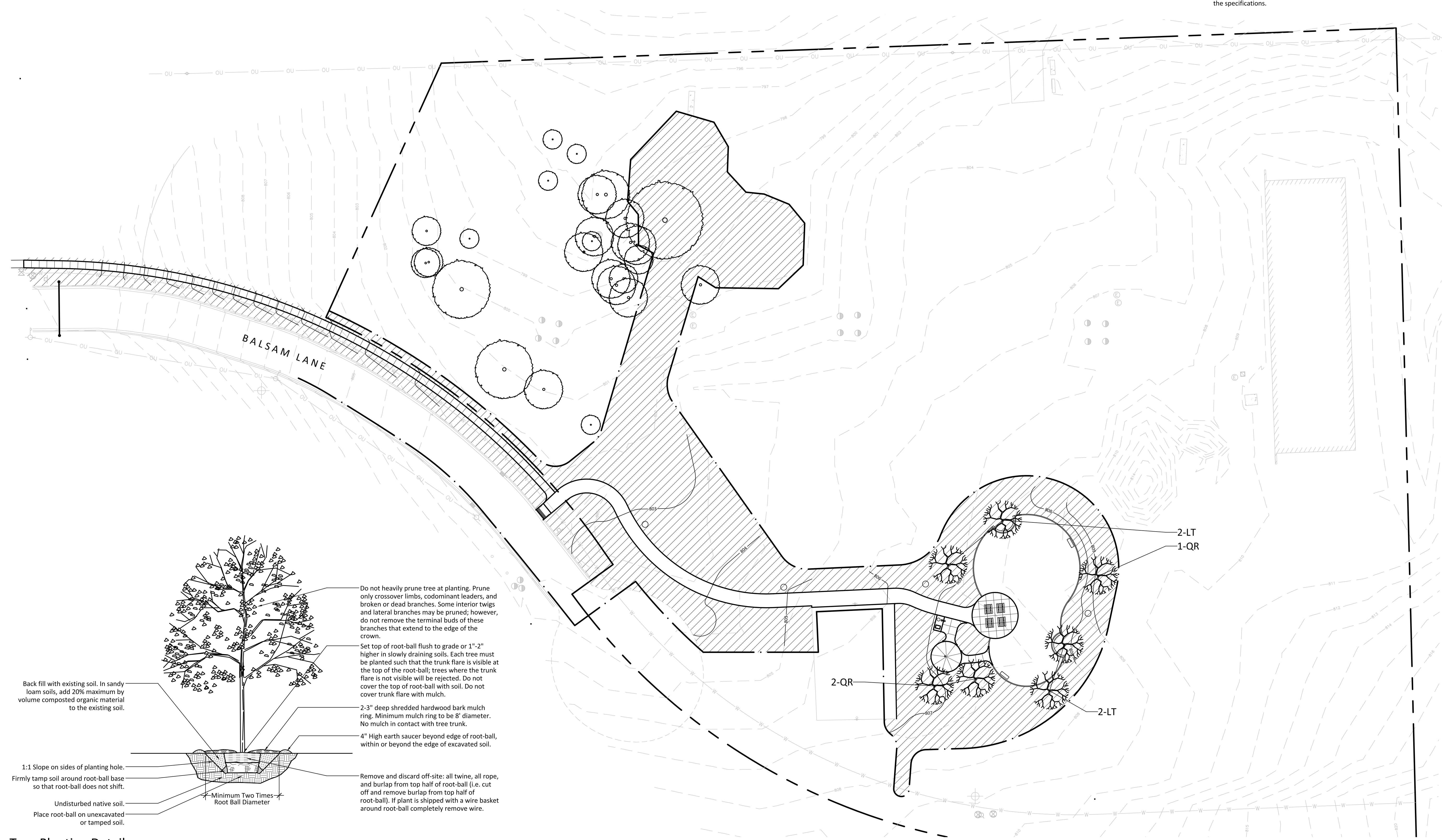


Restoration Key



Notes

- General Notes**
- Tree, shrub, and perennial installation to include excavation, mulch, soil, and all other materials.
 - All trees, shrubs, and perennials are to have a one-year replacement guarantee upon final acceptance. Contractor to water all trees and shrubs as needed up to and for a period of no less than one month after final planting. Tree water bags are preferred means of watering trees during this period being refilled as needed during dry periods and after initial water after planting.
 - The Contractor is responsible for all site restoration. All disturbed areas and areas damaged during construction shall be repaired. Refer to the Restoration Key and specifications. Regardless of limits shown the Contractor shall restore any area disturbed by construction, access, or staging operations.
 - All turf restoration shall include a minimum 6" layer of topsoil and seeded with turf seed mix and stabilized with crimped straw. Refer to the specifications.

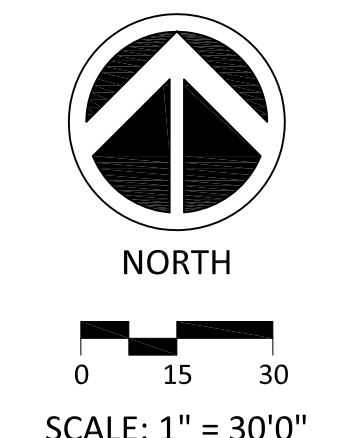


- Back fill with existing soil. In sandy loam soils, add 20% maximum by volume composted organic material to the existing soil.
- 1:1 Slope on sides of planting hole.
- Firmly tamp soil around root-ball base so that root-ball does not shift.
- Undisturbed native soil.
- Place root-ball on unexcavated or tamped soil.
- Minimum Two Times Root Ball Diameter
- Do not heavily prune tree at planting. Prune only crossover limbs, codominant leaders, and broken or dead branches. Some interior twigs and lateral branches may be pruned; however, do not remove the terminal buds of these branches that extend to the edge of the crown.
- Set top of root-ball flush to grade or 1"-2" higher in slowly draining soils. Each tree must be planted such that the trunk flare is visible at the top of the root-ball; trees where the trunk flare is not visible will be rejected. Do not cover the top of root-ball with soil. Do not cover trunk flare with mulch.
- 2-3" deep shredded hardwood bark mulch ring. Minimum mulch ring to be 8' diameter. No mulch in contact with tree trunk.
- 4" High earth saucer beyond edge of root-ball, within or beyond the edge of excavated soil.
- Remove and discard off-site: all twine, all rope, and burlap from top half of root-ball (i.e. cut off and remove burlap from top half of root-ball). If plant is shipped with a wire basket around root-ball completely remove wire.

Tree Planting Detail

PROJECT DATA

Ekberg Pine Manor Park
New Park Construction
3750 Balsam Lane
Rockford, IL 61109



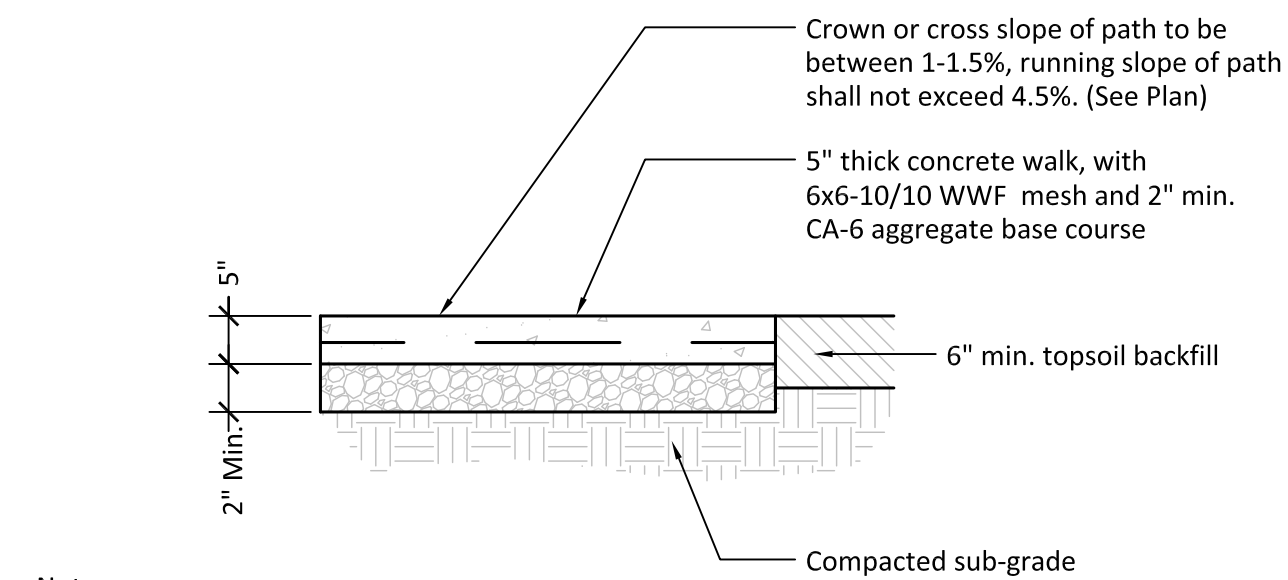
BASE INFORMATION
PROVIDED BY:
Fehr Graham

ISSUE

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2	06/21/18	95% Review
3	07/13/18	Plan Review
4	08/28/19	For Bid

SHEET TITLE:
**LANDSCAPE
AND
RESTORATION
PLAN**

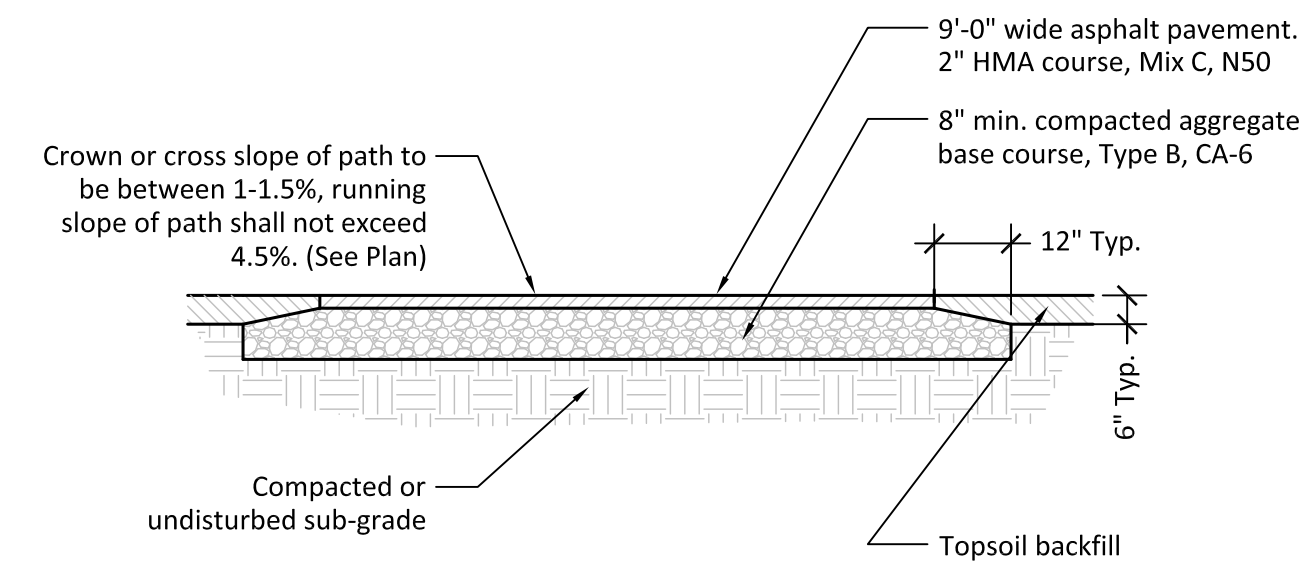
SHEET NUMBER:
L-6



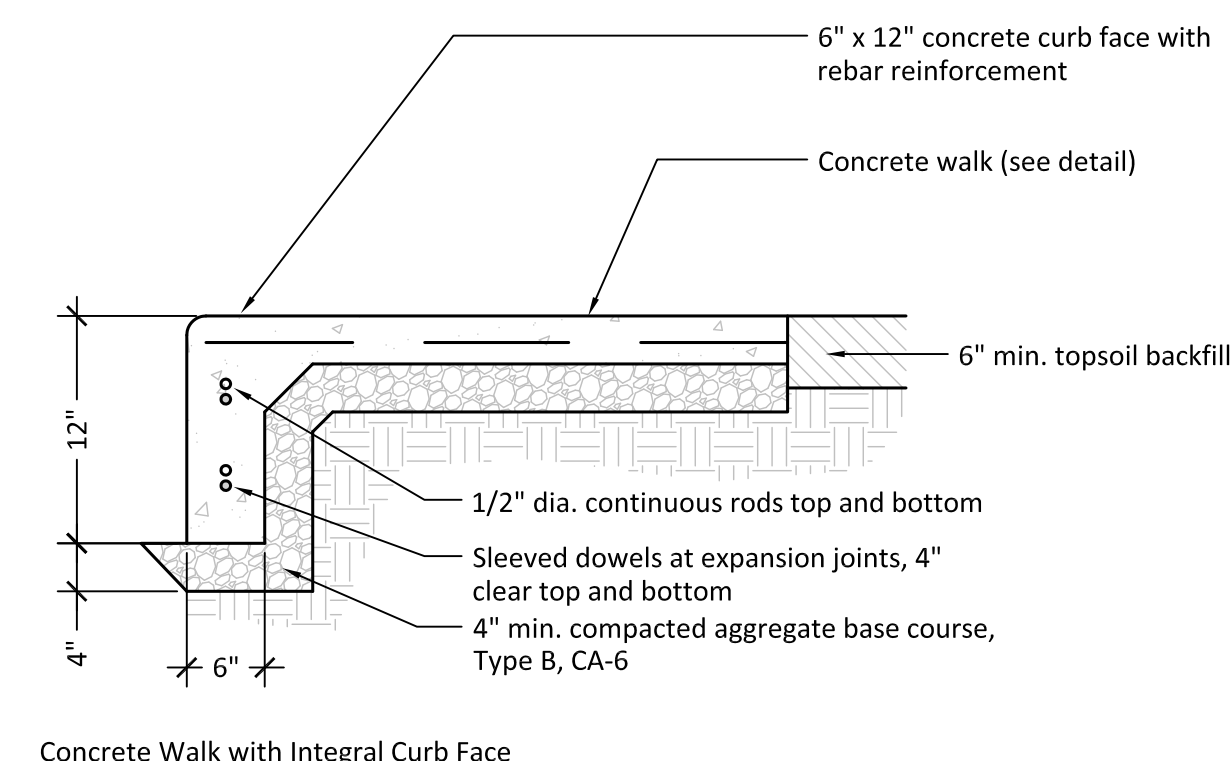
Notes

- Concrete shall be 3500 PSI, 5-8% air entrainment, with 3/4" max. aggregate size. Mixture shall be a 6.1 bag mix with no fly ash.
- Tooled joints shall be 1/4" deep, 5' O.C., or as shown on plan. Expansion joints shall be full depth, 1/2" thick, provided at 20' O.C., or as shown on plan.
- Provide medium broom finish.

1 - Concrete Walk

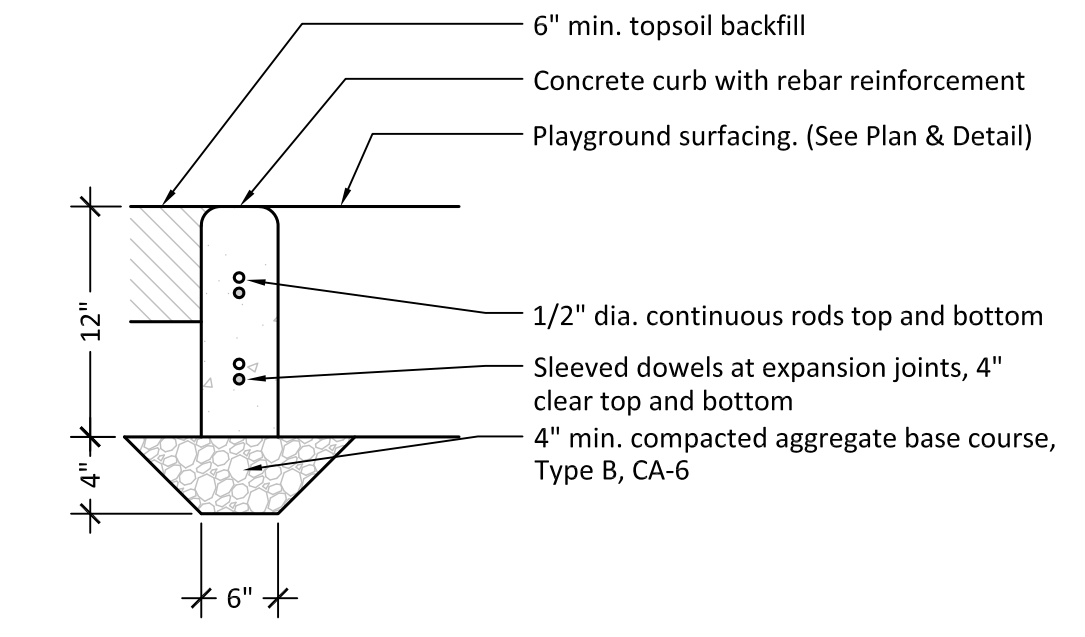


2 - Asphalt Pavement



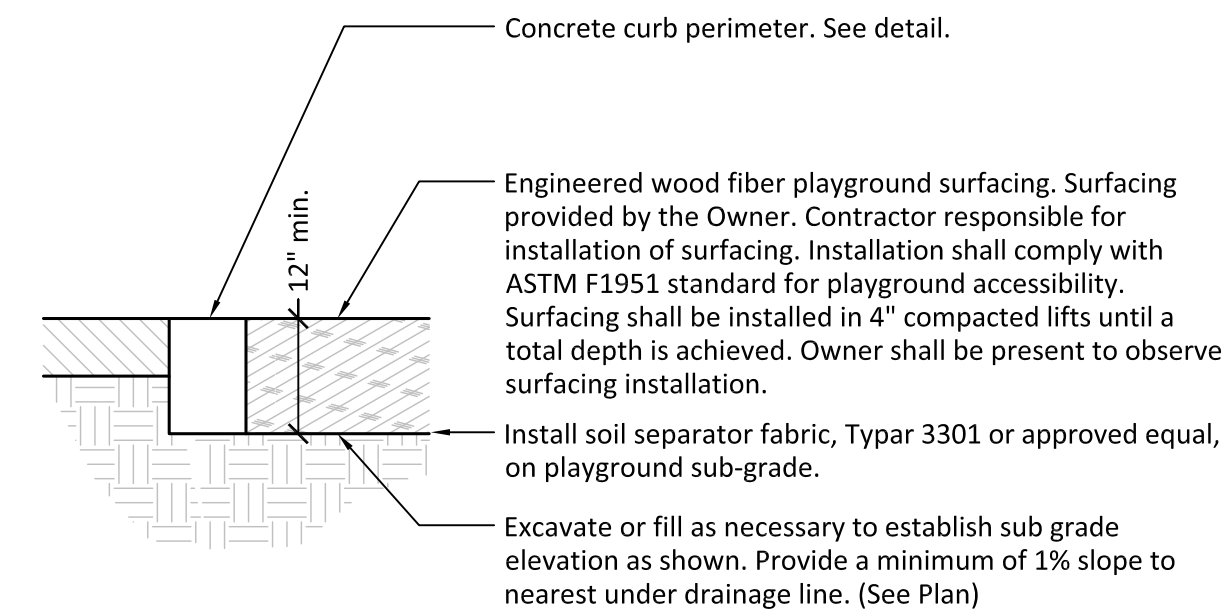
Concrete Walk with Integral Curb Face

3 - Concrete Curb & Walk with Curb Face



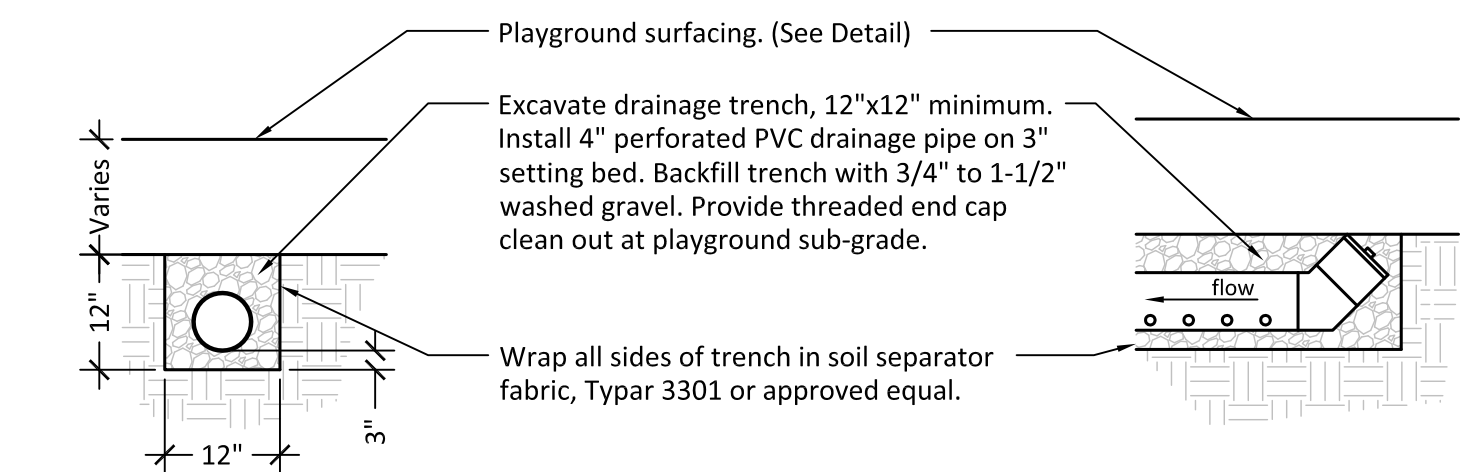
Perimeter Concrete Curb

4 - Concrete Curb Playground Perimeter

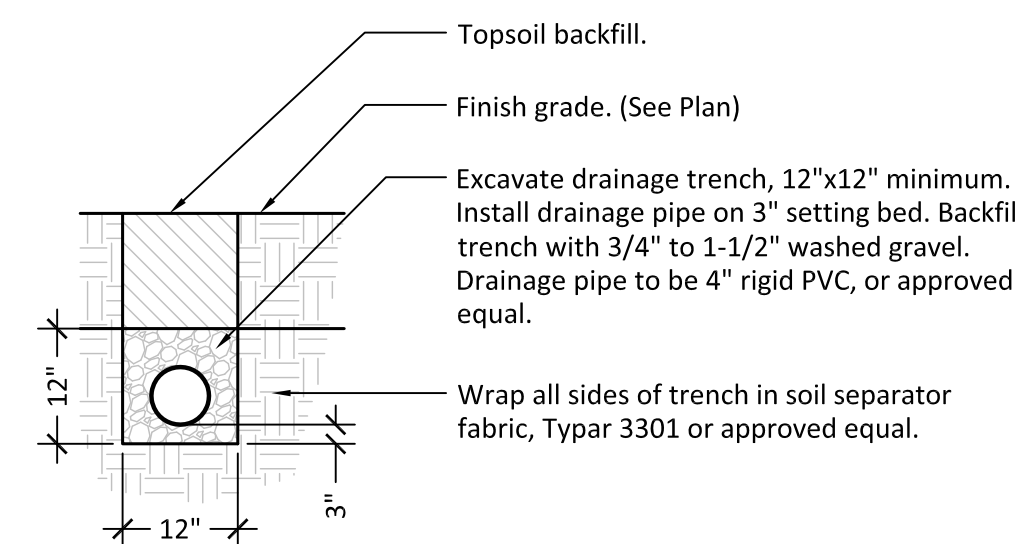


5 - Engineered Wood Fiber Playground Surfacing

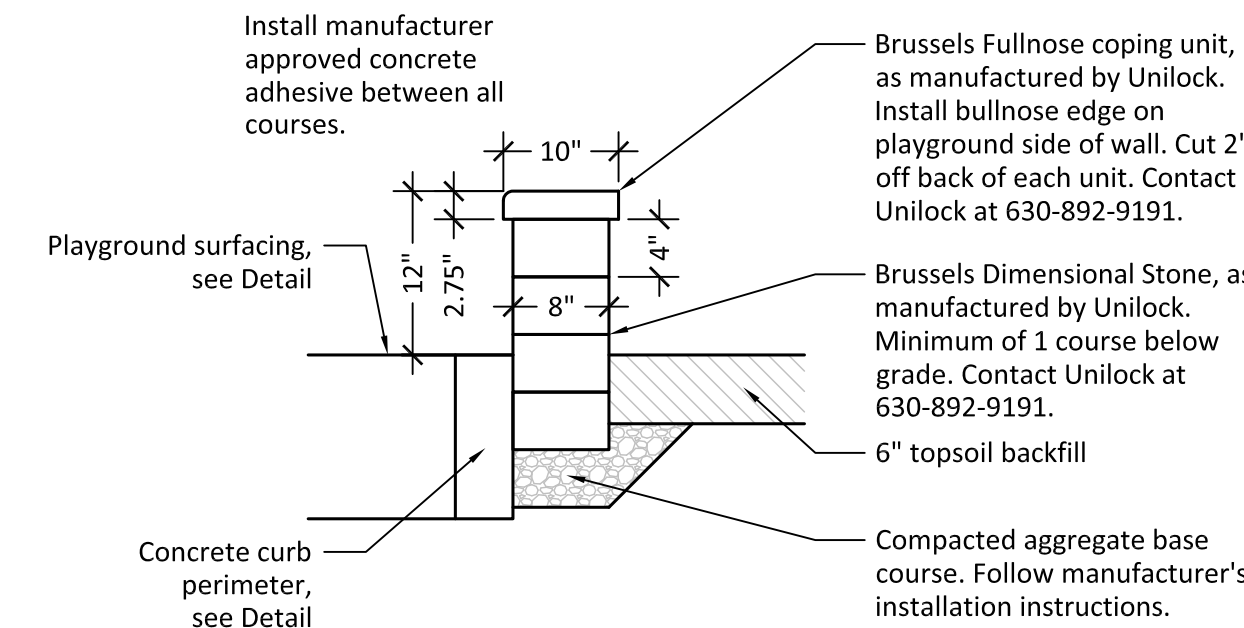
6 - No detail



7 - Playground Drainage Pipe

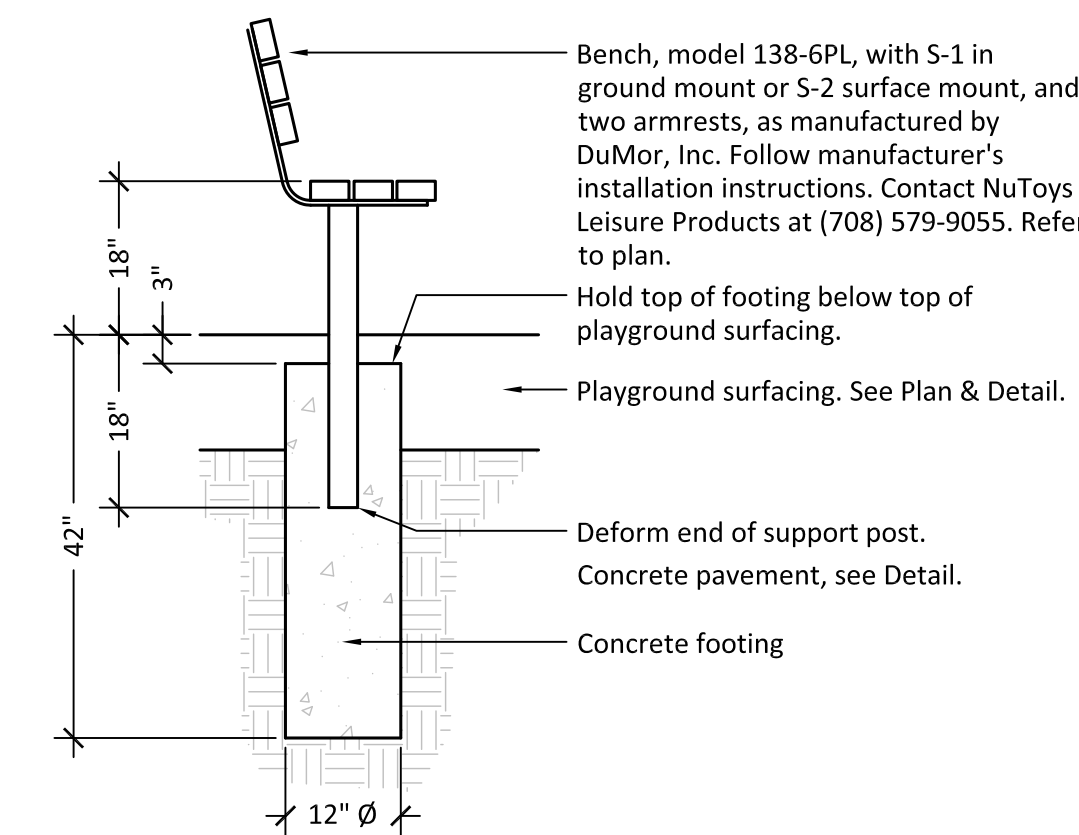


8 - Drainage Pipe



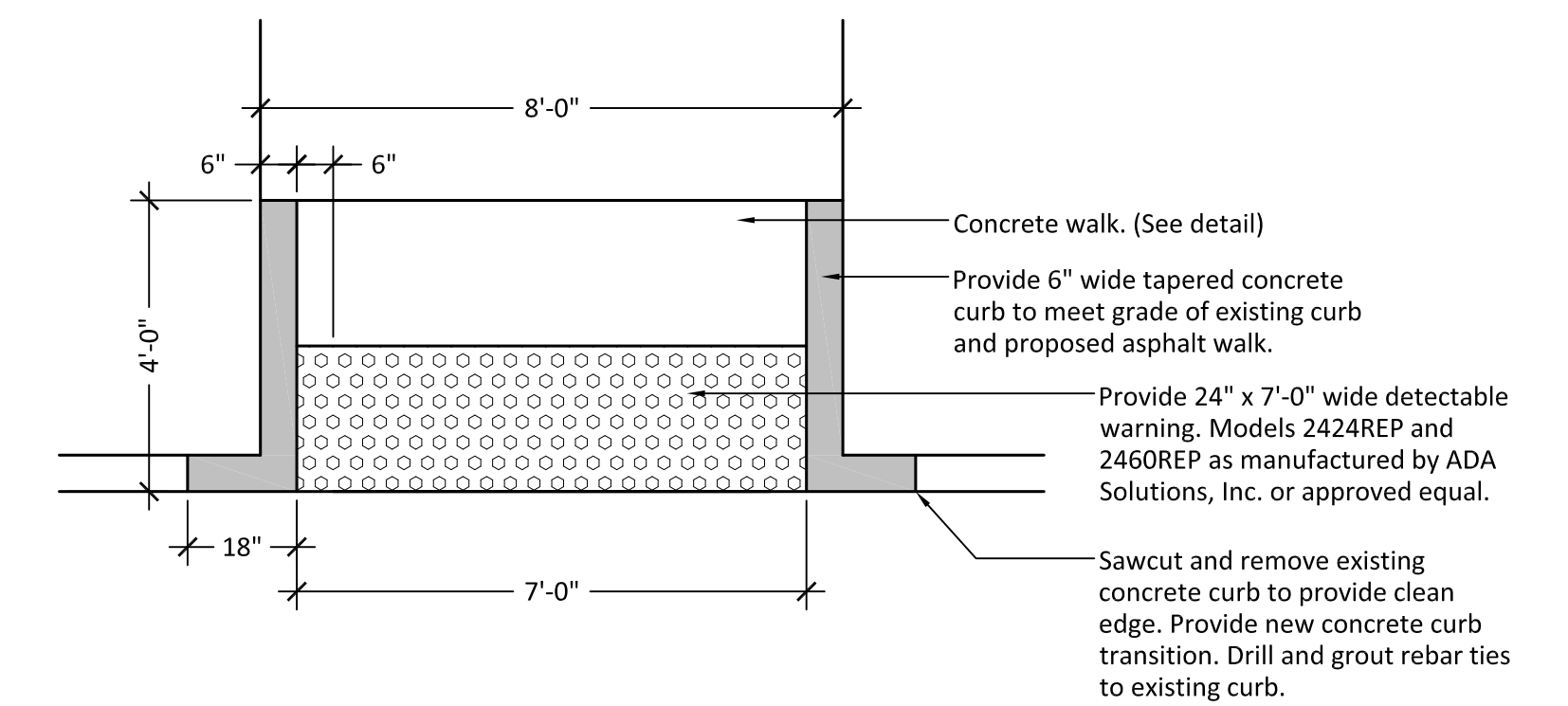
9 - Free Standing Seat Wall

ALTERNATE BID

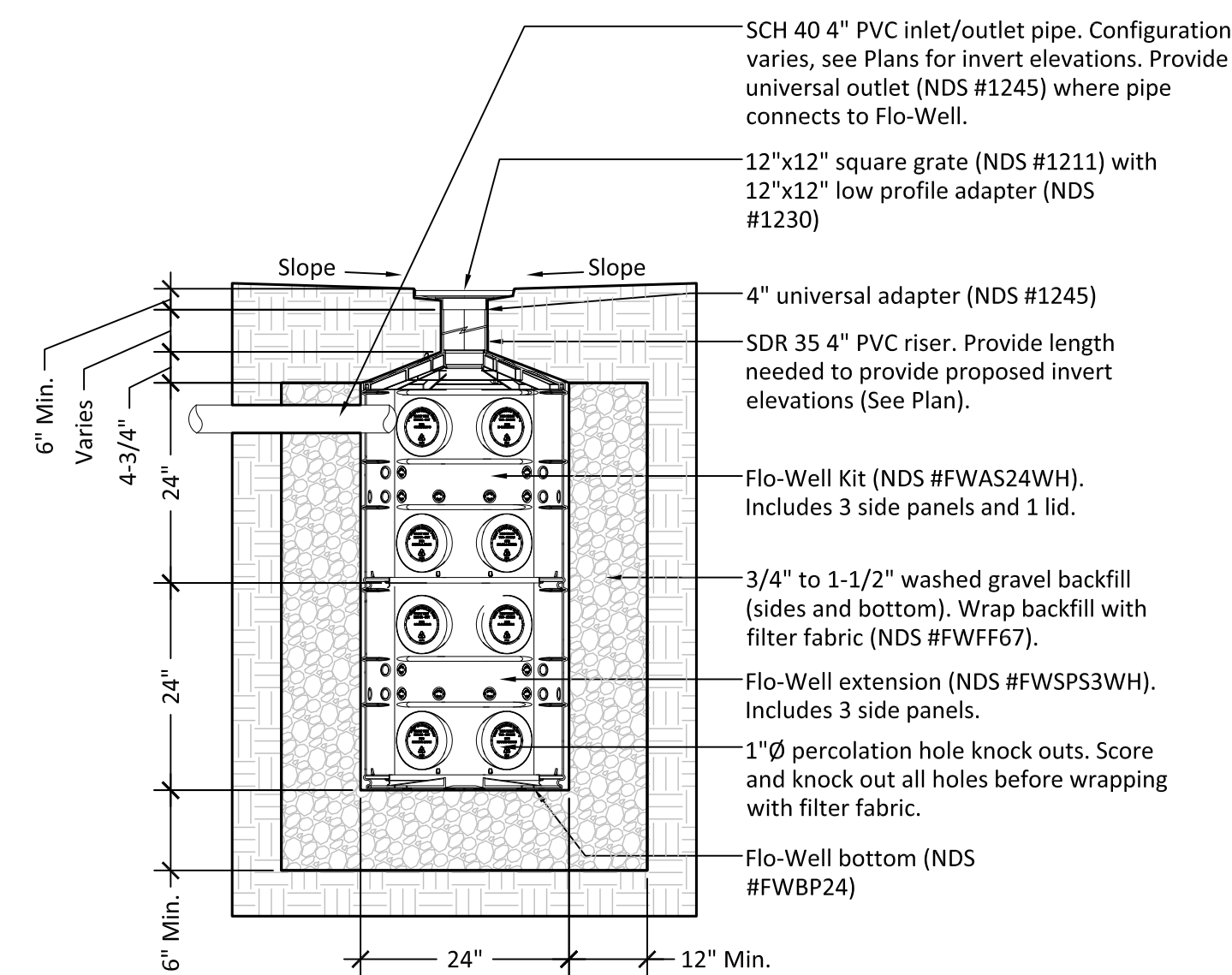


In Ground Mount

10 - Bench

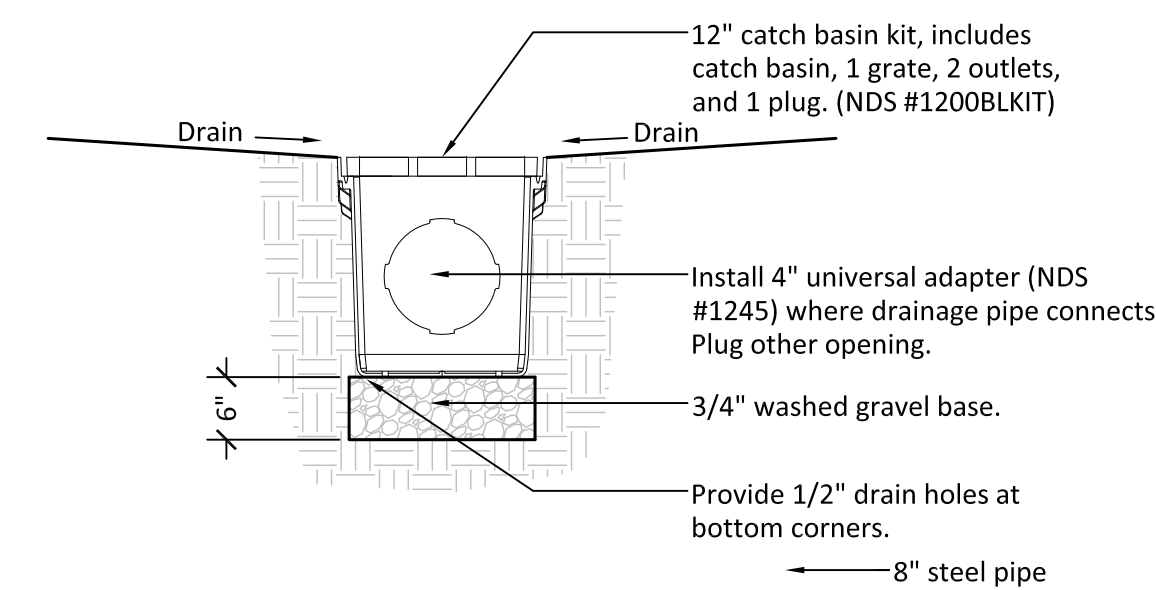


11 - Detectable Warning

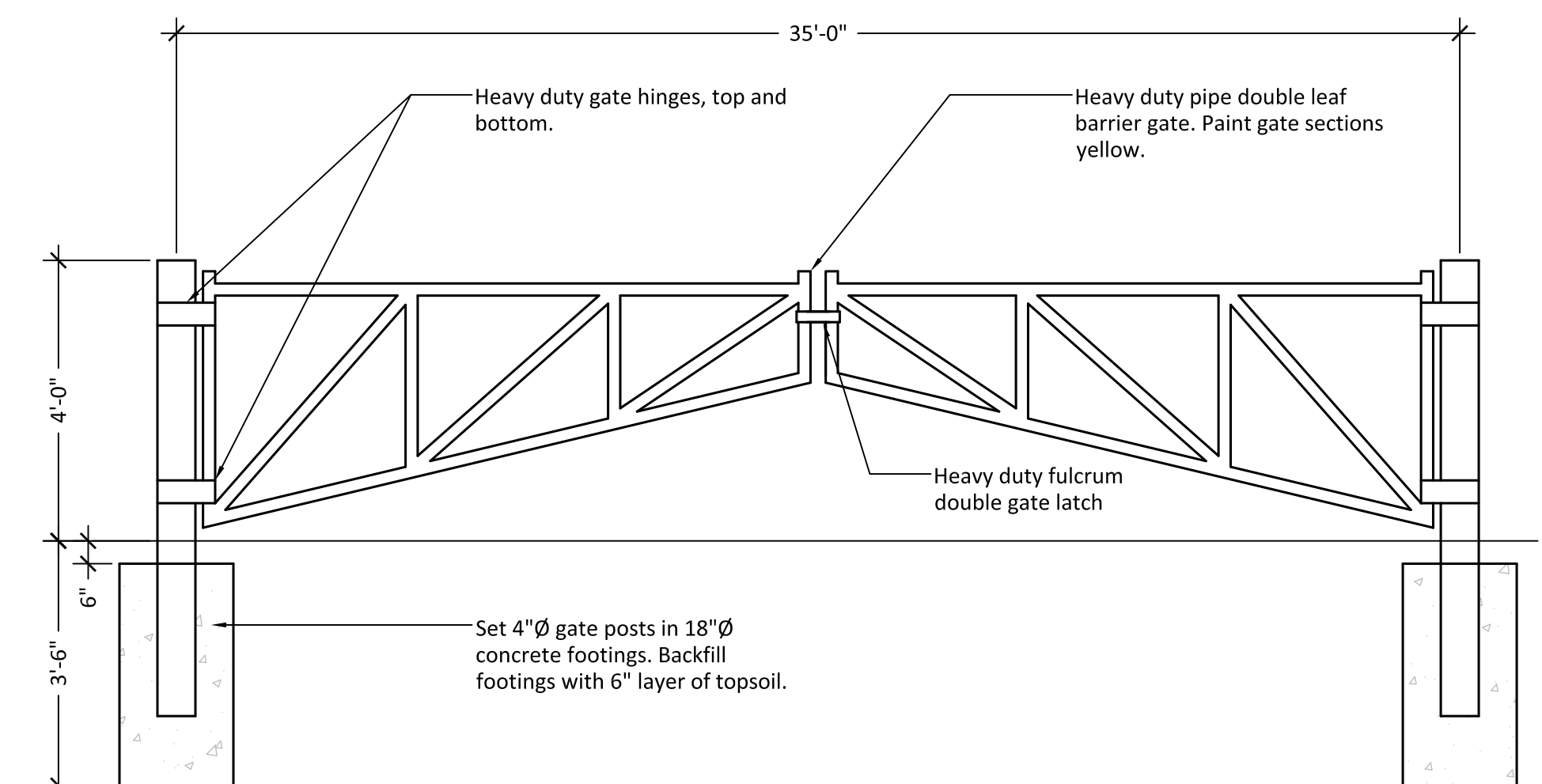


- Notes:**
- Follow manufacturer's installation instructions.
 - Contact NDS PRO for all pricing and additional information at 888-825-4716

12 - NDS Flow Well Drainage Structure



13 - NDS Catch Basin



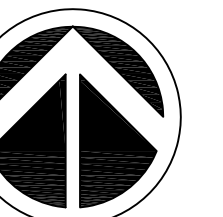
14 - Double Leaf Barrier Gate



PROJECT DATA

EKberg Pine Manor Park
New Park Construction

3750 Balsam Lane
Rockford, IL 61109



NORTH

NOT TO SCALE

BASE INFORMATION
PROVIDED BY:
Fehr Graham

ISSUE

#	DATE	DESCRIPTION
1	06/06/18	75% Review
2	06/21/18	95% Review
3	07/13/18	Plan Review
4	08/28/19	For Bid

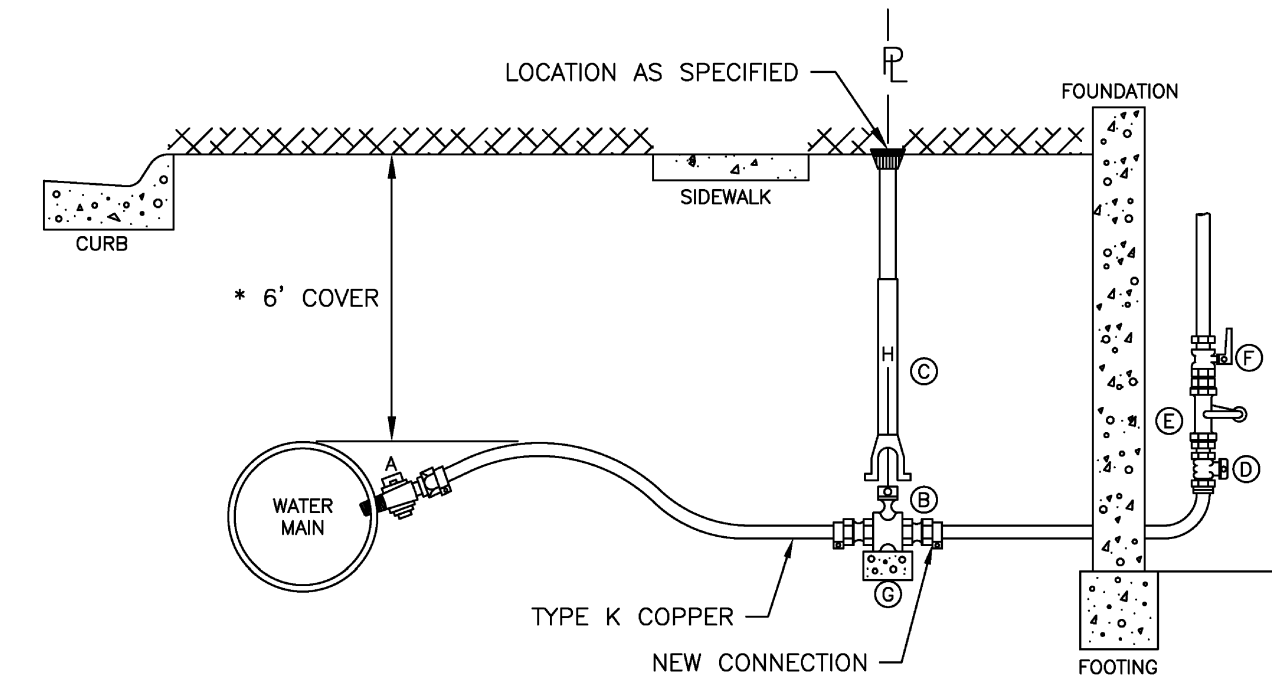
SHEET TITLE:

**CONSTRUCTION
DETAILS**

SHEET NUMBER:

L-7

ITEM	DESCRIPTION	SIZE
A	CORPORATION STOP	3/4"-2"
B	CURB STOP	3/4"-2"
C	CURB BOX	EXTENDABLE
D	METER STOP	3/4"-2"
E	METER SPREAD	3/4"-2"
F	METER STOP HOUSE SIDE	3/4"-2"
G	BRICK SIDE	CEMENT
H	ROD	3/8"

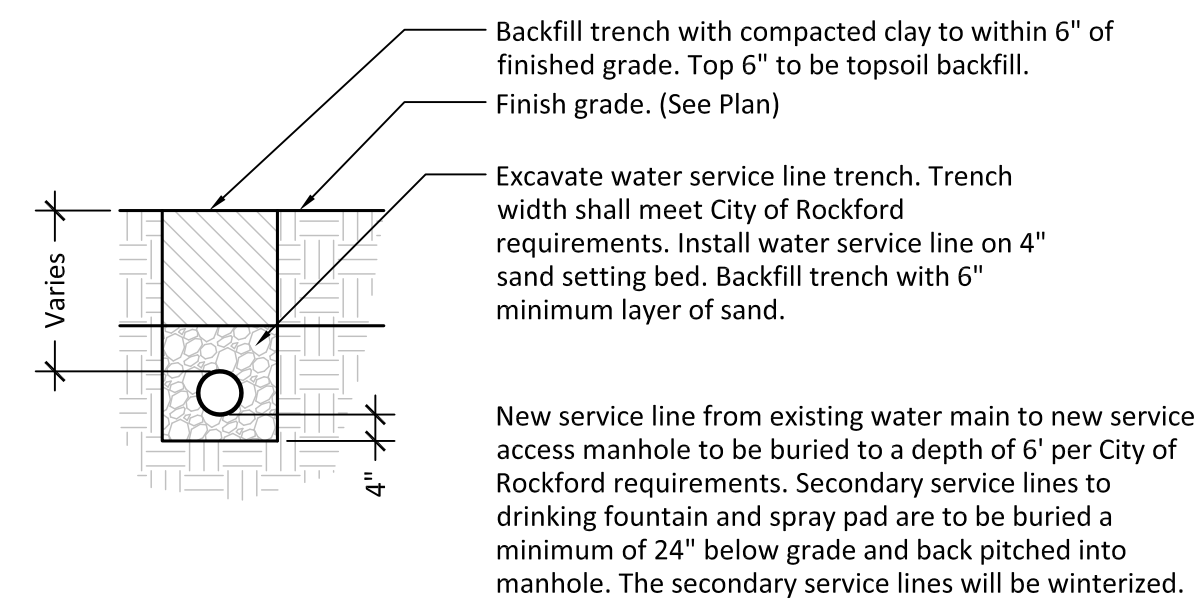


* UNLESS OTHERWISE INDICATED ON PLANS

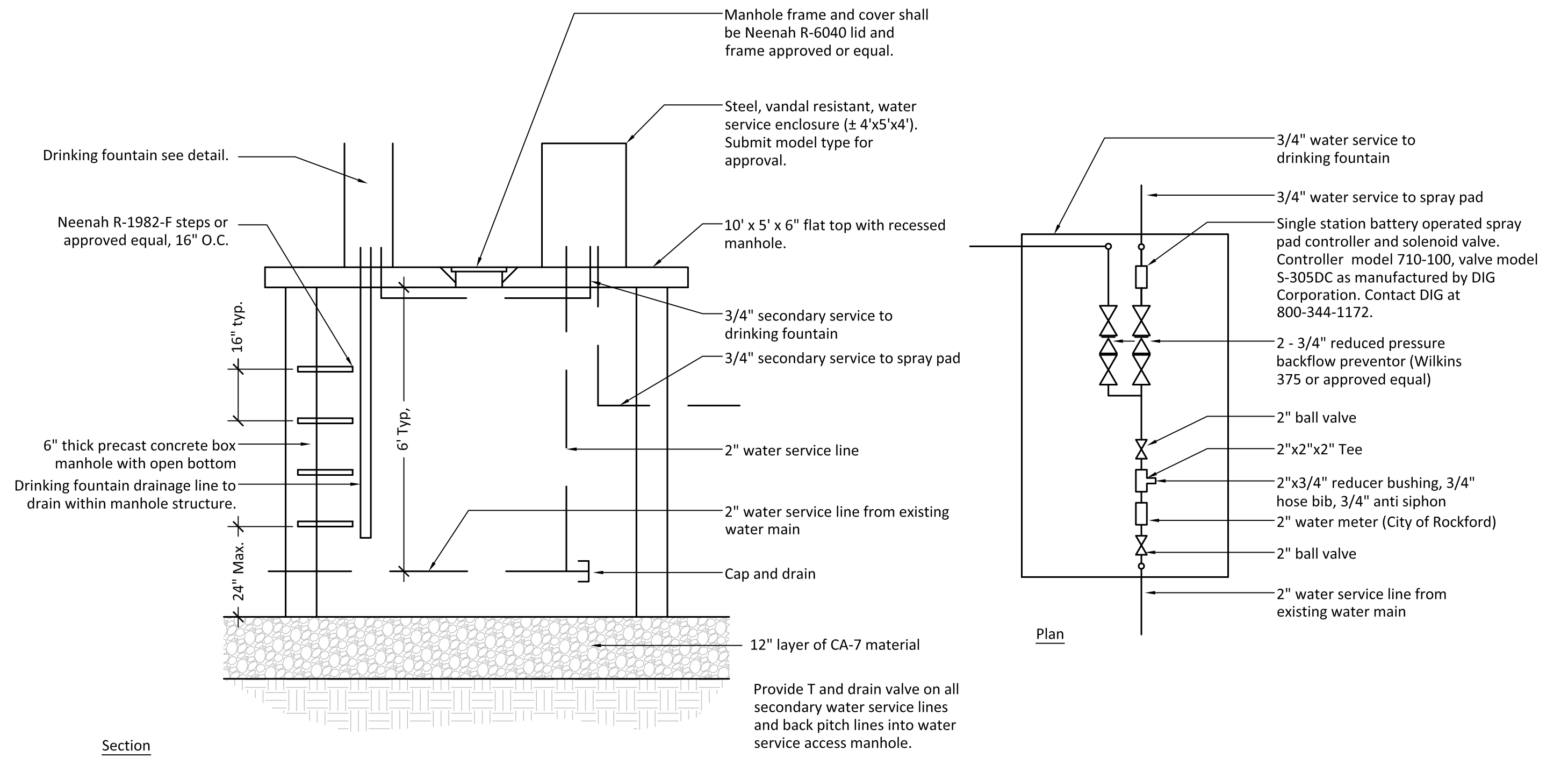
CITY OF ROCKFORD
WATER SERVICE DETAIL
N.T.S.

DTL-WSER

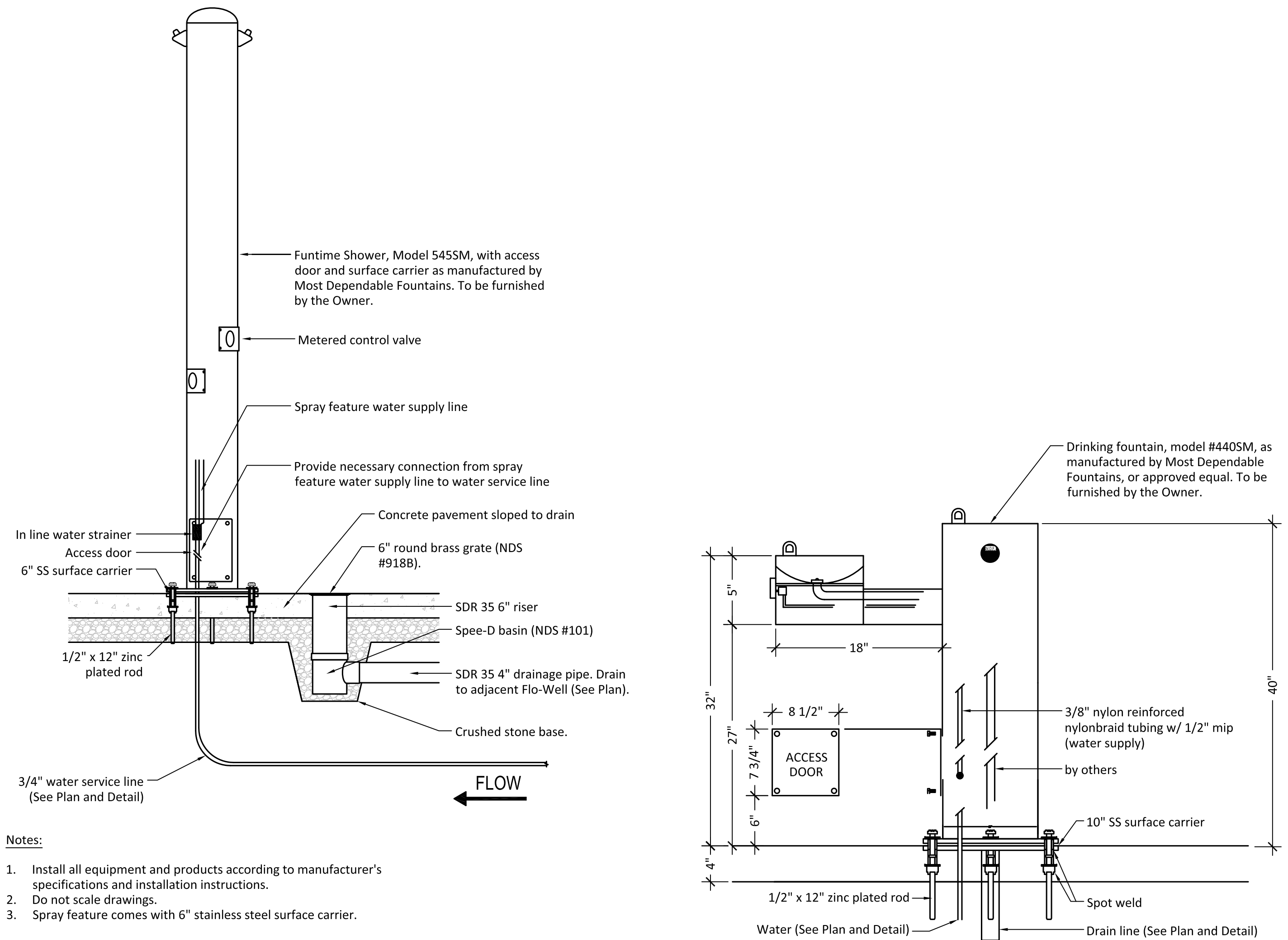
1 - Water Service Connection



2 - Water Service Trench



3 - Water Service Access Manhole & Enclosure



- Notes:
1. Install all equipment and products according to manufacturer's specifications and installation instructions.
 2. Do not scale drawings.
 3. Spray feature comes with 6" stainless steel surface carrier.

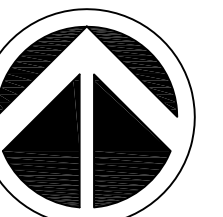
4 - Spray Feature

5 - Drinking Fountain



PROJECT DATA

EKBERG Pine Manor Park
New Park Construction
3750 Balsam Lane
Rockford, IL 61109



NORTH

NOT TO SCALE

BASE INFORMATION
PROVIDED BY:
Fehr Graham

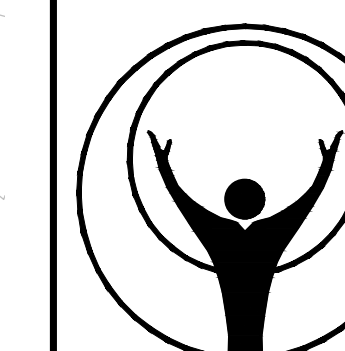
ISSUE

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1	06/06/18	75% Review
2	06/21/18	95% Review
3	07/13/18	Plan Review
4	08/28/19	For Bid

SHEET TITLE: CONSTRUCTION DETAILS

SHEET NUMBER:

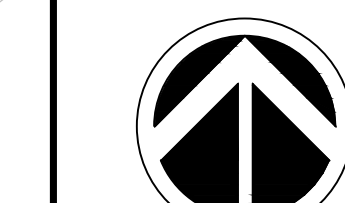
L-8



PROJECT DATA

EKBERG PINE MANOR PARK
NEW PARK CONSTRUCTION

3750 BALSAM LANE
ROCKFORD, IL 61109



NORTH

0 15 30
SCALE: 1" = 30'0"

BASE INFORMATION
PROVIDED BY:
Fehr Graham

ISSUE

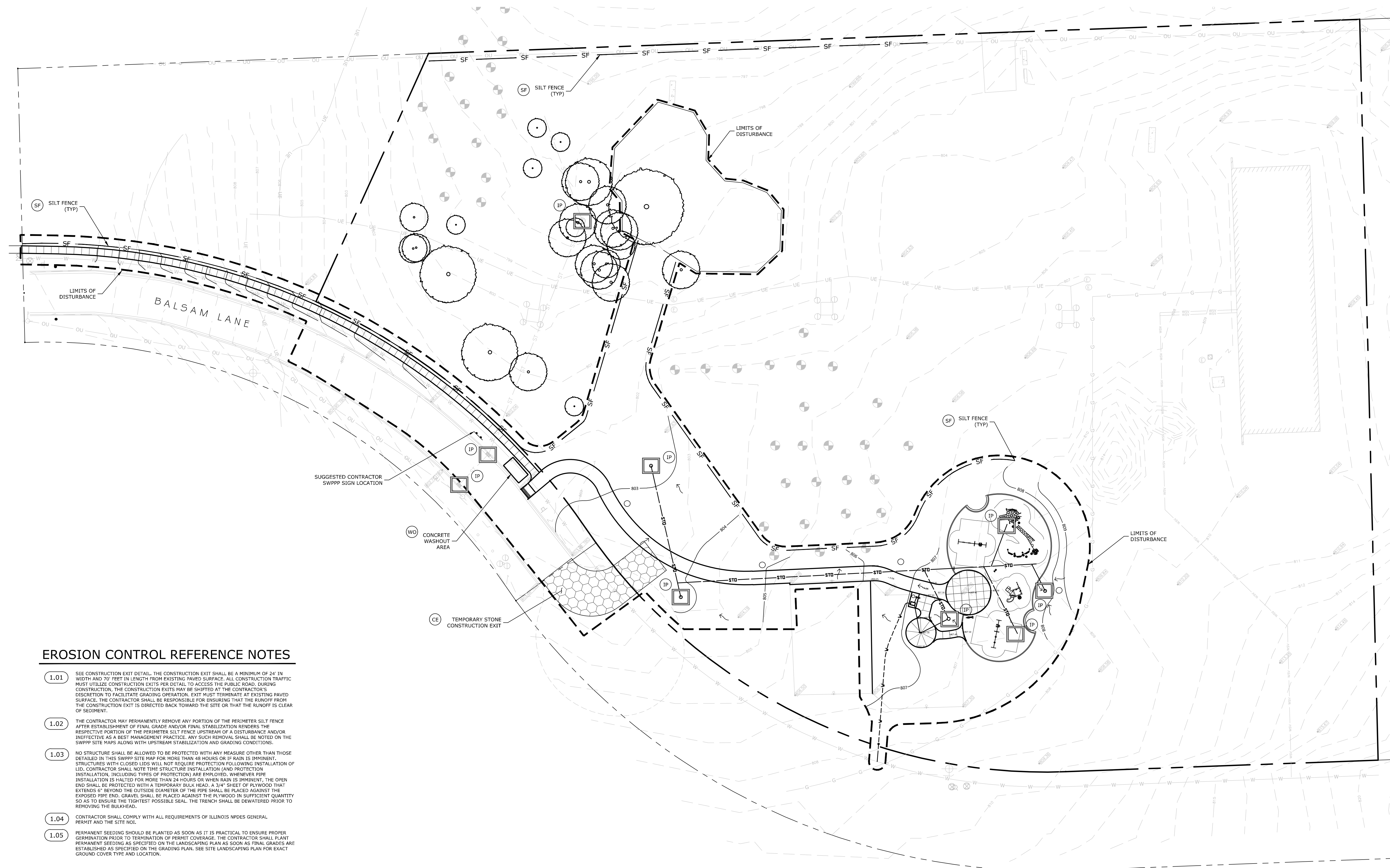
#	DATE	DESCRIPTION
1	06/06/18	75% Review
2	06/21/18	95% Review
3	07/13/18	Plan Review
4	08/28/19	For Bid

SHEET TITLE:

**SWPPP SITE
MAP**

SHEET NUMBER:

L-9



EROSION CONTROL REFERENCE NOTES

- 1.01 SEE CONSTRUCTION EXIT DETAIL. THE CONSTRUCTION EXIT SHALL BE A MINIMUM OF 24" IN WIDTH AND 70' FEET IN LENGTH FROM EXISTING PAVED SURFACE. ALL CONSTRUCTION TRAFFIC MUST UTILIZE CONSTRUCTION EXITS PER DETAIL TO ACCESS THE PUBLIC ROAD. DURING CONSTRUCTION, THE CONSTRUCTION EXITS MAY BE SHIFTED AT THE CONTRACTOR'S DISCRETION TO FACILITATE GRADING OPERATION. EXIT MUST TERMINATE AT EXISTING PAVED SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE RUNOFF FROM THE CONSTRUCTION EXIT IS DIRECTED BACK TOWARD THE SITE OR THAT THE RUNOFF IS CLEAR OF SEDIMENT.
- 1.02 THE CONTRACTOR MAY PERMANENTLY REMOVE ANY PORTION OF THE PERIMETER SILT FENCE AFTER ESTABLISHMENT OF FINAL GRADE AND/OR FINAL STABILIZATION. REMOVAL OF ANY PORTION OF THE PERIMETER SILT FENCE UPSTREAM OF A DISTURBANCE AND/OR INEFFECTIVE AS A BEST MANAGEMENT PRACTICE. ANY SUCH REMOVAL SHALL BE NOTED ON THE SWPPP SITE MAPS ALONG WITH UPSTREAM STABILIZATION AND GRADING CONDITIONS.
- 1.03 NO STRUCTURE SHALL BE ALLOWED TO BE PROTECTED WITH ANY MEASURE OTHER THAN THOSE DETAILED IN THIS SWPPP SITE MAP FOR MORE THAN 48 HOURS OR IF RAIN IS IMMINENT. STRUCTURES WITH CLOSED LIDS WILL NOT REQUIRE PROTECTION FOLLOWING INSTALLATION OF LID. CONTRACTOR SHALL NOTE THE STRUCTURE INSTALLATION (AND PROTECTION INSTALLATION, INCLUDING TYPES OF PROTECTION) ARE EMPLOYED. WHENEVER PIPE INSTALLATION IS HALTED FOR MORE THAN 24 HOURS OR WHEN RAIN IS IMMINENT, THE OPEN END SHALL BE PROTECTED WITH A TEMPORARY BULK HEAD. A 3/4" SHEET OF PLYWOOD THAT EXTENDS 6" BEYOND THE OUTSIDE DIAMETER OF THE PIPE SHALL BE PLACED AGAINST THE EXPOSED PIPE END. GRAVEL SHALL BE PLACED AGAINST THE PLYWOOD IN SUFFICIENT QUANTITY SO AS TO ENSURE THE TIGHTEST POSSIBLE SEAL. THE TRENCH SHALL BE DEWATERED PRIOR TO REMOVING THE BULKHEAD.
- 1.04 CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF ILLINOIS NPDES GENERAL PERMIT AND THE SITE NOI.
- 1.05 PERMANENT SEEDING SHOULD BE PLANTED AS SOON AS IT IS PRACTICAL TO ENSURE PROPER GERMINATION PRIOR TO TERMINATION OF PERMIT COVERAGE. THE CONTRACTOR SHALL PLANT PERMANENT SEEDING AS SPECIFIED ON THE LANDSCAPING PLAN AS SOON AS FINAL GRADES ARE ESTABLISHED AS SPECIFIED ON THE GRADING PLAN. SEE SITE LANDSCAPING PLAN FOR EXACT GROUND COVER TYPE AND LOCATION.

GENERAL NOTES

1. CONTRACTOR SHALL ABIDE BY ALL REQUIREMENTS SET FORTH BY THE LATEST REVISION OF THE ILLINOIS NPDES GENERAL PERMIT (ILR10) FOR STORM WATER POLLUTION PREVENTION. LOCAL, STATE, AND FEDERAL AUTHORITIES RESERVE THE RIGHT TO REVIEW THE SITE FOR COMPLIANCE AND IMPOSE APPLICABLE PENALTIES FOR NON-COMPLIANCE.
2. CONTRACTOR SHALL NOTE ANY CHANGES OR ADDITIONS TO THE SWPPP AND THE DATES OF SAID CHANGES OR ADDITIONS ON THIS SITE MAP.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND MODIFYING BMP'S INCLUDING INTERMEDIATE BMP'S AS WARRANTED BY SITE CONDITIONS.
4. THE EROSION CONTROL PLAN ACCOMPANIES A WRITTEN SWPPP DOCUMENT PROVIDED FOR THIS PROJECT. REFER TO WRITTEN SWPPP FOR FULL REQUIREMENTS.
5. GENERAL CONTRACTOR SHALL SELF PERFORM SWPPP INSPECTIONS AND MAINTENANCE.

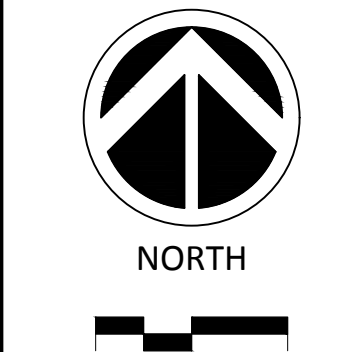
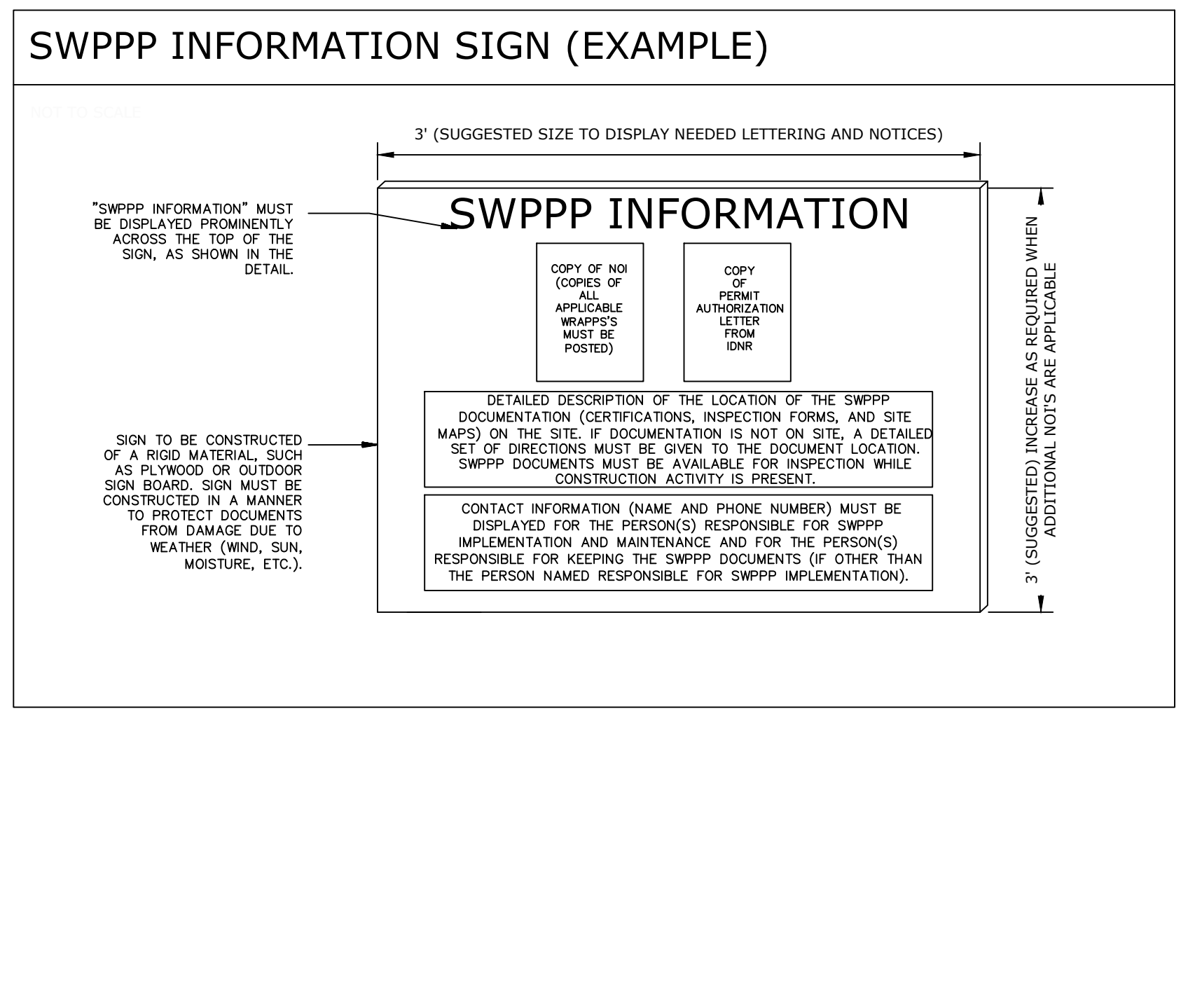
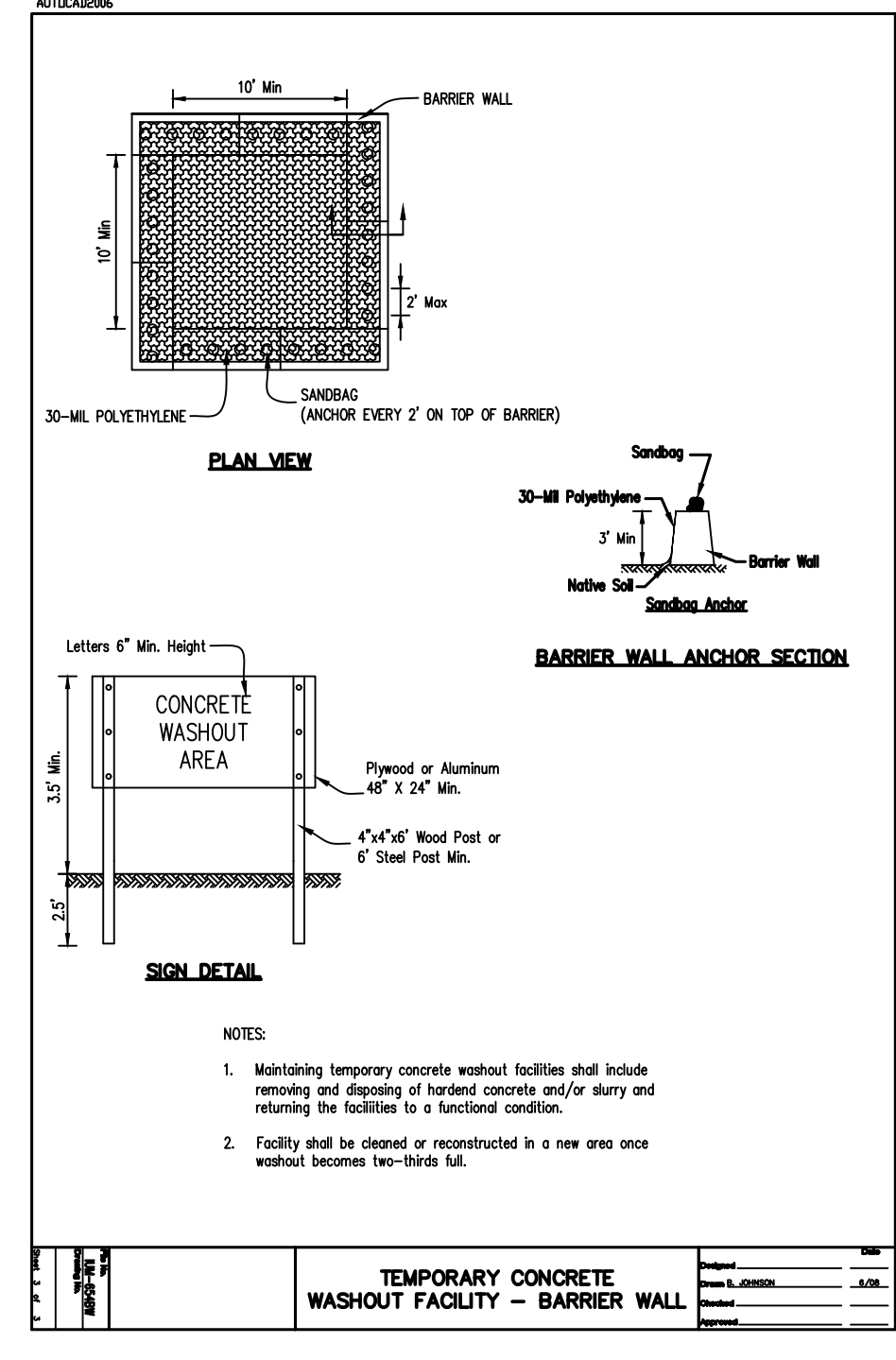
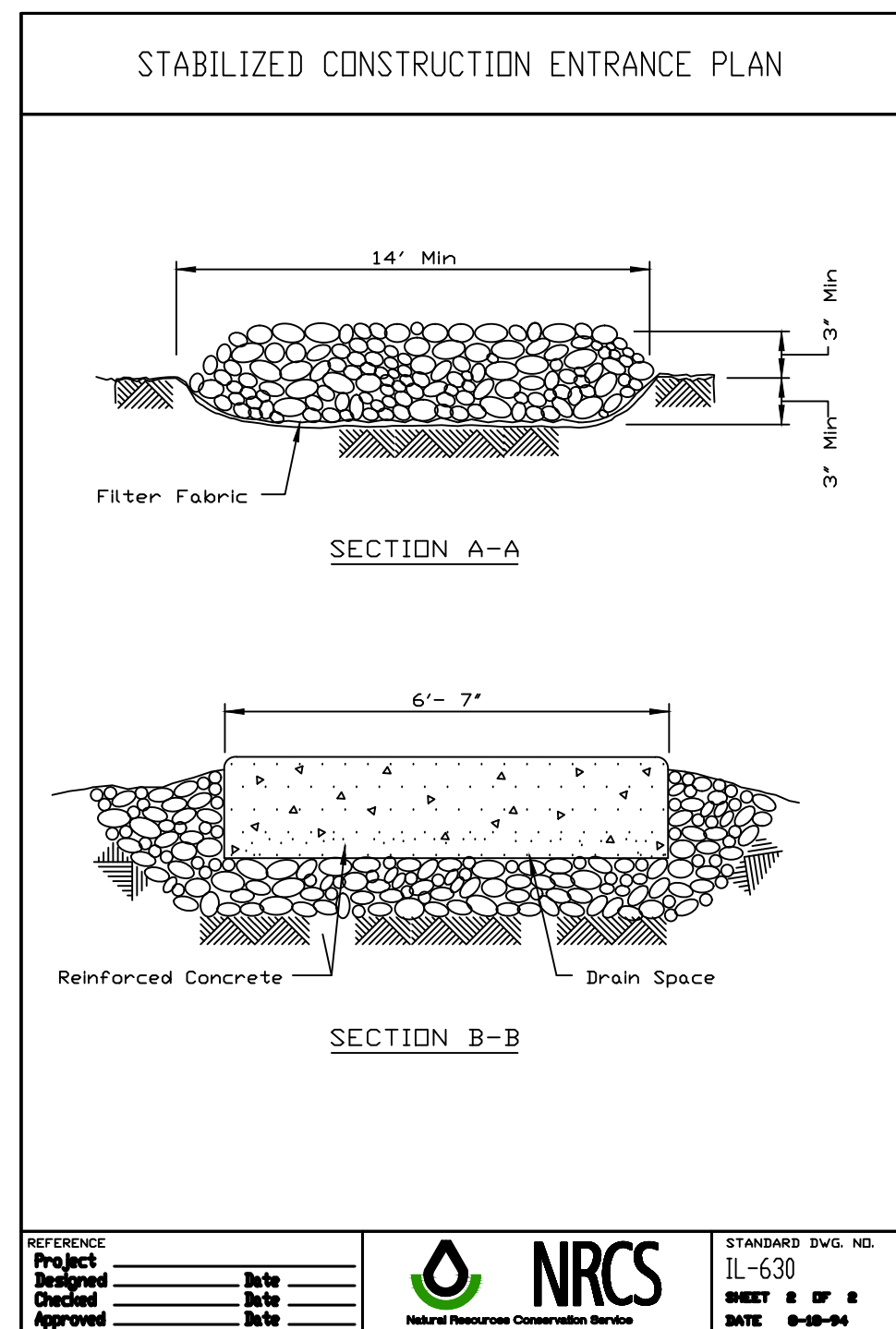
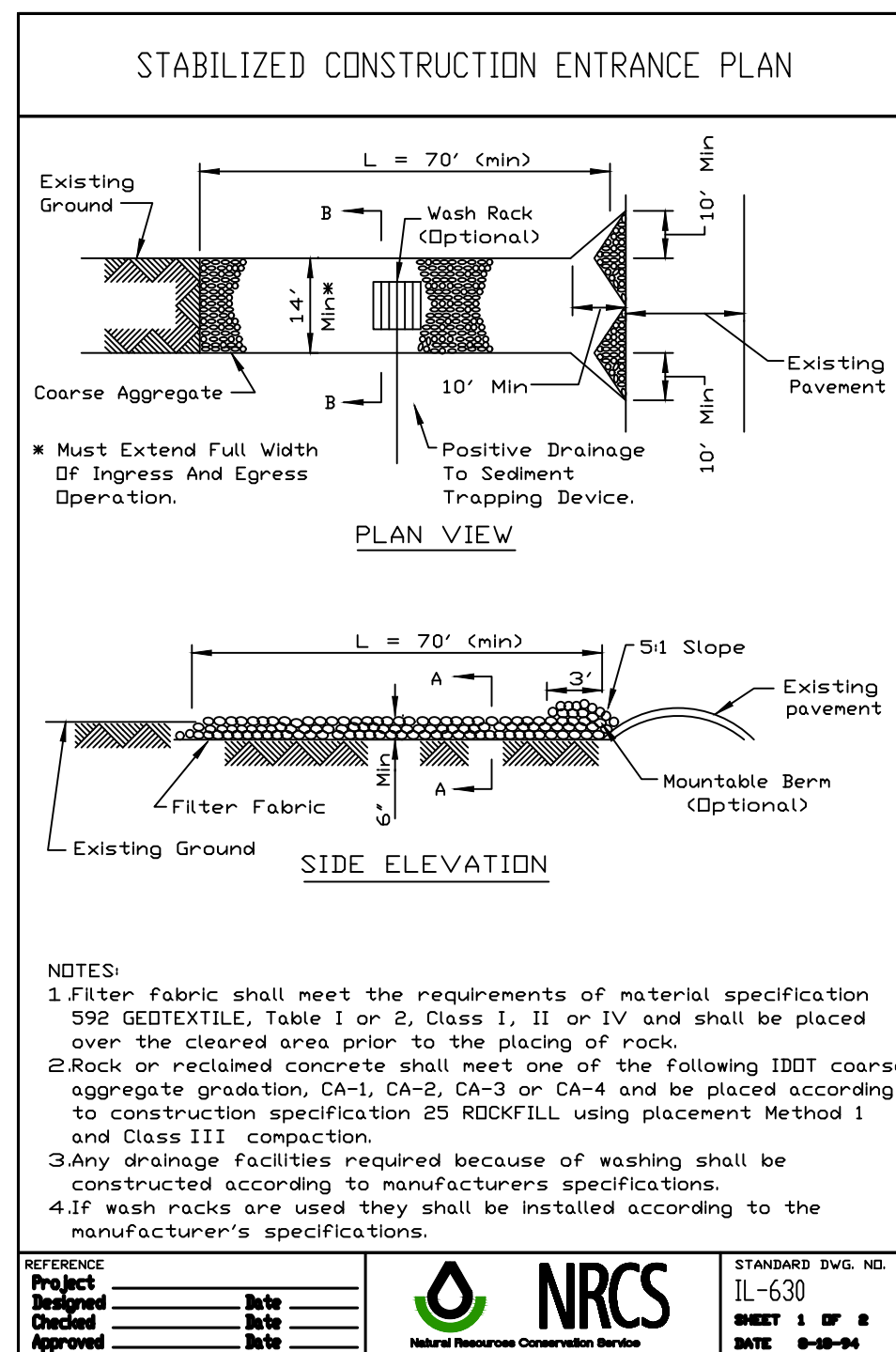
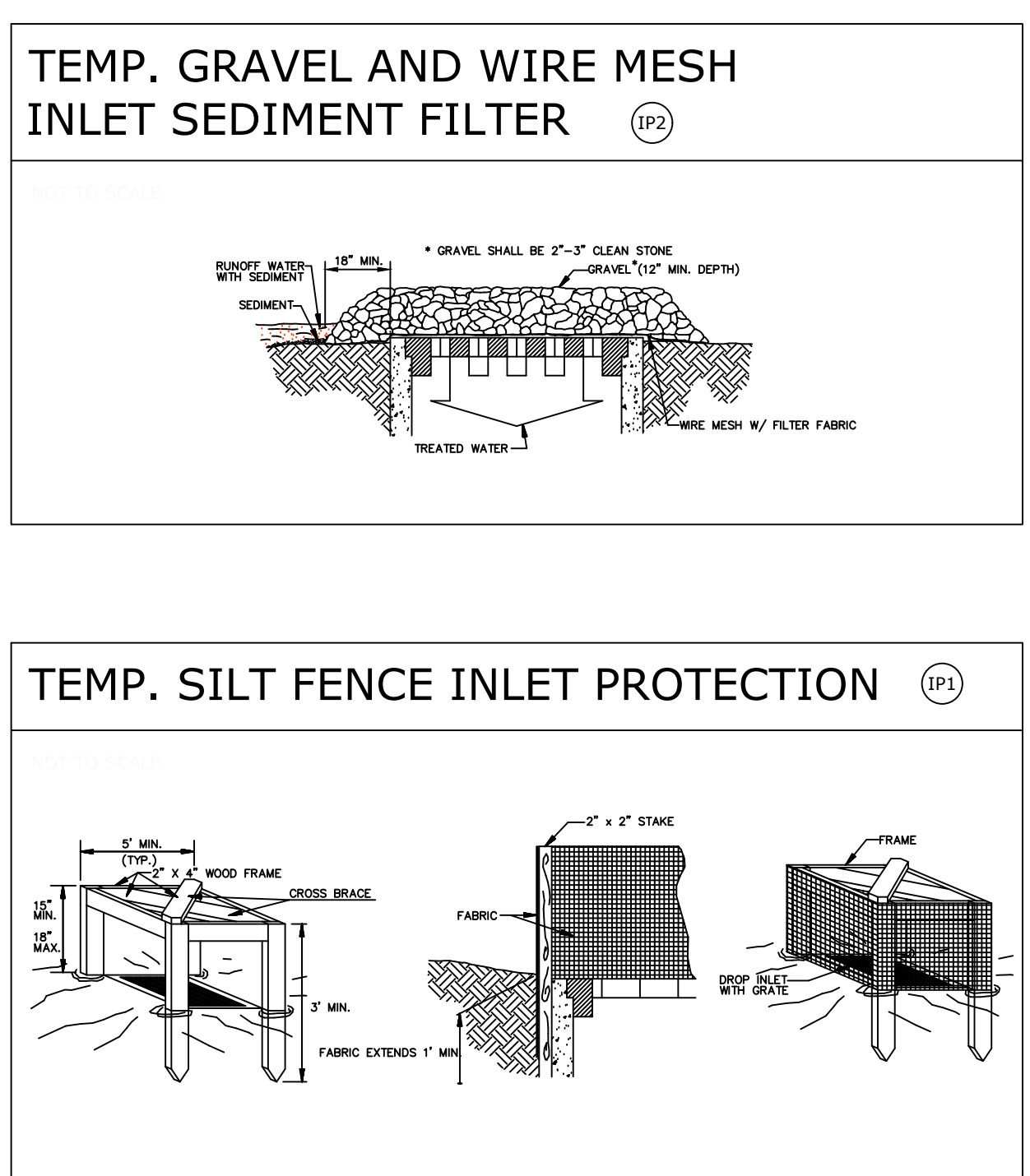
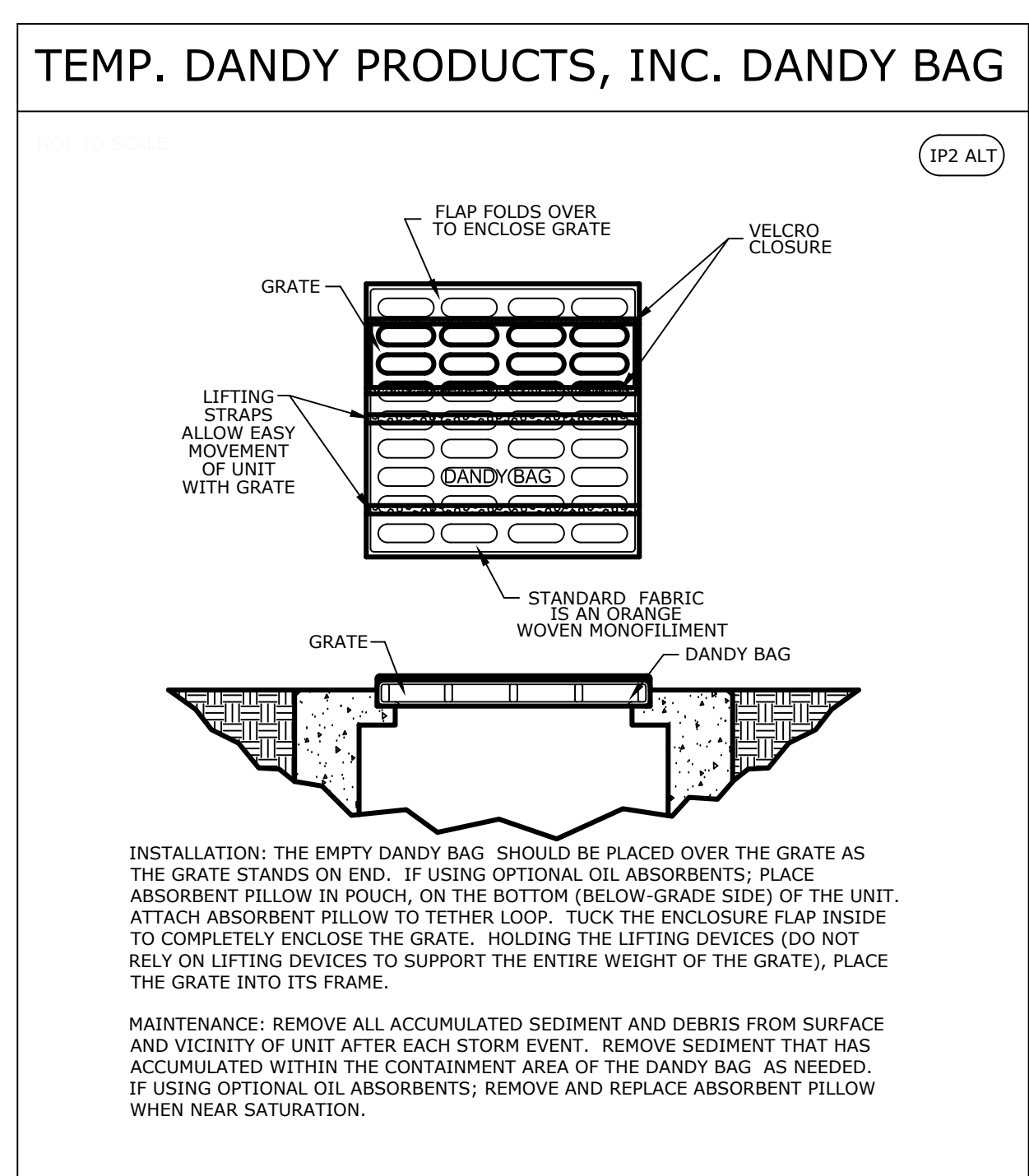
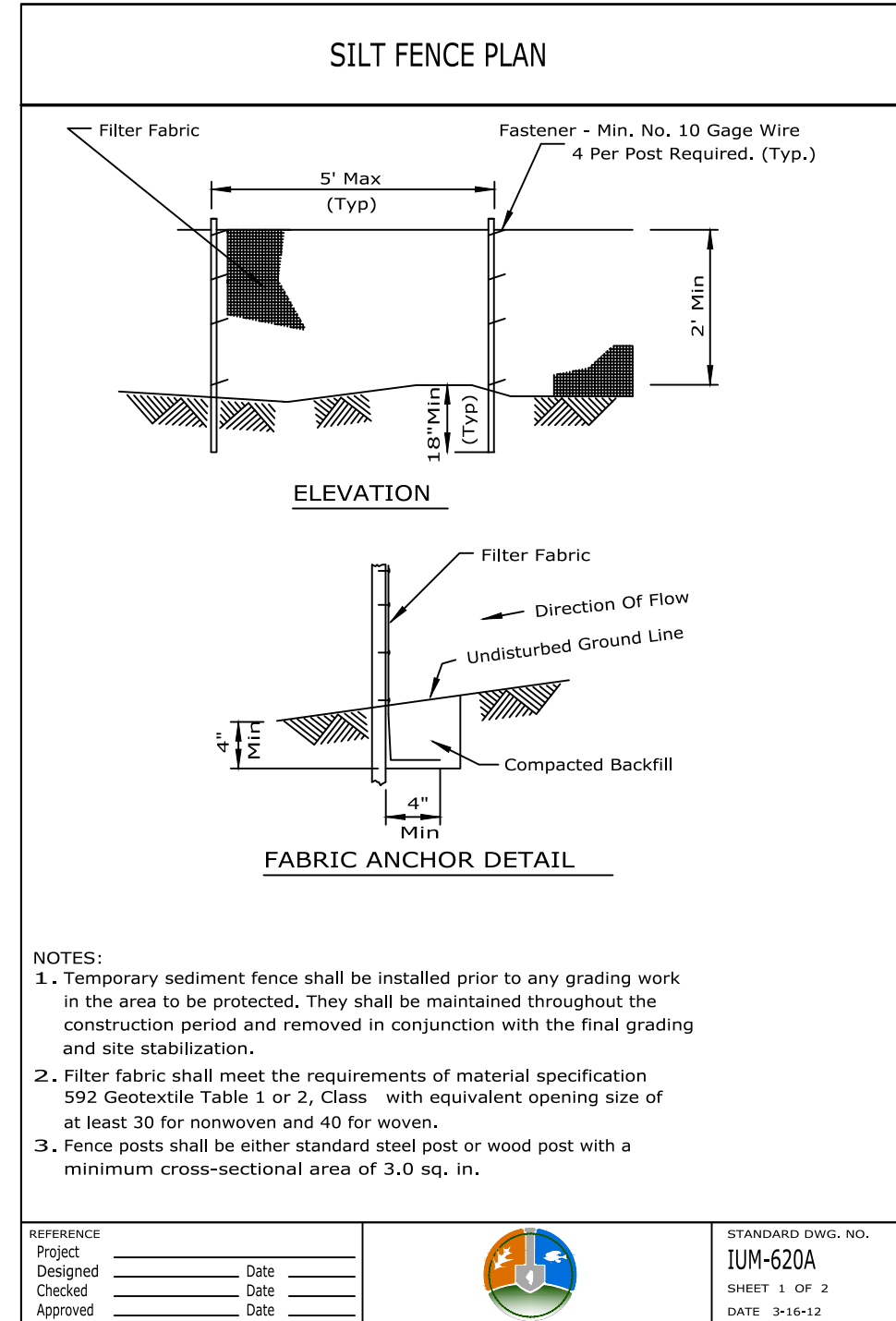
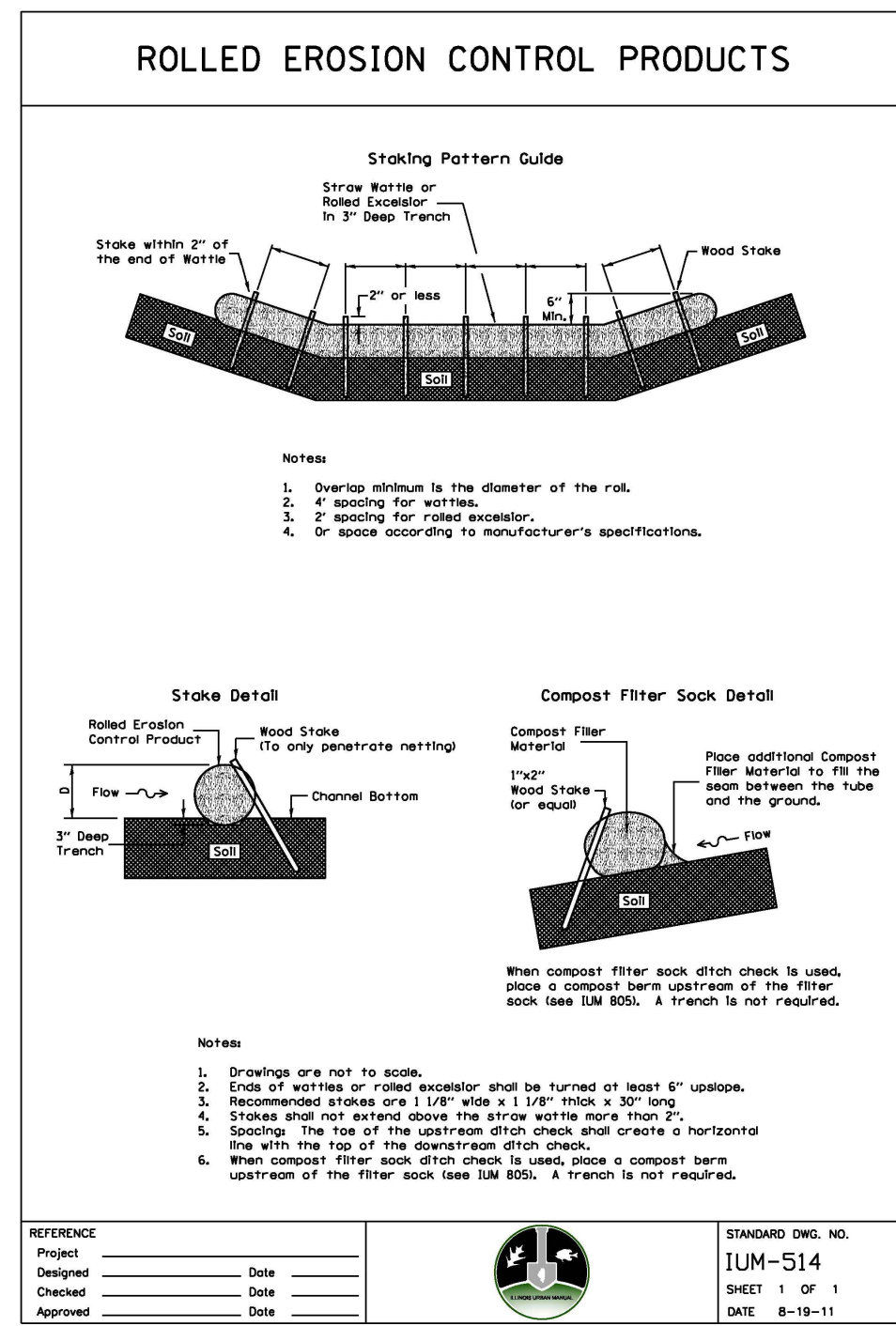
STORMWATER OUTFLOWS

DRAINAGE AREA (8.66 ACRES) CONSISTING OF ROADWAY, LANDSCAPED AREAS, AND TURF. ALL FLOWS TREATED BY TEMPORARY INLET PROTECTION DEVICES, PERIMETER SILT FENCE AND OTHER BMP'S DESCRIBED IN THIS SWPPP AND THE ILLINOIS URBAN MANUAL DURING CONSTRUCTION.

DISCHARGE WILL ENTER PROPOSED STORM SEWER OR WILL SHEET FLOW TO THE NORTH. STORMWATER DISCHARGES TO AN UNNAMED TRIBUTARY OF THE ROCK RIVER THAT RUNS NORTH OF THE SITE FLOWING TO THE WEST.

LEGEND

(SEE SITE PLAN SET FOR EXISTING SYMBOLS)		EROSION DETAILS (SEE SWPPP DETAILS SHEET FOR ITEMS BELOW)	
---	PROPERTY LINE	○	PROPOSED AREA INLET
---	LIMITS OF DISTURBANCE	↗	DIRECTION OF OVERLAND FLOW AND SLOPE
- - - 800	EXISTING CONTOUR LINE	(X.XX)	SEE SPECIFIC KEY NOTE ON THIS SHEET
— 800	PROPOSED CONTOUR LINE	□	TEMPORARY STONE CONSTRUCTION EXIT 1.01
---	EDGE OF PAVEMENT	— SF	TEMPORARY SILT FENCE 1.02
---	PERMANENT STORM SEWER SEE SITE DRAINAGE PLAN FOR PERMANENT STORM SEWER DETAILS	□	TEMPORARY INLET PROTECTION PER STRUCTURE TYPE 1.03
		□	CONCRETE WASHOUT



ISSUE		
#	DATE	DESCRIPTION
1	06/06/18	75% Review
2	06/21/18	95% Review
3	07/13/18	Plan Review