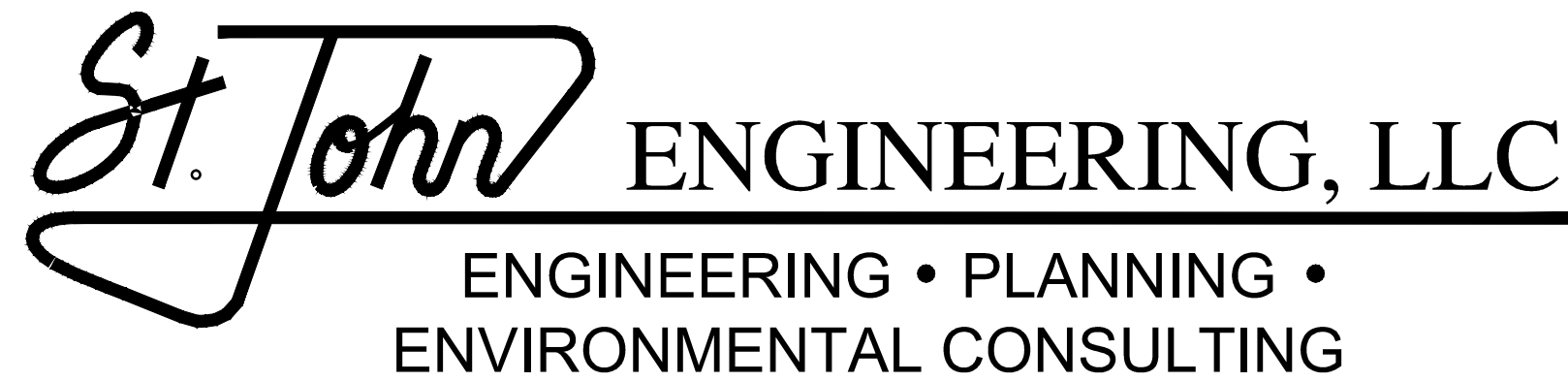


# MANCHESTER FARMER'S MARKET PHASE III BUILDING ERECTION PACKAGE

MANCHESTER SOCCER PARK  
HIGHWAY 55, MANCHESTER, TN 37355



923 JACKSON STREET  
MANCHESTER, TN 37355  
PHONE: (931) 728-2638 ~ FAX: (931) 728-6357  
WWW.STJOHNENGINEERING.COM

**General Notes:**

1. Comply with all applicable codes and regulations. Nothing implicit nor explicit in these documents shall relieve the Contractor of the responsibility of complying with all applicable codes and regulations.
2. Check and verify all existing dimensions and conditions at the site prior to submitting bid. Notify of appropriate Design Professional of any discrepancies. Await clarification from Design Professional before starting work.
3. Do not scale drawings. If dimensions are not indicated, seek clarification from appropriate Design Professional prior to starting work.
4. Coordinate work with other trades as required.
5. Contractor is solely responsible for construction safety.
6. All wood in contact with concrete or masonry, and all wood above the roof deck and at exterior penetrations, window and doors shall be pressure treated with preservative.
7. These drawings are the property of the Design Professional. No changes shall be made to these drawings, in whole or in part, without the knowledge and written consent of the Design Professional of record.

**PHASE III – BUILDING ERECTION PACKAGE  
SCOPE OF WORK:**

This project is part of a larger, on-going, multi-phase project. The work provided under this contract includes, but is not necessarily limited to: The erection of a pre-engineered metal building and the drying-in of the building shell. The building shall be erected on the existing concrete slab that was provided in a previous phase. The materials for the pre-engineered metal building were purchased under a separate contract, referred to as the Metal Building Package.

The Contractor for this Work will be responsible for coordinating this Work with Work provided under other Contracts. Contractor will assume responsibility for the safe storage of products furnished under the previous Metal Building Package materials once materials are satisfactorily delivered to the Site and accepted by the Owner. Contractor shall also coordinate Work and Schedule with other Contractors hired separately by the Owner, including electrical and HVAC.

Work items specifically included in this Contract include, but are not necessarily limited to:

- The erection of all previously purchased pre-engineered metal building components including primary structural frame, secondary framing members, metal wall and roof panels, gutters, downspouts, exterior hollow metal doors, interior metal wall panels, and awnings.
- Provide all roof and exterior wall insulation.
- Provide adhered manufactured stone wainscot assembly.
- Provide concessions window and counter.
- Provide indicated concrete aprons.
- Provide all trim, accessories, prep and other work as required to complete the dry-in of the building shell.

Work specifically excluded from this Contract includes, but is not necessarily limited to:

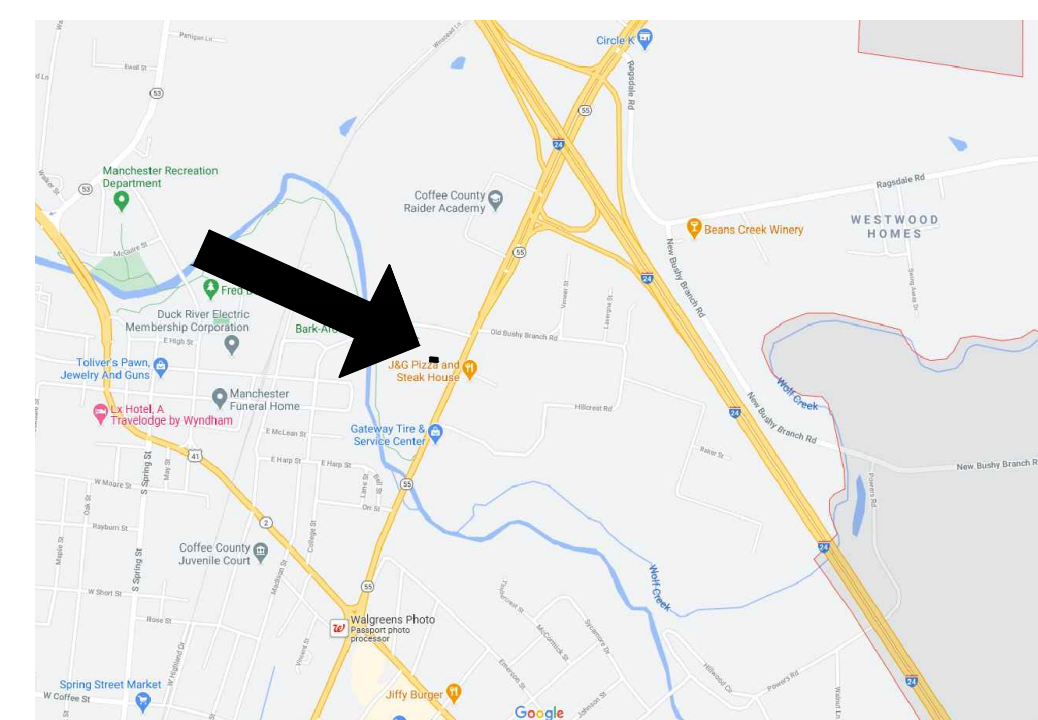
- Storefront windows and doors provided by others
- HVAC provided by others
- Electrical provided by others

**TERMINOLOGY**

REFER TO SHEET A2.1 AND PARAGRAPH 1.02.E. OF THE GENERAL CONDITIONS OF THE CONTRACT FOR THE USE OF THE TERMS FURNISH, INSTALL, AND PROVIDE.

OWNER'S CONTACT INFORMATION:  
Manchester Department of Parks & Recreation  
AJ Fox, Director  
557 N. Woodland Street  
Manchester, TN 37355  
(931) 728-0273

INDEX OF DRAWINGS				
DWG. NO.	DRAWING DESCRIPTION	SHEET ISSUE DATE	CURRENT REVISION DESCRIPTION	SHEET ISSUE DATE
<b>GENERAL</b>				
	COVER SHEET	10/5/2021		
<b>CIVIL</b>				
C1.1	GRADING, DRAINAGE & EROSION CONTROL PLAN	10/5/2021		
C2.1	DETAILS	10/5/2021		
<b>ARCHITECTURAL</b>				
LS1.1	LIFE SAFETY PLAN	3/17/2021	REVISED FOR PHASE III	10/5/2021
A1.1	FLOOR PLAN	10/5/2021		
A2.1	ELEVATIONS	10/5/2021		
A2.2	ELEVATIONS, SECTIONS & DETAIL	10/5/2021		
A5.1	SCHEDULES	10/5/2021		



PROJECT LOCATION MAP  
NTS

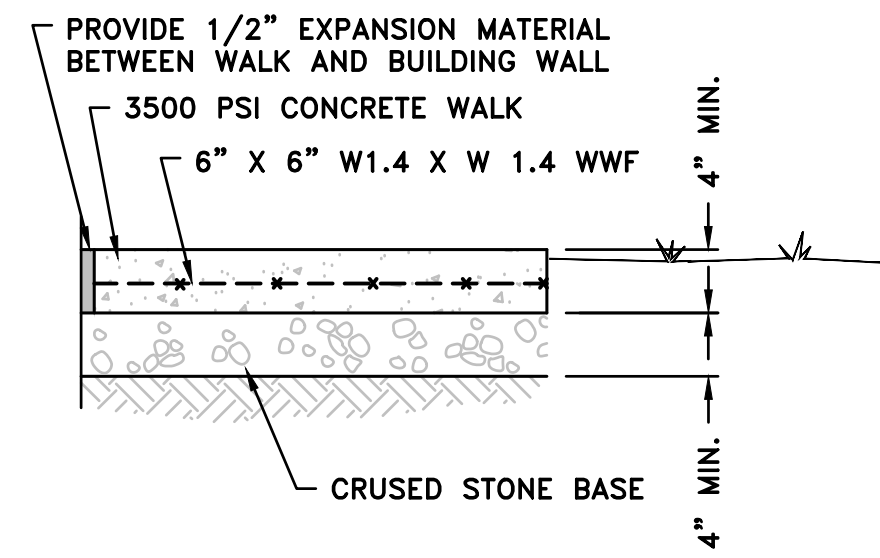
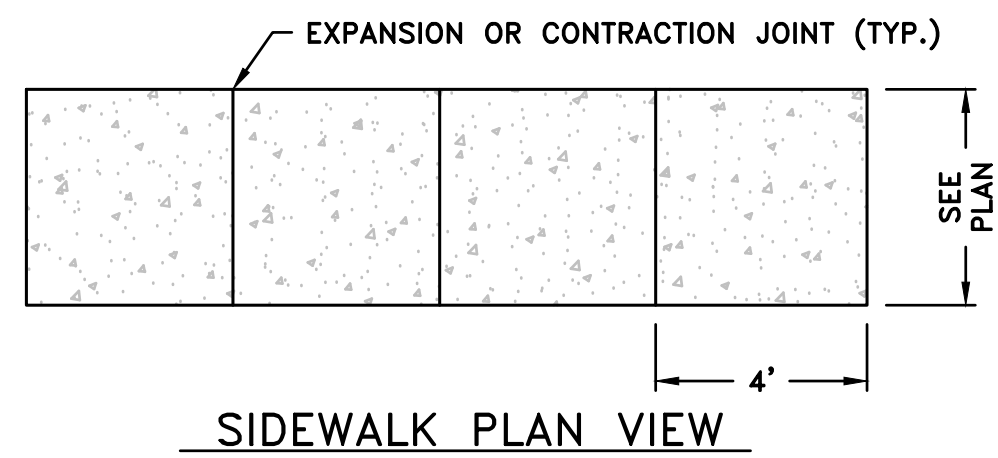
STAMPS	
CIVIL	ARCHITECTURAL

ABBREVIATION	DESCRIPTION
A.C.T.	ACOUSTICAL CEILING TILE
A.F.F.	ABOVE FINISH FLOOR
ALT.	ALTERNATE
BD.	BOARD
BLK'G	BLOCKING
B.M.	BENCH MARK
B.O.J.	BOTTOM OF JOIST
BOT.	BOTTOM
CAB.	CABINET
CEM.	CEMENT
C.G.	CORNER GUARD
CLG.	CEILING
CLR.	CLEAR
CL	CENTER LINE
C.M.U.	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
COORD.	COORDINATE
CPT.	CARPET
C.T.	CERAMIC TILE
C.J.	CONTROL JOINT
CTR.	CENTER
DIA.	DIAMETER
DIM.	DIMENSION
DIR.	DIRECTION
DN.	DOWN
DWG.	DRAWING
EA.	EACH
ELEC.	ELECTRIC
ELEV/EL.	ELEVATION/ ELEVATOR
E.F.	EXHAUST FAN
E.I.F.S.	EXTERIOR INSULATED FINISH SYSTEM
E.O.S.	EDGE OF SLAB
E.P.D.M.	ETHYLENE PROPYLENE DIENE MONOMER
EQ.	EQUAL
EQUIP.	EQUIPMENT
E.W.C.	ELECTRIC WATER COOLER
EXIST.	EXISTING
EXP.	EXPOSED
EXP. JT.	EXPANSION JOINT
EXT.	EXTERIOR
F.E.	FINISHED END
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
F.F.E.	FINISH FLOOR ELEVATION
F.F.R.	FURNITURE, FINISHES & EQUIPMENT
FIN.	FINISH
FIXT.	FIXTURE
FLASH.	FLASHING
F.L.R.	FLOOR
F.O.B.	FACE OF BRICK
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.R.	FIRE RESISTIVE/ FIRE RETARDANT
FT.	FOOT/ FEET
FTG.	FOOTING
FURN.	FURNITURE/ FURNISHINGS
GA.	GAUGE
GALV.	GALVANIZED
GYP. BD.	GYPSUM BOARD
GYP.	GYPSUM
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HR.	HOUR
IBC.	INTERNATIONAL BUILDING CODE
I.D.	INSIDE DIAMETER
INSUL.	INSULATION/ INSULATED
INT.	INTERIOR
JT.	JOINT
JST.	JOIST
JST. BRG	JOIST BEARING
K.S.	KNEE SPACE

K.D.	KEYBOARD DRAWER
LAM.	LAMINATE
LAV.	LAVATORY
L.F.	LINEAR FOOT/ FEET
LSC	LIFE SAFETY CODE
LVR.	LOUVER
MAX.	MAXIMUM
MECH.	MECHANICAL
MFG.	MANUFACTURER
M.O.	MASONRY OPENING
MTL.	METAL
MIN.	MINIMUM
M.R.	MOISTURE RESISTANT
N.I.C.	NOT IN CONTRACT
NO. / #	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O.H.	OPPOSITE HAND
P. LAM.	PLASTIC LAMINATE
PLAST.	PLASTIC
PLYWD.	PLYWOOD
PR.	PAIR
PREFAB.	PREFABRICATED
PRESV. T.	PRESERVATIVE TREATED
P.T.	PRESSURE TREATED
Q.T.	QUARRY TILE
QTY.	QUANTITY
RAD.	RADIUS
R.B.	RESILIENT BASE
R.D.	ROOF DRAIN
REBAR.	REINFORCEMENT (STEEL)
RECP.T.	RECEPTACLE
REINF.	REINFORCE/ REINFORCEMENT
RES.	RESILIENT
REQ'D	REQUIRED
RM.	ROOM
R.T.U.	ROOF TOP UNIT
RTRN.	RETURN
SHT.	SHEET
SHEATH.	SHEATHING
SIM.	SIMILAR
SPECS.	SPECIFICATIONS
SQ. IN.	SQUARE INCH/ INCHES
SQ. FT.	SQUARE FOOT/ FEET
STD.	STANDARD
STOR.	STORAGE
STRUCT.	STRUCTURE/ STRUCTURAL
SUSP.	SUSPENDED
SYM.	SYMBOL
TEMP.	TEMPERED/ TEMPERATURE
THK.	THICK/ THICKNESS
TLT.	TOILET
T.O.B.	TOP OF BEAM
T.O.C.	TOP OF CONCRETE/ CURB
T.O.M.	TOP OF MASONRY
T.O.S.	TOP OF STEEL
TYP.	TYPICAL
U.L.	UNDERWRITER'S LABORATORY
U.N.O.	UNLESS NOTED OTHERWISE
V.C.T.	VINYL COMPOSITE TILE
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
VIT.	VITREOUS
VOL.	VOLUME
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
W.G.	WALL GUARD
W.H.	WATER HEATER
W/O	WITHOUT
W.P.	WATER PROOF/ PROOFING
WT.	WEIGHT

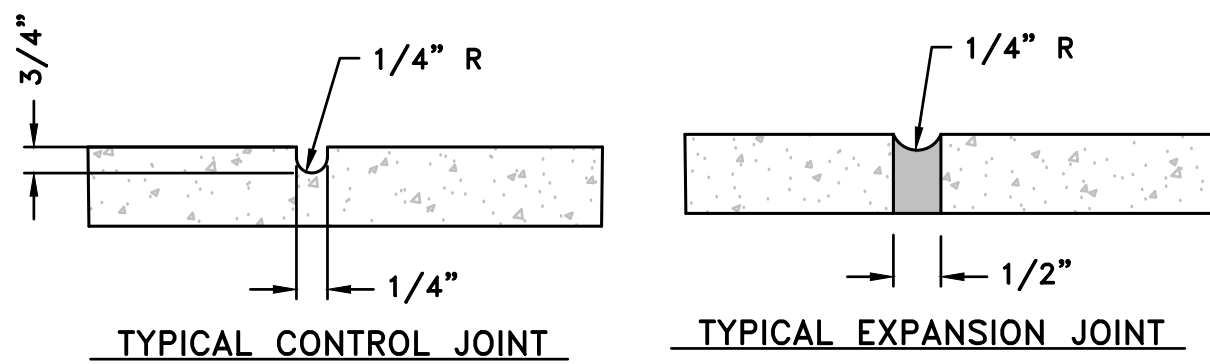






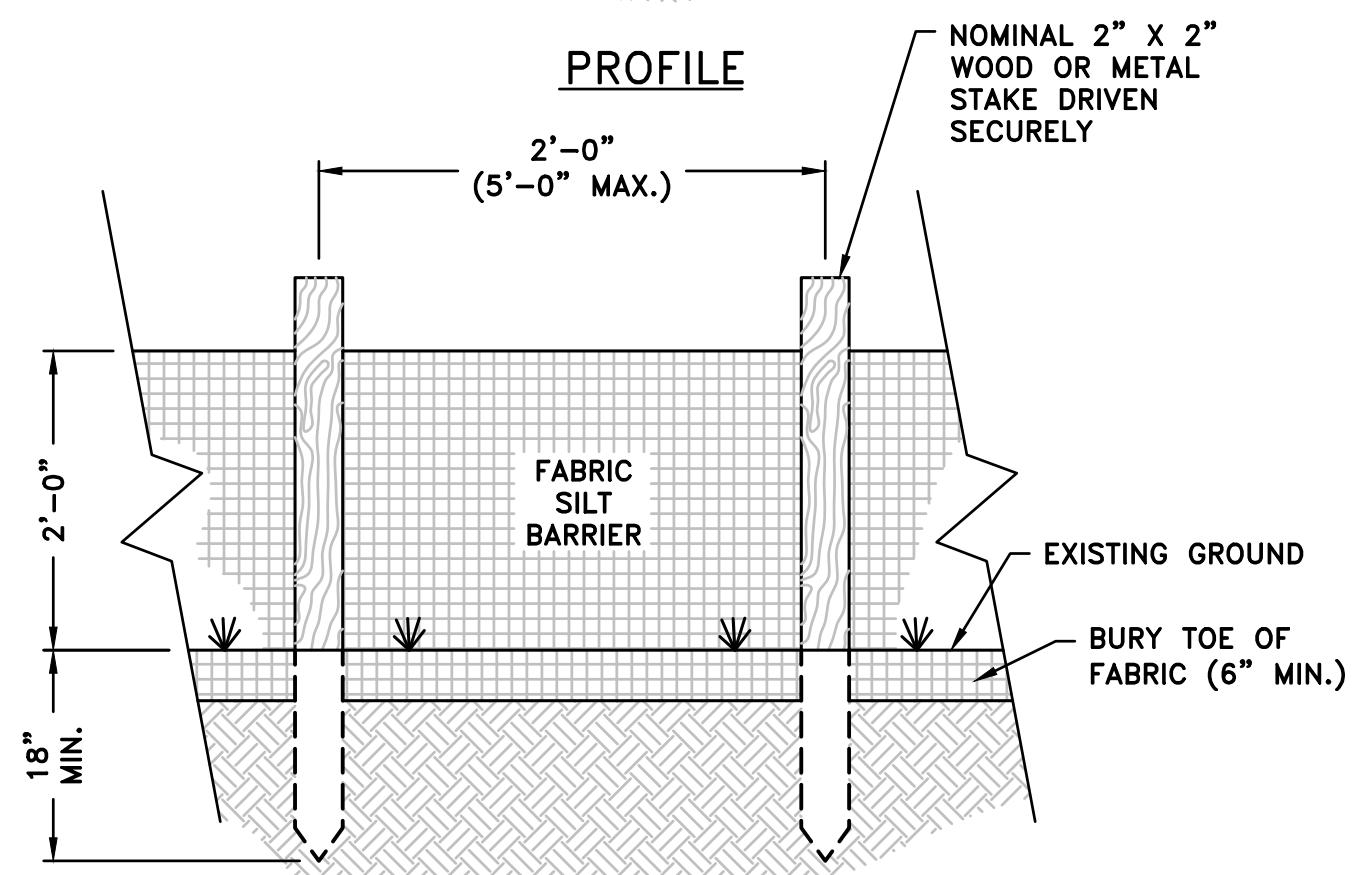
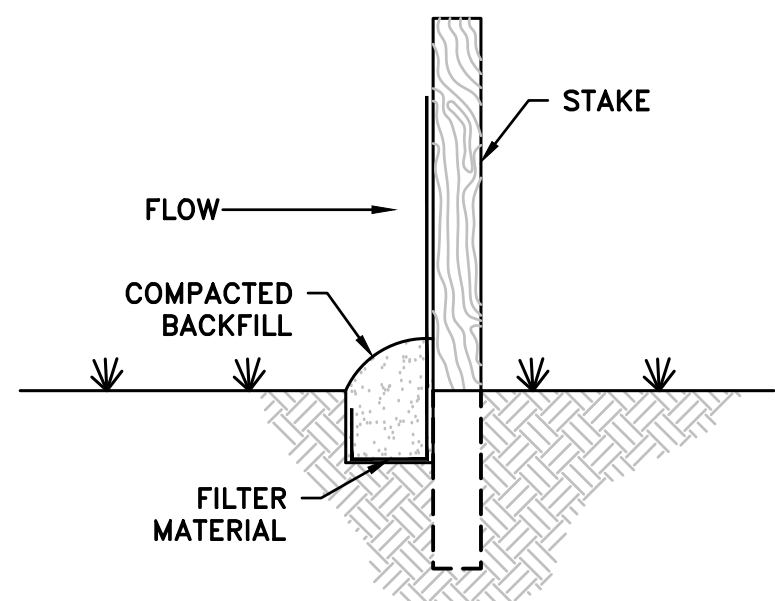
NOTE: THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48. REFER TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION, CHAPTER 4 SECTION 403.3.

**CONCRETE SIDEWALK**  
N.T.S.



NOTE: EXPANSION JOINTS TO BE SPACED A MAX. OF 30' APART OR AS DIRECTED BY THE ENGINEER TO MEET SPACING OF MARKINGS. CONTRACTION JOINTS TO BE EQUALLY SPACED AT 4' MAXIMUM CENTERS BETWEEN EXPANSION JOINTS.

**CONCRETE SIDEWALK JOINTS**  
N.T.S.



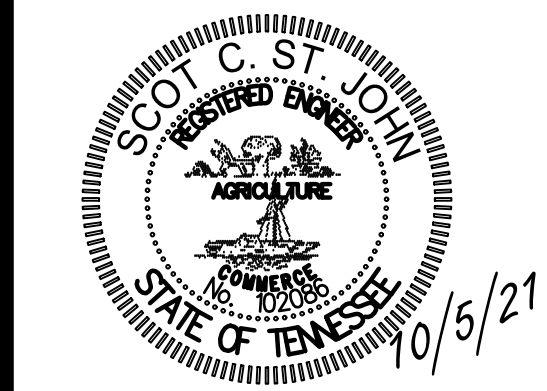
**SILT FENCE**  
N.T.S.

NO	DATE	REVISION	DR.CHK.

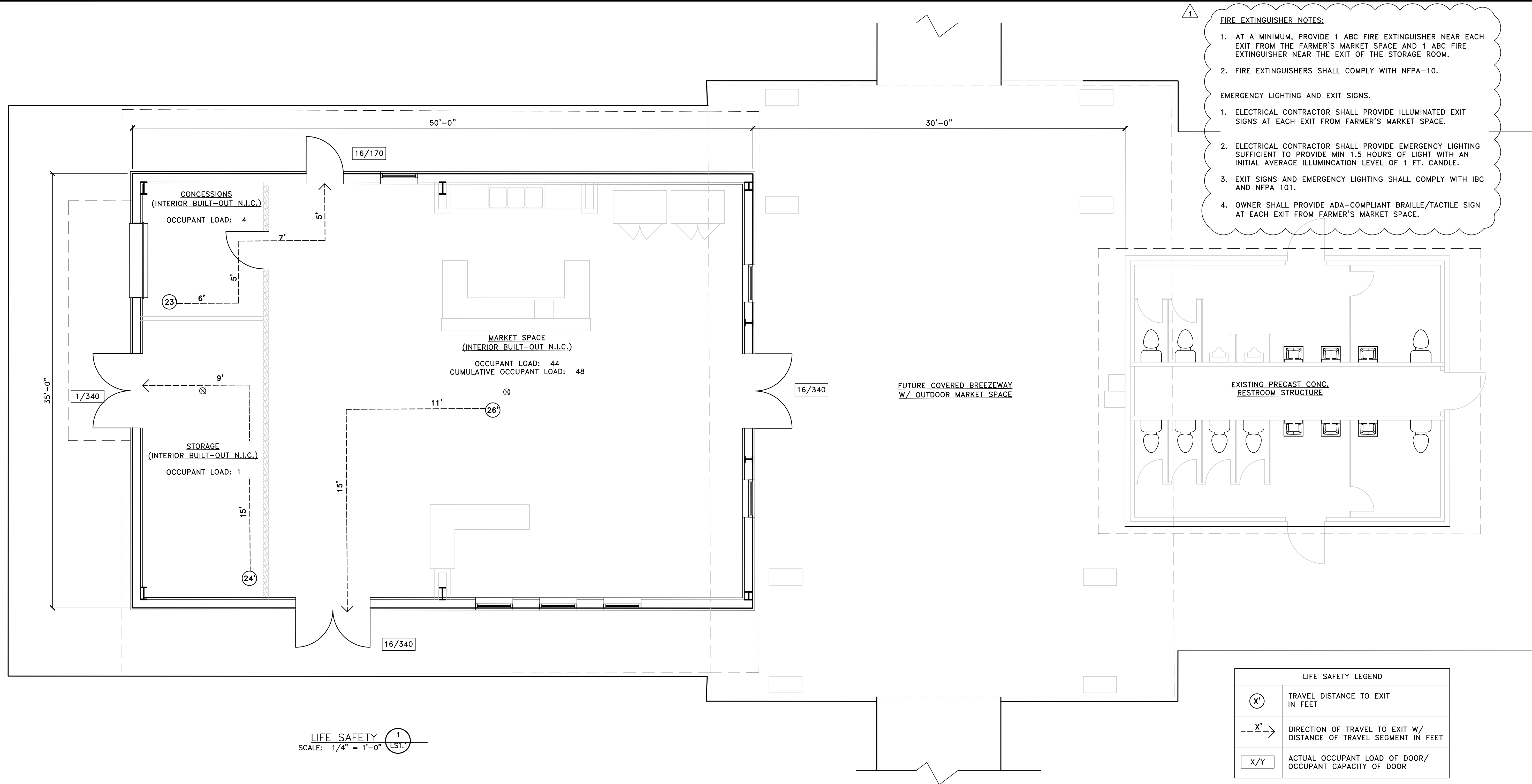
**St. John ENGINEERING, LLC**  
ENGINEERING • PLANNING • ENVIRONMENTAL CONSULTING

623 JACKSON STREET  
MANCHESTER, TN 37130  
PHONE: (615) 726-2688 • FAX: (615) 726-6357  
WWW.STJOHNENGINEERING.COM

**DETAILS**  
**FARMER'S MARKET PHASE III**  
**BUILDING ERECTION PACKAGE**  
City of Manchester  
Manchester Soccer Park



JOB 102-159  
SHEET C2.1  
OF SHEETS



- FIRE EXTINGUISHER NOTES:**
1. AT A MINIMUM, PROVIDE 1 ABC FIRE EXTINGUISHER NEAR EACH EXIT FROM THE FARMER'S MARKET SPACE AND 1 ABC FIRE EXTINGUISHER NEAR THE EXIT OF THE STORAGE ROOM.
  2. FIRE EXTINGUISHERS SHALL COMPLY WITH NFPA-10.
- EMERGENCY LIGHTING AND EXIT SIGNS:**
1. ELECTRICAL CONTRACTOR SHALL PROVIDE ILLUMINATED EXIT SIGNS AT EACH EXIT FROM FARMER'S MARKET SPACE.
  2. ELECTRICAL CONTRACTOR SHALL PROVIDE EMERGENCY LIGHTING SUFFICIENT TO PROVIDE MIN 1.5 HOURS OF LIGHT WITH AN INITIAL AVERAGE ILLUMINATION LEVEL OF 1 FT. CANDLE.
  3. EXIT SIGNS AND EMERGENCY LIGHTING SHALL COMPLY WITH IBC AND NFPA 101.
  4. OWNER SHALL PROVIDE ADA-COMPLIANT BRAILLE/TACTILE SIGN AT EACH EXIT FROM FARMER'S MARKET SPACE.

**LIFE SAFETY**  
SCALE: 1/4" = 1'-0"

LIFE SAFETY LEGEND	
(X)	TRAVEL DISTANCE TO EXIT IN FEET
--X'-->	DIRECTION OF TRAVEL TO EXIT W/ DISTANCE OF TRAVEL SEGMENT IN FEET
X/Y	ACTUAL OCCUPANT LOAD OF DOOR/ OCCUPANT CAPACITY OF DOOR

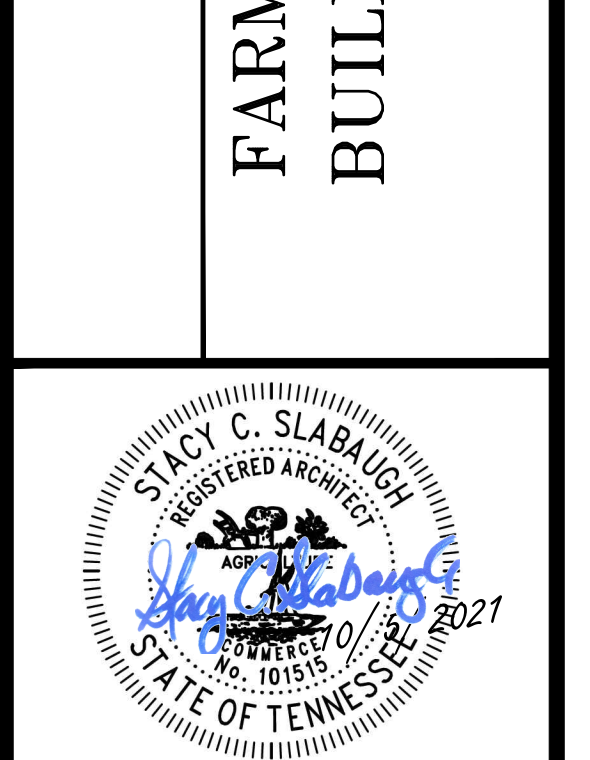
**CODE ANALYSIS**

<p><b>SCOPE OF WORK:</b> Phase III of this project is a Farmer's Market building, which includes the erection of a pre-engineered metal building package, previously purchased, and work as required to dry in the building shell. Interior building out is not included. The project, when complete, will include market space with concessions window and accessory storage. Related site work includes, but is not limited to concrete aprons. A future breezeway with exterior market space will connect the Farmer's Market to the existing precast concrete restroom facility on site, creating a single larger building per code definition. The life safety plan and building code analysis includes the future breezeway and existing restrooms.</p> <p>BUILDING SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS, INCLUDING BUT NOT LIMITED TO:</p> <ul style="list-style-type: none"> <li>• 2012 INTERNATIONAL BUILDING CODE</li> <li>• 2012 INTERNATIONAL FIRE CODE</li> <li>• 2012 INTERNATIONAL MECHANICAL CODE</li> <li>• 2012 INTERNATIONAL PLUMBING CODE</li> <li>• 2009 INTERNATIONAL ENERGY CONSERVATION CODE</li> <li>• 2010 ADA DESIGN STANDARDS</li> </ul>	<p><b>OCCUPANCY CLASSIFICATION (SECTION 309):</b> M MERCANTILE This building will be used for the display and sale of food products. Accessory storage: 219 sf storage / 4,650 sf total = 5% total building area</p> <p><b>CONSTRUCTION TYPE (SECTION 602):</b> VB, Non-sprinklered, non-protected <b>PHASE II (FARMER'S MARKET BUILDING SHELL ONLY):</b> PRIMARY STRUCTURAL FRAME: STEEL, PRE-ENGINEERED METAL BUILDING EXTERIOR BEARING WALLS: N/A INTERIOR BEARING WALLS: N/A EXTERIOR NON LOAD BEARING WALLS: METAL GIRTS SUPPORTING METAL PANELS &amp; INSULATION MASONRY WAINSCOT INTERIOR NON LOAD BEARING WALLS: Wood FLOOR: CONCRETE SLAB ROOF STRUCTURE: METAL PURLINS SUPPORTING METAL PANELS &amp; INSULATION</p> <p><b>EXISTING RESTROOM STRUCTURE ON SITE:</b> PRECAST CONCRETE</p>	<p><b>BUILDING HEIGHT AND AREA:</b> ALLOWABLE BUILDING AREA PER TABLE 503: GROUP M, TYPE VB (WITHOUT MODIFICATIONS) 9,000 SF SECTION 506.2 FRONTAGE INCREASE 75 x 9,000 TOTAL ALLOWABLE AREA 15,750 SF</p> <p><b>ACTUAL BUILDING AREA:</b> PHASE II FOOT PRINT 1,750 SF PHASE II OVERHANGS AND CANOPIES 658 SF PHASE II TOTAL BUILDING UNDER ROOF 2,408 SF TOTAL PROJECT, ALL PHASES, ESTIMATED 4,650 SF</p> <p>ALLOWABLE STORIES PER TABLE 503: 1 STORIES ACTUAL STORIES: 1 STORY</p> <p>ALLOWABLE HEIGHT PER TABLE 503: 40' PHASE II HEIGHT: =12'-6" (MEASURED FROM AVERAGE GRADE TO AVERAGE ROOF HEIGHT) FUTURE BREEZEWAY (ESTIMATED) =15'-0"</p>	<p><b>FIRE RESISTANCE RATING REQUIREMENTS:</b> PER TABLE 601, TYPE VB CONSTRUCTION PRIMARY STRUCTURAL FRAME: 0 EXTERIOR BEARING WALLS: 0 INTERIOR BEARING WALLS: 0 EXTERIOR NON LOAD BEARING WALLS: PER TABLE 602 INTERIOR NON LOAD BEARING WALLS: 0 FLOOR: 0 ROOF: 0</p> <p>REQUIRED FIRE RESISTANCE RATINGS BASED ON FIRE SEPARATION DISTANCE PER TABLE 602, TYPE VB CONSTRUCTION &gt;10': 0</p> <p>OCCUPANT LOAD PER TABLE 1004.1.2 MARKET: 1,296 SF / 30 OCC/SF = 44 OCCUPANTS STORAGE: 219 SF / 300 OCC/SF = 1 OCCUPANT CONCESSIONS: 106 SF / 30 OCC/SF = 4 OCCUPANTS</p> <p>MAX. TRAVEL DISTANCE PER TABLE 1016.2: 200' ACTUAL TRAVEL DISTANCE: SEE PLAN</p> <p>DOOR CAPACITY PER SECTION 1005.3.2: 170 OCCUPANTS/ 36" DOOR</p>
--	---	--	---

NO	DATE	REVISION	DR.	CHK.
1	10/5/21	CODES REVIEW		

**St. John ENGINEERING, LLC**  
ENGINEERING • PLANNING • ENVIRONMENTAL CONSULTING  
623 JACKSON STREET  
MANASSAS, VA 20108  
PHONE: (831) 726-2384 • FAX: (831) 728-6357  
WWW.STJOHNENGINEERING.COM

**LIFE SAFETY**  
**FARMER'S MARKET PHASE III**  
**BUILDING ERECTION PACKAGE**  
City of Manchester  
Manchester Soccer Park



JOB 102-159  
SHEET LS1.1  
OF SHEETS

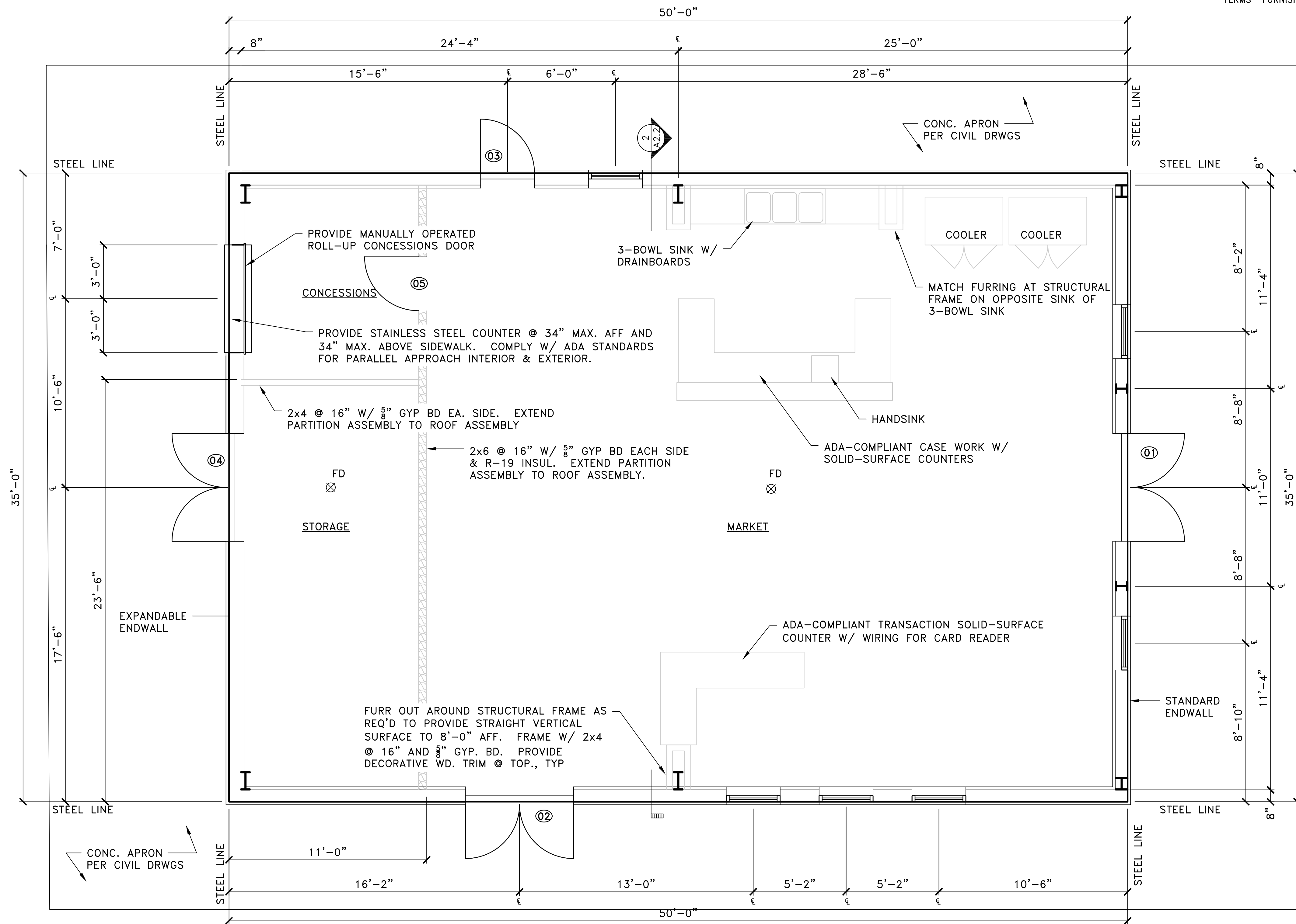
OCTOBER 5, 2021



**NOTES:**

1. INTERIOR BUILD-OUT N.I.C.
2. CO-ORDINATE WORK ITEMS AND SCHEDULING WITH METAL BUILDING PACKAGE CONTRACTOR. COORDINATE OPENING SIZES AND LOCATIONS OF PENETRATIONS WITH METAL BUILDING PACKAGE CONTRACTOR.
3. PERFORM WORK BASED ON ERECTION DETAILS PROVIDED BY METAL BUILDING MANUFACTURER. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS AND ERECTION DRAWINGS.
4. VERIFY OPENING LOCATIONS AND SIZES WITH METAL BUILDING DRAWINGS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
5. CO-ORDINATE WORK WITH OTHER CONTRACTORS INCLUDING HVAC AND ELECTRICAL. DO NOT ENCLOSE WALLS UNTIL OTHER CONTRACTORS HAVE HAD ACCESS TO RUN WIRE, CONDUIT, ETC.
6. CONFIRM LOCATION OF HVAC EQUIPMENT WITH HVAC CONTRACTOR PRIOR TO POURING CONCRETE APRON. PROVIDE ADDITIONAL CONCRETE WORK AT UNIT PRICE AS/IF DIRECTED BY ARCHITECT TO ACCOMMODATE EQUIPMENT PAD AND WALKWAYS.

NOTES:  
SEE SCOPE OF WORK ON COVER SHEET REGARDING SCOPE OF WORK PROVIDED UNDER THIS PHASE OF DESIGN.  
  
SEE NOTES ON SHEET A2.1 REGARDING USE OF TERMS "FURNISH", "INSTALL", AND "PROVIDE."

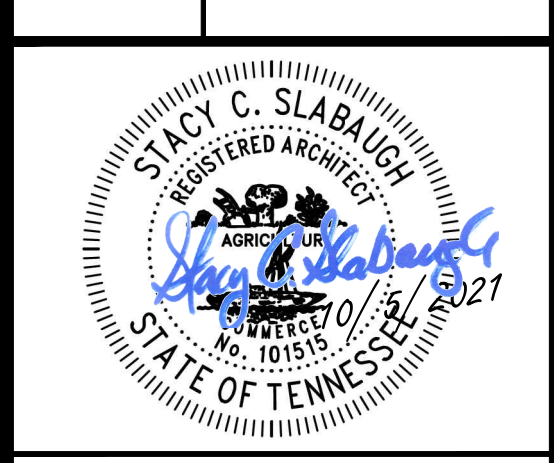


FLOOR PLAN 1  
SCALE: 1/4" = 1'-0" (A1.1)

NO	DATE	REVISION	DR.	CHK.

**St. John ENGINEERING, LLC**  
ENGINEERING • PLANNING • ENVIRONMENTAL CONSULTING  
623 JACKSON STREET  
MANASSAS, VA 20108  
PHONE: (831) 726-2384 - FAX: (831) 728-6357  
WWW.STJOHNENGINEERING.COM

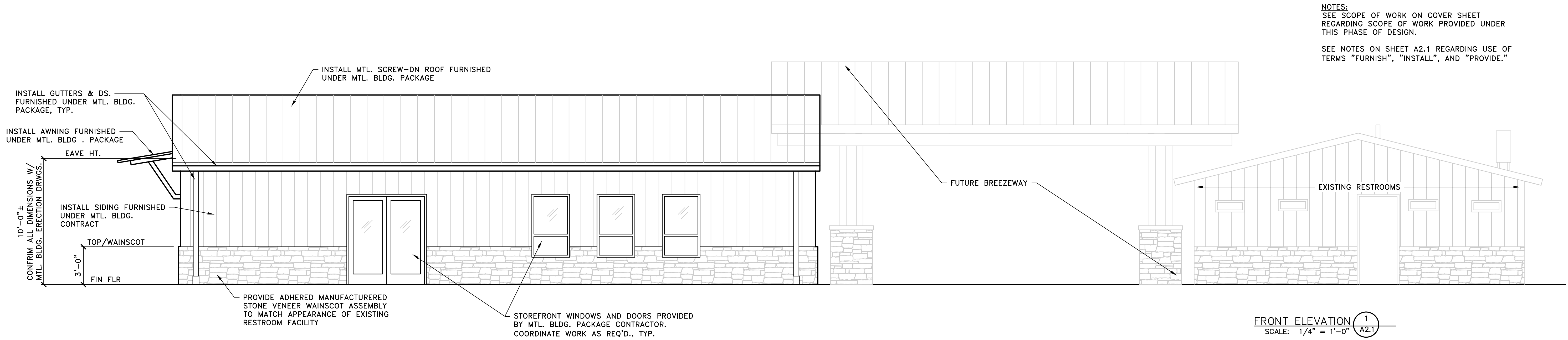
**FLOOR PLAN**  
**FARMER'S MARKET PHASE III**  
**BUILDING ERECTION PACKAGE**  
City of Manchester  
Manchester Soccer Park



JOB 102-159

SHEET **A1.1**  
OF SHEETS

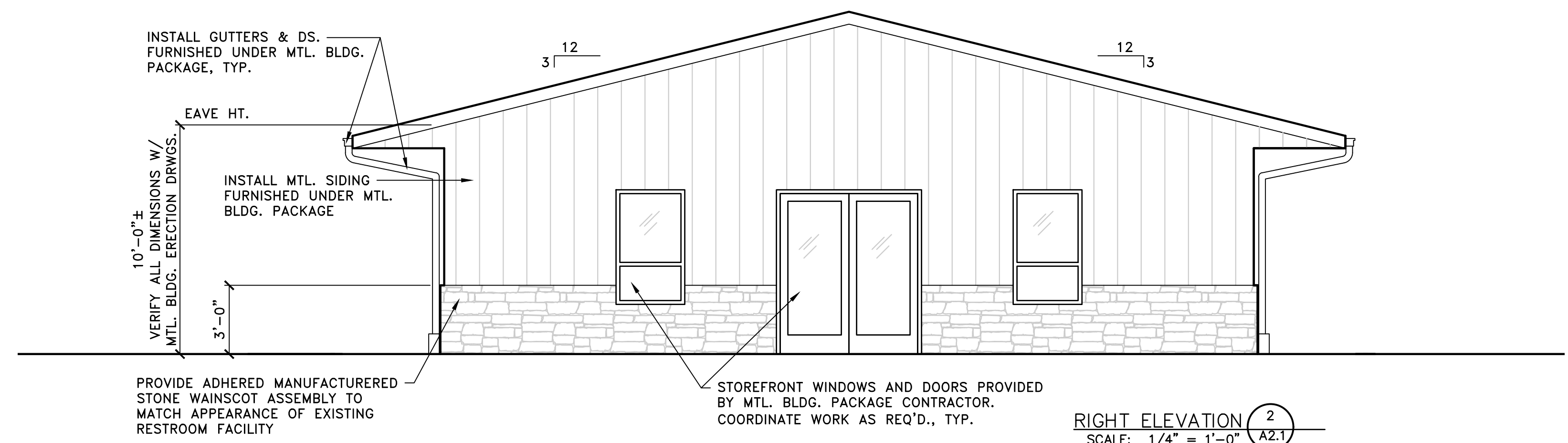
OCTOBER 5, 2021



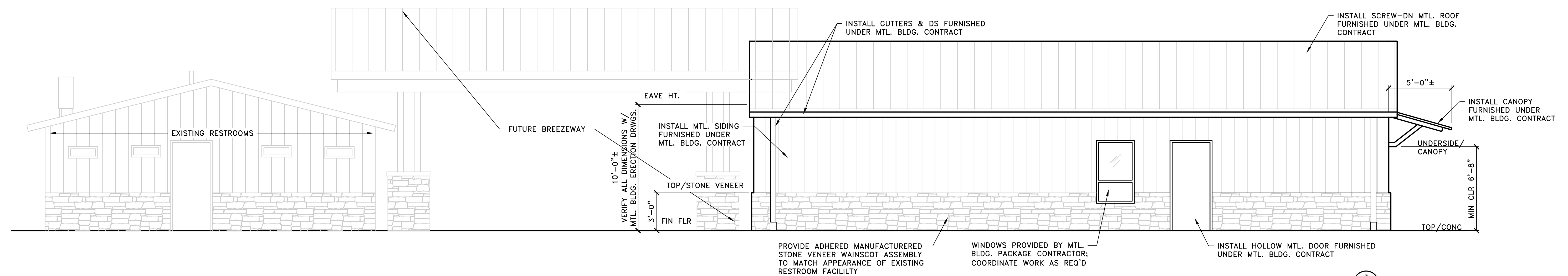
FRONT ELEVATION <sup>1</sup>  
SCALE: 1/4" = 1'-0" A2.1

Note:  
The following terms are used in consistence with standard construction terminology and are defined in the following manner in the EJCDC Standard General Conditions of the Construction Contract, Document C-700, included in the Project Manual:

1. The word "furnish," when used in connection with services, materials, or equipment, means to supply and deliver said services, materials, or equipment to the Site (or some other specified location) ready for use or installation and in usable or operable condition.
2. The word "install," when used in connection with services, materials, or equipment, means to put into use or place in final position said services, materials, or equipment complete and ready for intended use.
3. The words "perform" or "provide," when used in connection with services, materials, or equipment, means to furnish and install said services, materials, or equipment complete and ready for intended use.



RIGHT ELEVATION <sup>2</sup>  
SCALE: 1/4" = 1'-0" A2.1

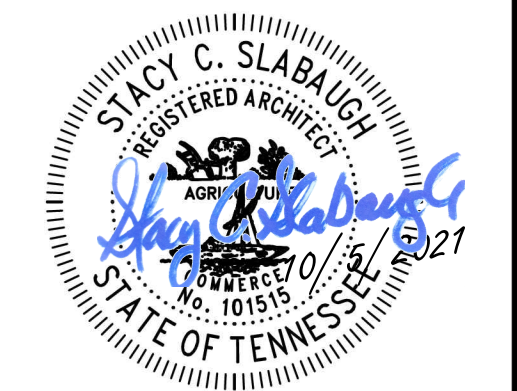


REAR ELEVATION <sup>3</sup>  
SCALE: 1/4" = 1'-0" A2.1

NO	DATE	REVISION	DR.	CHK.

**St. John** ENGINEERING, LLC  
ENGINEERING • PLANNING • ENVIRONMENTAL CONSULTING  
623 JACKSON STREET  
MANASSAS, VA 20108  
PHONE: (831) 726-2688 • FAX: (831) 726-6357  
WWW.STJOHNENGINEERING.COM

**ELEVATIONS**  
**FARMER'S MARKET PHASE III**  
**BUILDING ERECTION PACKAGE**  
City of Manchester  
Manchester Soccer Park



JOB 102-159

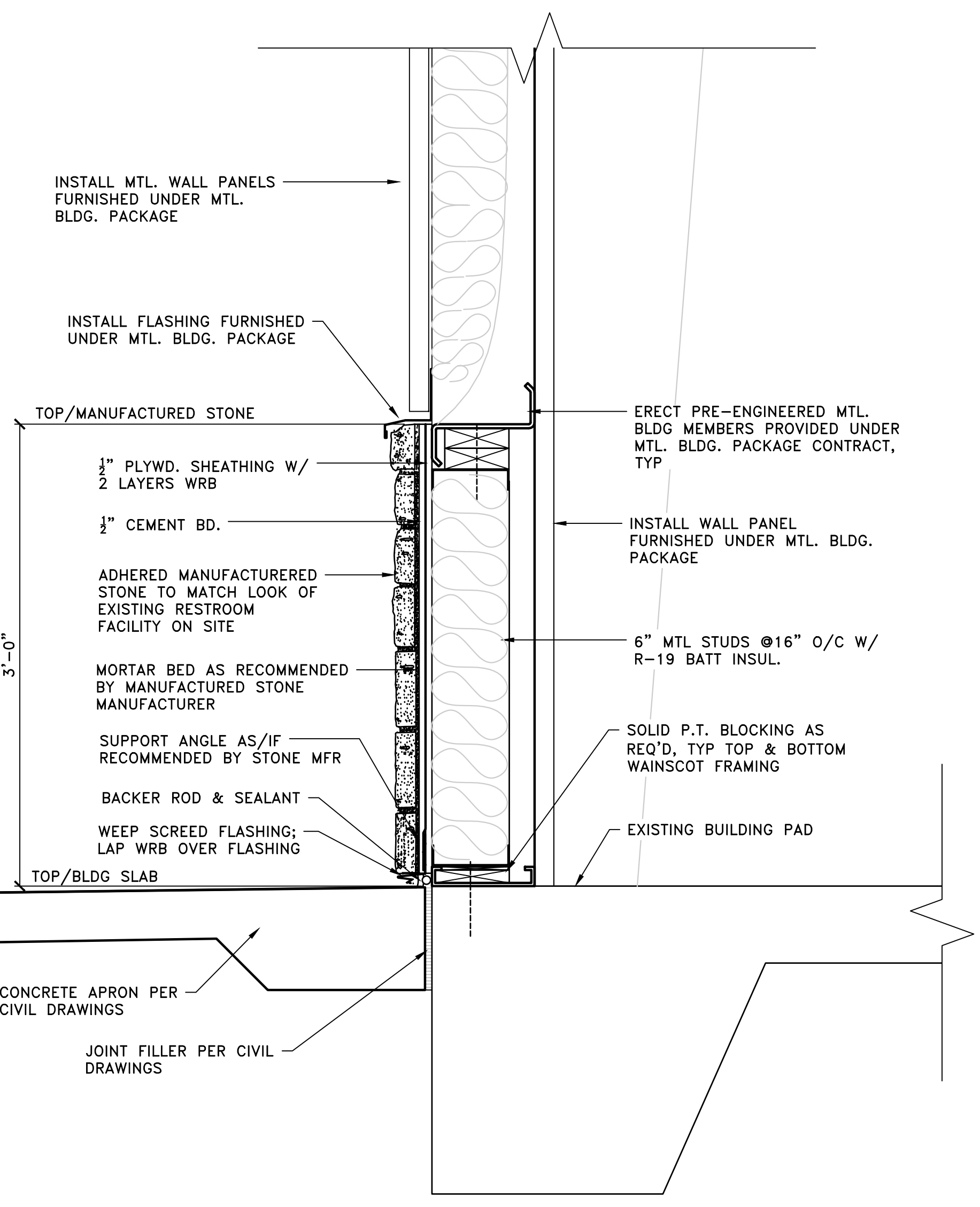
SHEET  
OF **A2.1** SHEETS

OCTOBER 5, 2021

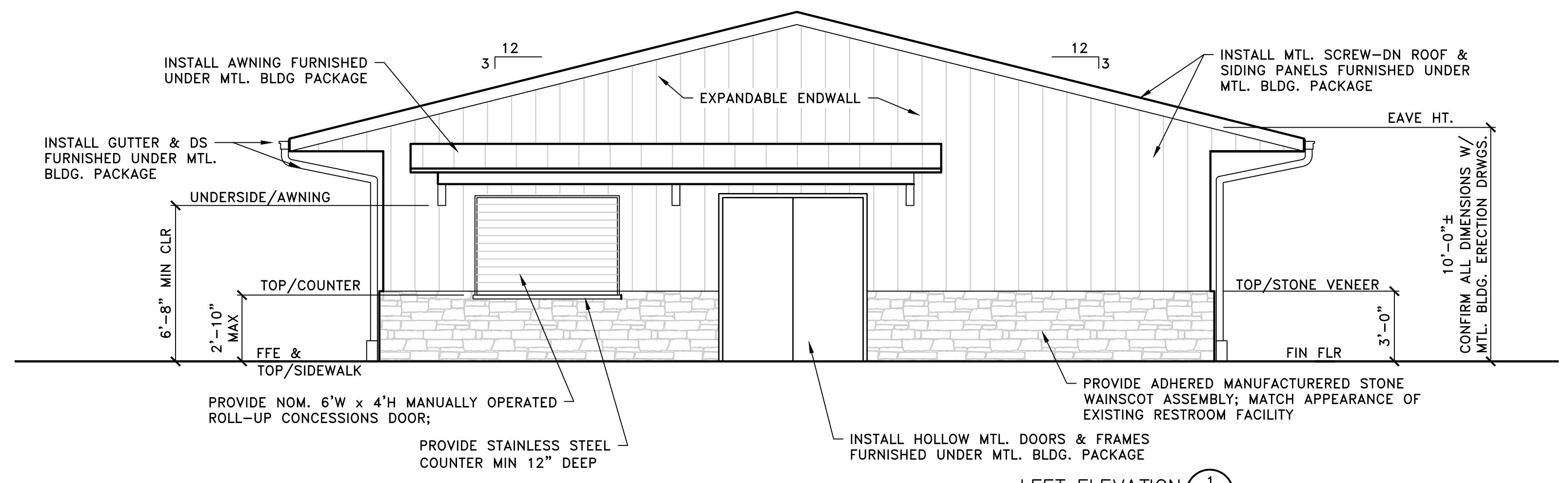


NOTES:  
 SEE SCOPE OF WORK ON COVER SHEET REGARDING SCOPE OF WORK PROVIDED UNDER THIS PHASE OF DESIGN.  
 SEE NOTES ON SHEET A2.1 REGARDING USE OF TERMS "FURNISH", "INSTALL", AND "PROVIDE."

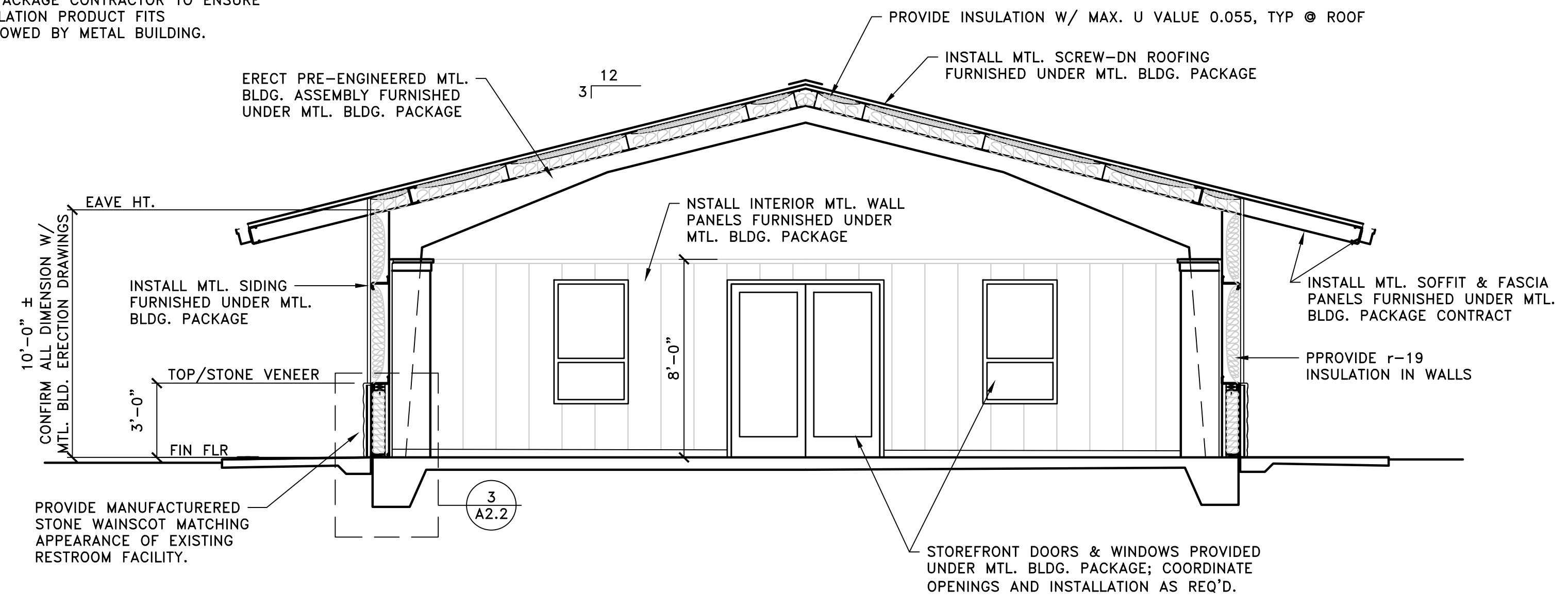
NO	DATE	REVISION	DR.	CHK.



STONE WAINSCOT ASSEMBLY DETAIL 3  
 SCALE: 1 1/2" = 1'-0" A2.2



NOTE:  
 COORDINATE INSULATION SIZE W/ METAL BUILDING PACKAGE CONTRACTOR TO ENSURE THAT INSULATION PRODUCT FITS SPACE ALLOWED BY METAL BUILDING.



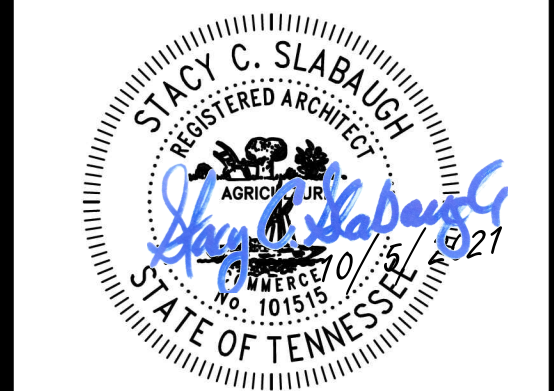
**St. John Engineering, LLC**  
 ENGINEERING • PLANNING • ENVIRONMENTAL CONSULTING

623 JACKSON STREET  
 MANASSAS, VA 20108  
 PHONE: (831) 726-2688 • FAX: (831) 726-6357  
 WWW.STJOHNENGINEERING.COM

ELEVATIONS, SECTIONS & DETAIL

FARMER'S MARKET PHASE III BUILDING ERECTION PACKAGE

City of Manchester  
 Manchester Soccer Park



JOB 102-159

SHEET A2.2 OF SHEETS

OCTOBER 5, 2021

**DOOR SCHEDULE NOTES:**

- DN1 STOREFRONT DOORS SHALL BE WIDE STILE, INSULATED SAFETY GLASS.
- DN2 HOLLOW METAL DOORS SHALL BE 1-3/4" 20 GA. WITH 16 GA. FRAMES

**GENERAL HARDWARE NOTES:**  
 SETS ARE PROVIDED AS A GENERAL GUIDE. FINAL HARDWARE SHALL BE CONFIRMED BY A CERTIFIED HARDWARE SPECIALIST AS INDICATED IN SPECIFICATIONS.

ALL HARDWARE SHALL BE GRADE 1 COMMERCIAL.

ALL HARDWARE SHALL BE ADA-COMPLIANT

CONTRACTOR SHALL DETERMINE APPROPRIATE TYPE OF BUMPER BASED ON LOCATION OF EACH DOOR AND ITS RELATION TO WALLS AND/OR OTHER ADJACENT SURFACES.

CONFIRM ALL KEYING WITH OWNER.

**HARDWARE SETS**

- 1 THRESHOLD  
 WEATHER STRIPPING AND SEALS  
 2 EXIT HARDWARE W/ LOCKING CYLINDER  
 2 PULL BARS (EXTERIOR)  
 2 CLOSER  
 2 PIVOTS
- 3 THRESHOLD  
 WEATHER STRIPPING AND SEALS  
 EXIT HARDWARE W/ LOCKING CYLINDER  
 PULL BAR (EXTERIOR)  
 CLOSER  
 HINGES
- 4 THRESHOLD  
 WEATHER STRIPPING AND SEALS  
 LEVER SETS W/ STOREROOM LOCK  
 3 PR HINGES  
 KICK PLATE  
 KICK-DN DOOR HOLDER, EA. DOOR
- 5 3 HINGES  
 KICK PLATE  
 LEVER SET W/ CLASSROOM LOCK

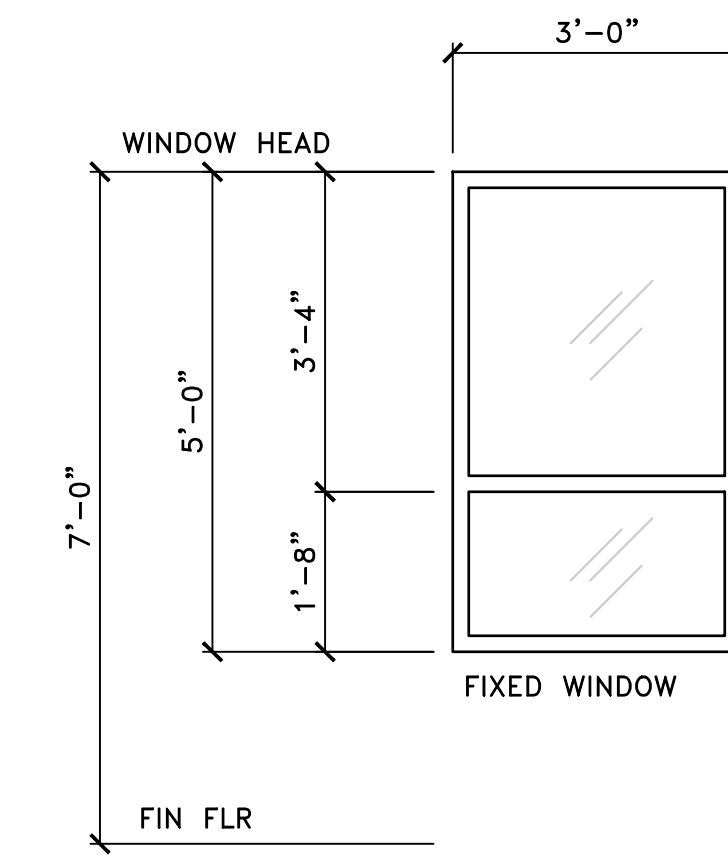
**GENERAL DOOR NOTES:**

ADJUST ALL DOOR CLOSERS TO MEET ADA REQUIREMENTS FOR OPENING FORCE AND MINIMUM TIME TO CLOSE.

PROVIDE ADA-COMPLIANT SIGNAGE AT ALL DOORS (BRAILLE/TACTILE SIGN WITH TEXT AND/OR IMAGES IN COLOR CONTRASTING TO BACKGROUND) .

- DOORS TO EXTERIOR SHALL HAVE EXIT SIGN.
- ALL ROOM DOORS (INCLUDING CLOSETS) SHALL HAVE ROOM NAME SIGN.
- MOUNT ALL SIGNAGE PER ADA.
- CONFIRM ROOM NAMES WITH OWNER.

DOOR SCHEDULE						
NO	TYPE	HARDWARE SET	SIZE	DOOR FRAME MATERIAL		NOTES
				DOOR	FRAME	
01	D	1	PR 3'-0"x7'-0"	ALUM/GLASS	ALUM.	DN1 - PROVIDED BY OTHERS CONTRACTOR; COORDINATE WORK W/ OTHER CONTRACTOR
02	D	1	PR 3'-0"x7'-0"	ALUM/GLASS	ALUM.	DN1 - PROVIDED BY OTHERS CONTRACTOR; COORDINATE WORK W/ OTHER CONTRACTOR
03	B	3	3'-0"x7'-0"	INSUL. H.M	H.M.	DN2 - FURNISHED BY OTHERS; INSTALLED UNDER THIS CONTRACT
04	B1	4	PR 3'-0"x7'-0"	INSUL. H.M	H.M.	DN2 - FURNISHED BY OTHERS; INSTALLED UNDER THIS CONTRACT
05	B	5	3'-0"x7'-0"	INSUL. H.M.	H.M.	DN2 - FUTURE WORK / N.I.C.



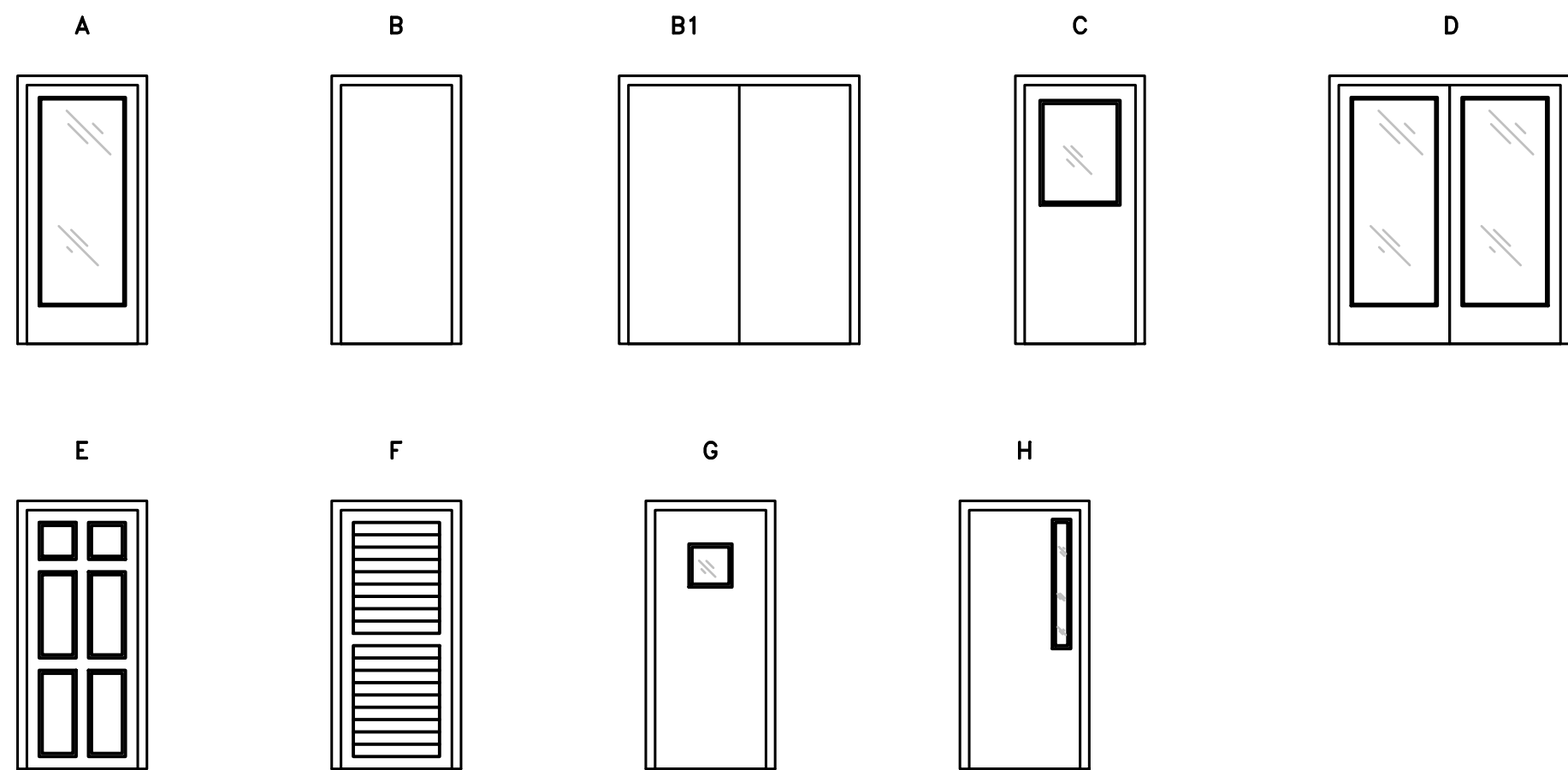
**TYPICAL WINDOW ELEVATION**  
 SCALE: 1/2" = 1'-0"

**WINDOW NOTE:**

WINDOWS PROVIDED UNDER OTHER CONTRACT. COORDINATE WORK.

**FENESTRATION NOTES:**

- Windows shall be double glazed, low-E, argon filled, max. U-value .38, SHGC 0.40.
- Window and store front frames shall be dark bronze or clear anodized aluminum, Owner's choice.
- Store front doors shall be medium style, max. U-value .77, SHGC 0.40.
- Insulated metal doors shall have maximum U-value .61.
- Roll-up door shall have minimum R-value 4.75.



\*INTERIOR BUILD-OUT FUTURE WORK / N.I.C.

ROOM FINISH SCHEDULE*								
ROOM NO.	ROOM NAME	FLOOR	WALLS		BASEBOARD	CEILING		NOTES
			MATL.	COLOR		MATL.	HEIGHT	
	MARKET	F9	W1, W11		4" RUBBER COVE	C7		N1, N2
	CONCESSIONS	F9	W1, W11		4" RUBBER COVE	C7		N1, N2
	STORAGE	F9	W1, W11		4" RUBBER COVE	C7		N1, N2

- | WALLS                       | FLOOR                     | CEILING                        |
|-----------------------------|---------------------------|--------------------------------|
| W1 GYP BD., PAINTED         | F1 VINYL PLANK            | C1 SHEETROCK PAINTED           |
| W2 PANELING                 | F2 CARPET SQUARES         | C2 SHEETROCK SPRAYPAINT FINISH |
| W3 GYP BD., VINYL COVER     | F3 VINYL TILE             | C3 2'x2' ACOUSTICAL TILE       |
| W4 CONCRETE BLOCK PAINTED   | F4 CONCRETE PAINTED       | C4 2'x4' ACOUSTICAL TILE       |
| W5 CONCRETE BLOCK EXPOSED   | F5 CONCRETE EXPOSED       | C5 PLYWOOD PAINTED             |
| W6 METAL PANEL              | F6 QUARRY TILE            | C6 STRUCTURE EXPOSED           |
| W7 OTHER                    | F7 OTHER                  | C7 EXPOSED PURLINS/INSULATION  |
| W8 PARTITION                | F8 MARBLE                 |                                |
| W9 BRICK PAINTED            | F9 CONCRETE, STAINED      |                                |
| W10 TILE WAINSCOT           | (COLOR SELECTED BY OWNER) |                                |
| W11 8'-0" HIGH METAL PANELS |                           |                                |

**ROOM FINISH SCHEDULE NOTES:**

N1 - METAL WALL PANELS LOCATED AT INTERIOR SURFACE OF EXTERIOR WALLS, PROVIDED BY METAL BUILDING SUPPLIER; FINISH SELECTED BY OWNER

N2 - PAINTED GYP BD ON INTERIOR PARTITIONS.

NO	DATE	REVISION	DR.	CHK.

**St. John ENGINEERING, LLC**  
 ENGINEERING • PLANNING • ENVIRONMENTAL CONSULTING  
 623 JACKSON STREET  
 MANASSAS, VA 20108  
 PHONE: (801) 726-2888 • FAX: (801) 718-6357  
 WWW.STJOHNENGINEERING.COM

**SCHEDULES**  
**FARMER'S MARKET PHASE III**  
**BUILDING ERECTION PACKAGE**  
 City of Manchester  
 Manchester Soccer Park

