

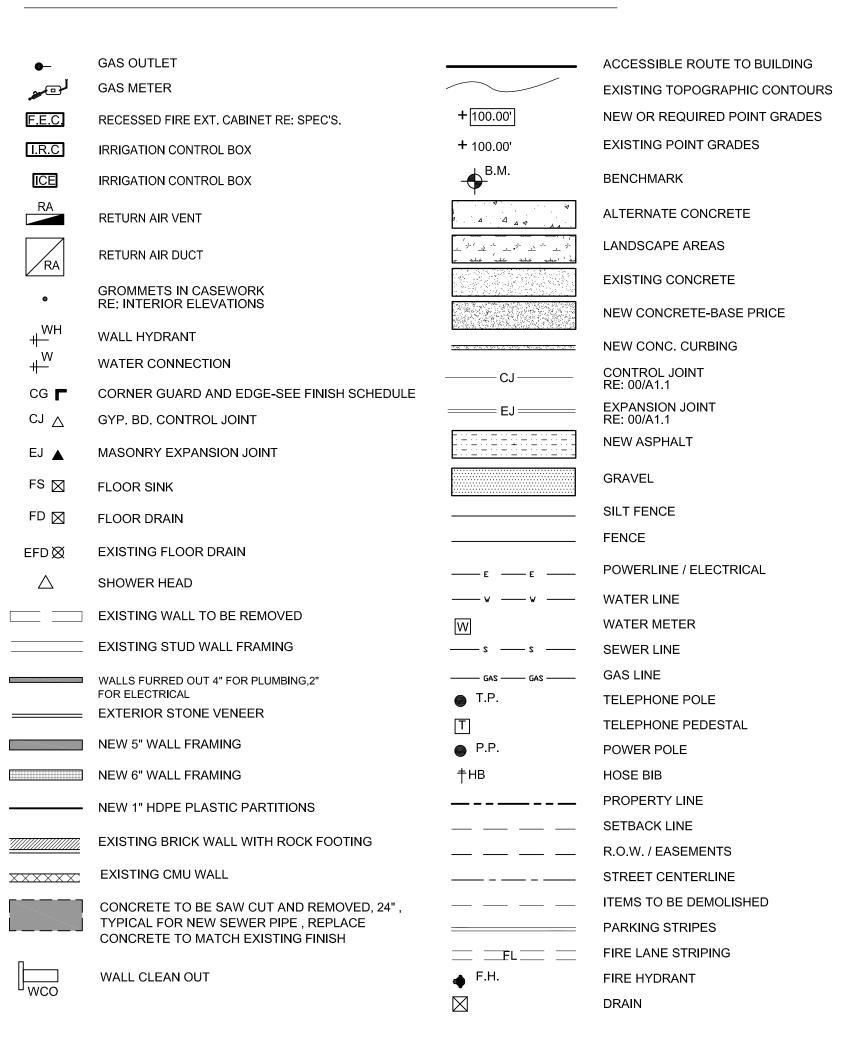
# CITY OF KILGORE

SWIMMING POOL BUILDING RENOVATION 313 N. HENDERSON BLULEVARD, KILGORE, TX 75662

24 February 2020

JAMES HUGMAN A.I.A. LONGVIEW, TEXAS 75606 (903) 757-7202 (903) 757-7216 FAX

# MATERIALS AND SYMBOLS LEGEND





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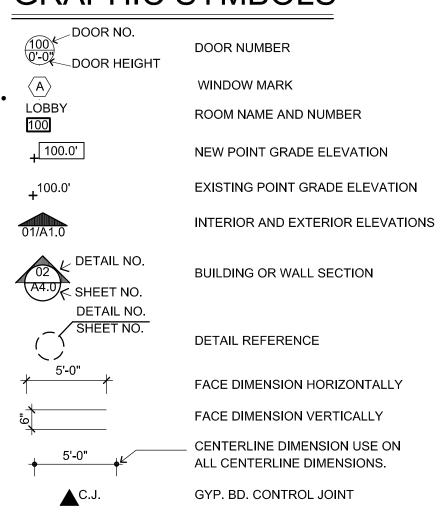
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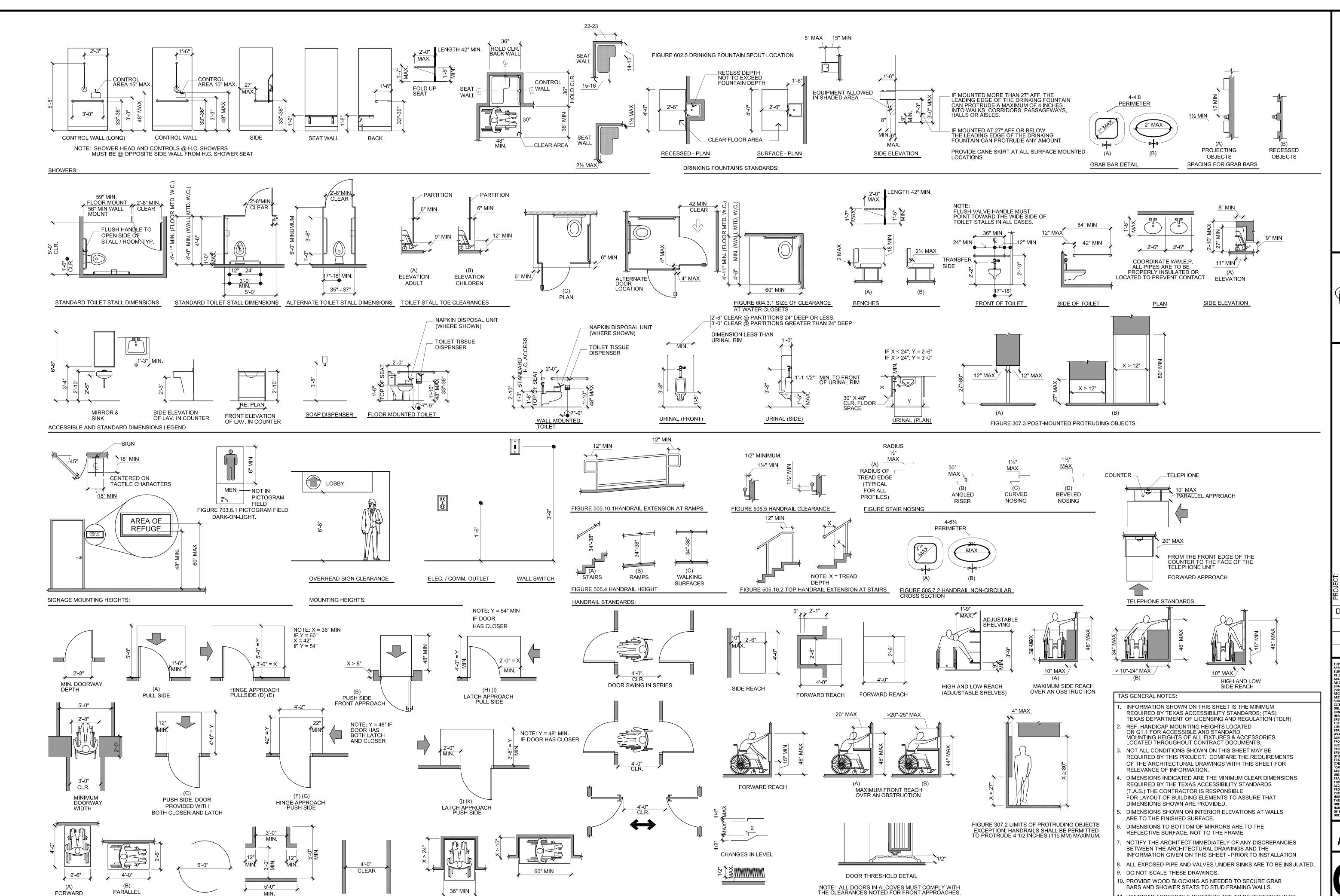
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T.A.S. DETAILS **AND INFORMATIO** 

DATE: 24 FEBRUARY 202

**GRAPHIC SYMBOLS** 





CARPET PILE THICKNESS

STANDARD REACHES AND PROTRUDING OBJECTS

36" MIN

MANEUVERING CLEARANCES AT ALCOVES

MINIMUM PASSAGE WIDTH FOR WHEELCHAIR AND ONE

AMBULATORY PERSON

PARALLEL

DOOR CLEARANCE STANDARDS FOR ACCESSIBLE ROUTE:

WHEELCHAIR

TURNING SPACE

T-SHAPED SPACE

FOR 180 DEGREE TURNS

FORWARD

**CLEAR FLOOR** 

SPACE REQUIREMENTS

24 FEBRUARY 2020

Kilgore

Q City

ADDRE 313 REVISIONS

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T.A.S. DETAILS **AND INFORMATION** 

1. HANDICAP ACCESSIBLE SHOWERS ARE TO BE RECESSED INTO

HAVE NO MORE THAN A 1/2" LIP AT EDGE OF SHOWER ENTRY.

2. PLEASE ENSURE CURB RAMPS ARE CONSTRUCTED WITHIN TAS

CONCRETE TOPPING & TOPPING WARPED AS REQUIRED TO

SPECIFICATIONS PER SECTION 207.1

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Section 10440 Fire Protection Specialties Section 10800 Toilet and Bath Accessories **DIVISION 11 - EQUIPMENT - NOT USED** 

**DIVISION 13 - SPECIAL CONSTRUCTION - NOT USED** DIVISION 14 - CONVEYING SYSTEMS - NOT USED **DIVISION 15 - MECHANICAL AND PLUMBING** Section 15010 General Provisions - Mechanical

Section 15400 Plumbing Section 15500 Heating, Ventilation and Air Conditioning **DIVISION 16 - ELECTRICAL** 

Section 16050 Basic Electrical Materials and Methods

# **SECTION 01000 - GENERAL REQUIREMENTS**

**DIVISION 12 - FURNISHINGS - NOT USED** 

1.1Bidding and Contract Requirements: A.Refer to AIA Document A201, General Conditions of the Contract for Construction, 2017 Edition.

B. All Construction is to comply with the minimum standards of most current edition of the International Building and Energy Code and the Texas Department of Licensing & Regulation and any other codes adopted within a jurisdiction of the project.

C.Existing Conditions: The Subcontractor is responsible for verifying all existing conditions on the site or associated with the site and any existing construction on the site. No adjustments in the Contract will be allowed for discrepancies between the Contract Documents and actual conditions which could have been readily verified by the Subcontractor.

1.2 WORK UNDER OTHER CONTRACTS

A.Separate Contract: Cooperate fully with separate Contractors hired for work by Owner. Work contracted by Owner includes: 1. Communications/Data/Cabling/TV/Telephone

2. Security System

3. Kitchen Appliances

4. Fire Extinguishers: Fire extinguisher cabinets are included in this contract

5. Refinish and installation of benches

2.1 INSURANCE REQUIREMENTS

1. INSURANCE: The insurance requirements are available for review at the Office of the Architect and General Contractor.

Liability: REVIEW this to be true

• \$1,000,000 each occurrence • \$100,00 Damage to Rented Premises (each occurrence)

• \$10,000 Med Expenses (Any one person) • \$1,000,000 Personal & Adv Injury

• \$2,000,000 General Aggregate

• \$2,000,000 Products -Completed Operations Aggregate

Automobile Liability:

• \$1,000,000 Combined Single Limit (each accident)

• \$1,000,000 Uninsured motorist combined

• Worker's Compensation:

• \$1,000,000 E.L. Each Accident

• \$1,000,000 E.L. Disease - Each Employee • \$1,000,000 E.L. Disease - Policy Limit

• The Owner, Architect and General Contractor shall be listed

as "Addition Insured" to all policies. • Subcontractor waives all rights against Contractor, Owner and their agents, officers, directors and employees for recovery of damages to the extent these damages are covered by the CGL insurance obtained by Subcontractor

pursuant to this paragraph. Contractor and Owner shall be included as insureds under the CGL policy for liability arising out of Subcontractor's work performed under this Subcontract, including products-completed operations coverage for a period of ten years following substantial completion. Such coverage shall be written on forms CG 20 10 10 01 and CG 20 37 10 01, or a substitute endorsement providing "equivalent" coverage. For purposes of this additional insured requirement, "equivalent" coverage means coverage for liability arising out of Subcontractor's work performed for Contractor. The insurance shall apply as primary and non-contributory insurance with respect to any other insurance or self-insurance programs maintained by Contractor and Owner. Subcontractor shall provide waiver of subrogation on CGL. A copy of the Additional Insured Endorsement shall be attached to the certificate of insurance provided to the Contractor for approval.

3.1 SUBMITTAL REQUIREMENTS A.Refer Section 01330 - Submittals are required on ALL products.

**SECTION 01230 - ALTERNATES** 1.1 DEFINITIONS

END OF SECTION 01000

A.Alternate: An amount proposed by Contractor or Subcontractor for certain work that may be added to or deducted from the Base Bid amount if Owner decides to accept the

corresponding change.

1.2 PROCEDURES A.Coordination: Modify or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.

1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation.

2.1 ALTERNATES Describe in detail here each Alternate - coordinate carefully with Drawings. A.Alternate #1: Provide Merazzi San Savino tile in the Party

Room. Base bid includes painted concrete. B. Alternate #2: Exterior free-standing column shower. Base bid includes two (2) exterior wall mounted showers.

C. Alternate #3: Additional site concrete between the pool deck and the base concrete. Base bid includes grass at this location. END OF SECTION 01230 Plan Sheet A2.1 - Concrete Demo Plan -

**SECTION 01310 - PROJECT MANAGEMENT AND COORDINATION** 

1.1 SUMMARY A.General Project coordination procedures.

B.Project meetings.

C.Request for Information (RFI's)

D.Applications for Payment

1.2 COORDINATION A.Schedule construction operations in sequence required to

obtain the best results where installation of one part of the Work depends on installation of other components, before or after its own installation.

B.Coordinate installation of different components with other contractors to ensure maximum accessibility for required maintenance, service, and repair.

C.Make adequate provisions to accommodate items scheduled for

later installation. 1.3 PROJECT MEETINGS

A.General Contractor: Schedule and conduct monthly progress meetings and conferences at Project site, unless otherwise indicated, with the architect, owner and any pertinent subcontractors.

B. Preconstruction Conference: Schedule an on-site preconstruction conference before starting construction, at a time convenient to

Owner and Architect. 1. Agenda: Discuss all items of significance that could affect progress, including the following:

a. Tentative construction schedule, phasing, critical work sequencing, procedures for processing field decisions and change Orders, procedures for processing Applications for Payment, submittal procedures, preparation of Record Documents, use of the premises, responsibility for temporary facilities and controls, parking availability, progress cleaning,

working hours. 1.4 REQUESTS FOR INFORMATION (RFIs)

A.Procedure: RFIs shall originate with the General Contractor. B. Content of the RFI: Include a detailed, legible description of item needing interpretation and the following: Project name, date and name of Contractor, RFI number, numbered sequentially, specification Section number and title and related paragraphs, as appropriate, drawing number and detail references, as appropriate, field dimensions and conditions, as appropriate, contractor's suggested solution(s). If Contractor's solution(s) impact the Contract Time or the Contract Sum, Contractor shall state impact in the RFI, contractor's signature, attachments: Include drawings, descriptions, measurements, photos, Product Data, Shop Drawings, and other information necessary to fully describe items needing information.

C.Architect's Action: Architect will review each RFI, determine action required, and return it. Allow seven working days for Architect's response for each RFI.

1.5 APPLICATIONS FOR PAYMENT

A.Payment Application Times: Progress payments shall be submitted to Architect by the 25th day of the month. The period covered by each Application for Payment is one month, ending on the last day of the month.

B. Payment Application Forms: Use AIA Document G702 and AIA Document G703 Continuation Sheets as form for Applications for

C. Application Preparation: Complete every entry on form. Notarize and execute by a person authorized to sign legal documents on behalf of Contractor. Architect will return incomplete applications without action. Include amounts of Change Orders and Construction Change Directives issued before last day of construction period covered by application.

D.Transmittal: Submit three (3) signed and notarized original copies of each Application for Payment to Architect.

and recording appropriate information about application. E. Final Payment Application: Submit final Application for Payment with releases and supporting documentation not previously submitted and accepted. Include AIA Document G706, "Contractor's Affidavit of Payment of Debts and Claims," G706A, "Contractor's Affidavit of Release of Liens" and G707, "Consent of

1. Transmit each copy with a transmittal form listing attachments

Surety to Final Payment." END OF SECTION 01310

**SECTION 01330 - SUBMITTAL PROCEDURES AND REQUIRED** SUBMITTALS

1.1 SHOP DRAWINGS AND PRODUCT DATA

A.Submit the number of reproductions Contractor requires. Additionally, provide the complete shop drawing in electronic form for review and mark-up.

B.Mark each copy to identify applicable products, models, options, and other data. Supplement manufacturer's standard data to provide information unique to this Project.

C.Identify variations from Contract Documents and Product or system limitations which may be detrimental to successful performance of the completed Work.

D.Submit samples to illustrate functional and aesthetic characteristics of the Product, with integral parts and attachment devices. Coordinate sample submittals for interfacing work. E. Submit manufacturers' printed instructions for delivery, storage,

assembly, installation, start-up, adjusting, and finishing, in quantities specified for Product Data. F. Submit MSDS Sheets and Product Data Sheets for closeout

documents.

1.2 REQUIRED SUBMITTALS A.Submittals are required for each product type, accessory item and component specified. END OF SECTION 01330

**SECTION 01400 - QUALITY REQUIREMENTS** 

1.1 QUALITY ASSURANCE - CONTROL OF INSTALLATION A.Comply with manufacturers' instructions, including each step in

the sequence. B. Should manufacturers' instructions conflict with Contract Documents, request clarification from Architect before

1.2 REFERENCES

A.For Products or workmanship specified by association, trade, or other consensus standards, comply with requirements of the standard, except when more rigid requirements are specified or are required by applicable code.

B.Refer to manufacturer's recommendations on cleaning, installation and all other aspects for each product used. END OF SECTION 01400

**SECTION 01500 - TEMPORARY FACILITIES AND CONTROLS** 

1.1 SECTION INCLUDES A. Temporary Utilities: Electricity, lighting, heat, ventilation, telephone service, water, and sanitary facilities. B. Temporary Controls: Barriers, enclosures and fencing, protection

of the Work, and water control. C.Construction Facilities: Access roads, parking, progress cleaning,

project signage, and temporary buildings. 1.2 TEMPORARY SERVICES

A.Owner to provide and pay for power service required for construction, system start up and to operate the building until time of Substantial Completion.

B. Provide and maintain lighting for construction operations. C.Provide and pay for heating devices and heat as needed to maintain specified conditions for construction operations.

D. Ventilate enclosed areas to assist cure of materials, to dissipate humidity, and to prevent accumulation of dust, fumes, vapors, or E. Owner to provide water for all construction activities.

F. Provide and maintain temporary toilets, wash facilities and drinking water for the use of construction personnel. 1.3 PARKING

A.Arrange for temporary parking areas to accommodate construction personnel.

B.Do not allow vehicle parking under existing tree drip lines. C.Protect paving from damage and staining.

1.4 PROGRESS CLEANING AND WASTE REMOVAL A.Maintain areas free of waste materials, debris, and rubbish. Maintain site in a clean and orderly condition.

B.Remove debris and rubbish from pipe chases, plenums, attics, crawl spaces, and other closed or remote spaces, prior to enclosing the space.

C.Broom, mop and vacuum clean interior areas prior to start of surface finishing and continue cleaning to eliminate dust. D.Collect and remove waste materials, debris, and rubbish from site daily and dispose in a timely manner.

END OF SECTION 01500

**SECTION 01700 - EXECUTION REQUIREMENTS** 

1.1 SUMMARY - GENERAL PROCEDURAL REQUIREMENTS 1. Construction layout.

2. Field engineering and surveying. 3. General installation of products.

4. Starting and adjusting.

5. Protection of installed construction.

6. Correction of the Work. 2.1 EXAMINATION

2.3 FIELD ENGINEERING

A.Existing Conditions & Utilities: The existence and location of site improvements, utilities, and other construction indicated as existing are not guaranteed. Before construction, verify the

location and points of connection of utility services. 2.2 CONSTRUCTION LAYOUT

A. Verification: Before proceeding to lay out the Work, verify layout information shown on Drawings, in relation to the property survey and existing benchmarks. If discrepancies are discovered, notify Architect promptly.

A.Reference Points: Locate existing permanent benchmarks, control points, and similar reference points before beginning the Work. Preserve and protect permanent benchmarks and control points during construction operations.

1. Record benchmark locations, with horizontal and vertical data, on Project Record Documents.

3.1 INSTALLATION A.Comply with manufacturer's written instructions and recommendations for installing products in applications indicated.

B.Hazardous Materials: Use products, cleaners, and installation materials that are not considered hazardous. 3.2 STARTING AND ADJUSTING

A.Start equipment and operating components to confirm proper operation. Remove malfunctioning units, replace with new units,

B. Adjust operating components for proper operation. C. Test each piece of equipment to verify proper operation. Test and adjust controls and safeties. Replace damaged and malfunctioning

controls and equipment. 3.3 PROTECTION OF INSTALLED CONSTRUCTION

A.Provide final protection and maintain conditions that ensure installed Work is without damage or deterioration at time of Substantial Completion.

B. Comply with manufacturer's written instructions for temperature and relative humidity.

C.Repair or remove and replace defective construction. Restore damaged substrates and finishes. END OF SECTION 01700

**SECTION 01770 - CLOSEOUT PROCEDURES** 1.1 SUMMARY

A.This Section includes administrative and procedural requirements for contract closeout, including, but not limited to,

Warranties, Instructions to Owner, Final cleaning.

1. Inspection procedures, Project Record Documents, Operation and Maintenance Manuals, MSDS Sheets, Product Data,

1.2 SUBSTANTIAL COMPLETION A.Preliminary Procedures: Before requesting inspection for determining date of Substantial Completion, complete the

1. Prepare a list of items to be completed and corrected (punch list), the value of items on the list, and reasons why the Work is

not complete.

1.3 PROJECT RECORD DOCUMENTS A.Mark Record Prints to show the actual installation of all items. Give particular attention to information on concealed elements that cannot be readily identified and recorded later.

1.4 OPERATION AND MAINTENANCE MANUALS A.Assemble a complete set of operation and maintenance data indicating the operation and maintenance of each system. Include manufacturer's information, list of spare parts, maintenance procedures, maintenance and service schedules for preventive and routine maintenance, and copies of warranties and bonds. Place all materials in a notebook and provide a PDF copy of all the notebook contents.

3.1 FINAL CLEANING A.General: Provide final cleaning. Broom, mop and vacuum clean

interior areas. B. Clean all surfaces.

C.Remove all tape, labels, markings and grime. D.Clean the exterior of the building. Clean the roof, gutters, walls,

glass, paving and other surfaces. E. Collect and remove waste materials, debris, and rubbish from site daily and dispose in a timely manner.

F. Conduct cleaning and waste-removal operations to comply with local laws and ordinances and Federal and local environmental

and antipollution regulations. 3.2 PROJECT CLOSEOUT A.Provide record drawings, maintenance instructions and all warranty materials, proof of payment of suppliers and subcontractors and that certification that no asbestos containing materials were used in the work including MSDS sheets for all

products used. **Provide one bound copy and one electronic copy** of the entire close out documents listed. END OF SECTION 01770

DIVISION 2 - DEMOLITION & SITE WORK

**SECTION 02070 - SELECTIVE DEMOLITION** 

1.1 SECTION INCLUDES A.Project Record Documents: Accurately record actual locations of capped utilities, subsurface obstructions, and other

underground/concealed information. B. Conduct demolition to minimize interference with adjacent and occupied building areas.

2.1 EXECUTION A.Coordinate demolition activities to least disturb the occupants of the building.

C.Erect and maintain temporary partitions to prevent spread of dust, odors, and noise. D.Protect existing materials and equipment which are not to be

B. Erect and maintain weatherproof closures for exterior openings.

demolished. E. Carefully cut all materials to be removed. Breaking or busting materials, without careful delineation is not acceptable.

F. Prevent movement of structure; provide bracing and shoring. G. Disconnect, remove, cap, and identify designated utilities within demolition areas. END OF SECTION 02070

**SECTION 02110 - SITE CLEARING** 

3.1 GENERAL

A.The Contractor shall make every effort to protect all lawns, trees, plants, and shrubs encountered during construction outside of the limits of construction. In all cases where questions arise, the Contractor shall request clarification from the Architect and

Owner. B.Power poles and guys, which interfere with construction, shall be braced and, if necessary, relocated by the utility company. The Contractor shall be responsible for coordinating all work with the

utility companies. C.Protect all property lines, monuments and stakes encountered in

his work. D.Exact locations and elevation of all utilities are not guaranteed and shall be determined in the field by the Contractor prior to construction.

3.2 SITE CLEARING

A.General: Remove trees, shrubs, grass and other vegetation, improvements, or obstructions interfering with installation of new construction. Removal includes digging out stumps and roots.

B. Strip topsoil to whatever depths encountered in a manner to prevent intermingling with underlying subsoil or other objectionable material. Stockpile topsoil in storage piles in areas shown, or where directed. Construct storage piles to freely drain surface water. Cover storage piles to freely drain surface water. Cover storage piles if required to prevent wind-blown dust. C.Protect all existing utilities or service lines crossed or exposed by

construction operations. D.Remove all above grade and below grade utilities that are to be

abandoned. E. Saw cutting of existing pavement and curbs and gutters as required for construction.

3.3 DISPOSAL A.Legally dispose of all material at a licensed site or with written and notarized permission from the property owner for a private disposal site.

B.Burning of debris shall not be permitted. END OF SECTION 02110

**SECTION 02300 - EARTHWORK** 

1.1 SECTION INCLUDES A.Geotechnical recommendations supersede these designs if the requirements are greater.

2.1 Backfilling and compaction to specified grades as per Plans and Specifications. Rock or Unforeseen Buried Material Excavation: MATERIALS - REFER TO SOILS REPORT A.Select Fill: Select fill shall consist of homogenous sandy clay

clod size less than 2 inches, have a liquid limit less than 35 and plasticity index between 4 and 15. 1. Prepare the subgrade in accordance with the recommendations discussed in the Soils Report entitled BUILDING SUBGRADE PREPARATION. Sites that slope more than about 15% should be

soils free of organic or other deleterious matter, have a maximum

benched with 5-foot wide benches prior to placing fill. 2. Place subsequent lifts of select fill in thin, loose layers not exceeding nine inches in thickness to the desired rough grade and compact to a minimum Standard Proctor Density of 95% of the maximum density defined by ASTM D698. Maintain moisture within range of optimum -1% to optimum +3%.

3. Prevent excessive loss of moisture during construction. B. Top Soil: Fertile, natural topsoil, free from debris, clay and weeds. On-Site topsoil shall be spread and raked smooth to a minimum thickness of 2" in all areas requiring supplemental topsoil and within 30' of the building. Topsoil shall be minimum 7" below finish floor and shall slope away minimum 6" in first 5'. Any additional topsoil to be provided and spread by the Owner.

C.Grading: Grade earthwork to compliment the finish grades indicated. D.Storm and Sanitary Piping, other mechanical/electrical

trenching: 1. Cover pipe and bedding with Select Fill in 8-inch lifts, compacted to 95 percent.

the State of Texas.

END OF SECTION 02300

**SECTION 02361 - TERMITE CONTROL** 1.1 SECTION INCLUDES

A.Soil treatment for termite control at interior and exterior

foundation perimeter. Apply per manufacturer's instructions and recommended concentration. 1. Applicator: Company specializing in performing the work of this Section with minimum three years' experience and licensed by

1.2 WARRANTY A.Provide five-year warranty in Owner's name signed by Applicator. Include coverage for damage and repairs to building and building contents caused by termites.

1.3 SUBMITTALS A.Data Sheets on proposed product and application instructions.

B. Sample Warranty Form for review. 2.1 MATERIALS

3.1 INSTALLATION

END OF SECTION 02361

A.Manufacturers: 1. Control Solutions, Inc. - Bifen I/T

2.Ensystex II, Inc. - Maxxthor SC 3.BASF - Termidor as recommended by manufacturer. a. Toxicant Chemical: Local authority approved; synthetically color dyed to permit visual identification of treated soil.

b. Diluent: Recommended by toxicant manufacturer. B. Reapply soil treatment solution to areas disturbed by subsequent excavation or other construction activities following application.

A.Treat soils as per manufacturer's recommendations.

**SECTION 02751 - CEMENT CONCRETE PAVING** 1.1 SECTION INCLUDES

A.Geotechnical recommendations supersede these designs if the requirements are greater

B.Concrete Sidewalks/Flatwork: 3,000 psi 28-day concrete, 4 inches thick, with #3 reinforcing bars at 16" on center each way. Thicken all concrete edges to 6" for a minimum of a width of 4". Light broom finish typical - heavy finish at exterior ramps. Refer Details. Curbs: 3,000 psi 28-day concrete in profiles and reinforcement as

detailed, provide light broom finish. C.All exterior concrete to receive 6% air entrainment. D.Expansion joints shall be asphalt fiber of the same thickness as

the concrete. Expansion joints are to have 18" #4 smooth dowels

at 16" on center. 1.2 SUBMITTALS

A.Product data, design mixtures, material test reports. Material certificates for cementitious materials, steel reinforcement, admixtures, curing compounds, joint fillers etc.

2.1 FORM MATERIALS A.Form Materials to be clean, straight and true.

2.2 REINFORCEMENT A.Reinforcing Steel shall be Grade 40 for #3's and Grade 60 for all

other steel.

2.3 CONCRETE MATERIALS A.Concrete Materials: Provide mix design to match requirements scheduled above. Fly ash allowed, 20% maximum. Air Entrained. Water reducing additive. 5" maximum slump before plasticizers. Refer Soils Report.

2.4 ACCESSORIES A.Curing Compound: Sonneborn Kure-N-Seal. Place curing compound on exposed concrete surfaces immediately after finishing.

B. Joint Sealers: See Section 07900. Sealing of joints and cracks are C.Expansion Joints: ½" x full height asphalt impregnated. Recess top

top of joint. Place expansion joints at 40' intervals or as noted on the drawings. D.Control Joints: Provide either steel or sawn control joints at 12' on center each way (O.C.E.W.) maximum or as noted on the drawings. Steel Control joints to be keyed with #4 dowels at 18" O.C. Top steel with vinyl pull strip. Pull and fill with joint sealant after concrete placement. Sawn control joints to be 1" deep and

G. Concrete Patching Mortar: Speccrete, Speccopatch-RS from

of filler 1/2 inch for sealant placement. Install zip strip to recess

to be cut within 16 hours of concrete placement. E. Concrete Floor Sealer: Refer Section 09600. F. Concrete Floor Stain: Refer Section 03950.

Concrete Earth or approved equal. www.specco.com <a href="http://www.specco.com">, 1-800-441-6646.</a> 3.1 TOLERANCES A.Maximum Variation of Surface Flatness: 1/2 inch in 10 ft.

B.Maximum Variation from True Position: 1/2 inch. 3.2 FINISHING A.Sidewalk Paving: Light broom, radius to ¼ inch radius and

trowel joint edges B.Direction of Texturing: Perpendicular to pavement direction. C.Place curing compound on exposed concrete surfaces immediately after finishing. Apply in accordance with

3.3 PROTECTION A.Immediately after placement, protect pavement from

manufacturer's instructions

premature drying, excessive hot or cold temperatures, and mechanical injury. **END OF SECTION 02751** 

**SECTION 02900 - LANDSCAPE** 1.1 SECTION INCLUDES A.Final grade topsoil for finish landscaping. Topsoil to be fertile,

friable, natural loam surface soil. 1. Finish grade is to be a minimum of 7" below finish floor adjacent to the building and slope away from the building 6" in the first 5'. Hold topsoil down 1 ½" below edge of paving or

3. Remove debris, roots, branches, stones, more than 1/2 inch in

2. Verify substrate base has been contoured and compacted.

4. Scarify base surface to depth of 6 inches where topsoil is 5. Spread topsoil to a minimum depth of 3 inches where lawns are

scheduled and 6" at planting beds 6. Remove roots, weeds, rocks, and foreign material while spreading the topsoil.

B.Sod: Install sand back centipede sod where indicated. Water

7. Rake smooth and roll placed topsoil.

immediately after installation and maintain daily watering until final acceptance. 1. Hydro mulch: Hydro mulch areas indicated with mixture of Bermuda and centipede grass, starter fertilizer, cellulose fiber and green application dye. Water after installation has set and

C. Water: Water shall be furnished by the Owner. Hose and other watering equipment necessary to supplement the sprinkler system shall be furnished by the Contractor. 3.1 EXECUTION

maintain twice daily watering until final acceptance.

avoid damage of any kind. After planting is completed water all plants to a full and thorough saturation during the same day of planting. 3.2 CLEAN UP A.The premises are to be kept clean and neat at all times. All

trash including weeds and rocks are to be removed from the

planting beds. All walks and drives shall be keep clean daily.

A.Follow all guidelines in preparation and handling of plants to

B.Pavement cleaning: Gently wall all sidewalks and paving to remove tire marks, soil and other landscape associated soiling. END OF SECTION 02900

**DIVISION 3 - CONCRETE SECTION 03300 - CAST IN PLACE CONCRETE** 1.1 SECTION INCLUDES

A.The Work described in this section includes all installation of cast-in-place concrete slabs, equipment pads and miscellaneous site concrete.

24 FEBRUARY 2020

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**SPECIFICATIONS** 

Drawing not to be scaled

DATE: 24 FEBRUARY 202 COPYRIGHT

2.1 MATERIALS

A.Ready - mixed concrete, ASTM C-94. Place concrete in

accordance with ACI 304. 1. All concrete shall have a minimum compressive strength of

3000 PSI at 28 days. 2. Acceptable slump to be 4 inches +/- 1", before water reducers. Concrete not having an acceptable slump shall not be used and

is to be disposed of offsite at the Contractor's expense. B.Reinforcing Steel: All reinforcing steel shall be ASTM A615, 60 KSI yield grade; deformed billet steel bars. All reinforcing steel shall

be free bond reducing agents C.Reinforcing mesh shall be Welded Steel Wire Fabric conforming to ASTM A185, in flat sheets.

2.2 ACCESSORIES A.Vapor Retarders: 6-millimeter-thick, Polyethylene. Lap joints

minimum 6 inches. Repair vapor barrier damaged during placement of concrete reinforcing.

B.Non-Shrink Grout: Sonogrout capable of developing minimum compressive strength of 10,000 psi in 28 days. C. Joint Sealers: See Section 07900.

D.Expansion Joints: ½" x full height asphalt impregnated. Recess top of filler 1/2 inch for sealant placement. Install zip strip to recess top of joint. Place expansion joints as noted on the drawings.

E. Control Joints: Provide either steel or sawn control joints at 12' O.C.E.W maximum or as noted on the drawings. Steel Control joints to be keyed with #4 dowels at 18" O.C. Top steel with vinyl pull strip. Pull and fill with joint sealant after concrete placement. Sawn control joints to be 1" deep and to be cut within 16 hours of concrete placement.

F. Tie Wire: Minimum 16-gauge annealed type.

G. Rebar Chairs: Sized and shaped for strength and support of reinforcement during concrete placement

1.4" or 5" Thick slab: 2" tall plastic chairs; 6" Thick slab: 3" tall plastic chairs.

2. Grade beams: 3" tall plastic chairs supplemented with brick as required.

3.1 INSTALLATION A.Concrete shall be placed as to completely cover all reinforcing

1. Minimum concrete coverages of steel reinforcement:

a. Concrete placed against earth - 3" b.Formed concrete against earth - 2"

c. Beams to ties & stirrups - 1 1/2"

d. Top of slab - 1 1/4" B. All reinforcing bar splices shall be a minimum of 40 bar diameters. C.Provide corner bars in all beams where applicable. Corner Bars shall be the same size as main beam steel, cold bent and shall

overlap beam bars 30 bar diameters. D.Placement of concrete on site in hot weather must occur within 45 minutes maximum after proportioning materials at batch plant. Cool weather placement must occur no more than 60 minutes after proportioning materials at batch plant

E. Place concrete continuously between predetermined expansion, control, and construction joints.

F. Do not interrupt successive placement; do not permit cold joints G. Screed floors and slabs on grade level, maintaining surface

flatness of maximum 1/4 inch in 10ft. H.Observe American Concrete Institute (ACI) forming, reinforcement, placement, finishing and curing standards and

guidelines. END OF SECTION 03300

**DIVISION 4 - UNIT MASONRY & STONE** 

**SECTION 04200 - UNIT MASONRY** 1.1 SECTION INCLUDES

A.Furnish all labor, material and equipment to install Masonry including:

1. Modification and repairing the existing Unit Masonry, Face

Brick, Stone Veneer, CMU 2. Mortar & Mortar Color

3. Masonry Accessories, reinforcement and anchorage

4.Flashing

5. Masonry Cleaning and Sealing 1.2 SUBMITTALS

A.Product data for each masonry unit and accessories. Shop

drawings for reinforcing bars.

2.1 PRODUCTS A.Masonry Units

1. Brick Size - Match Existing

a. Color and face texture: Match Existing

2. Concrete Masonry Units: (CMU) ASTM C90 specifications for

load bearing concrete masonry units. B.Mortar: Match existing color and joint size

C.Flashings:

1. Thru Wall Flashings @ Door & Window Heads: Copper Fabric

Flashing by Hohmann & Barnard Inc., 3 oz. copper 2.Base Flashings: Sheet use 3oz copper OR Textroflash 40 mil rubberized asphalt SA. Tuck membrane into masonry bed/head joints, building wrap or secure to wall with Termination Bar.

Seal the top of termination bar with sealant. 3.1 INSTALLATION:

A.Install all masonry units per Brick Institute of American, Concrete Masonry Institute and International Masonry Institute details and recommendations.

END OF SECTION 04200

**DIVISION 5 - METALS SECTION 05500 - METAL FABRICATIONS** 

1.1 SECTION INCLUDES

A.Shop fabricated ferrous metal items - other metal items not part of Structural Steel.

B. Handrails and Mounting Accessories. C.Masonry Lintels.

1.2 SUBMITTALS FOR REVIEW

A.Shop Drawings: Indicate profiles, sizes, connection attachments, reinforcing, anchorage, size and type of fasteners, and accessories. Include erection drawings, elevations, and details where applicable. Provide templates for anchor and bolt installation by others.

B.Indicate welded connections using standard AWS A2.0 symbols. Indicate net weld lengths.

2.1 MATERIALS

A.Metal Surfaces: For fabrication of miscellaneous metal work exposed to view use only materials smooth and free of blemishes, including: pitting, seam marks, roller marks, rolled trade names and roughness. All items exposed shall be primed and painted.

B. Steel Plates, Shapes and Bars: ASTM A 36. C.Steel Pipe: ASTM A 53; Type and grade as selected by fabricator and as required for design loading; black finish; standard weight (schedule 40), unless noted otherwise. Match existing handrail

D.Brackets, Flanges and Anchors: Cast or formed metal of the same type material and finish as supported rails, unless noted otherwise. Match existing handrail style.

E. Steel Handrails: Provide end closures, flanges, miscellaneous fittings and anchors for interconnections of pipe and attachment to other work. Interconnect handrail members by butt-welding or welding with internal connectors; at fabricator's option; unless noted otherwise. Provide mitered joints at elbow bends. Provide wall return at end of wall mounted handrails. Close exposed ends by welding 3/16" steel plate in place or by use of prefabricated

F. Loose Steel Lintels: For openings and recesses in masonry walls and partitions. Weld adjoining members together to form a single unit. Provide a minimum of 8" bearing each side of opening. See Details 03/A2.4.

G. Grout: As specified in Section 03600 or Refer Structural. H.Fasteners: Zinc-coated for exterior use. Select for type, grade and class required.

I. Paint: Metal Primer - lead free to meet or exceed Federal specifications. Coordinate selection of metal primer with finish paint requirements as specified in Section 09900. J. Brackets, Flanges, Fittings and Anchors: Match Existing

2.2 FABRICATION TOLERANCES A.Squareness: 1/8-inch maximum difference in diagonal

measurements. B.Maximum Offset Between Faces: 1/16 inch. C.Maximum Misalignment of Adjacent Members: 1/16 inch.

D.Maximum Bow: 1/8 inch in 48 inches. E. Maximum Deviation from Plane: 1/16 inch in 48 inches.

2.3 FINISHES - STEEL (PRIMED)

A.Clean surfaces of rust, scale, grease, and foreign matter prior to finishing in accordance with SSPC SP-2 Hand Tool Cleaning, SSPC SP-3 Power Tool Cleaning or SSPC SP-7 Brush-off Blast Cleaning. B.Do not prime surfaces in direct contact with concrete or where

field welding is required. C.Prime paint items with two coats.

2.4 FINISHES - STEEL (GALVANIZED)

A.Clean surfaces of rust, scale, grease, and foreign matter prior to finishing in accordance with SSPC SP-2 Hand Tool Cleaning, SSPC SP-3 Power Tool Cleaning or SSPC SP-7 Brush-off Blast Cleaning.

B. Provide a zinc coating for those items shown or specified to be galvanized as follows: 1. ASTM A 123 for galvanizing rolled, pressed and forged steel

shapes, plates, bars and strips 1/8 inch and heavier. 2. ASTM A 153 for galvanizing iron and steel hardware. 3. ASTM A 386 for galvanizing assembled steel products.

3.1 ERECTION TOLERANCES

A.Maximum Variation from Plumb: 1/4 inch per story, noncumulative.

B.Maximum Offset from True Alignment: 1/4 inch. C.Maximum Out-of-Position: 1/4 inch. END OF SECTION 05500

**DIVISION 6 - WOOD AND PLASTICS** 

**SECTION 06100 - FRAMING CARPENTRY** 

1.1 SECTION INCLUDES A.Provide and install wood framing, exterior trim and associated fasteners and hardware.

1. Wood Framing, Blocking and Furring

2.Plywood: APA, Structural Hardware, Exterior Trim, Roof and Floor Decking

3. Exterior Sheathing, Roofing Felt, Exterior Moisture Barrier 2.1 MATERIALS - Refer Drawings for Framing Notes, Header Schedules and Fastener Schedule.

A.Wood Framing, Blocking and Furring

1. Sole Plates and all wood in contact with the concrete or wet conditions shall be preservative treated for the specific application.

2. Framing materials shall be #2 or better except that studs may be

3. Providing blocking for all toilet room equipment including grab bars and other wall mounted toilet or miscellaneous equipment. Coordinate exact location with all involved trades. Attach to substrates to support applied loading. Countersink bolts and nuts flush with surfaces, unless noted otherwise.

B.Plywood: APA rated for the intended use.

1. Concealed Applications: CDX plugged INT 3/4" minimum

2. Telephone/Electrical Panels: B-C plugged Interior, ¾" minimum thickness.

C.Structural Hardware

1. Provide size and type recommended by the manufacturer for the intended application. Where rough carpentry work is exposed to weather, in ground contact, or in area of high relative humidity, provide fasteners and anchorages with a hot-dip zinc coating.

D.Exterior Trim 1. All standing and running exterior wood trim is to be ¾" thick HardieTrim. Exterior plywood shall be rated for the exposure intended and shall be APA graded B-D or better with the B face showing.

E. Exterior Wall Sheathing:

1. Wood Frame Sheathing: Sheath exterior walls with 7/16" APA rated sheathing, Exposure I OSB (oriented strand board). Stagger joints.

2.Exterior Siding:

a. Hardie Panel Siding. Provide 1x4 Hardie Trim decorative band with "Z" trim at all edge terminations.

b.Installation: MAINTAIN A MINIMUM 1" CLEARANCE BETWEEN THE BOTTM OF SIDING AND ROOFS. See HZ10 Installation Instructions for all details.

F. Weather Barrier.

Provide HardieWrap Weather Barrier installed per the

manufacturer's instructions. Tape all seams with HardieWrap Seam Tape. Install HardieWrap ProFlashing at all penetrations. Install HardieWrap Flex Flashing stretchable sill flashing at all door and window sills.

2.2 ACCESSORIES

A.Fasteners and Anchors: 1. Fasteners: Hot dipped galvanized zinc coated steel ASTM A153 for high humidity and treated wood locations, unfinished steel elsewhere.

2. Anchors: Bolt or ballistic fastener for anchorages to steel. 3. Provide size, type, material and finish as recommended by applicable standards, complying with applicable Federal Specifications for anchoring devices.

4. Provide metal hangers and framing anchors of the size and type recommended by the manufacturer for each use including recommended nails.

2.3 FACTORY WOOD TREATMENT

A. Wood Preservative (Pressure Treatment): Borate plant applied treatment. Preservative Treat indicated items and the following: wood nailers, curbs, blocking, coping members and similar members in connection with roofing, flashing and waterproofing. Wood blocking, furring and similar concealed members in contact with masonry or concrete.

3.1 FRAMING A.Set members level and plumb, in correct position, Place horizontal members flat, crown side up, space framing 16 inches on center unless noted otherwise, Use full length pieces where

possible. END OF SECTION 06100

**SECTION 06200 - FINISH CARPENTRY** 

1.1 SECTION INCLUDES A.Finish carpentry items, other than shop prefabricated casework. Perform work in accordance with AWI Custom quality.

1.2 SUBMITTALS

A.Shop Drawings: Indicate materials, component profiles, fastening methods, joining details and accessories. Provide instructions for attachment hardware.

2.1 LUMBER MATERIALS A.Softwood Lumber: PS 20; Graded in accordance with AWI Economy, No. 2 Southern Pine, maximum moisture content of 15 percent. Provide at painted conditions.

B.Interior running and standing trim to be ¾" "D" Grade or better pine. WWW.DWDISTRIBUTION.COM 

1. Crown Mold: #8010 9/16" thick x 2 3/4" tall pine 2. Storage room shelving: 3/4" B-C pine plywood with 1x2 edge trim 3.1 EXAMINATION

A. Verify adequacy of backing and support framing for all wood trim and items for attachment.

B. Verify location and sizes of utility rough in associated with work of this section.

3.2 INSTALLATION

A.Storage and Protection: Wood Trim shall be protected in transit. Store under cover in a ventilated building not exposed to extreme temperature and humidity changes. Do not store or install in building until concrete, masonry, and plaster work is dry. B. Workmanship

1. Erect trim straight, level and plumb and securely anchored in place. Scribe and closely fit to adjacent work. Cut and fit around pipes, ducts, etc.

2. Glue and double nail wood chair rail to wall. Use finish screws appropriate for either wood or metal studs, countersink and putty for application of paint or stain. Review finish schedule. 3.Leave surface clean and free from defects at time of final

acceptance. C.Clean up: Remove all cartons, debris, sawdust, scraps, etc., and leave spaces clean and all ready for Owner's use.

SECTION 06400 - CUSTOM CASEWORK - PLASTIC LAMINATE

1.1 SECTION INCLUDES A.Custom Casework including cabinet hardware. B.Preparation for installing plumbing and electrical in cabinetry.

C.Stainless steel countertops.

END OF SECTION 06200

1.2 SUBMITTALS A.Shop Drawings: Indicate materials, component profiles and elevations, assembly methods, joint details, fastening methods, accessory listings, hardware location and schedule of finishes. Include plumbing and electrical locations, edge protection, locks

and support.

B. Samples: Submit two samples, illustrating cabinet finish. 2.1 QUALIFICATIONS/STANDARDS OF CONSTRUCTION A.Casework construction and design shall be AWI Custom Grade.

approval are: 1. All backs must be ¼ inch thick and must be fully let in on all four sides of cabinet. 2. Cabinet sides may not extend to floor. Cabinet base shall be

\*Minimum requirements that MUST be met to be considered for

exterior grade plywood. 3. All edges of doors and drawer fronts shall be 1 mm PVC. Edges shall be polished to prevent scuff marks. Self-edge or "T" mold will not be acceptable. Color to be selected from manufactures standard colors.

4. All cabinets to be fastened to the wall through a ¾ inch thick installation rail on back of cabinet.

5. All cabinets must have a minimum ¾ inch thick core before

laminate. Finished thickness shall be not less than 13/16 inch. 6. Provide stretchers between all drawers in drawer cabinets. 7. Tops and bottoms of all wall cabinets shall be \(^3\) inch minimum

8.Door/Drawer Spreaders: Provide minimum ¾" X 4" X full width white finished cabinet body spreaders immediately behind all door/drawer and multiple drawer horizontal joints to maintain exact body dimensions and close off reveal. Front edge to be 1 mm PVC to match door and drawer edge. 9. Vertical Laminate: Run grain vertical.

10. All exposed interior of open cabinets or behind glass doors shall be decorative laminate in same color and finish as cabinet exteriors.

All cabinet elevations shall have a normal 1-inch scribe where elevation abuts wall. On wall to wall elevations, center the cabinets and put equal scribes on both ends. 12. Countertop back and end splashes shall be installed at all

conditions where cabinet abuts wall. 13. After countertops and cabinets are properly scribed to wall, all joints at tops and cabinets will be caulked with Polyseam seal clear adhesive caulk or equal. Caulking is a part of this Section.

B. Stainless steel countertop construction must match the sink ASTM # and thickness, size to fit cabinet construction and layout. Back splash to be 4" integral coved. Front edge to be 1 ½" square edge. C.Manufacturers requesting approval shall submit evidence of at least 10 years of experience and installations for similar type of project. Full-sized samples, catalogs and specifications, shall be submitted with written request for approval. Samples may be retained until completion of job for verification and compliance of

specifications. D.Architect's / Owner's opinion and decision shall be final in the evaluation of manufacturer's products for approval to bid, or

award of contract. 2.2 ACCESSORIES / HARDWARE

A.Hardware Finish: Brushed Chrome 1. Cabinet Door Hinges: European 120 degree 2. Cabinet Door Pulls: 4" Wire Pull

3.Drawer Pulls: 4" Wire Pull 4. Shelf Supports: K&V #255 & #256 5.Drawer & Door Locks: Keyed cylinder, two keys per lock, master

keyed, Finish: match hardware. 6. Catches: Magnetic, BHMA A156.9, B03141 one at top of each cabinet door and two (top and bottom) of each wardrobe door. 7. Grommets: Doug Mockett 3" Desert Sand

2.3 FABRICATION A.Shop assemble millwork for delivery to site in units easily handled and to permit passage through building openings. B. When necessary to cut and fit on site, provide materials with ample allowance for cutting. Provide trim for scribing and site cutting.

3.1 EXAMINATION A. Verify adequacy of backing and support framing. B. Verify location and sizes of utility rough in associated with work of

3.2 INSTALLATION A.Storage and Protection: Casework shall be protected in transit. Store under cover in a ventilated building not exposed to extreme temperature and humidity changes. Do not store or install in

building until concrete, masonry, and plaster work is dry. B. Workmen: Install casework under the supervision of the manufacturer's representative with factory trained mechanics authorized by manufacturer.

C. Workmanship 1. Erect casework straight, level and plumb and securely anchored in place. Scribe and closely fit to adjacent work. Cut and fit around pipes, ducts, etc.

2.Install all items complete and adjust all moving parts to operate properly. 3. Leave surface clean and free from defects at time of final acceptance.

D.Guarantee: All materials to be guaranteed for period of one year from manufacturer's defects and workmanship. E. Clean up: Remove all cartons, debris, sawdust, scraps, etc., and leave spaces clean and all casework ready for Owner's use.

**SECTION 06650 - SOLID SURFACING** 1.1 SECTION INCLUDES

END OF SECTION 06400

A.Solid Surface Materials. 1. Counter tops, back and end splashes.

B. Solid Surface Compression Molded Products. 1. Shower Walls with Trim Kit.

1.2 SUBMITTALS A.Shop Drawings: indicate dimensions, component sizes, fabrication details, attachment provisions and coordinate with

adjacent work. B. Samples of each color used. C.Manufacturer's instructions: Care & maintenance data including

repair instructions. 2.1 MANUFACTURER A.Countertops - Corian

B. Shower Walls - InPro

END OF SECTION 06650

1.1 SECTION INCLUDES

2.2 SOLID SURFACING MATERIAL A.Solid Surfacing Materials 1. See Finish Plan

2. Outside corner #DSOCP196

2.3 ACCESSORIES - SHOWER WALLS A.Supply materials for installation of products as specified in manufacturer's printed installation instructions including color matched silicon sealant and adhesives where applicable. 1. Inside "L" corner #DSICPL196

**DIVISION 7 - THERMAL & MOISTURE PROTECTION SECTION 07210 - BUILDING INSULATION** 

A.Acoustical insulation in interior walls.

B. Provide complete thermal envelope. Must meet all requirements of the 2015 Energy Code. Thermal Batt Insulation: ASTM C665; pre-formed glass fiber batt conforming to the following:

1. Thermal Resistance: R 15 (3 1/2"), R 21 (6 1/4") as noted on the drawings. Fill wall cavity to full thickness. 2.Batt Size: Full width and depth of cavity and longest length

3. Facing: Foil faced FSK-25 when the face will be exposed, kraft paper faced when in a concealed condition. C. The insulation installer shall provide a letter certifying that the

insulation system meets the current applicable International

**Energy Code.** 1.2 SUBMITTALS A.Product Data: Cut sheets on all specified insulation and accessories. Detail description of the insulation design verifying

that it will conform to all code requirements. 2.1 MANUFACTURERS - INSULATION MATERIALS A.Owens-Corning Fiberglass Corporation, CertainTeed or Johns

Manville. 2.2 PRODUCTS

A.Attic insulation

1. Refer to plans for thickness 2.R-19 for vertical surfaces. Secure with 18ga. Wiring at 18" on

center, maximum. 3.Batt Size: Full width and depth of cavity and longest length

B. Acoustical Insulation: Noise Reduction Coefficient of 1 1. Walls: full wall thickness unfaced for sound attenuation.

4. Facing: Kraft paper when unexposed, faced FSK-25 when

3.1 INSTALLATION A.Install insulation in accordance with insulation manufacturer's instructions.

B.Install in exterior or interior walls without gaps or voids. Do not

compress. C. Trim insulation neatly to fit spaces. Insulate miscellaneous gaps and voids. D.Fit insulation tight in spaces and to exterior side of mechanical

END OF SECTION 07210

**SECTION 07311 - COMPOSITION SHINGLES** 1.1 SECTION INCLUDES

and electrical services.

A.Composition roofing shingles. Repairs to the existing roof. B.Leak barrier and moisture shedding roof deck protection. C.Metal flashing associated with shingle roofing: Metal roof flashing, valley flashing and all other miscellaneous roof flashing. D.Attic ventilation.

1.2 SUBMITTALS A.Product Data: Submit manufacturer's product data and complete installation instructions. Include all accessories and

2.1 MANUFACTURERS

A.Acceptable Manufacturer: GAF Materials Corporation, Toll Free Tel: 888-LEAK-SOS: Tel: 888-532-5767: Fax: 973-628-3866: Email: TechnicalQuestions@gaf.com; Web: www.gaf.com <a href="http://www.gaf.com">http://www.gaf.com</a>> Requests for substitutions will be considered in accordance with provisions of Section 01600.

2.2 QUALITY CONTROL A. Installation must be provided by a Certified GAF installer. 2.3 SHINGLES A. Match existing.

B.Color: As selected by Architect from manufacturer's full range. 2.4 HIP AND RIDGE SHINGLES

A. Match existing. 2.5 ASSOCIATED PRODUCTS/MATERIALS (Verify Roofing Manufacturer's recommendations prior to specifying) A. Leak Barrier: Underlayment - StormGuard by GAF,

self-adhering, self-sealing, bituminous leak barrier OR High Temperature Protection Self-Adhering Roofing Underlayment: Carlisle WIP 300 HT. Color: White.

B. Roof Deck Protection: GAF Tiger Paw. Or Polaralum reflective barrier by Heat Barrier Systems, Inc., Caddo Mills, Texas. Phone 866-527-4972.

C.Hip and Ridge Shingles: GAF Timber Tex. D.Starter Shingles: GAF Pro-Start Starter Shingles.

E. Asphalt Plastic Cement: Fibrated asphalt cement complying with ASTM D 2822, designed for trowel application. F. Nails: Aluminum or hot-dip galvanized 11 or 12-gage sharp pointed conventional roofing nails with barbed shanks, minimum 3/8" diameter head, and of sufficient length to penetrate minimum 3/4" into solid decking or to penetrate through plywood

sheathing. G. Metal Drip Edge: Minimum .024" mill finish aluminum sheet, brake formed to provide 3" roof deck flange, and 1-1/2" fascia flange with 3/8" drip at lower edge. Furnish in 8' or 10' lengths. H.Metal Flashing: .024" mill finish sheet aluminum. Job-cut to sizes and configurations required.

**SECTION 07600 - FLASHING AND SHEET METAL** 1.1 SECTION INCLUDES

A.MBCI - Metal Building Components, Inc.

B.Pac-Clad - Peterson Aluminum Corporation.

END OF SECTION 07311

1.2 SUBMITTALS A.Shop Drawings: indicate material profile, jointing pattern and details, fastening methods, flashings, terminations and installation

penetration trim, Parapet Cap, Flexible flashings.

A.Counter flashings and flashing covers, Roof flashing and roof

B. Sample - Submit one sample illustrating typical material, finish and color. 2.1 MANUFACTURERS

C.Buildex - Flexible Flashings and Screws. D.APM Hexseal - Self Sealing Rivets. 2.2 MATERIALS

A.Galvanized Steel Sheet Material: ASTM A446, Grade A, 24 Gauge; zinc coating finish.

3.2 PREPARATION

2.3 ACCESSORIES A.Fasteners: Same material and finish as flashing metal in

sections as detailed.

B.Mastic: As specified in Section 07900. C.Underlayment on wood deck: No. 30, asphalt-saturated unperforated organic roofing felt, complying with ASTM D-4869, Type 1, 36" wide. Or Accessories for single ply roofing: as per manufacturer's specifications. Or Accessories for metal roofing: "Dektite" or equivalent as per specified roofing manufacturer.

3.1 EXAMINATION A. Verify roof openings, curbs, pipes, sleeves, ducts, or vents

through roof are solidly set in place, and nailing strips located. B. Verify roofing termination and base flashings are in place, sealed, and secure.

A.Install starter and edge strips, and cleats before starting B.Install surface mounted reglets true to lines and levels. Seal top

of reglets with sealant. 3.3 INSTALLATION A.Conform to details in SMACNA manual. Install flexible flashings

to manufacturer's instructions. B. Secure flashings in place using concealed fasteners.

C. Apply plastic cement compound between metal flashings and felt

flashings. D.Fit flashings tight in place. Make corners square, surfaces true and straight in planes, and lines accurate to profiles. E. Seal metal joints watertight.

F. Insert flashings into reglets to form tight fit. Secure in place with metal edges and seal with sealant. G. Solder metal joints for full metal surface contact. After soldering, wash metal clean with neutralizing solution and rinse

with water. H.Install flexible flashings with screws where screws will not inhibit panel movement. Use self-sealing rivets where panel movement will be inhibited by screws.

3.4 SCHEDULE A.Flashings 1. Steel 24

> B.Roof Flashings & Trim 1. Steel 24

2.Kynar 500 or Hylar 5000

metal flashing is not sufficient.

2. Kynar 500 or Hylar 5000

C.Parapet Cap 1. Steel 24 2.Kvnar 500 or Hvlar 5000 D.Flexible Flashings - Paint to match adjacent material. Dektite for round roof penetrations. DekStrip for linear conditions where

END OF SECTION 07600

SECTION 07900 - JOINT SEALERS, DAMPPROOFING AND

WATERPROOFING 1.1 SECTION INCLUDES A.Preparing substrate surfaces, sidewalk, floor, wall and ceiling joints, sealant and joint backing, Exterior wall damp proofing and

1.2 SUBMITTALS A.Product Data: Provide cut sheets for each product specified including limitations and manufacturer's installation instructions.

2.1 SEALANTS - Colors as selected by Architect. A.Concrete Sidewalk, Curb, Paving Horizontal Joints: 1. Pecora Corporation, NR-200.

B. Samples: Submit one sample of color availability.

polyurethane. 3. Tremco Sealant Systems, THC-900. B.Fire Rated Sealant, Interior Floor, Wall, Flashing, Sill and Ceiling

2. Sonneborn Building Products, Sonolastic SL-1-self leveling

2003 for horizontal applications. Use mineral wool as required by sealant manufacturer for fire-rated installations. 2. TREMstop Acrylic (GG) Gun Grade Acrylic Firestopping Sealant

1. Dow Corning, Fire Stop Sealant 2000 for vertical surfaces and SL

C.Interior Floor, Wall, Flashing, Sill and Ceiling (non-fire rated): 1. Pecora Corporation, AC-20. 2. Sonneborn Building Products, Sonolac®. 3. Tremco Sealant Systems, Latex 834.

for vertical and horizontal surfaces.

D.Concrete Curb Vertical Joints, Exterior Wall, Flashing and Sill: 1. Pecora Corporation, Dynatrol I. 2. Sonneborn Building Products, Sonolastic NP 1.

3. Tremco Sealant Systems, Dymonic.

E. Sealant Backer Rod: 1. Pecora Corporation, Ethafoam®. F. Sonneborn Building Products, Sonofoam. Elevator and Subgrade Waterproofing: Sonneborn Waterproofing Systems, Sonoshield HLM 5000T, liquid cold-applied elastomeric waterproofing

G. Mastic: Apply in accordance with manufacturer's written instructions. 1. Sonneborn, Hydrocide Mastic.

A.Joint Primer/Sealer: Provide type of joint primer/sealer

2. W.R. Meadows, Sealmastic Emulsion, Type 3.

recommended by sealant manufacturer for joint surfaces to be primed or sealed. B.Bond Breaker Tape: Provide polyethylene tape or other plastic tape as recommended by sealant manufacturer to be applied to sealant-contact surfaces where bond to substrate or joint filler must be avoided for proper performance of sealant. Provide self-adhesive tape where applicable. Take special care to coordinate installation over asphalt impregnated expansion material with manufacturer for proper approved installation.

C.Primer: As recommended for the proper installation of the

products. END OF SECTION 07900

membrane system.

2.2 MISCELLANEOUS MATERIALS

24 FEBRUARY 2020

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**SPECIFICATIONS** 

Drawing not to be scaled

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# 1.2 SUBMITTALS

A.Product Data: Indicate door configurations, location of cutouts for hardware reinforcement.

B. Shop Drawings: Indicate door elevations, internal reinforcement, closure method, and cutouts for glazing, louvers and finish. C.Manufacturer's Installation Instructions: Indicate special

installation instructions. D.Manufacturer's Certificate: Certify that products meet or

exceed specified requirements.

2.1 DOOR/FRAME MANUFACTURERS A.Ceco Door Division of the Ceco Corporation, Regent - Longview supplier: E.T. Associates. MESKER Opening Approved.

B. Steelcraft, F-Series Flush Frames and L-Series Flush Doors -Felix Thomson.

### 2.2 DOOR CONSTRUCTION

A.Face: Steel sheet in accordance with ANSI/SDI-100. 18 gauge at exterior, 20 gauge at interior, primed, full flush or with glass light options. "U" Factor of 0.50 or less. Refer Door Schedule. Exterior doors to be galvanized.

### 2.3 FRAME CONSTRUCTION

A.16 gauge, primed, welded and ground smooth. Frames to be manufactured to meet UL procedures and labeled with UL rating as required/scheduled. Provide 14 gauge closure reinforcement at all doors with closures. Exterior doors to be galvanized.

2.4 ACCESSORIES A.Door Stops: Type as recommended by manufacturer. B.Door Silencers: Except on weather stripped frames, shop drill

stops to receive 2 silencers on strike jambs of single-swing frames and 2 silencers on heads of double-swing frames. C. Anchors: Provide the following anchors for conditions listed -

coordinate for rated conditions: 1. Stud: Closed stud anchor - minimum 3 per jamb.

2. Masonry: Adjustable wire anchors in mortar filled frames minimum 3 per jamb. 3. All conditions: Provide adjustable base anchor in all

installations in addition to the jamb anchors listed above. 2.5 FINISH

A.Factory Finish: Primer - for field paint. END OF SECTION 08110

#### SECTION 08259 - PRE-HUNG DOORS IN WOOD OR COMPOSITE FRAMES

### 1.1 SECTION INCLUDES

A.Interior Fiberglass doors with no-rot frames and hinges per the Door Schedule.

1.2 SUBMITTALS A.Product Data: Indicate door configurations, location of cutouts

for hardware reinforcement. B. Shop Drawings: Indicate door elevations, internal reinforcement, closure method and cutouts for glazing, louvers and finish.

C.Manufacturer's Installation Instructions: Indicate special installation instructions.

D.Manufacturer's Certificate: Certify that products meet or exceed specified requirements.

# 2.1 DOOR TYPES

A.Smooth fiberglass exterior door for paint. Foam filled insulation. 1 3/4" thickness. Drill for lockset and deadbolt with no-rot frames.

B.Reinforce for closer attachment.

2.2 ACCESSORIES A.Note: Doors shall have air infiltration rates not to exceed 0.5 cubic feet per minute per square foot of door area. Provide lite

pattern as per Exterior Elevations and Door Schedule B.Exterior doors to have weather-stripping all sides. Refer Door Schedule.

C.Rubber tipped door stops - installed. END OF SECTION 08259

# SECTION 08360 - SECTIONAL OVERHEAD DOORS - COMMERCIAL

1.1 SECTION INCLUDES A.Sectional and coiling type overhead doors for general

installation. 1.2 SUBMITTALS

A.Product Data: Manufacturer's product data and installation instructions. Provide complete operating door assemblies including frames, sections, brackets, guides, tracks,

counterbalance, hardware, operators and installation accessories. 2.1 MANUFACTURERS

A.Overhead Door Co. or approved equal.

2.2 DOOR TYPES - Rolling counter door #652, face of wall mounted, manual operation, slide bolt.

END OF SECTION 08360

## SECTION 08400 - ALUMINUM ENTRANCES, WINDOWS AND STOREFRONTS

# 1.1 SECTION INCLUDES

A.Aluminum Doors and Frames, Storefront and Miscellaneous Components.

B.Engineering of the storefront system

# 1.2 SUBMITTALS

A.Product Data: Include construction details, material descriptions, dimensions of individual components and profiles, hardware, finishes and installation instructions for each type of aluminum frame storefront system indicated.

B. Shop Drawings: Include plans, elevations, sections, details, hardware, attachments to other work, operational clearances and installation details.

C.Provide a calculated overall U value for the system assembly.

# 2.1 MANUFACTURERS

# A.Basis of Design: Kawneer Company, Inc.

1. Exterior: Tri-Fab® 451T (thermal) Storefront System, 2" x 4-1/2" Dimensions. Substitute the Kawneer Tri-Fab 601T Storefront System 2" x 6" members as required by the Storefront System engineer.

2. Interior: Tri-Fab<sup>®</sup> 450 Storefront System, 1 3/4" x 4 1/2". B. Allowable Manufacturers Include: United States Aluminum, Inc., Tubelite and Coral Architectural.

2.2 MATERIALS A.Framing Systems: 2" x 4 1/2", supplier to verify that the size and spacing of framing will meet structural load requirements. 1. Finish: As selected by Architect for all system components -

refer to drawings. 2. Provide 4" tall heads where required for mounting of closers. Drop plates are not allowed. Do not mount closure on doors! 3. Provide at exterior wall cavity units, plate closure at all heads, jambs and/or intermediate member ends. Provide any glazing infill options required to receive scheduled/specified glazing

units and window system. B.Entrance Door System: Kawneer 350 Medium Entrance Door, 10" bottom rail, Finish to match framing system. Entrance Hardware & options: VERIFY ALL WITH THE OWNER PRIOR TO SPECIFYING! Provide concealed bottom rail EPDM blade gasket sweep. Kawneer CO-9 Pull and CP-11 Push Bar, LCN 4040 surface Closer with adjustable hold-open, Thumb turn single cylinder deadbolt.

Flush bolts on pairs of doors. C.Flashing and Breakmetal: Provide pre-finished metal (.040 aluminum) as indicated on drawings and as required to match

D. Vision glass and infill panels shall be equal to PPG SolarCool (2) Solexia + Low E. PPG Solexia/Solarban 60 or equal.

1. Minimum Performance Characteristics of New Glass: a. Summer/Winter U-Factor: 0.29 / 0.27 maximum. b. Solar Heat Gain Coefficient: (SHGC) 0.19 maximum. This is to

meet the requirements of IECC 2015. c. Doors: Insulated tempered safety glass, to match vision glass.

2.3 SEALANT MATERIALS A.Sealant and Backing Materials:

1. Perimeter Sealant: Type as recommended by manufacturer. END OF SECTION 08400

## **SECTION 08560 - VINYL WINDOWS**

1.1 SECTION INCLUDES A.Install windows as per Plans and the Window Schedule.

B. Submittals: Submit all pertinent product literature on windows to be used on this product including installation instructions and air filtration test data.

C.Guarantee: Provide the Lifetime Limited Warranty from the manufacturer covering all defects on the hardware for one year and on the glass for a ten-year period starting at the time of Final Acceptance.

2.1 MATERIALS A.Manufacturer: Windows to be Series 200 as manufactured by KRESTMARK or by an Architect approved window manufacturer of equal quality. Windows to have Energy Star Rating.

# **SECTION 08700 - DOOR HARDWARE**

1.1 SECTION INCLUDES A.Refer to Door and Hardware Schedules located on the Plans for

all hardware. B. Weather stripping, seals and door gaskets.

1.2 SUBMITTALS

END OF SECTION 08560

A.Product Data: Manufacturer's product data sheets including installation instruction details, material descriptions, dimensions of individual components and profiles, operational descriptions and finishes.

B.Door Hardware Schedule: Detail fabrication and assembly of door hardware, as well as procedures and diagrams. Coordinate with doors, frames and related work to ensure proper size, thickness, hand function and finish of door hardware.

C.Shop Drawings: Provide keying schedule, location of each hardware set cross referenced to drawings. Explanation of codes and abbreviations, mounting locations, door and frame sizes and materials.

2.1 SUPPLIERS A.Manufacturer: Schlage, Russwin, Falcon, PDQ, Trimco or an Architect approved equal.

2.2 KEYING A.Door Locks: Keyed as per Owner. Allow for 3 key levels - CHECK

B.Keep key system secure. Exterior locks are to be keyed for construction access and re-keyed for final system once all work is complete.

2.3 FINISHES

A.Finishes: US 26D Satin Chrome. END OF SECTION 08700

# **SECTION 08800 - GLASS AND GLAZING**

1.1 SECTION INCLUDES

A.Interior Fixed Glass and Mirrors.

1.2 SUBMITTALS

A.Product Data: Submit manufacturer's product data, including performance characteristics and installation instructions.

B. Shop Drawings: Submit plans, elevations, sections and details indicating glass dimensions, tolerances, types, thickness and

C.Samples: Submit manufacturer's samples of each type, thickness and coating.

2.1 GLASS MATERIALS

A.Interior Fixed Glass: 1/4" Clear, tempered safety glass as required by code or noted on plans.

B.Mirrors: 1/4" float plate, federal standard test 151, method 811-1, shall conform to U.S. Department of Commerce Commercial Standard DDM 411 grade 1.

2.2 GLAZING ACCESSORIES A.Mirror Trim: J mold, chrome finish. Continuous top, bottom and

B.Mirror Adhesive: Palmer Mirror Mastic. END OF SECTION 08800

**DIVISION 9 - FINISHES** SECTION 09250 - GYPSUM BOARD SYSTEM AND EXTERIOR SHEATHING

1.1 SECTION INCLUDES

A.Gypsum board (regular and fire rated) and sheathing. 2.1 GYPSUM BOARD AND EXTERIOR SHEATHING MATERIALS A.Standard Gypsum Board: ASTM C1396; maximum permissible length; ends square cut, tapered edges. Thickness 5/8" Refer

Drawings. B.Fire Rated Gypsum Board: ASTM C1396; fire resistive type, UL rated; maximum permissible length; ends square cut, tapered edges. Thickness 5/8".

C.Moisture Resistant Gypsum Board: GP Dens Armor Plus Paperless Drywall, USG Securock or CertainTeed ProRoc M2Tech Gypsum Board, ASTM C1396; maximum permissible length; ends square cut, tapered edges - in wet areas and at window sills/jambs. Thickness 5/8". Green Board not acceptable. Wet areas are walls within 4' of a shower and walls behind toilets and urinals that do not receive porcelain tile. D.Shower Walls: GP DensShield Tile Backer or CertainTeed

Gypsum's GlasRoc Tile Backer or Diamondback Tile Backer, ASTM

C1178 - glass mat gypsum tile substrate, Silicone corners when

used for shower or tub enclosure. See manufacturer's specific

instructions. Thickness 5/8". Provide at all walls to receive tile -

typical. E. Exterior Wall Sheathing:

1. Wood Frame Sheathing: Sheath exterior walls with 5/8" APA rated sheathing, Exposure I. Stagger joints.

2.2 ACCESSORIES A.Acoustical Insulation: Refer to Section 07210. Coordinate

installation. B. Acoustical Sealant: Non-hardening, non-skinning, for use in conjunction with gypsum board; AC-20 manufactured by Pecora Corporation, Sound Control Sealant by Miracle, Tremco. Acoustical Sealant or SCS-100 or GreenGlue by Saint-Gobain Performance Plastics. Apply sealant at the bottom of all wall

tracks, interior and exterior, both sides, typical. C. Vinyl Edge Trim: Metal Edge Trim may be substituted with a submittal and approval by Architect prior to use. Metal trim is to

be used in all fire rated assemblies 1. Corner Beads: Trim-Tex JO10 Jumbo Vinyl corner bead 1 ¾" x 1

2."L" Trim: Trim-Tex #3210 Vinyl L-type trim beads 3. Tear Away "L" Bead Trim-Tex 9010 at all terminations next to prefinished materials.

4. Mud on Ceiling Grid: Trim-Tex 5010 where indicated. 5.Mud on "J" Mold: Trim-Tex 1810 at all showers, tub enclosures and skylights.

6. Other Trim-Tex specialty moldings as required or detailed. D. Vinyl Edge Trim Adhesive: Trim-Tex 847 Spray Adhesive E. Expansion/Control Joint Materials: Trim-Tex Vinyl 093V Expansion

Joint. In rated walls provide rated control joints, refer details on drawings. F. Reveal Joint Trim-Tex Vinyl 5110 Reveal Bead

G. Steel Screw Fasteners: 1. All fasteners are to be rust resistant and meet ASTM C1002-83 and ASTM C514-84.

2.Install number of screws required for the connection. 3.Framing Screws:

a. #6 x 7/16" pan head, one each side top and bottom minimum. 4. Gypsum Wallboard framing:

a. #8 x 1 ¼" Phillips head, one layer of gypsum board. b. #8 x 1 5/8" Phillips head, two layers of gypsum board 5. Use Type "S" screws for attaching gypsum to metal studs and

Type "W" when attaching to wood studs. 6. Metal Edge Trim to Gypsum wallboard: a. # 8 x 1 ½" Phillips head, 5/8" minimum penetration into metal back up. Maximum spacing is 12" on center.

3.1 INSTALLATION OF GYPSUM BOARD AND ACCESSORIES: 1. NOTE: Refer to the UL Fire Resistance Directory and the product manufacturer's instructions for additional requirements

for all fire rated assemblies A. Gypsum Board Installation for assemblies rated 1 Hour or less. 1. Gypsum panels shall be installed vertically on all walls under 10'.

Submit joint layout for all walls over 10'-0" for approval. B. Gypsum panels applied vertically or horizontally. The gypsum board is to be installed on each side of the studs with coated steel screws spaced 8" O.C. starting 4" from the edge of the board at the edges and 12" O.C. starting 6 in. from the edge of the board in

the field of the board. C.Gypsum board attached to wood framing shall have perimeter fastener spacing of 7" maximum.

D.All fasteners along joints shall be staggered 4" from the fasteners on the adjacent panel. Gypsum boards are to be secured to the top and bottom track with screws spaced 8" O.C. starting 4" from the board edge. Vertical joints are to be centered over studs and staggered one stud cavity on opposite sides of studs.

E. Carefully cut gypsum panels to tightly fit around electrical boxes, conduits, pipes, ducts and other items which may be part of the finished assembly. Maximum allowable space is ¼"

F. Gypsum panels are to be spaced a maximum of ½" off the floor and all spacers are to be removed by the gypsum board installer. G. Install gypsum wallboard continuous from the bottom track to

the top track of all walls. Carefully "V" notch gypsum board around conduits at top track. 3.2 JOINT TREATMENT & SMOOTHING - Refer Section 09260

# **SECTION 09260 - GYPSUM BOARD FINISHING**

1.1 SECTION INCLUDES

END OF SECTION 09250

A.Gypsum board finishing for all surfaces to receive paint or wallcovering (regular and fire rated). 2.1 ACCESSORIES

A.Joint Compound: USG SHEETROCK Brand All-Purpose Joint Compound (green box).

B.Drywall Joint Tape: ProRoc, Spark-Perf, Marco Brand, perforated 2.2 JOINT TREATMENT & SMOOTHING

A.Tape, fill, and sand exposed joints, edges, and corners to produce smooth surface for finishes. B. Taping, filling, and sanding is required at surfaces behind adhesive applied ceramic tile.

C. Tape joints and corners of cementitious backing board. D.Gvpsum board shall be taped where it occurs above the ceiling line. In multi-layer installations, tape each layer.

3.1 GYPSUM BOARD FINISHING

A.All walls shall be finished flat to within 1/8" in 4'. B. All surfaces for paint and wallcovering shall be finished to Level 4 as per GA-214-10, Levels of Gypsum Board Finish.

**1.Level 4**: All joints and interior angles shall have tape embedded in joint compound and two separate coats of joint compound applied over all flat joints and one separate coat of joint compound applied over interior angles. Fastener heads and accessories shall be covered with three separate coats of joint compound. All joint compound shall be smooth and free of tool marks and ridges. Note: It is recommended that the prepared surface be coated with a drywall primer prior to the application of final finishes. See painting/wallcovering specification in this

C.Control joints need to be rated in rated walls - refer detail. Float a minimum of 36" each side of joint.

3.2 GYPSUM BOARD FINISHING FOR AREAS BEHIND FRP AND VINYL WALL PANELS

A.Do NOT apply texture to walls scheduled to receive these products. Tape, Bed and Smooth finish the Gypsum Wall Board and seal with Sherwin Williams Classic Primer or equal. 3.3 TEXTURE FINISH

A.Seal gypsum wallboard before texturing, Sherwin Williams

B. Spray apply finish texture coating in accordance with manufacturer's instructions. C.Prepare and prime drywall and other surfaces in strict accordance

with texture finish manufacturer's instructions. Apply primer to all surfaces to achieve texture finish. D.Finish Application: Mix and apply finish to drywall and other surfaces indicated to receive finish in strict accordance with

manufacturer's instructions to produce a uniform texture without starved spots or other evidence of thin application. E. Sample of texture to be reviewed/approved by Architect. Refer

Finish Schedule for texture. F. Remove any texture drippings or overspray from door frames, windows, floors, conduits, ducts, light fixtures and adjoining work. END OF SECTION 09260

# **SECTION 09300 - TILE - ALTERNATE**

1.1 SECTION INCLUDES A.Including

1. Floor Tile 1.2 SUBMITTALS

A.Product Data: Manufacturer's data sheets on each product to be used, including: preparation instructions storage and handling requirements and installation methods.

B. Shop Drawings: Indicate tile layout, patterns, color arrangement, perimeter conditions, junctions with dissimilar materials, control and expansion joints, thresholds, ceramic accessories and setting

C.Selection and samples of actual tiles for selection: Color charts illustrating full range of colors and patterns.

D.Maintenance Data: Include recommended cleaning methods, cleaning materials and maintenance coatings. E. Grout Samples for Selection: Manufacturer's color charts consisting of actual sections of epoxy grout showing full range of colors available for each type of grout indicated.

2.1 MATERIALS A.Tile: See Finish Schedule. Provide complimentary trim pieces for a complete job. Manufacturer: American Olean or approved

B. Slip Resistance is to be measured using the DCOF AcuTestSM and the tested resistance shall be in the .3-0.30-0.42 range. C. Abrasion Resistance of 3, 4 or 5. D. Trim all exposed edges and transitions to other materials with appropriate Schluter trim. Architect to select color from full range

of available manufacturer's colors. 2.2 INSTALATION

A.Level the underlying floor to a tolerance of 1/8" in 4' or flater if required by manufacturer. B.Layout and install control joints at 30' maximum on the floor and 20' maximum on the walls. Fill joints with flexible sealant to match

C.Install tile per the manufacturer's instructions.

2.3 INSTALLATION MATERIALS A.Anti-Fracture Membrane/Cleavage Membrane: Where indicated on the drawings, and elsewhere as required for isolating the installation from cracking due to minor substrate movement and normal structural deflections.

1. Custom Building Products Semco™ Anti-Fracture Membrane: B. Self-Leveling Underlayment: Interior installations. Custom Building Products LevelQuik.

2. Custom Building Products LevelQuik™ Concentrated Latex Primer for surface preparation.

Epoxy; ANSI A118.3

elsewhere as required provide:

C. Tile Adhesives: Floors & Base: 1. Concrete Substrate: Custom Building Products FlexBond®. 2.Plywood Substrate: Custom Building Products FlexBond®. 3.Dry Walls: Custom Building Products FlexBond®.

4. Wet Walls: Custom Building Products FlexBond®. D.Grout: ANSI A118.6: Where indicated on the drawings, and elsewhere as required for filling the joints between tiles. 1. Polymer-Modified Portland Cement Grout

Grout - for joints 1/8" - 1/2". b. Custom Building Products Polyblend®Non-Sanded Colored Tile Grout for joints up to 1/8".

2. Chemical Resistant, Water-Cleanable Tile Setting and Grouting

a. Custom Building Products Polyblend® Sanded Colored Tile

a. Custom Building Products 100% Solids Epoxy Grout. Available in all 38 Polyblend grout colors. 3. Prism Color Consistent Grout: Custom Building Products. Use a pH-neutral, water-based sealer such as AquaMix Sealer's Choice Gold or TileLab Surface Guard. Read Limitations of the Product!

E. Elastomeric Joint Caulk: Where indicated on the drawings, and

1. All joints between floors and walls and at joints between tile and dissimilar materials

a. Custom Building Products Polyblend® Ceramic Tile Caulk. F. Tile Sealer for Natural Stone and porous tile: TileLab® SurfaceGard G. Grout Sealer: TileLab® Grout Sealer or as recommended by the manufacturer for each application.

# SECTION 09510 - ACOUSTICAL CEILINGS

1.1 SECTION INCLUDES

END OF SECTION 09300

A.Suspended metal grid ceiling system and perimeter trim, ceiling tile and sound insulation 1.2 SUBMITTALS

A.Product Data: Provide data on metal grid system components

and acoustical units. B. Samples: Submit one sample of each product specified illustrating

material and finish of ceiling units. 2.1 MANUFACTURERS - SUSPENSION SYSTEM

B.Exposed Grid Surface Width: 15/16 inch.

A.Armstrong Company. B.CertainTeed.

C.USG

2.2 SUSPENSION SYSTEM MATERIALS A.Non-fire Rated Grid: Armstrong, Prelude 7300, CertainTeed

C.Grid Finish: Manufacturer's standard baked enamel finish, D.Accessories: Stabilizer bars, clips, splices, edge moldings and miscellaneous accessories required for suspended grid system. E. Support Channels and Hangers: Galvanized carbon steel; size and

type to suit application and ceiling system flatness requirement

specified. ASTM C 641, yield-stress load of at least 3 times design load, but not less than 12 gauge. F. Edge Moldings: Manufacturer's standard channel molding for edges and penetrations of ceiling, with single flange of molding exposed, white baked enamel finish for Type 1 and aluminum with white finish for Type 2 ceilings and exterior installations.

G. Tile Joint Splines: Type recommended by tile manufacturer to coordinate with tile installation support system and installation procedure.

H.Wind Uplift Bracing: 1/2" ID diameter EMT (electro metallic tubing) with plated exterior.

2.3 MANUFACTUERS - ACOUSTICAL UNITS A.Armstrong World Industries, Inc. B.CertainTeed

2.4 ACOUSTICAL UNIT MATERIALS A.Acoustical Tile: Refer to the Reflected Ceiling Plan for location

2.5 ACCESSORIES A. Touch-up Paint: Type and color to match acoustical and grid

B. Tile Hold Down Clips: Provide hold down clips at exterior

**SECTION 09650 - RESILIENT BASE** 

END OF SECTION 09510

C.USG

1.1 SECTION INCLUDES A.Resilient base.

1.2 SUBMITTALS A.Product Data: Provide data on specified products, describing physical and performance characteristics, sizes, patterns and colors available.

B. Samples: Submit samples illustrating color and pattern for each floor material in full color range for selection by Architect. Include samples for base, stair material and all accessories. C.Manufacturer's Installation Instructions: Indicate special

# procedures, perimeter conditions requiring special attention.

3.1 INSTALATION

2.1 MATERIALS - BASE A.Base: Rubber:

1. Johnsonite Recess Wall Base, Height: 4 inches

possible, 4' minimum.

2. Thickness: 1/8 inch thick 3. Color: Refer Finish Plan. 4.Length: Continuous roll when available. Use the longest pieces

5. Manufacturers: Roppe or Johnsonite. Refer Drawings. B.Base Accessories: All accessories to be of same material, size, and color matched to the base.

A.Install base per the manufacturer's instructions using largest

#### pieces possible. END OF SECTION 09650

**SECTION 09772 - RIGID SHEET WALL PANELS** 

1.1 SECTION INCLUDES A.Prefinished reinforced plastic sheets adhered to unfinished gypsum or plywood wallboard.

B.Installation of sheets and accessories.

2.4 BASE, MOULDINGS AND CORNER GUARDS

1.2 WARRANTY A.Furnish one-year guarantee against defects in material and workmanship.

2.1 SUBMITTALS: Refer Finish Drawings for Selections

A.Product Data: Provide samples of product, storage, handling and Installation methods. B. Submit appropriate section of panel for each finish selected indicating the thickness, color, texture and pattern required.

2.2 MANUFACTURER: A.Basis of Design: InPro or approved equal. 2.3 PANELS - See Finish Plan for Information

corners and all accessories to match the panel colors in lengths to suit project conditions. 3.1 INSTALLATION A.Examine backup surfaces to determine corners are plumb and

RECEIVE THIS PRODUCT! Refer Section 09260.

A.Provide base, top caps, inside corners, divider bars and outside

straight and surfaces are smooth. Level wall surfaces, remove

protrusions and fill indentations. DO NOT TEXTURE WALLS TO

B.Install products in accordance with manufacture's written instructions and in proper relationship with adjacent construction, including the following:

1. For adhesive installation to substrate, provide temporary support to prevent panel slippage.

C. Touch-up, repair or replace damaged units until satisfactory results are obtained. Remove excess sealant from panels and molding. Wipe panel down using damp cloth and mild cleaner. END OF SECTION 09772.

A.Surface preparation and field application of paints and coatings. 1. Verify the type of paint that was previously used on existing

B. Work Items:

1. Section 09260 Gypsum Board Finishing

3. Paint interior wood trim

5. Paint Interior doors

7. Paint unfinished louvers and covers 8. Paint all exterior exposed PVC, steel and copper piping and

9. Paint all steel roof jacks and mechanical hoods unless prefinished.

1.2 SUBMITTALS A.Product Data: Provide data on all finishing products. B. Samples: Submit manufacturer's color charts illustrating full range of colors and textures available for each surface finishing product

C.Manufacturer's Instructions: Indicate special preparation procedures, substrate conditions requiring special attention.

A.Sherwin Williams or PPG Architectural Coatings 2.2 MATERIALS

uniformly dispersed to a homogeneous coating; good flow and

required to achieve the finishes specified, of commercial quality.

proposed for use by Contractor must be formulated to meet all applicable ordinances and regulations regarding maximum V.O.C.

content. Utilize products which have been specially formulated to need such requirements.

3.2 SCHEDULE - EXTERIOR SURFACES: Products referenced are

manufactured by Sherwin Williams. A.EXTERIOR SURFACES 1. Exterior Galvanized Metal:

b.Primer: One coat Pro-Industrial Pro-Cryl Universal Primer. Comes in Off White, Gray and Red Oxide.

applying to surfaces.

c. Finish: Two coats DTM Acrylic Gloss or Semi-Gloss (B66 Series)

applying to surfaces. b. Primer: One coat Pro-Industrial Pro-Cryl Universal Primer. Comes in Off White, Gray and Red Oxide.

5. Exterior Ferrous Metal (Acrylic topcoat): a. Preparation: Clean, wash, prepare and test products before applying to surfaces.

c. Finish: Two coats DTM Acrylic Gloss or Semi-Gloss (B66 Series) 6. Unprimed HardieBoard Siding:

b. Finish: Two coats exterior grade top coat within 90days of installation - Super Paint Exterior Satin A89 Series.

7. HardieBoard Siding coated with "Prime Plus" System:

9. Hollow Metal Frames, Doors, Windows and Exposed Steel: Refer Door & Finish Schedules! a. Primer: One coat Pro Industrial Pro-Cryl Universal Primer.

b. Finish: Two coats DTM Acrylic Gloss or Semi-Gloss (B66 Series)

a. Texture: Refer Finish Schedule b.Primer: One coat ProMar 200 #B28W2600

c. Finish on all other walls: (Meets Low VOC) Two coats Pro Industrial K46 Series.

**SECTION 09900 - PAINTING** 

1.1 SECTION INCLUDES

conditions. Prepare surfaces and proceed accordingly to get the best bond and most durable final application.

2. Paint handrails and guardrails

4. Finish cabinets as designated

6. Paint Exterior doors

conduits. This includes items on the roof.

10. PVC Pipes - Acrylic Latex Paint - 2 Coats 11. Touch up all work at the end of construction.

2.1 MANUFACTURERS

brushing properties; capable of drying or curing free of streaks or B. Accessory Materials: Linseed oil, shellac, turpentine, paint

thinners and other materials not specifically indicated but

A.Coatings: Ready mixed, except field catalyzed coatings. Process

pigments to a soft paste consistency, capable of being readily and

C.Patching Materials: Latex filler. D.Fastener Head Cover Materials: Latex filler. 3.1 V.O.C. (VOLATILE ORGANIC COMPOUND) COMPLIANCE A.Products listed in following schedule and/or substitutes

a. Preparation: Clean, wash, prepare and test products before

applying to surfaces.

2. Finish: Two coats industrial enamel (B54 Series)

3. Exterior Galvanized Metal (Acrylic Topcoat):

a. Preparation: Clean, wash, prepare and test products before b.Primer: Self Priming

4.Exterior Ferrous Metal (ALKYD Topcoat): a. Preparation: Clean, wash, prepare and test products before

c. Finish: Two coats industrial enamel (B54 Series)

b.Primer: One coat Pro-Industrial Pro-Cryl Universal Primer. Comes in Off White, Gray and Red Oxide.

a. Primer: One coat high quality, alkali-resistant primer - Loxon

b. Finish: Super Paint Exterior Satin A89 Series. 8.CMU Block: a. Primer: One coat Cement-Plex 875 heavy duty block filler

Comes in Off White, Gray and Red Oxide.

**B.INTERIOR SURFACES** 1. Interior Gypsum Wallboard:

a. Primer: Not required.

b. Finish: Two coats Tile Clad High Solids

2.CMU Block

24 FEBRUARY 2020

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**SPECIFICATIONS** 

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3. Ferrous metal frames, doors, windows, and exposed steel (acrylic topcoat):

a. Primer: One coat DTM Acrylic Primer finish (B66W1). b. Finish: Two coats Acrylic Gloss or Semi-Gloss (B66 Series). 4.Interior Galvanized Metal including "Paint-Grip" (Acrylic

a. Preparation: Clean, wash, prepare and test products before applying to surfaces. b.Primer: One coat KEM Kromik Universal Metal Primer (B50

c. Finish: Two coats DTM Acrylic Gloss or Semi-Gloss (B66

5.Exposed metal, where scheduled for paint:

a. Primer: Self priming b. Finish: Two coats DTM Acrylic Gloss or Semi-Gloss (B66

6.Interior Wood Doors, Frames, Trim, Woodwork and Cabinets:

a. New Wood for paint: b.Primer: One coat wall and wood primer

c. Finish: Two coats Promar 200 Alkyd Semi-Gloss Enamel 7. Metal Frames, Doors, Windows and Exposed Steel: (Alkyd

Topcoat): a. Primer: Touch up factory applied primer or apply one coat

KEM Kromik Metal Primer to unprimed metal b.Finish: (semi-gloss) two coats DTM Alkyd Enamel

8. Concrete Floors: Two coats Armor Seal 1000 HS Epoxy, B67-2000 Series. Follow manufacturer's installation recommendations and verify existing conditions and existing products used on the concrete floor.

END OF SECTION 09900

## **DIVISION 10 - SPECIALTIES**

**SECTION 10000 - SPECIALTIES - LOCKERS** 1.1 SECTION INCLUDES

A.Lockers

1.2 SUBMITTALS

A.Product Data: Provide cut sheets for each product specified including limitations and manufacturer's installation instructions.

2.1 MATERIALS A.Lockers: See Floor Plan for information END OF SECTION 10000

#### **SECTION 10216 - SOLID PLASTIC TOILET PARTITIONS** 1.1 SUMMARY

A.Section Includes: Solid plastic (toilet compartments and urinal screens), shower/dressing partitions

1.2 SYSTEM DESCRIPTION A.Compartment Configurations: Toilet and shower/dressing

partitions: Floor mounted and Urinal Screens: Wall mounted. 1.3 SUBMITTALS

A.Submittals for review:

1. Shop Drawings: Include dimensioned layout, elevations, trim, closures and accessories. 2. Product Data: Manufacturer's descriptive data for panels,

hardware and accessories. 3. Samples: (2 x 3) inch samples showing available colors.

1.4 WARRANITIES A.Provide manufacturer's 25-year warranty against breakage,

corrosion and delamination under Normal conditions.

2.1 MANUFACTURERS

A. Scranton or approved equal. 2.2 MATERIALS

A.Doors, Panels and Pilasters:

1. High density polyethylene (HDPE), fabricated from polymer resins compounded under high pressure, forming single thickness panel.

2. Waterproof and nonabsorbent, with self-lubricating surface, resistant to marks by pens, pencils, markers and other writing instruments.

3.1 inch thick with edges rounded to ¼ inch radius.

4. Color: Refer Drawings 5. Provide one (1) coat hook per door. Refer to drawings for exact

configuration of toilet partition layout. 6. Wall Brackets: Provide continuous "T" brackets for toilet and

urinal partitions - typical. B. Aluminum Extrusions: ASTM B221, 6463-T5 alloy and temper.

C. Stainless Steel: ASTM A167, Type 304. 2.3 HARDWARE

A.Hinges:

1.8 inches long, fabricated from heavy-duty extruded aluminum with bright dip anodized finish, wrap-around flanges, adjustable on 30-degree increments, through bolted to doors and pilasters with stainless steel, Torx head sex bolts.

B.Door Strike and Keeper: 1.6 inches long, fabricate from heavy-duty extruded aluminum with bright dip anodized finish, with wrap-around flanges secured to pilasters with stainless steel tamper resistant Torx

head sex bolts. 2. Bumper: Extruded black vinyl.

C.Latch and Housing: 1. Heavy-duty extruded aluminum.

2.Latch housing: Bright dip anodized finish.

3. Slide bolt and button: Black anodized finish. D.Coat Hook/Bumper:

1. Combination type, chrome plated Zamak. 2. Equip outswing handicapped doors with second door pull and

door stop. E. Door Pulls: Chrome plated Zamak.

2.4 COMPONENTS A.Doors and Dividing Panels: 55 inches high, mounted 14 inches

above finished floor. B.Pilasters: 82 inches high, fastened to pilaster sleeves with

stainless steel tamper resistant Torx head sex bolt.

C.Pilaster Sleeves: 3 inches high, (one-piece molded HDPE,) secured

to pilaster with stainless steel tamper resistant Torx head sex bolt.

D.Wall Brackets: 54 inches long, (heavy-duty aluminum, bright dip anodized finish,) fastened to pilasters and panels with stainless steel tamper resistant Torx head sex bolts.

E. Headrail: Heavy-duty extruded aluminum, anti-grip design, clear anodized finish, fastened to headrail bracket with stainless steel tamper resistant Torx head sex bolt and at top of pilaster with stainless steel tamper resistant Torx head screws.

F. Headrail Brackets: 20 gage stainless steel, satin finish, secured to wall with stainless steel tamper resistant Torx head screws. 3.1 INSTALLATION

A.Install compartments in accordance with manufacturer's

instructions and approved Shop Drawings. B.Install rigid, straight, plumb and level. C.Locate bottom edge of doors and panels 14 inches above finished

D.Provide uniform, maximum 3/8-inch vertical clearance at doors. E. Not Acceptable: Evidence of cutting, drilling or patching. 3.2 ADJUSTING

A.Adjust doors and latches to operate correctly.

**END OF SECTION 10216** 

**SECTION 10260 - WALL PROTECTION AND CORNER GUARDS** 1.1 SUMMARY

A.This Section includes the following: Wall and corner guards. 1.2 SUBMITTALS

A.Product Data: For each type of product indicated. B. Shop Drawings: Include sections, details and attachments to other

C. Samples: For each type of unit and for each color and texture

required. 2.1 MANUFACTURERS

A.IPC Door and Wall Protection Systems. In Pro Corporation or

B.Korogard Wall Protection Systems.

2.2 MATERIALS A.Corner Guards: Surface mounted, Inpro 160BN Bullnose Corner Guard, 2" x 2", 8' tall unless noted otherwise, color plastic fabricated with holes and screws. 90° or other degree twin to match wall conditions. Verify length and width with each wall condition. Refer Finish Schedule for colors and heights. Corner Guards: Surface mounted, Inpro, Bullnose corner guards

#150 BN 90°, 3" wing colors as selected by Architect. B.IPC Rigid Sheet - 406, 4' x 8' x .060 (1.5 mm) standard size as per required at each location. Refer Finish Schedule. Top caps, inside corners, divider bars and outside corners to match panel color. **DO NOT TEXTURE THE WALLS TO RECEIVE THIS PRODUCT.** Refer Section 09260. Install using manufacturer's recommended adhesives and methods.

END OF SECTION 10260

# **SECTION 10400 - SIGNS AND IDENTIFICATION DEVICES**

A.Provide identifying devices complete, including the following: 1. Room identification signs.

1.2 SUBMITTALS

A.Shop Drawings: Submit full-size template drawing for approval of letter size, stock, spacing, settling screws, electrical requirement/location, etc.

B. Samples: At the same time shop drawings are submitted, submit sample of sign or letter conforming to specification requirements as letter size, spacing and style.

2.1 MANUFACTURERS A.Manufacturers: Subject to compliance with requirements indicated, provide products of one of the following:

1. ASI Sign Systems, Grand Prairie, TX 2. Seton, 1-800-243-6624.

3.In-Pro Corporation or Equal.

2.2 ROOM IDENTIFICATION SIGNS A.Restroom Signs: Seton Style No. 14264, Overall panel size: 9" H

B.Refer Details for correct mounting heights and locations. END OF SECTION 10400

**SECTION 10440 - FIRE-PROTECTION SPECIALTIES** 

1.1 SUMMARY A.This Section includes the following:

1. Portable fire extinguishers - BY OWNER

2. Fire-protection cabinets. 3.Knox Box - By Owner.

1.2 SUBMITTALS A.Product Data: For each type of product indicated. Include rating, classification, door hardware cabinet type, trim style, panel style and details of installation.

2.1 PORTABLE FIRE EXTINGUISHERS A.Refer to wall types for cabinet type (fire rated, etc.)

B.Manufacturers or approved equal: 1. Larsen's Manufacturing Company. 2. JL Industries.

3. Potter Roener, Division of Smith Industries, DAC C.General: Provide fire extinguishers of type, size, and capacity for each fire-protection cabinet indicated: 5 lb. Type ABC Fire Extinguishers or as per applicable codes.

1. Instruction Labels: Include pictorial marking system complying with NFPA 10, Appendix B.

2.2 FIRE-PROTECTION CABINET

A.Basis-of-Design Product: Larsen's; 2409-R3, Vertical Duo or a comparable product by one of the following: B.Manufacturers:

1. JL Industries, Inc. Larsen's Manufacturing Company.

3. Potter Roemer; Div. of Smith Industries, Inc. C.Cabinet Type: Suitable for fire extinguisher.

D.Cabinet Type: Larsen's listed as basis of Design. Match fire rating of cabinet with rating of fire rated walls - typical.

1. Larsen's Manufacturing Company 2409-R3 - semi-recessed, 3" wall cavity required, surface mounted. See Floor Plan for location of each type.

a. Door Glazing: Clear glass - tempered only if required.

b.Door Style: Vertical duo

c. Finish: White. d. Trim Style: 2 ½" rolled edge semi-recessed and surface mounted at CMU wall.

e.Door Material: Steel trim and door material or SS stainless = upgrade (choose one). END OF SECTION 10440

# **SECTION 10800 - TOILET AND BATH ACCESSORIES**

1.1 SUMMARY A.This Section includes the following: Toilet and bath accessories. Basis of Design = Bobrick; ASI and Bradley are acceptable

END OF SECTION 10800

manufacturers. 1.2 SUBMITTALS A.Product Data: For each product indicated.

installation locations by room of each accessory required. Use

B. Product Schedule: Indicating types, quantities, sizes and

room and product designations indicated on Drawings. 2.1 TOILET AND BATH ACCESSORIES A.Refer to Drawings for all accessories.

## **DIVISION 15 - MECHANICAL & PLUMBING** SECTION 15010 - GENERAL PROVISIONS - MECHANICAL

1.1 SCOPE A.The mechanical portion of this project includes all labor, materials, equipment, etc., required to provide the complete mechanical work to fulfill the intent of the Contract Documents. B. All work shall be in compliance with the currently enforced edition of the applicable state, national, and local ordinance and building

codes. No additional compensation shall be granted for work

which must be changed as a result of the work not originally complying with the codes and standards, etc.

1.2 SUBMITTALS A.Submittals shall be provided for all equipment, fixtures and other items indicated. Product data shall be from published manufacturer's data. Submittal shall not contain data that is not relevant to the equipment being submitted. The data shall be highlighted by arrows, underlining, etc. Broad, general data, is not acceptable. Data shall be presented at one time, in a neatly bound and organized manner.

B. At the completion of the Project, a set of marked-up drawings, including DIMENSIONS and location of all underground piping shall be provided to the Owner.

1.3 OPERATING AND MAINTENANCE MANUALS AND INSTRUCTIONS A.Operating and Maintenance Data includes printed information, such as manufacturer's installation instructions, manufacturer's service manuals, manufacturer's lubrication charts, standard wiring diagrams, and a parts list including the price of each item. 1.4 GUARANTEE & WARRANTY

A.The contractor shall fully guarantee the installation against defects in materials and workmanship which may occur under normal usage for a period of one year (1) after owner's acceptance. Defects shall be promptly remedied at no cost to the owner. This guarantee is in addition to, and not a limit to, any other guarantees or warranties.

END OF SECTION 15010

**SECTION 15400 - PLUMBING** 

1.1 SECTION INCLUDES A.General Conditions under Architectural Section are not

repeated here but apply. B. Visit site and become familiar with existing conditions. Inspect all plans and specifications covering all work in its entirety. Consider all conditions affecting work. Perform all work necessary,

incidental to produce a complete operating system. 1.2 CODES AND PERMITS

A.Comply with all applicable national, state and local codes. B. Comply with minimum requirements of codes or exceed minimum when specified or indicated on the plans.

C.Pay for all lawful fees required by legal authorities and utility companies.

D.Secure all certificates of inspection/occupancy required. E. The Plumbing Contractor shall provide all design services as

required to communicate the proposed systems and meet current relevant design standards, laws and codes. All work shall be in compliance with the currently enforced edition of the applicable state, national, and local ordinance and building codes. No additional compensation shall be granted for work which must be changed as a result of the work not originally complying with the

codes and standards, etc. F. The Plumbing Contractor shall provide schematic drawings depicting any information which may be required to evaluate the design and operation of the system once it is installed.

1.3 SUBMITTALS AND INSTRUCTIONS A.The Plumbing contractor, upon receipt of contract, shall submit copies of equipment list and catalog data within fifteen (15) days to Architect for approval prior to the beginning of installation. Submittal shall be complete with all items listed and in tabulated

form in brochures. B. Contractor shall provide a schematic layout of all piping including size, material, height above the floor and any other pertinent information.

1.4 COOPERATION A.Coordinate with all trades and contractors in performing the

B. Following general building construction, set all pipe sleeves, inserts, etc.; provide openings for chases and ducts as construction progresses.

C.Provide services to equipment furnished by others for convenient connection. D.Mechanical/Electrical work have the following priority

sequence: 1. Soil, Waste, Vent Piping 2.Ductwork 3. Water Piping

4. Electrical Wiring

work and storing material.

E. Verify that mechanical equipment fits into space allotted. Mechanical Contractor is responsible for changes necessitated by

substitute's equipment, even though approved. F. Drawings are diagrammatic and show general arrangement and extent of work. Exact location and arrangement to be determined after equipment is selected and work progresses. Drawings will not be scaled for outlets or equipment locations. Locations determined by reference to dimensioned plans or shop drawings.

G. Submit shop drawings. Designer reserves the right to relocate outlets, equipment, etc., within the same vicinity before work is roughed-in without incurring additional cost. 1.5 UTILITIES

A.Utility locations are a guide only. Verify location of existing utilities to determine extent of work required. B. Contact utility company, determine extent of their requirements, including bid, any lawful fees, and any compensation for connection to building, premises, projects, etc., including temporary services.

1.6 APPROVAL OF MATERIALS & EQUIPMENT A.Materials shall conform to the requirements of the contract documents and shall be new and of best quality and grade. B.Before purchasing materials of equipment, submit to Designer for approval a complete list of materials and equipment together with the manufacturer's catalog data and ratings. C.Provide operating instructions for equipment. Instruct operating

personnel in operation of equipment. 1.7 TEST CERTIFICATE A.Perform all tests outlined herein. Piping shall be thoroughly tested for leaks and approved before being covered or concealed. Local rules and regulations shall govern the extent of the test of each system.

1.8 EQUIPMENT CONNECTIONS A.Provide plumbing connections to all items furnished and all items furnished by other subcontractors or by Owner. Connections to match device connected. Furnish all accessories or appurtenances as necessary to complete connection not furnished with equipment. Exposed piping and fittings in finished areas shall be chromium plated.

2.0 MATERIALS A.PLUMBING FIXTURES: Furnish and install plumbing fixtures as specified and scheduled on plans. Install fixtures in accordance with manufacturer's directions.

B. VALVES AND COCKS: Provide isolation valves and unions on all

equipment so that equipment may be removed or replaced without draining the system. 1. Gate Valves - Sizes 2" and smaller - Nibco Series 113 all bronze 20# W.O.G. threaded, or sweat joint. Sizes 2 1/2" and larger iron body, bronze trim 125# flanged, Nibco #F-619 or equal.

2.Ball Valves - Sizes 2" and smaller - Nibco Series #580 threaded or sweat 300# W.O.G. all bronze body, end entry, Teflon seals. 3. Check Valves - Sizes 2" and smaller - all bronze, 200# - Nibco T-413, screwed bronze. Sizes 2 1/2" and larger shall be Nibco #F-918W, iron body, 1254#flanged or Mission lift check,

4. Gas Cocks - Size 2" and smaller - all iron, 125# screwed, Healy #900. Sizes 2 1/2" and larger - semi-steel, lubricated, flanged, 175#, Nordstrom #143. 5. Fixture angle stop valves chrome plate quarter turn, Brass Craft

G2 series. 2.1 MISCELLANEOUS A.Strainers - 2" and smaller - Crane #988 1/2; 2 1/2" and larger -

Crane #989 1/2. B. Valve Boxes - Utilize valve boxes when valves are located below grade or floor slabs. Boxes, cast iron type, with covers properly marked. Furnish key or valve operated extension and turn over to Owner before completion of job where required.

2.2 GENERAL PIPE REQUIREMENTS A.Install piping systems complete with necessary and incidental appurtenances, fittings, valves, hangers, etc., as required for a complete installation.

B. Provide unions or flanges at all connections to equipment to facilitate maintenance, repair, or replacement. C.Provide anti-galvanic fittings at junctions of dissimilar metals. D.Plug or cap all open pipe during construction.

E. Install piping as required to meet codes. Contractor is not at liberty to depart significantly from the layout shown without approval. Submit shop drawings for changes. Install pipe hangers over "outside" pipe insulation. Provide sheet metal saddle to protect insulation.

F. Provide expansion loops where required or necessary. G. Provide long radius elbows and bends.

H.Carefully align piping which penetrates floor slabs on grade and are cast in concrete. Provide personnel to monitor concrete pour to prevent displacement of vertical risers. Do not bend or deflect

piping in connections or couplings. 2.3 PIPING MATERIALS AND METHODS

A.Piping material as follows: 1. Drain and Relief Lines - Type L, hard drawn, copper tubing,

ASTM-B88, with wrought copper sweat fittings, solder joint. 2. Domestic Hot and Cold-Water Lines - Above grade, Type L, hard drawn, copper tubing below grade, Type K, soft-drawn copper tubing installed without splicing. All splicing made above grade. Penetrations through concrete slab installed use colored plastic sleeve through the concrete. Use wrought copper sweat fittings with approved solder. Prior to placing the water system into service, flush, sanitize in accordance with State Department of Public Health Regulations. Furnish certificate to compliance.

PEX piping can be used IF allowed by code. 3. Sanitary Soil, Waste and Vents - Below slabs and above floor shall be schedule 40 PVC-DVW pipe with solvent joint socket drainage pattern fittings.

4. Outside Sewer Lines - Use J-M Ring-Tite PVC gravity pipe and fittings, ASTM D3034-SDR35 5. Pipe Support - Bedding and backfill below grade and pipe supports above grade shall be in strict accordance with the manufacturer's recommendations for PVC pipe and fittings. Also all Federal, State and Local Codes must be in compliance.

6. Fire Rated Penetrations - PVC piping penetrating rated fire walls

and/or floors shall have fire stops of a type for the same rating

of the wall or floor.

2.4 HANGERS, SUPPORTS, PIPE SLEEVES AND PIPE ANCHORS A.Run visible piping parallel or perpendicular to the horizontal/vertical planes of the building.

B. Support copper/steel piping from hangers spaced as follows: 1.3/4" Pipe or Smaller 6'-0" 8'-0" 2.1" Pipe

D.Provide proper pipe support, suspensions. Consult

3.1 1/4" Pipe and Larger 10'-0" C.Individual hangers - adjustable, swivel, split ring type, Grinnel No. 101 or 104, copper plated for copper lines, devices.

manufacturer's literature regarding correct method, location of supports. E. Two or more parallel pipes support on trapeze hangers. Coordinate with electrical contractor. Combine trapeze supports

where possible. F. Coordinate with trades. Group exposed piping, conduit passing through space. Generally, suspend electrical conduits below other piping. Integrate work of all trades to avoid a proliferation of independent suspension systems for individual pipes or conduits resulting in unsightly appearance, unnecessary extra hangers, and reducing the utility of the space involved.

G. Provide sleeves on pipe penetrations through concrete slab, not on grade, masonry walls, roofs. Construct sleeves from tubing and terminate flush with wall on both sides of surface penetrated. Clear insulation through sleeves. Galvanized sleeves where subject to moisture.

H.Generally, support hangers from structural steel, masonry and formed or poured concrete. Do not install hanger supports on pre-case concrete, metal decks, steel bracing, bridging, piping or conduit.

I. Roof supported piping shall be supported with Mapa pipe

supports spaced at 6' o.c. maximum.

2.5 PIPING TEST A.Water Lines - Hydrostatically test at 50 psi for a period of not less than 24 hours. Attach gauges so that pressure can be monitored throughout entire period.

B. Sanitary, Storm and Vent Piping - Fill system with water up to the top of vertical section at least 10 feet above the floor or grade and allow to stand for at least four (4) hours. Level will be monitored to determine if there are any leaks.

2.6 PIPE INSULATION

A. All domestic water piping above ceilings, in equipment and exterior rooms, and in walls shall be insulated with Johns Manville Micro-Lok HP 1/2" thick preformed sectional pipe insulation with a vapor proof white jacket with sealing strip. Use premolded Zeston plastic covers on exposed fittings. All insulation to be installed in accordance with the manufacturer's instructions. Exposed Insulation shall have a flame spread of 25 or less. 2.7 OPERATIONS, MAINTENANCE AND PARTS MANUALS

parts manuals on equipment upon completion of the job. 3.0 GUARANTEE A.On completion of the work, this Contractor shall provide the Owner a written guarantee on the entire work against all equipment or faulty workmanship for a period of one (1) year after date of acceptance, including agreement to provide free maintenance over this period.

A.Furnish Owner with two (2) sets of operation, maintenance and

END OF SECTION 15400

**SECTION 15500 - HEATING, VENTILATION AND AIR CONDITIONING** 1.1 SECTION INCLUDES: A.Air Conditioning Unit/Electric: Minimum SEER = 17. Zoned conventional system is the Base Bid.

B.Exhaust Fans C.Grills and Diffusers D. Temperature Controls

E. Ductwork F. Air Filters G. Piping & Pipe Insulation

system once it is operational.

2.1 MATERIALS

B.Exhaust Fans

A.Air Conditioning Units

1.2 CODES, PERMITS AND ORDINANCES A.All work shall be executed in accordance with all local or state codes and regulations, applicable to the particular class of work. The contractor shall hold a valid Texas Air Conditioning Contractors License. The Contractor shall pay all applicable service charges, fees permits, royalties, taxes and other similar

B. The Air Conditioning Contractor shall provide all design services as required to communicate their proposed systems and meet current relevant design standards, laws and codes. The Contractor shall submit design criteria used to size the equipment. The air conditioning shall be sized at a maximum ratio of 600 square feet per ton of cooling when the building roof and walls are insulated with polyurethane foam and at a maximum of 500 square feet per ton of cooling when the building roof and walls are insulated with

batt or blown insulation. 1.3 SUBMITTALS A. The Air Conditioning Contractor shall provide schematic drawings depicting unit locations, unit designation, duct sizes, supply and return duct layout, thermostat and control locations, designed grille capacity and any other information which may be required to evaluate the design or to commission and balance the

B. Testing, Adjusting and Balancing (TAB) shall be the responsibility of the mechanical subcontractor. All TAB work shall be provided by the subcontractor specifically licensed and certified to do such work. Submit the TAB report to the Architect for review.

American Standard or approved equal. Units are to have a minimum SEER of 17. 2. Build supply and return ductwork to connect the AC units to the

1. Split Ducted Air conditioning shall be electric heat and electric

air as manufactured by Lennox, Trane, Carrier, Rheem or

a. Insure that all connections and penetrations are water and air b. Connect electricity and extend 1" diameter schedule 40 PVC condensate piping to the drains.

1. Exhaust fans are to be provided and installed by the mechanical contractor and ducted to the exterior. Exhaust Fans are controlled by wall mounted switch. These exhaust fans as indicated on the plans. All wall vents and caps are to be galvanized prefinished steel and have dampers.

C.Grills and Diffusers 1. All grills and diffusers shall be white electroplated painted

galvanized steel with adjustable vanes. D.Temperature Controls

1. Single Zone: Furnish and install manual, automatic changeover thermostat equal to Honeywell Model TH6110D OR Furnish and install Honeywell Wi-Fi programmable Thermostat RTH6580WF1001. Install in a locking acrylic box with one key cut for all the boxes installed. Thermostats shall be mounted at 48" AFF unless otherwise noted.

2. Multi-Zone: Thermostats and controls as required by the zoning controls, WiFi enabled.

3. The contractor shall furnish and install all contactors, transformers and relays required to provide a complete and working system. All control wiring shall be color coded using a minimum of 18 gage wire.

E. Ductwork - all ducts shall be galvanized steel, externally insulated. 1. Comply with SMACNA's "HVAC Duct Construction Standards -Metal and Flexible" for acceptable materials, material thicknesses and duct construction methods, unless otherwise indicated. Sheet metal materials shall be free of pitting, seam marks, roller marks, stains, discoloration and other

imperfections. a. The maximum diameter of round "Snap-Lock" duct is 14" diameter. Any duct over this size shall be rectangular. Seal all joints with Pro-Seal as manufactured by DUCTMATE.

2. Galvanized Sheet Steel: Lock-forming quality; complying with ASTM A 653/A 653M and having G90 coating designation; ducts shall have mill-phosphatized finish for surfaces exposed to view. 3. Reinforcement Shapes and Plates: Galvanized-steel

reinforcement where installed on galvanized sheet metal ducts.

lengths 36" or less; 3/8-inch minimum diameter for lengths longer than 36 inches. 5. Flex duct may be used in the last 8'-0" only to tie into an individual grill. All truck lines shall be galvanized steel externally

4. Tie Rods: Galvanized steel, 1/4-inch minimum diameter for

code, whichever is greater. F. Air Filters 1. Provide MERVII pleated media MERV (8) eight. Listed and labeled as defined in NFPA 70, Article 100, by a testing agency

acceptable to authorities having jurisdiction and marked for the

6. All ductwork shall have a minimum R-Value of 8.0 or per current

intended use.

G. Piping & Pipe Insulation 1. Interior pipe: Insulate refrigerant lines with 1" thick "AP Armaflex" on all line sizes. Use one-piece, slip-on piping insulation and seal butt joints to manufacturer's specifications.

2.Exterior pipe: Use Ceel-Co 550 PVC one-piece, slip-on piping insulation and seal butt joints to manufacturer's specifications. 3. The Air Conditioning Contractor is to extend condensate piping to the nearest sanitary sewer inlet or roof drain. Minimum piping is ¾" PVC. Prime and paint the PVC piping with acrylic latex paint. Insulate any condensate piping above the ceiling.

2.2 FANS (EXHAUST): A.Acceptable manufacturers are NuTone, Dayton, Cook, Penn, Acme, Broan, Greenheck, or Jenn-Air. All fans shall meet or exceed the performance requirements listed, and shall be approved by the manufacturer for the type of service required. Direct drive exhaust fans shall also be equipped with speed controllers, and backdraft dampers. Where fan capacity is not indicated the contractor shall size the fan to provide 50 cfm of exhaust for each plumbing fixture in the room being served.

3.1 INSTALLATION A.Install in accordance with manufacturer's recommendations, SMACNA, ASHRAE and ACCA standards. Support from structure. B. All refrigerants handled by certified technicians.

3.2 WARRANTY A.Unless otherwise noted above, all parts, equipment and workmanship shall be guaranteed for a period of one (1) year from the date of substantial completion. The compressor shall carry an additional four (4) years PARTS ONLY warranty. Condensing unit and air handling unit parts shall carry an

additional four (4) years PARTS ONLY warranty.

END OF SECTION 15500

B.Lighting

1.2 GENERAL

C. Telephone System

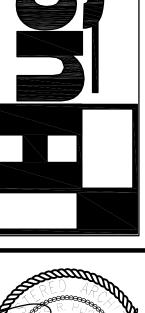
A.Electrical Service and Distribution

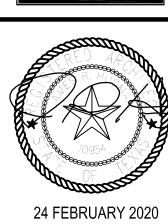
**DIVISION 16 - ELECTRICAL SECTION 16050 - BASIC ELECTRICAL MATERIALS AND METHODS** 1.1 SECTION INCLUDES: Install all electrical systems described in the plans and specifications. These systems may include:

D.Alarm and Detection Systems E. Intercommunication Systems F. Construction Lighting - Electrician shall provide temporary construction lighting with a minimum of 5 foot candles and at least one lamp per room or space. At the completion of the project all lights and wiring shall be removed by the electrical

contractor. G. Install fire sealants as required to achieve the assembly fire rating specified. See Section 07900 for materials.

A.Codes, Standards, and Permits: All work shall be in strict accordance with all applicable laws and codes. B. Utilities: Utilities locations are guide only. Verify locations with utilities to determine extent of work required.





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- C. The Electrical Contractor shall provide all design services as required to communicate their proposed systems and meet current relevant design standards, laws and codes. The Contractor shall submit design criteria used to size the panels. The Electrical Contractor shall provide schematic drawings depicting panel boards, wiring diagrams, panel board schedules and any other information which may be required to evaluate the design. The equipment manufacturer shall be required to perform the necessary coordination study to insure compliance with all requirements.
- D.Labor: Work performed by skilled electricians with experience in jobs of equal magnitude and nature. Remove or replace all unsightly or improper work.
- E. Substitution of Products: Contractor shall be responsible for all additional costs required by substitution of products other than those specified in the plans and specifications. 2.1 RACEWAYS
- 1. Rigid Galvanized Steel Conduits Hot-dip galvanized produced to ANSI C80.1 latest edition. Permitted in damp or wet locations, outdoors above grade, all elbows of PVC conduit, three inches and larger.
- 2. Electrical Metallic Tubing (EMT) Mild steel, electrically welded, galvanized and produced to ANSI 80.3. Permitted in non-exposed areas, all dry locations.
- 3. Flexible Metallic Conduit Used to extend dry connection to motors, unit heaters, light fixtures, and other permanently installed equipment. Liquid tight shall be utilized for all outdoor and wet locations.
- 4. Rigid Heavy Wall Schedule 40 PVC Conduit Meeting ANSI/ASTM F512-79 as manufactured by Carlon or equal. Conduit joined with fitting by solvent welding or other method recommended by manufacturer. Ground conductor shall be run in PVC conduits sized according to National Electrical Code. May be used in underground area only.
- B.Fittings: Fittings shall be concrete tight except in wet locations where they shall be rain-tight. Compression or set screw may be used on EMT conduit. Indention type fittings may not be used or accepted. Insulating throat connections shall be used at all panel or enclosure terminations. C. Wires and Cables:
- 1. Conductors of size #10 and smaller shall be type THHN/THWN insulated copper, insulated for a voltage of at least 600 volts. No conductors smaller than #12 shall be permitted except for thermostat wiring or communication wire. All home runs greater than 100 feet shall be a minimum of size #10.
- 2. Conductors of size #8 and larger shall be type THW or THHN/THWN, stranded copper with an insulation value of at least 600 volts.
- D.Pulling Cable: Provide a nylon pull cord equal to Greenlee #431 two-ply poly-pull-line, tensile strength of 240 lbs. in all empty conduits for later use.
- E. Boxes: Outlet boxes shall be steel, electro-magnetized, sherardized and of proper dimension to suit the location and equipment. Knock-out closers shall be utilized to close unused openings. Boxes to be manufactured by Race, Bowers, Appleton, or equal.

- 1. Hubbell wiring devices are specified, equal devices by Sierra, G.E., Arrow-Hart, P & S, and Leviton may be used.
- 2. Hubbell Toggle Switches #RS115W (15A, single pole), #RS315W (15A, three-way), #CSB120W (20A, single pole), #CSB320W (20A three-way) white finish.
- 3. Duplex Receptacles #RR15W2 (15A), #BR15WHI, white finish. 4.GFCI Receptacles - #GF15WL (15A).
- 5. GFCI Weatherproof Covers Vertical RW51040, Horizontal -RW51020.
- 6.Device Plates Stainless steel on all exposed boxes. White smooth phenolic on others. Plates shall be number of gang as required for location. Floor outlets are to have circular brass cover plates.
- 7. Photocell Tork Time 2100 in a NEMA 3-box or equal. G. Lighting Fixtures and Lamps: Furnish and install complete with lamps the lighting fixtures shown on schedule. Manufacturer's
- directions shall be utilized for installation of fixtures. H.Lamps: Lamps shall be type and size as indicated by manufacturer's literature. Approved manufacturers: G.E., Sylvania, Phillips, or Westinghouse. Provide LED bulbs on all fixtures if possible.
- I. Distribution and Lighting Panels: Distribution panels circuit breaker type suitable for service application. Multi-pole breakers shall be common trip. Approved manufacturers are Square "D" or Architect approved equal. Lighting panels shall be circuit breaker type as shown on panel schedules.
- J. Disconnects: Furnish fusible and non-fusible disconnect as shown on plans. Disconnects to be general duty type with UL label and horsepower rating. Quick-make/quick-break mechanism, cover interlock, pad lock provision, NEMA 1 for indoor installation; NEMA 3 for outdoor installation.
- K.Exhaust Fans: Provide wiring only for the vent. The HVAC contractor will provide the exhaust vent and duct.

# 3.1 EXECUTION

- A.Raceways: Utilize unions and connectors at equipment connections. Install vibration, noise isolation devices for connection to rotating or vibrating equipment. Exposed conduits to run parallel or perpendicular to planes of building construction. Where concealed, take direct route between points. All conduits run into vaults shall be off-set according to banking equipment drawings.
- B. Hangers, Supports, Sleeves, Anchors: Support conduit by hangers on maximum spacing as follows:
- 1.3/4" conduit or less 6'-0"
- 2.1" conduit 8'-0"
- 3.1 1/4" conduit 10'-0" C.Splicing and Connecting: Use "pigtail" splices only on #10 and smaller conductors. Utilize crimp type caps or "Scotchlok" connectors. Make gutter taps with split type crimping sleeve
- applied with hydraulic compression tool. D.Wire Color Code: Wiring system shall be color-coded throughout in accordance with N.E.C.

- E. Wiring Installation: Use approved pulling compound when installing conductors in raceways. Pull wire from pay-out reels or reels provided with wire.
- F. Outlet Boxes: Utilize four-inch (4") square boxes for switches, receptacles, small pull boxes in wall construction. Sectional switch boxes may be used when only one (1) conduit entry into box not larger than 1/2".
- G. Switches: Switch boxes shall be installed on the strike side of door whether indicated on the plans or not. All heights to meet ADA requirements. See Schedule.
- H.Ground Connections: Use thermite welding process such as Burndy "Thermoweld" or "Cadweld" for connections below grade. Thermoweld or Crimp lugs suitable above grade.
- I. Lighting Fixtures: Provide appropriate mounting frames for fixtures to match installation. Provide plaster rings where appropriate. Verify ceiling finish with General Contractor to insure proper frame will be supplied. Electrician shall install all light fixtures into their final location including cutting and installing fixtures in ceiling tile provided by others.
- J. Guarantee: Contractor(s) will guarantee the installation to be free of defects in material and workmanship for a period of one (1) year following the date of written acceptance of the project. Where warranties exceed one (1) year, by specific reference to other parts of these specifications, or where particular equipment is specified which normally carries longer warranties, then these warranties shall apply instead.

# END OF SECTION 16050

Permit Fees questions can be found on the City of Kilgore

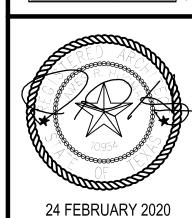
website: www.cityofkilgore.com government

citycodes

Appendix B Fee Schedule Article B1.000 General Provisions click on: Sec. B1.001 Fees established then click on: master fee schedule

go to page: 9 INSPECTION DEPARTMENT & BUILDING FEES





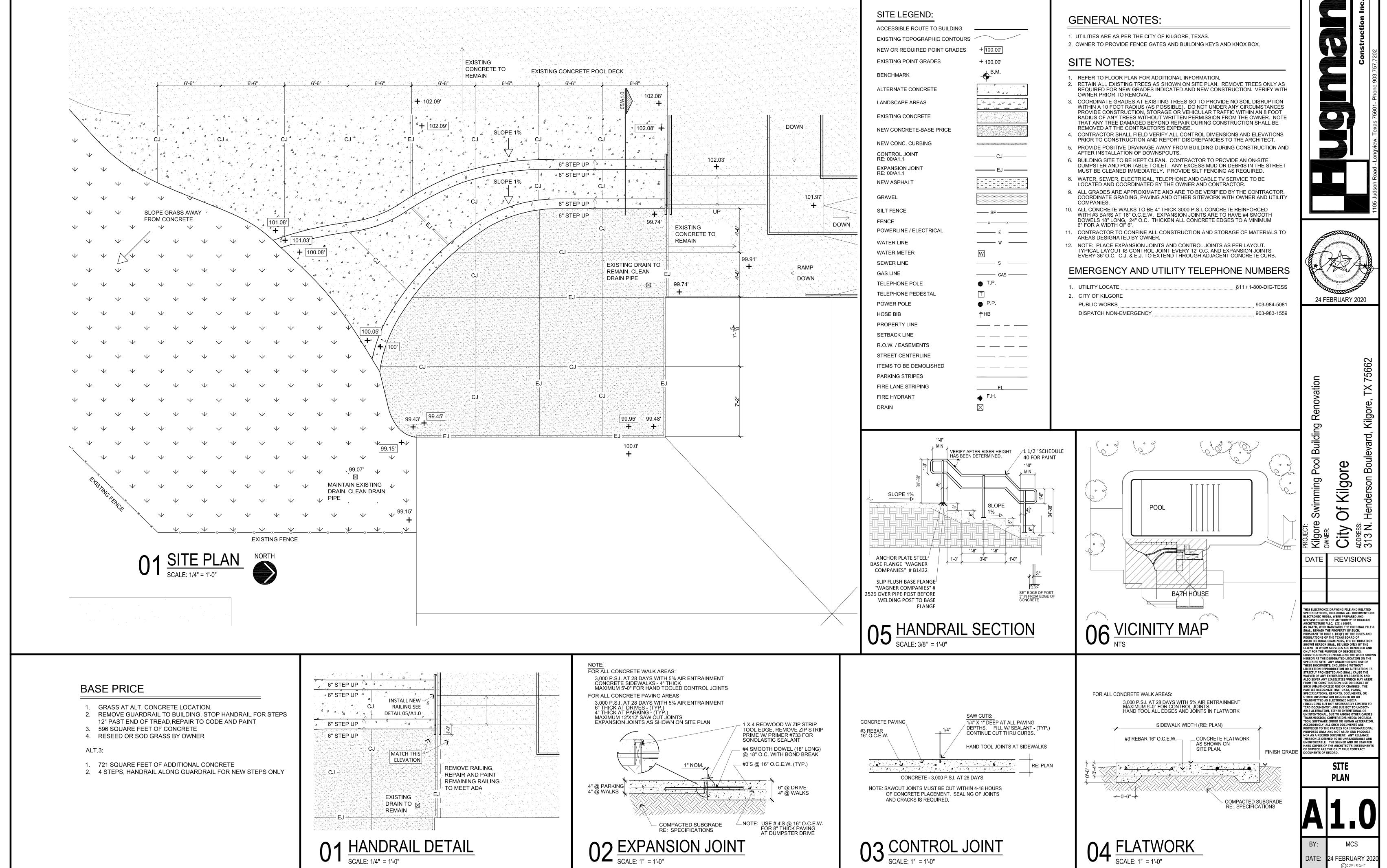
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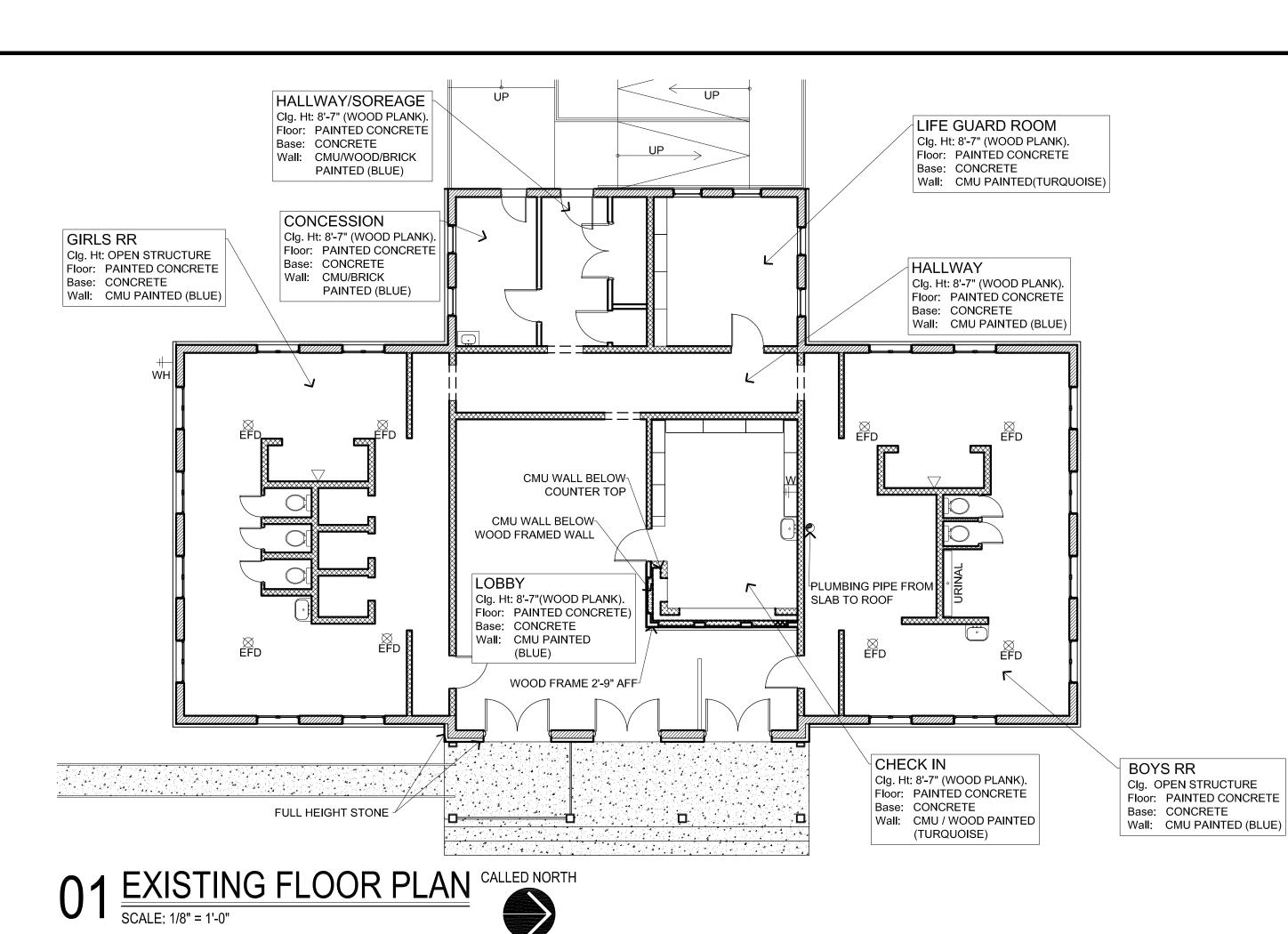
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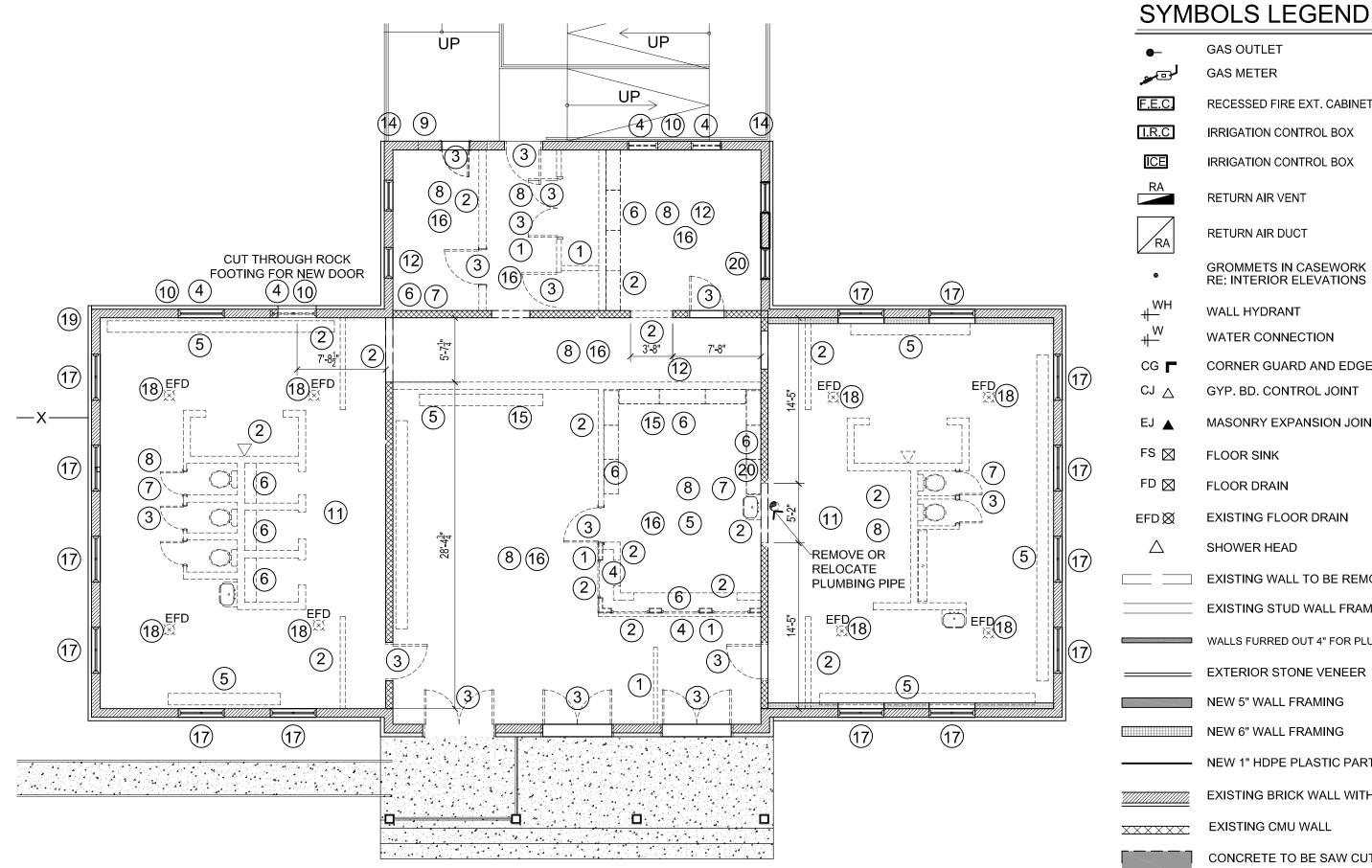
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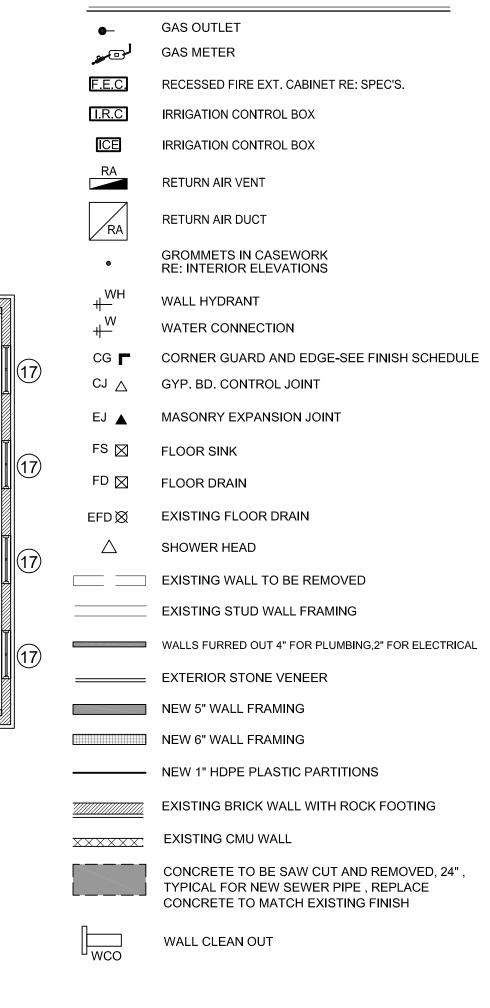
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**DEMOLITION LEGEND** 

NUMBER IN CIRCLE REFERS TO NOTE ON PLAN.COORDINATE DEMOLITION WORK WITH NEW FLOOR PLAN RE: A2.2

1.ALL WINDOWS AND TRIM TO BE REMOVED AND REPLACED WITH NEW WINDOWS AND TRIM (SEE DETAIL 04/A2.4)

2.ALL CONCRETE CUTS TO BE IN A UNIFORM PATTERN. ALL NEW CONCRETE TO BE LEVEL WITH EXISTING CONCRETE, FINISH TO MATCH EXISTING

DEMO AND DISPOSE OF GYP. BD. WALL AS SHOWN WITH DASHED LINE. REMOVE AND DISPOSE OF EXISTING ELECTRICAL WIRING AND DEVICES.REMOVE THE ENTIRE WALL FROM FLOOR TO ROOF DECK.

DEMO CMU WALLS. REMOVE COMPLETELY OR AS REQUIRED FOR NEW OPENING. REMOVE OR RELOCATE EXISTING ELECTRICAL WIRING OR DEVICES AS REQUIRED. VERIFY DOOR ROUGH OPENING SIZE BEFORE CMU IS REMOVED. INSTALL WOOD LINTEL FOR OPENINGS IN CMU (SEE DETAIL 05/A2.4)

(3) DEMO DOOR UNIT.

(4) DEMO WINDOW UNIT COMPLETELY.SEE NOTE 1 REGARDING WINDOW ✓ REPLACEMENT

(5) REMOVE EXISTING BENCHES.OWNER TO STORE AND REINSTALL BENCHES

REMOVE AND DISPOSE OF EXISTING CABINETRY. DEMO OUT ALL DEVICES, FIXTURES AND APPLIANCES.

7 DEMO AND DISPOSE OF EXISTING PLUMBING FIXTURES, TOILET PARTITIONS, RR FIXTURES, GRAB BARS, MIRRORS, ETC.SEWER LINES AND WATER LINES TO BE REPLACED AS NEEDED-VERIFY CONDITION

(8) REPLACE EXISTING LIGHT FIXTURES AND SWITCHES, SEE A7.0 & E1.0

DEMO WALL FOR GARAGE DOOR 34" AFF TO 84"AFF-VERIFY ROUGH OPENING √ SIZE WITH DOOR. INSTALL STEEL LINTEL (SEE DETAIL 03/A2.4)

(10) DEMO BRICK WALL FOR OPENING, VERIFY ROUGH OPENING SIZE (SEE DETAIL 03/A2.4)

(11) REPLACE SEWER PIPE. SEE SHEET A2.1 FOR CONCRETE CUT AND DEMO PLAN

(12) REMOVE WOOD CEILING AS NEEDED TO PATCH WOOD CEILING IN THE LOBBY -SEE SHEET A7.0 FOR LOCATIONS

(13) REMOVE ALL EXISTING ELECTRICAL AND SURFACE MOUNTED CONDUITS -REWORK FOR NEW LAYOUT

(14) REPLACE BRICK ON EXTERIOR THAT HAVE HOLES FROM REMOVED

REMOVE CEILING VENTS AND AC REGISTERS . REPLACE WOOD PLANKS AS NECESSARY

(16) REMOVE CROWN MOLDING

REMOVE EXISTING WOOD WALL VENTS TO BE REPLACED WITH NEW MATERIAL. SEE VENT SCHEDULE FOR DESCRIPTION ON NEW VENTS AND CLOSED IN VENT CONSTRUCTION

(18) CAP EXISTING FLOOR DRAINS AND PATCH CONCRETE

(19) REMOVE OLD GAS PIPES ON EXTERIOR OF BUILDING

(20) REMOVE WINDOW AC UNIT

**EXISTING OUTLET** 

**POWER LEGEND** 

120 VOLT DUPLEX OUTLET, TO BE PLACED 18" (MIDDLE OF OUTLET) A.F.F. UNLESS OTHERWISE INDICATED ON PLANS

WEATHER RESISTANT OUTLET

CONDUIT - DATA - TELEPHONE - STUB UP TO ATTIC 18" A.F.F., UNLESS NOTED OTHERWISE ON PLANS

120 VOLT FOURPLEX OUTLET, TO BE PLACED 18" (MIDDLE OF OUTLET) A.F.F. UNLESS OTHERWISE INDICATED ON PLANS

DEDICATED CIRCUIT - 120 VOLT DUPLEX OUTLET, TO BE PLACED 18" (MIDDLE OF OUTLET) A.F.F. UNLESS OTHERWISE INDICATERD ON PLANS

220 VOLT OUTLET, TO BE PLACED 18" (MIDDLE OF OUTLET) A.F.F. UNLESS OTHERWISE INDICATED ON PLANS.

F.P. FLOOR MOUNTED OUTLET - BRASS FLOOR BOX TRIM - WALKER #895

TELEVISION OUTLET, 18" A.F.F., UNLESS OTHERWISE INDICATED ON PLANS

120/240 V PANEL

WATER HEATER

**EXISTING LIGHT FIXTURE LEGEND** 

SINGLE POLE SWITCH TO BE PLACED 45" (MIDDLE OF SWITCH) A.F.F. ALL SWITCHES SHALL BE MOUNTED 6" CLEAR FROM THE DOOR ROUGH METAL STUDS: USE CADDY- SCREW GUN BOX BRACKETS.

3 WAY SWITCH TO BE PLACED 45" (MIDDLE OF SWITCH) A.F.F.

WOOD STUDS: USE WOOD BLOCKING.

4 WAY SWITCH TO BE PLACED 45" (MIDDLE OF SWITCH) A.F.F.

OCCUPANCY SENSOR SWITCH WITH TIMER, CU OFF AFTER 15 MIN

**EXISTING SWITCH** 

EXTERIOR SWITCH INTERMATIC ST700 SERIES

CEILING MOUNTED LIGHT BASELIGHT (W512 19 BLC 25W 4K)

WALL MOUNTED LIGHT

CEILING FAN

**EXISTING SQUARE FOOT LEGEND** 

EXISTING NOT HEATED/COOLED SPACE.. EXISTING HEATED/COOLED SPACE 551 S.F 3256 S.F

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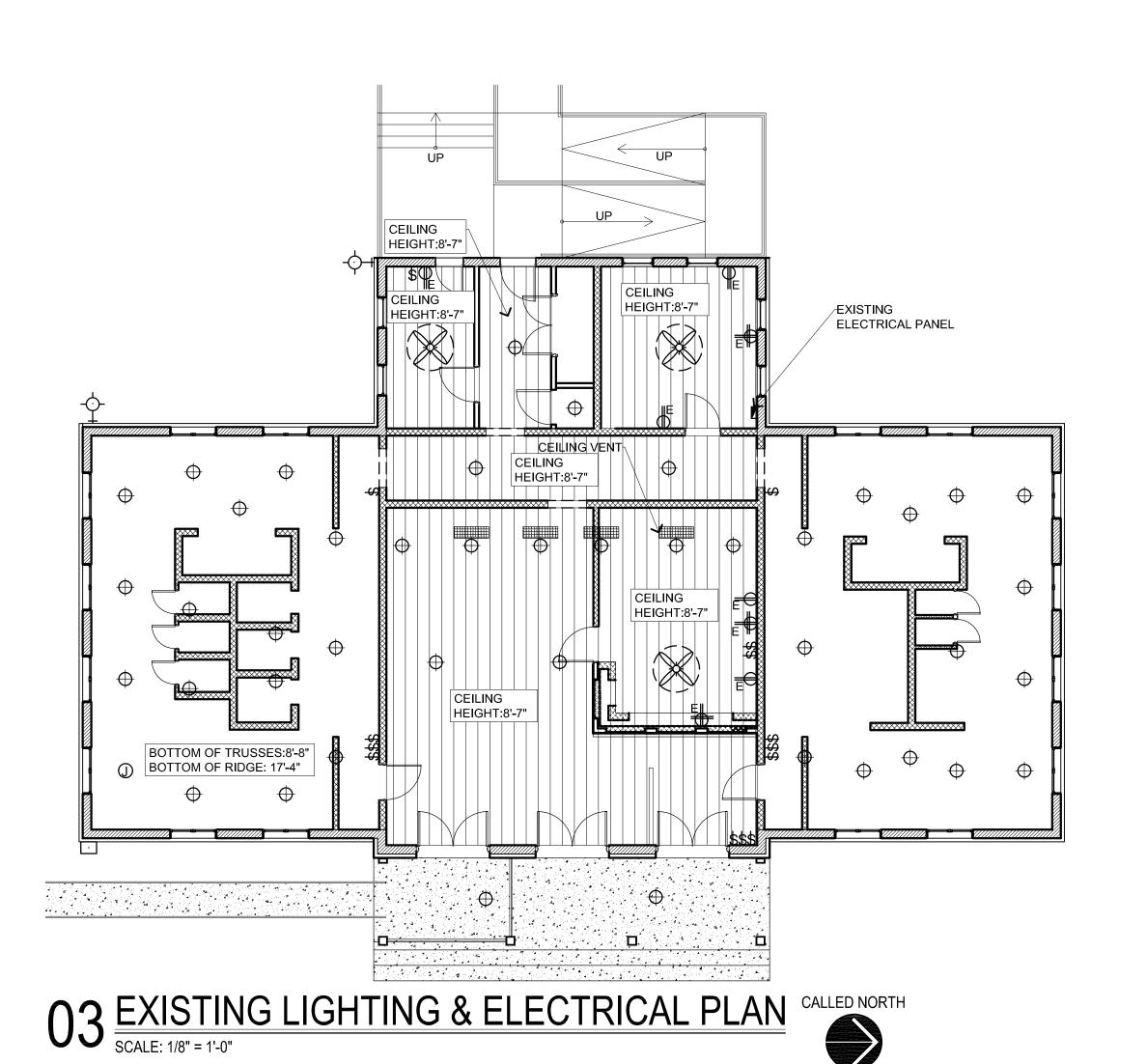
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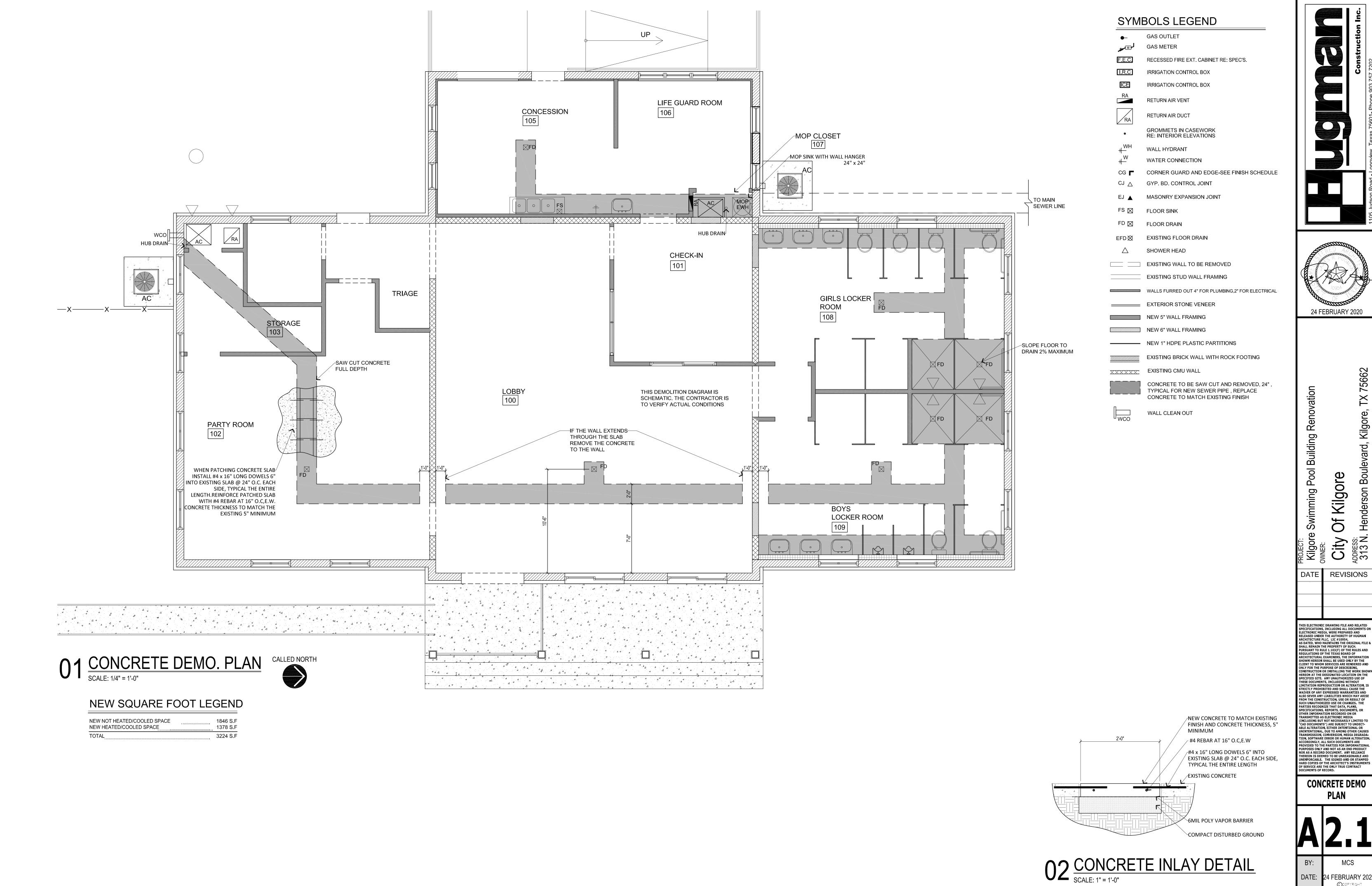
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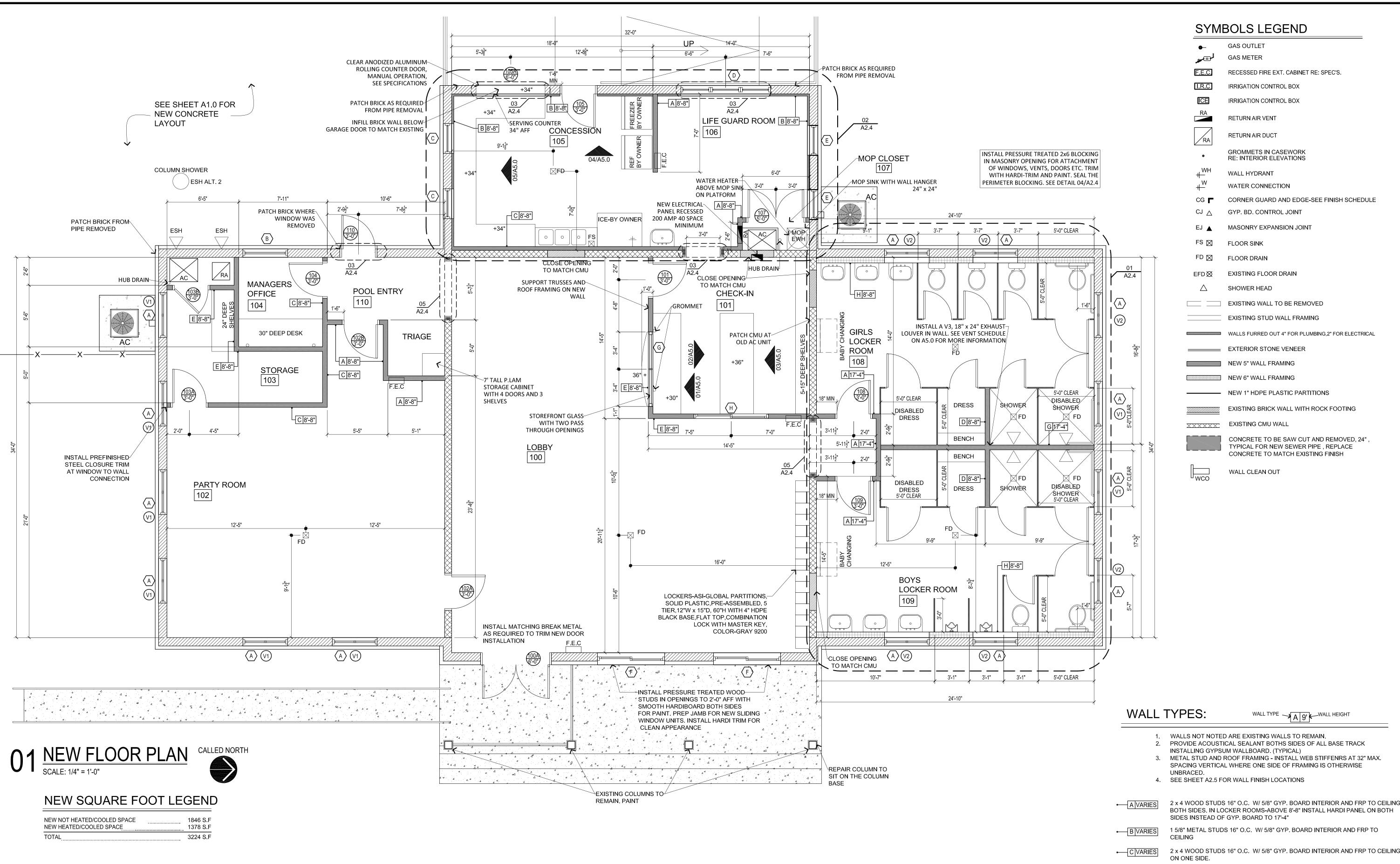
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# NOTED / DIMENSIONED FLOOR PLAN **GENERAL NOTES**

- 1. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- 2. PROVIDE CORNER GUARDS TO ALL OUTSIDE CORNERS NO EXCEPTIONS. 3. ALL WALLS ARE DIMENSIONED TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED / DETAILED. CMU BLOCK IS DIMENSIONED TO THE EDGE OF BLOCK.
- 4. DOOR FRAMES NOT DIMENSIONALLY LOCATED SHALL BE A MIN. OF 6" OFF
- 5. REFER TO WALL TYPES FOR WALL CONSTRUCTION INFORMATION
- 6. REFER TO WALL SECTION AND SECTION DETAILS FOR ADDITIONAL DIMENSIONAL INFORMATION.
- 7. DOUBLE STUD EACH SIDE OF DOOR FRAME AND HEADER WITH 25 GA. METAL STUDS. UNLESS DOORS ARE OVER 3'-0" DOUBLE STUD EACH SIDE OF DOOR FRAME AND HEADER WITH 20 GA. METAL STUDS WITH 20 GA. TRACKS ON EITHER SIDE OF DOOR.
- 8. INSTALL NEW CROWN MOLDING IN ROOMS 100 AND 110, DW DISTRIBUTION 8010, PINE.
- 9. INSTALL R-30 BATT INSULATION ABOVE WOOD PLANK CEILING
- 10. VERIFY THE REQUIRED AC CLOSET SIZE BEFORE CONSTRUCTING.BUILD 2' TALL AC PLATFORM IN CLOSET, DECK TO BE 3/4" PLYWOOD

# SYMBOLS LEGEND

GAS OUTLET

**GAS METER** 

RECESSED FIRE EXT. CABINET RE: SPEC'S.

IRRIGATION CONTROL BOX

IRRIGATION CONTROL BOX

RETURN AIR VENT

RETURN AIR DUCT

**GROMMETS IN CASEWORK** RE: INTERIOR ELEVATIONS

WALL HYDRANT

WATER CONNECTION CORNER GUARD AND EDGE-SEE FINISH SCHEDULE

GYP. BD. CONTROL JOINT

MASONRY EXPANSION JOINT

FLOOR SINK

FD FLOOR DRAIN

EXISTING FLOOR DRAIN

SHOWER HEAD EXISTING WALL TO BE REMOVED

EXISTING STUD WALL FRAMING

WALLS FURRED OUT 4" FOR PLUMBING,2" FOR ELECTRICAL

EXTERIOR STONE VENEER

NEW 5" WALL FRAMING

■ NEW 6" WALL FRAMING

NEW 1" HDPE PLASTIC PARTITIONS

XXXXXX EXISTING CMU WALL

CONCRETE TO BE SAW CUT AND REMOVED, 24", TYPICAL FOR NEW SEWER PIPE, REPLACE CONCRETE TO MATCH EXISTING FINISH

WALL TYPE A 9' WALL HEIGHT

2 x 4 WOOD STUDS 16" O.C. W/ 5/8" GP DENSSHIED TILE BACKER, EXTEND WALL TO JOISTS. INPRO WALL PROTECTION ON DRESSING SIDE INPRO 1/4".

THICK SOLID SURFACE WALL PANELS ON THE SHOWER SIDE WITH TILE

2 x 4 WOOD STUDS 16" O.C. W/ 5/8" GYP. BOARD, 3 1/2" SOUND BATTS

INTERIOR AND FRP TO CEILING ON ONE SIDE

ONE SIDE AND FRP TO CEILING JOISTS

INSULATION, EXTEND WALL TO WOOD CEILING, WITH 5/8" GYP. BOARD

2 1/2" METAL STUD WITH 5/8" GYP. BOARD AND FRP TO CEILING SOUND BATTS

2 x 4 WOOD STUDS 16" O.C. 5/8" TILE BACKER BOARD BOTH SIDES. ABOVE 8'-8"

INSTALL HARDI PANEL ON BOTH SIDES INSTEAD OF GYP BOARD TO 17'-4" AFF

2x6 WOOD STUDS 16" O.C., 5/8" GP DENS ARMOR PLUS PAPERLESS DRYWALL

BACKER BOARD

- H VARIES

WALL CLEAN OUT

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24 FEBRUARY 2020

wimming Pool Kilgor

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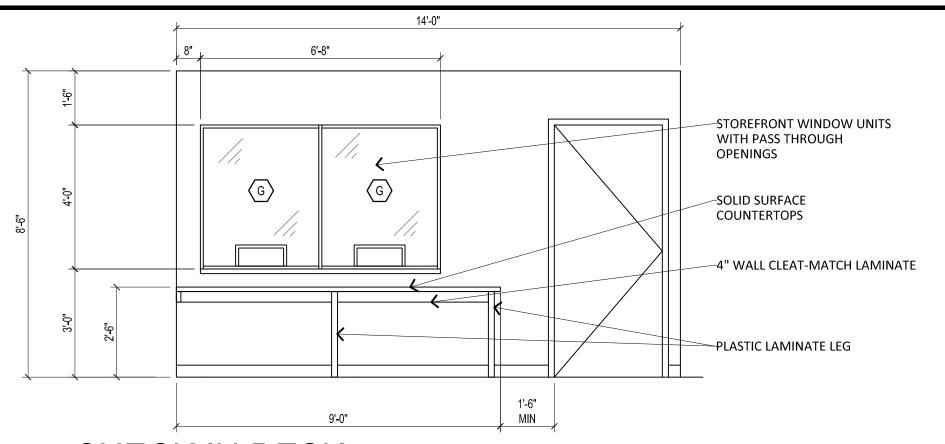
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**NEW FLOOR** 

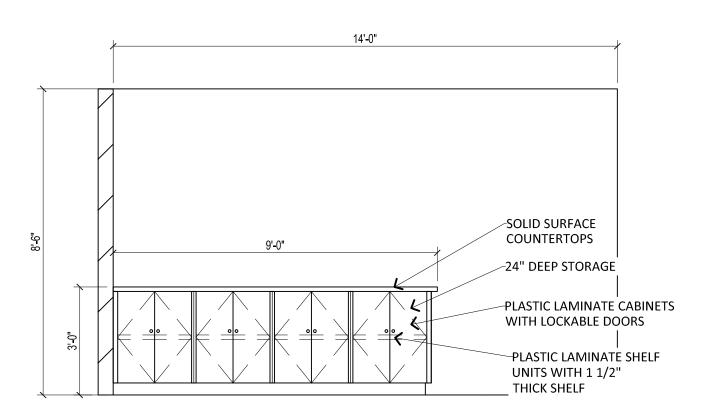
PLAN

DATE: 24 FEBRUARY 202

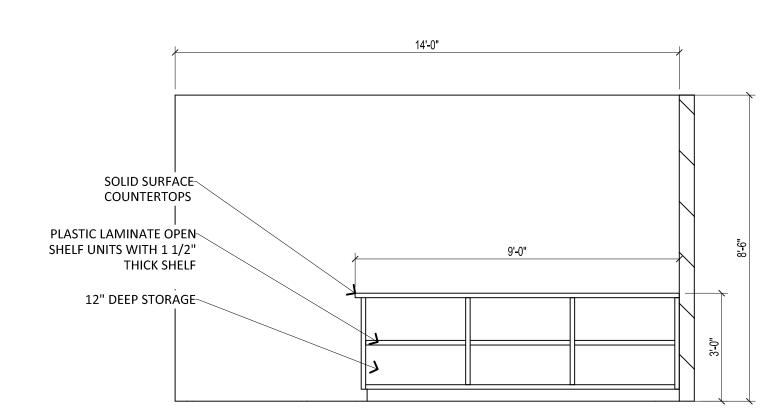
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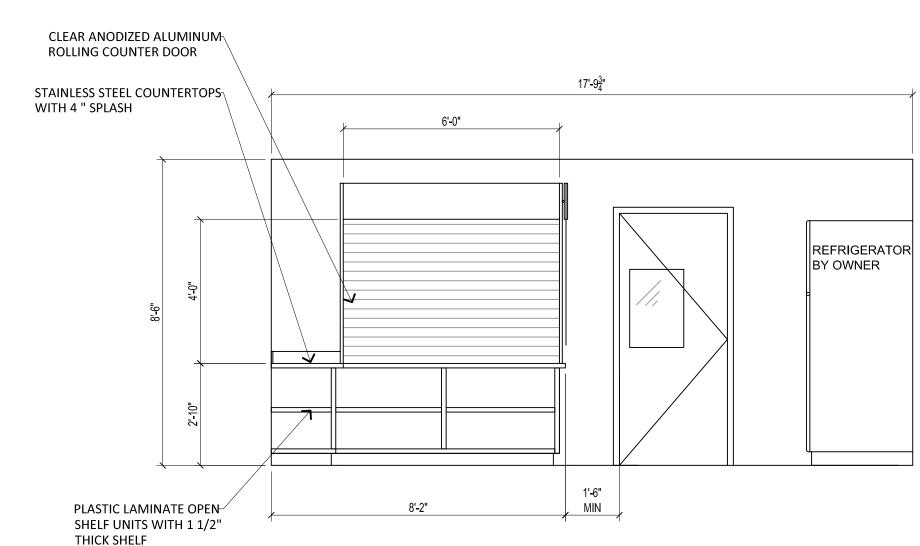
01 CHECK IN DESK
SCALE: 3/8" = 1'-0"



# 02 CHECK IN CABINETS SCALE: 3/8" = 1'-0"

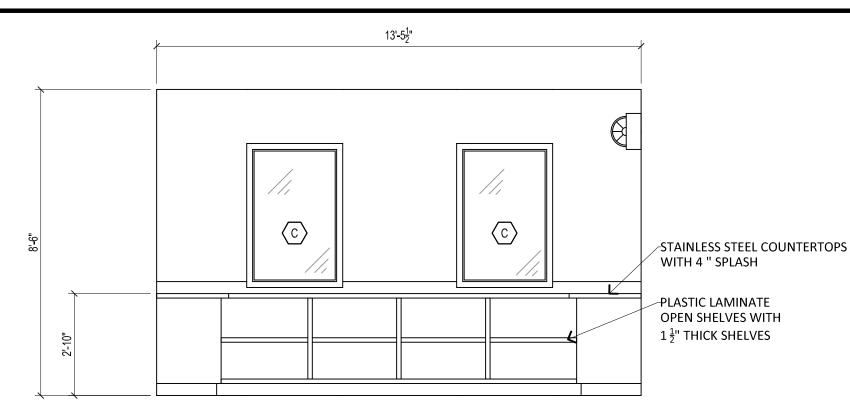


# 03 CHECK IN OPEN SHELVES SCALE: 3/8" = 1'-0"



04 CONCESSION STAND

SCALE: 3/8" = 1'-0"



05 CONCESSION STAND

SCALE: 3/8" = 1'-0"

ABBREVIATION

UNIT

AFB

W

D

KS

**GENERAL NOTES:** 

AUTOMATIC FLUSH BOLT, TRIMCO 3810

DRIP CAP - NATIONAL GUARD, 16A x 40" AL

1. ALL FINISHES TO BE SATIN CHROME (US 26D) UNLESS SPECIFICALLY SPECIFIED OTHERWISE

5. USE BALL BEARING HINGES ON ALL DOORS WITH CLOSURES AND ALL DOORS OVER 3'-0" WIDE.

2. ACCEPTABLE MANUFACTURES: FALCON, PDQ, SCHLAGE, RUSSWIN, TRIMCO

(6070 @ PAIR) X AL, 98V X 36" X AL

KICKSTOP

4. USE PLAIN BEARING HINGES ON STANDARD 3'-0" DOORS U.N.O.

3. 2 3/4" BACKSET AND ASA STRIKES ON ALL HARDWARE

6. USE NON REMOVABLE PIN HINGES ON EXTERIOR DOORS

WEATHERSTRIP & SWEEP- NATIONAL GUARD, 160V x 3070

THRESHOLD - NATIONAL GUARD, 424 x 36" (72" @ PAIR) x AL

STOREFRONT LOCK ADAMS RITE MS-1850 DEADLOCK PAIRS TO HAVE 3 POINT LOCK

HINGES:

HINGE PROVIDED WITH PRE-HUNG UNIT CB STD. WT. CONCEALED BEARING HINGES- 4 1/2 x 4 1/2 STANLEY CB1900 or HAGER BB 1279 STD. WT. PLAIN BEARING HINGES- 4 1/2 x 4 1/2 STANLEY 1900 HEAVY WT. BALL BEARING HINGE - 4 1/2" X 4 1/2" HAGER BB1168 2K TWO KNUCKLE HAGER 920 FULL MORTISE, PLAIN BEARING SH SPRING HINGE, STANLEY 2060R 4 1/2 " X 4 1/2" DOOR CLOSER: DC DOOR CLOSER, DORMA 8616 PA (PARALLEL ARM) DC-H PLUNGER HOLD OPEN DOOR CLOSER, DORMA 8616 PHP 7601 PAFHO DOOR LATCHING: CL CLASSROOM LOCK - FALCON (W-SERIES), QUANTUM GALA W561 - ANSI F84, GRADE 2 ST W101 - ANSI F75, GRADE 2 STORE ROOM- FALCON (W-SERIES), QUANTUM GALA PASSAGE, FALCON (W-SERIES), QUANTUM GALA PA W301 - ANSI F76, GRADE 2 EO ENTRY/OFFICE LOCK, FALCON (W-SERIES), QUANTUM GALA W511 - ANSI F109, GRADE 2 DT DUMMY TRIM, FALCON (W-SERIES), QUANTUM GALA CD CYLINDER DEADLOCK WITH THUMB TURN, FALCON D441, 2 3/4" BACKSET D441 LE 9300 YR08 LEVER EXIT DEVICE, DORMA 9300xYR08 SH STANDARD STOREFRONT PUSH BAR AND PULL PUSH/PULL SET TRIMCO 1001 PUSH PLATE, 1010 PULL PLATE WITH 1010-1, 12" PULL **ACCESSORIES:** 1330 RMREMOVABLE MULLION FOR A PAIR OF DOORS W1276CCS WB 1201 WALL BUMPER, TRIMCO W1267CCS, CONCAVE or HAGER 234W FS FLOOR STOPS, TRIMCO W1210 SB INTERIOR SLIDE BOLT KP KICK PLATE FB FLUSH BOLT, TRIMCO 3917

HARDWARE SCHEDULE

DESCRIPTION:

**VENT SCHEDULE** 

# |MARK| REMARKS

2 x 4 PRESSURE TREATED WOOD STUD FRAME AT 16" O.C. EXTERIOR 5/8" CDX PLYWOOD WITH 1" INSULATION BOARD AND SMOOTH HARDIBOARD FOR PAINT INTERIOR-BATT INSULATION BETWEEN THE STUDS AND SMOOTH HARDIBOARD FOR PAINT (SEE DETAIL 06/A2.4)

- CUSTOM FIT METAL LOUVERS FRAMES WITH DAMPER GRAVITY DRIVEN
- DAYTON 20UA93 COMBINATION LOUVER/DAMPER WITH FLANGE, 1,559 CFM EXHAUST, 1,090 CFM INTAKE, INSTALLED 13'-0" AFF-IN WALL BETWEEN THE LOCKEF
- DAYTON 16D540 DOWNBLAST VENTILATOR, BELT DRIVEN, 1,692 CFM, INSTALL ON THE ROOF ABOVE THE GIRLS LOCKER ROOM.

| MARK | STYLE       | SIZE                  |                  | MATERIAL       | REMARKS   |
|------|-------------|-----------------------|------------------|----------------|---|
| ALL  | STYLE       | NOMINAL               | _ SIZE           |                | HEAD HT. OF WINDOWS VARIES - REFER TO DRAWINGS.  FIXED ENTRY GLASS -"LOW E" INSUL. GLASS. |
| A    | SINGLE HUNG | 4'-0" X 2'-9"         | VERIFY R.O. SIZE | VINYL          | LOCATED IN EXISTING OPENINGS-FIELD MEASURE, GLASS-OBSCURE                                 |
| B    | SINGLE HUNG | 4'-0" X 7'-6"         | VERIFY R.O. SIZE | VINYL          | LOCATED IN EXISTING OPENINGS-FIELD MEASURE  |
| C    | SINGLE HUNG | 2'-8" X 4'-0"         | VERIFY R.O. SIZE | VINYL          | LOCATED IN EXISTING OPENINGS-FIELD MEASURE  |
| D    | SINGLE HUNG | TRIPLE, 2'-8" X 5'-1" | VERIFY R.O. SIZE | VINYL          | LOCATED IN NEW OPENING-FIELD MEASURE  |
| E    | SINGLE HUNG | 2'-8" X 5'-1"         | VERIFY R.O. SIZE | VINYL          | LOCATED IN EXISTING OPENINGS-FIELD MEASURE  |
| F    | SLIDER      | PR 3'-0" X 5'-0"      | VERIFY R.O. SIZE | VINYL          | LOCATED IN EXISTING OPENINGS-FIELD MEASURE, SCREENS                                       |
| G    | STORE FRONT | 6'-8" X 4'-0"         | VERIFY R.O. SIZE | ALUMINUM FRAME | (2) PASS THROUGH HOLES 6"H x 15"W   |
| H    | STORE FRONT | 6'-8" X 4'-0"         | VERIFY R.O. SIZE | ALUMINUM FRAME | SLIDER-ACTIVE SLIDE ON LEFT WITH LOCK ON CHECK-IN DESK SIDE                               |

# NOTES:

NOTES

3810

424

160V, 98V

- 1. WINDOWS AS SPECIFIED U.N.O. RE: SPECIFICATIONS, SUBSTITUTES MUST COMPLY W/ SPECIFICATIONS AND SIZE AND MUST BE APPROVED BY ARCHITECT.
- 2. ROUGH OPENING SIZES: VERIFY WITH WINDOW MANUFACTURER BEFORE FRAMING.
- 3. CONTRACTOR TO VERIFY ALL QUANTITY TAKE OFFS.
- 4. WINDOWS WITH LOW E INSULATED GLASS U.N.O. RE: SPECIFICATIONS
- 5. ALL MULLIONS ARE TO BE PLACED BETWEEN THE GLASS 6. INSTALL 1x4 WOOD TRIM AROUND WINDOWS.

# DOOR AND FRAME SCHEDULE

| DOOR        |                   |      |                         |        |          |        |       |          |        |           |        |          |             |                 |       |
|-------------|-------------------|------|-------------------------|--------|----------|--------|-------|----------|--------|-----------|--------|----------|-------------|-----------------|-------|
|             |                   |      | DOOR<br>OPENING<br>SIZE |        | IAL      |        |       | FRAME    |        | HARDWARE. |        |          |             |                 |       |
|             |                   |      |                         |        |          |        |       | IAL      |        | S         | H.     | NG<br>N  | RIES        | FIRE            |       |
| DOOR<br>NO. | ROOM NAME         | PAIR | WIDTH                   | HEIGHT | MATERIAL | FINISH | GLASS | MATERIAL | FINISH | HINGE     | CLOSER | LATCHING | ACCESSORIES | RATING<br>LABEL | NOTES |
| 100A        | LOBBY             |      | 3'-0"                   | 7'-0"  | ST       | ALUM.  |       | ST       | ALUM   | СВ        | DC     |          | SL,KS       |                 | 9     |
| 101         | CHECK IN          |      | 3'-0"                   | 6'-8"  | FG       | PAINT  |       | TNR      | PAINT  | UNIT      |        | EO       | WB          |                 | 8     |
| 102A        | PARTY ROOM        |      | 3'-0"                   | VERIFY | ST       | ALUM.  |       | ST       | ALUM   | СВ        | DC     | SH       |             |                 | 9     |
| 102B        | PARTY ROOM        |      | 3'-0"                   | 7'-0"  | ST       | ALUM.  |       | ST       | ALUM   | СВ        | DC     | SH       | WB          |                 |       |
| 103A        | STORAGE           |      | 3'-0"                   | 6'-8"  | FG       | PAINT  |       | TNR      | PAINT  | СВ        | DC     | ST       | WB          |                 | 8     |
| 103B        | AC CLOSET         |      | 3'-0"                   | 6'-8"  | FG       | PAINT  |       | TNR      | PAINT  | UNIT      |        | PA       |             |                 | 8     |
| 104         | MANAGERS OFFICE   |      | 3'-0"                   | 6'-8"  | FG       | PAINT  |       | TNR      | PAINT  | UNIT      |        | EO       | WB          |                 | I, 8  |
| 105         | CONCESSION        |      | 3'-0"                   | 7'-0"  | НМ       | PAINT  |       | НМ       | PAINT  | СВ        | DC     | EO,CD    |             |                 | F, 9  |
| 105A        | CONCESSION        |      | 6'-0"                   | 4'-0"  | RCD      | ALUM.  |       | ALUM.    |        |           |        | SB       |             |                 | G     |
| 107         | MOP CLOSET        |      | 2'-6"                   | 6'-8"  | FG       | PAINT  |       | TNR      | PAINT  |           |        | PA       | FB          |                 | 8, 10 |
| 108         | GIRLS LOCKER ROOM |      | 3'-0"                   | 6'-8"  | FG       | PAINT  |       | TNR      | PAINT  | СВ        | DC     | Р        | FS          |                 | 8     |
| 109         | BOYS LOCKER ROOM  |      | 3'-0"                   | 6'-8"  | FG       | PAINT  |       | TNR      | PAINT  | СВ        | DC     | Р        | FS          |                 | 8     |
| 110         | POOL ENTRY        |      | 3'-0"                   | 8'-0"  | ST       | ALUM.  |       | ST       | ALUM   | СВ        | DC     | SH       | SL,KS       |                 | Н     |
|             |                   |      |                         |        |          |        |       |          |        |           |        |          |             |                 |       |
|             |                   |      |                         |        |          |        |       |          |        |           |        |          |             |                 |       |

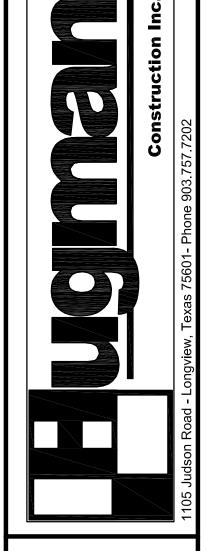
| ABBREVIATIONS:     |  |  |  |  |  |  |  |  |
|--------------------|--|--|--|--|--|--|--|--|
| PL - PLASTIC LAMIN |  |  |  |  |  |  |  |  |
| HM- HOLLOW META    |  |  |  |  |  |  |  |  |

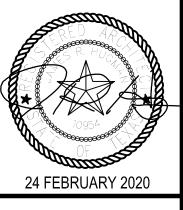
- NOTES: A. SIDELIGHTS B. VIEW PANEL
- PS- PREFINISHED STEEL C. INSULATED FOAM P- PAINT D. ACCESS CONTROL PAD SILV. - SILVER E. 14 GA HEAVY DUTY DOOR ST-STORE FRONT F. VIEWLITE 18"x26"
- FG-FIBERGLASS G. MANUAL TNR-TOUGH NO ROT H. TRANSOM RCD- ROLLING COUNTER DOOR I. VIEWLITE 8" x 32" ALUM- ALUMINUM

#### FINISHES: FIBERGLASS-PAINT PLASTIC LAMINATE - TBD FRAME: PAINT

# **GENERAL NOTES:**

- REFER TO SPECIFICATIONS FOR DOOR HARDWARE
- 2. ALL FINISHES TO BE SATIN CHROME U.N.O. 3. UNDERCUTS - HOLLOW METAL  $\frac{3}{4}$ "
- 4. ACCEPTABLE HARDWARE MANUFACTURERS: FALCON, SCHLAGE,
- RUSSWIN, TRIMCO, HAGER AND YALE. 5.  $2\frac{3}{4}$ " BACKSET AND ASA STRIKES ON ALL HARDWARE
- 6. IF A DOOR HAS A VIEW PANEL BOTTOM OF THE GLASS HAS TO BE AT
- 43" A.F.F. MAX 7. ALL INTERIOR DOORS TO HAVE (3) HINGES TO MATCH DOOR
- HARDWARE U.N.O.
- 8. INTERIOR DOORS-FIBERGLASS , 1 3/4" SMOOTH, FLUSH WITH EXTERIOR JAMB. NOT KERFFED FOR WEATHERSTRIPPING, PRIMED
- 9. VERIFY EXISTING OPENING FOR DOOR SIZE 10. HEAD BOLT FOR INTERACTIVE DOOR





Kilgore Swimming Qf

 $\bar{\Box}$ 

Pool

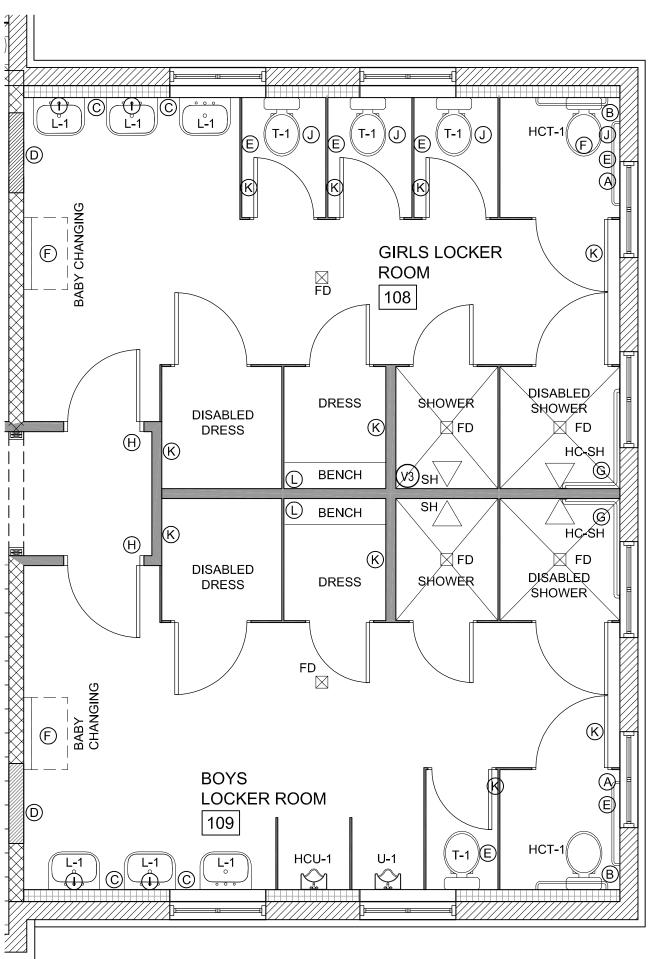
City **REVISIONS** 

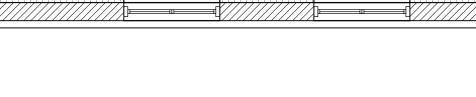
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ALSO SEVER ANY LIABILITIES WHICH MAY ARIS FROM THE CONSTRUCTION, USE OR RESULT OF SUCH UNAUTHORIZED USE OR CHANGES. THE PARTIES RECOGNIZE THAT DATA, PLANS, SPECIFICATIONS, REPORTS, DOCUMENTS, OR STHER INFORMATION RECORDED ON OR RANSMITTED AS ELECTRONIC MEDIA INCLUDING BUT NOT NECESSARLLY LIMITED TO CAD DOCUMENTS") ARE SUBJECT TO UNDECTIBLE ALTERATION, EITHER INTENTIONAL OR ININITENTIONAL, DUE TO AMONG OTHER CAUSE: RANSMISSION, CONVERSION, MEDIA DEGRADA ION, SOFTWARE ERROR OR HUMAN ALTERATION ACCORDINGLY, ALL SUCH DOCUMENTS ARE ACCORDINGLY, ALL SUCH DOCUMENTS ARE PROVIDED TO THE PARTIES FOR INFORMATIONAL PURPOSES ONLY AND NOT AS AN END PRODUCT NOR AS A RECORD DOCUMENT. ANY RELIANCE THEREON IS DEEMED TO BE UNREASONABLE AND UNEMFORCABLE. THE SIGNED AND OR STAMPED HARD COPIES OF THE ARCHITECT'S INSTRUMENTS OF SERVICE ARE THE ONLY TRUE CONTRACT DOCUMENTS OF RECORD.

**INTERIOR ELEVATIONS AND SCHEDULES** 

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01 LOCKER ROOMS
SCALE: 1/4" = 1'-0"

#### **EXTERIOR** INTERIOR STEEL FRAMED OPENING DETAIL **EXTERIOR** SEALANT STEEL TO MASONRY √5" x 4" x 5/16" ANGLE TO EXISTING MASONRY / HEAD / GROUT SOLID ANGLE TO EXISTING ~1/4" THICK PLATE STEEL WELDED CONTINUOUS IN PLACE-PAINT VERIFY REQUIRED WIDTH TYPICAL $^2$ x 2 x 1/4" ANGLE JAMB WELD TO HEAD-PAINT HARDI-TRIM-PAINT SLOPE PREFINISHED STEEL SILL ~2 x PRESSURE TREATED SILL BLOCKING TYPICAL TAP-CON IN PLACE, SLOPE TO FLASHING EXTERIOR. LEVEL MASONRY WITH

03 STEEL FRAMED OPENING SCALE: 1" = 1'-0"

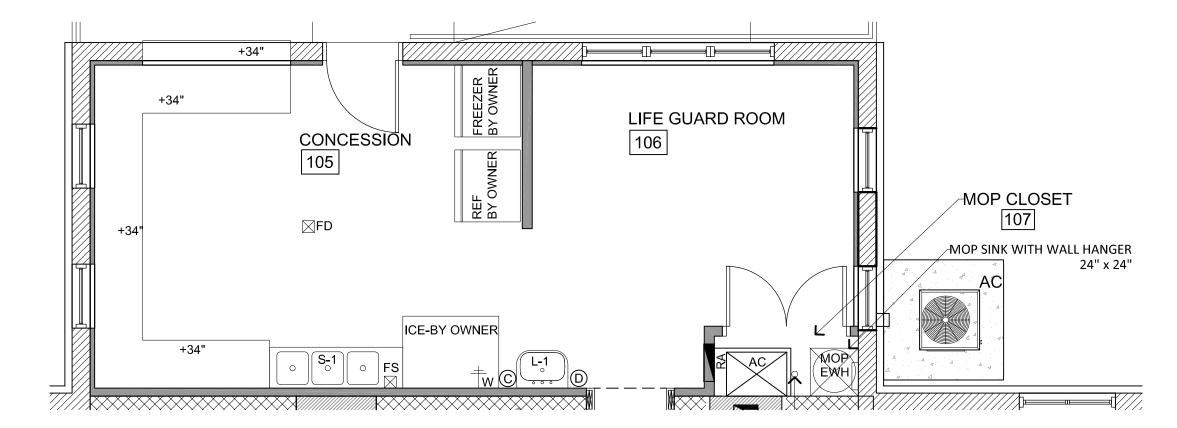
# RESTROOM ACCESSORIES LEGEND

NOT ALL ITEMS MAY PERTAIN TO THIS JOB- SEE DETAILS & ENLARGED FLOOR PLAN

- (A) 42" BOBRICK B-5806 GRAB BAR 1 1/4" DIA., 18 GAUGE STAINLESS STEEL WITH SNAP ON FLANGES FOR CONCEALED MOUNTING.
- 36" BOBRICK B-5806 GRAB BAR 1-1/4" DIA., 18 GAUGE STAINLESS STEEL WITH SNAP ON FLANGES FOR CONCEALED MOUNTING.
- SOAP DISPENSER BOBRICK B-4112

INTERIOR

- PAPER TOWEL DISPENSER EXISTING TO REMAIN, PROTECT. CLEAN-UP
- TOILET PAPER DISPENSER BOBRICK B-4288 GLOBAL T9F641430, BABY CHANGING STATION
- HORIZONTAL CORNER GRAB BAR
- ACCESSIBLE SIGNAGE:
- COLOR TO BE CHOSEN BY ARCHITECT FROM AVAILABLE COLOR OPTIONS MEN'S RR WHEELCHAIR ACCESSIBLE WOMEN'S RR WHEELCHAIR ACCESSIBLE
- MIRROR: REFER INTERIOR ELEVATIONS
- SANITARY NAPKIN DISPOSER BOBRICK CONTURA SERIES B-270 SURFACE MOUNTED.
- (K) COAT HOOK HANG AT 48" HT. MAX. BOBRICK B-672 ROBE HOOK
- PHENOLIC LOCKER ROOM BENCH WITH STAINLESS STEEL LEGS. ROBINSON STEEL CO. #RSCPL13, 9.5" x 48" WITH 2 STAINLESS STEEL PEDESTALS

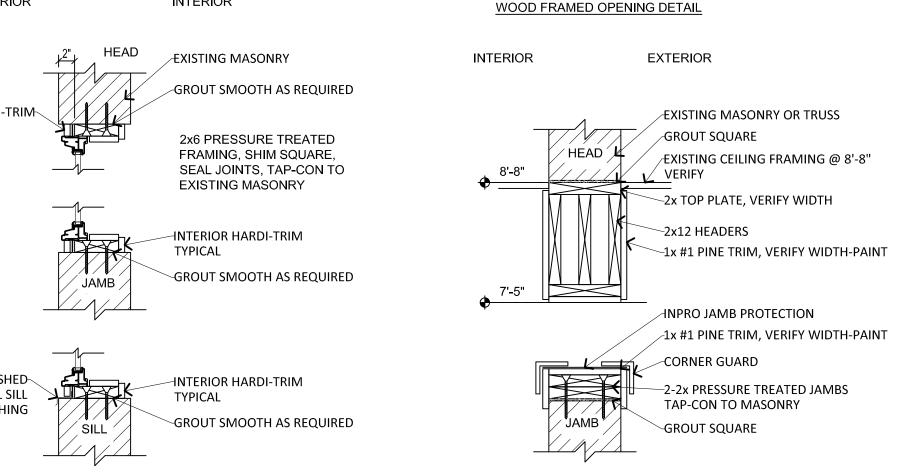


02 CONCESSION & LIFE GUARD ROOM SCALE: 1/4" = 1'-0"

### **EXISTING OPENING, WINDOW AND DOORS**

04 EXISTING OPENING

SCALE: 1" = 1'-0"



05 WOOD FRAMED OPENING
SCALE: 1" = 1'-0"

**EXTERIOR** INTERIOR EXISTING MASONRY GROUT SMOOTH AS REQUIRED 1x4 HARDI-TRIM HARDI PANEL SIDING -R-13 INSULATION MOISTURE BARRIER 5/8" SHEATHING 2x4 PRESSURE TREATED FRAMING, SHIM SQUARE, SEAL JOINTS, TAP-CON TO 1" BOARD INSULATION EXISTING MASONRY PREFINISHED~ STEEL SILL FLASHING GROUT SMOOTH AS REQUIRED

VENT CLOSURE DETAIL

06 VENT CLOSURE SCALE: 1" = 1'-0"

| MARK DESCRIPTION MANUFACTURER |  |                                 |                       | T   |                           | INIECTI  | IONE                   | 1                    |   |  |
|-------------------------------|--|---------------------------------|-----------------------|---|---------------------------|----------|------------------------|----------------------|---|--|
| MARK<br>SYM.                  | DESCRIPTION<br>FIXTURES  | MANUF.                          | MODEL NO.             | TYPE  | CONNECTIONS HOT COLD TRAP |          |                        | - FINISH             | NOTES   |  |
|                               | TOILET BOWL  | AMERICAN STANDARD MADERA        | A2234001020           | 10 OR 12 IN ROUGH-IN ELONGATED FLOOR TOILET BOWL  | -                         | -        | INT.                   | WHITE                | ELONGATED BOWL TOILET   |  |
| T-1                           | FLUSH VALVE  | SLOAN VALVE                     | SLO3080050            | SLOAN VALVE REGAL   | -                         | 3/4"     | -                      | CHROME PLATED        | MANUAL FLUSH VALVE  |  |
|                               | TOILET SEAT  | COMFORT SEATS                   | 18330220<br>C-106C-00 | ELONGATED OPEN FRONT<br>WITHOUT COVER   | -                         | -        | -                      | WHITE                | INJECTION MOLDED POLYPROPYLENE  |  |
|                               | TOILET BOWL  | AMERICAN STANDARD<br>MADERA ADA | A3043001020           | 10 OR 12 IN ROUGH-IN<br>ELONGATED FLOOR TOILET BOWL   | -                         | -        | INT.                   | WHITE                | ELONGATED BOWL TOILET   |  |
| HCT-1                         | FLUSH VALVE  | SLOAN VALVE                     | SLO3080050            | SLOAN VALVE REGAL   | -                         | 3/4"     | -                      | CHROME PLATED        | MANUAL FLUSH VALVE  |  |
|                               | TOILET SEAT  | BEMIS STA-TITE                  | BEM1955CT000          | ELONGATED OPEN FRONT<br>WITHOUT COVER   | -                         | -        | -                      | WHITE PLASTIC        | -   |  |
| U-1*                          | URINAL (H.C.)  | AMERICAN STANDARD               | 6550.001              | ADA COMPLIANT URINAL  | -                         | -        | INT.                   | WHITE VITREOUS CHINA |   |  |
|                               | FLUSH VALVE  | SLOAN                           | 186.1XL               | FLUSHOMETER   | -                         | - 3/4" - |                        | CHROME               | 3/4" TOP SPUD URNINALS  |  |
|                               | BATHROOM SINK  | AMERICAN STANDARD<br>LUCERNE    | A0356421020           | 1 HOLE WALL MOUNT   | -                         | -        | -                      | WHITE                | -   |  |
| L-1*                          | LAVATORY FAUCET  | AMERICAN STANDARD               | A1340105002           | ADA LF 1 HOLE 1 HANDLE  | 1/2"                      | 1/2"     | 1 1/4"                 | POLISHED CHROME      | LOCKER ROOM LAVATORIES  |  |
|                               | LAVATORY FAUCET  | AMERICAN STANDARD               |                       | SINGLE HANDLE, 4" CENTERS   | 1/2"                      | 1/2"     | 1 1/4"                 | POLISHED CHROME      | CONCESSION LAVATORY FAUCET  |  |
|                               | OVERFLOW PLUG  | DEARBORN                        | 17030115              | WHEELCHAIR PATIENT OVERFLOW   | -                         | -        | -                      | -                    | 17 GUAGE-1.25   |  |
| SH*                           | SHOWER TRIM  | BRADLEY                         | WS-1X-6' 0"-TTPA-S15  | PUSH BUTTON VALVE   | 1/2"                      | 1/2"     | -                      | -                    | SHOWER HEAD HEIGHT 78"  |  |
| ESH*                          | EXTERIOR SHOWER HEAD   | OUTDOOR SHOWER<br>CO            | WM-442-ADA            | PUSH BUTTON VALVE   | 1/2"                      | 1/2"     | -                      | -                    | SHOWER HEAD HEIGHT 78"  |  |
| ESH*-<br>ALT 2                | EXTERIOR FREE STANDING<br>SINGLE SUPPLY TWO HEAD<br>SHOWER   | OUTDOOR SHOWER<br>CO            | PS-900-ADA            | PUSH BUTTON VALVE   | -                         | 1/2"     | -                      | -                    | ALT-2-(2) FREE STANDING UNITS   |  |
| HC-SH*                        | SHOWER TRIM-HANDICAP   | BRADLEY                         | WS-1X-HN-TTPA-S15     | PUSH BUTTON VALVE   | 1/2"                      | 1/2"     | -                      | -                    | VALVE WITH HAND SHOWER  |  |
|                               | SINK   | REGENCY TABLES<br>AND SINKS     | 600S3151515 LFT       | 3 COMPARTMENT SINK  | -                         | -        | -                      | GALVANIZED           | DRAIN BOARD ON LEFT   |  |
| S1*                           | MIXING FAUCET  | T&S BRASS AND<br>BRONZE WORKS   | B-0231-CR             | 8" WALL MOUNT MIXING FAUCET   | 1/2"                      | 1/2"     | -                      | -                    | CERAMA CARTRIDGES, LEVER HANDLE<br>12" SWING NOZZLE & 1/2" NPT FEMALE<br>INLETS |  |
| MOP*                          | 24X24X10 DURASTONE<br>MOP BASIN  | E.L. MUSTEE                     | 63M                   | 65.700 HOSE & HOSE HOLDER<br>63.403 S.S. BUMPER GUARDS<br>64.24246 WALL GUARDS<br>63.600A SERVICE FAUCET<br>65.600 MOP HANGER<br>63.600A FAUCET | 1/2"                      | 1/2"     | CAST IRON<br>DEEP SEAL | -                    | INTEGRAL DRAIN  |  |
| FD                            | TYPE 304 STAINLESS STEEL<br>SQUARE STAINER WITH SQUARE<br>HOLE PATTERN GRATE, VANDAL<br>PROOF                                    | WADE                            | 1103G6                | -   | -                         | 1/2"     | CAST IRON<br>DEEP SEAL | -                    | -   |  |
| FS                            | CAST-IRON, 8" SQUARE FLOOR<br>SINK, 6" DEEP SUMP,A.R.E.<br>INTERIOR, ALUM DOME<br>STRAINER, NICKEL BRONZE TOP,<br>SEEPAGE FLANGE | WADE                            | W-9110                |   |                           | 1/2"     | CAST IRON<br>DEEP SEAL |                      | SEDIMENT BUCKET<br>VENT=2   |  |
| EWH                           | ELECTRIC WATER HEATER  | HOLDRITE                        | PROE30                | WALL-HUNG PLATFORM AND DRAIN  | 3/4"                      | 3/4"     | -                      | -                    | -   |  |

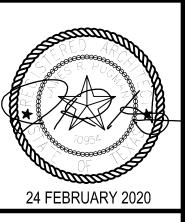
NOTE: PROVIDE A CLEAN OUT AT THE END OF EVERY LINE. ROOF VENT DOES NOT TAKE THE PLACE OF A CLEANOUT.

\* HANDICAP URINAL LOCATION MARKED W/ HC-U.MOUNT AT ADA REQUIRED HEIGHT \* HANDICAP LAVATORY LOCATION MARKED W/ HC-L.

\* RUN ALL PIPES IN PLUMBING CHASE

\* ALL PIPES FROM FIXTURE TO PLUMBING CHASE TO RUN IN A HORIZONTAL LINE BELOW THE FIXTURE AND STRAPPED TO THE WALL. PIPES TO BE PAINTED TO MATCH WALL

\* LOCKER ROOMS WILL HAVE COLD WATER ONLY. NO HOT WATER WILL BE SUPPLIED TO THESE ROOMS



Kilgore

 $\bar{\Box}$ 

Swimming Pool

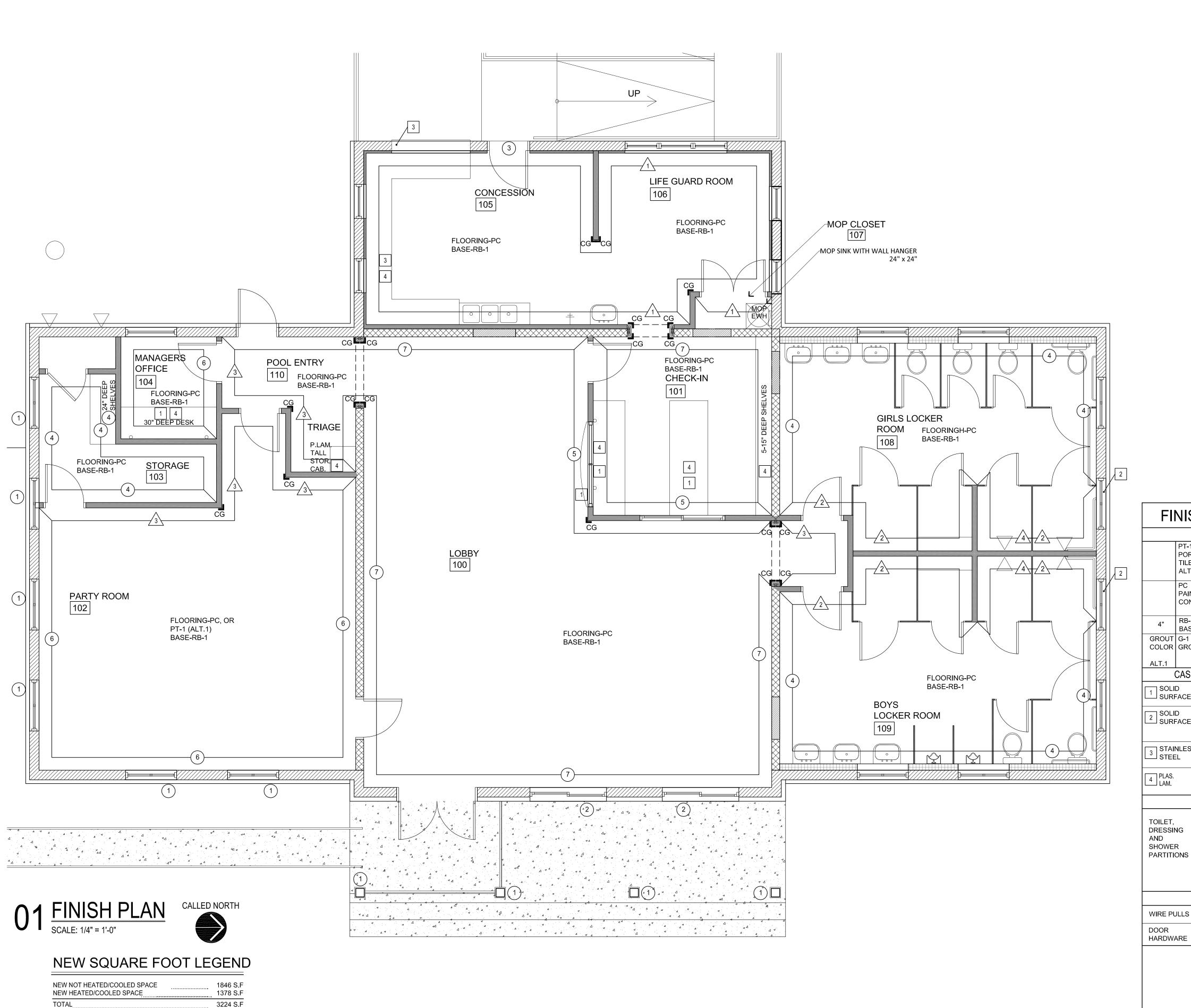
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**PLUMBING AND DETAILS PLAN** 

FILE: SCH106C

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# SYMBOLS LEGEND

GAS OUTLET

GAS METER

RECESSED FIRE EXT. CABINET RE: SPEC'S.

IRRIGATION CONTROL BOX

IRRIGATION CONTROL BOX

RETURN AIR VENT

RETURN AIR DUCT

GROMMETS IN CASEWORK RE: INTERIOR ELEVATIONS

WALL HYDRANT

WATER CONNECTION

CORNER GUARD AND EDGE-SEE FINISH SCHEDULE

CJ △ GYP. BD. CONTROL JOINT

EJ 

MASONRY EXPANSION JOINT

FS FLOOR SINK

FD FLOOR DRAIN

EFD⊠ EXISTING FLOOR DRAIN

 $\triangle$ SHOWER HEAD

| FINISH SCHEDULE - INTERIOR FINISHES         |  |                |   |                 |   |  |  |  |  |  |  |
|---|--|----------------|---|-----------------|---|--|--|--|--|--|--|
|   | FLOOR FINISHES   |                | WALL FINISHES   | WALL FINISHES   |   |  |  |  |  |  |  |
| PT-1<br>PORC<br>TILE<br>ALT.1<br>PC<br>PAIN |  | 1 P-1 PAINT    | SHERWIN WILLIAMS 7020 BLACK FOX EGGSHELL FINISH EXTERIOR HARDIBOARD AND WOOD COLUMNS SHERWIN WILLIAMS     | RVS-1           | INPRO RIGID SHEET THICKNESS: .040 COLOR:0279 SEA SALT FIRE RATED: NO MATCHING TRIM AND CORNER PIECES      |  |  |  |  |  |  |
| CONC  | TEXTURED SURFACE  JOHNSONITE TRADITIONAL   | PAINT          | 6473 SURF GREEN<br>EGGSHELL FINISH<br>EXTERIOR HARDIBOARD   | RVS-2           | INPRO RIGID SHEET<br>THICKNESS: .040<br>COLOR: 0106 DOVE GRAY<br>FIRE RATED: NO                           |  |  |  |  |  |  |
| GROUT G-1<br>COLOR GROU                     | POLYBLEND GROUT COLORS   | 3 P-3<br>PAINT | SHERWIN WILLIAMS<br>6473 SURF GREEN<br>SEMI-GLOSS<br>EXTERIOR DOOR  |                 | MATCHING TRIM AND CORNER PIECES. SHEET TO BOTTOM OF CEILING JOIST   |  |  |  |  |  |  |
| CASE  SOLID SURFACE  SOLID SURFACE          | WORK & COUNTERTOPS  CORIAN LINEN WITH 4" SET ON BACK AND SIDE SPLASH  INPRO BIOPRISM WINDOW SILL WITH 1.5 LIP, CLASS B COLOR: P9011 BRIGHT | 4 P-4 PAINT    | SHERWIN WILLIAMS 7650 ELLIE GRAY LOCKER ROOMS- NEW HARDIBOARD IN ATTIC AND ON PAINTED CMU AND BRICK WALLS | RVS-3           | INPRO RIGID SHEET THICKNESS: .040 COLOR: 1087 CRYSTAL JADE FIRE RATED: NO MATCHING TRIM AND CORNER PIECES |  |  |  |  |  |  |
| 3 STAINLESS<br>STEEL                        | WHITE  | 5 P-5<br>PAINT | SHERWIN WILLIAMS<br>6471 HAZEL<br>EGGSHELL FINISH<br>SMOOTH TEXTURE                                       | SHOWER<br>WALLS | INPRO BIOPRISM SOLID<br>SURFACE<br>COLOR: P9011 BRIGHT<br>WHITE   |  |  |  |  |  |  |
| 4 PLAS.<br>LAM.                             | WILSONART STERLING ASH<br>#7995-38 ALL CABINETS<br>PARTITIONS  | 6 P-6 PAINT    | SHERWIN WILLIAMS<br>9050 VINTAGE VESSEL<br>EGGSHELL FINISH<br>SMOOTH TEXTURE                              |                 | PATTERN: SUBWAY HEIGHT: 8'-0" THICKNESS: 1/4" RIGID SHEET FROM 8'-0" TO                                   |  |  |  |  |  |  |
| PARTITIONS                                  |  |                |   |                 | CEILING JOIST   |  |  |  |  |  |  |
| TOILET,<br>DRESSING                         | SCRANTON SOLID HDPE<br>PLASTIC SHOWER  | 7 P-7 PAINT    | P-7 SHERWIN WILLIAMS PAINT 6472 COMPOSED  |                 | CORNER GUARDS   |  |  |  |  |  |  |

EGGSHELL FINISH

SMOOTH TEXTURE

SHERWIN WILLIAMS

SHERWIN WILLIAMS

SW 7075 WEB GRAY

SEMI-GLOSS

SW 7102 FLOUR

WOOD CEILING,

CROWN

WINDOW

TRIM

DOORS

FRAMES

PAINTS TO BE USED:

DOORS, WINDOWS,

WALLS - PROMAR 200 INTERIOR

CEILING - PROMAR 400 INTERIOR

SEMI-GLOSS

FRAMES AND TRIM - PROMAR 400,

NOTE: ALL BRICK AND CMU INTERIOR WALLS ARE CURRENTLY PAINTED

EGGSHELL

MOUNTED, TOP BRACED,

TEXTURE: ORANGE PEEL.

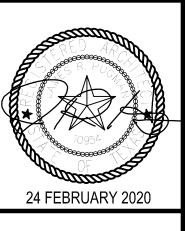
CUBICLES, FLOOR

WITH DOORS. COLOR: BLUEBERRY

OTHER FINISHES

BRUSHED NICKEL

BRUSHED NICKEL



PROJECT: Kilgore Swimming Pool Bui Boule

uilding Renovation

Of Kilgore City

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SW 6471 HAZEL

0187 CRYSTAL JADE

SW 6472 COMPOSED

ROOM

RETAINER

0106 DOVE GRAY LOCKER

150BN - 3" X 8'-0" W/ VINYL

GUARDS

INPRO CORNER GUARDS &

IPC TO MATCH WALL COLOR

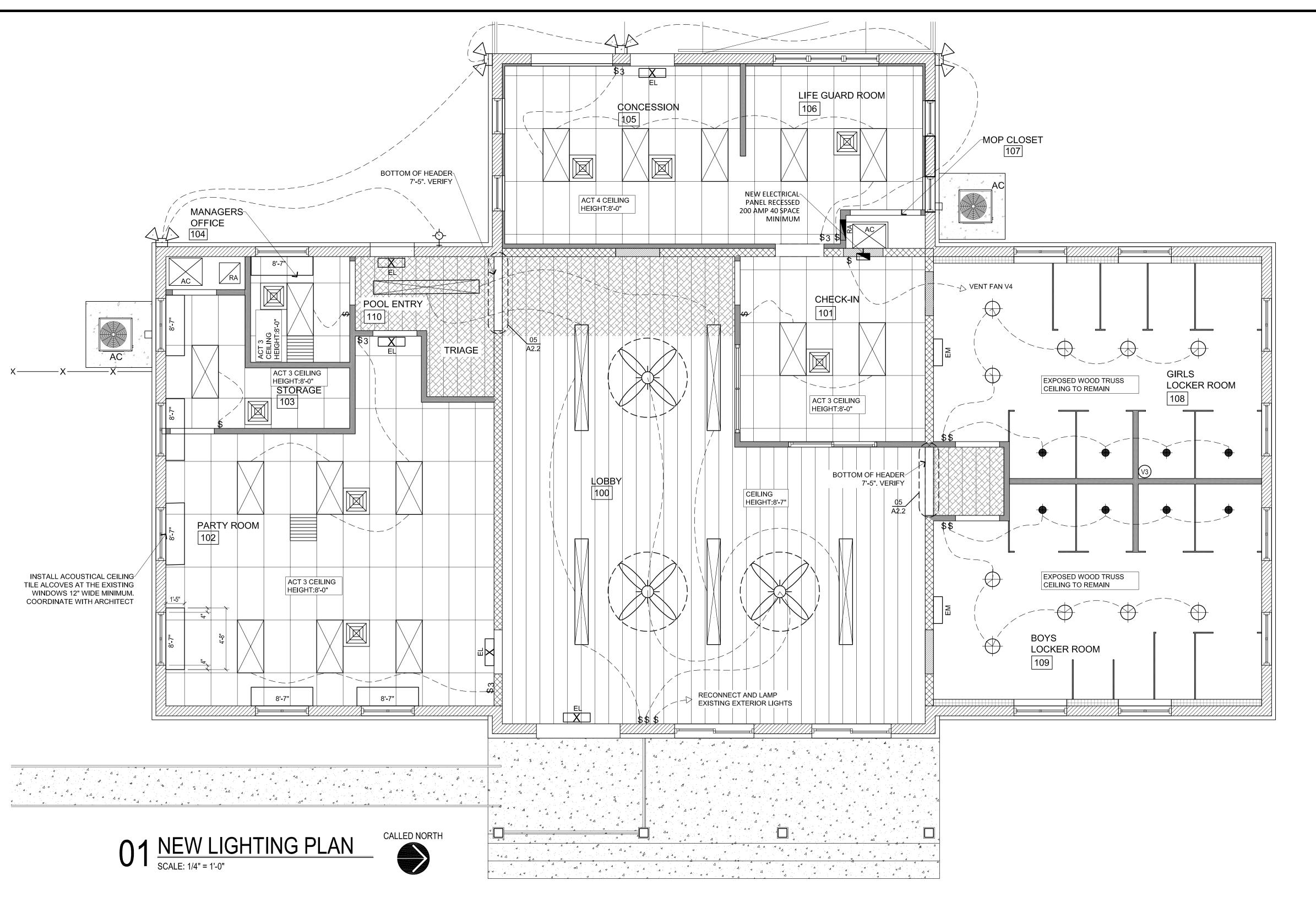
SW 9050 VINTAGE VESSEL

0187 CRYSTAL JADE

0187 CRYSTAL JADE

**FINISH** 

DATE: 24 FEBRUARY 2020



# **ELECTRICAL NOTES:**

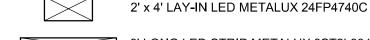
- 1. ALL CONDUIT EXPOSED TO SITE, TO BE EMT AND NOT MC CABLE
- 2. ELECTRICIAN SHALL PROVIDE TEMPORARY CONSTRUCTION LIGHTING WITH A MINIMUM OF 3 FOOT CANDLES AND AT LEAST ON LAMP PER ROOM OR SPACE. AT THE COMPLETION OF THE PROJECT ALL LIGHTS AND WIRING SHALL BE REMOVED BY THE ELECTRICAL CONTRACTOR.
- 3. ELECTRICIAN SHALL INSTALL ALL LIGHT FIXTURES INTO THEIR FINAL LOCATION INCLUDING CUTTING AND INSTALLING FIXTURES IN CEILING TILE PROVIDED BY OTHERS.
- 4. ELECTRICIANS SHALL MAKE PROVISION FOR CONSTRUCTIN POWER FOR ALL TRADES DURING THE COURSE OF THE WORK.
- 5. PROVIDE SERVICE GROUNDING & BOUNDING AS REQUIRED BY ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE.
- 6. ALL WIRE IS TO BE THHN-THWN COPPER. 7. ALL RECEPTACLES SHALL BE GROUNDED BY AN INSULATED COPPER CONDUCTOR INSTALLED
- WITH THE BRANCH-CIRCUIT CONDUCTORS SUPPLY THE RECEPTACLE. 8. THE ELECTRICAL CONTRACTOR IS TO PROVIDE CONDUIT AND BOXES FOR ALL HVAC POWER AND

CONTROL. ALL HVAC CONTROL IN WALLS AND OUTSIDE IS TO BE IN CONDUIT.

- 9. THE ELECTRICAL CONTRACTOR IS TO VERIFY BREAKER REQUIREMENTS FOR ALL HVAC **EQUIPMENT BEFORE ORDERING PANELS AND DISCONNECT SWITCHES.**
- 10. THE ELECTRICAL CONTRACTOR IS TO PROVIDE BOX AND 3/4" CONDUIT TO ABOVE THE CEILING AT ALL TELEPHONE LOCATIONS SHOWN ON THE DRAWINGS.
- 11. THE ELECTRICAL CONTRACTOR IS TO PROVIDE BOX AND 1" CONDUIT TO ABOVE THE CEILING AT ALL DATA LOCATIONS SHOWN IN THE DRAWINGS.
- 12. THE ELECTRICAL CONTRACTOR IS TO PROVIDE SLEEVES IN FIRE WALLS FOR ALL CONDUIT PENETRATIONS, SEAL ALL SLEEVES WITH FIRE RETARDANT SEALANT WHEN THE CONDUIT
- INSTALLATION IS COMPLETE. 13. ALL UNDERGROUND CONDUIT IS TO BE SCHEDULE 40 PVC WITH RIGID GALVANIZED STEEL RISERS AND
- ELLS. MINIMUM COVER IS TO BE 24 INCHES. 14. COORDINATE THE LOCATION OF ALL RECEPTACLES, ETC. IN MILLWORK WITH THE MILLWORK
- CONTRACTOR.
- 15. ALL OUTLETS, DATA AND SWITCH PLATES TO BE LIGHT ALMOND AT ALL WALLS. FOR ALL OUTLETS AND DATA IN MILLWORK THE PLATES ARE TO BE BLACK.
- 16. ADDITIONAL ABOVE CEILING ELECTRICAL IS LOCATED ON THE REFLECTED CEILING PLAN.

# LIGHT FIXTURE LEGEND

- SINGLE POLE SWITCH TO BE PLACED 45" (MIDDLE OF SWITCH) A.F.F. ALL SWITCHES SHALL BE MOUNTED 6" CLEAR FROM THE DOOR ROUGH METAL STUDS: USE CADDY- SCREW GUN BOX BRACKETS. WOOD STUDS: USE WOOD BLOCKING.
- 3 WAY SWITCH TO BE PLACED 45" (MIDDLE OF SWITCH) A.F.F.
- 4 WAY SWITCH TO BE PLACED 45" (MIDDLE OF SWITCH) A.F.F.
- OCCUPANCY SENSOR SWITCH WITH TIMER, CU OFF AFTER 15 MIN
- EXISTING SWITCH
- EXTERIOR SWITCH INTERMATIC ST700 SERIES



8' LONG LED STRIP METALUX 8ST2L8040R

CEILING MOUNTED LIGHT, ATTACHED TO BOTTOM OF JOISTS:

BASELIGHT W516-84-ST6-25WLED-4K-FGR16

CEILING FAN: BIG ASS FANS, HAIKU INDOOR #S3127-S0-AS-0402-C-01-F531

EXTERIOR LED WALL PACK (LUMARK XTOR4B-W-GM-PC1)

WALL MOUNTED LIGHT: COOPER 674-WP

PHOTOCELL

EXIT SIGN W/ BATTERY (SURELITE-LPX7-LED EXIT LIGHT W/ BATTERY

HALO SLD606840WH/SLD6RAD 6" SURFACE MOUNTED DOWNLIGHT

EXIT SIGN W/ BATTERY AND EMER. LIGHTS (UTHONIA-LHQM-LED-QUANTUM LED EXIT-UNIT COMBO)

EMERGENCY LIGHT

SMOKE DETECTOR - UNIVERSAL, MODEL SS-790, 120V AC WIRE IN.

VENT - BROAN QTRE110 ULTRA QUIET, MECHANICAL CONTRACTOR TO PROVIDE THE VENT AND DUCT, ELECTRICAL CONTRACTOR TO INSTALL THE WIRING

JUNCTION BOX

SUPPLY 2' x 2' AIR DIFFUSER

2' x 2' AIR RETURN

DAYTON 20UA93 COMBINATION LOUVER/DAMPER WITH FLANGE, 1,559 CFM EXHAUST, 1,090 CFM INTAKE, INSTALLED 13'-0" AFF-IN WALL BETWEEN THE LOCKER ROOMS

# **CEILING MATERIAL LEGEND**

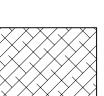


2X4 ACOUSTICAL LAY-IN CEILING

ACT 3 - 2X4 ACOUSTICAL LAY-IN CEILING, ARMSTRONG STRAIGHT EDGE, FINE FISSURED TEXTURE NO. 1729 HUMIGUARD WHITE TILES W/ GRID SYSTEM PRELUDE XL. REFER TO DETAILS FOR INSULATION LOCATIONS AND TYPES.CERTAINTEED CEILINGS FINE FISSURED HHF 197 W/GRID SYSTEM CLASSIC STAB 15/16" IS AN APPROVED EQUAL. INSTALL 1 1/2" ISO BOARD TO THE BOTTOM OF THE ROOF TRUSSES WITH 8" BATT INSULATION BETWEEN THE JOISTS

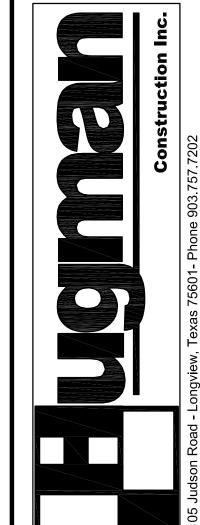
ACT 4 - EXTERIOR LOCATIONS/KITCHENS - NATIONAL GYPSUM PRODUCTS OR USG, GRIDSTONE CEILING PANELS, 2'X 2' OR 2'X4' REFER DRAWINGS -WHITE VINYL LAMINATE W/ GRID SYSTEM - PRELUDE PLUS XL.WHITE ALUMINUM. REFER TO DETAILS FOR INSULATION LOCATIONS AND TYPES.PROVIDE HOLD DOWN CLIPS - TYPICAL. INSTALL 1 1/2" ISO BOARD TO THE BOTTOM OF THE ROOF TRUSSES WITH R-30 BATT INSULATION BETWEEN THE JOISTS.

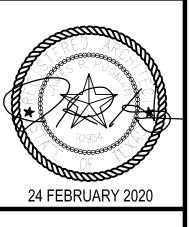
WOOD CEILING-PATCH AS NEEDED FOR REMOVAL OF WALLS, VENTS, ETC. USE WOOD FROM AREAS WITH NEW ACOUSTICAL CEILINGS. INSTALL R-30" BATT INSULATION ABOVE PLANK



INSTALL WOOD PLANK TO MATCH LOBBY CEILING. USE WOOD THAT WAS

REMOVED DURING DEMO.INSULATE PER WOOD CEILING





Kilgor Q

Pool

imming

SW

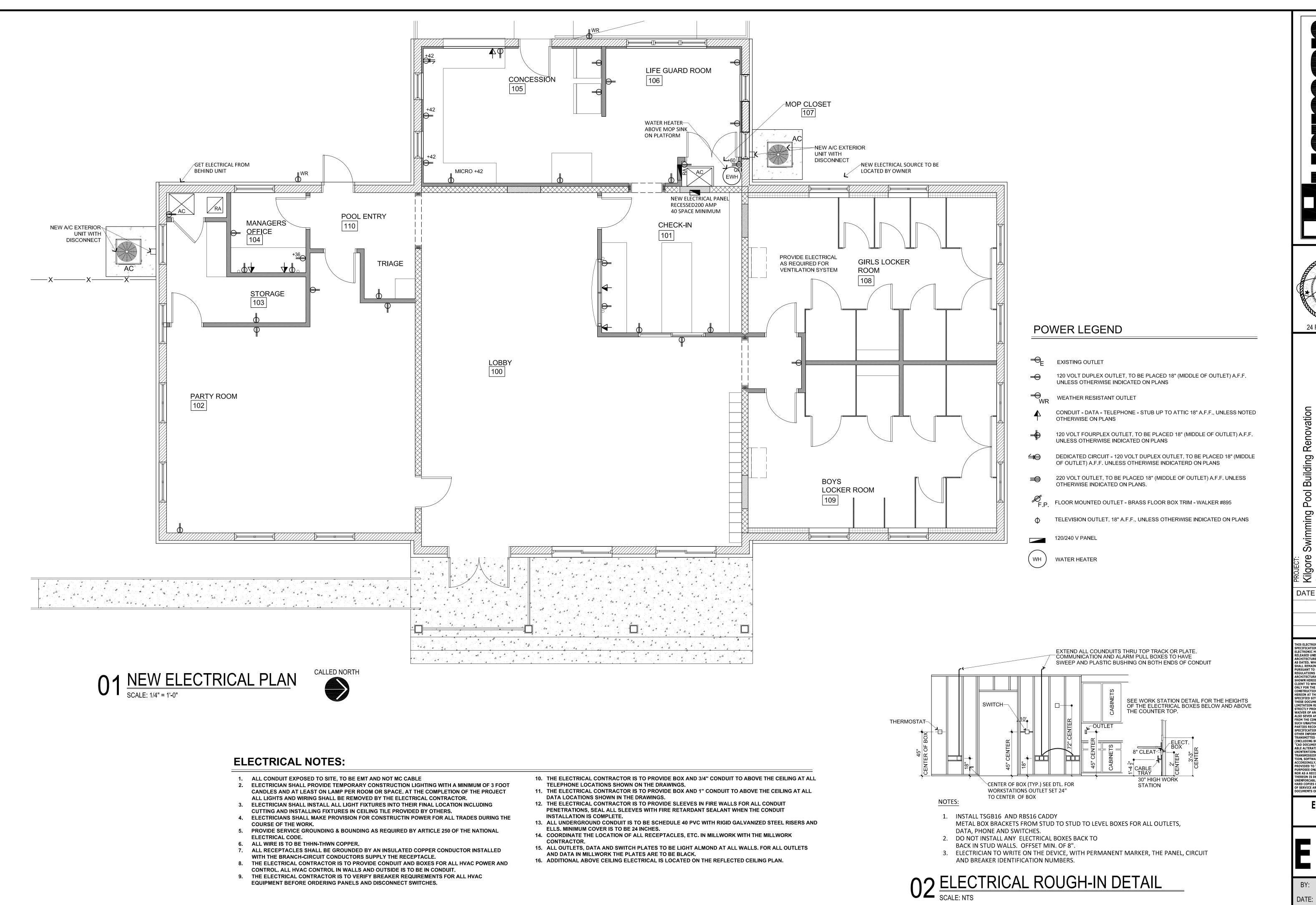
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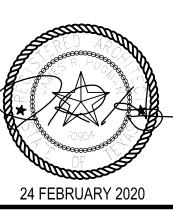
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**ELECTRICAL** 

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