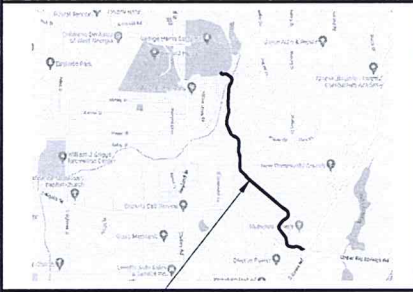


# LAGRANGE THREAD - PHASE 10

## GEORGE HARRIS COMPLEX TO SOUTH DAVIS ROAD

### CITY OF LAGRANGE, GEORGIA



**PROJECT SITE** VICINITY MAP  
N.T.S.

LAND LOTS: 119, 120, & 137 - 6TH DISTRICT

ALL WORK TO BE DONE IN ACCORDANCE WITH THE FOLLOWING APPLICABLE CODES:  
 - THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS & SUPPLEMENTAL SPECIFICATIONS, CURRENT EDITION.  
 - 2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN  
 - ARCHITECTURAL BARRIERS ACT (ABA) ACCESSIBILITY STANDARDS  
 - STANDARD SPECIFICATION FOR HWY BRIDGES 917TH EDITION 2002, PUBLISHED BY THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO)  
 - PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES

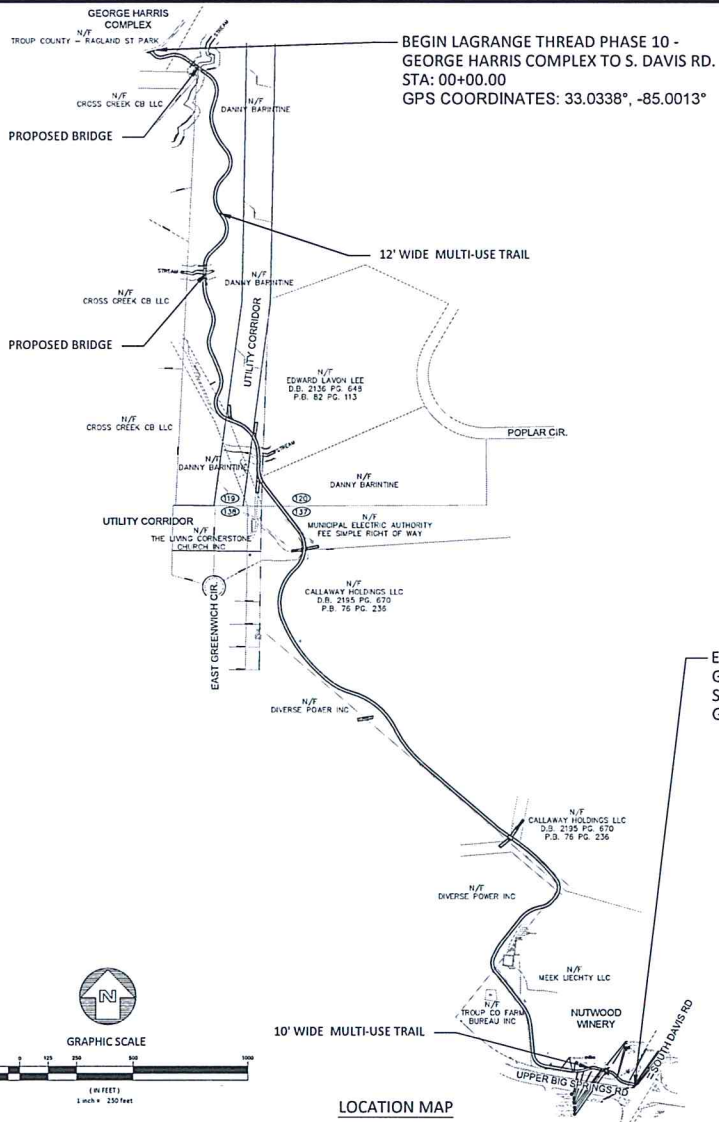
**SURVEY AND COORDINATE DATA**  
 HORIZ. DATUM - GA. STATE PLANE COORDINATE SYSTEM  
 VERT. DATUM - NAVD 1988  
 COORDINATE ZONE - GEORGIA WEST  
 PROJECT UNITS - ENGLISH

**PROJECT DESCRIPTION**  
 THE PROJECT FALLS WITHIN LAND LOTS 119, 120, & 137 IN DISTRICT 6. THIS PROJECT WILL NOT REQUIRE ANY ZONING BUFFERS. THIS IS A TRAIL PROJECT WHICH IS BEING BUILT ON CITY EASEMENT AND CITY PROPERTY. THEREFORE THE PROPOSED USE OF THE PROJECT IS CONSISTENT WITH ZONING. THE LIMITS OF DISTURBANCE IS APPROXIMATELY 6.3 ACRES.

**NARRATIVE**  
 THIS PROJECT IS A GREENWAY TRAIL RUNNING THROUGH CITY EASEMENTS & RIGHT-OF-WAY. THE TRAIL BEGINS AT THE EXISTING THREAD TRAIL AT THE GEORGE HARRIS BASEBALL COMPLEX, HEADS SOUTH THROUGH UTILITY AND PROPERTY EASEMENTS, AND TERMINATES AT THE NUTWOOD WINERY NEAR THE NORTHWEST INTERSECTION OF UPPER BIG SPRINGS ROAD & SOUTH DAVIS ROAD.  
 THE PROJECT SCOPE INCLUDES APPROXIMATELY 6,181 LF OF CONCRETE TRAIL, TRAIL ANCHIENTS, & SIGNAGE. ADDITIONAL WORK ASSOCIATED WITH THE PROJECT INCLUDES MINOR DEMOLITION AND CLEARING, EROSION CONTROL AND GRADING.

**OWNER/DEVELOPER (PRIMARY PERMITTEE)**  
 CITY OF LAGRANGE  
 MEG KELSEY, CITY MANAGER  
 200 RIDLEY AVENUE  
 LAGRANGE, GA 30240  
 706-883-2016

**PROJECT MANAGEMENT**  
 PATH Foundation, PO Box 14327, Atlanta, GA.  
 PETE PELLEGRINI - 24 HOUR CONTACT  
 GA GSW/C LEVEL 1 CERTIFICATION # 0000029813  
 12/21/2023  
 office 404-875-7284 x2 cell 404-277-5392



GROSS LENGTH OF PROJECT: 6,181 LF  
 MAINLINE TRAIL: 6,181 LF  
 SPUR TRAIL: N/A

**TOTAL SITE AREA = 3.55 ACRES**  
**DISTURBED AREA = 6.3 ACRES**

**INDEX OF SHEETS**

**GENERAL**  
 GS-01 COVER SHEET (THIS SHEET)  
 GS-02 GENERAL NOTES

**TOPOGRAPHIC SURVEY**  
 TS-01 TOPOGRAPHIC SURVEY  
 TS-02 TOPOGRAPHIC SURVEY  
 TS-03 TOPOGRAPHIC SURVEY  
 TS-04 TOPOGRAPHIC SURVEY  
 TS-05 TOPOGRAPHIC SURVEY  
 TS-06 TOPOGRAPHIC SURVEY  
 TS-07 TOPOGRAPHIC SURVEY  
 TS-08 TOPOGRAPHIC SURVEY  
 TS-09 TOPOGRAPHIC SURVEY

**TYPICAL SECTIONS**  
 TS-01 TYPICAL SECTIONS

**CENTERLINE STATIONING**  
 CS-01 CENTERLINE STATIONING  
 CS-02 CENTERLINE STATIONING  
 CS-03 CENTERLINE STATIONING  
 CS-04 CENTERLINE STATIONING  
 CS-05 CENTERLINE STATIONING  
 CS-06 CENTERLINE STATIONING  
 CS-07 CENTERLINE STATIONING  
 CS-08 CENTERLINE STATIONING

**CONSTRUCTION PLANS**  
 CP-01 CONSTRUCTION PLAN  
 CP-02 CONSTRUCTION PLAN  
 CP-03 CONSTRUCTION PLAN  
 CP-04 CONSTRUCTION PLAN  
 CP-05 CONSTRUCTION PLAN  
 CP-06 CONSTRUCTION PLAN  
 CP-07 CONSTRUCTION PLAN  
 CP-08 CONSTRUCTION PLAN

**STORM SEWER PROFILES**  
 SP-01 STORM SEWER PROFILES

**CONSTRUCTION DETAILS**  
 CD-01 CONSTRUCTION DETAILS  
 CD-02 CONSTRUCTION DETAILS  
 CD-03 CONSTRUCTION DETAILS  
 CD-04 CONSTRUCTION DETAILS  
 CD-05 CONSTRUCTION DETAILS

**STRUCTURAL PLANS**  
 S-01 GENERAL NOTES & TYPICAL DETAILS  
 S-02 TYP. DET. DETAILS & TYP. HANDRAIL DETAILS  
 S-1.01 STIL. BRIDGE SITE PLAN  
 S-1.1 STRUCTURAL DETAILS  
 S-2.01 STIL. BRIDGE SITE PLAN  
 S-2.1 STRUCTURAL DETAILS  
 S-3.0 STRUCTURAL SLAB SITE PLANS & SECTION DETAIL

**SIGNING & MARKING PLANS**  
 SM-00 SIGNING & MARKING DETAILS  
 SM-01 SIGNING & MARKING PLAN  
 SM-02 SIGNING & MARKING PLAN  
 SM-03 SIGNING & MARKING PLAN  
 SM-04 SIGNING & MARKING PLAN  
 SM-05 SIGNING & MARKING PLAN  
 SM-06 SIGNING & MARKING PLAN  
 SM-07 SIGNING & MARKING PLAN  
 SM-08 SIGNING & MARKING PLAN

**EROSION CONTROL**  
 EC-01 EROSION CONTROL PLANS  
 EC-02 EROSION CONTROL PLANS  
 EC-03 EROSION CONTROL PLANS  
 EC-04 EROSION CONTROL PLANS  
 EC-05 EROSION CONTROL PLANS  
 EC-06 EROSION CONTROL PLANS  
 EC-07 EROSION CONTROL PLANS  
 EC-08 EROSION CONTROL PLANS  
 EC-09 EROSION CONTROL DATA  
 EC-10 EROSION CONTROL DETAILS  
 EN-01 EROSION, SEDIMENTATION, & POLLUTION CONTROL NOTES  
 EN-02 EROSION, SEDIMENTATION, & POLLUTION CONTROL NOTES

**GDOT ENCRoACHMENT PLANS**  
 GDOT-01 GDOT ENCRoACHMENT CONSTRUCTION PLANS  
 GDOT-02 GDOT ENCRoACHMENT EROSION CONTROL AND CENTERLINE STATIONING PLANS

END LAGRANGE THREAD PHASE 10 -  
 GEORGE HARRIS COMPLEX TO S. DAVIS RD.  
 STA: 61+80.53  
 GPS COORDINATES: 33.0213°, -84.9943°



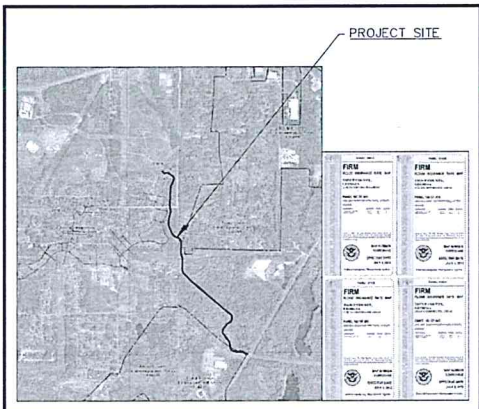
PLANS PREPARED BY:  
**PROJECT CIVIL ENGINEER**  
**GEORGIA & WEST, INC.**  
 ENGINEERING • LAND SURVEYING • LAND PLANNING  
 108 CORPORATE DRIVE OFFICE 1772 884-8408  
 CARROLLTON, GA 30117 OFFICE 770-434-1005  
 EMAIL: m.brown@georgiawest.com

**KAIZEN COLLABORATIVE**  
 2390 Main Street | Tucker, GA 30084 | 404-239-2521

REVISION	DATE	DESCRIPTION
	09/18/2022	50% REVIEW
	09/18/2023	50% REVIEW REVISED
	10/25/2023	100% ISSUE FOR PERMIT
	11/14/2023	REV. PER MEAC COMMENTS
	12/01/2023	REV. PER GUPAR COMMENTS
	12/04/2023	REV. PER GDOT COMMENTS
	01/28/2024	REV. PER EPD COM. (01-18-24)
	04/29/2024	ISSUE FOR BID



PROJECT # 220523 LAGRANGE THREAD PHASE 10 - GEORGE HARRIS COMPLEX TO S. DAVIS RD. 04/29/2024 - 100% ISSUE FOR BID



NOTE: A PORTION OF THE PROJECT IS WITHIN THE FEMA 100 YEAR FLOOD HAZARD ZONE.

**SITE DATA**

TOTAL SITE AREA = 3.55 ACRES	NPDES FEE = \$504 (\$80/ACRE)
DISTURBED AREA = 6.3 ACRES	STATE AMOUNT = \$504 (\$80/ACRE)
LAND LOTS: 119, 120, & 137 - DISTRICT 6	

**CONTACTS**

**24-HOUR CONTACTS:**

PATH FOUNDATION  
PETE PELLEGRINI - 24 HOUR CONTACT  
GA GSWCC LEVEL 1 CERTIFICATION # 0000029813  
EXP. 12/31/2023  
office 404-875-7284 x2 cell 404-277-5392

**EROSION & SEDIMENT CONTROL**

- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBANCE ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES WILL BE INSTALLED IF DEEMED NECESSARY BY THE ON-SITE INSPECTOR.
- EROSION AND SEDIMENT MEASURES AND PRACTICES TO BE INSPECTED DAILY.
- ALL INSPECTION, MONITORING, AND REPORTING SHALL BE PERFORMED AS REQUIRED BY NPDES PERMIT AND BY PROJECT EROSION, SEDIMENTATION, AND POLLUTION CONTROL NOTES.

U.S. ACCESS BOARD'S GUIDELINES FOR ACCESSIBILITY STANDARDS, 2016 EDITION, TABLE 1017.7.1

Table 1017.7.1 Maximum Running Slope and Segment Length

Running Slope of Trail Segment		Maximum Length of Segment
Steeper than	But not Steeper than	
1:20 (5%)	1:12 (8.33%)	30 feet (9.1 m)
1:12 (8.33%)	6:10 (6.0%)	30 feet (9.1 m)
1:10 (10%)	1:8 (12.5%)	10 feet (3.05 m)

WHERE THE RUNNING SLOPE OF A SEGMENT OF A TRAIL IS STEEPER THAN 1:20 (5%), THE MAXIMUM LENGTH OF THE SEGMENT SHALL BE IN ACCORDANCE WITH TABLE 1017.7.1, AND A RESTING INTERVAL COMPLYING WITH 1017.8 SHALL BE PROVIDED.

**GENERAL NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS SHOWN HEREON WITH THE CONSTRUCTION DRAWINGS AND EXISTING BUILDINGS PRIOR TO ANY CONSTRUCTION AND SHALL PROMPTLY NOTIFY THE PROJECT CIVIL ENGINEER OF ANY DISCREPANCIES.
- PROPOSED CONTOURS AND SPOT ELEVATIONS REPRESENT FINAL GRADE. PROPOSED GRADE ELEVATIONS SHOWN WITHIN PAVED AREA REPRESENT TOP OF PAVEMENT ELEVATIONS. CONTRACTOR SHALL ALLOW FOR PAVEMENT THICKNESS, TOPSOIL, BASE COURSE, SLABS, ETC. WHEN GRADING TO SUBGRADE ELEVATIONS.
- DIMENSIONS ARE TO BACK OF CURB, CENTER OF STRUCTURE AND CENTER LINE OF COLUMN LINE, UNLESS OTHERWISE NOTED. ANGLES SHOWN ON STORM AND SANITARY SEWER ARE TO CENTER OF PIPE, UNLESS OTHERWISE NOTED.
- CALL BEFORE YOU DIG 811. THE LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION. BEWARE OF HIDDEN UTILITIES NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES PRIOR TO EXCAVATION. IF UNCHARTED UTILITIES ARE ENCOUNTERED DURING EXCAVATION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE PROJECT CIVIL ENGINEER IMMEDIATELY FOR INSTRUCTIONS. ANY DAMAGE OR INTERRUPTION OF EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED PROMPTLY AT THE CONTRACTOR'S EXPENSE.
- PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY, THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTENT OF ALL AUTHORIZED DISTURBANCE SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY. NO DISTURBANCE SHALL OCCUR OUTSIDE THE LIMITS INDICATED ON THE DRAWINGS WITHOUT APPROVAL IN WRITING FROM THE PROJECT CIVIL ENGINEER.
- THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SUFFICIENT BARRICADES, LIGHTS, WARNING SIGNS, AND OTHER TRAFFIC CONTROL METHODS ADJACENT TO EXISTING ROADWAYS AND PARKING AREAS AS MAY BE REQUIRED FOR THE PROTECTION AND SAFETY OF THE PUBLIC. ALL TRAFFIC CONTROL MEASURES UTILIZED WITHIN PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF ALL CONSTRUCTION ELEMENTS, WITH SOME FIELD ADJUSTMENTS AS NECESSARY BY THE PROJECT CIVIL ENGINEER. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT TRAIL AND AMENITY CONSTRUCTION COMPLIES WITH ASHOTO REQUIREMENTS, PARTICULARLY WITH RESPECT TO TRAIL CROSS-SLOPES AND GRADIENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY AND PERMANENT GROUNDWATER CONTROL DURING CONSTRUCTION, AS WELL AS PROVISIONS FOR CONTROLLING SURFACE WATER RUN-OFF, IN ORDER TO PREVENT PONDING IN OPEN EXCAVATIONS AND POTENTIAL UNDERMINING OF PERMANENT CONSTRUCTION FEATURES.
- EARTHWORK OPERATIONS AND SOIL COMPACTION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND DRAWINGS. PRIOR TO POURING CONCRETE, EARTHWORK SHALL BE CLEAR OF DEBRIS AND MACHINE COMPACTED. CONSTRUCTION ACTIVITIES SHALL BE MONITORED BY A GEOTECHNICAL CONSULTING FIRM APPROVED BY THE OWNER. PROJECT GEOTECHNICAL ENGINEER TO VERIFY THAT EARTHWORK, WALL CONSTRUCTION, AND OTHER OPERATIONS CONFORM WITH THE CONTRACT DOCUMENTS. GEOTECHNICAL SERVICES SHALL BE AT THE COST OF THE CONTRACTOR.
- THE TOPOGRAPHIC SURVEY INFORMATION HAS BEEN PROVIDED BY GEORGIA AND WEST INC., (770) 834-4694, AND IS REFERENCED TO THE GEORGIA STATE PLANE COORDINATE SYSTEM (WEST ZONE).
- DEMOLITION DEBRIS SHALL BECOME PROPERTY OF THE CONTRACTOR AND WASTE SOILS, VEGETATION, AND OTHER DELETERIOUS MATERIALS SHALL BE HAULED OFF-SITE AND BE DISPOSED OF AT AN APPROVED LOCATION IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS. BURNING WILL NOT BE ALLOWED ON THIS PROJECT.
- EROSION CONTROL MEASURES AND OTHER SITE ISSUES SHALL BE INSPECTED AND MAINTAINED BY CONTRACTOR THROUGHOUT CONSTRUCTION.
- ON ALL AREAS WHERE ROADWAYS, CONCRETE TRAILS, RETAINING WALLS, OR OTHER STRUCTURES ARE TO BE CONSTRUCTED ON COMPACTED SUBGRADE, FOUNDATION SOILS SHALL BE REVIEWED AND APPROVED BY THE GEOTECHNICAL CONSULTING FIRM PRIOR TO THE PLACEMENT OF CONCRETE, AGGREGATE BASE, OR FILL MATERIALS.
- CONSTRUCTION ACCESS POINTS ARE APPROXIMATE LOCATIONS AND MUST BE FIELD VERIFIED AND APPROVED BY CITY OF LAGRANGE.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND SUPPLEMENTAL SPECIFICATIONS, CURRENT EDITION, THE 2010 AMERICANS WITH DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN, THE ARCHITECTURAL BARRIERS ACT (ABA) ACCESSIBILITY STANDARDS, THE PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES, AND AS MODIFIED BY CONTRACT DOCUMENTS.
- ALL CONCRETE TO BE USED FOR THE CONSTRUCTION OF TRAILS TO BE 3000 PSI CONCRETE, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH CITY OF LAGRANGE, GEORGIA AND WEST INC., PATH FOUNDATION, KAIZEN COLLABORATIVE, AND PROJECT GEOTECHNICAL ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- NOTICE: IT IS THE OWNER'S RESPONSIBILITY TO COMPLY WITH ALL ENVIRONMENTAL IMPACT ISSUES AND TO OBTAIN ALL NECESSARY PERMITS FROM THE APPROPRIATE GOVERNING AUTHORITIES.
- CONTRACTOR TO CONTACT GEORGIA AND WEST, INC. FOR ALL CONSTRUCTION STAKING CAD DATA.

**TRAIL NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING MINIMUM GRADES AND NOT EXCEEDING MAXIMUM GRADES ALONG THE TRAIL. TRAIL LONGITUDINAL GRADES NOT ADJACENT TO A ROADWAY THAT EXCEED 4.9% SHALL ADHERE TO TABLE 1017.7.1 OF THE U.S. ACCESS BOARD'S GUIDELINES FOR ACCESSIBILITY STANDARDS, 2016 EDITION. TRAILS ADJACENT TO A ROADWAY SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET OR HIGHWAY PER PROWAG R302.5.1. TRAIL CROSS SLOPE SHALL BE MINIMUM 1%, MAXIMUM 2%.
- THE LAYOUT OF THE TRAIL IS SHOWN IN RELATION TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE LAYOUT WITH OWNER PRIOR TO CONSTRUCTION OF TRAIL.
- THE CONTRACTOR IS RESPONSIBLE FOR CLEARING OF ALL UNDERSTORY VEGETATION WITHIN LIMITS OF DISTURBANCE. CLEARING AREA MAY INCREASE WHERE INVASIVE PLANTS ARE LOCATED. CONTRACTOR SHALL CONFIRM VEGETATION TO BE CLEARED WITH LANDSCAPE ARCHITECT AND PROJECT ENGINEER PRIOR TO CLEARING.
- ALL TREES WITHIN THE LIMITS OF DISTURBANCE AND/OR IDENTIFIED ON PLANS TO BE REMOVED SHALL BE MARKED IN THE FIELD & VERIFIED BY CITY OF LAGRANGE PRIOR TO REMOVAL. ALL DISEASED, DYING, OR DEAD TREES AND TREE LIMBS WITHIN 25' OF THE TRAIL EDGE SHALL BE REMOVED.
- ALL SIGNING & MARKING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- ALL ROADWAY PAVEMENT MARKINGS SHALL BE THERMOPLASTIC AND MEET GDOT SPECIFICATIONS UNLESS SPECIFIED OTHERWISE BY CITY. TRAIL & PARKING LOT PAVEMENT MARKINGS TO BE PAINT, UNLESS SPECIFIED OTHERWISE BY CITY.

**CONSTRUCTION NOTES**

- TRAIL BACKFILL DIRT SHALL BE CLEAN, COHESIVE CLAY OR SANDY CLAY FREE OF DEBRIS, ORGANICS, DELETERIOUS MATERIAL AND ROCKS GREATER THAN 3" DIAMETER, AND SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
- DESIRABLE GRADED SLOPES ARE TO BE 3:1 (H:V) OR FLATTER. MAX CUT OR FILL SLOPES SHALL BE 2:1 (H:V), UNLESS SPECIFICALLY NOTED. ANY SLOPES STEEPER THAN 3:1 SHALL BE APPROVED BY THE PROJECT CIVIL ENGINEER PRIOR TO COMPLETION OF GRADING IN THAT AREA.
- EQUIPMENT AND MATERIALS SHALL BE STORED IN AREAS DESIGNATED BY THE OWNER. CONSTRUCTION AND STORAGE AREAS SHALL BE KEPT NEAT AND CLEAN. TREE SAVE AREAS SHALL NOT BE USED FOR STORAGE OR PARKING. EQUIPMENT AND MATERIAL SHALL NOT BE STORED WITHIN THE DRIP LINE OF TREES.
- CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF ALL TIE-IN POINTS FOR INSTALLATION OF UTILITIES, CURB & GUTTER AND PAVING.
- TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO NOT LESS THAN 95% OF THE OPTIMUM COMPACTION FOR ANY SOIL CLASSIFICATION AS DETERMINED BY THE STANDARD PROCTOR TEST ASHOTO 1-380 METHOD "A". THE TOP 2 FEET OF ALL AREAS TO RECEIVE PAVEMENT SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY. BACKFILL MATERIAL SHALL BE CLEAN AND FREE OF ROOTS, ROCK OR DELETERIOUS MATTER. CONTRACTOR SHALL CORRECT ANY DAMAGE TO CURBING OR PAVING CAUSED BY TRENCH SETTLEMENT WHICH OCCURS WITHIN 12 MONTHS OF PROJECT ACCEPTANCE. REPORTS FROM THE PROJECT GEOTECHNICAL ENGINEER DOCUMENTING TRENCH SUBGRADES & BACKFILL MATERIAL & COMPACTION ARE SATISFACTORY ARE REQUIRED.
- THE CONTRACTOR SHALL NOTIFY THE PROJECT CIVIL ENGINEER OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PROMPTLY UPON DISCOVERY.
- ALL EXISTING UTILITY BOXES AND/OR COVERS THAT ARE TO REMAIN SHALL BE SET FLUSH WITH THE TOP OF THE PROPOSED GRADE, UNLESS OUTSIDE OF PAVEMENT AND SPECIFICALLY NOTED OTHERWISE.
- AREAS INTENDED TO SUPPORT PAVEMENT OR NEW FILL SHALL BE PROOF ROLLED IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER TO LOCATE WEAK, SOFT OR EXCESSIVELY WET MATERIALS. AREAS WHICH FAIL TO MEET THE PROOF ROLL SHALL BE UNDERCUT AND BACK-FILLED AS DIRECTED BY GEOTECHNICAL ENGINEER. REPORTS FROM THE PROJECT GEOTECHNICAL ENGINEER DOCUMENTING SUBGRADES PASS THE PROOF ROLL TEST ARE REQUIRED.
- CRUSHED STONE AGGREGATE IN PAVEMENT BASE SHALL CONFORM WITH SECTION 815 OF THE STATE OF GEORGIA, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS. ALL ASPHALT MATERIAL AND PAVING OPERATIONS SHALL MEET APPLICABLE SPECIFICATIONS OF THE GEORGIA DEPARTMENT OF TRANSPORTATION.
- ALL FILL AREAS MUST BE COMPACTED TO A MINIMUM 95% STANDARD PROCTOR. THE TOP 2 FEET OF ALL AREAS TO RECEIVE PAVEMENT SHALL BE COMPACTED TO 100% STANDARD PROCTOR DENSITY. REPORTS FROM THE PROJECT GEOTECHNICAL ENGINEER DOCUMENTING ALL FILL AREAS ARE SATISFACTORY COMPACTED ARE REQUIRED.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ACROSS DISTURBED AREA AND INTO DRAINAGE FEATURES. CONTRACTOR SHALL NOTIFY PROJECT CIVIL ENGINEER OF ANY DRAINAGE CONCERNS OBSERVED DURING CONSTRUCTION.

**CONSTRUCTION LEGEND**

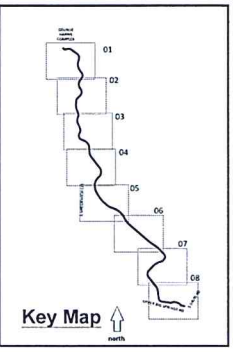
- PROPOSED TRAIL AND CENTERLINE
- PROPOSED STRUCTURAL SLAB BRIDGE CROSSINGS
- PROPOSED CROSSWALK
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED FENCELINE
- EXISTING FENCELINE
- PROPOSED DEMOLITION ITEM
- EXISTING CONTOUR ELEVATION
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- EXISTING GRAVEL DRIVE
- PROPOSED PIPE AND CULVERT
- PROPOSED BOLLARDS
- EXISTING SPOT ELEVATION
- SHEET MATCHLINE
- PROPERTY LINE
- LAND LOT LINE

**LEGEND**

1000 GYDOR BRUSH	DC	WATER VALVE	ST	SELF FENCE
1000 GYDOR BRUSH	DC	GAS VALVE	ST	TREE PROTECTION FENCE
TOTAL DROP INLET	DC	UNDEGRADED PARKING	ST	CHAIN LINK FENCE
TOTAL JUNCTION BOX	DC	TRAFFIC FLOOR	ST	EXISTING FENCE
TOTAL FIVE & CURB INLET	DC	UNDERGRADING FLOOR	ST	PROPOSED CONTOUR
1125 REARWALL	DC	OVERHEAD POWER	ST	EXISTING CURB & GUTTER
DRAINAGE SLOPE	DC	OVERHEAD TELEPHONE	ST	PROPOSED CURB & GUTTER
SEWER MANHOLE	DC	FIBER OPTIC CABLE	ST	EXISTING SPOT ELEVATION
EXISTING FIVE INCH W/HT	DC	WATER	ST	PROPOSED SPOT ELEVATION
LAMP POST	DC	SANITARY SEWER	ST	PROPOSED SPOT ELEVATION
6" SIX INCH	DC	GAS	ST	PROPOSED SPOT ELEVATION
UTILITY POLE	DC	STONE CURB	ST	PROPOSED SPOT ELEVATION

**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
OFFICE (770) 834-4694  
150 CORPORATE DRIVE  
CANTON, GA 30117  
FAX (770) 834-1008  
E-MAIL: gw@georgiawest.com

**KAIZEN COLLABORATIVE**  
2350 MAIN STREET | TUCKER, GEORGIA, 30084 | 404-239-2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**

SEAL FOR THE FIRM  
KAIZEN COLLABORATIVE DESIGN, INC.

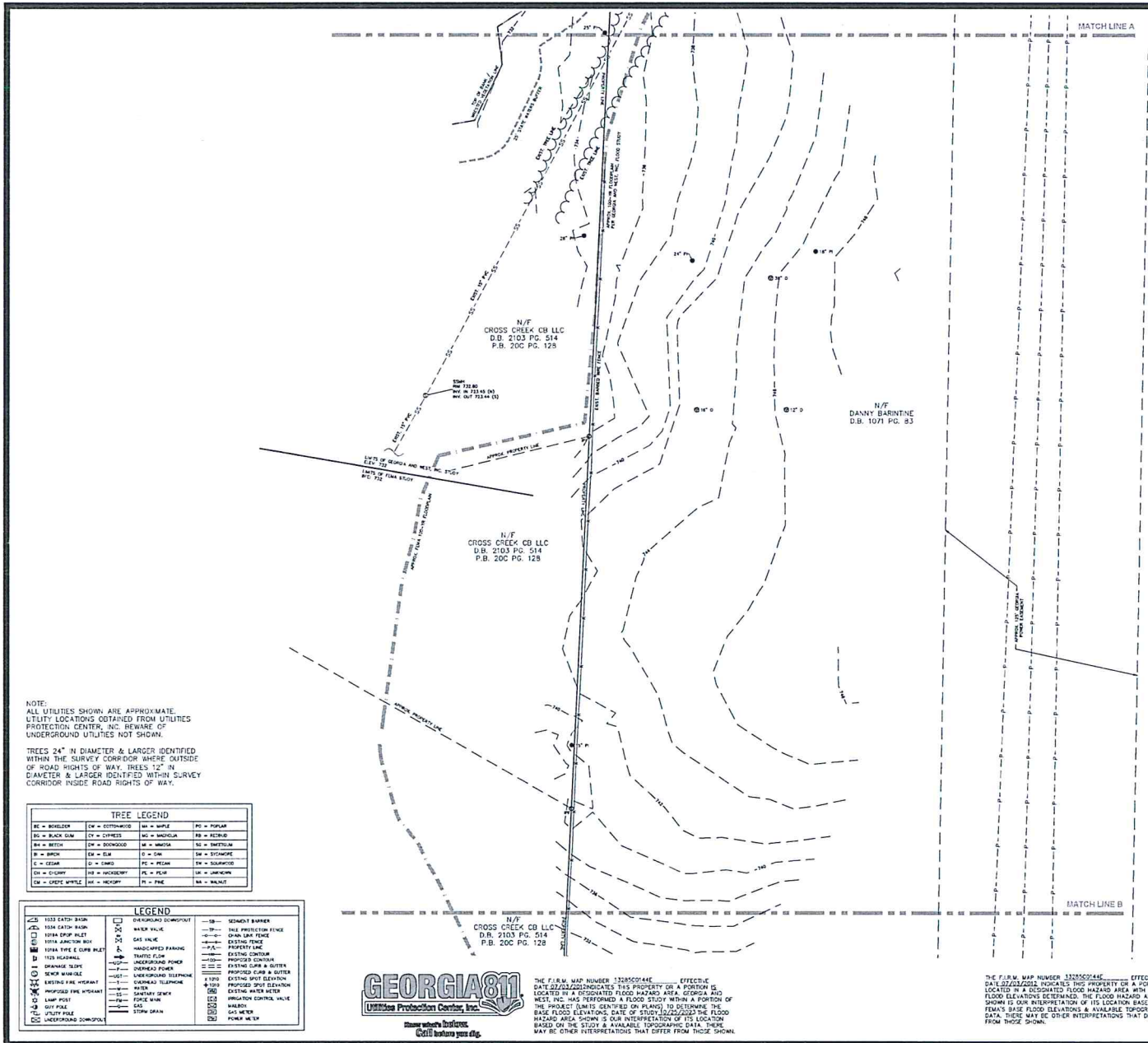
GEORGIA REGISTERED PROFESSIONAL ENGINEER  
No. 12124  
JAMES D. BROWN  
1985

**GENERAL NOTES**

SCALE	
DATE	10-25-2023
SHEET #	GN-01

**GEORGIA811**  
www.Georgia811.com  
Know what's Below.  
Call before you dig.





NO.	DATE	REVISION	DESCRIPTION

**GEORGIA 811**  
ENGINEERING • LAND SURVEYING • LAND PLANNING

100 S. DAVIS RD.  
COLUMBIA, GA 31906  
PHONE: (706) 834-1000  
FAX: (706) 834-1000  
EMAIL: info@georgiainc.com

**NOTICE:** THIS PLAN SHEET IS NOT TO BE USED FOR ANY PURPOSE OTHER THAN THAT SPECIFICALLY INTENDED BY THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.

**TITLE:** TOPOGRAPHIC SURVEY  
**LaGRANGE THREED PHASE 10 - GEORGE HARRIS COMPLEX TO S. DAVIS RD**  
LOCATED IN: TROUP COUNTY, GEORGIA

DATE: 08/31/2022  
JOB NO.: 220202  
SHEET NO.: 10 OF 10

**NOTE:** LAST DATE OF FIELD WORK FOR ORIGINAL SURVEY UNITS PERFORMED ON 07-06-2022. LAST DATE OF ADDITIONAL TOPOGRAPHIC SURVEY PERFORMED ON 08/31/2022

THE F.I.R.M. MAP NUMBER 332850244E EFFECTIVE DATE 02/22/2022 INDICATES THIS PROPERTY OR A PORTION IS LOCATED IN A DESIGNATED FLOOD HAZARD AREA. GEORGIA 811 WEST, INC. HAS PERFORMED A FLOOD STUDY WITHIN A PORTION OF THE PROJECT (LANDS IDENTIFIED ON PLANS) TO DETERMINE THE BASE FLOOD ELEVATIONS. DATE OF STUDY 12/22/2022. THE FLOOD HAZARD AREA SHOWN IS OUR INTERPRETATION OF ITS LOCATION BASED ON FEMA'S BASE FLOOD ELEVATIONS & AVAILABLE TOPOGRAPHIC DATA. THERE MAY BE OTHER INTERPRETATIONS THAT DIFFER FROM THOSE SHOWN.

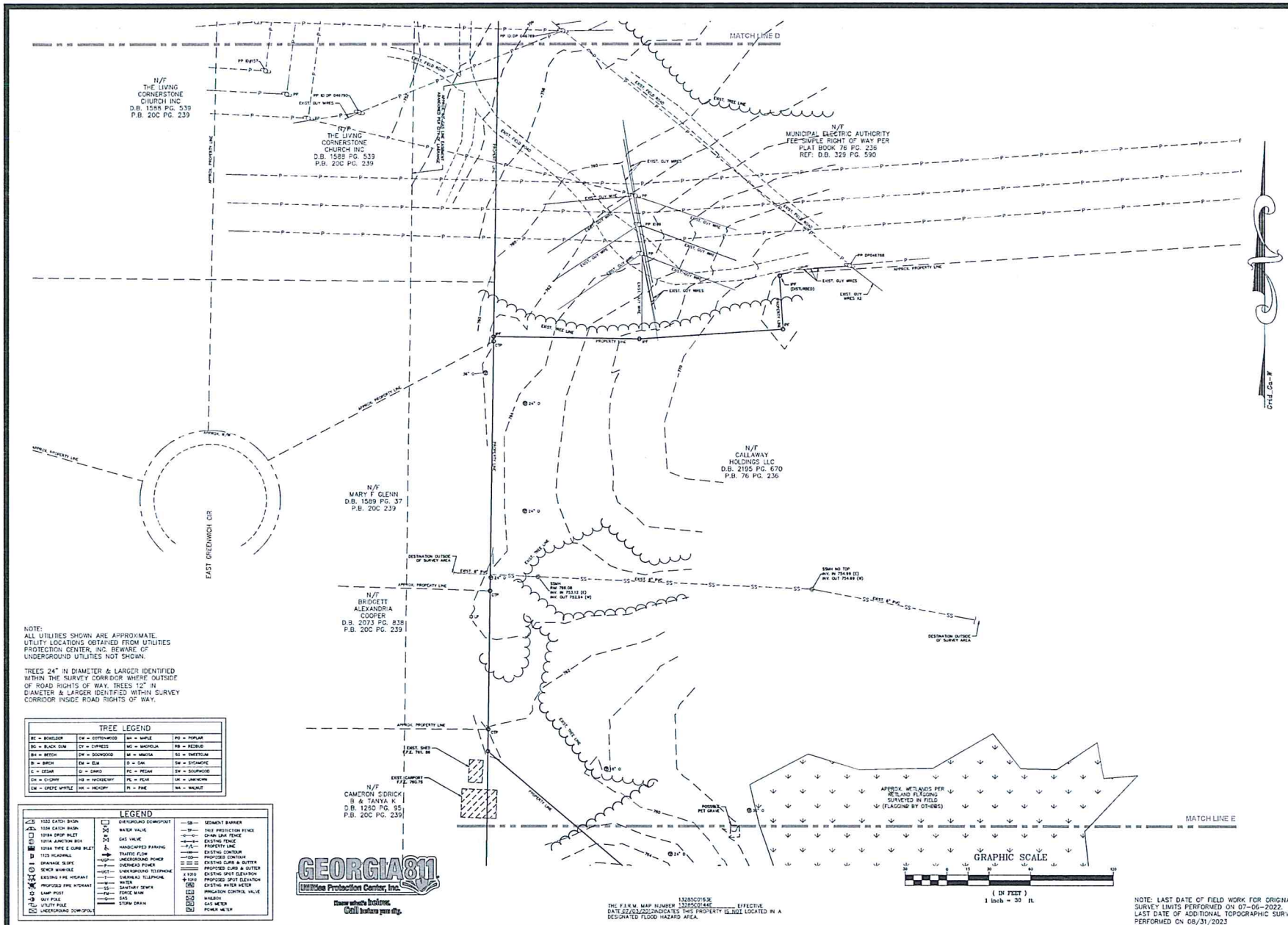
**GEORGIA 811**  
UTILITY PROTECTION CENTER, INC.  
PHONE: (706) 834-1000  
FAX: (706) 834-1000  
EMAIL: info@georgiainc.com

THE F.I.R.M. MAP NUMBER 332850244E EFFECTIVE DATE 02/22/2022 INDICATES THIS PROPERTY OR A PORTION IS LOCATED IN A DESIGNATED FLOOD HAZARD AREA. GEORGIA 811 WEST, INC. HAS PERFORMED A FLOOD STUDY WITHIN A PORTION OF THE PROJECT (LANDS IDENTIFIED ON PLANS) TO DETERMINE THE BASE FLOOD ELEVATIONS. DATE OF STUDY 12/22/2022. THE FLOOD HAZARD AREA SHOWN IS OUR INTERPRETATION OF ITS LOCATION BASED ON FEMA'S BASE FLOOD ELEVATIONS & AVAILABLE TOPOGRAPHIC DATA. THERE MAY BE OTHER INTERPRETATIONS THAT DIFFER FROM THOSE SHOWN.





PROJECT LOCATION: 1022 EAST 37TH AVENUE, SUITE 100, DUBLIN, GA 31006. DATE: 08/31/2023. TIME: 10:00 AM.



NOTE: ALL UTILITIES SHOWN ARE APPROXIMATE. UTILITY LOCATIONS OBTAINED FROM UTILITIES PROTECTION CENTER, INC. BEWARE OF UNDERGROUND UTILITIES NOT SHOWN.

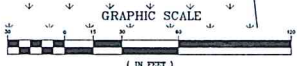
TREES 24" IN DIAMETER & LARGER IDENTIFIED WITHIN THE SURVEY CORRIDOR AND/OR OUTSIDE OF ROAD RIGHTS OF WAY. TREES 12" IN DIAMETER & LARGER IDENTIFIED WITHIN SURVEY CORRIDOR INSIDE ROAD RIGHTS OF WAY.

TREE LEGEND			
BT = BROADLEAF	CE = CYPRESS	WH = WHITE	PO = POPLAR
BL = BLACK OLM	CO = CYPRESS	MC = MAGNOLIA	PK = PINE
BU = BUTCH	DO = DOGWOOD	MO = MIMOSA	SM = SWEETGUM
BU = BURN	EW = ELM	SC = SIKK	ST = STAGHORN
CL = CEDAR	GA = GUM	PC = PINE	SW = SOUTHWOOD
CH = CHERRY	HO = HONEYLOCUST	PL = PINE	UN = UNKNOW
OW = OAK	MC = MAGNOLIA	PL = PINE	UN = UNKNOW
OW = OAK	MC = MAGNOLIA	PL = PINE	UN = UNKNOW

LEGEND	
1022 EAST 37TH	1022 EAST 37TH
1024 EAST 37TH	1024 EAST 37TH
1026 EAST 37TH	1026 EAST 37TH
1028 EAST 37TH	1028 EAST 37TH
1030 EAST 37TH	1030 EAST 37TH
1032 EAST 37TH	1032 EAST 37TH
1034 EAST 37TH	1034 EAST 37TH
1036 EAST 37TH	1036 EAST 37TH
1038 EAST 37TH	1038 EAST 37TH
1040 EAST 37TH	1040 EAST 37TH
1042 EAST 37TH	1042 EAST 37TH
1044 EAST 37TH	1044 EAST 37TH
1046 EAST 37TH	1046 EAST 37TH
1048 EAST 37TH	1048 EAST 37TH
1050 EAST 37TH	1050 EAST 37TH
1052 EAST 37TH	1052 EAST 37TH
1054 EAST 37TH	1054 EAST 37TH
1056 EAST 37TH	1056 EAST 37TH
1058 EAST 37TH	1058 EAST 37TH
1060 EAST 37TH	1060 EAST 37TH
1062 EAST 37TH	1062 EAST 37TH
1064 EAST 37TH	1064 EAST 37TH
1066 EAST 37TH	1066 EAST 37TH
1068 EAST 37TH	1068 EAST 37TH
1070 EAST 37TH	1070 EAST 37TH
1072 EAST 37TH	1072 EAST 37TH
1074 EAST 37TH	1074 EAST 37TH
1076 EAST 37TH	1076 EAST 37TH
1078 EAST 37TH	1078 EAST 37TH
1080 EAST 37TH	1080 EAST 37TH
1082 EAST 37TH	1082 EAST 37TH
1084 EAST 37TH	1084 EAST 37TH
1086 EAST 37TH	1086 EAST 37TH
1088 EAST 37TH	1088 EAST 37TH
1090 EAST 37TH	1090 EAST 37TH
1092 EAST 37TH	1092 EAST 37TH
1094 EAST 37TH	1094 EAST 37TH
1096 EAST 37TH	1096 EAST 37TH
1098 EAST 37TH	1098 EAST 37TH
1100 EAST 37TH	1100 EAST 37TH
1102 EAST 37TH	1102 EAST 37TH
1104 EAST 37TH	1104 EAST 37TH
1106 EAST 37TH	1106 EAST 37TH
1108 EAST 37TH	1108 EAST 37TH
1110 EAST 37TH	1110 EAST 37TH
1112 EAST 37TH	1112 EAST 37TH
1114 EAST 37TH	1114 EAST 37TH
1116 EAST 37TH	1116 EAST 37TH
1118 EAST 37TH	1118 EAST 37TH
1120 EAST 37TH	1120 EAST 37TH
1122 EAST 37TH	1122 EAST 37TH
1124 EAST 37TH	1124 EAST 37TH
1126 EAST 37TH	1126 EAST 37TH
1128 EAST 37TH	1128 EAST 37TH
1130 EAST 37TH	1130 EAST 37TH
1132 EAST 37TH	1132 EAST 37TH
1134 EAST 37TH	1134 EAST 37TH
1136 EAST 37TH	1136 EAST 37TH
1138 EAST 37TH	1138 EAST 37TH
1140 EAST 37TH	1140 EAST 37TH
1142 EAST 37TH	1142 EAST 37TH
1144 EAST 37TH	1144 EAST 37TH
1146 EAST 37TH	1146 EAST 37TH
1148 EAST 37TH	1148 EAST 37TH
1150 EAST 37TH	1150 EAST 37TH
1152 EAST 37TH	1152 EAST 37TH
1154 EAST 37TH	1154 EAST 37TH
1156 EAST 37TH	1156 EAST 37TH
1158 EAST 37TH	1158 EAST 37TH
1160 EAST 37TH	1160 EAST 37TH
1162 EAST 37TH	1162 EAST 37TH
1164 EAST 37TH	1164 EAST 37TH
1166 EAST 37TH	1166 EAST 37TH
1168 EAST 37TH	1168 EAST 37TH
1170 EAST 37TH	1170 EAST 37TH
1172 EAST 37TH	1172 EAST 37TH
1174 EAST 37TH	1174 EAST 37TH
1176 EAST 37TH	1176 EAST 37TH
1178 EAST 37TH	1178 EAST 37TH
1180 EAST 37TH	1180 EAST 37TH
1182 EAST 37TH	1182 EAST 37TH
1184 EAST 37TH	1184 EAST 37TH
1186 EAST 37TH	1186 EAST 37TH
1188 EAST 37TH	1188 EAST 37TH
1190 EAST 37TH	1190 EAST 37TH
1192 EAST 37TH	1192 EAST 37TH
1194 EAST 37TH	1194 EAST 37TH
1196 EAST 37TH	1196 EAST 37TH
1198 EAST 37TH	1198 EAST 37TH
1200 EAST 37TH	1200 EAST 37TH

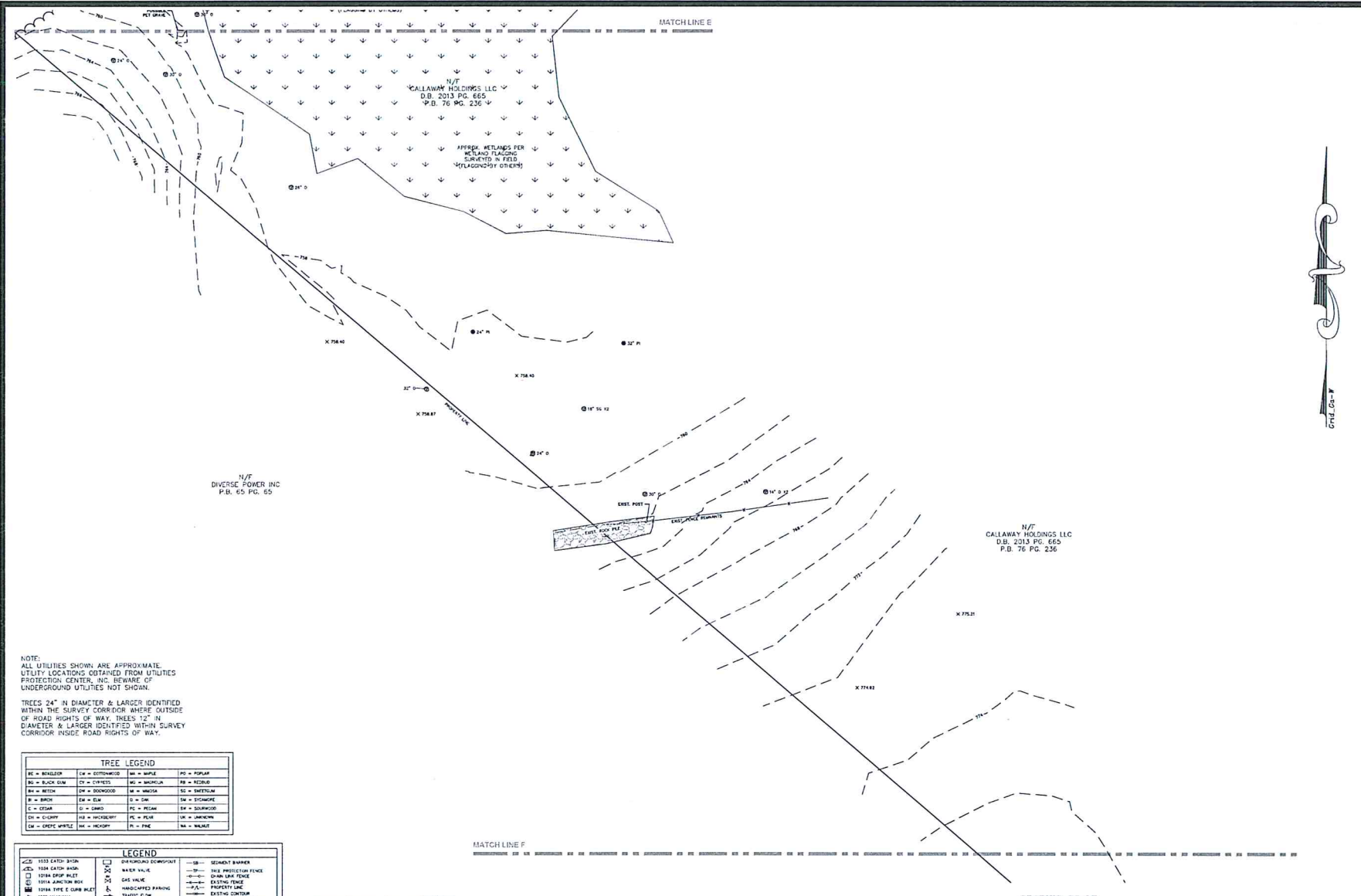


THIS PLAN MAP NUMBER 12080044E EFFECTIVE DATE 08/31/2023 INDICATES THIS PROPERTY IS LOCATED IN A DESIGNATED FLOOD HAZARD AREA.



NOTE: LAST DATE OF FIELD WORK FOR ORIGINAL SURVEY LIMITS PERFORMED ON 07-06-2022. LAST DATE OF ADDITIONAL TOPOGRAPHIC SURVEY PERFORMED ON 08/31/2023

<b>GEORGIA 811</b> ENGINEERING • LAND SURVEYING • LAND PLANNING	
1022 EAST 37TH AVENUE SUITE 100 DUBLIN, GA 31006 TEL: 404.487.8111 FAX: 404.487.8112 E-MAIL: mlabon@georgiasurveying.com	
MUNICIPAL THIS PLAN SHEET IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE APPROVAL OF THE APPROPRIATE GOVERNMENT AGENCY.	
MUNICIPAL UTILITIES LOCATIONS ARE APPROXIMATE. BEWARE OF UTILITY LOCATIONS NOT SHOWN. DO NOT EXCAVATE WITHOUT CONFIRMATION PRIOR TO EXCAVATION.	
NOTE: IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS FROM THE APPROPRIATE GOVERNING AUTHORITIES.	
<b>LaGRANCE THREAD PHASE 10 - GEORGE HARRIS COMPLEX TO S. DAVIS RD</b> LOCATED IN DEKALB COUNTY, GEORGIA	
TITLE: TOPOGRAPHIC SURVEY DATE: 08/31/2023	DRAWN BY: [Name] DATE: 08/31/2023
S-05	

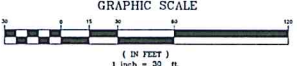


NOTE:  
ALL UTILITIES SHOWN ARE APPROXIMATE.  
UTILITY LOCATIONS OBTAINED FROM UTILITIES  
PROTECTION CENTER, INC. BEWARE OF  
UNDERGROUND UTILITIES NOT SHOWN.

TREES 24" IN DIAMETER & LARGER IDENTIFIED  
WITHIN THE SURVEY CORRIDOR WHERE OUTSIDE  
OF ROAD RIGHTS OF WAY. TREES 12" IN  
DIAMETER & LARGER IDENTIFIED WITHIN SURVEY  
CORRIDOR INSIDE ROAD RIGHTS OF WAY.

RL = REDBELL	CR = COTTONWOOD	WA = WALNUT	PO = POPLAR
BU = BURCH OAK	CH = CHERRY	HC = HICKORY	PE = PECAN
ME = METOAK	DN = DOGWOOD	AM = AMESIA	SH = SHEDDLE
P = PINOAK	EW = ELM	DM = DUNE	SL = SLOAN
LI = LIVE OAK	OG = OLEAST	PL = PINE	SM = SUMMERS
CH = CHERRY	HE = HICKORY	PE = PECAN	SH = SHEDDLE
CR = CREEK WATTLE	HC = HICKORY	PL = PINE	WA = WALNUT

—+—+—+ 1000' GRID BORN	—+—+—+ DR W/ROAD DOWNSPOT	—+—+—+ 18" SEWER MAIN
—+—+—+ 2000' GRID BORN	—+—+—+ WATER VALVE	—+—+—+ 12" FIRE PROTECTION PIPE
—+—+—+ 1000' GRIFF BUILT	—+—+—+ GAS VALVE	—+—+—+ 6" CHAIN LINK FENCE
—+—+—+ 2000' GRIFF BUILT	—+—+—+ HANDICAPPED PARKING	—+—+—+ FENCE TYPE
—+—+—+ 1000' TYPE C GRIFF BUILT	—+—+—+ TRAFFIC SIGN	—+—+—+ PROPERTY LINE
—+—+—+ 2000' TYPE C GRIFF BUILT	—+—+—+ UNDERGROUND POWER	—+—+—+ PROPERTY CORNER
—+—+—+ 1000' HAZARD	—+—+—+ UNDERGROUND TELEPHONE	—+—+—+ PROPOSED CORNER
—+—+—+ 2000' HAZARD	—+—+—+ OVERHEAD POWER	—+—+—+ PROPOSED CURB & GUTTER
—+—+—+ 1000' FIRE HAZARD	—+—+—+ WATER	—+—+—+ EXISTING W/UT SEWER
—+—+—+ 2000' FIRE HAZARD	—+—+—+ GAS	—+—+—+ PROPOSED SPOT DELETION
—+—+—+ 1000' PROPOSED FIRE HAZARD	—+—+—+ DRIVEWAY CATCHER	—+—+—+ EXISTING W/UT WATER
—+—+—+ 2000' PROPOSED FIRE HAZARD	—+—+—+ STORM DRAIN	—+—+—+ PROPOSED SPOT DELETION
—+—+—+ 1000' PROPERTY LINE		—+—+—+ IRRIGATION CONTROL VALVE
—+—+—+ 2000' UNDERGROUND DOWNSPOT		—+—+—+ MANHOLE
		—+—+—+ GAS METER
		—+—+—+ FENCE W/UT



THE FIRM MAP NUMBER 1320212021 IS EFFECTIVE DATE 07/23/2021 INDICATES THIS PROPERTY IS NOT LOCATED IN A DESIGNATED FLOOD HAZARD AREA.

	GEORGIA PROFESSIONAL SURVEYOR NO. 3123 EXPIRES 12/31/2025 EXP. 12/31/2023
	TITLE: TOPOGRAPHIC SURVEY LAGRANGE THREAD PHASE 10 - GEORGE HARRIS COMPLEX TO S. DAVIS RD LOCATED IN TROUP COUNTY, GEORGIA SCALE: 1" = 30' DRAWN BY: [Name] DATE: 10/25/2023
GEORGIA & WEST, INC. ENGINEERING • LAND SURVEYING • LAND PLANNING	OFFICE: 6709 BALDWIN CARROLLTON, GA 30117 FAX: (770) 834-1025 EMAIL: info@gandwest.com
REGISTERED PROFESSIONAL SURVEYOR (R.P.S.) NO. 3123, CONTRACT DOCUMENT MAILED 05/20/2023 BY THE PROFESSIONAL SURVEYOR BOARD OF THE STATE OF GEORGIA.	
SURVEYOR: UTILITY LOCATIONS ARE APPROXIMATE. BEWARE OF HIDDEN UTILITIES. CONTACT UTILITIES PROTECTION CENTER, INC. PRIOR TO EXCAVATION.	
NOTICE: IT IS THE PROPERTY OWNER'S/CONTRACTOR'S RESPONSIBILITY TO CONSULT WITH ALL UTILITIES AND OBTAIN ALL NECESSARY PERMITS FOR ALL APPROPRIATE EXCAVATION WORKS.	
S-06	



PROJECT FOLDER 105220291, LARGO WIND ENERGY COMPLEX TO SOUTH GAST REGION, STATE OF GEORGIA. DATE: 10/11/2023 5:51:15 PM

NOTE:  
 ALL UTILITIES SHOWN ARE APPROXIMATE.  
 UTILITY LOCATIONS OBTAINED FROM UTILITIES  
 PROTECTION CENTER, INC. BEWARE OF  
 UNDERGROUND UTILITIES NOT SHOWN.

TREES 24" IN DIAMETER & LARGER IDENTIFIED  
 WITHIN THE SURVEY CORRIDOR WHERE OUTSIDE  
 OF ROAD RIGHTS OF WAY. TREES 12" IN  
 DIAMETER & LARGER IDENTIFIED WITHIN SURVEY  
 CORRIDOR INSIDE ROAD RIGHTS OF WAY.

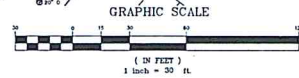
TREE LEGEND

BL = BIRCHER	CK = COTONWOOD	HM = HOPLE	PO = POPLAR
BU = BLACK OAK	CT = CYPRESS	ML = MULLEN	PR = PECAN
BE = BEECH	DM = DOGWOOD	MA = MAHOG	SG = SWEETGUM
B = BIRCH	EM = ELM	D = OAK	SK = SLOAN
E = OAK	DO = OAK	PC = PECAN	SW = SWEETGUM
CR = CYPRESS	HS = HICKORY	PL = PINE	SM = SUGAR
CH = CHERRY	ME = HICKORY	PI = PINE	MA = MAHOG

LEGEND




THE FIRM MAP NUMBER 13265001N IS EFFECTIVE  
 DATE 12/22/2022. THIS PROPERTY IS LOCATED IN A  
 DESIGNATED FLOOD HAZARD AREA.



NOTE: LAST DATE OF FIELD WORK FOR ORIGINAL  
 SURVEY LIMITS PERFORMED ON 07-06-2022.  
 LAST DATE OF ADDITIONAL TOPOGRAPHIC SURVEY  
 PERFORMED ON 08/31/2023

	 <b>GW GEORGIA &amp; WEST, INC.</b> ENGINEERING • LAND SURVEYING • LAND PLANNING 106 CORPORATE DRIVE CAROLSTON, GA 30117 OFFICE (770) 844-0848 FAX (770) 844-0005 E-MAIL: info@gwgsurvey.com	<p style="font-size: small;">NO. DATE PLotted</p>
<p style="text-align: center;"> <b>LaGRANGE THREADE PHASE 10 -</b>  <b>GEORGE HARRIS COMPLEX</b>  <b>TO S. DAVIS RD</b>  <small>LOCATED IN TROUP COUNTY, GEORGIA</small> </p>		
<p style="font-size: small;">TITLE: TOPOGRAPHIC SURVEY</p>		<p style="font-size: small;">DATE: 10/11/2023</p>
<p style="font-size: x-small;">S-07</p>		

MATCH LINE G

MATCH LINE G

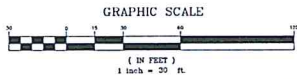
N/F  
DIVERSE POWER, INC  
D.B. 1005 PG. 854  
P.B. 65 PG. 65

EXIST. 06 4" CP WY 7813  
EXIST. 06 4" PIG DRY LAMINATION WY 7814  
EXIST. 06 12" PIG WY 7828  
EXIST. 06 4" CP WY 7847  
EXIST. 06 4" CP WY 7810  
EXIST. 06 12" PIG WY 7830  
EXIST. 06 4" CP WY 7816  
EXIST. 06 4" CP WY 7823  
EXIST. 06 4" PIG WY 7833

SEPTIC INSTALLED BY  
KEN REGAN  
HOGG SEPTIC  
706-881-2461

N/F  
MEEK SECURITY LLC  
D.B. 1742 PG. 508

N/F  
TROUP CO FARM  
BUREAU INC  
D.B. 1005 PG. 854



THE FIRM, MAP NUMBER 1328500163E, EFFECTIVE DATE 02/02/2022, INDICATES THIS PROPERTY IS NOT LOCATED IN A DESIGNATED FLOOD HAZARD AREA.

NOTE:  
ALL UTILITIES SHOWN ARE APPROXIMATE. UTILITY LOCATIONS OBTAINED FROM UTILITIES PROTECTION CENTER, INC. BEWARE OF UNDERGROUND UTILITIES NOT SHOWN.  
TREES 24" IN DIAMETER & LARGER IDENTIFIED WITHIN THE SURVEY CORRIDOR WHERE OUTSIDE OF ROAD RIGHTS OF WAY. TREES 12" IN DIAMETER & LARGER IDENTIFIED WITHIN SURVEY CORRIDOR INSIDE ROAD RIGHTS OF WAY.

TREE LEGEND table with columns for tree types and abbreviations.

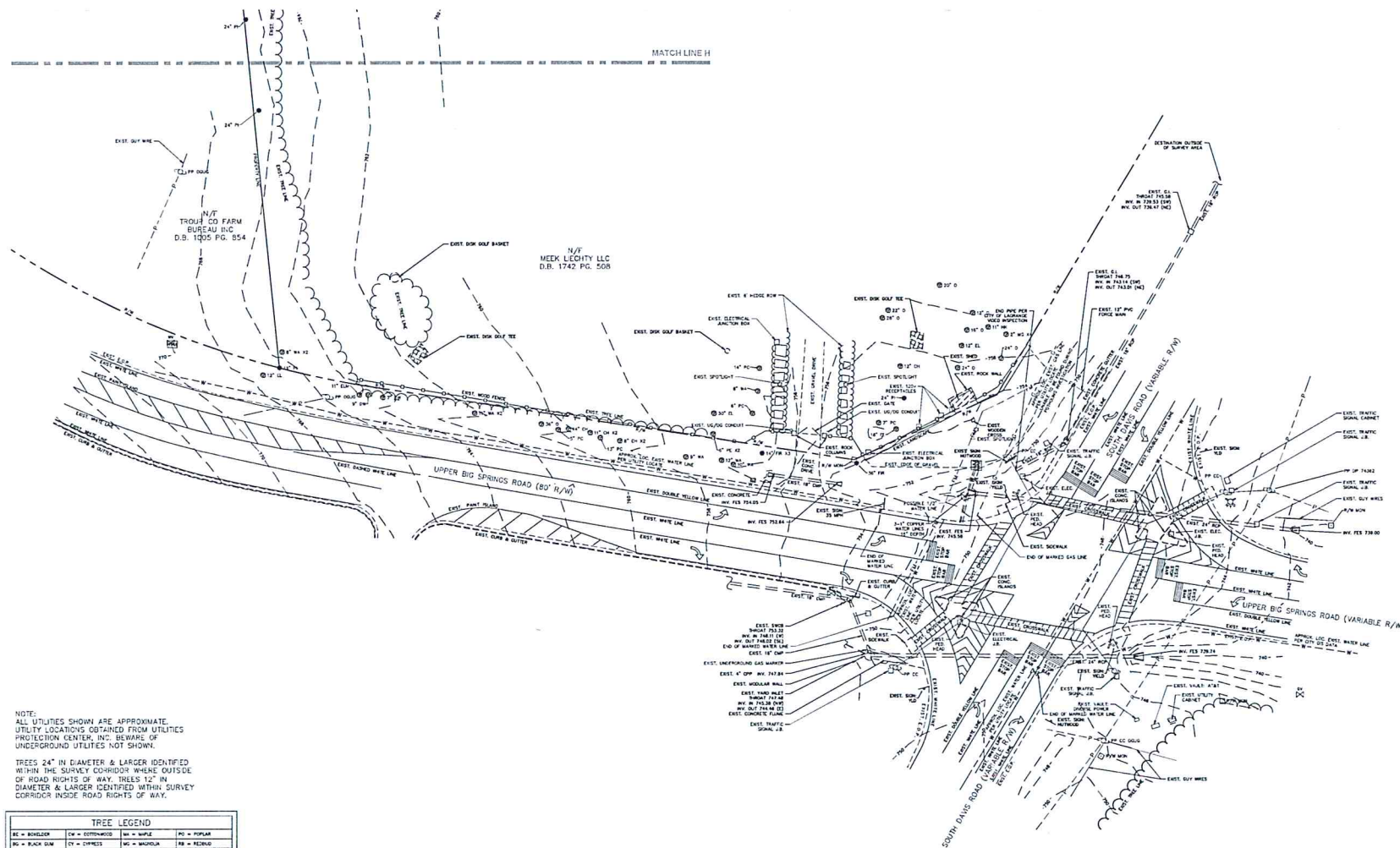
LEGEND table with columns for symbols and descriptions of utilities and structures.

NOTE: LAST DATE OF FIELD WORK FOR ORIGINAL SURVEY LIMITS PERFORMED ON 07-06-2022. LAST DATE OF ADDITIONAL TOPOGRAPHIC SURVEY PERFORMED ON 08/31/2023.



Project information including title 'LaGrange Thread Phase 10 - George Harris Complex to S. Davis Rd', date '08/31/2023', and company 'G&W Georgia & West, Inc.' with contact details.

D:\PROJECT\G0123022921\_LAGRANGE THREADEAD COMPLEX TO SOUTH DAVIS ROAD\DWG\2022\220123\_LAGPLAN.dwg 10/20/2022 3:52:23 PM



NOTE:  
ALL UTILITIES SHOWN ARE APPROXIMATE.  
UTILITY LOCATIONS OBTAINED FROM UTILITIES  
PROTECTION CENTER, INC. BEWARE OF  
UNDERGROUND UTILITIES NOT SHOWN.

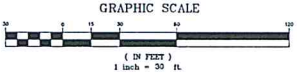
TREES 24" IN DIAMETER & LARGER IDENTIFIED  
WITHIN THE SURVEY CORRIDOR WHERE OUTSIDE  
OF ROAD RIGHTS OF WAY. TREES 12" IN  
DIAMETER & LARGER IDENTIFIED WITHIN SURVEY  
CORRIDOR INSIDE ROAD RIGHTS OF WAY.

TREE LEGEND			
BE = BEECHER	CM = COTONWOOD	WA = WALNUT	PO = POPLAR
PK = BLACK OAK	CR = CYPRESS	MC = MANDARIN	FR = REDWOOD
BU = BUTCH	CM = CORKWOOD	LM = LINDA	TR = TRIFOLIUM
B = BIRCH	EM = ELM	D = DOG	SM = SYCAMORE
C = CEDAR	G = GUM	PC = PECAN	SW = SWEETGUM
OK = OAK	HS = HICKORY	PL = PINE	SK = SYPHON
CM = GREY WATTLE	HT = HICKORY	PL = PINE	WA = WALNUT

LEGEND	
1003 (CATCH) SIGN	UNDERGROUND CONDUIT
1010 SIGN BOARD	WATER VALVE
1011 SIGN BOARD	CAST IRON
1012 SIGN BOARD	UNDERGROUND POWER
1013 SIGN BOARD	UNDERGROUND TELEPHONE
1014 SIGN BOARD	UNDERGROUND TELEPHONE
1015 SIGN BOARD	UNDERGROUND TELEPHONE
1016 SIGN BOARD	UNDERGROUND TELEPHONE
1017 SIGN BOARD	UNDERGROUND TELEPHONE
1018 SIGN BOARD	UNDERGROUND TELEPHONE
1019 SIGN BOARD	UNDERGROUND TELEPHONE
1020 SIGN BOARD	UNDERGROUND TELEPHONE
1021 SIGN BOARD	UNDERGROUND TELEPHONE
1022 SIGN BOARD	UNDERGROUND TELEPHONE
1023 SIGN BOARD	UNDERGROUND TELEPHONE
1024 SIGN BOARD	UNDERGROUND TELEPHONE
1025 SIGN BOARD	UNDERGROUND TELEPHONE
1026 SIGN BOARD	UNDERGROUND TELEPHONE
1027 SIGN BOARD	UNDERGROUND TELEPHONE
1028 SIGN BOARD	UNDERGROUND TELEPHONE
1029 SIGN BOARD	UNDERGROUND TELEPHONE
1030 SIGN BOARD	UNDERGROUND TELEPHONE
1031 SIGN BOARD	UNDERGROUND TELEPHONE
1032 SIGN BOARD	UNDERGROUND TELEPHONE
1033 SIGN BOARD	UNDERGROUND TELEPHONE
1034 SIGN BOARD	UNDERGROUND TELEPHONE
1035 SIGN BOARD	UNDERGROUND TELEPHONE
1036 SIGN BOARD	UNDERGROUND TELEPHONE
1037 SIGN BOARD	UNDERGROUND TELEPHONE
1038 SIGN BOARD	UNDERGROUND TELEPHONE
1039 SIGN BOARD	UNDERGROUND TELEPHONE
1040 SIGN BOARD	UNDERGROUND TELEPHONE
1041 SIGN BOARD	UNDERGROUND TELEPHONE
1042 SIGN BOARD	UNDERGROUND TELEPHONE
1043 SIGN BOARD	UNDERGROUND TELEPHONE
1044 SIGN BOARD	UNDERGROUND TELEPHONE
1045 SIGN BOARD	UNDERGROUND TELEPHONE
1046 SIGN BOARD	UNDERGROUND TELEPHONE
1047 SIGN BOARD	UNDERGROUND TELEPHONE
1048 SIGN BOARD	UNDERGROUND TELEPHONE
1049 SIGN BOARD	UNDERGROUND TELEPHONE
1050 SIGN BOARD	UNDERGROUND TELEPHONE
1051 SIGN BOARD	UNDERGROUND TELEPHONE
1052 SIGN BOARD	UNDERGROUND TELEPHONE
1053 SIGN BOARD	UNDERGROUND TELEPHONE
1054 SIGN BOARD	UNDERGROUND TELEPHONE
1055 SIGN BOARD	UNDERGROUND TELEPHONE
1056 SIGN BOARD	UNDERGROUND TELEPHONE
1057 SIGN BOARD	UNDERGROUND TELEPHONE
1058 SIGN BOARD	UNDERGROUND TELEPHONE
1059 SIGN BOARD	UNDERGROUND TELEPHONE
1060 SIGN BOARD	UNDERGROUND TELEPHONE
1061 SIGN BOARD	UNDERGROUND TELEPHONE
1062 SIGN BOARD	UNDERGROUND TELEPHONE
1063 SIGN BOARD	UNDERGROUND TELEPHONE
1064 SIGN BOARD	UNDERGROUND TELEPHONE
1065 SIGN BOARD	UNDERGROUND TELEPHONE
1066 SIGN BOARD	UNDERGROUND TELEPHONE
1067 SIGN BOARD	UNDERGROUND TELEPHONE
1068 SIGN BOARD	UNDERGROUND TELEPHONE
1069 SIGN BOARD	UNDERGROUND TELEPHONE
1070 SIGN BOARD	UNDERGROUND TELEPHONE
1071 SIGN BOARD	UNDERGROUND TELEPHONE
1072 SIGN BOARD	UNDERGROUND TELEPHONE
1073 SIGN BOARD	UNDERGROUND TELEPHONE
1074 SIGN BOARD	UNDERGROUND TELEPHONE
1075 SIGN BOARD	UNDERGROUND TELEPHONE
1076 SIGN BOARD	UNDERGROUND TELEPHONE
1077 SIGN BOARD	UNDERGROUND TELEPHONE
1078 SIGN BOARD	UNDERGROUND TELEPHONE
1079 SIGN BOARD	UNDERGROUND TELEPHONE
1080 SIGN BOARD	UNDERGROUND TELEPHONE
1081 SIGN BOARD	UNDERGROUND TELEPHONE
1082 SIGN BOARD	UNDERGROUND TELEPHONE
1083 SIGN BOARD	UNDERGROUND TELEPHONE
1084 SIGN BOARD	UNDERGROUND TELEPHONE
1085 SIGN BOARD	UNDERGROUND TELEPHONE
1086 SIGN BOARD	UNDERGROUND TELEPHONE
1087 SIGN BOARD	UNDERGROUND TELEPHONE
1088 SIGN BOARD	UNDERGROUND TELEPHONE
1089 SIGN BOARD	UNDERGROUND TELEPHONE
1090 SIGN BOARD	UNDERGROUND TELEPHONE
1091 SIGN BOARD	UNDERGROUND TELEPHONE
1092 SIGN BOARD	UNDERGROUND TELEPHONE
1093 SIGN BOARD	UNDERGROUND TELEPHONE
1094 SIGN BOARD	UNDERGROUND TELEPHONE
1095 SIGN BOARD	UNDERGROUND TELEPHONE
1096 SIGN BOARD	UNDERGROUND TELEPHONE
1097 SIGN BOARD	UNDERGROUND TELEPHONE
1098 SIGN BOARD	UNDERGROUND TELEPHONE
1099 SIGN BOARD	UNDERGROUND TELEPHONE
1100 SIGN BOARD	UNDERGROUND TELEPHONE
1101 SIGN BOARD	UNDERGROUND TELEPHONE
1102 SIGN BOARD	UNDERGROUND TELEPHONE
1103 SIGN BOARD	UNDERGROUND TELEPHONE
1104 SIGN BOARD	UNDERGROUND TELEPHONE
1105 SIGN BOARD	UNDERGROUND TELEPHONE
1106 SIGN BOARD	UNDERGROUND TELEPHONE
1107 SIGN BOARD	UNDERGROUND TELEPHONE
1108 SIGN BOARD	UNDERGROUND TELEPHONE
1109 SIGN BOARD	UNDERGROUND TELEPHONE
1110 SIGN BOARD	UNDERGROUND TELEPHONE
1111 SIGN BOARD	UNDERGROUND TELEPHONE
1112 SIGN BOARD	UNDERGROUND TELEPHONE
1113 SIGN BOARD	UNDERGROUND TELEPHONE
1114 SIGN BOARD	UNDERGROUND TELEPHONE
1115 SIGN BOARD	UNDERGROUND TELEPHONE
1116 SIGN BOARD	UNDERGROUND TELEPHONE
1117 SIGN BOARD	UNDERGROUND TELEPHONE
1118 SIGN BOARD	UNDERGROUND TELEPHONE
1119 SIGN BOARD	UNDERGROUND TELEPHONE
1120 SIGN BOARD	UNDERGROUND TELEPHONE
1121 SIGN BOARD	UNDERGROUND TELEPHONE
1122 SIGN BOARD	UNDERGROUND TELEPHONE
1123 SIGN BOARD	UNDERGROUND TELEPHONE
1124 SIGN BOARD	UNDERGROUND TELEPHONE
1125 SIGN BOARD	UNDERGROUND TELEPHONE
1126 SIGN BOARD	UNDERGROUND TELEPHONE
1127 SIGN BOARD	UNDERGROUND TELEPHONE
1128 SIGN BOARD	UNDERGROUND TELEPHONE
1129 SIGN BOARD	UNDERGROUND TELEPHONE
1130 SIGN BOARD	UNDERGROUND TELEPHONE
1131 SIGN BOARD	UNDERGROUND TELEPHONE
1132 SIGN BOARD	UNDERGROUND TELEPHONE
1133 SIGN BOARD	UNDERGROUND TELEPHONE
1134 SIGN BOARD	UNDERGROUND TELEPHONE
1135 SIGN BOARD	UNDERGROUND TELEPHONE
1136 SIGN BOARD	UNDERGROUND TELEPHONE
1137 SIGN BOARD	UNDERGROUND TELEPHONE
1138 SIGN BOARD	UNDERGROUND TELEPHONE
1139 SIGN BOARD	UNDERGROUND TELEPHONE
1140 SIGN BOARD	UNDERGROUND TELEPHONE
1141 SIGN BOARD	UNDERGROUND TELEPHONE
1142 SIGN BOARD	UNDERGROUND TELEPHONE
1143 SIGN BOARD	UNDERGROUND TELEPHONE
1144 SIGN BOARD	UNDERGROUND TELEPHONE
1145 SIGN BOARD	UNDERGROUND TELEPHONE
1146 SIGN BOARD	UNDERGROUND TELEPHONE
1147 SIGN BOARD	UNDERGROUND TELEPHONE
1148 SIGN BOARD	UNDERGROUND TELEPHONE
1149 SIGN BOARD	UNDERGROUND TELEPHONE
1150 SIGN BOARD	UNDERGROUND TELEPHONE
1151 SIGN BOARD	UNDERGROUND TELEPHONE
1152 SIGN BOARD	UNDERGROUND TELEPHONE
1153 SIGN BOARD	UNDERGROUND TELEPHONE
1154 SIGN BOARD	UNDERGROUND TELEPHONE
1155 SIGN BOARD	UNDERGROUND TELEPHONE
1156 SIGN BOARD	UNDERGROUND TELEPHONE
1157 SIGN BOARD	UNDERGROUND TELEPHONE
1158 SIGN BOARD	UNDERGROUND TELEPHONE
1159 SIGN BOARD	UNDERGROUND TELEPHONE
1160 SIGN BOARD	UNDERGROUND TELEPHONE
1161 SIGN BOARD	UNDERGROUND TELEPHONE
1162 SIGN BOARD	UNDERGROUND TELEPHONE
1163 SIGN BOARD	UNDERGROUND TELEPHONE
1164 SIGN BOARD	UNDERGROUND TELEPHONE
1165 SIGN BOARD	UNDERGROUND TELEPHONE
1166 SIGN BOARD	UNDERGROUND TELEPHONE
1167 SIGN BOARD	UNDERGROUND TELEPHONE
1168 SIGN BOARD	UNDERGROUND TELEPHONE
1169 SIGN BOARD	UNDERGROUND TELEPHONE
1170 SIGN BOARD	UNDERGROUND TELEPHONE
1171 SIGN BOARD	UNDERGROUND TELEPHONE
1172 SIGN BOARD	UNDERGROUND TELEPHONE
1173 SIGN BOARD	UNDERGROUND TELEPHONE
1174 SIGN BOARD	UNDERGROUND TELEPHONE
1175 SIGN BOARD	UNDERGROUND TELEPHONE
1176 SIGN BOARD	UNDERGROUND TELEPHONE
1177 SIGN BOARD	UNDERGROUND TELEPHONE
1178 SIGN BOARD	UNDERGROUND TELEPHONE
1179 SIGN BOARD	UNDERGROUND TELEPHONE
1180 SIGN BOARD	UNDERGROUND TELEPHONE
1181 SIGN BOARD	UNDERGROUND TELEPHONE
1182 SIGN BOARD	UNDERGROUND TELEPHONE
1183 SIGN BOARD	UNDERGROUND TELEPHONE
1184 SIGN BOARD	UNDERGROUND TELEPHONE
1185 SIGN BOARD	UNDERGROUND TELEPHONE
1186 SIGN BOARD	UNDERGROUND TELEPHONE
1187 SIGN BOARD	UNDERGROUND TELEPHONE
1188 SIGN BOARD	UNDERGROUND TELEPHONE
1189 SIGN BOARD	UNDERGROUND TELEPHONE
1190 SIGN BOARD	UNDERGROUND TELEPHONE
1191 SIGN BOARD	UNDERGROUND TELEPHONE
1192 SIGN BOARD	UNDERGROUND TELEPHONE
1193 SIGN BOARD	UNDERGROUND TELEPHONE
1194 SIGN BOARD	UNDERGROUND TELEPHONE
1195 SIGN BOARD	UNDERGROUND TELEPHONE
1196 SIGN BOARD	UNDERGROUND TELEPHONE
1197 SIGN BOARD	UNDERGROUND TELEPHONE
1198 SIGN BOARD	UNDERGROUND TELEPHONE
1199 SIGN BOARD	UNDERGROUND TELEPHONE
1200 SIGN BOARD	UNDERGROUND TELEPHONE



THE F.I.R.M. MAP NUMBER 122450215E SPECIFICS  
DATE 07/03/2022 INDICATES THIS PROPERTY IS NOT LOCATED IN A  
DESIGNATED FLOOD HAZARD AREA.

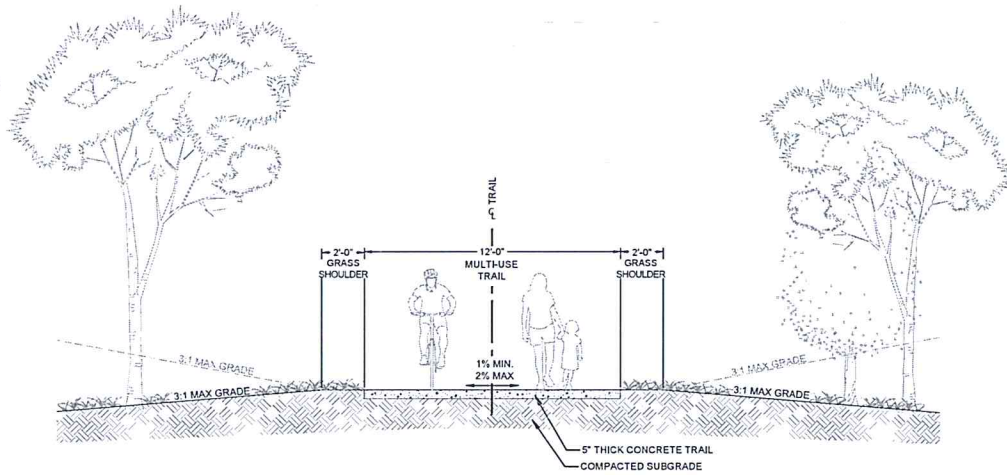


NOTE: LAST DATE OF FIELD WORK FOR ORIGINAL  
SURVEY LIMITS PERFORMED ON 07-06-2022.  
LAST DATE OF ADDITIONAL TOPOGRAPHIC SURVEY  
PERFORMED ON 08/31/2023

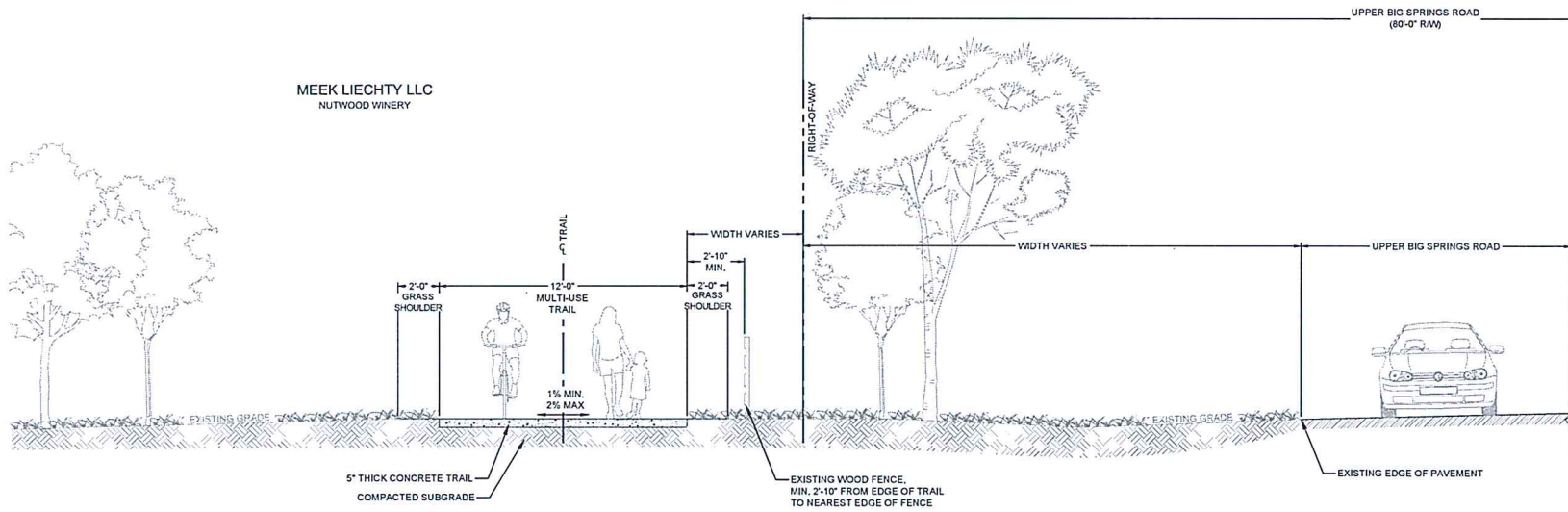


<b>GEORGIA &amp; WEST, INC.</b> ENGINEERING • LAND SURVEYING • LAND PLANNING 1405 CORPORATE DRIVE CARROLLTON, GA 30117 E-MAIL: info@georgiawest.com	
TITLE: TOPOGRAPHIC SURVEY <b>LAGRANGE THREADEAD PHASE 10 -          GEORGE HARRIS COMPLEX          TO S. DAVIS RD          LOCATED IN TROUP COUNTY, GEORGIA</b>	
PROJECT NO.: 220123	SHEET NO.: 10
DATE: 10/20/2022	SCALE: AS SHOWN
DRAWN BY:	CHECKED BY:
DATE:	DATE:
OCCUPATION:	OCCUPATION:

TYPICAL SECTION NOTE:  
DRAINAGE SWALE (NOT SHOWN)  
ARE PROPOSED OFF EITHER SIDE  
OF TRAIL IN CERTAIN AREAS.  
REFER TO CP SERIES FOR  
LOCATIONS AND DETAILS



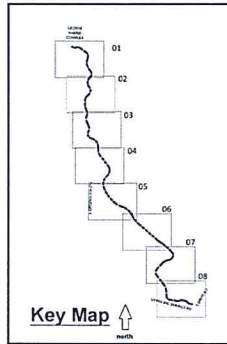
1 SITE SECTION - GREENWAY TRAIL  
SCALE: 3/8" = 1'-0"



2 SITE SECTION - UPPER BIG SPRINGS ROAD SIDE PATH  
SCALE: 3/8" = 1'-0"

**CW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
145 GONVILLE DRIVE  
CAROLSTON, GA 30117  
PHONE: (770) 244-1424  
FAX: (770) 244-1202  
EMAIL: info@cwgeorgiawest.com

**KAIZEN COLLABORATIVE**  
2390 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

LaGRANGE THREAD PHASE 10  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGRANGE, GA

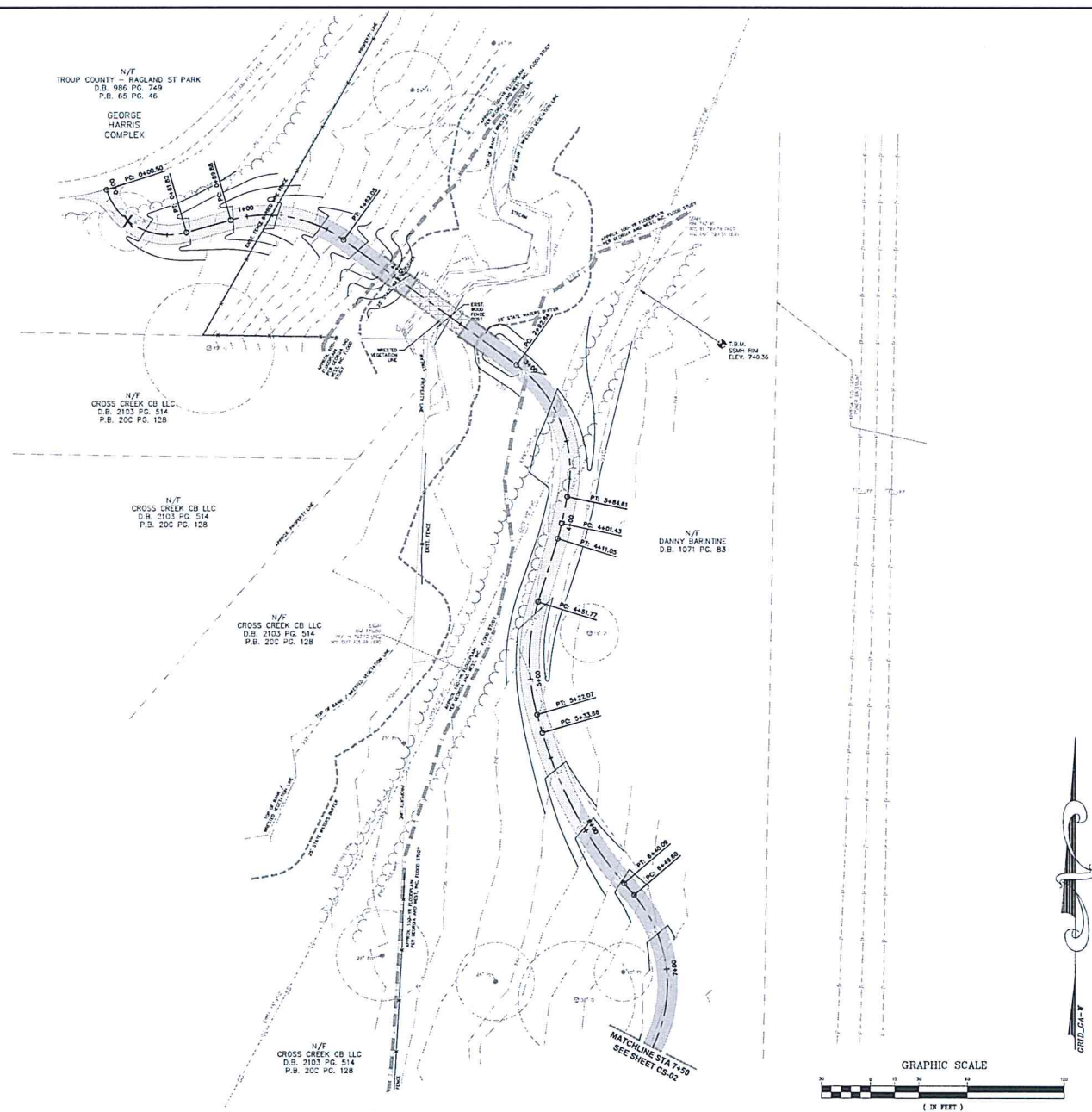


TYPICAL SECTION

SCALE	AS SHOWN
DATE	10-25-2023

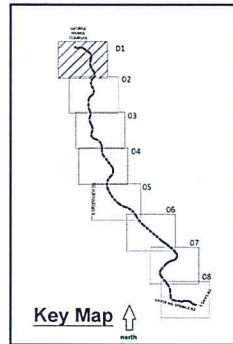
SHEET # TS-01

C:\Users\mccormack\Documents\2023\LaGrange Thread Phase 10\LaGrange Thread Phase 10\DWG\2023\CS-01.dwg, 5/27/24 4:45:34 AM



**GW GEORGIA & WEST, INC.**  
 ENGINEERING • LAND SURVEYING • LAND PLANNING  
 105 CORPORATE CIRCLE  
 CAROLTON, GA 30117  
 OFFICE (770) 844-8484  
 FAX (770) 844-1028  
 EMAIL: info@georgiawest.com

**KAIZEN COLLABORATIVE**  
 2350 MAIN STREET | TUCKER, GEORGIA 30084 | 404.235.2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
04/29/2024	100% ISSUE FOR BID

JOB NUMBER 220523  
 PROJECT MANAGER LHW

**LaGrange Thread Phase 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGrange, GA**



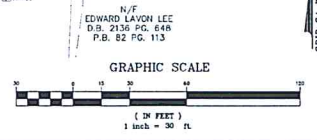
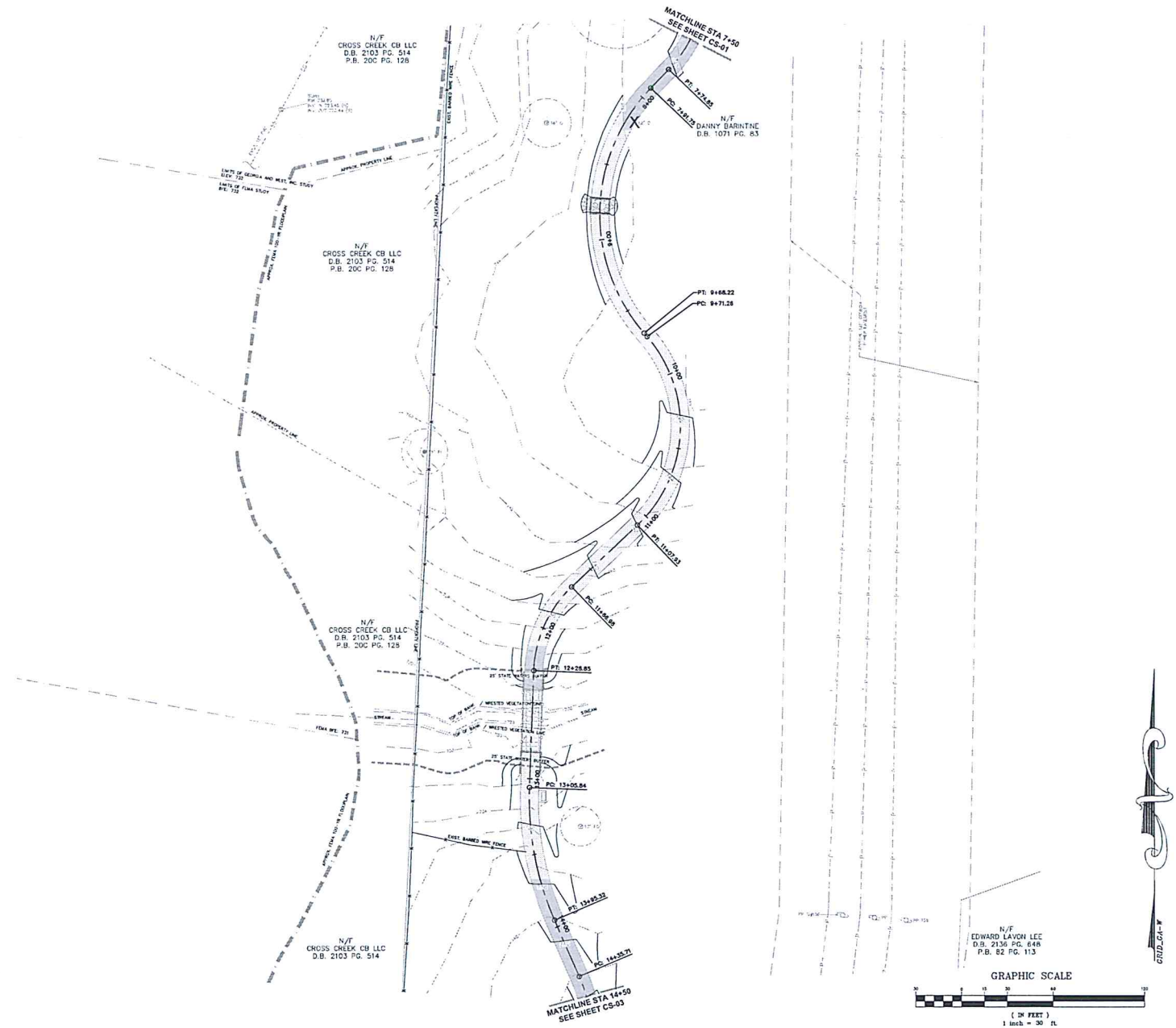
**CENTERLINE STATIONING PLAN**

SCALE 1" = 30'  
 DATE OCTOBER 25, 2023

SHEET # **CS-01**

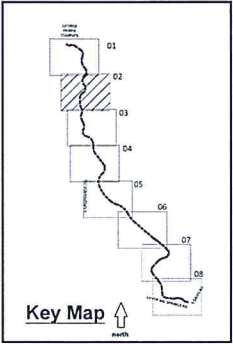


C:\Users\jacob@georgia811.com\OneDrive\Documents\2023\LaGrange\THM\LaGrange Thread Phase 10\LaGrange Thread Phase 10 CS-02.dwg, 9/20/24, 4:45:44 AM



**GEORGIA & WEST, INC.**  
 ENGINEERING • LAND SURVEYING • LAND PLANNING  
 105 CORPORATE DRIVE  
 CAROLSTON, GA 30117  
 PHONE: 770.334.8484  
 FAX: 770.334.1055  
 EMAIL: info@georgiawest.com

**KAIZEN COLLABORATIVE**  
 2390 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
04/29/2024	100% ISSUE FOR BID

JOB NUMBER 220523  
 PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10  
 GEORGE HARRIS COMPLEX TO  
 SOUTH DAVIS RD  
 LaGRANGE, GA**

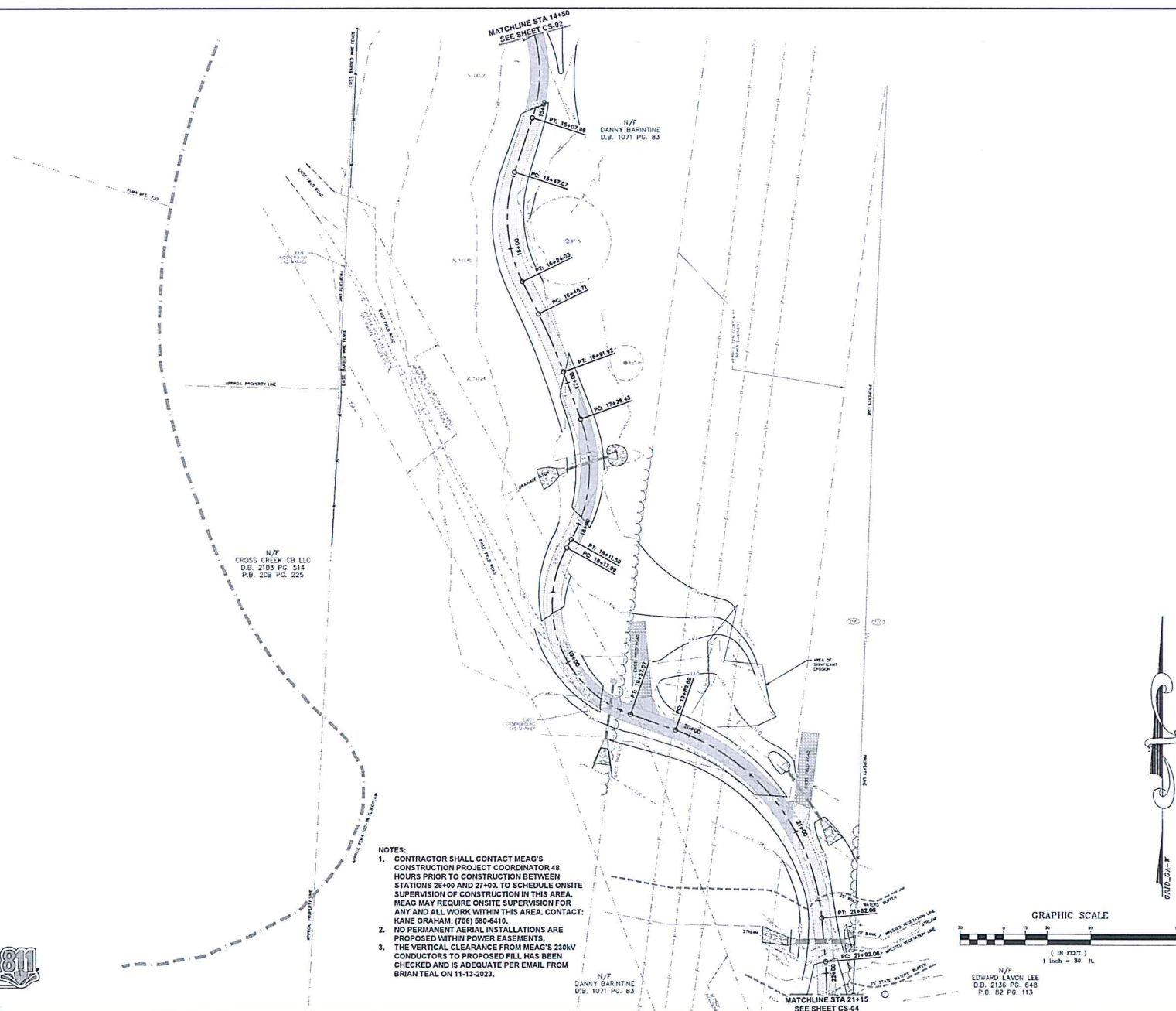


**CENTERLINE STATIONING PLAN**

SCALE 1" = 30'  
 DATE OCTOBER 25, 2023

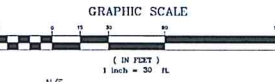
SHEET # **CS-02**

C:\Users\meag\OneDrive\Documents\LaGrange Thread Phase 10\LaGrange Thread Phase 10\DWG\CS-04.dwg, 10/25/2023 11:44:52 AM



- NOTES:**
1. CONTRACTOR SHALL CONTACT MEAG'S CONSTRUCTION PROJECT COORDINATOR 48 HOURS PRIOR TO CONSTRUCTION BETWEEN STATIONS 26+00 AND 27+00. TO SCHEDULE ONSITE SUPERVISION OF CONSTRUCTION IN THIS AREA. MEAG MAY REQUIRE ONSITE SUPERVISION FOR ANY AND ALL WORK WITHIN THIS AREA. CONTACT: KANE GRAHAM; (706) 580-6410.
  2. NO PERMANENT AERIAL INSTALLATIONS ARE PROPOSED WITHIN POWER EASEMENTS.
  3. THE VERTICAL CLEARANCE FROM MEAG'S 230kV CONDUCTORS TO PROPOSED FILL HAS BEEN CHECKED AND IS ADEQUATE PER EMAIL FROM BRIAN TEAL ON 11-13-2023.

N/F  
DANNY BARNTINE  
D.B. 1071 PG. 63

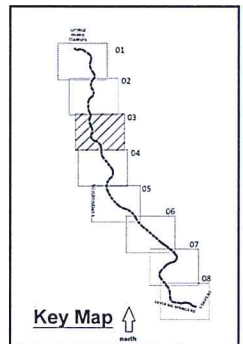


N/F  
EDWARD LAVON LEE  
D.B. 2136 PG. 648  
P.B. 82 PG. 113



**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
100 CORPORATE DR. C  
CARROLLTON, GA 30117  
Phone: 770.834.4494 Fax: 770.834.1005  
Email: meag@georgiawest.com

**KAIZEN COLLABORATIVE**  
2390 MAIN STREET | TUCKER, GEORGIA, 30084 | 404.239.2571



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/16/2023	50% REVIEW REVISED
10/09/2023	REVISED STORM SEWER
11/14/2023	REV. PER MEAG COMMENTS
12/01/2023	REV. PER G&PW COMMENTS
04/29/2024	100% ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

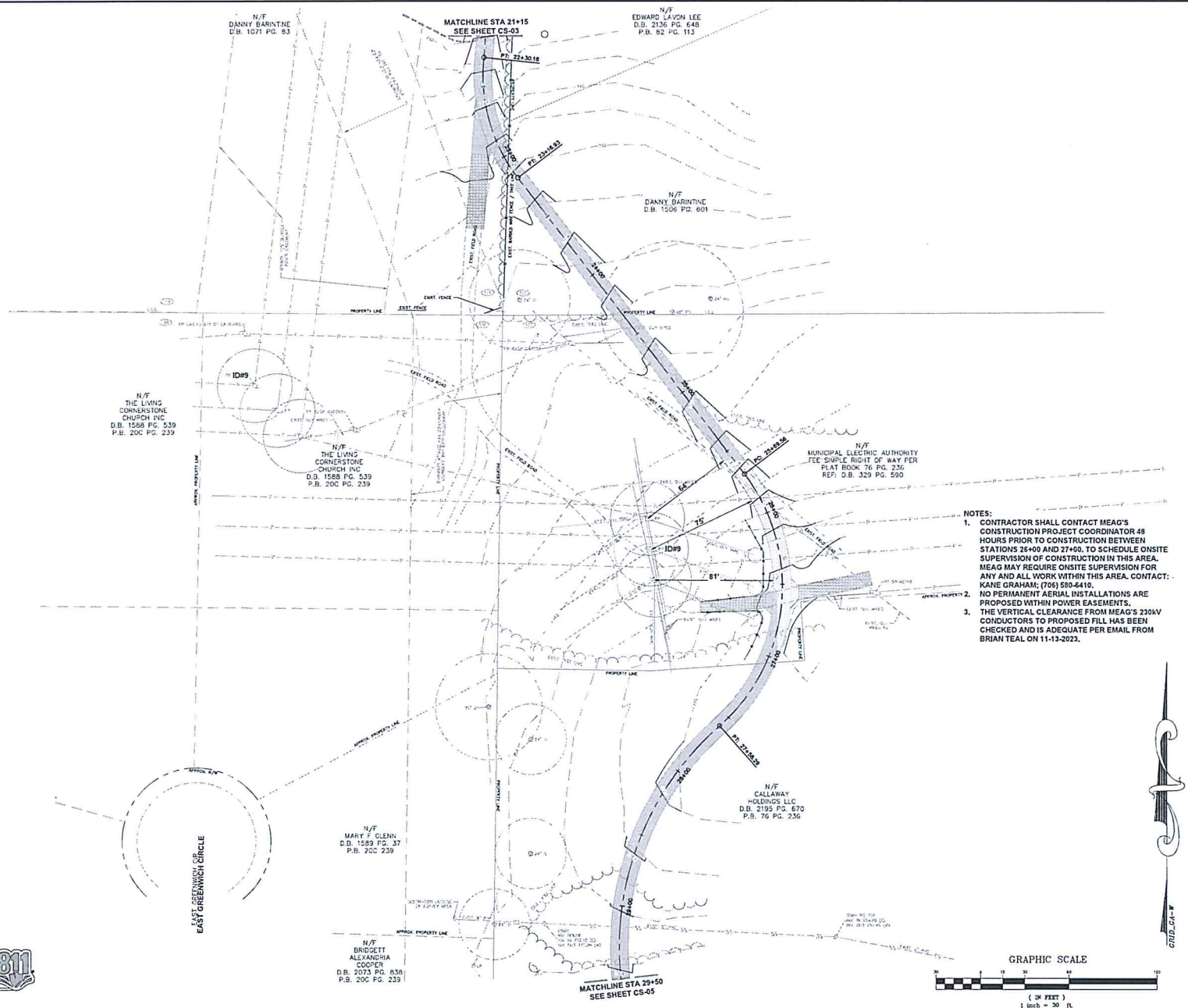
**LaGRANGE THREAD PHASE 10  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGRANGE, GA**



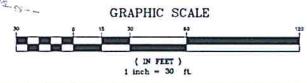
**CENTERLINE STATIONING PLAN**

SCALE	1" = 30'
DATE	OCTOBER 25, 2023
SHEET #	<b>CS-03</b>

C:\Users\mduffy\OneDrive\Documents\2023\LaGrange Thread Phase 10\LaGrange Thread Phase 10\DWG\2023\CS-03.dwg, 10/25/2023, 4:41:13 PM

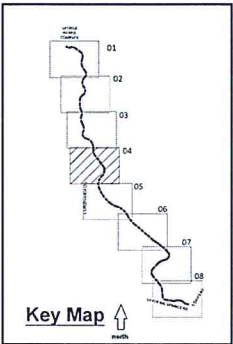


- NOTES:
1. CONTRACTOR SHALL CONTACT MEAG'S CONSTRUCTION PROJECT COORDINATOR 48 HOURS PRIOR TO CONSTRUCTION BETWEEN STATIONS 26+00 AND 27+00, TO SCHEDULE ONSITE SUPERVISION OF CONSTRUCTION IN THIS AREA. MEAG MAY REQUIRE ONSITE SUPERVISION FOR ANY AND ALL WORK WITHIN THIS AREA. CONTACT: KANE GRAHAM; (706) 580-6410.
  2. NO PERMANENT AERIAL INSTALLATIONS ARE PROPOSED WITHIN POWER EASEMENTS.
  3. THE VERTICAL CLEARANCE FROM MEAG'S 230KV CONDUCTORS TO PROPOSED FILL HAS BEEN CHECKED AND IS ADEQUATE PER EMAIL FROM BRIAN TEAL ON 11-13-2023.



**G&W GEORGIA & WEST, INC.**  
 ENGINEERING • LAND SURVEYING • LAND PLANNING  
 105 CORPORATE CENTER  
 CARROLLTON, GA 30117  
 PHONE: (770) 834-1000  
 FAX: (770) 834-1001  
 EMAIL: info@georgiawest.com

**KAIZEN COLLABORATIVE**  
 2390 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/16/2023	50% REVIEW REVISED
10/09/2023	ADDED 25' HO-GRD BUFFER
11/14/2023	REV. PER MEAG COMMENTS
12/01/2023	REV. PER GAPWR COMMENTS
04/28/2024	100% ISSUE FOR BID

JOB NUMBER 220523  
 PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**



**CENTERLINE STATIONING PLAN**

SCALE 1" = 30'  
 DATE OCTOBER 25, 2023

SHEET # **CS-04**





N/F BRIDGETT  
ALEXANDRIA  
COOPER  
D.B. 2073 PG. 838  
P.B. 20C PG. 239

N/F CAVERON SIDRICK  
D & TANYA K  
D.B. 1260 PG. 95  
P.B. 20C PG. 235

N/F DIVERSE POWER INC  
P.B. 65 PG. 65

APPROX. METERS PER  
MILE AND FLAGGING  
SURVEYED IN FIELD  
(FLAGGING BY OTHERS)

N/F CALLAWAY HOLDINGS LLC  
D.B. 2013 PG. 665  
P.B. 76 PG. 236

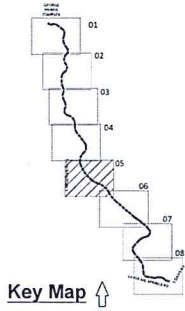
APPROX. METERS PER  
MILE AND FLAGGING  
SURVEYED IN FIELD  
(FLAGGING BY OTHERS)

MATCHLINE STA 29+50  
SEE SHEET CS-04

MATCHLINE STA 37+50  
SEE SHEET CS-06

**GW** GEORGIA & WEST, INC.  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
US CORPORATE OFFICE  
CAROLTON, CA 94517  
PHONE: (925) 261-1000  
FAX: (925) 261-1001  
WWW.GWENGINEERING.COM

**KAIZEN COLLABORATIVE**  
2390 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
04/25/2024	100% ISSUE FOR BID

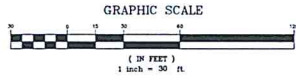
JOB NUMBER 220523  
PROJECT MANAGER LMW  
**LaGRANGE THREAD PHASE 10  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGRANGE, GA**



**CENTERLINE STATIONING PLAN**

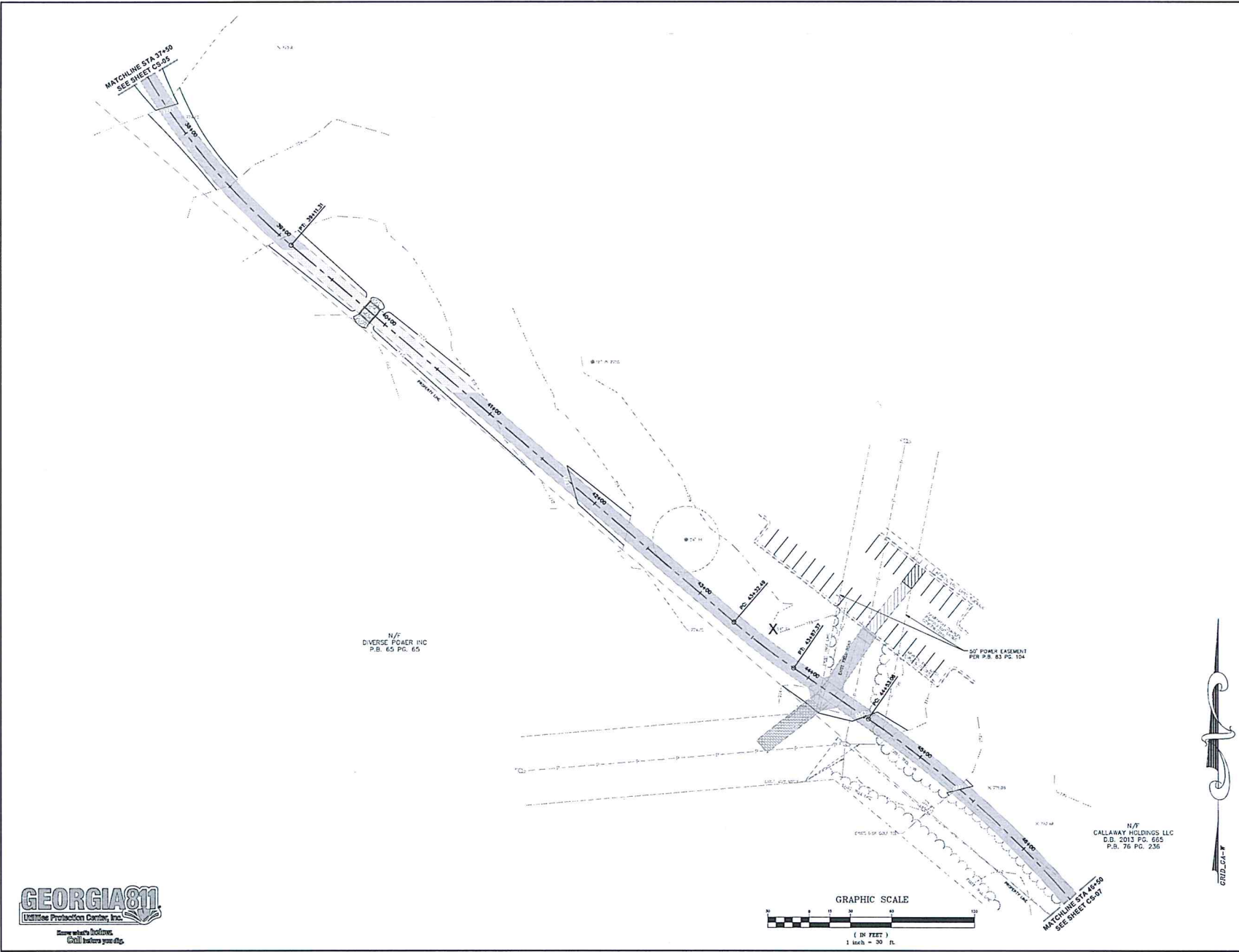
SCALE	1" = 30'
DATE	OCTOBER 25, 2023

SHEET # **CS-05**



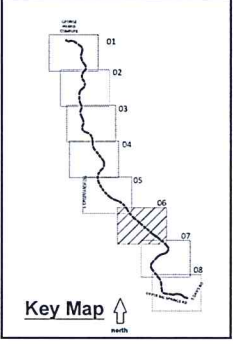
C:\Users\jwagner\OneDrive\Documents\2023\2023\_LaGrange\_Thread\_Phase\_10\DWG\20231025\_CS-05.dwg, 10/25/2023, 4:45:21 AM

C:\Users\hans.Drews\Documents\2023\LaGrange Thread Phase 10\LaGrange Thread Phase 10\DWG\2023\CS-001.dwg, 10/25/2023 1:45:54 AM



**GW GEORGIA & WEST, INC.**  
 ENGINEERING • LAND SURVEYING • LAND PLANNING  
 135 CORPORATE CIRCLE  
 CARROLLTON, GA 30115  
 PHONE: 770.844.4494  
 FAX: 770.844.1008  
 EMAIL: info@georgiawest.com

**KAIZEN COLLABORATIVE**  
 2390 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2321



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
04/29/2024	100% ISSUE FOR BID

JOB NUMBER 220523  
 PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10  
 GEORGE HARRIS COMPLEX TO  
 SOUTH DAVIS RD  
 LaGRANGE, GA**



**CENTERLINE STATIONING PLAN**

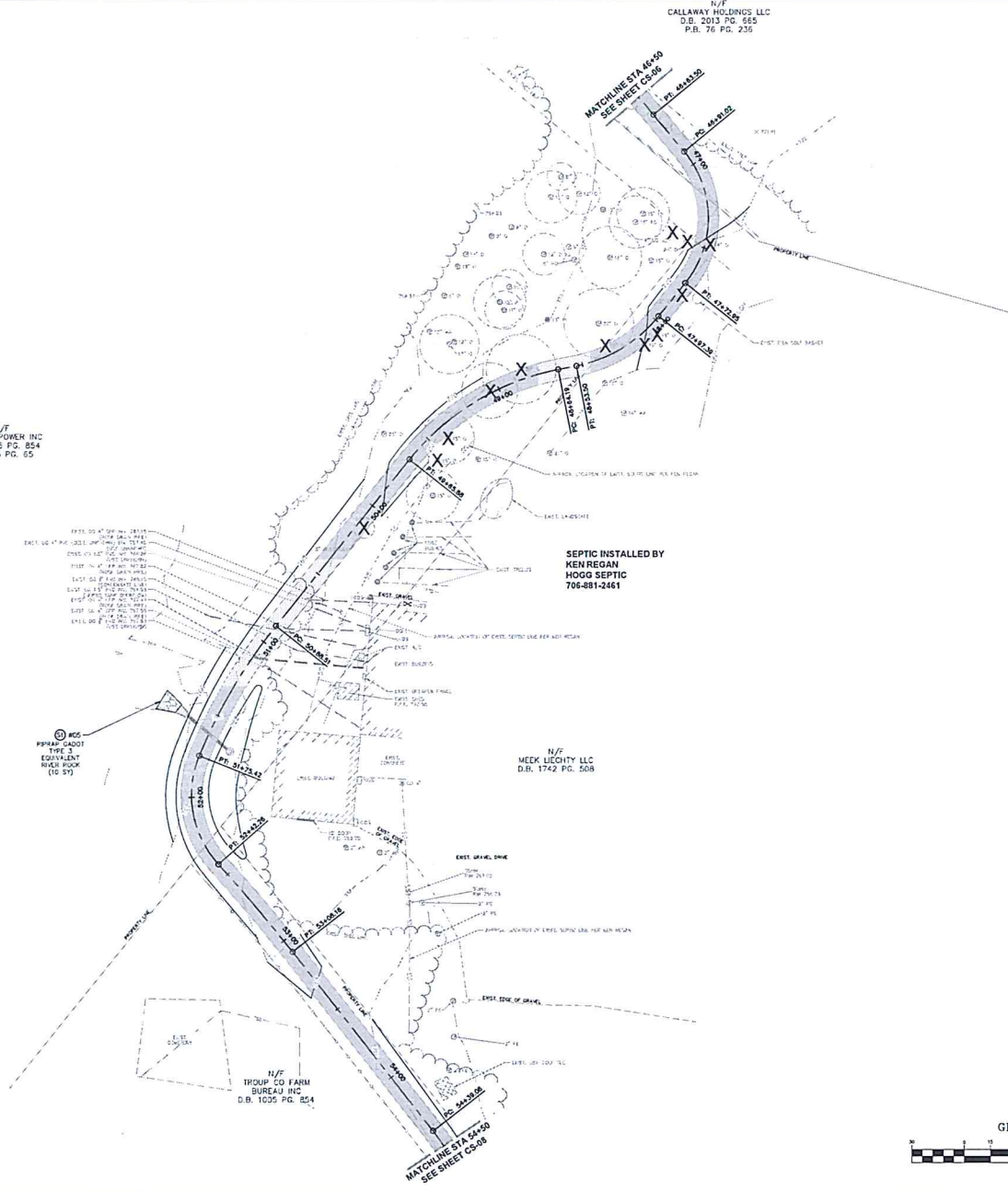
SCALE	1" = 30'
DATE	OCTOBER 25, 2023
SHEET #	<b>CS-06</b>

C:\Users\jgibson\OneDrive\Documents\2023\LaGrange\THREAD\COMPLEX\TSD\LA071\LA071.DWG 10/25/2023 10:47:17 AM



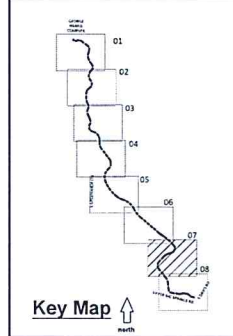
N/F  
DIVERSE POWER INC  
D.B. 1005 PG. 854  
P.B. 65 PG. 65

N/F  
CALLAWAY HOLDINGS LLC  
D.B. 2013 PG. 665  
P.B. 76 PG. 235



**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
105 CORPORATE DRIVE  
CHARLOTTE, NC 28117  
OFFICE (770) 834-4884  
FAX (770) 834-1058  
www.gw-engineering.com

**KAIZEN COLLABORATIVE**  
2359 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
04/29/2024	100% ISSUE FOR BID

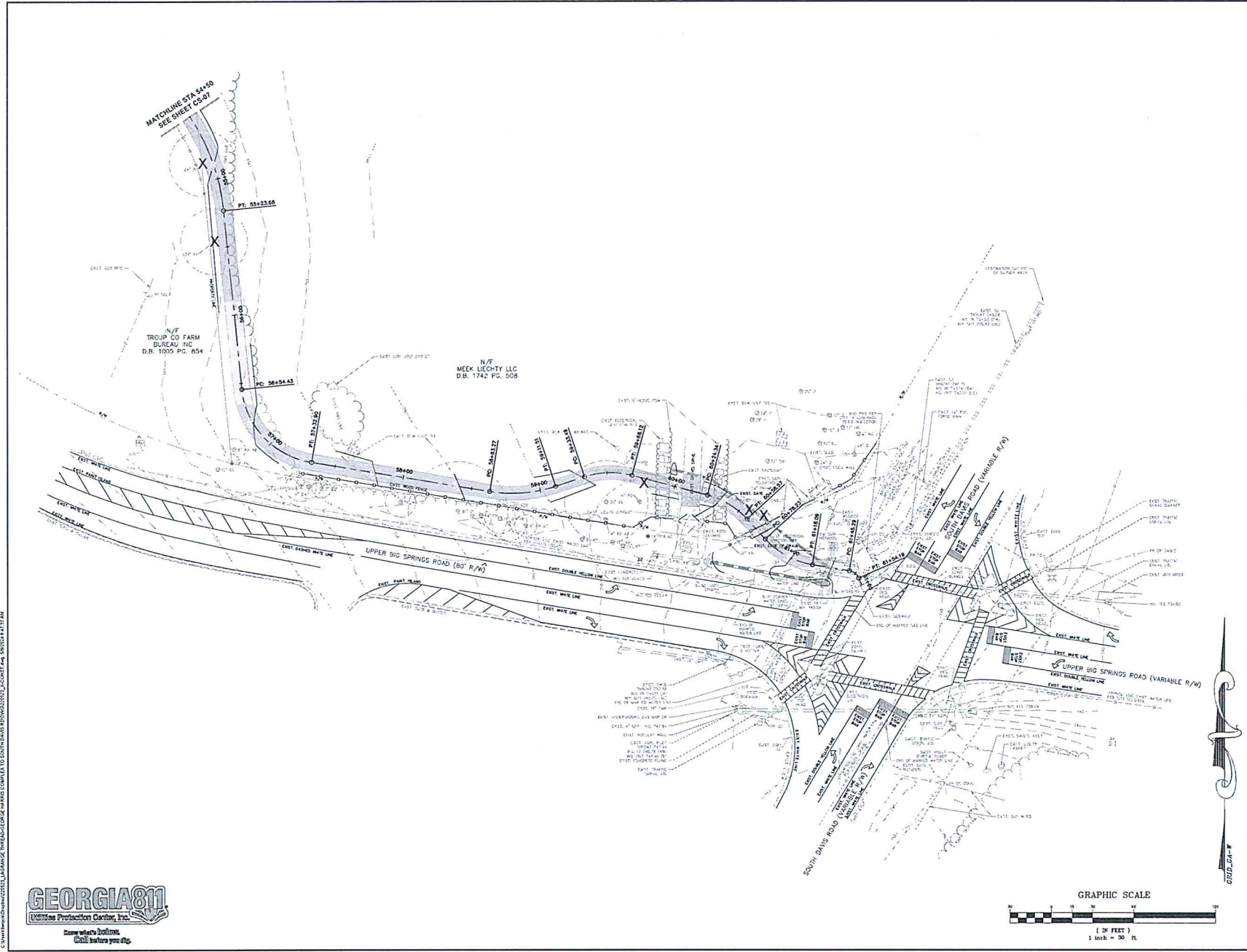
JOB NUMBER 220523  
PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**



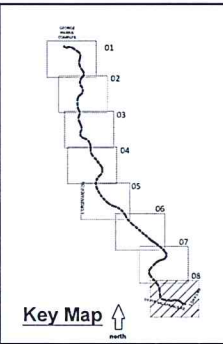
**CENTERLINE STATIONING PLAN**

SCALE	1" = 30'
DATE	OCTOBER 25, 2023
SHEET #	CS-07



**G&W GEORGIA & WEST, INC.**  
 ENGINEERING • LAND SURVEYING • LAND PLANNING  
 105 CORPORATE DRIVE  
 CAROLTON, GA 30117  
 OFFICE (770) 834-1834  
 FAX (770) 834-1005  
 Email: info@georgiawest.com

**KAIZEN COLLABORATIVE**  
 2350 MAIN STREET | TUCKER, GEORGIA, 30084 | 404.239.2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
04/29/2024	100% ISSUE FOR BID

JOB NUMBER 220523  
 PROJECT MANAGER LMW

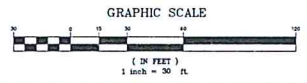
**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**



**CENTERLINE STATIONING PLAN**

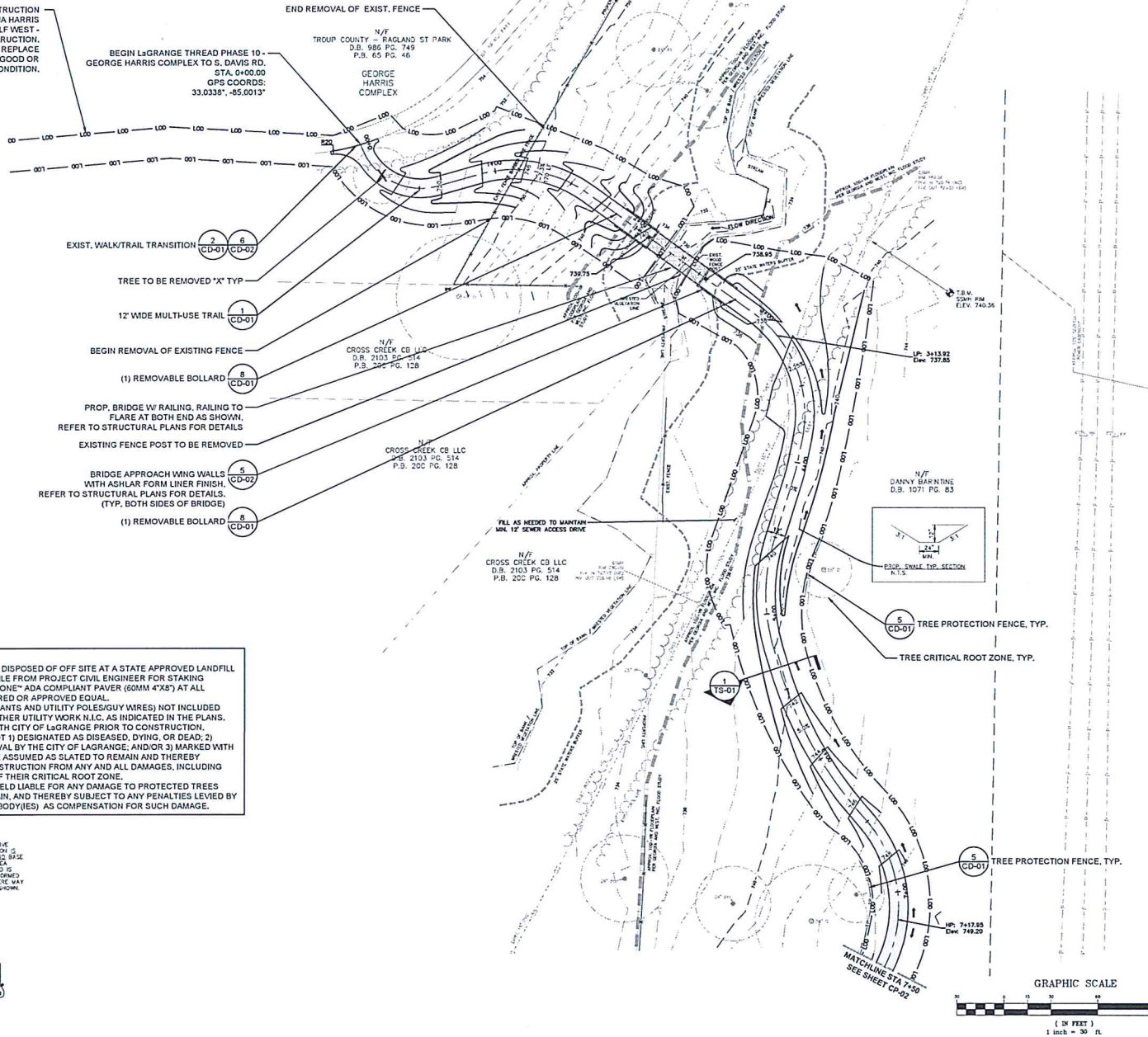
SCALE 1" = 30'  
 DATE OCTOBER 25, 2023

SHEET # **CS-08**



C:\Users\mwhitman\OneDrive\Documents\2023\LaGrange Thread Phase 10\GEORGE HARRIS COMPLEX TO SOUTH DAVIS RD\DWG\CS-08.dwg, 10/25/2023 4:17:37 AM

CONTRACTOR SHALL COORDINATE CONSTRUCTION ACCESS VIA THE EXISTING GEORGIA HARRIS COMPLEX PARKING LOT - APPROX. 650 LF WEST - WITH THE CITY PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPAIR/REPLACE CONSTRUCTION ACCESS AREA TO AS GOOD OR BETTER THAN PRE-CONSTRUCTION CONDITION.



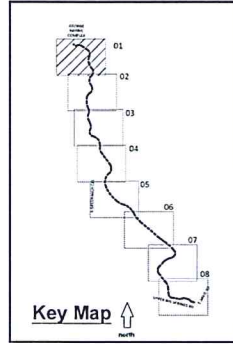
- NOTES:**
1. ALL DEMOLITION WASTE SHALL BE DISPOSED OF OFF SITE AT A STATE APPROVED LANDFILL
  2. CONTRACTOR TO REQUEST CAD FILE FROM PROJECT CIVIL ENGINEER FOR STAKING
  3. CONTRACTOR TO INSTALL PAVEMENT/ADA COMPLIANT PAVEMENT (60MM 4"x6") AT ALL HANDICAP RAMPS. COLOR: RIVER RED OR APPROVED EQUAL.
  4. UTILITY RELOCATION WORK (HYDRANTS AND UTILITY POLES/GUY WIRES) NOT INCLUDED WITHIN THIS PROJECT'S SCOPE. OTHER UTILITY WORK N.L.C. AS INDICATED IN THE PLANS. CONTRACTOR TO COORDINATE WITH CITY OF LAGRANGE PRIOR TO CONSTRUCTION.
  5. ALL TREES OUTSIDE THE L.O.D. (NOT 1) DESIGNATED AS DISEASED, DYING, OR DEAD; 2) PREVIOUSLY VERIFIED FOR REMOVAL BY THE CITY OF LAGRANGE; AND/OR 3) MARKED WITH AN 'X' ON THESE PLANS, SHALL BE ASSUMED AS SLATED TO REMAIN AND THEREBY PROTECTED ON SITE DURING CONSTRUCTION FROM ANY AND ALL DAMAGES, INCLUDING IMPACT OR COMPACTION >=25% OF THEIR CRITICAL ROOT ZONE.  
5.1. THE CONTRACTOR WILL BE HELD LIABLE FOR ANY DAMAGE TO PROTECTED TREES AND/OR THOSE SLATED TO REMAIN, AND THEREBY SUBJECT TO ANY PENALTIES LEVIED BY THE CITY, AND/OR GOVERNING BODY(IES) AS COMPENSATION FOR SUCH DAMAGE.

THE FIRM MAP NUMBER 132250141E EFFECTIVE DATE 02/22/2023 INDICATES THIS PROPERTY OR A PORTION IS LOCATED IN A DESIGNATED FLOOD HAZARD AREA. THE FLOOD ELEVATIONS DETERMINED, THE FLOOD HAZARD RISK ZONES IS OBTAINED FROM FEMA, FOR INFORMATION AND IS APPROXIMATE. GEORGIA 811 AND MICH. INC. HAS NOT PERFORMED ANY STUDIES TO VERIFY THE FLOOD HAZARD LIMITS. THERE MAY BE OTHER INTERPRETATIONS THAT DIFFER FROM THOSE SHOWN.



**GW GEORGIA & WEST, INC.**  
 ENGINEERING • LAND SURVEYING • LAND PLANNING  
 OFFICE (770) 844-8484  
 105 CORPORATE DRIVE  
 CAROLTON, GA 30117  
 FAX (770) 844-1055  
 Email: info@georgiawest.com

**KAIZEN COLLABORATIVE**  
 2300 MAIN STREET | TUCKER, GEORGIA 30084 | 404.230.2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
 PROJECT MANAGER LMW

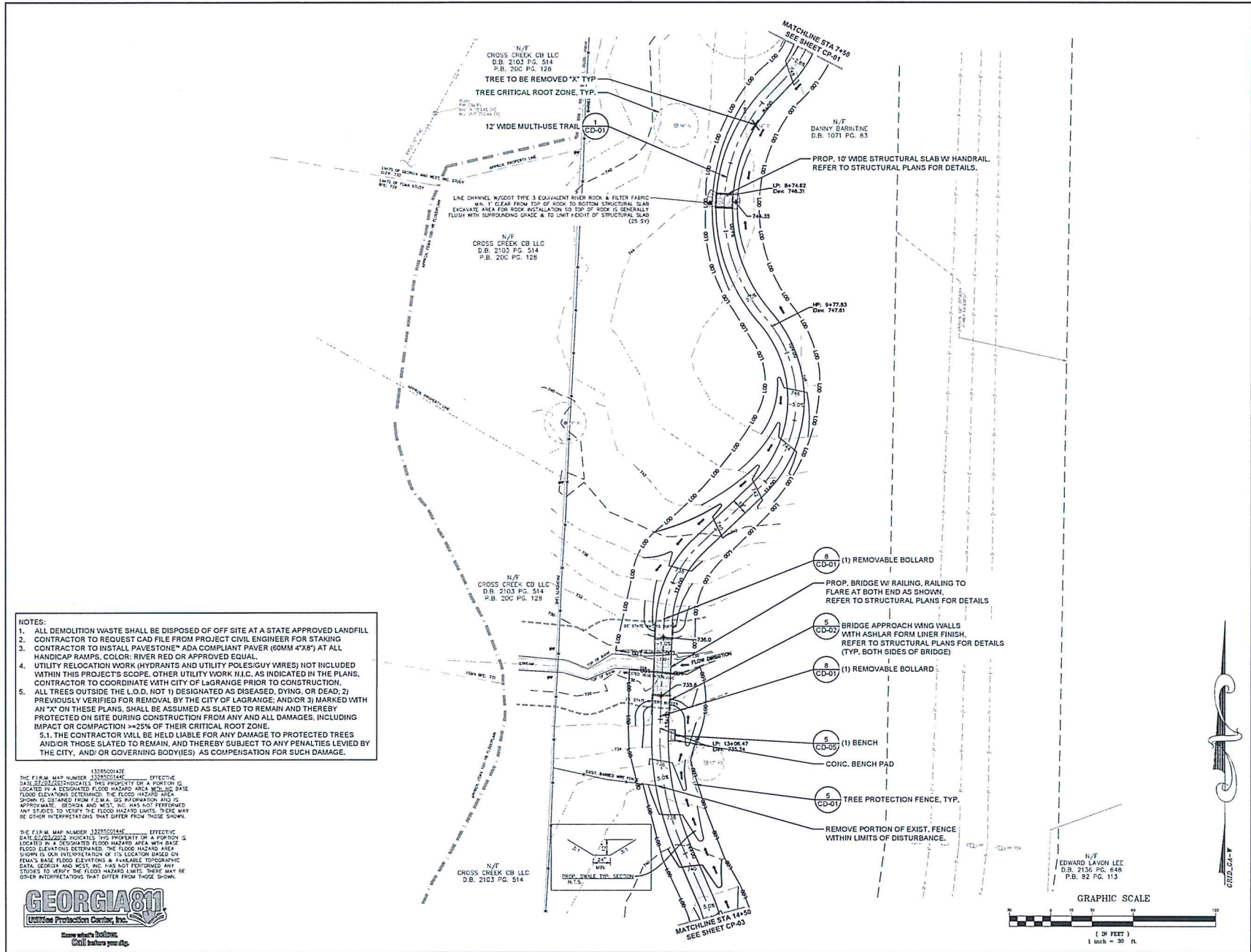
**LaGRANGE THREAD PHASE 10  
 GEORGE HARRIS COMPLEX TO  
 SOUTH DAVIS RD  
 LaGRANGE, GA**

SEAL FOR THE FIRM  
 KAIZEN COLLABORATIVE DESIGN, INC.

**CONSTRUCTION PLAN**

SCALE 1" = 30'  
 DATE 10-25-2023

SHEET # **CP-01**



**NOTES:**

- ALL DEMOLITION WASTE SHALL BE DISPOSED OF OFF SITE AT A STATE APPROVED LANDFILL
- CONTRACTOR TO REQUEST CAD FILE FROM PROJECT CIVIL ENGINEER FOR STAKING
- CONTRACTOR TO INSTALL PAVEMENT ADA COMPLIANT PAVEMENT (60MM 4'X8') AT ALL HANDICAP RAMP. COLOR: RIVER RED OR APPROVED EQUAL.
- UTILITY RELOCATION WORK (HYDRANTS AND UTILITY POLES/GUY WIRES) NOT INCLUDED WITHIN THIS PROJECT'S SCOPE. OTHER UTILITY WORK N.J.C. AS INDICATED IN THE PLANS. CONTRACTOR TO COORDINATE WITH CITY OF LAGRANGE PRIOR TO CONSTRUCTION.
- ALL TREES OUTSIDE THE L.O.D. NOT 1) DESIGNATED AS DISEASED, DYING, OR DEAD; 2) PREVIOUSLY VERIFIED FOR REMOVAL BY THE CITY OF LAGRANGE; AND/OR 3) MARKED WITH AN "X" ON THESE PLANS. SHALL BE ASSUMED AS SLATED TO REMAIN AND THEREBY PROTECTED ON SITE DURING CONSTRUCTION FROM ANY AND ALL DAMAGES, INCLUDING IMPACT OR COMPACTION >=25% OF THEIR CRITICAL ROOT ZONE.
  - S.1. THE CONTRACTOR WILL BE HELD LIABLE FOR ANY DAMAGE TO PROTECTED TREES AND/OR THOSE SLATED TO REMAIN, AND THEREBY SUBJECT TO ANY PENALTIES LEVIED BY THE CITY, AND/OR GOVERNING BODY(IES) AS COMPENSATION FOR SUCH DAMAGE.

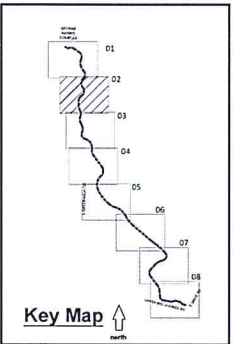
THE FIRM MAP NUMBER 3328520144E EFFECTIVE DATE 07/20/2022 INDICATES THIS PROPERTY OR A PORTION IS LOCATED IN A DESIGNATED FLOOD HAZARD AREA WITH BASE FLOOD ELEVATIONS DETERMINED. THE FLOOD HAZARD AREA SHOWN IS DERIVED FROM FEMA'S 02-BAYONVILLE AND IS APPROXIMATE. GEORGIA AND WEST, INC. HAS NOT PERFORMED ANY STUDIES TO VERIFY THE FLOOD HAZARD LIMITS. THERE MAY BE OTHER INTERPRETATIONS THAT DIFFER FROM THOSE SHOWN.

THE FIRM MAP NUMBER 3328520144E EFFECTIVE DATE 07/20/2022 INDICATES THIS PROPERTY OR A PORTION IS LOCATED IN A DESIGNATED FLOOD HAZARD AREA WITH BASE FLOOD ELEVATIONS DETERMINED. THE FLOOD HAZARD AREA SHOWN IS DERIVED FROM FEMA'S 02-BAYONVILLE AND IS APPROXIMATE. GEORGIA AND WEST, INC. HAS NOT PERFORMED ANY STUDIES TO VERIFY THE FLOOD HAZARD LIMITS. THERE MAY BE OTHER INTERPRETATIONS THAT DIFFER FROM THOSE SHOWN.



**GEORGIA & WEST, INC.**  
 ENGINEERING • LAND SURVEYING • LAND PLANNING  
 OFFICE: 1770 S.W. 84th AVE  
 CAROLTON, GA 30117  
 PHONE: 770-244-7100  
 FAX: 770-244-7101  
 EMAIL: info@georgiawest.com

**KAIZEN COLLABORATIVE**  
 2350 MAIN STREET | TUCKER, GEORGIA 30084 | 404-239-2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/16/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

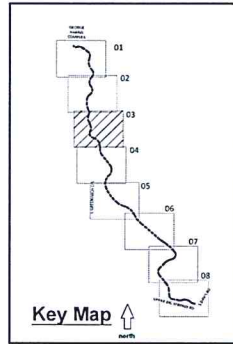
JOB NUMBER 220523  
 PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10  
 GEORGE HARRIS COMPLEX TO  
 SOUTH DAVIS RD  
 LaGRANGE, GA**

SEAL FOR THE FIRM  
 KAIZEN COLLABORATIVE DESIGN, INC.  
 I 10/25/23

**CONSTRUCTION PLAN**

SCALE	1" = 30'
DATE	10-25-2023
SHEET #	CP-02



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
11/14/2023	REV. PER MEAG COMMENTS
12/01/2023	REV. PER GSPWR COMMENTS
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
 PROJECT MANAGER LMW

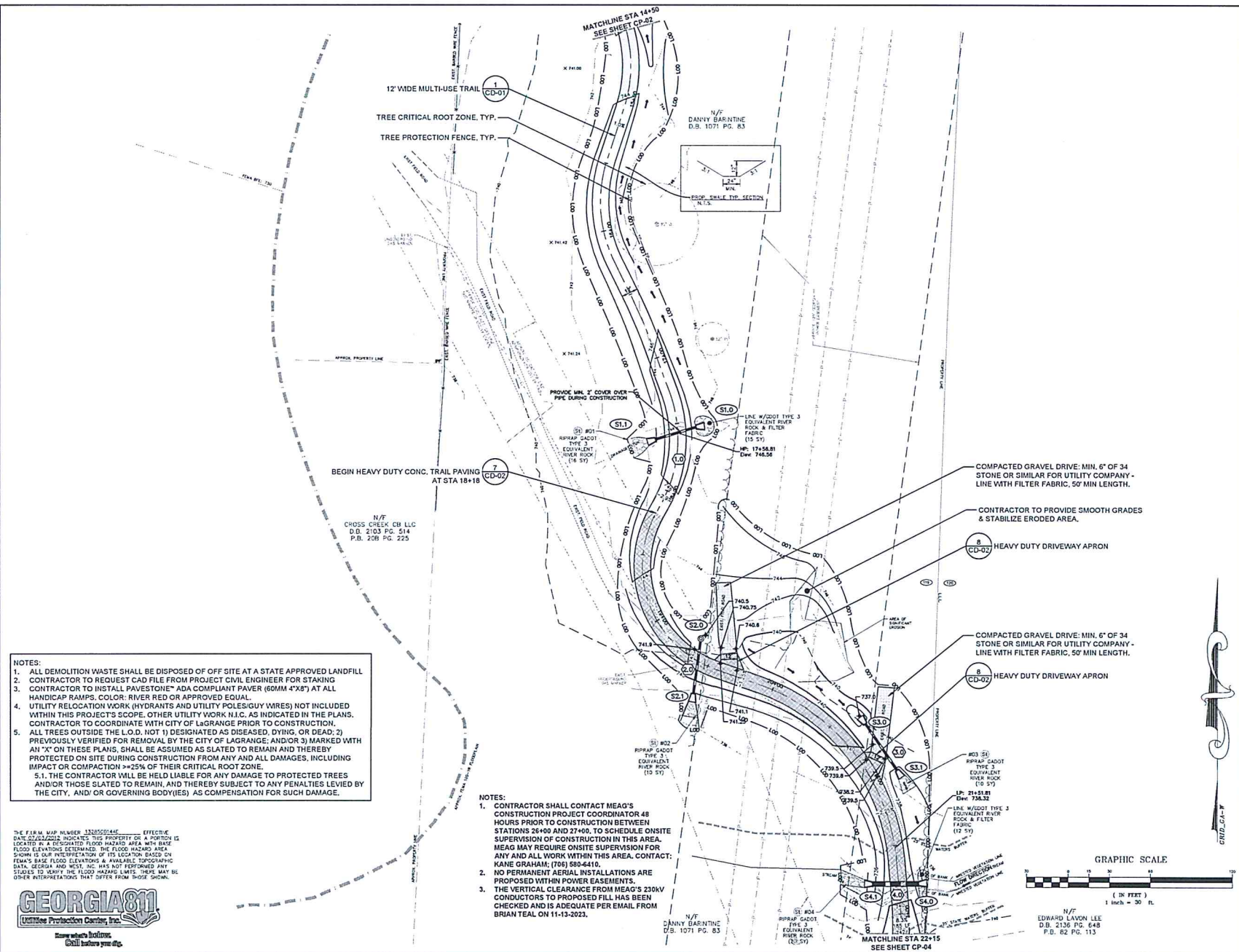
**LAGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LAGRANGE, GA**



**CONSTRUCTION PLAN**

SCALE	1" = 30'
DATE	10-25-2023

SHEET # **CP-03**



THE FIRM MAP NUMBER 3328550146 EFFECTIVE DATE 02/26/2024 INDICATES THIS PROPERTY OR A PORTION IS LOCATED IN A DESIGNATED FLOOD HAZARD AREA WITH BASE FLOOD ELEVATIONS ESTIMATED. THE FLOOD HAZARD AREA SHOWN IS OUR INTERPRETATION OF ITS LOCATION BASED ON FEMA'S BASE FLOOD ELEVATIONS & AVAILABLE TOPOGRAPHIC DATA. GEORGIA AND WEST, INC. HAS NOT PERFORMED ANY STUDIES TO VERIFY THE FLOOD HAZARD LIMITS; THERE MAY BE OTHER INTERPRETATIONS THAT DIFFER FROM THOSE SHOWN.



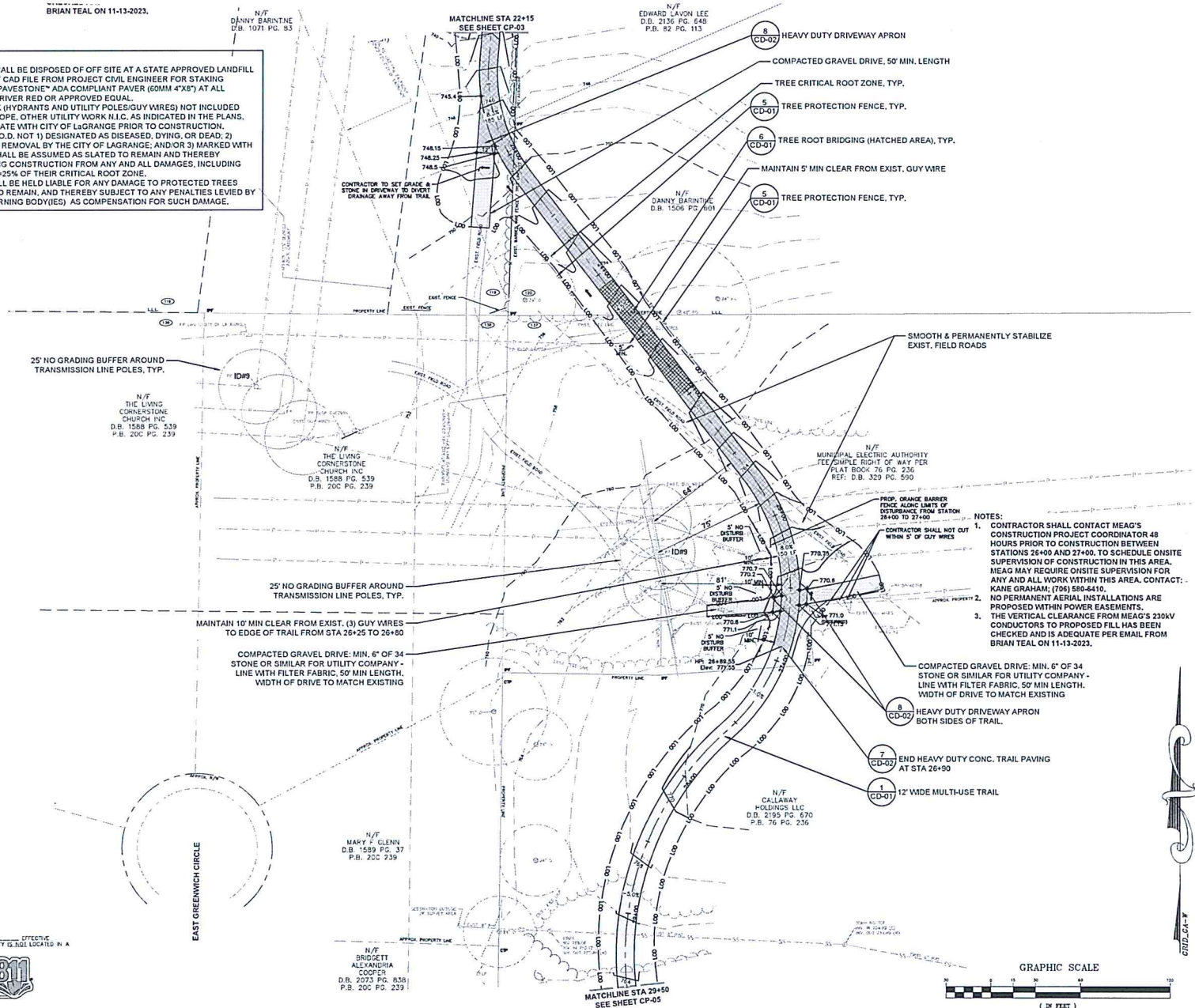
BRIAN TEAL ON 11-13-2023.

N/F  
DANNY BARINTNE  
D.B. 1071 PG. 83

MATCHLINE STA 22+15  
SEE SHEET CP-03

N/F  
EDWARD LAVON LEE  
D.B. 2136 PG. 648  
P.B. 82 PG. 113

- NOTES:
1. ALL DEMOLITION WASTE SHALL BE DISPOSED OF OFF SITE AT A STATE APPROVED LANDFILL
  2. CONTRACTOR TO REQUEST CAD FILE FROM PROJECT CIVIL ENGINEER FOR STAKING
  3. CONTRACTOR TO INSTALL PAVEMENT ADA COMPLIANT PAVEMENT (60MM 4'X5') AT ALL HANDICAP RAMPS. COLOR: FINE RED OR APPROVED EQUAL.
  4. UTILITY RELOCATION WORK (HYDRANTS AND UTILITY POLES/GUY WIRES) NOT INCLUDED WITHIN THIS PROJECT'S SCOPE. OTHER UTILITY WORK N.I.C. AS INDICATED IN THE PLANS. CONTRACTOR TO COORDINATE WITH CITY OF LAGRANGE PRIOR TO CONSTRUCTION.
  5. ALL TREES OUTSIDE THE L.O.D. (NOT 1) DESIGNATED AS DISEASED, DYING, OR DEAD; 2) PREVIOUSLY VERIFIED FOR REMOVAL BY THE CITY OF LAGRANGE; AND/OR 3) MARKED WITH AN "X" ON THESE PLANS, SHALL BE ASSUMED AS SLATED TO REMAIN AND THEREBY PROTECTED ON SITE DURING CONSTRUCTION FROM ANY AND ALL DAMAGES, INCLUDING IMPACT OR COMPACTION >25% OF THEIR CRITICAL ROOT ZONE.
    - 5.1. THE CONTRACTOR WILL BE HELD LIABLE FOR ANY DAMAGE TO PROTECTED TREES AND/OR THOSE SLATED TO REMAIN, AND THEREBY SUBJECT TO ANY PENALTIES LEVIED BY THE CITY, AND/OR GOVERNING BODY(IES) AS COMPENSATION FOR SUCH DAMAGE.



25' NO GRADING BUFFER AROUND TRANSMISSION LINE POLES, TYP.

N/F  
THE LIVING CONERSTONE CHURCH INC  
D.B. 1588 PG. 539  
P.B. 20C PG. 239

25' NO GRADING BUFFER AROUND TRANSMISSION LINE POLES, TYP.

MAINTAIN 10' MIN CLEAR FROM EXIST. (3) GUY WIRES TO EDGE OF TRAIL FROM STA 26+25 TO 26+80

COMPACTED GRAVEL DRIVE: MIN. 6" OF 3/4 STONE OR SIMILAR FOR UTILITY COMPANY - LINE WITH FILTER FABRIC, 50' MIN LENGTH. WIDTH OF DRIVE TO MATCH EXISTING

N/F  
MARY F. GLENN  
D.B. 1589 PG. 37  
P.B. 20C PG. 239

N/F  
BRIDGETT ALEXANDRIA COOPER  
D.B. 2073 PG. 838  
P.B. 20C PG. 239

N/F  
CALLAWAY HOLDINGS LLC  
D.B. 2195 PG. 670  
P.B. 76 PG. 236

8 CD-02 HEAVY DUTY DRIVEWAY APRON

COMPACTED GRAVEL DRIVE, 50' MIN. LENGTH

TREE CRITICAL ROOT ZONE, TYP.

5 CD-01 TREE PROTECTION FENCE, TYP.

6 CD-01 TREE ROOT BRIDGING (HATCHED AREA), TYP.

MAINTAIN 5' MIN CLEAR FROM EXIST. GUY WIRE

5 CD-01 TREE PROTECTION FENCE, TYP.

SMOOTH & PERMANENTLY STABILIZE EXIST. FIELD ROADS

N/F  
MUNICIPAL ELECTRIC AUTHORITY  
SEE SINGLE RIGHT OF WAY PER PLAT BOOK 76 PG. 236  
REF. D.B. 309 PG. 590

PROP. ORANGE BARRIER FENCE ALONG LIMITS OF DISTURBANCE FROM STATION 25+00 TO 27+00  
CONTRACTOR SHALL NOT CUT OUT WITHIN 5' OF GUY WIRES

- NOTES:
1. CONTRACTOR SHALL CONTACT MEAG'S CONSTRUCTION PROJECT COORDINATOR 48 HOURS PRIOR TO CONSTRUCTION BETWEEN STATIONS 25+00 AND 27+00, TO SCHEDULE ONSITE SUPERVISION OF CONSTRUCTION IN THIS AREA. MEAG MAY REQUIRE ONSITE SUPERVISION FOR ANY AND ALL WORK WITHIN THIS AREA. CONTACT: KANE GRAHAM, (706) 580-6410.
  2. NO PERMANENT AERIAL INSTALLATIONS ARE PROPOSED WITHIN POWER EASEMENTS.
  3. THE VERTICAL CLEARANCE FROM MEAG'S 230KV CONDUCTORS TO PROPOSED FILL HAS BEEN CHECKED AND IS ADEQUATE PER EMAIL FROM BRIAN TEAL ON 11-13-2023.

COMPACTED GRAVEL DRIVE: MIN. 6" OF 3/4 STONE OR SIMILAR FOR UTILITY COMPANY - LINE WITH FILTER FABRIC, 50' MIN LENGTH. WIDTH OF DRIVE TO MATCH EXISTING

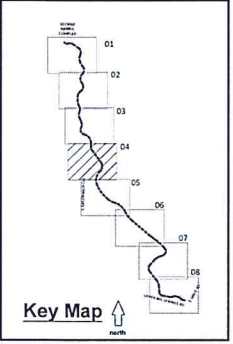
8 CD-02 HEAVY DUTY DRIVEWAY APRON BOTH SIDES OF TRAIL.

7 CD-02 END HEAVY DUTY CONC. TRAIL PAVING AT STA 26+50

1 CD-01 12' WIDE MULTI-USE TRAIL

**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
OFFICE: 1770 DAWSON  
CAMERON, GA 30117  
CALL: 770.241.0000  
EMAIL: info@georgiawest.com

**KAIZEN COLLABORATIVE**  
2390 MAIN STREET | TUCKER, GEORGIA, 30084 | 404.239.2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
11/14/2023	REV. PER MEAG COMMENTS
12/01/2023	REV. PER GWPVR COMMENTS
04/29/2024	ISSUE FOR BID

JOB NUMBER: 220523  
PROJECT MANAGER: LRV

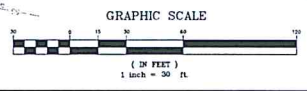
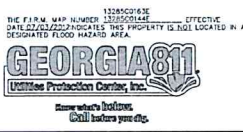
**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**



**CONSTRUCTION PLAN**

SCALE: 1" = 30'  
DATE: 10-25-2023

SHEET # **CP-04**





N/T  
BRIDGETT  
ALEXANDRIA  
COOPER  
D.B. 2003 PG. 639  
P.B. 200 PG. 239

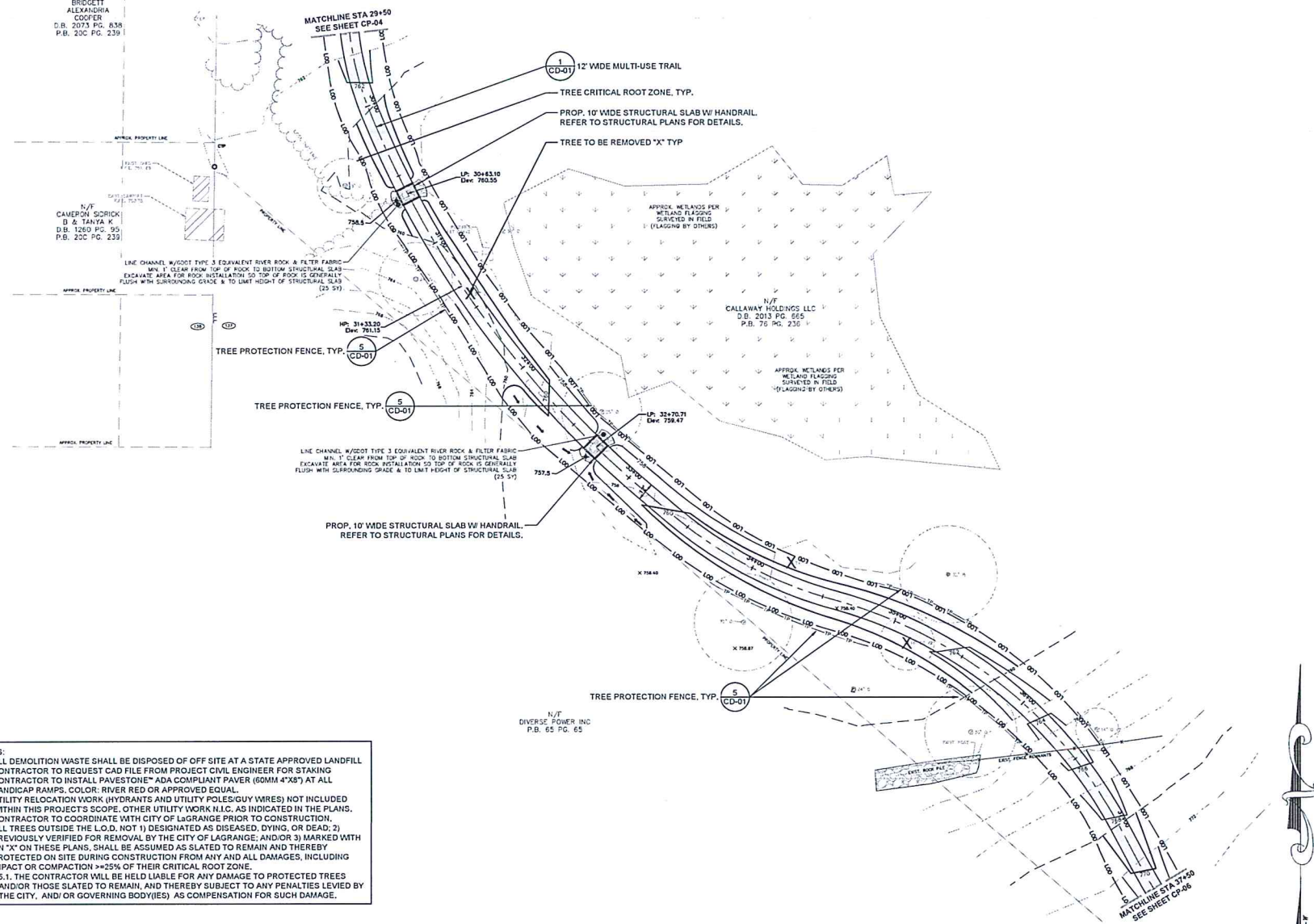
N/T  
CAMERON SIDRICK  
D & TANYA K  
D.B. 1250 PG. 95  
P.B. 200 PG. 235

N/T  
CALLAWAY HOLDINGS LLC  
D.B. 2013 PG. 655  
P.B. 76 PG. 236

N/T  
DIVERSE POWER INC  
P.B. 65 PG. 65

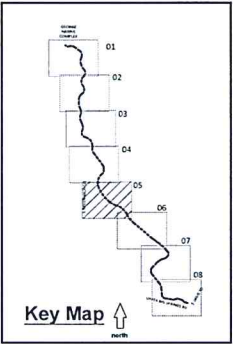
**NOTES:**

1. ALL DEMOLITION WASTE SHALL BE DISPOSED OF OFF SITE AT A STATE APPROVED LANDFILL
2. CONTRACTOR TO REQUEST CAD FILE FROM PROJECT CIVIL ENGINEER FOR STAKING
3. CONTRACTOR TO INSTALL PAVESTONE™ ADA COMPLIANT PAVER (60MM 4"X8") AT ALL HANDICAP RAMPS. COLOR: RIVER RED OR APPROVED EQUAL.
4. UTILITY RELOCATION WORK (HYDRANTS AND UTILITY POLES/GUY WIRES) NOT INCLUDED WITHIN THIS PROJECT'S SCOPE. OTHER UTILITY WORK N.I.C. AS INDICATED IN THE PLANS. CONTRACTOR TO COORDINATE WITH CITY OF LaGRANGE PRIOR TO CONSTRUCTION.
5. ALL TREES OUTSIDE THE L.O.D. NOT 1) DESIGNATED AS DISEASED, DYING, OR DEAD; 2) PREVIOUSLY VERIFIED FOR REMOVAL BY THE CITY OF LaGRANGE; AND/OR 3) MARKED WITH AN 'X' ON THESE PLANS, SHALL BE ASSUMED AS SLATED TO REMAIN AND THEREBY PROTECTED ON SITE DURING CONSTRUCTION FROM ANY AND ALL DAMAGES, INCLUDING IMPACT OR COMPACTION >=25% OF THEIR CRITICAL ROOT ZONE.  
S.1. THE CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE TO PROTECTED TREES AND/OR THOSE SLATED TO REMAIN, AND THEREBY SUBJECT TO ANY PENALTIES LEVIED BY THE CITY, AND/OR GOVERNING BODY(IES) AS COMPENSATION FOR SUCH DAMAGE.



**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
105 CORPORATE DRIVE  
CAROLTON, CA 95610  
PHONE: (707) 344-4884  
FAX: (707) 344-1025  
EMAIL: info@georgiawest.com

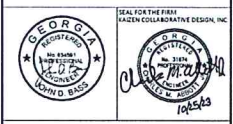
**KAIZEN COLLABORATIVE**  
2390 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/16/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

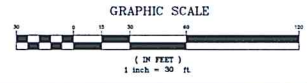
**LaGRANGE THREAD PHASE 10  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGRANGE, GA**

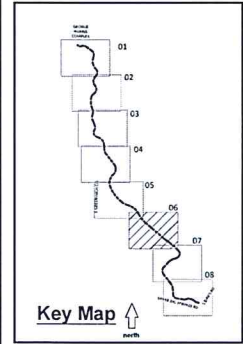


**CONSTRUCTION PLAN**

SCALE 1" = 30'  
DATE 10-25-2023

SHEET # CP-05





DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
 PROJECT MANAGER LMW

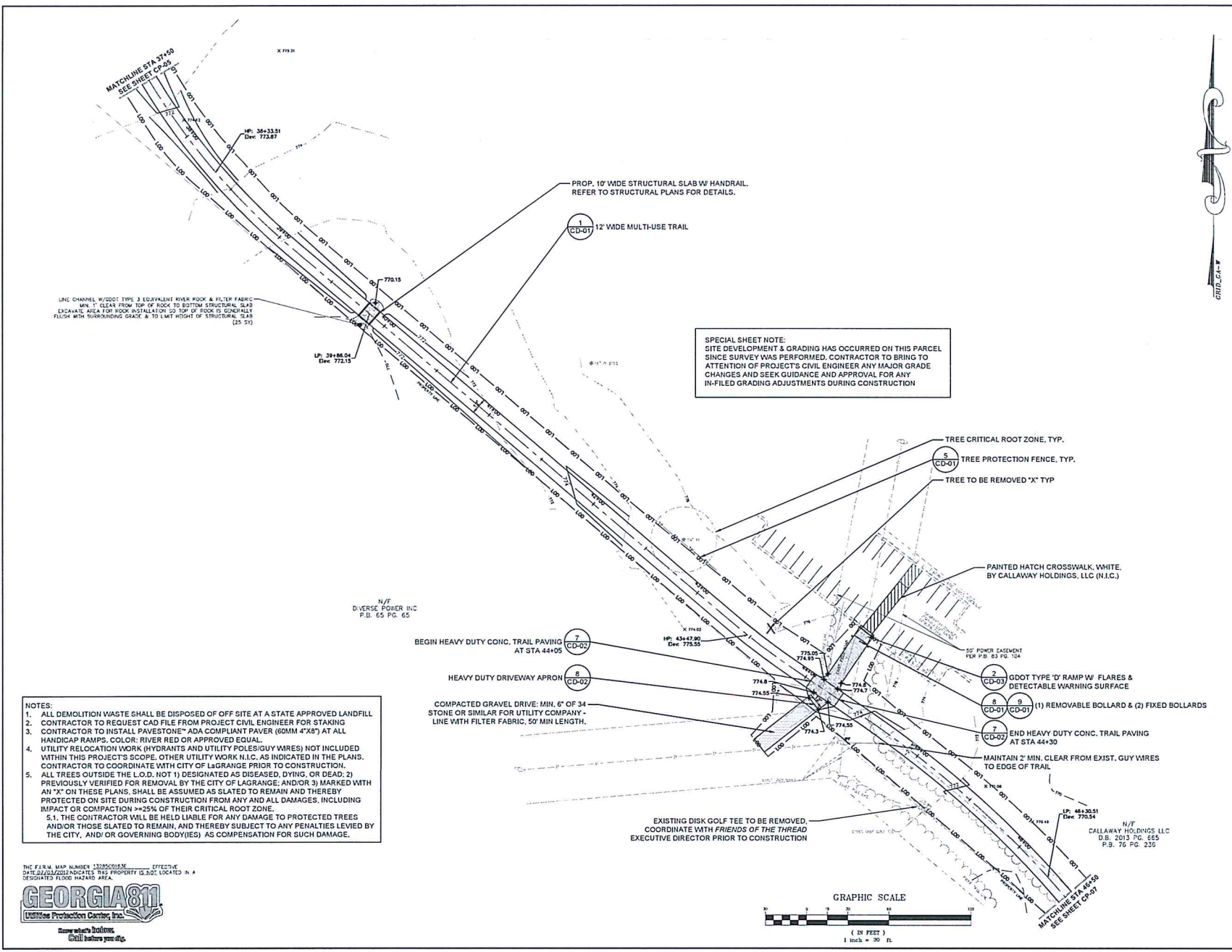
**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**



**CONSTRUCTION PLAN**

SCALE 1" = 30'  
 DATE 10-25-2023

SHEET # **CP-06**



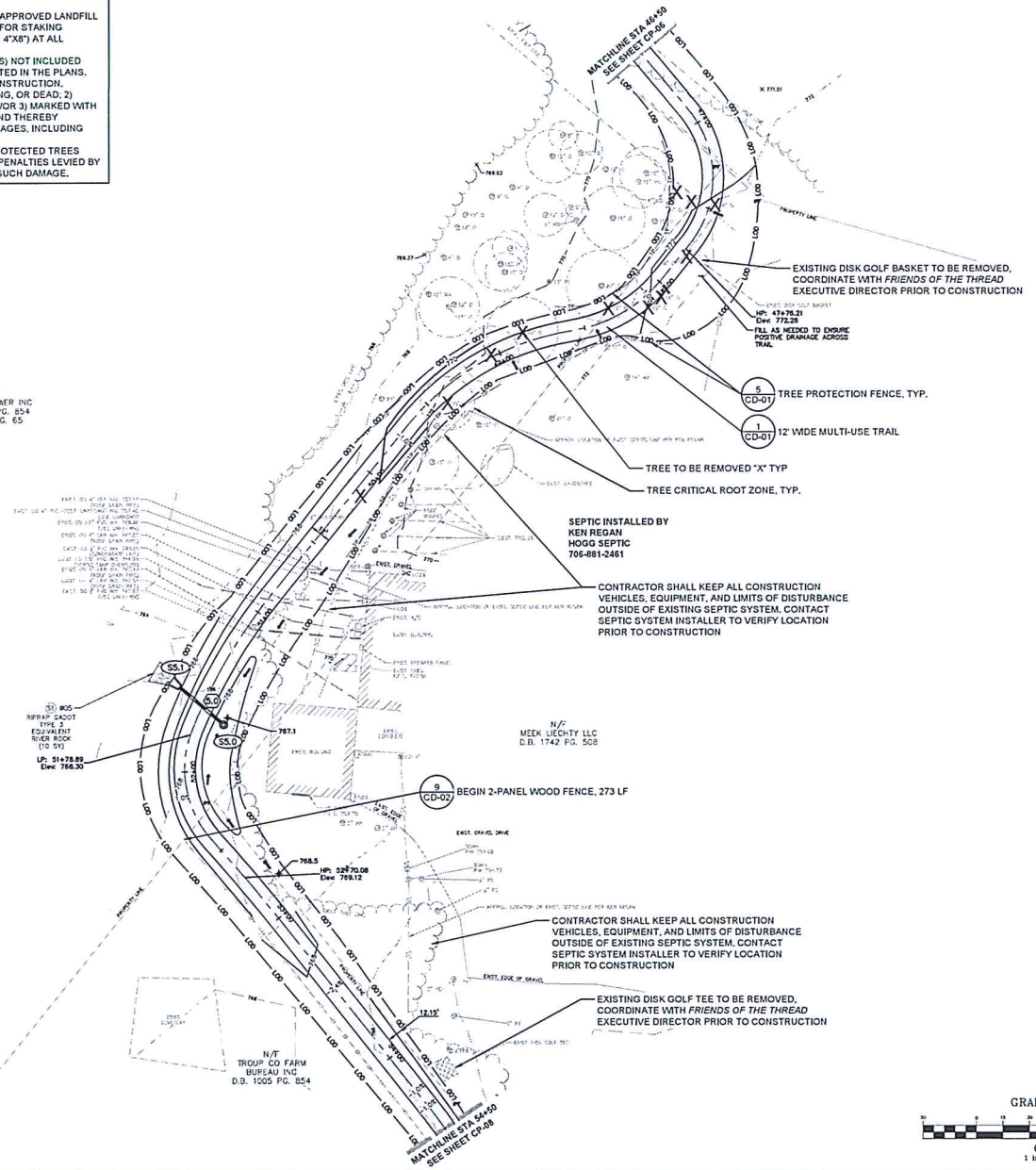
- NOTES:**
1. ALL DEMOLITION WASTE SHALL BE DISPOSED OF OFF SITE AT A STATE APPROVED LANDFILL
  2. CONTRACTOR TO REQUEST CAD FILE FROM PROJECT CIVIL ENGINEER FOR STAKING
  3. CONTRACTOR TO INSTALL PAVEMENT- ADA COMPLIANT PAVEMENT (60MM 4"X6") AT ALL HANDICAP RAMP, COLOR: RIVER RED OR APPROVED EQUAL.
  4. UTILITY RELOCATION WORK (HYDRANTS AND UTILITY POLES/GUY WIRES) NOT INCLUDED WITHIN THIS PROJECT'S SCOPE. OTHER UTILITY WORK, I.L.C. AS INDICATED IN THE PLANS. CONTRACTOR TO COORDINATE WITH CITY OF LAGRANGE PRIOR TO CONSTRUCTION.
  5. ALL TREES OUTSIDE THE L.O.D. NOT 1) DESIGNATED AS DISEASED, DYING, OR DEAD; 2) PREVIOUSLY VERIFIED FOR REMOVAL BY THE CITY OF LAGRANGE; AND/OR 3) MARKED WITH AN "X" ON THESE PLANS, SHALL BE ASSUMED AS SLATED TO REMAIN AND THEREBY PROTECTED ON SITE DURING CONSTRUCTION FROM ANY AND ALL DAMAGES, INCLUDING IMPACT OR COMPACTION >=25% OF THEIR CRITICAL ROOT ZONE.  
5.1. THE CONTRACTOR WILL BE HELD LIABLE FOR ANY DAMAGE TO PROTECTED TREES AND/OR THOSE SLATED TO REMAIN, AND THEREBY SUBJECT TO ANY PENALTIES LEVIED BY THE CITY, AND/OR GOVERNING BODY(ES) AS COMPENSATION FOR SUCH DAMAGE.

N/T  
CALLAWAY HOLDINGS LLC  
D.B. 2013 PG. 665  
P.B. 76 PG. 235

N/T  
DIVERSE POWER INC  
D.B. 1025 PG. 854  
P.B. 65 PG. 65

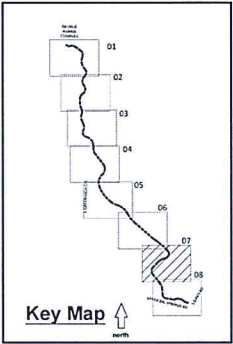
N/T  
MEEK UCH-TY LLC  
D.B. 1742 PG. 508

N/T  
TROUP CO FARM  
BUREAU INC  
D.B. 1005 PG. 654



**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
OFFICE: (770) 334-4294  
US CORPORATE OFFICE: (770) 334-4294  
CANNONVILLE, GA 30117  
FAX: (770) 334-1002  
E-MAIL: info@georgiawest.com

**KAIZEN COLLABORATIVE**  
2390 MAIN STREET | TUCKER, GEORGIA 30084 | 404-239-2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/16/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10**  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGRANGE, GA



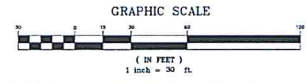
**CONSTRUCTION PLAN**

SCALE 1" = 30'  
DATE 10-25-2023

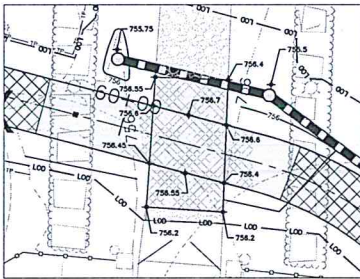
SHEET # CP-07

THE FIRM MAP NUMBER 13350008M IS EFFECTIVE DATE 02/03/2022 INDICATES THIS PROPERTY IS NOT LOCATED IN A DESIGNATED FLOOD HAZARD AREA.

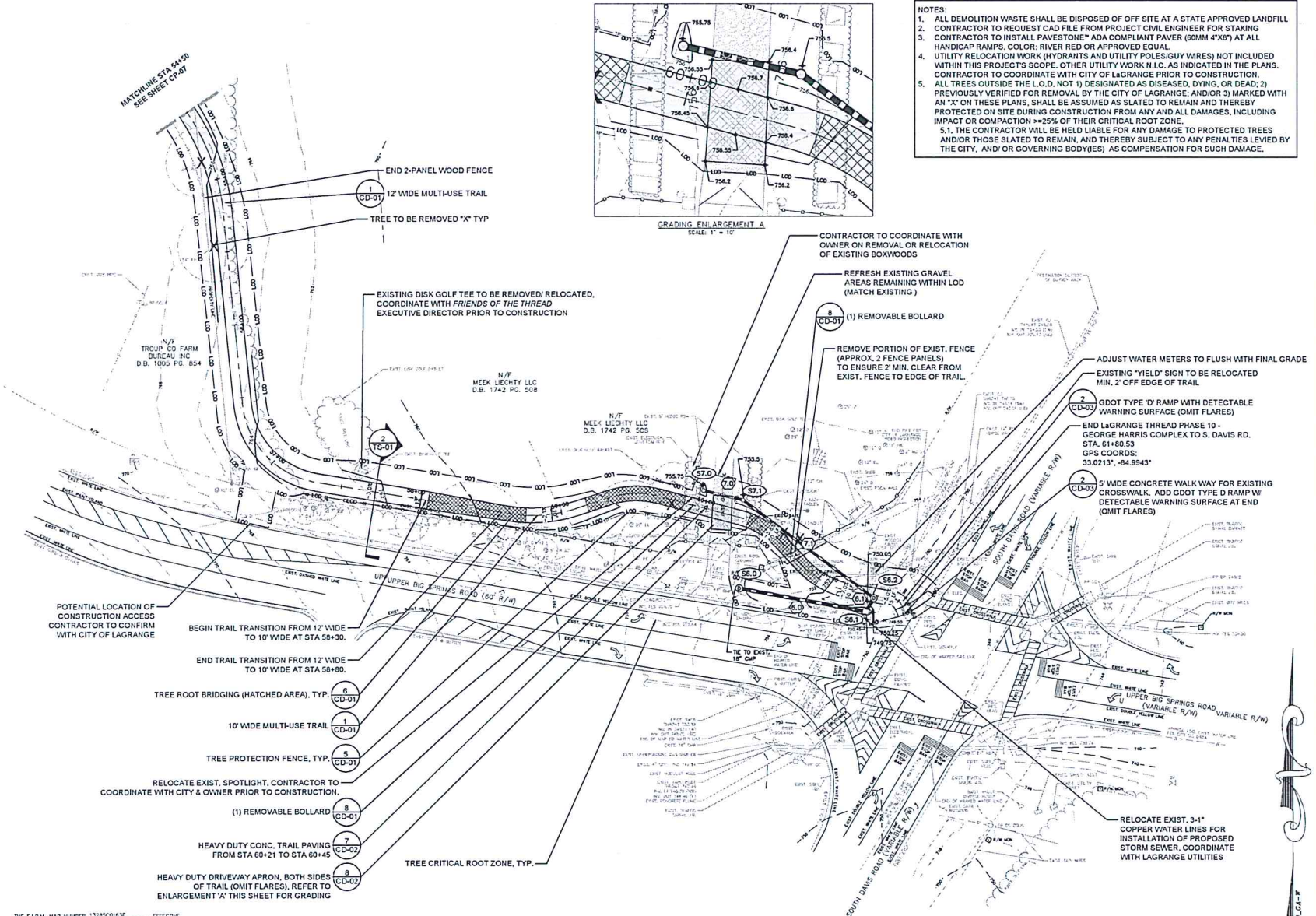
**GEORGIA811**  
Utilities Protection Center, Inc.  
www.georgia811.com  
Call before you dig.



MATCHLINE STA 54+50  
SEE SHEET CP-07

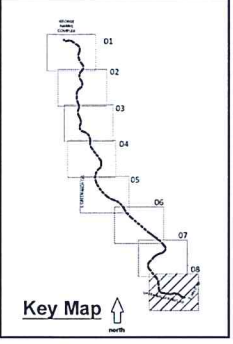


- NOTES:
1. ALL DEMOLITION WASTE SHALL BE DISPOSED OF OFF SITE AT A STATE APPROVED LANDFILL
  2. CONTRACTOR TO REQUEST CAD FILE FROM PROJECT CIVIL ENGINEER FOR STAKING
  3. CONTRACTOR TO INSTALL PAVESTONE™ ADA COMPLIANT PAVEMENT (60MM 4"x8") AT ALL HANDICAP RAMPS. COLOR: RIVER RED OR APPROVED EQUAL.
  4. UTILITY RELOCATION WORK (HYDRANTS AND UTILITY POLES/GUY WIRES) NOT INCLUDED WITHIN THIS PROJECT'S SCOPE. OTHER UTILITY WORK I.E. AS INDICATED IN THE PLANS, CONTRACTOR TO COORDINATE WITH CITY OF LAGRANGE PRIOR TO CONSTRUCTION.
  5. ALL TREES OUTSIDE THE L.O.D. (NOT 1) DESIGNATED AS DISEASED, DYING, OR DEAD; 2) PREVIOUSLY VERIFIED FOR REMOVAL BY THE CITY OF LAGRANGE, AND/OR 3) MARKED WITH AN 'X' ON THESE PLANS, SHALL BE ASSUMED AS SLATED TO REMAIN AND THEREBY PROTECTED ON SITE DURING CONSTRUCTION FROM ANY AND ALL DAMAGES, INCLUDING IMPACT OR COMPACTION >=25% OF THEIR CRITICAL ROOT ZONE.
  - 5.1. THE CONTRACTOR WILL BE HELD LIABLE FOR ANY DAMAGE TO PROTECTED TREES AND/OR THOSE SLATED TO REMAIN, AND THEREBY SUBJECT TO ANY PENALTIES LEVIED BY THE CITY, AND/OR GOVERNING BODY(IES) AS COMPENSATION FOR SUCH DAMAGE.



**GIV & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
135 CORPORATE CIRCLE  
CANTONMENT, CA 94717  
OFFICE (977) 834-1008  
FAX (977) 834-1008  
EMAIL: info@givandwest.com

**KAIZEN COLLABORATIVE**  
2350 MAIN STREET | TUCKER, GEORGIA, 30084 | 404.239.2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGRANGE, GA**



**CONSTRUCTION PLAN**

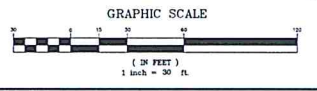
SCALE 1" = 30'  
DATE 10-25-2023

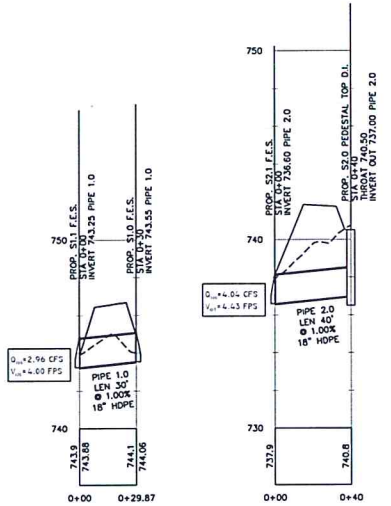
SHEET # **CP-08**

THE PLAN, MAP NUMBER, 1378001001001, IS EFFECTIVE DATE 10/25/2023. THIS PROPERTY IS ZONED IN A DESIGNATED FLOOD HAZARD AREA.

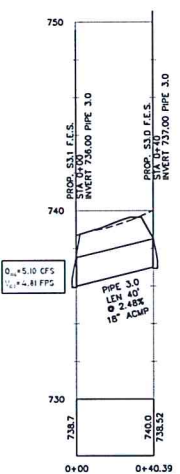
**GEORGIA 811**  
UNITE Protection Center, Inc.

Know what's below. Call before you dig.

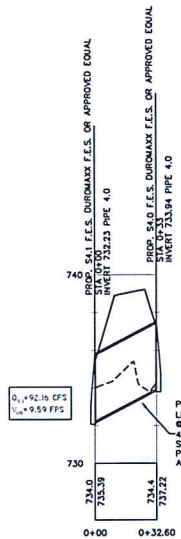




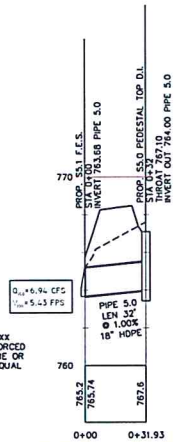
**STORM RUN 1 STORM RUN 2**



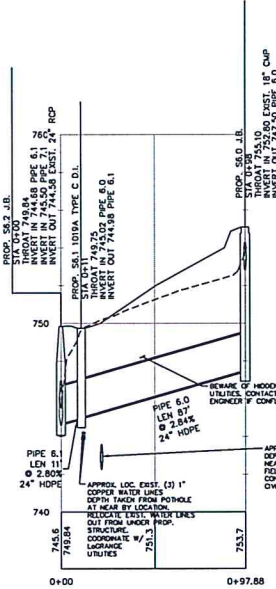
**STORM RUN 3**



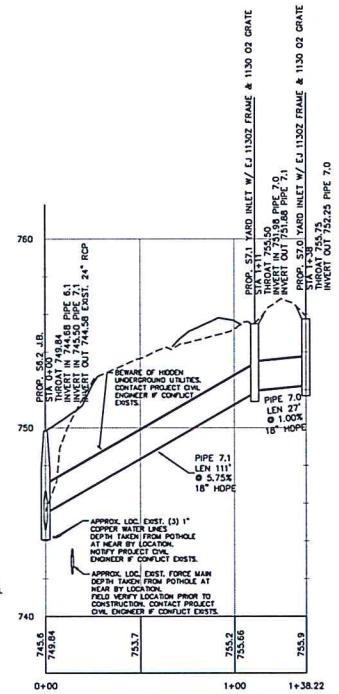
**STORM RUN 4**



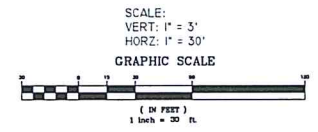
**STORM RUN 5**



**STORM RUN 6**



**STORM RUN 7**



**GW GEORGIA & WEST, INC.**  
 ENGINEERING • LAND SURVEYING • LAND PLANNING  
 105 COMMERCIAL CORP. OFFICE (770) 854-4844  
 CAROLTON, CA 95017 FAX (770) 854-1005  
 Email: info@gjgw.com

**KAIZEN COLLABORATIVE**  
 2300 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521

DATE	DESCRIPTION
09/18/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	100% ISSUE FOR BID

JOB NUMBER 220523  
 PROJECT MANAGER LMW  
**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**



**STORM SEWER PROFILES**

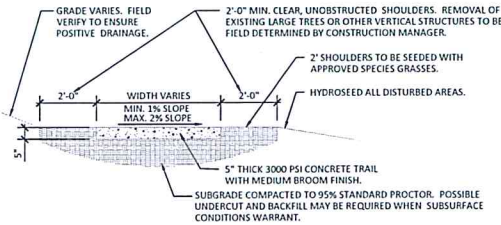
SCALE	AS SHOWN
DATE	OCTOBER 25, 2023

SHEET # **SP-01**

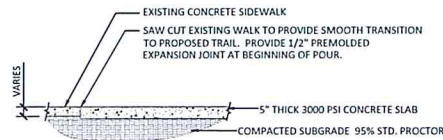
NOTES:  
1) 4" (TRAIL WIDTH) ALTERNATING YELLOW CENTERLINE STRIPING TO BE INSTALLED ALONG ENTIRE LENGTH OF TRAIL CENTERLINE.

2) CONTRACTOR TO SAW CUT CONTROL JOINT AT LEAST 1/4 DEPTH OF SLAB ACROSS ENTIRE WIDTH OF TRAIL. CONTROL JOINTS TO BE LOCATED THE SAME DISTANCE APART AS THE WIDTH OF TRAIL (I.E. 12" WIDE TRAIL TO HAVE CONTROL JOINTS EVERY 12" ALONG TRAIL). CONTRACTOR REQUIRED TO REMOVE SAW DUST AFTER CUTTING.

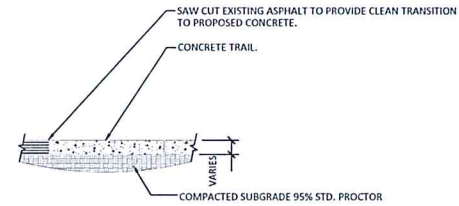
3) EXPANSION JOINTS TO BE LOCATED ALONG TRAIL MIN. EVERY 100' IN PLACE OF CONTROL JOINT.



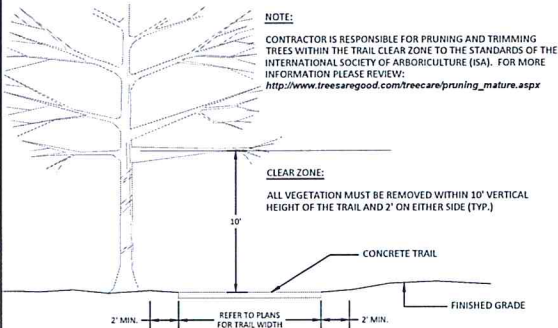
1 MULTI-USE TRAIL-CROSS SECTION  
CD-01 SCALE: 1/2" = 1'-0"



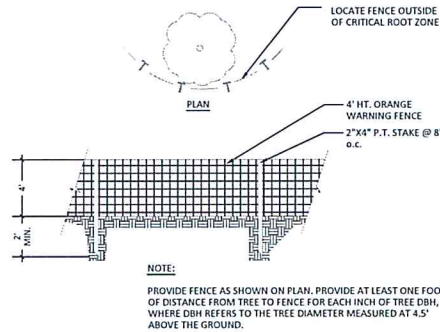
2 EXISTING WALK/TRAIL TRANSITION  
CD-01 SCALE: 1/2" = 1'-0"



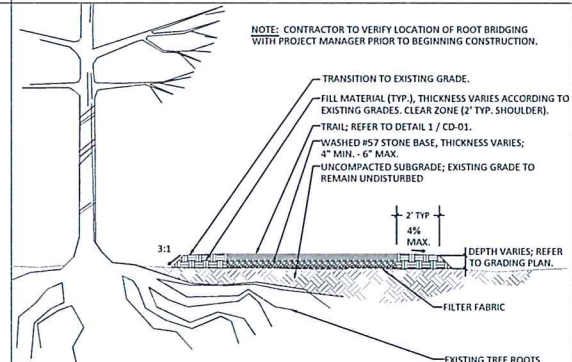
3 ASPHALT STREET/TRAIL TRANSITION  
CD-01 SCALE: 1/2" = 1'-0"



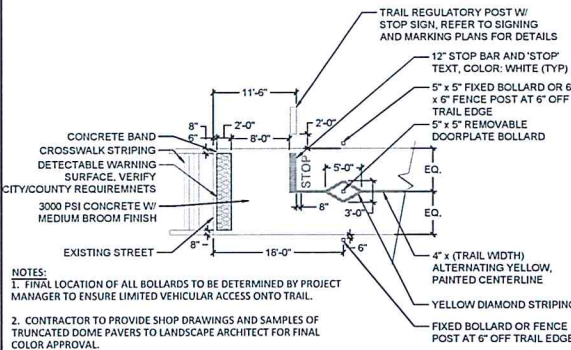
4 CLEAR ZONE  
CD-01 SCALE: 1/4" = 1'-0"



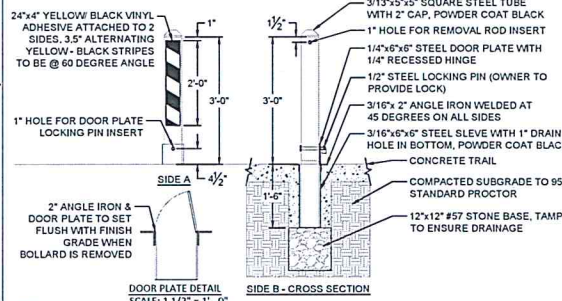
5 TREE PROTECTION FENCE  
CD-01 SCALE: 1/4" = 1'-0"



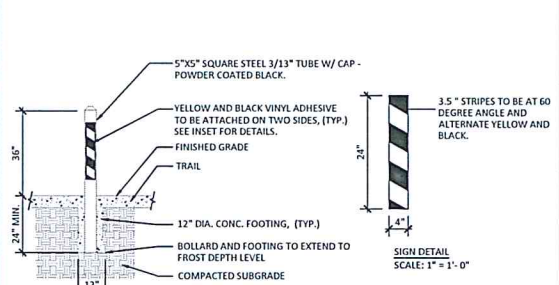
6 ROOT BRIDGING  
CD-01 SCALE: 1/4" = 1'-0"



7 STANDARD INTERSECTION: PLAN VIEW  
CD-01 SCALE: 3/4" = 1'-0"



8 REMOVABLE DOOR PLATE BOLLARD  
CD-01 SCALE: 3/4" = 1'-0"



9 FIXED BOLLARD  
CD-01 SCALE: 1/2" = 1'-0"

**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
OFFICE (770) 844-0054  
US CORPORATE OFFICE  
CAROLTON, GA 30117  
FAX (770) 844-0055  
EMAIL: mason@georgiawest.com

**KAIZEN COLLABORATIVE**  
2390 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521

DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**

SEAL FOR THE FIRM  
KAIZEN COLLABORATIVE DESIGN, INC.  
Professional Engineer  
John D. Blass  
10/25/23

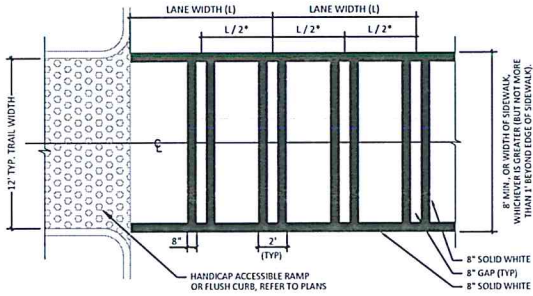
**CONSTRUCTION DETAILS**

SCALE	AS SHOWN
DATE	10-25-2023

SHEET # **CD-01**

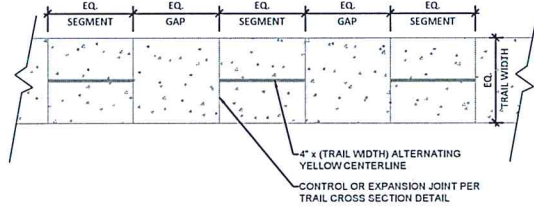
NOTES:  
1. ALL CROSSWALK MARKINGS TO BE ALKO THERMOPLASTIC WITH CLEAN CUT EDGES (TYP.). CONFORM TO GDOT STANDARD SPECIFICATIONS FOR INSTALLATION, COLOR, AND FINISH.

\*USE 5' FOR (L/2) WHEN LANE WIDTH EXCEEDS 12', OR WHERE LANE LINES HAVE BEEN OMITTED.



1 GDOT CROSSWALK STRIPING

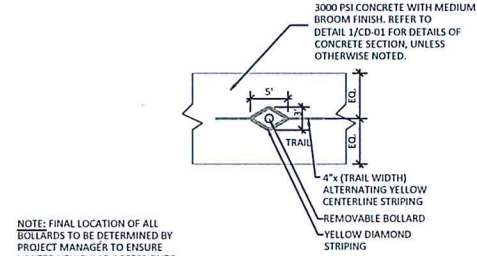
CD-02 SCALE: 1/4" = 1'-0"



NOTE: YELLOW SKIP STRIPING TO BE INSTALLED ALONG ENTIRE LENGTH OF TRAIL CENTERLINE UNLESS NOTED OTHERWISE.

2 TRAIL CENTERLINE STRIPING: PLAN VIEW

CD-02 SCALE: 1/8" = 1'-0"

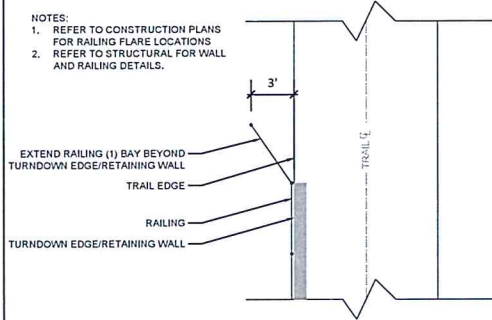


NOTE: FINAL LOCATION OF ALL BOLLARDS TO BE DETERMINED BY PROJECT MANAGER TO ENSURE LIMITED VEHICULAR ACCESS ONTO TRAIL.

3 DIAMOND MARKING

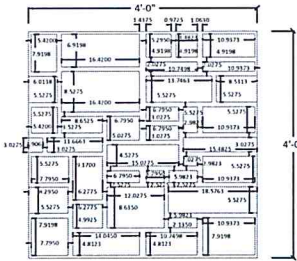
CD-02 SCALE: 1/8" = 1'-0"

NOTES:  
1. REFER TO CONSTRUCTION PLANS FOR RAILING FLARE LOCATIONS  
2. REFER TO STRUCTURAL FOR WALL AND RAILING DETAILS.



4 END RAILING FLARE: PLAN VIEW

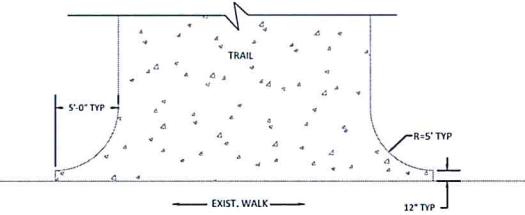
CD-02 SCALE: 1/4" = 1'-0"



NOTES:  
1. THE MORTAR JOINTS ARE ALL AT SAME DEPTH, APPROX. 1-1/4" FROM CENTER OF THE HOLE.  
2. WHERE STONE HITS MORTAR JOINT VARIES DUE TO RANDOM TEXTURE. STONE CAN PROTRUDE CUT FROM MORTAR JOINT ANYWHERE FROM APPROX. 1/8" TO 1/2".  
3. THE WIDTHS OF MORTAR JOINTS VARY BETWEEN 1-7/16", 1-3/16", 1-1/16", AND 3/32".

5 ASHLAR PATTERN

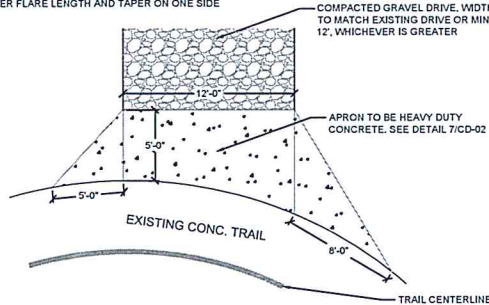
CD-02 SCALE: 1" = 1'-0"



6 EXISTING WALK / TRAIL INTERSECTION

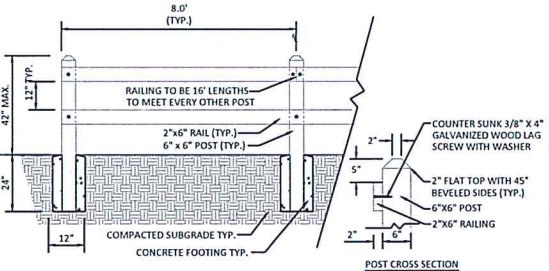
CD-02 SCALE: 3/8" = 1'-0"

NOTE:  
1. APRON TO BE ORIENTED TO BE IN LINE WITH EXISTING DRIVE. ENSURE MIN. PAVED APRON LENGTH OF 5' FROM EDGE OF TRAIL. APRONS WHICH ARE ANGLED OFF TRAIL (AS SHOWN) TO HAVE A LONGER FLARE LENGTH AND TAPER ON ONE SIDE



8 HEAVY DUTY DRIVEWAY APRON

CD-02 SCALE: 1/2" = 1'-0"



NOTES:  
1. FENCE TO BE CONSTRUCTED WITH PRESSURE TREATED WOOD.  
2. RAILING TO MEET FLUSH WITH OUTSIDE EDGE OF LAST POST.  
3. REFER TO CONSTRUCTION PLANS FOR FENCE LOCATIONS.

9 2 PANEL WOOD FENCE

CD-02 SCALE: 1/2" = 1'-0"

**GW** GEORGIA & WEST, INC.  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
US CORPORATE DRIVE OFFICE 0770 344-604  
CHARLOTTE, NC 28217 FAX (770) 344-1095  
EMAIL: maborg@gwengineering.com

**KAIZEN** COLLABORATIVE  
2390 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521

DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/16/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

LaGRANGE THREAD PHASE 10  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGRANGE, GA

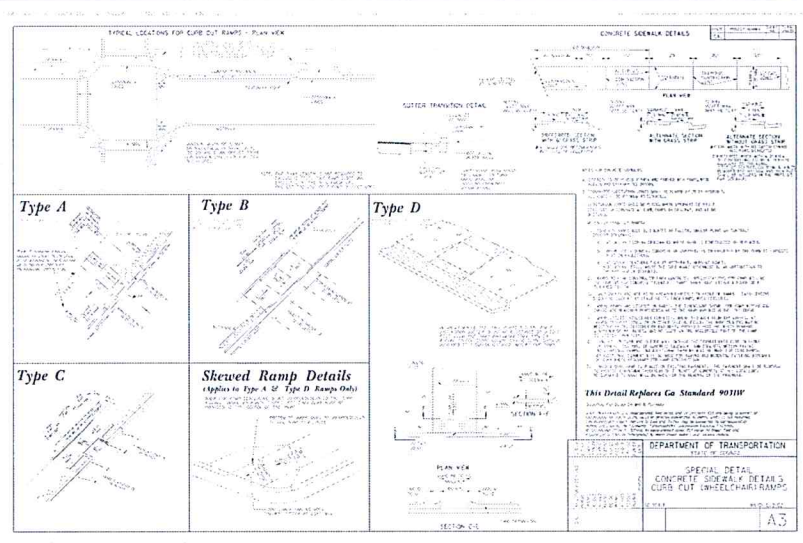


CONSTRUCTION DETAILS

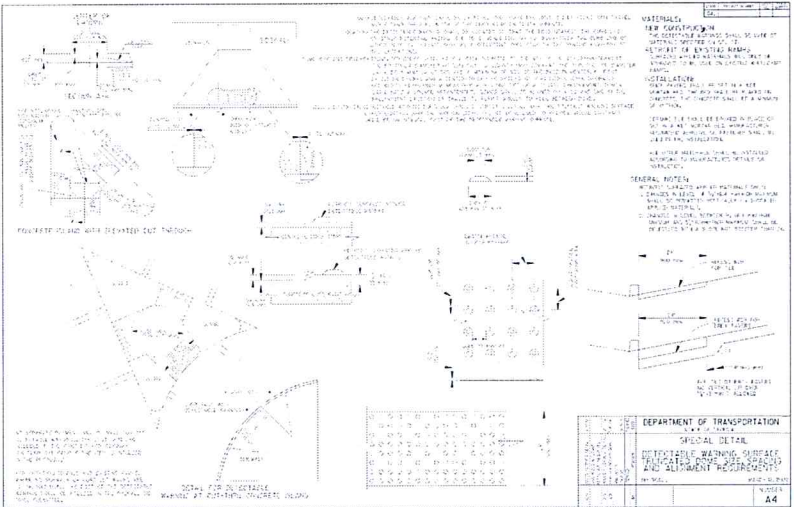
SCALE	AS SHOWN
DATE	10-25-2023

SHEET # CD-02

SECTION IS INTENTIONALLY LEFT BLANK



2 GDOT STD. ADA RAMPS  
CD-03 N.T.S.



3 GDOT DETECTABLE WARNING SURFACE  
CD-03 N.T.S.

SECTION IS INTENTIONALLY LEFT BLANK

**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
100 CORPORATE DRIVE  
CAROLTON, GA 30137  
878.247.8404  
FAX 878.247.1905  
Email: info@georgiawest.com

**KAIZEN COLLABORATIVE**  
2390 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2321

DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/28/2024	ISSUE FOR BID

**JOB NUMBER** 220523  
**PROJECT MANAGER** LMW

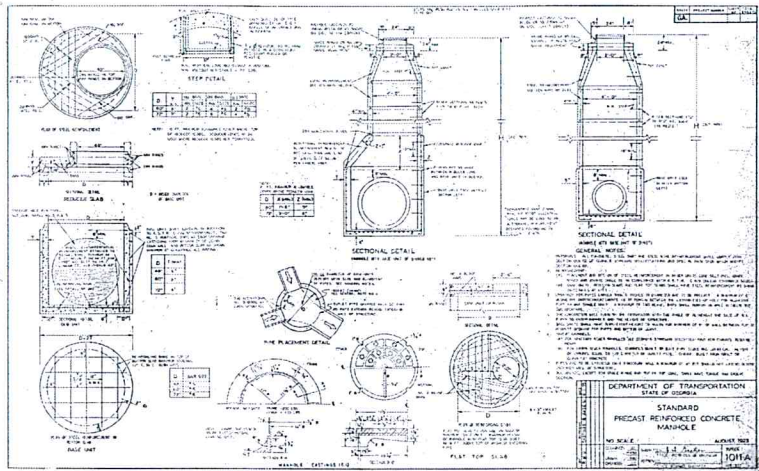
**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**



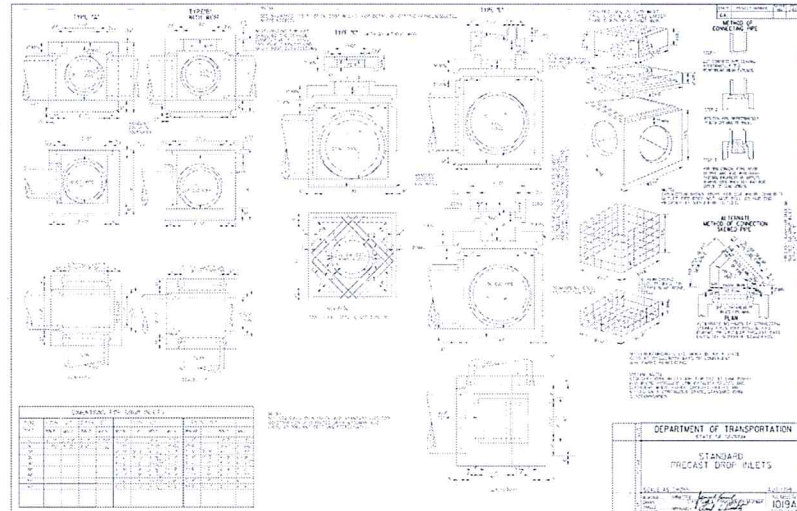
**CONSTRUCTION DETAILS**

<b>SCALE</b>	AS SHOWN
<b>DATE</b>	10-25-2023
<b>SHEET #</b>	<b>CD-03</b>

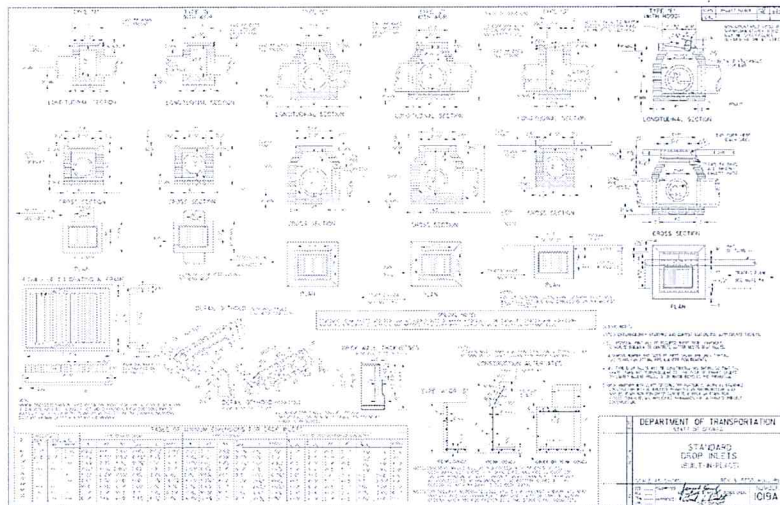




1 GDOT STD. PRECAST CONC. MANHOLE DETAIL  
CD-04 N.T.S.

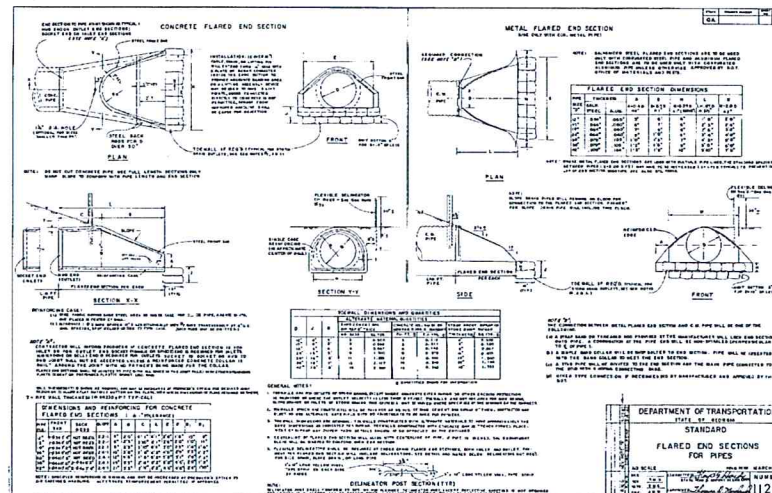


2 GDOT STD. PRECAST DROP INLET DETAIL  
CD-04 N.T.S.



\*\* DETAIL NOTE: CONTRACTOR TO USE PRECAST STRUCTURES. DETAIL IS FOR GRATE INFORMATION ONLY

3 GDOT STD. DROP INLET DETAIL  
CD-04 N.T.S.



4 GDOT FLARED END SECTION  
CD-04 N.T.S.

**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
100 CORPORATE DRIVE  
CAROLTON, GA 30117  
OFFICE (770) 844-0424  
FAX (770) 844-0505  
E-MAIL: info@georgiawest.com

**KAIZEN COLLABORATIVE**  
2350 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521

DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/16/2023	50% REVIEW/REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/28/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

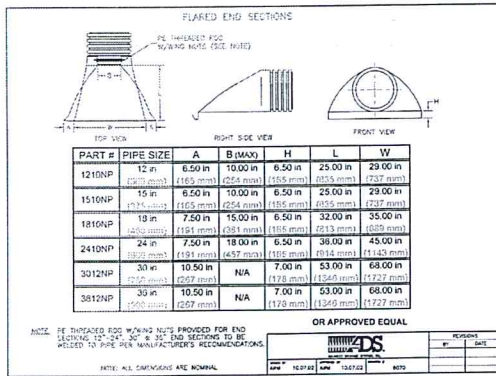
LaGRANGE THREAD PHASE 10  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGRANGE, GA

SEAL FOR THE FIRM  
KAIZEN COLLABORATIVE DESIGN, INC.  
JOHN D. BASS  
10/25/23

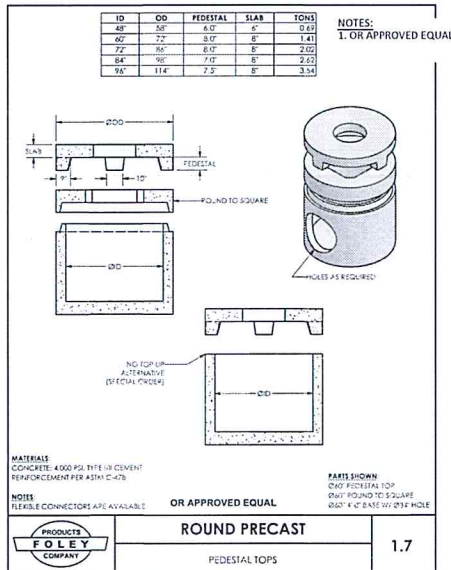
CONSTRUCTION DETAILS

SCALE AS SHOWN  
DATE 10-25-2023

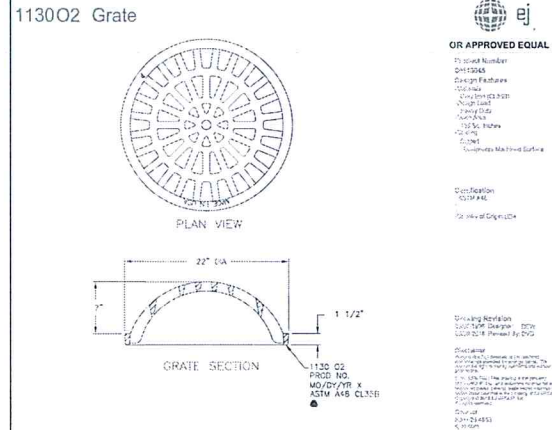
SHEET # CD-04



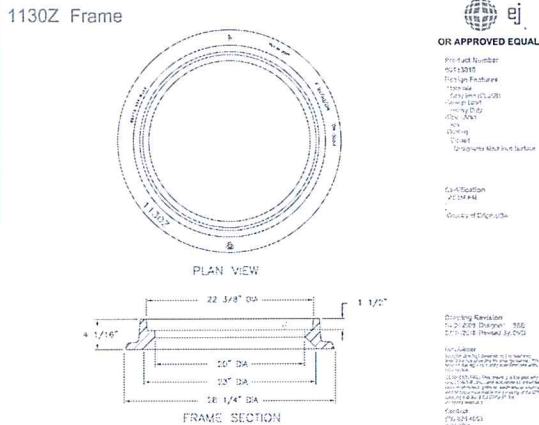
1 ADS HDPE FES DETAIL  
CD-05 N.T.S.



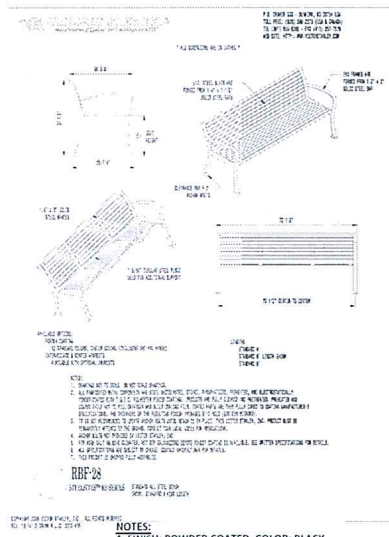
2 FOLEY ROUND PEDESTAL TOP 01\_07  
CD-05 N.T.S.



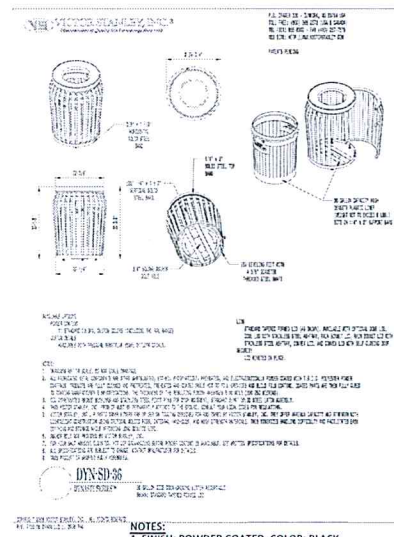
3 EJIW 1130 O2 GRATE (22 IN. DIA DEMED)  
CD-05 N.T.S.



4 EJIW 1120Z FRAME  
CD-05 N.T.S.



5 BENCH DETAIL  
CD-05 N.T.S.



6 TRASH RECEPTACLE DETAIL  
CD-05 N.T.S.

**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
OFFICE: 1775 BUSHY  
CARROLLTON, GA 30137  
E-MAIL: marketing@georgiawest.com

**KAIZEN COLLABORATIVE**  
2300 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.8271

DATE DESCRIPTION  
09/16/2022 50% REVIEW  
09/18/2023 50% REVIEW REVISED  
10/25/2023 100% ISSUE FOR PERMIT  
04/29/2024 ISSUE FOR BID

DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGrange, GA**

SEAL FOR THE FIRM  
KAIZEN COLLABORATIVE DESIGN, INC.

GEORGIA REGISTERED PROFESSIONAL ENGINEER  
JAMES D. DAVIS  
10/25/23

**CONSTRUCTION DETAILS**

SCALE	AS SHOWN
DATE	10-25-2023

SHEET #	CD-05
---------	-------

**GENERAL NOTES:**

- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING SITE CONDITIONS PRIOR TO COMMENCING WORK. PROMPTLY NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE CONTRACT DOCUMENTS.
- THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER FULLY COMPLETED. THE ERECTION PROCEDURE AND SEQUENCE INCLUDING THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, RE-SHORING, TEMPORARY SUPPORTS, ETC., ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- WHERE A DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL ALSO APPLY FOR ALL LIKE OR SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
- THESE GENERAL NOTES APPLY WHERE OTHER PROVISIONS ARE NOT PROVIDED BY THE SPECIFICATIONS, SPECIFICATIONS OR TYPICAL DETAILS. IN CASE OF SPECIAL CONDITIONS INDICATED ON DRAWINGS, THE DRAWINGS SHALL GOVERN OVER THE SPECIFICATIONS.
- THESE DESIGNS COMPLY WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES (8TH EDITION, 2017), PUBLISHED BY THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO). HAND PAID DETAILS DOES NOT COMPLY WITH AASHTO STANDARD CRITERIA.
- BRIDGES AND SLABS ARE DESIGNED FOR THE FOLLOWING LOADS: VEHICLES: 8 TON MAX. LOAD (HS), 80000 MAX AXLE, 40000 MAX. WHEEL LOAD, NO IMPACT. (NON-CONCURRENT WITH PEDESTRIAN LOAD) PEDESTRIAN: 20 PSF (NO REDUCTION)
- CONCRETE ABUTMENTS DESIGNED USING A2318-14 TO RESIST LATERAL EARTH PRESSURE DURING CONSTRUCTION AND IN FINAL CONSTRUCTION ALONG WITH BRIDGE REACTION.
- ALL BRIDGES SHALL BE CONSTRUCTED AS SPECIFIED ON PLAN. FIELD FRAMED BRIDGES MAY NOT BE SUBSTITUTED FOR PRE-FABRICATED BRIDGES. ANY DESIGN CHANGES MADE BY THE CONTRACTOR DURING CONSTRUCTION THAT RESULT IN MATERIALS OR CONSTRUCTION COST INCREASE SHALL BE AT THE EXPENSE OF THE CONTRACTOR.
- THE TOPOGRAPHIC AND ELEVATION DATA SHOWN HEREON WAS NEITHER GENERATED BY NOR CERTIFIED AS CORRECT BY THIS ENGINEER. USERS OF THIS DATA DO SO AT THEIR OWN RISK.
- THE CONTRACTOR IS RESPONSIBLE FOR DESIGNING ALL SHORING, BRACING, AND STRUCTURAL SUPPORTS.
- TEMPORARY SHORING, PROTECTIVE AND MAINTENANCE SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN AS WELL AS ADJACENT EXISTING STRUCTURES, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING REMOVED.
- THE CONTRACTOR SHALL PROVIDE ALL CENTERLINE-TO-CENTERLINE DIMENSIONS TO THE STEEL FABRICATOR PRIOR TO SHOP DRAWING SUBMITTAL AND FABRICATION OF STRUCTURAL STEEL.

**ABBREVIATION (ALPHABETIZED):**

- A.B. = ANCHOR BOLTS
- ARCH. = ARCHITECT
- C.J. = CONTROL JOINT
- C.I.P. = CAST IN PLACE
- C.F.R. = CARBON FIBER REINFORCEMENT
- CONC. = CONCRETE
- CONT. = CONTINUOUS
- CONV. = CONNECTION
- COORD. = COORDINATE
- DSE = DRILL & EPOXY
- E.O.C. = EDGE OF CONCRETE
- E.W. = EACH WAY
- EX. = EXISTING
- EXP. = EXPANSION
- EXT. = EXTERIOR
- F.F.E. = FRESH FLOOR ELEVATION
- FLR. = FLOOR
- FIG. = FOOTING
- G.P.R. = GROUND-PENETRATING RADAR
- GYP. = GYPSUM BOARD
- H.R. = HORIZONTAL
- HDR. = HEADER
- HORIZ. = HORIZONTAL
- INT. = INTERIOR
- MAX. = MAXIMUM
- MANUF. = MANUFACTURER
- M.C. = MOMENT CONNECTION
- MIN. = MINIMUM
- MO. = MOMENT
- D.C. = ON CENTER
- P.A.F. = POWER ACTIVATED FASTENER
- REIN. = REINFORCEMENT
- REQ. = REQUIRED
- SM. = SIMILAR
- S.O.G. = SLAB ON GRADE
- STD. = STANDARD
- STL. = STEEL
- SQ. = SQUARE
- T&B. = TOP & BOTTOM
- TYP. = TYPICAL
- UN. = UNLESS NOTED
- UN.D. = UNLESS NOTED OTHERWISE
- VERT. = VERTICAL
- W.W.M. = WELDED WIRE MESH

**FOUNDATION:**

- SHALLOW FOUNDATIONS ARE DESIGNED FOR AN ASSUMED ALLOWABLE SOIL BEARING PRESSURE OF 2500 PSF PER GEOTECH REPORT BY CHATTAHOOCHEE CONSULTING GROUP, INC DATED OCTOBER 3, 2023. THIS VALUE SHALL BE VERIFIED BY GEOTECH REPRESENTATIVE PRIOR TO FOUNDATION CONSTRUCTION. IF ACTUAL VALUES VARY BY MORE THAN TEN PERCENT FROM DESIGN BEARING PRESSURE, FOUNDINGS SHALL BE REDESIGNED. ALL FOOTINGS ARE TO BE PLACED ON UNDISTURBED ORIGINAL SOIL OR COMPACTED FILL.
- ALL BACKFILL SHALL BE ACCOMPISHED USING MATERIAL CONSISTING OF CRUSHED STONE AND/OR MATERIAL APPROVED BY A REGISTERED SOILS ENGINEER. FILL MATERIAL TAKEN FROM SITE ELEVATION SHALL HAVE OPTIMUM MOISTURE CONTENT FOR COMPACTION AND BE FREE OF ANY DEBRIS. BACKFILL SHALL BE COMPACTED TO 98% MAXIMUM DENSITY AS DETERMINED BY ASTM D698. IN MAXIMUM LIFTS OF EIGHT INCHES. NO BACKFILL MATERIAL SHALL BE PLACED AGAINST WALLS WITHOUT PROVISIONS FOR ADEQUATE BRACING OF THESE WALLS.
- FILL MATERIAL SHALL BE ADEQUATELY DRAINED TO PREVENT ANY DAMAGE TO THE BUILDING'S FOUNDATION BY GROUND WATER FLOWS OR SURFACE WATER RUN-OFF.
- ALL CONCRETE RETAINING WALLS SHALL BE CURED AT LEAST SEVEN DAYS AND ADEQUATELY BRACED PRIOR TO BACKFILLING IN ACCORDANCE WITH APPLICABLE CODES.
- ALL SOIL CONDITIONS ARE SUBJECT TO EVALUATION BY A SOILS ENGINEER PRIOR TO FOUNDATION CONSTRUCTION. SOILS WITHOUT ADEQUATE CAPACITY TO SUPPORT DESIGN LOADS MUST BE REPLACED OR MODIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION.

**HELICAL PILES:**

- PER GEOTECH REPORT BY CHATTAHOOCHEE CONSULTING GROUP, INC DATED OCTOBER 3, 2023. HELICAL PILES ARE RECOMMENDED TO SUPPORT THE BRIDGE NEAR STATION 2+400 TO 2+450.
- DUE TO ASSUMED POOR SOIL CONDITIONS AT THE BRIDGE ABUTMENT, HELICAL PILES ARE REQUIRED FOR FOUNDATION BEARING. HELICAL PILES ARE TO BE DESIGNED AND INSTALLED BY AN EXPERIENCED PIER CONTRACTOR. PIER DEPTH AND DESIGN CAPACITY SHALL BE VERIFIED DURING INSTALLATION UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER. MINIMUM PIER COMPRESSION CAPACITY = 250K WORKING CAPACITY AND 500K ULTIMATE CAPACITY. MINIMUM PIER TENSION CAPACITY = 50K WORKING CAPACITY AND 100K ULTIMATE CAPACITY.
- RECOMMENDED PIER TYPE IS 2 1/2" O.D. SCHEDULE 40, HOT DIPPED GALVANIZED, VERIFY W/ GEOTECHNICAL ENGINEER.
- FOR BIDDING PURPOSES, ASSUME 35FT PILE LENGTH PER PILE (VERIFY LENGTH W/ GEOTECH) & PROVIDE PROTECT PER FOOT OF LENGTH FOR ADDITIONAL OR DUCTIVE LENGTH.

**STRUCTURAL STEEL:**

- STRUCTURAL STEEL MATERIALS SHALL MEET THE REQUIREMENTS OF THE FOLLOWING SPECIFICATIONS UNLESS OTHERWISE NOTED:  
 STRUCTURAL STEEL ..... ASTM A588 CORTEN WEATHERING STEEL  
 STEEL ANGLES & PLATES ..... ASTM A362 CORTEN WEATHERING STEEL  
 HIGH STRENGTH BOLTS ..... ASTM A325, GALVANIZED NUTS ..... ASTM A563, GALVANIZED UNFINISHED BOLTS ..... ASTM A307  
 AWS CLASS E70 ANCHOR BOLTS ..... F1554, GR. 35
- BRIDGE GIRDERS TO BE CORTEN WEATHERING STEEL (VERIFY).
- ALL STRUCTURAL WELDED JOINTS SHALL CONFORM TO THE PROVISIONS OF AWS D11.1 & D1.6, STRUCTURAL WELDING CODE BY AMERICAN WELDING SOCIETY.
- PROOF OF WELDER CERTIFICATIONS SHALL BE AVAILABLE AT THE JOB SITE DURING TIMES OF INSPECTION.

**RAILINGS & STEEL CONNECTORS:**

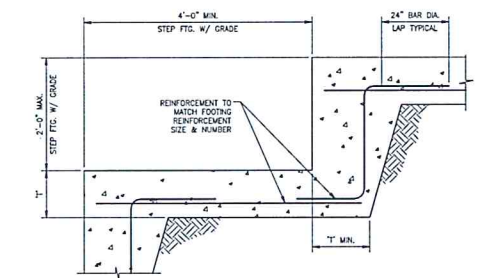
- ALL STEEL CONNECTORS, FASTENERS, AND ANCHORS FOR RAILINGS SHALL BE STAINLESS STEEL UNO. WASHERS SHALL BE PROVIDED UNDER ALL BOLT HEADS AND NUTS.
- ALL RAILING POSTS, HORIZONTAL RAILS, MISCELLANEOUS VISIBLE ANGLES AND PLATES TO BE CORTEN WEATHERING STEEL.
- AT TRAIL SEGMENTS WITH CURVED ALIGNMENTS, TOP RAILS MUST BE RADIUS IN SHOP BASED ON MEASUREMENTS TAKEN FROM FIELD CONDITIONS AFTER POST INSTALLATION.
- CONTRACTOR TO SURVEY/FIELD MEASURE ALL RAILINGS AFTER POST INSTALLATION. AT TRAIL SEGMENTS WITH CURVED ALIGNMENTS, TOP RAILS MUST BE RADIUS IN SHOP BASED ON MEASUREMENTS TAKEN FROM FIELD CONDITIONS. TOP RAIL TO BE CONSISTENT HEIGHT OFF THE TRAIL SURFACE OR TOP OF WALL.
- ALL RAILING CABLES SHALL BE 3/4" STAINLESS STEEL. SEE DETAILS ON S-0-1 FOR ASSEMBLY AND TENSION REQUIREMENTS.

**CONCRETE:**

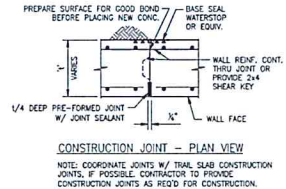
- CONCRETE SHALL BE NORMAL WEIGHT AND HAVE A DESIGNATED COMPRESSIVE STRENGTH (F<sub>c</sub>) IN 28 DAYS OF 3500 PSI WITH A 4" SLUMP UNLESS NOTED OTHERWISE.
- DETAILING OF CONCRETE REINFORCEMENT AND ACCESSORIES SHALL BE IN ACCORDANCE WITH ACI 315, LATEST EDITION.
- CONCRETE COARSE AGGREGATE WITH A MAXIMUM SIZE OF 1" MAY BE USED IN FOUNDATIONS. ALL OTHER CONCRETE SHALL HAVE A COARSE AGGREGATE WITH A MAXIMUM SIZE OF 3/4".
- CONCRETE MIXING, TRANSPORTING, PLACING, AND CURING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF ACI 301. READY-MIXED CONCRETE SHALL BE MAID AND DELIVERED IN ACCORDANCE WITH REQUIREMENTS OF ASTM C94 OR ASTM C885.
- NO CONSTRUCTION LOADS SHALL BE SUPPORTED ON, NOR ANY SHORING REMOVED FROM, ANY PART OF THE STRUCTURE UNDER CONSTRUCTION EXCEPT WHEN THAT PORTION OF THE STRUCTURE IN COMPARISON WITH REMAINING FORMING AND SHORING SYSTEM HAS SUFFICIENT STRENGTH TO SUPPORT SAFELY ITS WEIGHT AND LOADS PLACED THEREON.
- MINIMUM COVER FOR CAST-IN-PLACE CONCRETE REINFORCEMENT:  
 CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH ..... 3"  
 CONCRETE EXPOSED TO EARTH OR WEATHER:  
 #1 THROUGH #10 BARS ..... 2"  
 #11 BAR, W#1 OR D#1 WIRE, AND SMALLER ..... 1 1/2"  
 CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:  
 SLAB WALLS, JOISTS ..... 3/4"  
 #11 BARS AND SMALLER ..... 3/4"  
 BEAMS, COLUMNS, PRIMARY REINFORCEMENT, TIES, STAIRS, SPIRALS ..... 1 1/2"  
 COORDINATE CONCRETE FINISHES & COATINGS WITH PROJECT MANAGER AND/OR OWNER.  
 B. FORMED OR SAW-CUT CONTROL JOINTS TO BE SPACED AT 12'-0" OC MAX (TOP UNO).

**REINFORCING:**

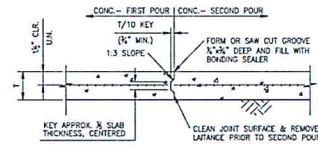
- CONCRETE REINFORCING STEEL SHALL COMPLY WITH THE REQUIREMENTS OF ASTM A615, GRADE 40 FOR #3 BARS AND ASTM A615, GRADE 60 FOR #4 AND LARGER BARS.
  - DETAILING OF CONCRETE REINFORCEMENT AND ACCESSORIES SHALL BE IN ACCORDANCE WITH ACI 315, LATEST EDITION.
  - REINFORCING STEEL SHALL BE SPLICED ONLY AS INDICATED ON THE PLANS. WHEN SPLICE LENGTHS ARE NOT GIVEN ON THE PLANS, THEY SHALL BE TAKEN FROM THE TABLE BELOW. USE "CLASS B" LAPS UNLESS THE PLANS INDICATE "CLASS A".
- | BAR SIZE | CLASS "B" SPLICE | CLASS "A" SPLICE |
|----------|------------------|------------------|
| #3       | 28"              | 22"              |
| #4       | 37"              | 29"              |
| #5       | 47"              | 38"              |
| #6       | 56"              | 47"              |
| #7       | 65"              | 56"              |
| #8       | 74"              | 65"              |
| #9       | 83"              | 74"              |
| #10      | 92"              | 83"              |
| #11      | 101"             | 92"              |
| #11      | 131"             | 101"             |
- LAPS SHOWN ABOVE WERE CALCULATED PER ACI 318-06, EQ. 12-1 FOR WALLS, WALLS, BEAMS, COLUMNS AND SLABS. VALUES ASSUMED ARE: F<sub>c</sub> 3000 PSI, F<sub>y</sub> 60, 1" MIN COVER AND 2" MIN CLEAR BETWEEN BARS FOR #4, #5 AND #6 BARS; AND 1 1/2" MIN COVER AND 3" MIN CLEAR BETWEEN BARS FOR #7 THRU #11 BARS. SHORTER LAPS MAY BE CALCULATED FOR SOME SPECIFIC CONDITIONS SUCH AS TIED BARS OR ADDITIONAL COVER LAPS MUST BE INCREASED 50% PER ACI 318-08 FOR EPOXY COATED REBAR, OR 30% FOR LIGHTWEIGHT CONCRETE.
- ALL BAR HOOKS SHALL BE STANDARD 90-DEGREE HOOKS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
  - HORIZONTAL WALL REINFORCEMENT SHALL BE CONTINUOUS AND HAVE 90-DEGREE BENDS AND EXTENSIONS AT CORNERS AND INTERSECTIONS AS SHOWN ON TYPICAL DETAIL PLACING DETAILS UNLESS OTHERWISE SHOWN. ALL WALLS SHALL HAVE #3 CORNER REIN. @ 18" O.C. EACH WAY @ WALL CENTERLINE.
  - SECTION OF STRUCTURAL ELEMENTS INCLUDING WALLS, FORMED SLABS, BEAMS AND COLUMNS IS IN ACCORDANCE WITH ACI 318-14.
  - ALL WIRE MESH AND REBARS ARE TO BE PLACED ON SUPPORTS PER ACI STANDARDS PRIOR TO POURING CONCRETE.



**A STEPPED FOOTING DETAIL**  
SCALE: 1/4"=1'-0"



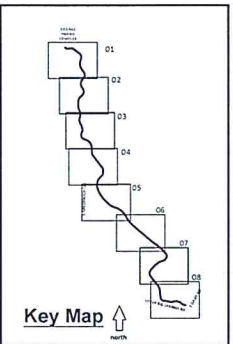
**B CONC. WALL JOINT DETAILS**  
SCALE: 1/4"=1'-0"



**C TRAIL SLAB JOINT DETAILS**  
SCALE: 1/4"=1'-0"

**GW GEORGIA & WEST, INC.**  
 ENGINEERING • LAND SURVEYING • LAND PLANNING  
 105 CORPORATE DRIVE  
 CAROLINA, GA 31717  
 PHONE: 770.318.1925  
 EMAIL: info@gwgsurvey.com

**Se Stability Engineering**  
 1276 South G. St., Ste. 100  
 SE#22268



DATE	DESCRIPTION
10/25/2023	100% ISSUE FOR PERMIT
04/28/2024	ISSUE FOR BID

JOB NUMBER 220523  
 PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**

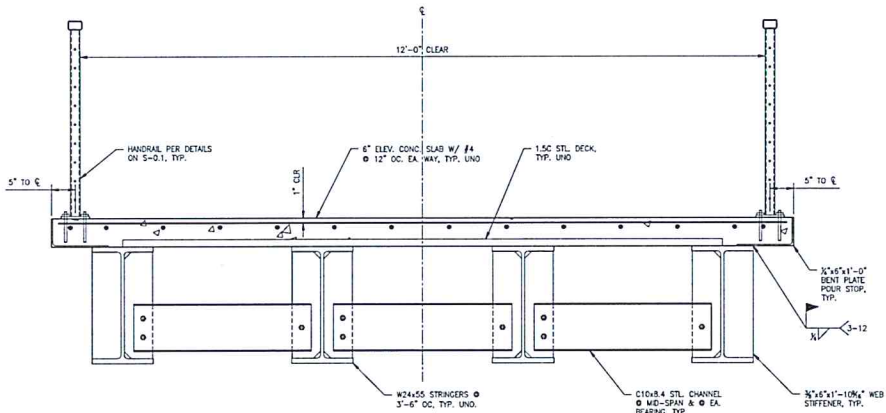


**GENERAL NOTES & TYPICAL DETAILS**

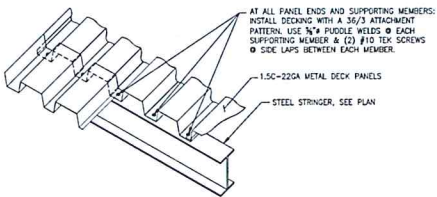
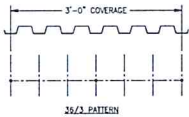
SCALE	AS NOTED
DATE	OCTOBER 25, 2023

SHEET # **S-0.0**

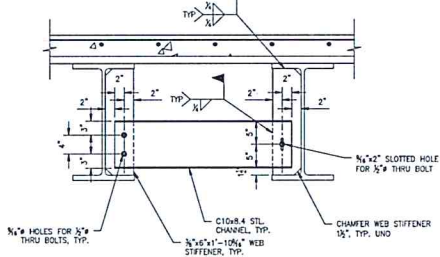




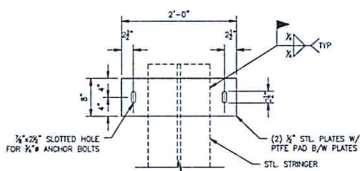
1 TYP. STL. BRIDGE SECTION DETAIL  
SCALE: 1/2"=1'-0"



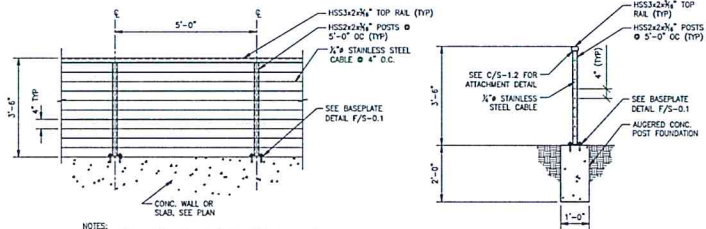
2 METAL DECK ATTACHMENT DETAILS  
SCALE: 1"=1'-0"



3 TYP. STRINGER BRACING DETAIL  
SCALE: 1"=1'-0"

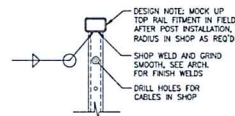


4 TYP. BASEPLATE DETAIL  
SCALE: 1"=1'-0"

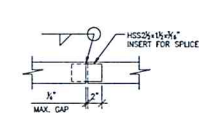


A TYP. HANDRAIL ELEVATION  
SCALE: 1/2"=1'-0"

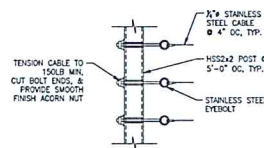
B HANDRAIL POST FOOTING  
SCALE: 1/2"=1'-0"



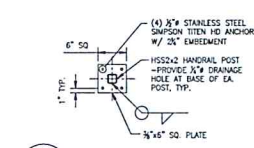
C TOP RAIL ATTACHMENT  
SCALE: 1/2"=1'-0"



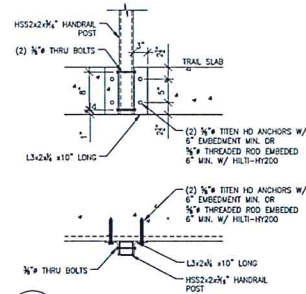
D HAND RAIL SPLICE DETAIL  
SCALE: 1/2"=1'-0"



E CABLE TENSION ASSEMBLY  
SCALE: 1"=1'-0"



F HANDRAIL BASEPLATE DETAIL  
SCALE: 1"=1'-0"

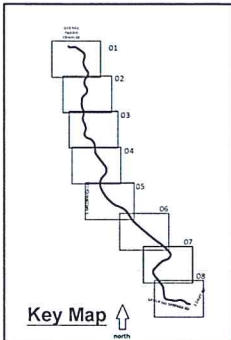


G SIDE MOUNT HANDRAIL DETAIL  
SCALE: 1"=1'-0"

**GEORGIA 811**  
ENGINEERING • LAND SURVEYING • LAND PLANNING

182 GEORGETOWN DRIVE  
CHARLOTTE, NC 28203  
TEL: 704.779.3444  
FAX: 704.779.3445  
EMAIL: info@georgiainc.com

**S** Stability  
Engineering  
17th Floor, 500 Bank of America Plaza  
Charlotte, NC 28202  
SE# 22268



DATE	DESCRIPTION
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**

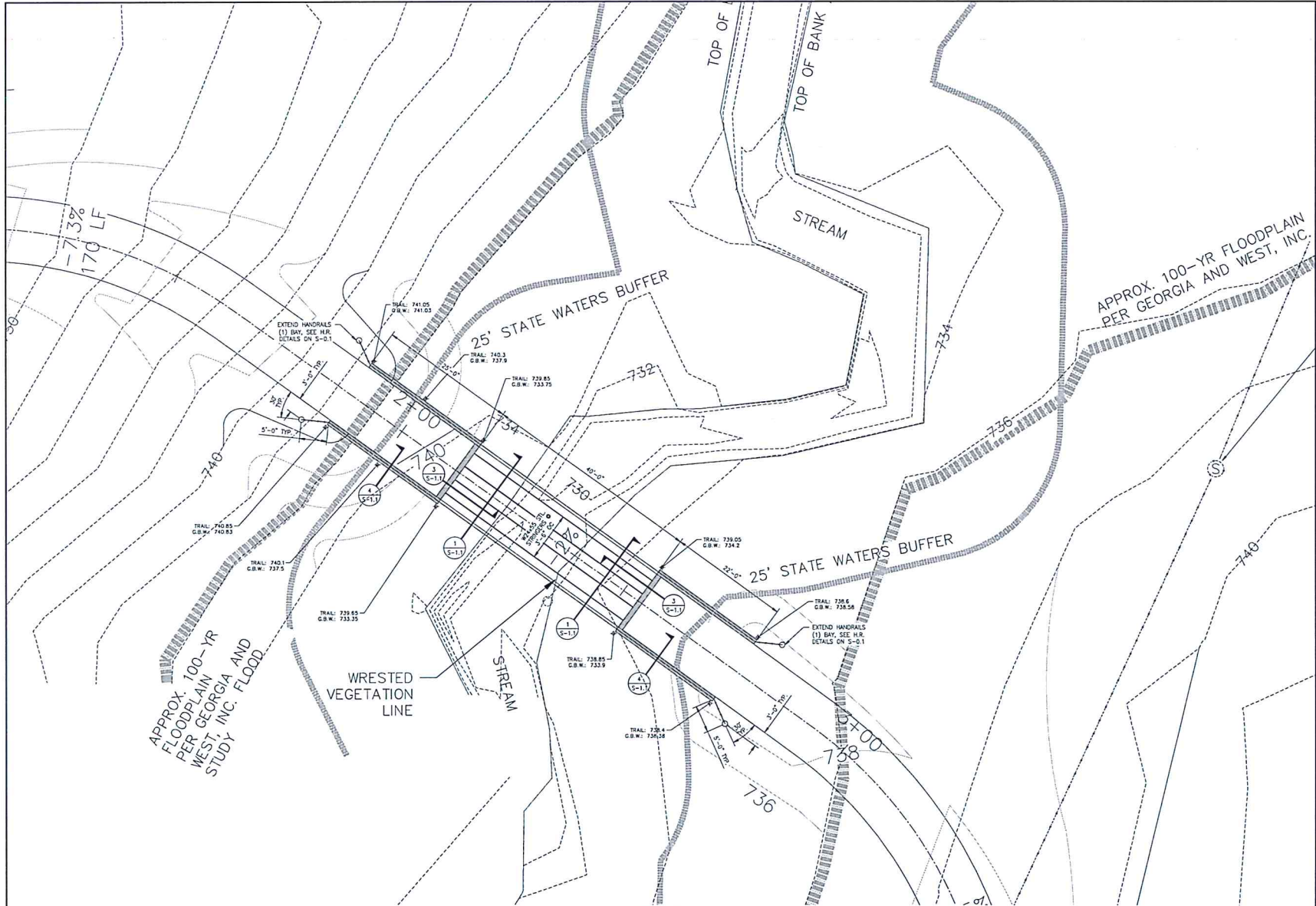


TYP. STL. DETAILS & TYP. HANDRAIL DETAILS

SCALE	AS NOTED
DATE	OCTOBER 25, 2023

SHEET # S-0.1

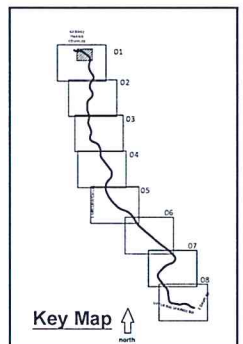




N  
 ↑  
 SITE PLAN  
 SCALE: 1" = 1'-0"  
 NOTE:  
 1. SEE CIVIL SITE PLANS FOR TRAIL PLACEMENT & GRADE ELEVATIONS. SITE PLAN SHOWN FOR REFERENCE ONLY.

**GW GEORGIA & WEST, INC.**  
 ENGINEERING • LAND SURVEYING • LAND PLANNING  
 105 CORPORATE DRIVE  
 CARROLLTON, GA 30117  
 Phone: 770.834.4814  
 Fax: 770.834.1505  
 Email: info@georgiawest.com

**Stability Engineering**  
 1174 Peach St., STE 208, Marietta, GA 30067  
 Phone: 770.427.0011  
 SE#222268



DATE	DESCRIPTION
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
 PROJECT MANAGER LMW

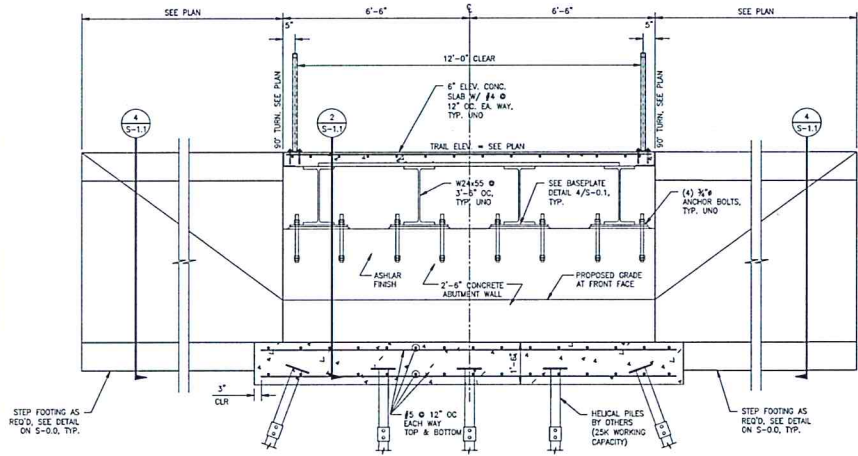
**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**



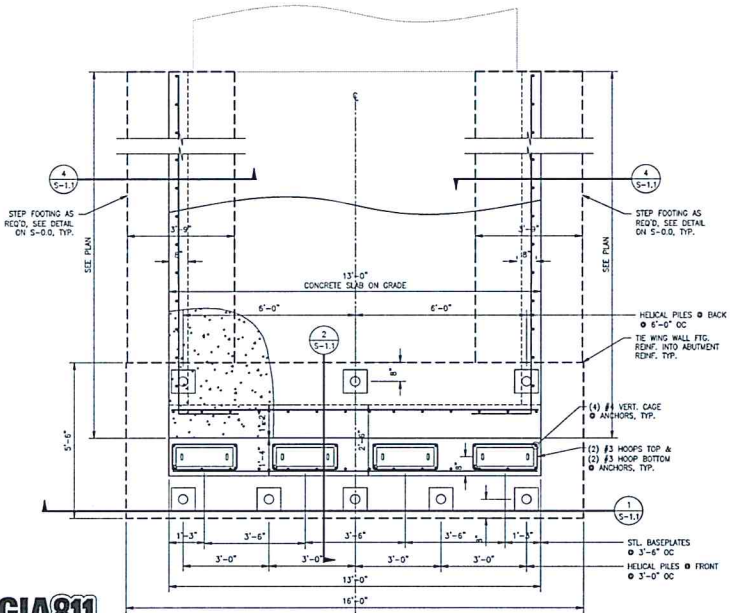
**STL. BRIDGE**  
**SITE PLAN**

SCALE	AS NOTED
DATE	OCTOBER 25, 2023

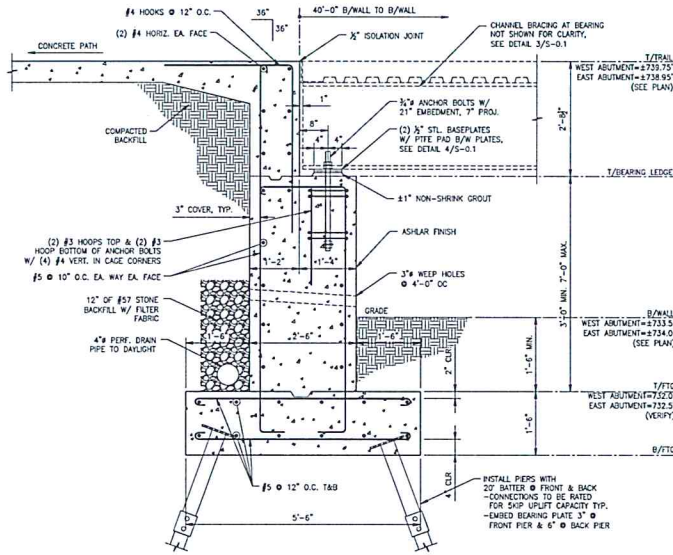
SHEET # **S-1.0**



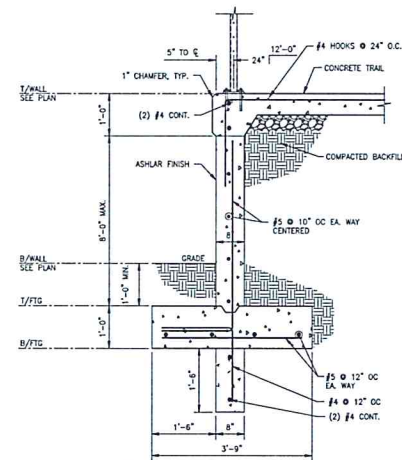
1 ABUTMENT WALL ELEVATION W/ HELICAL PILES  
SCALE: 1/2"=1'-0"



3 ABUTMENT WALL PLAN VIEW  
SCALE: 1/2"=1'-0"



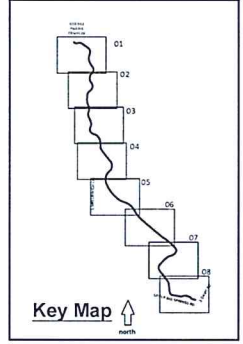
2 ABUTMENT WALL SECTION  
SCALE: 3/4"=1'-0"



4 ABUTMENT WING WALL SECTION  
SCALE: 3/4"=1'-0"

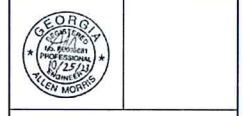
**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
OFFICE: (770) 844-8848  
175 CORPORATE DRIVE  
CANTONMENT, GA 30115  
FAX: (770) 844-8858  
EMAIL: info@georgiawest.com

**Stability Engineering**  
1115 South St. #100  
Lawrenceville, GA 30046  
SE#22268



DATE	DESCRIPTION
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER: 220523  
PROJECT MANAGER: LMOV  
**LaGRANGE THREAD PHASE 10**  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGRANGE, GA

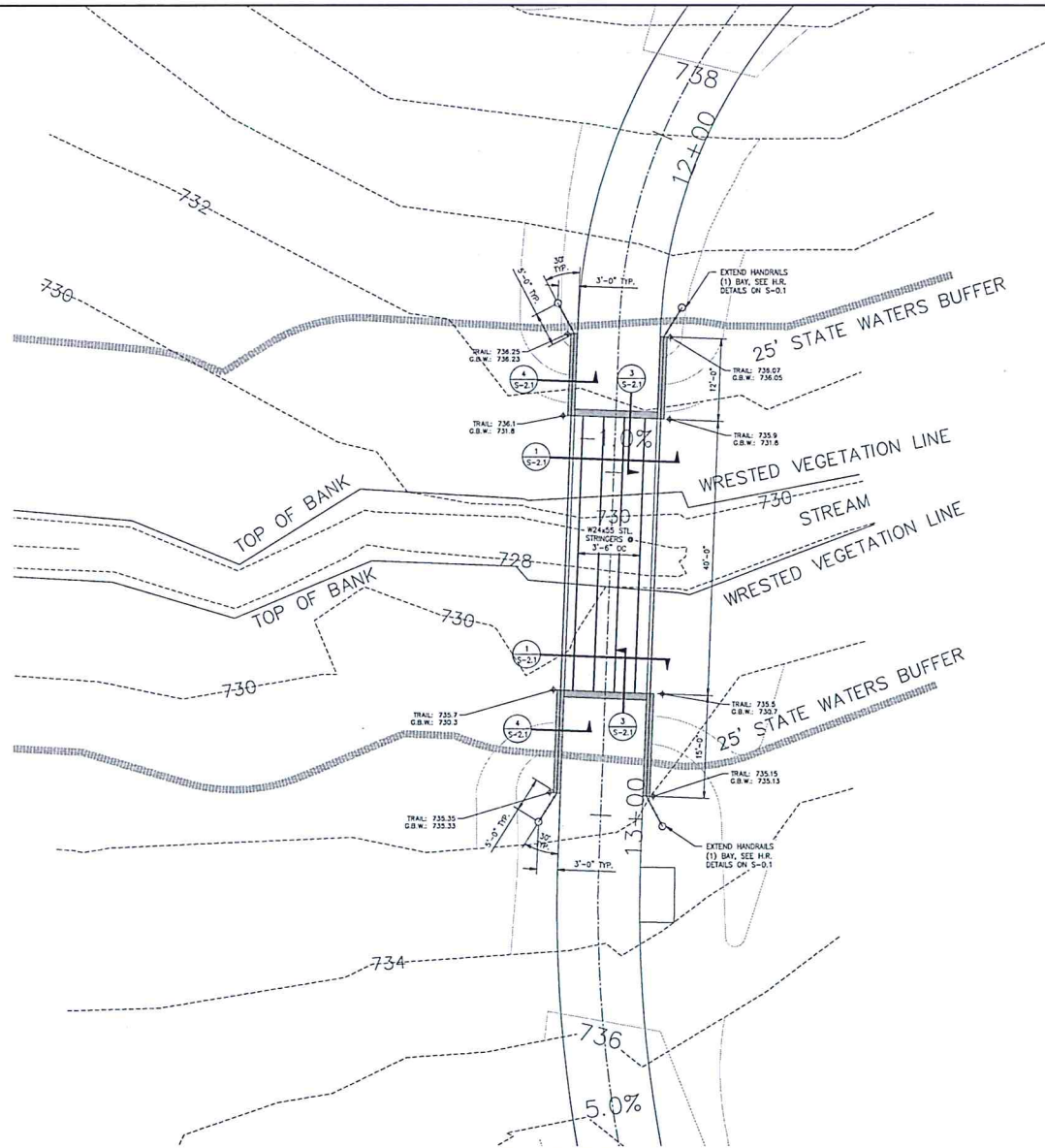


**STRUCTURAL DETAILS**

SCALE: AS NOTED  
DATE: OCTOBER 25, 2023

SHEET # **S-1.1**



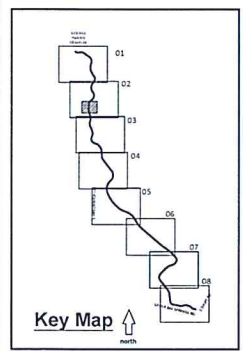


N  
 ↑  
 SITE PLAN  
 SCALE: 1" = 1'-0"  
 NOTE:  
 1. SEE CIVIL SITE PLANS FOR TRAIL PLACEMENT & GRADE ELEVATIONS. SITE PLAN SHOWN FOR REFERENCE ONLY.



**GW GEORGIA & WEST, INC.**  
 ENGINEERING • LAND SURVEYING • LAND PLANNING  
 105 CORPORATE DRIVE  
 CARROLLTON, GA 30117  
 E-MAIL: mwb@gpwwest.com  
 OFFICE: (770) 844-0424  
 FAX: (770) 844-0995

**S<sup>e</sup> Stability Engineering**  
 1717 DUNN RD., STE. 200  
 ATLANTA, GA 30329  
 SE#22268



DATE	DESCRIPTION
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
 PROJECT MANAGER LMW

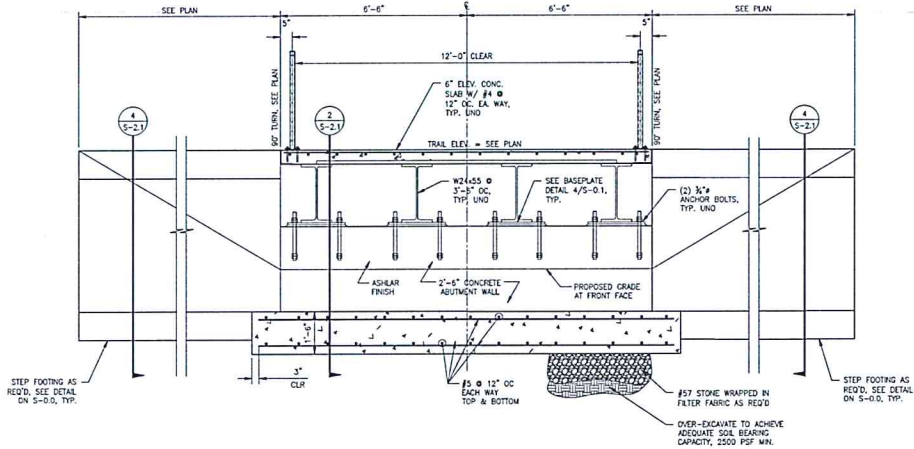
**LaGRANGE THREAD PHASE 10  
 GEORGE HARRIS COMPLEX TO  
 SOUTH DAVIS RD  
 LaGRANGE, GA**



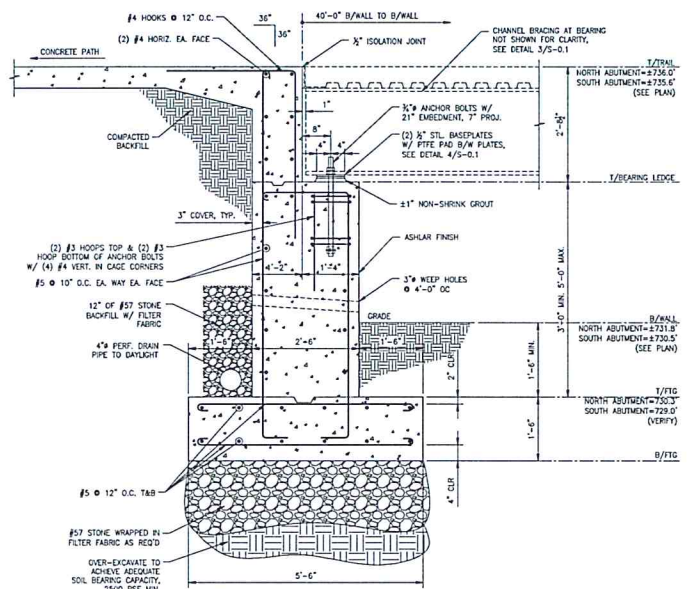
**STL. BRIDGE  
 SITE PLAN**

SCALE AS NOTED  
 DATE OCTOBER 25, 2023

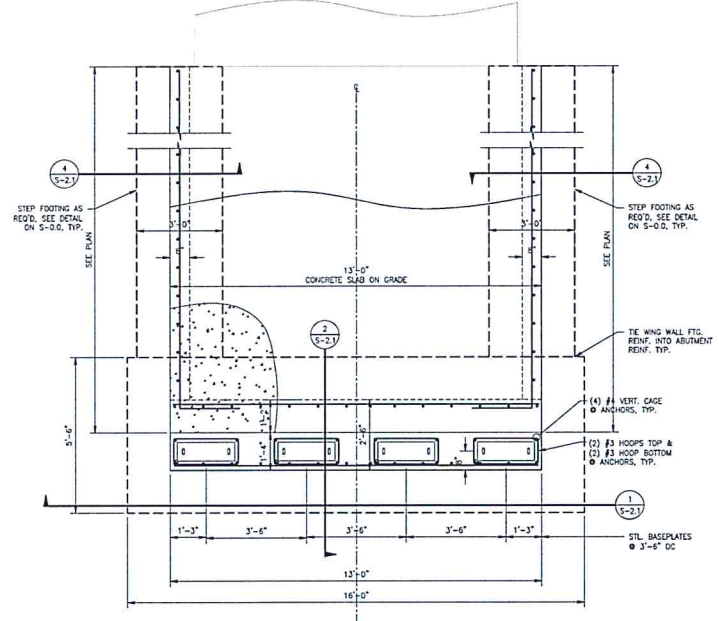
SHEET # **S-2.0**



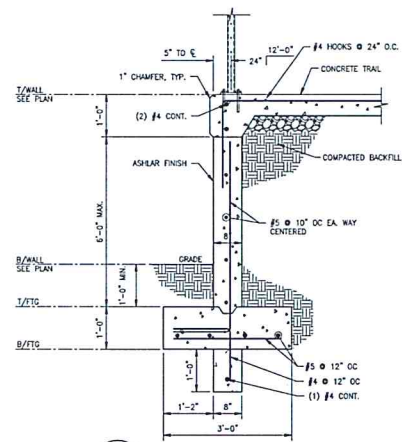
1 ABUTMENT WALL ELEVATION W/ SHALLOW FND.  
SCALE: 1/2"=1'-0"



2 ABUTMENT WALL SECTION  
SCALE: 3/4"=1'-0"



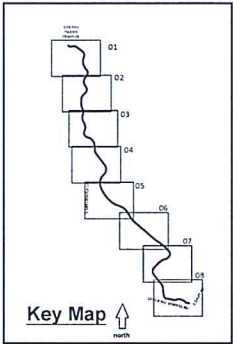
3 ABUTMENT WALL PLAN VIEW  
SCALE: 1/2"=1'-0"



4 ABUTMENT WING WALL SECTION  
SCALE: 3/4"=1'-0"

**GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
100 CORPORATE PARK OFFICE (770) 544-6464  
CAROLTON, GA 30137 FAX (770) 544-0505  
E-MAIL: info@georgiawest.com

**Stability Engineering**  
1718 Davis Rd., Ste. 200 Marietta, GA 30067  
SE#22268



DATE	DESCRIPTION
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**



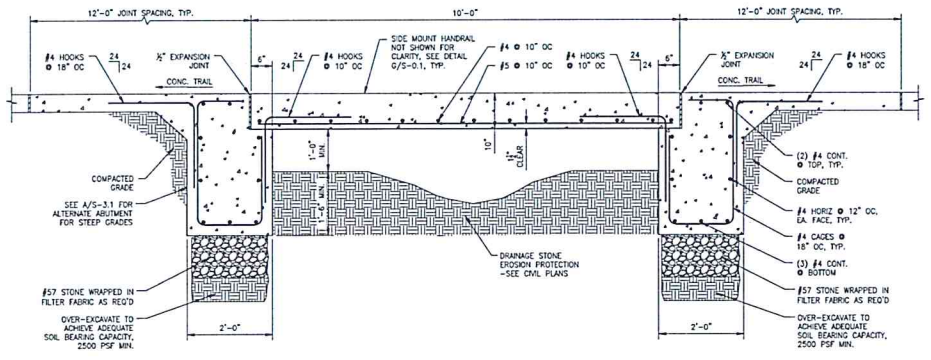
**STRUCTURAL**  
**DETAILS**

SCALE	AS NOTED
DATE	OCTOBER 25, 2023

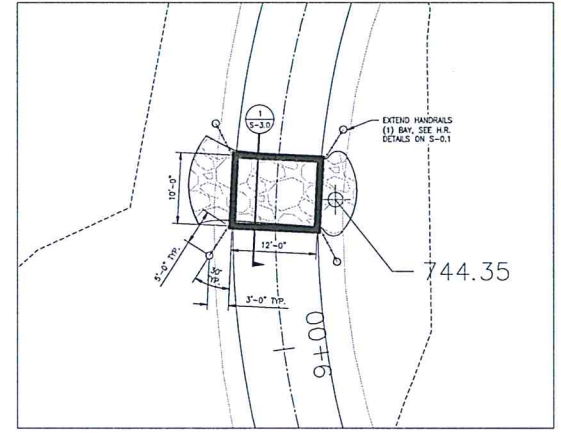
SHEET # **S-2.1**

**GEORGIA811**  
Utilities Protection Center, Inc.  
Know what's below.  
Call before you dig.

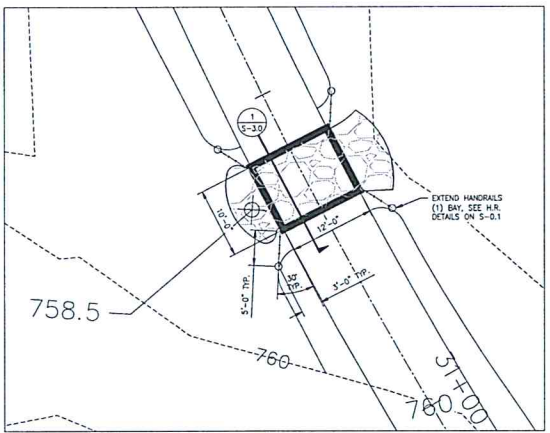




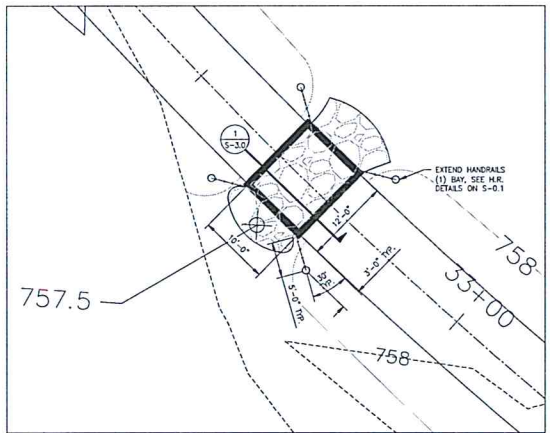
1  
S-3.0  
STRUCTURAL CONC. SLAB SECTION  
SCALE: 3/4"=1'-0"



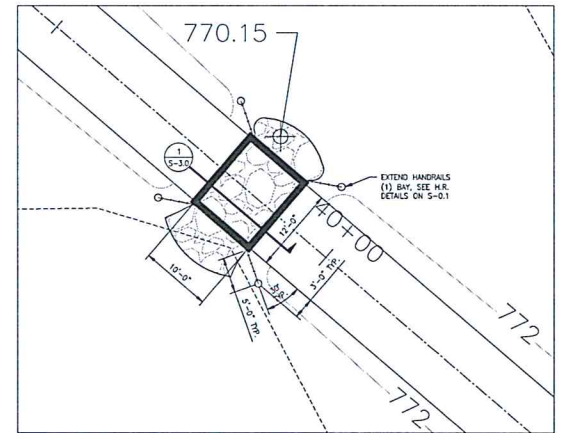
1  
SITE PLAN STA 8+74  
SCALE: 1"=1'-0"  
NOTE:  
1. SEE CIVIL SITE PLANS FOR TRAIL PLACEMENT & GRADE ELEVATIONS. SITE PLAN SHOWN FOR REFERENCE ONLY.



1  
SITE PLAN STA 30+63  
SCALE: 1"=1'-0"  
NOTE:  
1. SEE CIVIL SITE PLANS FOR TRAIL PLACEMENT & GRADE ELEVATIONS. SITE PLAN SHOWN FOR REFERENCE ONLY.



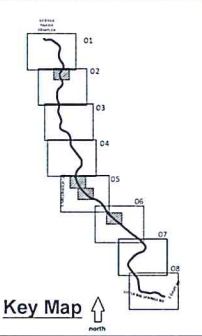
1  
SITE PLAN STA 32+70  
SCALE: 1"=1'-0"  
NOTE:  
1. SEE CIVIL SITE PLANS FOR TRAIL PLACEMENT & GRADE ELEVATIONS. SITE PLAN SHOWN FOR REFERENCE ONLY.



1  
SITE PLAN STA 39+86  
SCALE: 1"=1'-0"  
NOTE:  
1. SEE CIVIL SITE PLANS FOR TRAIL PLACEMENT & GRADE ELEVATIONS. SITE PLAN SHOWN FOR REFERENCE ONLY.

**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
110 CORPORATE CENTER  
CAROLTON, GA 31117  
STATE: GA REG. NO. 11224  
GUYTON, MO REG. NO. 11224  
OFFICE: 770.844.6105  
FAX: 770.844.1008  
EMAIL: info@gwinc.com

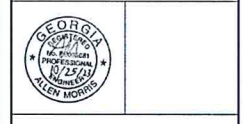
**Stability Engineering**  
1117 CHERRY ST., STE. 100  
MARIETTA, GA 30159  
SE#22268



DATE	DESCRIPTION
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

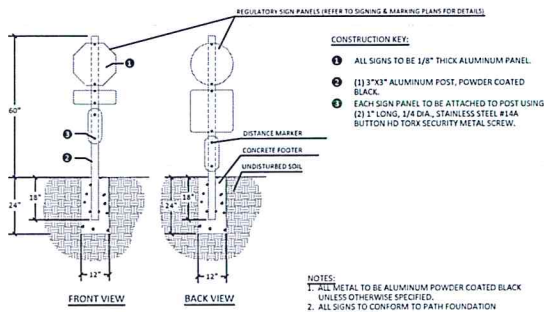
LaGRANGE THREAD PHASE 10  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGRANGE, GA



STRUCTURAL SLAB SITE  
PLANS & SECTION DETAIL

SCALE	AS NOTED
DATE	OCTOBER 25, 2023
SHEET #	S-3.0





REGULATORY SIGN PANELS REFER TO SIGNING & MARKING PLANS FOR DETAILS

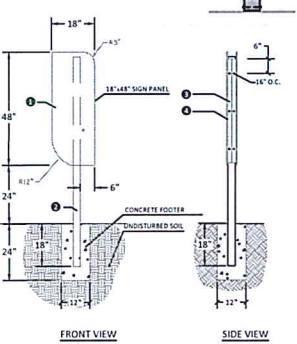
**CONSTRUCTION KEY:**

- 1 ALL SIGNS TO BE 1/8" THICK ALUMINUM PANEL.
- 2 (1) 3"x3" ALUMINUM POST, POWDER COATED BLACK.
- 3 EACH SIGN PANEL TO BE ATTACHED TO POST USING (2) 1" LONG, 1/4 DIA. STAINLESS STEEL #14A BUTTON HD TORX SECURITY METAL SCREW.

**NOTES:**

1. ALL METAL TO BE ALUMINUM POWDER COATED BLACK UNLESS OTHERWISE SPECIFIED.
2. ALL SIGNS TO CONFORM TO PATH FOUNDATION SPECIFICATIONS.

**1 REGULATORY SIGN**  
SCALE: 1/2" = 1'-0"



**SIGN ATTACHMENT PLAN VIEW**  
SCALE: 1" = 1'-0"

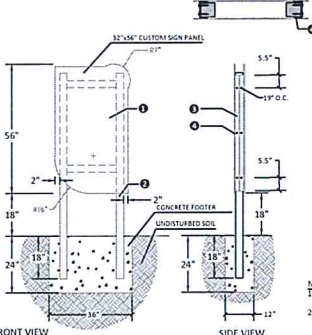
**CONSTRUCTION KEY:**

- 1 1/4" THICK ALUMINUM PANEL.
- 2 (1) 3"x3" ALUMINUM POST, POWDER COATED BLACK.
- 3 (2) L-CHANNEL BRACKET, MIN. 38" LONG, ATTACHED TO POST AS SHOWN, USING 2 1/2" LONG, 1/2 STAINLESS STEEL #14A BUTTON HD TORX SECURITY METAL SCREW.
- 4 ATTACH SIGN PANEL TO FRONT OF L-CHANNEL BRACKET WITH LOCTITE® AA H4500 ADHESIVE.

**NOTES:**

1. ALL METAL TO BE ALUMINUM POWDER COATED BLACK UNLESS OTHERWISE SPECIFIED.
2. ALL SIGNS TO CONFORM TO PATH FOUNDATION SPECIFICATIONS.

**2 DIRECTIONAL SIGN**  
SCALE: 1/2" = 1'-0"



**SIGN ATTACHMENT PLAN VIEW**  
SCALE: 1" = 1'-0"

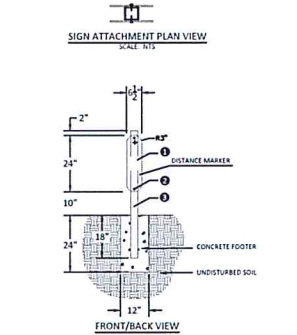
**CONSTRUCTION KEY:**

- 1 1/4" THICK ALUMINUM PANEL.
- 2 (2) 3"x3" ALUMINUM POSTS, POWDER COATED BLACK WITH (2) 2"x2", 2 1/2" LONG ALUMINUM BRACKET WELDED TO POST.
- 3 (2) L-CHANNEL BRACKET, MIN. 48" LONG, ATTACHED TO POST AS SHOWN, USING 2" LONG, 1/2 STAINLESS STEEL #14A BUTTON HD TORX SECURITY METAL SCREW.
- 4 ATTACH SIGN PANEL TO FRONT OF L-CHANNEL BRACKET WITH LOCTITE® AA H4500 ADHESIVE.

**NOTES:**

1. ALL METAL TO BE ALUMINUM POWDER COATED BLACK UNLESS OTHERWISE SPECIFIED.
2. ALL SIGNS TO CONFORM TO PATH FOUNDATION SPECIFICATIONS.

**3 KIOSK SIGN**  
SCALE: 1/2" = 1'-0"



**SIGN ATTACHMENT PLAN VIEW**  
SCALE: 1" = 1'-0"

**CONSTRUCTION KEY:**

- 1 1/8" THICK ALUMINUM PANEL.
- 2 (2) DISTANCE MARKER SIGN PANELS ATTACHED TO POST USING (2) 1" LONG, 1/4 DIA. STAINLESS STEEL #14A BUTTON HD TORX SECURITY METAL SCREW.
- 3 (1) 3"x3" ALUMINUM POST, POWDER COATED BLACK.

**NOTES:**

1. ALL METAL TO BE ALUMINUM POWDER COATED BLACK UNLESS OTHERWISE SPECIFIED.
2. ALL SIGNS TO CONFORM TO PATH FOUNDATION SPECIFICATIONS.
3. SIGN PANEL DIMENSIONS SHOWN FOR STAND-ALONE DISTANCE MARKER ONLY. REFER TO SIGNING AND MARKING PLANS FOR DETAILS.

**4 DISTANCE MARKER**  
SCALE: 1/2" = 1'-0"

THIS SPACE INTENTIONALLY LEFT BLANK

**PATH FOUNDATION SIGN SPECIFICATIONS**

1. ALUMINUM SIGN BLANKS SHALL MEET REQUIREMENTS OF GEORGIA DOT SECTION 912--SIGN BLANKS AND PANELS. ALL SIGNS TO BE MADE WITH AT LEAST 0.125-INCH THICK ALUMINUM USING METAL THAT MEETS THE REQUIREMENTS OF ASTM B 209 (B 209M), ALLOY 6061-T-6 OR 5052-H38.
2. SIGNS LOCATED WITHIN RIGHT-OF-WAY SHALL USE RETROREFLECTIVE VINYL WITH AT LEAST 10-YEAR LIFE EXPECTANCY AND FOLLOW THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SPECIFICATIONS. PLEASE SEE THE FOLLOWING TABLE FOR RECOMMENDED PRODUCTS FOR RETROREFLECTIVE VINYL SIGNS WITHIN THE RIGHT-OF-WAY:

RETRO REFLECTIVE VINYL PRODUCT NAME	LIFE EXPECTANCY
3M™ High Intensity Reflective Sheeting	10YR
ORALITE® S800 High Intensity Grade Reflective Sheeting	10YR
OTHER PRODUCTS MUST BE APPROVED BY PATH PROJECT MANAGEMENT BEFORE USE	AT LEAST 10YR

ALL REFLECTIVE SIGNS MUST INCLUDE ANTI-GRAFFITI LAMINATE OF AT LEAST 10-YEAR LIFE EXPECTANCY. PLEASE SEE THE FOLLOWING TABLE FOR RECOMMENDED PRODUCTS FOR ANTI-GRAFFITI LAMINATE:

ANTI-GRAFFITI FILMS: PRODUCT NAME	LIFE EXPECTANCY
3M™ Protective Overlay Film Series 1160	10YR
OTHER PRODUCTS MUST BE APPROVED BY PATH PROJECT MANAGEMENT BEFORE USE	AT LEAST 10YR

3. ALL SIGNS MUST HAVE AT LEAST 10-YEAR LIFE EXPECTANCY, INCLUDING ANY CUSTOM TEXT AND GRAPHICS ON SIGNS. IF SIGN INCLUDES CUSTOM TEXT AND GRAPHICS ON ONLY ONE FACE, THEN THE BACK PANEL MUST BE BLACK WITH AT LEAST 10-YEAR LIFE EXPECTANCY. PLEASE SEE THE FOLLOWING TABLE FOR RECOMMENDED PRODUCTS FOR CUSTOM TEXT AND GRAPHICS:

CUSTOM TEXT AND GRAPHICS: PRODUCT NAME	LIFE EXPECTANCY
Direct Print to Aluminum with Grip Gard BC System with satin, anti-graffiti clear-coat	10YR
OTHER PRODUCTS MUST BE APPROVED BY PATH PROJECT MANAGEMENT BEFORE USE	AT LEAST 10YR

4. ALL SIGNS MUST BE PRINTED WITH NAME BRAND INKS FROM THE PRINTING EQUIPMENT MANUFACTURER FOR THE PRINTER USED TO CREATE THE SIGN.
5. ON STANDARD SIGNS, THE BLACK BORDER IS INSET 3/8" FROM EACH EDGE. THE THICKNESS OF THE BLACK BORDER IS ALSO 3/8", OR 18 POINT. SIGNS AT OR LARGER THAN 24" X 36" MAY COME FROM THE ARCHITECTURAL FIRM WITH LARGER BORDERS. THESE BORDERS MUST BE CONSISTENT ON ALL FOUR EDGES AND MATCH STANDARD DIE CUT CURVES ON THE CORNERS.
6. PATH GREEN IS 85 - 20 - 69 - 4 IN CMYK VALUES. YELLOW ON PATH SIGNS IS 0 - 15 - 100 - 0. OTHER COLORS WILL BE DETERMINED FROM THE VECTOR FILES IN THE SIGN MATRIX.

**SIGN MANUFACTURERS:**

1. SIGN MANUFACTURER CONTACT TO BE APPROVED BY THE CITY.

**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING

105 CORPORATE CIRCLE  
CAROLTON, GA 30117  
PHONE: 770.243.8400  
FAX: 770.243.8404  
WWW.GWENGINEERING.COM

**KAIZEN COLLABORATIVE**  
2310 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521

DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/16/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

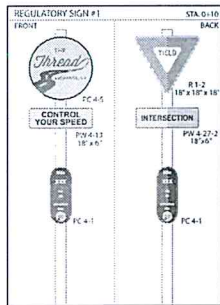
LaGRANGE THREAD PHASE 10  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGRANGE, GA



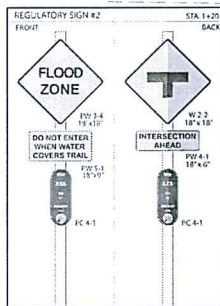
**SIGNING & MARKING DETAILS**

SCALE 1" = 30"  
DATE 10-25-2023

SHEET # **SM-00**



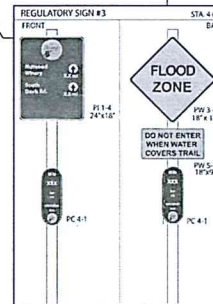
TRAIL CENTERLINE STRIPING, TYP. **2** CD-02



N/F CROSS CREEK CB LLC  
D.B. 2103 PG. 514  
P.B. 20C PG. 128

N/F CROSS CREEK CB LLC  
D.B. 2103 PG. 514  
P.B. 20C PG. 128

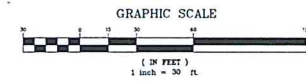
N/F CROSS CREEK CB LLC  
D.B. 2103 PG. 514  
P.B. 20C PG. 128



N/F DANNY BARNTINE  
D.B. 1071 PG. 83

MATCHLINE STA 7+40  
SEE SHEET SM-02

- SHEET NOTES:**
- MUTCD SIGN PLACEMENTS ARE APPROXIMATE AND MAY BE ADJUSTED TO MEET FIELD CONDITIONS WHERE NECESSARY, BUT SHALL BE WITHIN THE LIMITATIONS SET FORTH IN THE MUTCD CURRENT EDITION.
  - ALL EXISTING MUTCD SIGNS WITHIN TRAIL CORRIDOR TO BE RELOCATED SO THE EDGE OF SIGN IS A MIN. 2' OFF TRAIL EDGE, CONTRACTOR TO COORDINATE WITH CITY ON RELOCATION PLACEMENT OF SIGNS WHERE LANDSCAPE BUFFER IS LESS THAN 3'-0" WIDE
  - ALL MUTCD SIGNS TO BE SET ON NEW POST PER GDOT STD. DETAIL T-3A
  - ALL NEW ROAD STRIPING AND GDOT STD. CROSSWALK STRIPING TO BE THERMOPLASTIC ON ASPHALT
- CUSTOM SIGN NOTES:**
- REFER TO SHEET SM-00 FOR CUSTOM SIGN DETAILS AND SPECIFICATIONS.
  - ALL TRAIL REGULATORY SIGNS TO BE FIELD LOCATED BY PROJECT MANAGER FOR FINAL LOCATION.
  - ALL SIGNS SHALL BE LOCATED 2'-0" CLEAR FROM EDGE OF TRAIL TO EDGE OF SIGN NEAREST TRAIL.
  - CONTRACTOR TO SUBMIT FINAL LAYOUT PROOF TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
  - CONTRACTOR TO REQUEST CUSTOM SIGN PANEL FINAL VECTOR FILES FROM LANDSCAPE ARCHITECT PRIOR TO FABRICATION. CONTACT: 404-239-2521.



**GW & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
100 CORPORATE DRIVE  
CAROLTON, GA 30115  
OFFICE (770) 844-0284  
FAX (770) 844-0808  
www.gwandsurvey.com

**KAIZEN COLLABORATIVE**  
2350 MAIN STREET | TUCKER, GEORGIA, 30084 | 404-239-2521

DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

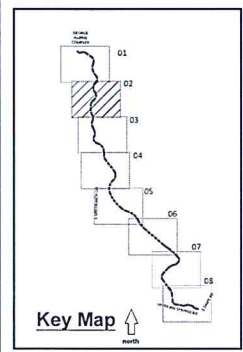
**LaGRANGE THREAD PHASE 10  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGRANGE, GA**



**SIGNING AND MARKING PLAN**

SCALE 1" = 30'  
DATE 10-25-2023

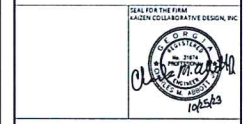
SHEET # **SM-01**



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER	220523
PROJECT MANAGER	LMW

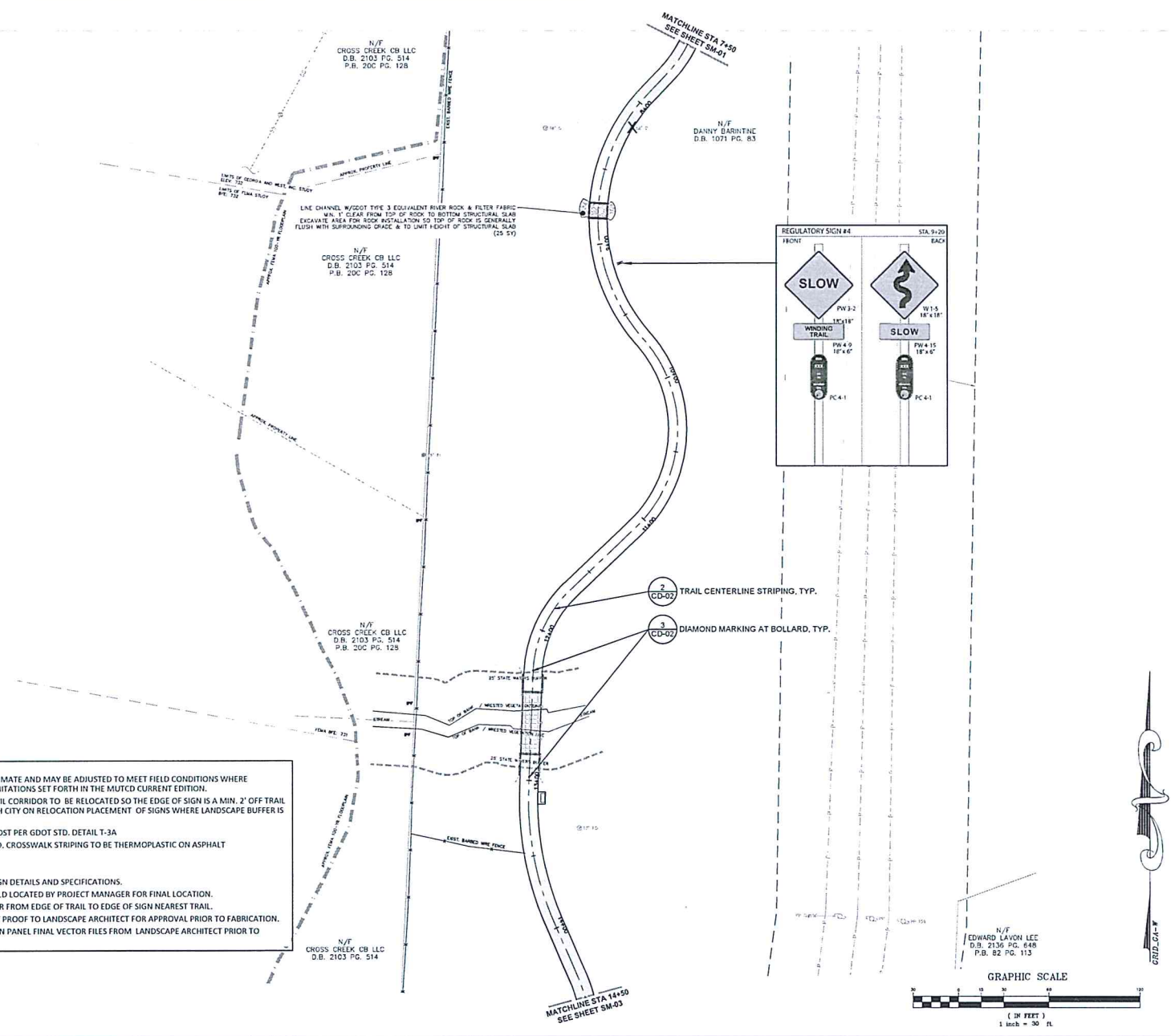
LaGRANGE THREAD PHASE 10  
 GEORGE HARRIS COMPLEX TO  
 SOUTH DAVIS RD  
 LaGRANGE, GA



**SIGNING AND MARKING PLAN**

SCALE	1" = 30'
DATE	10-25-2023

SHEET #	<b>SM-02</b>
---------	--------------



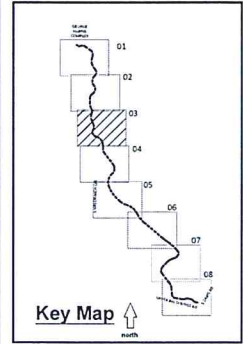
**SHEET NOTES:**

- MUTCD SIGN PLACEMENTS ARE APPROXIMATE AND MAY BE ADJUSTED TO MEET FIELD CONDITIONS WHERE NECESSARY, BUT SHALL BE WITHIN THE LIMITATIONS SET FORTH IN THE MUTCD CURRENT EDITION.
- ALL EXISTING MUTCD SIGNS WITHIN TRAIL CORRIDOR TO BE RELOCATED SO THE EDGE OF SIGN IS A MIN. 2' OFF TRAIL EDGE. CONTRACTOR TO COORDINATE WITH CITY ON RELOCATION PLACEMENT OF SIGNS WHERE LANDSCAPE BUFFER IS LESS THAN 3'-0" WIDE
- ALL MUTCD SIGNS TO BE SET ON NEW POST PER GDOT STD. DETAIL T-3A
- ALL NEW ROAD STRIPING AND GDOT STD. CROSSWALK STRIPING TO BE THERMOPLASTIC ON ASPHALT

**CUSTOM SIGN NOTES:**

- REFER TO SHEET SM-00 FOR CUSTOM SIGN DETAILS AND SPECIFICATIONS.
- ALL TRAIL REGULATORY SIGNS TO BE FIELD LOCATED BY PROJECT MANAGER FOR FINAL LOCATION.
- ALL SIGNS SHALL BE LOCATED 2'-0" CLEAR FROM EDGE OF TRAIL TO EDGE OF SIGN NEAREST TRAIL.
- CONTRACTOR TO SUBMIT FINAL LAYOUT PROOF TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- CONTRACTOR TO REQUEST CUSTOM SIGN PANEL FINAL VECTOR FILES FROM LANDSCAPE ARCHITECT PRIOR TO FABRICATION. CONTACT: 404-239-2521.





DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/16/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/28/2024	REV. PERMITS & SUBMITTALS

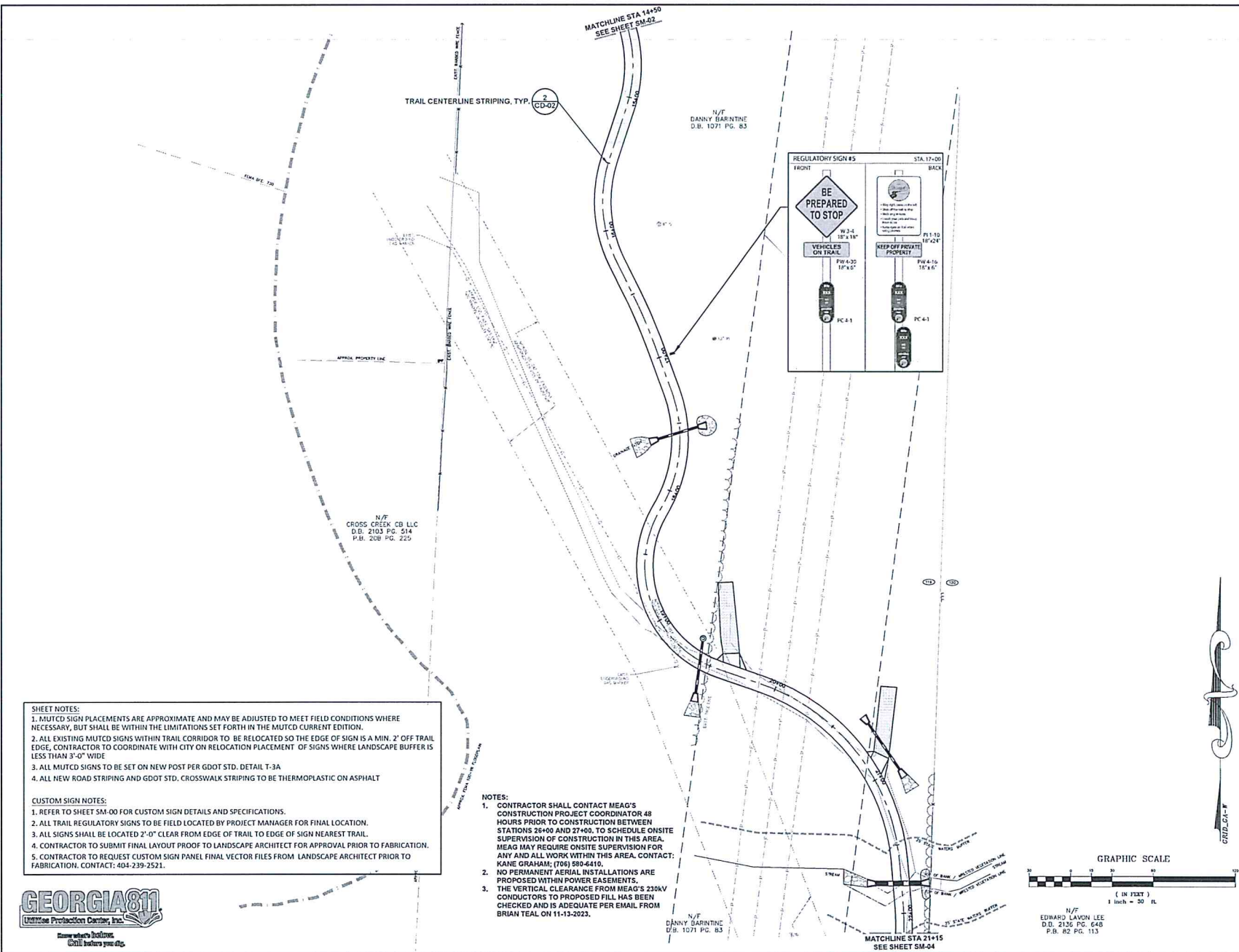
JOB NUMBER 220523  
 PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**



**SIGNING AND MARKING PLAN**

SCALE	1" = 30'
DATE	10-25-2023
SHEET #	<b>SM-03</b>

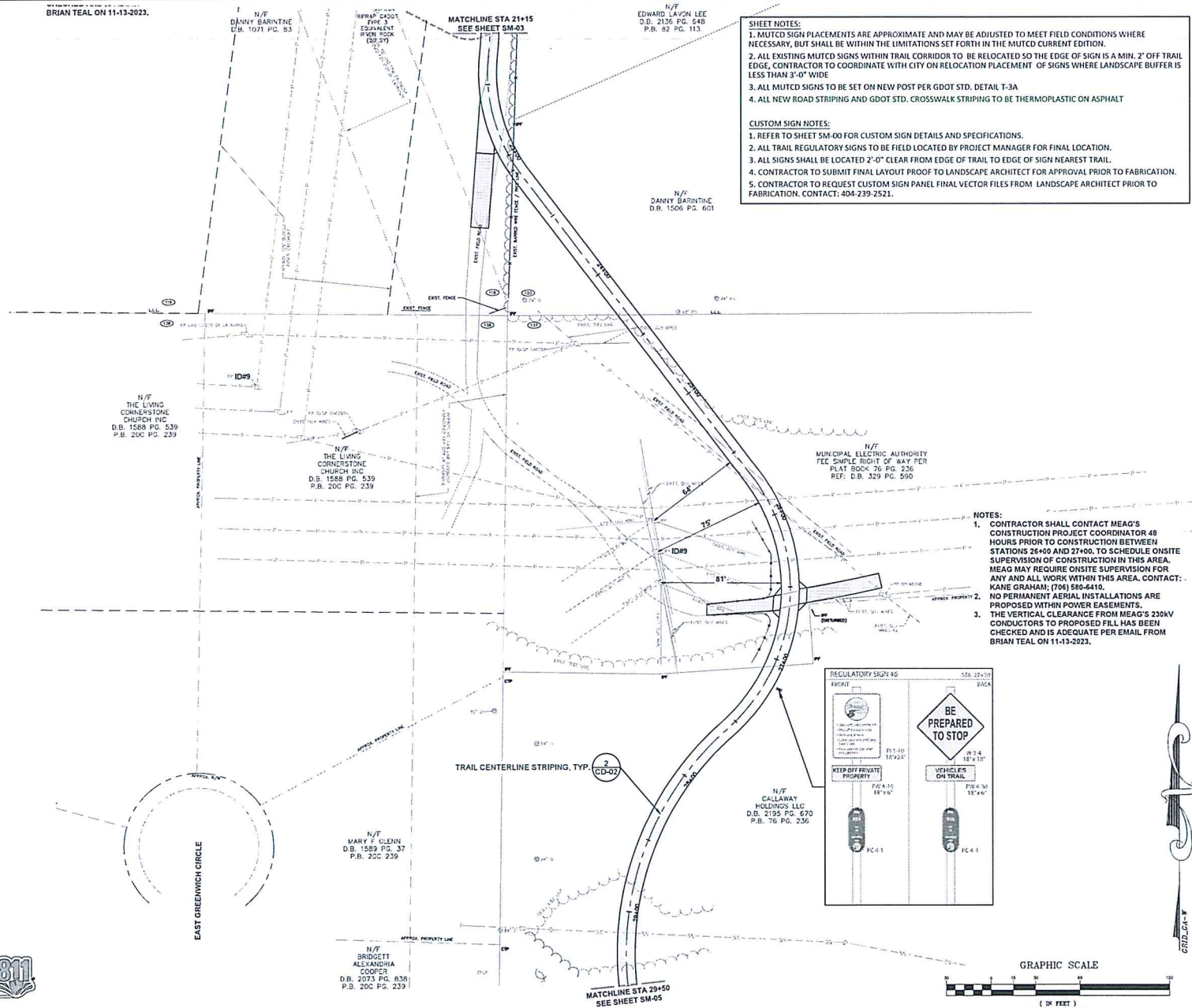


- SHEET NOTES:**
- MUTCD SIGN PLACEMENTS ARE APPROXIMATE AND MAY BE ADJUSTED TO MEET FIELD CONDITIONS WHERE NECESSARY, BUT SHALL BE WITHIN THE LIMITATIONS SET FORTH IN THE MUTCD CURRENT EDITION.
  - ALL EXISTING MUTCD SIGNS WITHIN TRAIL CORRIDOR TO BE RELOCATED SO THE EDGE OF SIGN IS A MIN. 2' OFF TRAIL EDGE, CONTRACTOR TO COORDINATE WITH CITY ON RELOCATION PLACEMENT OF SIGNS WHERE LANDSCAPE BUFFER IS LESS THAN 3'-0" WIDE
  - ALL MUTCD SIGNS TO BE SET ON NEW POST PER GDOT STD. DETAIL T-3A
  - ALL NEW ROAD STRIPING AND GDOT STD. CROSSWALK STRIPING TO BE THERMOPLASTIC ON ASPHALT
- CUSTOM SIGN NOTES:**
- REFER TO SHEET SM-00 FOR CUSTOM SIGN DETAILS AND SPECIFICATIONS.
  - ALL TRAIL REGULATORY SIGNS TO BE FIELD LOCATED BY PROJECT MANAGER FOR FINAL LOCATION.
  - ALL SIGNS SHALL BE LOCATED 2'-0" CLEAR FROM EDGE OF TRAIL TO EDGE OF SIGN NEAREST TRAIL.
  - CONTRACTOR TO SUBMIT FINAL LAYOUT PROOF TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
  - CONTRACTOR TO REQUEST CUSTOM SIGN PANEL FINAL VECTOR FILES FROM LANDSCAPE ARCHITECT PRIOR TO FABRICATION. CONTACT: 404-239-2521.

- NOTES:**
- CONTRACTOR SHALL CONTACT MEAG'S CONSTRUCTION PROJECT COORDINATOR 48 HOURS PRIOR TO CONSTRUCTION BETWEEN STATIONS 26+00 AND 27+00. TO SCHEDULE ONSITE SUPERVISION OF CONSTRUCTION IN THIS AREA. MEAG MAY REQUIRE ONSITE SUPERVISION FOR ANY AND ALL WORK WITHIN THIS AREA. CONTACT: KANE GRAHAM; (706) 589-4410.
  - NO PERMANENT AERIAL INSTALLATIONS ARE PROPOSED WITHIN POWER EASEMENTS.
  - THE VERTICAL CLEARANCE FROM MEAG'S 230kV CONDUCTORS TO PROPOSED FILL HAS BEEN CHECKED AND IS ADEQUATE PER EMAIL FROM BRIAN TEAL ON 11-13-2023.



BRIAN TEAL ON 11-13-2023.

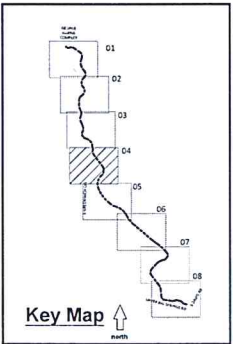


- SHEET NOTES:**
- MUTCD SIGN PLACEMENTS ARE APPROXIMATE AND MAY BE ADJUSTED TO MEET FIELD CONDITIONS WHERE NECESSARY, BUT SHALL BE WITHIN THE LIMITATIONS SET FORTH IN THE MUTCD CURRENT EDITION.
  - ALL EXISTING MUTCD SIGNS WITHIN TRAIL CORRIDOR TO BE RELOCATED SO THE EDGE OF SIGN IS A MIN. 2' OFF TRAIL EDGE, CONTRACTOR TO COORDINATE WITH CITY ON RELOCATION PLACEMENT OF SIGNS WHERE LANDSCAPE BUFFER IS LESS THAN 3'-0" WIDE
  - ALL MUTCD SIGNS TO BE SET ON NEW POST PER GDOT STD. DETAIL T-3A
  - ALL NEW ROAD STRIPING AND GDOT STD. CROSSWALK STRIPING TO BE THERMOPLASTIC ON ASPHALT
- CUSTOM SIGN NOTES:**
- REFER TO SHEET SM-00 FOR CUSTOM SIGN DETAILS AND SPECIFICATIONS.
  - ALL TRAIL REGULATORY SIGNS TO BE FIELD LOCATED BY PROJECT MANAGER FOR FINAL LOCATION.
  - ALL SIGNS SHALL BE LOCATED 2'-0" CLEAR FROM EDGE OF TRAIL TO EDGE OF SIGN NEAREST TRAIL.
  - CONTRACTOR TO SUBMIT FINAL LAYOUT PROOF TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
  - CONTRACTOR TO REQUEST CUSTOM SIGN PANEL FINAL VECTOR FILES FROM LANDSCAPE ARCHITECT PRIOR TO FABRICATION, CONTACT: 404-239-2521.

- NOTES:**
- CONTRACTOR SHALL CONTACT MEAG'S CONSTRUCTION PROJECT COORDINATOR 48 HOURS PRIOR TO CONSTRUCTION BETWEEN STATIONS 26+00 AND 27+00. TO SCHEDULE ONSITE SUPERVISION OF CONSTRUCTION IN THIS AREA. MEAG MAY REQUIRE ONSITE SUPERVISION FOR ANY AND ALL WORK WITHIN THIS AREA. CONTACT: KANE GRAHAM, (704) 500-4410. NO PERMANENT AERIAL INSTALLATIONS ARE PROPOSED WITHIN POWER EASEMENTS.
  - THE VERTICAL CLEARANCE FROM MEAG'S 230KV CONDUCTORS TO PROPOSED FILL HAS BEEN CHECKED AND IS ADEQUATE PER EMAIL FROM BRIAN TEAL ON 11-13-2023.

**GW GEORGIA & WEST, INC.**  
 ENGINEERING • LAND SURVEYING • LAND PLANNING  
 100 CORPORATE DRIVE  
 CAROLTON, GA 30137  
 OFFICE: (770) 848-0404  
 FAX: (770) 848-1005  
 Email: info@georgiawest.com

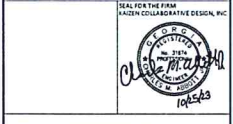
**KAIZEN COLLABORATIVE**  
 2300 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/28/2024	REV. PERMEABLE PAVEMENTS

JOB NUMBER 220523  
 PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10  
 GEORGE HARRIS COMPLEX TO  
 SOUTH DAVIS RD  
 LaGRANGE, GA**



**SIGNING AND MARKING PLAN**

SCALE	1" = 30'
DATE	10-25-2023
SHEET #	<b>SM-04</b>



N/F  
BRIDGEM  
ALEXANDRIA  
COOPER  
D.B. 2013 PG. 838  
P.B. 200 PG. 239

N/F  
CAMERON SIDRICK  
D & TAYLOR K.  
D.B. 1260 PG. 95  
P.B. 200 PG. 239

N/F  
CALLAWAY HOLDINGS LLC  
D.B. 2013 PG. 665  
P.B. 70 PG. 230

N/F  
DIVERSE POWER INC  
P.B. 65 PG. 65

MATCHLINE STA 29+50  
SEE SHEET SM-04

MATCHLINE STA 37+50  
SEE SHEET SM-06

TRAIL CENTERLINE STRIPING, TYP. 2  
CD-02

LINE CHANNEL W/GDOT TYPE 3 EQUIVALENT RIVER ROCK & FILTER FABRIC  
MIN. 1' CLEAR FROM TOP OF ROCK TO BOTTOM STRUCTURAL SLAB  
EXCAVATE AREA FOR ROCK INSTALLATION 50' TOP OF ROCK IS GENERALLY  
FLUSH WITH SURROUNDING GRADE & TO LIMIT HEIGHT OF STRUCTURAL SLAB  
(25.5')

APPROX. METRAGES PER  
METLAND FLAGGING  
SURVEYED IN FIELD  
(FLAGGING BY OTHERS)

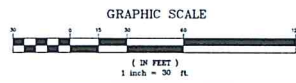
APPROX. METRAGES PER  
METLAND FLAGGING  
SURVEYED IN FIELD  
(FLAGGING BY OTHERS)

**SHEET NOTES:**

- MUTCD SIGN PLACEMENTS ARE APPROXIMATE AND MAY BE ADJUSTED TO MEET FIELD CONDITIONS WHERE NECESSARY, BUT SHALL BE WITHIN THE LIMITATIONS SET FORTH IN THE MUTCD CURRENT EDITION.
- ALL EXISTING MUTCD SIGNS WITHIN TRAIL CORRIDOR TO BE RELOCATED SO THE EDGE OF SIGN IS A MIN. 2' OFF TRAIL EDGE. CONTRACTOR TO COORDINATE WITH CITY ON RELOCATION PLACEMENT OF SIGNS WHERE LANDSCAPE BUFFER IS LESS THAN 3'-0" WIDE
- ALL MUTCD SIGNS TO BE SET ON NEW POST PER GDOT STD. DETAIL T-3A
- ALL NEW ROAD STRIPING AND GDOT STD. CROSSWALK STRIPING TO BE THERMOPLASTIC ON ASPHALT

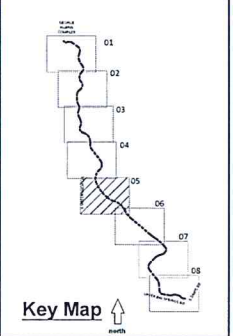
**CUSTOM SIGN NOTES:**

- REFER TO SHEET SM-00 FOR CUSTOM SIGN DETAILS AND SPECIFICATIONS.
- ALL TRAIL REGULATORY SIGNS TO BE FIELD LOCATED BY PROJECT MANAGER FOR FINAL LOCATION.
- ALL SIGNS SHALL BE LOCATED 2'-0" CLEAR FROM EDGE OF TRAIL TO EDGE OF SIGN NEAREST TRAIL.
- CONTRACTOR TO SUBMIT FINAL LAYOUT PROOF TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- CONTRACTOR TO REQUEST CUSTOM SIGN PANEL FINAL VECTOR FILES FROM LANDSCAPE ARCHITECT PRIOR TO FABRICATION. CONTACT: 404-239-2521.



**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
100 CORPORATE DRIVE  
CAROLTON, GA 30115  
OFFICE (770) 834-4834  
FAX (770) 834-1095  
Email: info@georgiawest.com

**KAIZEN COLLABORATIVE**  
2350 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW/REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**



**SIGNING AND MARKING PLAN**

SCALE 1" = 30'  
DATE 10-25-2023

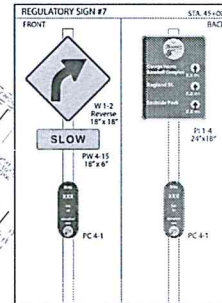
SHEET # **SM-05**

MATCHLINE STA 31+50  
SEE SHEET SM-05

LIVE CHANNEL W/200T TYPE 3 EQUIVALENT RIVER ROCK & FILTER FABRIC  
MIN. 7' CLEAR FROM TOP OF ROCK TO BOTTOM STRUCTURAL SLAB  
EXCAVATE AREA FOR ROCK INSTALLATION 30" TOP OF ROCK IS GENERALLY  
FLUSH WITH SUBGRADING GRADE & TO LIFT HEIGHT OF STRUCTURAL SLAB  
(25' 0")

TRAIL CENTERLINE STRIPING, TYP. 2 CD-03

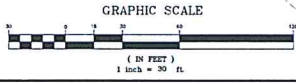
PAINTED CROSSWALK STRIPING,  
HATCHED, WHITE,  
BY CALLAWAY HOLDINGS, LLC (N.I.C.)



N/F  
DIVERSE POWER INC  
P.B. 65 PG. 65

N/F  
CALLAWAY HOLDINGS, LLC  
D.B. 2013 PG. 665  
P.B. 76 PG. 236

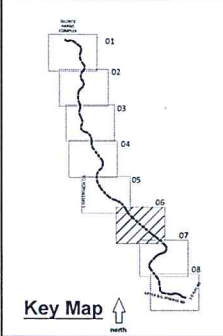
- SHEET NOTES:**
- MUTCD SIGN PLACEMENTS ARE APPROXIMATE AND MAY BE ADJUSTED TO MEET FIELD CONDITIONS WHERE NECESSARY, BUT SHALL BE WITHIN THE LIMITATIONS SET FORTH IN THE MUTCD CURRENT EDITION.
  - ALL EXISTING MUTCD SIGNS WITHIN TRAIL CORRIDOR TO BE RELOCATED SO THE EDGE OF SIGN IS A MIN. 2' OFF TRAIL EDGE, CONTRACTOR TO COORDINATE WITH CITY ON RELOCATION PLACEMENT OF SIGNS WHERE LANDSCAPE BUFFER IS LESS THAN 3'-0" WIDE
  - ALL MUTCD SIGNS TO BE SET ON NEW POST PER GDOT STD. DETAIL T-3A
  - ALL NEW ROAD STRIPING AND GDOT STD. CROSSWALK STRIPING TO BE THERMOPLASTIC ON ASPHALT
- CUSTOM SIGN NOTES:**
- REFER TO SHEET SM-09 FOR CUSTOM SIGN DETAILS AND SPECIFICATIONS.
  - ALL TRAIL REGULATORY SIGNS TO BE FIELD LOCATED BY PROJECT MANAGER FOR FINAL LOCATION.
  - ALL SIGNS SHALL BE LOCATED 2'-0" CLEAR FROM EDGE OF TRAIL TO EDGE OF SIGN NEAREST TRAIL.
  - CONTRACTOR TO SUBMIT FINAL LAYOUT PROOF TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
  - CONTRACTOR TO REQUEST CUSTOM SIGN PANEL FINAL VECTOR FILES FROM LANDSCAPE ARCHITECT PRIOR TO FABRICATION, CONTACT: 404-239-2521.



MATCHLINE STA 46+50  
SEE SHEET SM-07

**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
150 CORPORATE DRIVE  
CARROLLTON, GA 30117  
E-MAIL: info@georgiawest.com

**KAIZEN COLLABORATIVE**  
2350 IVAN STREET | TUCKER, GEORGIA, 30084 | 404-239-2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/16/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGRANGE, GA**



**SIGNING AND MARKING PLAN**

SCALE 1" = 30'  
DATE 10-25-2023

SHEET # **SM-06**



N/F  
CALLAWAY HOLDINGS LLC  
D.B. 2013 PG. 565  
P.B. 76 PG. 236

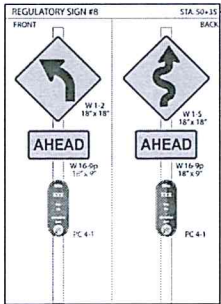
**SHEET NOTES:**

- MUTCD SIGN PLACEMENTS ARE APPROXIMATE AND MAY BE ADJUSTED TO MEET FIELD CONDITIONS WHERE NECESSARY, BUT SHALL BE WITHIN THE LIMITATIONS SET FORTH IN THE MUTCD CURRENT EDITION.
- ALL EXISTING MUTCD SIGNS WITHIN TRAIL CORRIDOR TO BE RELOCATED SO THE EDGE OF SIGN IS A MIN. 2' OFF TRAIL EDGE. CONTRACTOR TO COORDINATE WITH CITY ON RELOCATION PLACEMENT OF SIGNS WHERE LANDSCAPE BUFFER IS LESS THAN 3'-0" WIDE.
- ALL MUTCD SIGNS TO BE SET ON NEW POST PER GDOT STD. DETAIL T-3A
- ALL NEW ROAD STRIPING AND GDOT STD. CROSSWALK STRIPING TO BE THERMOPLASTIC ON ASPHALT

**CUSTOM SIGN NOTES:**

- REFER TO SHEET SM-00 FOR CUSTOM SIGN DETAILS AND SPECIFICATIONS.
- ALL TRAIL REGULATORY SIGNS TO BE FIELD LOCATED BY PROJECT MANAGER FOR FINAL LOCATION.
- ALL SIGNS SHALL BE LOCATED 2'-0" CLEAR FROM EDGE OF TRAIL TO EDGE OF SIGN NEAREST TRAIL.
- CONTRACTOR TO SUBMIT FINAL LAYOUT PROOF TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- CONTRACTOR TO REQUEST CUSTOM SIGN PANEL FINAL VECTOR FILES FROM LANDSCAPE ARCHITECT PRIOR TO FABRICATION, CONTACT: 404-239-2521.

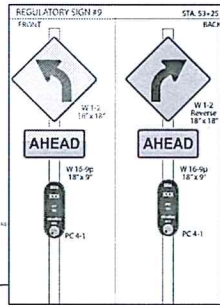
N/F  
DIVERSE POWER INC  
D.B. 1005 PG. 854  
P.B. 55 PG. 05



TRAIL CENTERLINE STRIPING, TYP. (2 CD-02)

20' W/S  
PIPRAP GADOT  
TRIP'S  
EQUIVALENT  
RIVER FLOOR  
(10.5')

N/F  
MEIK LICHTY LLC  
D.B. 1742 PG. 508

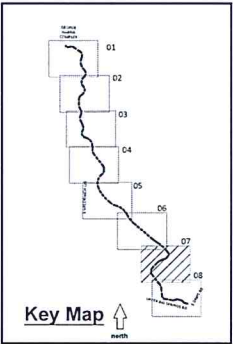


N/F  
TROUP CO FARM  
BUREAU INC  
D.B. 1025 PG. 854

MATCHLINE STA 54+50  
SEE SHEET SM-08

**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
105 CORPORATE DRIVE  
CARTERSVILLE, GA 30117  
PHONE: 770.334.1005  
EMAIL: info@georgiawest.com

**KAIZEN COLLABORATIVE**  
2390 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISD
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

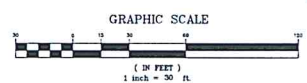
**LaGRANGE THREAD PHASE 10  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGRANGE, GA**



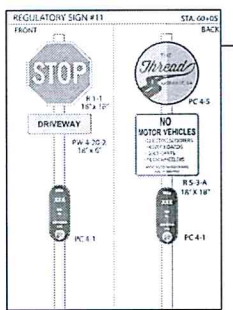
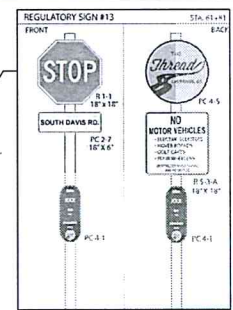
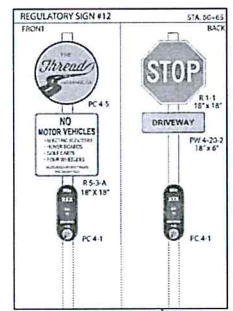
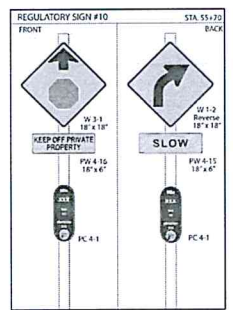
**SIGNING AND MARKING PLAN**

SCALE 1" = 30'  
DATE 10-25-2023

SHEET # **SM-07**



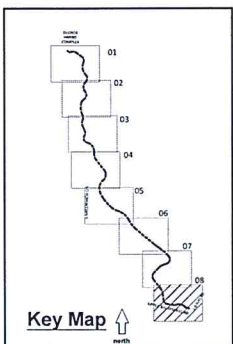
MATCHLINE STA. 54+50  
SEE SHEET SM07



- SHEET NOTES:**
- MUTCD SIGN PLACEMENTS ARE APPROXIMATE AND MAY BE ADJUSTED TO MEET FIELD CONDITIONS WHERE NECESSARY, BUT SHALL BE WITHIN THE LIMITATIONS SET FORTH IN THE MUTCD CURRENT EDITION.
  - ALL EXISTING MUTCD SIGNS WITHIN TRAIL CORRIDOR TO BE RELOCATED SO THE EDGE OF SIGN IS A MIN. 2' OFF TRAIL EDGE. CONTRACTOR TO COORDINATE WITH CITY ON RELOCATION PLACEMENT OF SIGNS WHERE LANDSCAPE BUFFER IS LESS THAN 3'-0" WIDE
  - ALL MUTCD SIGNS TO BE SET ON NEW POST PER GDOT STD. DETAIL T-3A
  - ALL NEW ROAD STRIPING AND GDOT STD. CROSSWALK STRIPING TO BE THERMOPLASTIC ON ASPHALT
- CUSTOM SIGN NOTES:**
- REFER TO SHEET SM-00 FOR CUSTOM SIGN DETAILS AND SPECIFICATIONS.
  - ALL TRAIL REGULATORY SIGNS TO BE FIELD LOCATED BY PROJECT MANAGER FOR FINAL LOCATION.
  - ALL SIGNS SHALL BE LOCATED 2'-0" CLEAR FROM EDGE OF TRAIL TO EDGE OF SIGN NEAREST TRAIL.
  - CONTRACTOR TO SUBMIT FINAL LAYOUT PROOF TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
  - CONTRACTOR TO REQUEST CUSTOM SIGN PANEL FINAL VECTOR FILES FROM LANDSCAPE ARCHITECT PRIOR TO FABRICATION. CONTACT: 404-239-2521.

**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
105 CORPORATE BLVD.  
CANTONVILLE, GA 30117  
OFFICE: (770) 344-0404  
FAX: (770) 344-1003  
E-MAIL: mlab@georgiawest.com

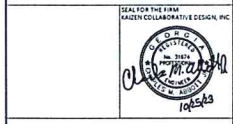
**KAIZEN COLLABORATIVE**  
2390 MAIN STREET | TUCKER, GEORGIA 30084 | 404-239-2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

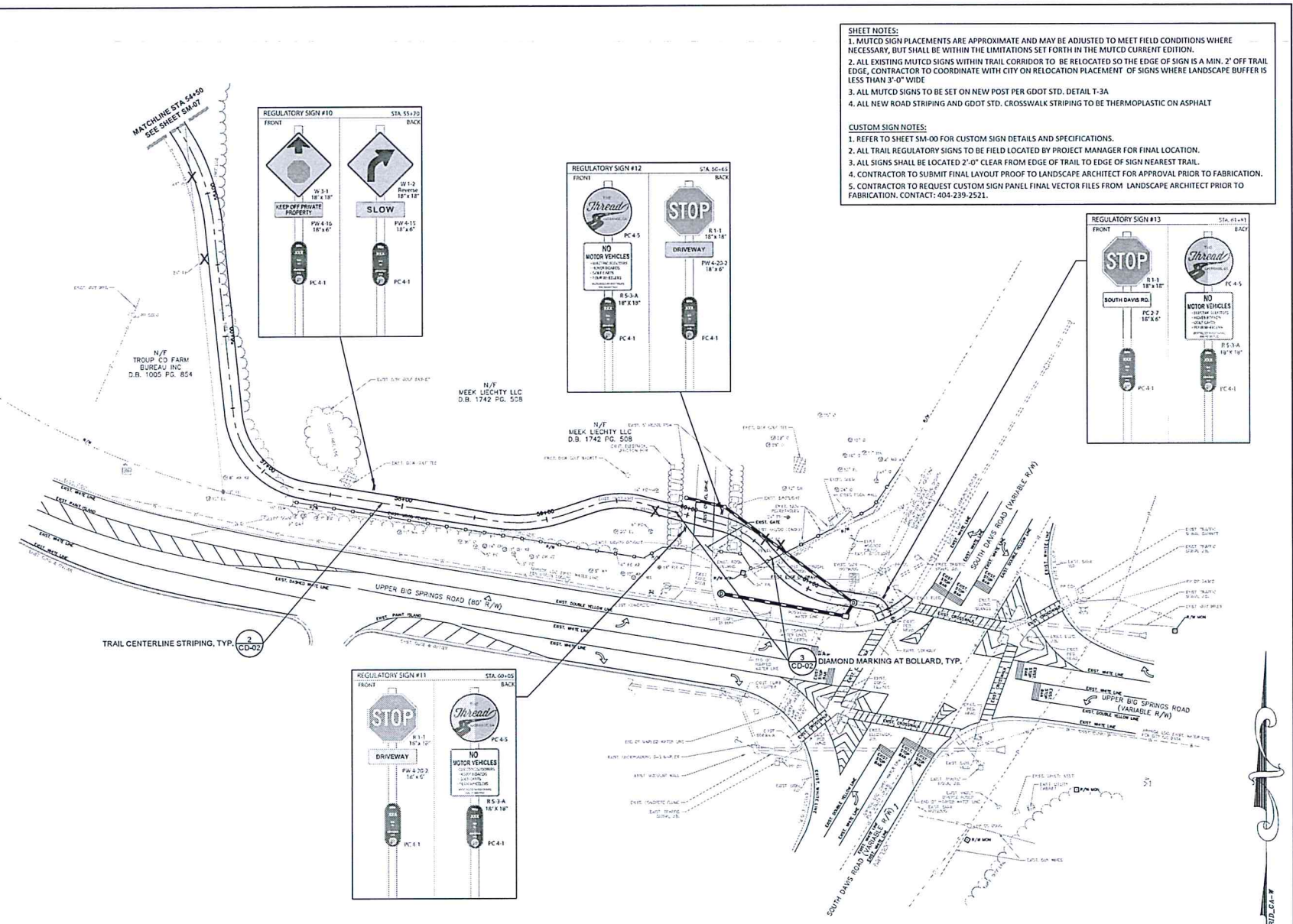
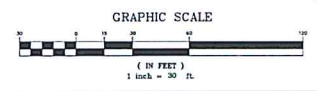
**LaGRANGE THREAD PHASE 10**  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGRANGE, GA

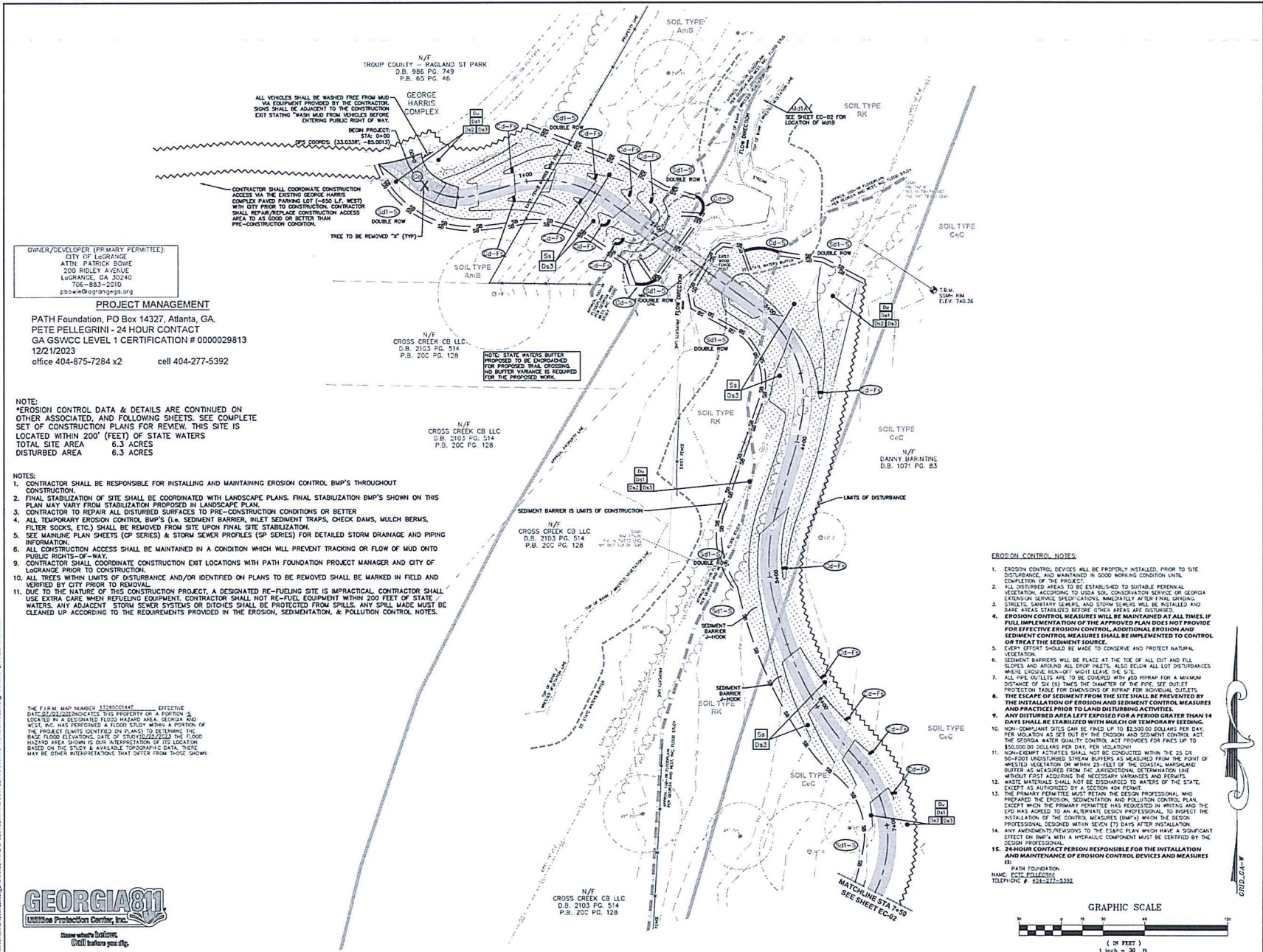


**SIGNING AND MARKING PLAN**

SCALE 1" = 30'  
DATE 10-25-2023

SHEET # **SM-08**





OWNER/DEVELOPER (PRIMARY PERMITTEE):  
 CITY OF LOGRANGE  
 ATTN: PATRICK BOWE  
 200 RIDLEY AVENUE  
 LOGRANGE, GA 30240  
 706-853-2010  
 pbowe@cityoflogrange.org

**PROJECT MANAGEMENT**  
 PATH Foundation, PO Box 14327, Atlanta, GA.  
 PETE PELLEGRINI - 24 HOUR CONTACT  
 GA GSWCC LEVEL 1 CERTIFICATION # 0000029813  
 12/21/2023  
 office 404-875-7284 x2 cell 404-277-5392

**NOTE:**  
 \*EROSION CONTROL DATA & DETAILS ARE CONTINUED ON OTHER ASSOCIATED, AND FOLLOWING SHEETS. SEE COMPLETE SET OF CONSTRUCTION PLANS FOR REVIEW. THIS SITE IS LOCATED WITHIN 200' (FEET) OF STATE WATERS.  
 TOTAL SITE AREA 6.3 ACRES  
 DISTURBED AREA 6.3 ACRES

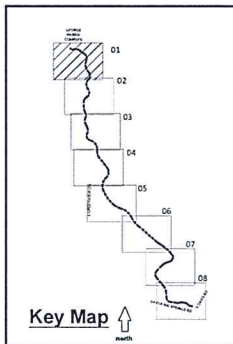
- NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION CONTROL BMP'S THROUGHOUT CONSTRUCTION.
  - FINAL STABILIZATION OF SITE SHALL BE COORDINATED WITH LANDSCAPE PLANS. FINAL STABILIZATION BMP'S SHOWN ON THIS PLAN MAY VARY FROM STABILIZATION PROPOSED IN LANDSCAPE PLAN.
  - CONTRACTOR TO REPAIR ALL DISTURBED SURFACES TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
  - ALL TEMPORARY EROSION CONTROL BMP'S (I.E. SEDIMENT BARRIER, INLET SEDIMENT TRAPS, CHECK DAMS, MULCH BERMS, FILTER SOCKS, ETC.) SHALL BE REMOVED FROM SITE UPON FINAL SITE STABILIZATION.
  - SEE MAINLINE PLAN SHEETS (CP SERIES) & STORM SEWER PROFILES (SP SERIES) FOR DETAILED STORM DRAINAGE AND PIPING INFORMATION.
  - CONSTRUCTION ACCESS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
  - CONTRACTOR SHALL COORDINATE CONSTRUCTION EXT LOCATIONS WITH PATH FOUNDATION PROJECT MANAGER AND CITY OF LOGRANGE PRIOR TO CONSTRUCTION.
  - ALL TREES WITHIN LIMITS OF DISTURBANCE AND/OR IDENTIFIED ON PLANS TO BE REMOVED SHALL BE MARKED IN FIELD AND NOTIFIED BY CITY PRIOR TO REMOVAL.
  - DUE TO THE NATURE OF THIS CONSTRUCTION PROJECT, A DESIGNATED RE-FUELING SITE IS IMPRACTICAL. CONTRACTOR SHALL USE EXTRA CARE WHEN REFUELING EQUIPMENT. CONTRACTOR SHALL NOT RE-FUEL EQUIPMENT WITHIN 200 FEET OF STATE WATERS. ANY ADJACENT STORM SEWER SYSTEMS OR DITCHES SHALL BE PROTECTED FROM SPILLS. ANY SPILL MADE MUST BE CLEANED UP ACCORDING TO THE REQUIREMENTS PROVIDED IN THE EROSION, SEDIMENTATION, & POLLUTION CONTROL NOTES.

THE FIRM MAP NUMBER 132652144E EFFECTIVE DATE 02/01/2020 INDICATES THIS PROPERTY OR A PORTION IS LOCATED IN A DESIGNATED FLOOD HAZARD AREA. GEORGIA 811 WEST, INC. HAS PERFORMED A FLOOD STUDY WITHIN A PORTION OF THE PROJECT LIMITS IDENTIFIED ON WHICH TO DETERMINE THE BASE FLOOD ELEVATION. DATE OF STUDY 10/22/2023. THE FLOOD HAZARD AREA SHOWN IS INTERPRETING THE DATA BASED ON THE STUDY & AVAILABLE TOPOGRAPHIC DATA. THERE MAY BE OTHER INTERPRETATIONS THAT DIFFER FROM THOSE SHOWN.



**GEORGIA & WEST, INC.**  
 ENGINEERING • LAND SURVEYING • LAND PLANNING  
 1000 W. BERRY STREET, SUITE 100  
 CAROLINA, GA 30117  
 PHONE: 404.239.2400  
 FAX: 404.239.2401  
 EMAIL: info@georgiawest.com

**KAIZEN COLLABORATIVE**  
 2300 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2421



DATE	DESCRIPTION
10/25/2023	100% ISSUE FOR PERMIT
01/28/2024	REV. PER EPC COM. (01-18-24)
04/29/2024	100% ISSUE FOR BID

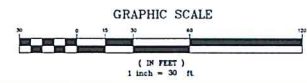
JOB NUMBER 220523  
 PROJECT MANAGER LMW

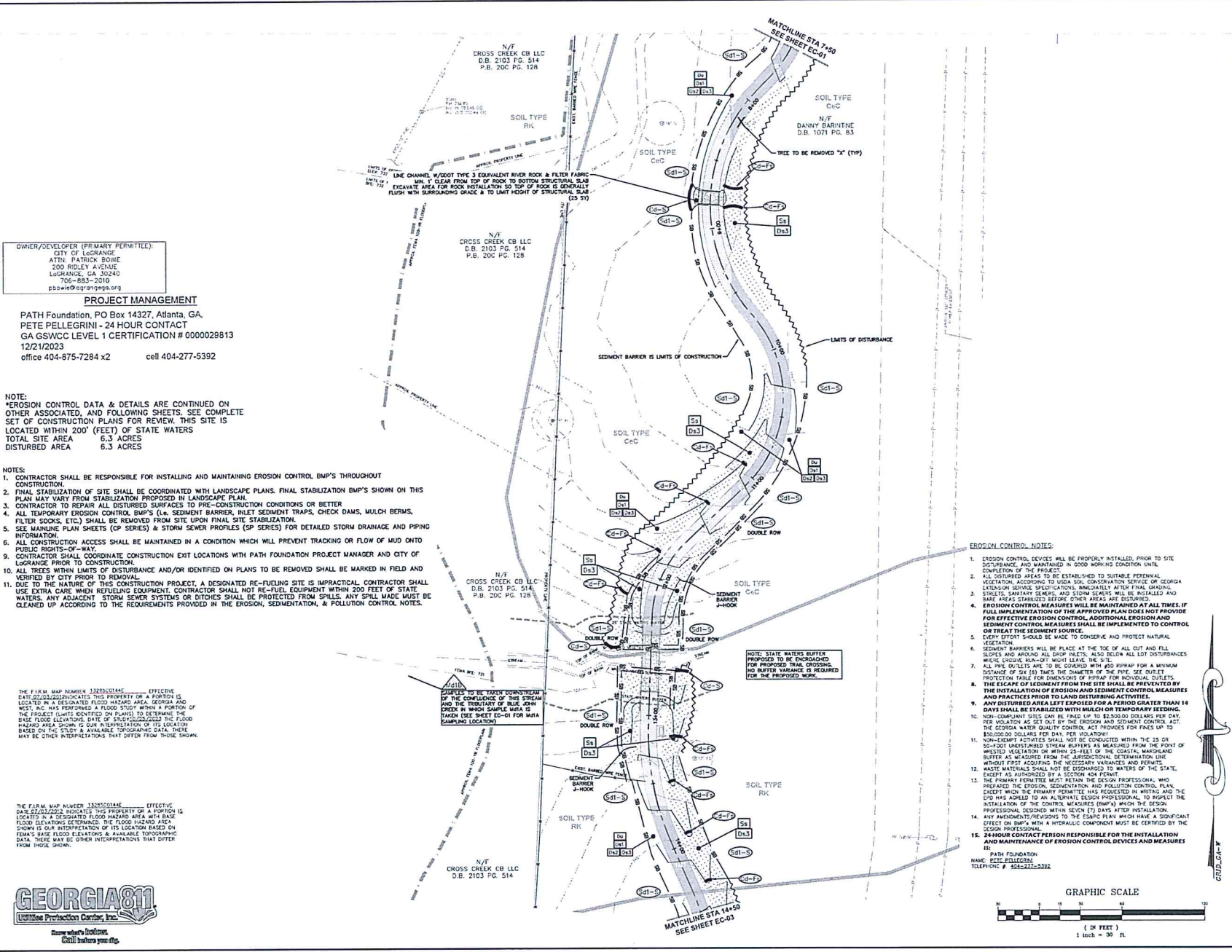
**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**

**EROSION CONTROL PLAN**

SCALE	1" = 30'
DATE	OCTOBER 25, 2023
SHEET #	EC-01

- EROSION CONTROL NOTES:**
- EROSION CONTROL DEVICES WILL BE PROPERLY INSTALLED, PRIOR TO SITE DISTURBANCE, AND MAINTAINED IN GOOD WORKING CONDITION UNTIL COMPLETION OF THE PROJECT.
  - ALL DISTURBED AREAS TO BE ESTABLISHED TO SUITABLE PERENNIAL VEGETATION, ACCORDING TO USDA SOIL CONSERVATION SERVICE OR GEORGIA EXTENSION SERVICE SPECIFICATIONS, IMMEDIATELY AFTER FINAL GRADING.
  - STREETS, SANITARY SEWERS, AND STORM SEWERS WILL BE INSTALLED AND BACK FILL AREAS STRIPED BEFORE OTHER AREAS ARE DISTURBED.
  - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
  - EVERY EFFORT SHOULD BE MADE TO CONSERVE AND PROTECT NATURAL VEGETATION.
  - SEDIMENT BARRIERS WILL BE PLACED AT THE TIE OF ALL CUT AND FILL SLOPES AND AROUND ALL DROP INLETS, ALSO BELOW ALL LOT DISTURBANCES WHERE SIGNIFICANT RUN-OFF WILL LEAVE THE SITE.
  - ALL PIPE OUTLETS ARE TO BE COVERED WITH #20 RIPRAP FOR A MINIMUM DISTANCE OF 5X 100 TIMES THE DIAMETER OF THE PIPE. SEE OUTLET PROTECTION TABLE FOR DIMENSIONS OF RIPRAP FOR INDIVIDUAL OUTLETS.
  - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
  - ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
  - NON-COMPLIANT SITES CAN BE FINED UP TO \$2,500.00 DOLLARS PER DAY PER VIOLATION AS SET OUT BY THE EROSION AND SEDIMENT CONTROL ACT. THE GEORGIA WATER QUALITY CONTROL ACT PROVIDES FOR FINES UP TO \$500.00 DOLLARS PER DAY, PER VIOLATION!
  - NON-COMPLIANT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF IMPACTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL WETLANDS BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
  - WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A PERMIT FROM THE EPA.
  - THE PRIMARY PERMITEE MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, EXCEPT WHEN THE PRIMARY PERMITEE HAS REQUESTED IN WRITING AND THE LPO HAS AGREED TO AN ALTERNATE DESIGN PROFESSIONAL, TO SUPERVISE THE INSTALLATION OF THE CONTROL MEASURES (BMP'S) WHICH THE DESIGN PROFESSIONAL DESIGNED WITHIN SEVEN (7) DAYS AFTER RELEASE.
  - ANY AMENDMENTS/REVISIONS TO THE ESRAP PLAN WHICH MAKE A SIGNIFICANT EFFECT ON BMP'S WITH A HIGHER COMPLIANCE MUST BE COVERED BY THE DESIGN PROFESSIONAL.
  - 24-HOUR CONTRACT PERSON RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL DEVICES AND MEASURES IS:
- PATH FOUNDATION  
 NAME: PETE PELLEGRINI  
 TELEPHONE: 404-277-5392





OWNER/DEVELOPER (PRIMARY PERMITTEE):  
 CITY OF LOGRANGE  
 ATTN: PATRICK BOHNE  
 200 RIDLEY AVENUE  
 LOGRANGE, GA 30240  
 706-853-2010  
 pbohne@lograngega.org

**PROJECT MANAGEMENT**  
 PATH Foundation, PO Box 14327, Atlanta, GA.  
 PETE PELLEGRINI - 24 HOUR CONTACT  
 GA GSWCC LEVEL 1 CERTIFICATION # 0000029813  
 12/21/2023  
 office 404-875-7284 x2 cell 404-277-5392

**NOTE:**  
 EROSION CONTROL DATA & DETAILS ARE CONTINUED ON OTHER ASSOCIATED, AND FOLLOWING SHEETS. SEE COMPLETE SET OF CONSTRUCTION PLANS FOR REVIEW. THIS SITE IS LOCATED WITHIN 200' (FEET) OF STATE WATERS.  
 TOTAL SITE AREA 6.3 ACRES  
 DISTURBED AREA 6.3 ACRES

- NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION CONTROL BMP'S THROUGHOUT CONSTRUCTION.
  - FINAL STABILIZATION OF SITE SHALL BE COORDINATED WITH LANDSCAPE PLANS. FINAL STABILIZATION BMP'S SHOWN ON THIS PLAN MAY VARY FROM STABILIZATION PROPOSED IN LANDSCAPE PLAN.
  - CONTRACTOR TO REPAIR ALL DISTURBED SURFACES TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
  - ALL TEMPORARY EROSION CONTROL BMP'S (i.e. SEDIMENT BARRIER, INLET SEDIMENT TRAPS, CHECK DAMS, MULCH BERMS, FILTER SOCKS, ETC.) SHALL BE REMOVED FROM SITE UPON FINAL SITE STABILIZATION.
  - SEE MAINLINE PLAN SHEETS (CP SERIES) & STORM SEWER PROFILES (SP SERIES) FOR DETAILED STORM DRAINAGE AND PIPING INFORMATION.
  - ALL CONSTRUCTION ACCESS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
  - CONTRACTOR SHALL COORDINATE CONSTRUCTION EXIT LOCATIONS WITH PATH FOUNDATION PROJECT MANAGER AND CITY OF LOGRANGE PRIOR TO CONSTRUCTION.
  - ALL TREES WITHIN LIMITS OF DISTURBANCE AND/OR IDENTIFIED ON PLANS TO BE REMOVED SHALL BE MARKED IN FIELD AND VERIFIED BY CITY PRIOR TO REMOVAL.
  - DUE TO THE NATURE OF THIS CONSTRUCTION PROJECT, A DESIGNATED RE-FUELING SITE IS IMPRACTICAL. CONTRACTOR SHALL USE EXTRA CARE WHEN REFUELING EQUIPMENT. CONTRACTOR SHALL NOT RE-FUEL EQUIPMENT WITHIN 200 FEET OF STATE WATERS. ANY ADJACENT STORM SEWER SYSTEMS OR DITCHES SHALL BE PROTECTED FROM SPILLS. ANY SPILL MADE MUST BE CLEANED UP ACCORDING TO THE REQUIREMENTS PROVIDED IN THE EROSION, SEDIMENTATION, & POLLUTION CONTROL NOTES.

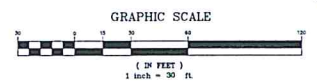
THE FIRM MAP NUMBER 1328502144E EFFECTIVE DATE 07/23/2022 INDICATES THIS PROPERTY OR A PORTION IS LOCATED IN A DESIGNATED FLOOD HAZARD AREA. GEORGIA AND WEST, P.C. HAS PERFORMED A FLOOD STUDY WITHIN A PORTION OF THE PROJECT (LIMITS IDENTIFIED ON PLANS) TO DETERMINE THE BASE FLOOD ELEVATIONS. DATE OF STUDY 05/25/2022. THE FLOOD HAZARD AREA SHOWN IS OUR INTERPRETATION OF THE LOCATION BASED ON THE STUDY & AVAILABLE TOPOGRAPHIC DATA. THERE MAY BE OTHER INTERPRETATIONS THAT DIFFER FROM THOSE SHOWN.

THE FIRM MAP NUMBER 1328502144E EFFECTIVE DATE 07/23/2022 INDICATES THIS PROPERTY OR A PORTION IS LOCATED IN A DESIGNATED FLOOD HAZARD AREA. WITH BASE FLOOD ELEVATIONS DETERMINED, THE FLOOD HAZARD AREA SHOWN IS OUR INTERPRETATION OF ITS LOCATION BASED ON FEMA'S BASE FLOOD ELEVATIONS & AVAILABLE TOPOGRAPHIC DATA. THERE MAY BE OTHER INTERPRETATIONS THAT DIFFER FROM THOSE SHOWN.



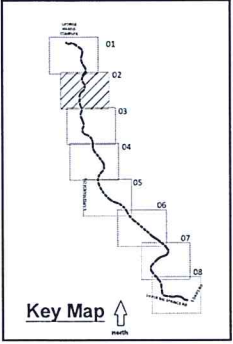
- EROSION CONTROL NOTES:**
- EROSION CONTROL DEVICES WILL BE PROPERLY INSTALLED, PRIOR TO SITE DISTURBANCE, AND MAINTAINED IN GOOD WORKING CONDITION UNTIL COMPLETION OF THE PROJECT.
  - ALL DISTURBED AREAS TO BE ESTABLISHED TO SUSTAIN PERMANENT VEGETATION, ACCORDING TO USDA SOIL CONSERVATION SERVICE OF GEORGIA EXTENSION SERVICE SPECIFICATIONS. IMMEDIATELY AFTER FINAL GRADING, STRIPES, SANITARY SEEPS, AND STORM SEWERS WILL BE INSTALLED AND SAFE AREAS STABILIZED BEFORE OTHER AREAS ARE DISTURBED.
  - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
  - EVERY EFFORT SHOULD BE MADE TO CONSERVE AND PROTECT NATURAL VEGETATION.
  - SEDIMENT BARRIERS WILL BE PLACED AT THE TOE OF ALL CUT AND FILL SLOPES AND AROUND ALL SHIP PILES. ALSO BEHIND ALL LOT DISTURBANCES WHERE EXPOSED. SIGN-OFF MUST LEAVE THE SITE.
  - ALL PIPE OUTLETS ARE TO BE COVERED WITH #60 RIPRAP FOR A MINIMUM DISTANCE OF SIX (6) TIMES THE DIAMETER OF THE PIPE. SEE OUTLET PROTECTION TABLE FOR DIMENSIONS OF RIPRAP FOR INDIVIDUAL OUTLETS.
  - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
  - ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
  - NON-COMPLIANT SITES CAN BE FINED UP TO \$2,500.00 DOLLARS PER DAY PER VIOLATION AS SET OUT BY THE EROSION AND SEDIMENT CONTROL ACT. THE GEORGIA WATER QUALITY CONTROL ACT PROVIDES FOR FINES UP TO \$50,000.00 DOLLARS PER DAY PER VIOLATION!
  - NON-COMPLIANT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 30-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF VIEW OF VEGETATION WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE (WHICH FIRST ACCURATELY THE NECESSARY VARIANCES AND PERMITS).
  - WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE. EXCEPT AS AUTHORIZED BY A SECTION 401 PERMIT.
  - THE PRIMARY PERMITEE MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, EXCEPT WHEN THE PRIMARY PERMITEE HAS REQUESTED IN WRITING AND THE DPO HAS AGREED TO AN ALTERNATE DESIGN PROFESSIONAL, TO PERFECT THE INSTALLATION OF THE CONTROL MEASURES (BMP'S) WHICH THE DESIGN PROFESSIONAL DESIGNED WITHIN SEVEN (7) DAYS AFTER INSTALLATION.
  - ANY AMENDMENTS/REVISIONS TO THE DESIGN PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH AN HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
  - 24-HOUR CONTACT PERSON RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL DEVICES AND MEASURES IS:

PATH FOUNDATION  
 NAME: PETE PELLEGRINI  
 TELEPHONE #: 404-277-5392



**GW GEORGIA & WEST, INC.**  
 ENGINEERING • LAND SURVEYING • LAND PLANNING  
 105 CORPORATE BLVD  
 CARROLLTON, GA 30117  
 Email: marketing@georgiawest.com

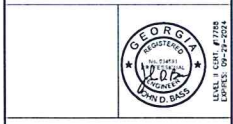
**KAIZEN COLLABORATIVE**  
 2300 MAIN STREET | TUCKER, GEORGIA 30084 | 404.230.2521



DATE	DESCRIPTION
10/25/2023	100% ISSUE FOR PERMIT
01/26/2024	REV. PER EPD COM. (01-18-24)
04/29/2024	100% ISSUE FOR BID

JOB NUMBER 220523  
 PROJECT MANAGER LMW

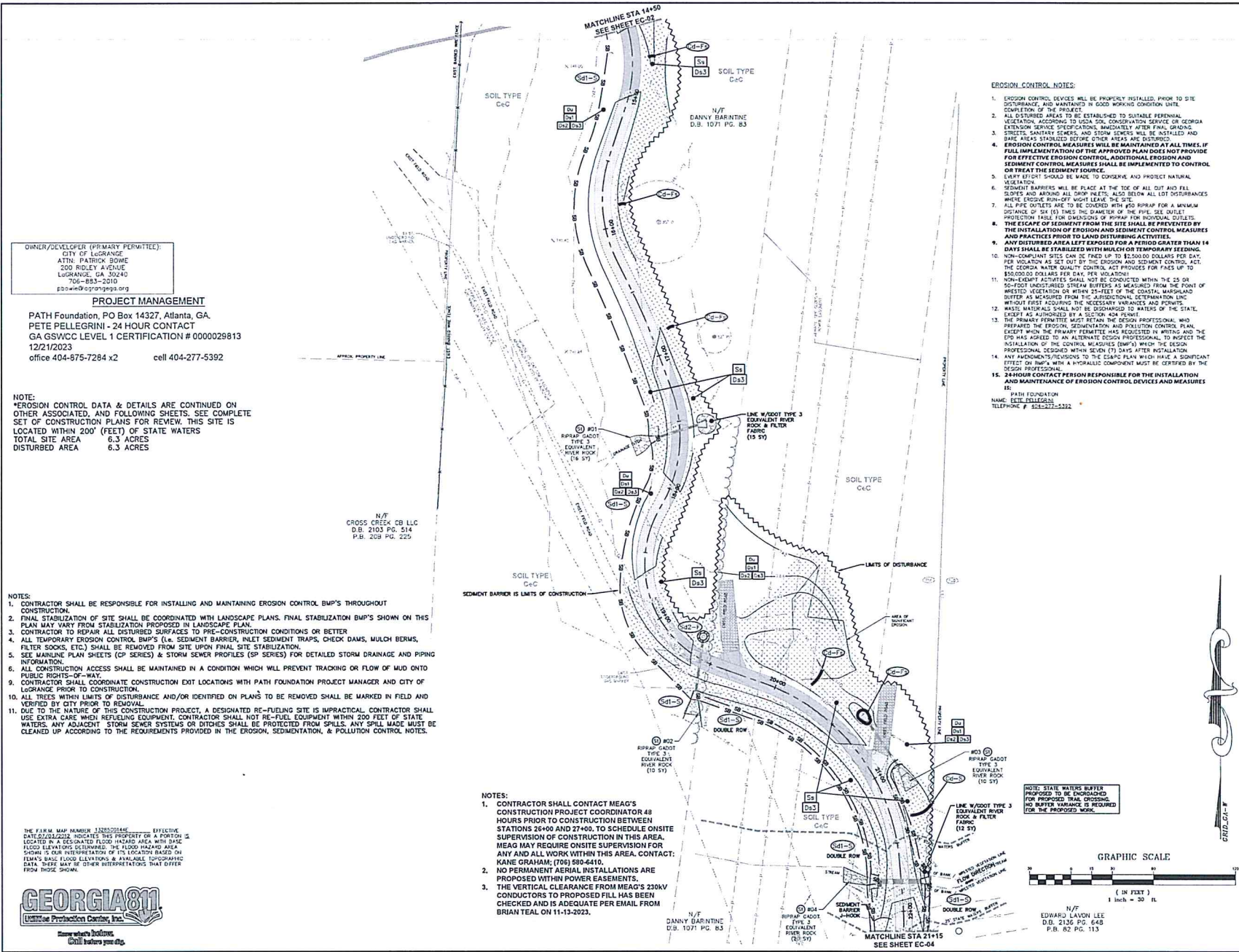
**LaGrange Thread Phase 10  
 GEORGE HARRIS COMPLEX TO  
 SOUTH DAVIS RD  
 LaGrange, GA**



**EROSION CONTROL PLAN**

SCALE 1" = 30'  
 DATE OCTOBER 25, 2023

SHEET # **EC-02**



- EROSION CONTROL NOTES:**
- EROSION CONTROL DEVICES WILL BE PROPERLY INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING CONDITION UNTIL COMPLETION OF THE PROJECT.
  - ALL DISTURBED AREAS TO BE ESTABLISHED TO SUITABLE PERENNIAL VEGETATION ACCORDING TO USDA SOIL CONSERVATION SERVICE OR GEORGIA EXTENSION SERVICE SPECIFICATIONS IMMEDIATELY AFTER FINAL GRADING.
  - STREETS, SANITARY SEWERS, AND STORM SEWERS WILL BE INSTALLED AND BARE AREAS STABILIZED BEFORE OTHER AREAS ARE DISTURBED.
  - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
  - EVERY EFFORT SHOULD BE MADE TO CONSERVE AND PROTECT NATURAL VEGETATION.
  - SEDIMENT BARRIERS WILL BE PLACED AT THE TOE OF ALL CUT AND FILL SLOPES AND AROUND ALL DRAIN INLETS, ALSO BELOW ALL LOT DISTURBANCES WHERE EROSION RUN-OFF MIGHT LEAK THE SITE.
  - ALL PIPE OUTLETS ARE TO BE COVERED WITH #60 RIPRAP FOR A MINIMUM DISTANCE OF SIX (6) TIMES THE DIAMETER OF THE PIPE. SEE OUTLET PROTECTION TABLE FOR DIMENSIONS OF RIPRAP FOR ROUND, SQUARE, AND RECTANGULAR OUTLETS.
  - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
  - ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
  - NON-COMPLIANT SITES CAN BE FINED UP TO \$2,500.00 DOLLARS PER DAY PER VIOLATION AS SET OUT BY THE EROSION AND SEDIMENT CONTROL ACT, THE GEORGIA WATER QUALITY CONTROL ACT PROVIDES FOR FINES UP TO \$50,000.00 DOLLARS PER DAY PER VIOLATION.
  - NON-EROSION ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 50 OR 100-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF INSTALLED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MANGROVE BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY PERMITS AND PERMITS INSTALLATION OF THE CONTROL MEASURES (BMP'S) WHICH THE DESIGN PROFESSIONAL DESIGNED WITHIN SEVEN (7) DAYS AFTER INSTALLATION.
  - ANY AMENDMENTS/REVISIONS TO THE CLEAR PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
  - 24-HOUR CONTACT PERSON RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL DEVICES AND MEASURES IS:
    - NAME: EDWARD LAVON LEE
    - PHONE # 525-231-2322

OWNER/DEVELOPER (PRIMARY PERMITTEE):  
 CITY OF LOGRANGE  
 ATTN: PATRICK BOWE  
 200 RIDLEY AVENUE  
 LOGRANGE, GA 30240  
 706-883-2010  
 pbowe@cityoflogrange.org

**PROJECT MANAGEMENT**

PATH Foundation, PO Box 14327, Atlanta, GA  
 PIETE PELLEGRINI - 24 HOUR CONTACT  
 GA OSV/CV LEVEL 1 CERTIFICATION # 0000029813  
 12/21/2023  
 office 404-675-7284 x2 cell 404-277-5392

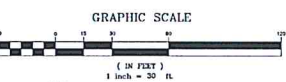
**NOTE:**  
 EROSION CONTROL DATA & DETAILS ARE CONTINUED ON OTHER ASSOCIATED, AND FOLLOWING SHEETS. SEE COMPLETE SET OF CONSTRUCTION PLANS FOR REVIEW. THIS SITE IS LOCATED WITHIN 200' (FEET) OF STATE WATERS.  
 TOTAL SITE AREA 6.3 ACRES  
 DISTURBED AREA 6.3 ACRES

N/F  
 CROSS GREX CB LLC  
 D.B. 2103 PG. 514  
 P.B. 209 PG. 225

- NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION CONTROL BMP'S THROUGHOUT CONSTRUCTION.
  - FINAL STABILIZATION OF SITE SHALL BE COORDINATED WITH LANDSCAPE PLANS. FINAL STABILIZATION BMP'S SHOWN ON THIS PLAN MAY VARY FROM STABILIZATION PROPOSED IN LANDSCAPE PLAN.
  - CONTRACTOR TO REPAIR ALL DISTURBED SURFACES TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
  - ALL TEMPORARY EROSION CONTROL BMP'S (I.e. SEDIMENT BARRIERS, INLET SEDIMENT TRAPS, CHECK DAMS, MULCH BERMS, FILTER SOCKS, ETC.) SHALL BE REMOVED FROM SITE UPON FINAL SITE STABILIZATION.
  - SEE MATCHLINE PLAN SHEETS (CP SERIES) & STORM SEWER PROFILES (SP SERIES) FOR DETAILED STORM DRAINAGE AND PILING INFORMATION.
  - ALL CONSTRUCTION ACCESS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
  - CONTRACTOR SHALL COORDINATE CONSTRUCTION EXIT LOCATIONS WITH PATH FOUNDATION PROJECT MANAGER AND CITY OF LOGRANGE PRIOR TO CONSTRUCTION.
  - ALL TREES WITHIN LIMITS OF DISTURBANCE AND/OR IDENTIFIED ON PLANS TO BE REMOVED SHALL BE MARKED IN FIELD AND VERIFIED BY CITY PRIOR TO REMOVAL.
  - DUE TO THE NATURE OF THIS CONSTRUCTION PROJECT, A DESIGNATED RE-FUELING SITE IS IMPRACTICAL. CONTRACTOR SHALL USE EXTRA CARE WHEN REFUELING EQUIPMENT. CONTRACTOR SHALL NOT RE-FUEL EQUIPMENT WITHIN 200 FEET OF STATE WATERS. ANY ADJACENT STORM SEWER SYSTEMS OR DITCHES SHALL BE PROTECTED FROM SPILLS. ANY SPILL MADE MUST BE CLEANED UP ACCORDING TO THE REQUIREMENTS PROVIDED IN THE EROSION, SEDIMENTATION, & POLLUTION CONTROL NOTES.

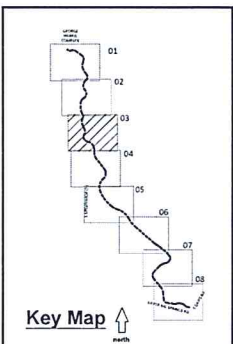
- NOTES:**
- CONTRACTOR SHALL CONTACT MEAG'S CONSTRUCTION PROJECT COORDINATOR 48 HOURS PRIOR TO CONSTRUCTION BETWEEN STATIONS 26+00 AND 27+00. TO SCHEDULE ONSITE SUPERVISION OF CONSTRUCTION IN THIS AREA. MEAG MAY REQUIRE ONSITE SUPERVISION FOR ANY AND ALL WORK WITHIN THIS AREA. CONTACT: KANE GRAHAM; (706) 590-6410.
  - NO PERMANENT AERIAL INSTALLATIONS ARE PROPOSED WITHIN POWER EASEMENTS.
  - THE VERTICAL CLEARANCE FROM MEAG'S 230KV CONDUCTORS TO PROPOSED FILL HAS BEEN CHECKED AND IS ADEQUATE PER EMAIL FROM BRIAN TEAL ON 11-13-2023.

**NOTE:** STATE WATERS BUFFER PROPOSED TO BE ENHANCED FOR PROPOSED FILL. ONSITE NO BUFFER VARIANCE IS REQUIRED FOR THE PROPOSED WORK.



**GEORGIA & WEST, INC.**  
 ENGINEERING • LAND SURVEYING • LAND PLANNING  
 105 GORHAM DRIVE  
 CAROLTON, GA 30137  
 Email: info@georgiawest.com

**KAIZEN COLLABORATIVE**  
 2350 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521



DATE	DESCRIPTION
10/25/2023	100% ISSUE FOR PERMIT
11/14/2023	REV. PER MEAG COMMENTS
01/26/2024	REV. PER EPP COM. (01-18-24)
04/29/2024	100% ISSUE FOR BID

JOB NUMBER 220523  
 PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10  
 GEORGE HARRIS COMPLEX TO  
 SOUTH DAVIS RD  
 LaGRANGE, GA**



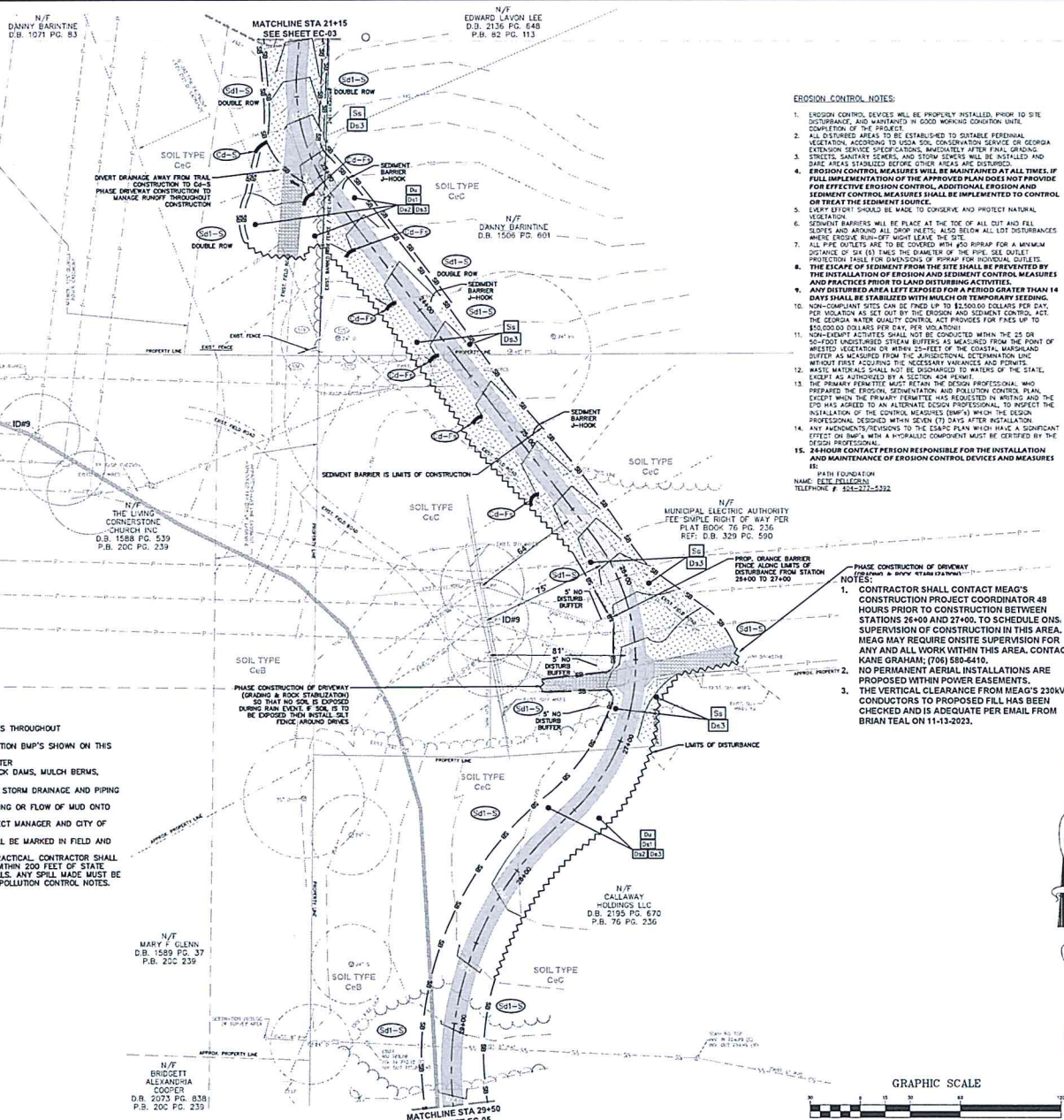
**EROSION CONTROL PLAN**

SCALE	1" = 30'
DATE	OCTOBER 25, 2023

SHEET # **EC-03**

G:\PROJECT\LOGRANGE\2023\10-25-23\LA GRANGE THREAD PHASE 10 SOUTH DAVIS RD\CONSTRUCTION\EC-03\EC-03.dwg, 10/25/2023 11:16 AM





- EROSION CONTROL NOTES:**
- EROSION CONTROL DEVICES WILL BE PROPERLY INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING CONDITION UNTIL COMPLETION OF THE PROJECT.
  - ALL DISTURBED AREAS TO BE ESTABLISHED TO SUITABLE PERMANENT VEGETATION, ACCORDING TO USDA 20% CONSERVATION SERVICE OR GEORGIA EXTENSION SERVICE SPECIFICATIONS, IMMEDIATELY AFTER FINAL GRADING, STREETS, SANITARY SEWERS, AND STORM SEWERS WILL BE INSTALLED AND BARE AREAS STABILIZED BEFORE OTHER AREAS ARE DISTURBED.
  - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES, IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
  - EVERY EFFORT SHOULD BE MADE TO CONSERVE AND PROTECT NATURAL VEGETATION.
  - SEDIMENT BARRIERS WILL BE PLACED AT THE TOE OF ALL CUTS AND FILL SLOPES AND AROUND ALL SWP STRUCTURES, ALSO BEHIND ALL LOT DISTURBANCES WHERE EROSION RUN-OFF MIGHT LEAVE THE SITE.
  - ALL PIPE OUTLETS ARE TO BE COVERED WITH #100 GRAP FOR A MINIMUM DISTANCE OF 5x (5) TIMES THE DIAMETER OF THE PIPE. SEE OUTLET PROTECTION TABLE FOR DIMENSIONS OF #100 GRAP FOR DIFFERENTIAL SIZES.
  - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
  - ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
  - NON-COMPLIANT SITES CAN BE FINED UP TO \$2,500.00 DOLLARS PER DAY, PER VIOLATION AS SET OUT BY THE EROSION AND SEDIMENT CONTROL ACT, THE GEORGIA WATER QUALITY CONTROL ACT PROVIDES FOR FINES UP TO \$50,000.00 DOLLARS PER DAY PER VIOLATION.
  - NON-EMERGENCY ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS, AS MEASURED FROM THE POINT OF RESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE SUBSECTIONAL DETERMINATION LINE WITHOUT FIRST ACCORDING THE NECESSARY VARIANCES AND PERMITS.
  - WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
  - THE PRIMARY PERMITTEE MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN, EXCEPT WHEN THE PRIMARY PERMITTEE HAS REQUESTED IN WRITING AND THE EPO HAS AGREED TO AN ALTERNATE DESIGN PROFESSIONAL, TO INSPECT THE INSTALLATION OF THE CONTROL MEASURES (BMP'S) WITHIN THE DESIGN PROFESSIONAL DESIGNED WITHIN SEVEN (7) DAYS AFTER INSTALLATION.
  - ANY AMENDMENTS/REVISIONS TO THE EROSION, SEDIMENTATION, & POLLUTION CONTROL PLAN MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
  - 24-HOUR CONTACT PERSON RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL DEVICES AND MEASURES IS:  
 WITH FOUNDATION  
 NAME: EST. TEL#: 404-272-5332  
 TELEPHONE #: 512-272-5332

**OWNER/DEVELOPER (PRIMARY PERMITTEE):**  
 CITY OF LaGRANGE  
 ATTN: PATRICK BOWEN  
 200 RIDLEY AVENUE  
 LaGRANGE, GA 30240  
 706-883-2010  
 pbowen@cityoflagrange.org

**PROJECT MANAGEMENT**  
 PATH Foundation, PO Box 14327, Atlanta, GA  
 PETE PELLEGRINI - 24 HOUR CONTACT  
 GA GSWCC LEVEL 1 CERTIFICATION # 0000029813  
 12/21/2023  
 office 404-875-7284 x2 cell 404-277-5392

N/F  
 THE LIVING  
 CORNERSTONE  
 CHURCH INC  
 D.B. 1588 PG. 539  
 P.B. 20C PG. 239

N/F  
 THE LIVING  
 CORNERSTONE  
 CHURCH INC  
 D.B. 1588 PG. 539  
 P.B. 20C PG. 239

N/F  
 MUNICIPAL ELECTRIC AUTHORITY  
 FEE SIMPLE RIGHT OF WAY PER  
 PLAT BOOK 76 PG. 236  
 REF: D.B. 329 PG. 590

N/F  
 CALLAWAY  
 HOLDINGS LLC  
 D.B. 2195 PG. 670  
 P.B. 76 PG. 239

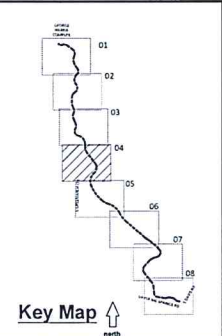
N/F  
 MARY F. GLENN  
 D.B. 1589 PG. 37  
 P.B. 25C 239

N/F  
 BRIDGETT  
 ALEXANDRIA  
 COOPER  
 D.B. 2073 PG. 838  
 P.B. 20C PG. 239

**NOTE:**  
 \*EROSION CONTROL DATA & DETAILS ARE CONTINUED ON OTHER ASSOCIATED, AND FOLLOWING SHEETS. SEE COMPLETE SET OF CONSTRUCTION PLANS FOR REVIEW. THIS SITE IS LOCATED WITHIN 200' (FEET) OF STATE WATERS  
 TOTAL SITE AREA 6.3 ACRES  
 DISTURBED AREA 6.3 ACRES

- NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION CONTROL BMP'S THROUGHOUT CONSTRUCTION.
  - FINAL STABILIZATION OF SITE SHALL BE COORDINATED WITH LANDSCAPE PLANS. FINAL STABILIZATION BMP'S SHOWN ON THIS PLAN MAY VARY FROM STABILIZATION PROPOSED IN LANDSCAPE PLAN.
  - CONTRACTOR TO REPAIR ALL DISTURBED SURFACES TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
  - ALL TEMPORARY EROSION CONTROL BMP'S (I.e. SEDIMENT BARRIER, INLET SEDIMENT TRAPS, CHECK DAMS, MULCH BERMES, FILTER SOCKS, ETC.) SHALL BE REMOVED FROM SITE UPON FINAL SITE STABILIZATION.
  - SEE MAINLINE PLAN SHEETS (CP SERIES) & STORM SEWER PROFILES (SP SERIES) FOR DETAILED STORM DRAINAGE AND PIPING INFORMATION.
  - ALL CONSTRUCTION ACCESS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
  - CONTRACTOR SHALL COORDINATE CONSTRUCTION CUT LOCATIONS WITH PATH FOUNDATION PROJECT MANAGER AND CITY OF LaGRANGE PRIOR TO CONSTRUCTION.
  - ALL TREES WITHIN LIMITS OF DISTURBANCE AND/OR IDENTIFIED ON PLANS TO BE REMOVED SHALL BE MARKED IN FIELD AND RECORDED BY CITY PRIOR TO REMOVAL.
  - DUE TO THE NATURE OF THIS CONSTRUCTION PROJECT, A DESIGNATED RE-FUELING SITE IS IMPRACTICAL. CONTRACTOR SHALL USE EXTRA CARE WHEN OPERATING EQUIPMENT. CONTRACTOR SHALL NOT RE-FUEL EQUIPMENT WITHIN 200 FEET OF STATE WATERS. ANY ADJACENT STORM SEWER SYSTEMS OR DITCHES SHALL BE PROTECTED FROM SPILLS. ANY SPILL MADE MUST BE CLEANED UP ACCORDING TO THE REQUIREMENTS PROVIDED IN THE EROSION, SEDIMENTATION, & POLLUTION CONTROL NOTES.

THE FIRM MAP NUMBER 1328450215XZ EFFECTIVE DATE 02/03/2022 INDICATES THIS PROPERTY IS NOT LOCATED IN A DESIGNATED FLOOD HAZARD AREA.



DATE	DESCRIPTION
10/25/2023	100% ISSUE FOR PERMIT
11/11/2023	REV. PER MEAC COMMENTS
04/29/2024	100% ISSUE FOR BID

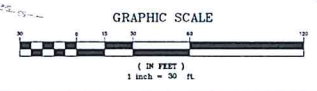
**JOB NUMBER** 220523  
**PROJECT MANAGER** LMW  
**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**



**EROSION CONTROL PLAN**

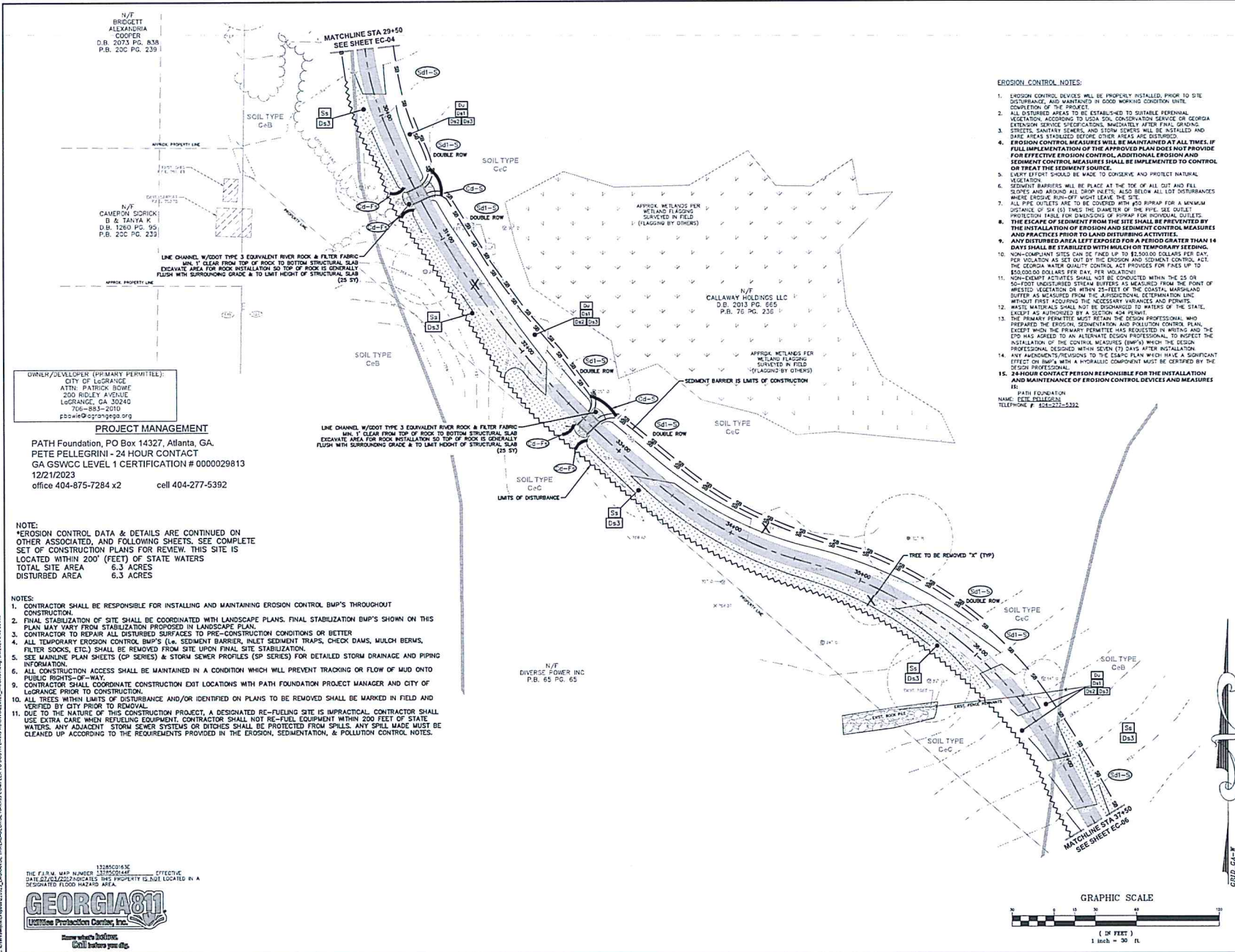
**SCALE** 1" = 30'  
**DATE** OCTOBER 25, 2023

**SHEET #** EC-04



**CW GEORGIA & WEST, INC.**  
 ENGINEERING • LAND SURVEYING • LAND PLANNING  
 OFFICE: 1000 Peachtree St. NE, Suite 1400  
 ATLANTA, GA 30309  
 PHONE: 404.525.1000  
 EMAIL: cw@cwgeorgia.com

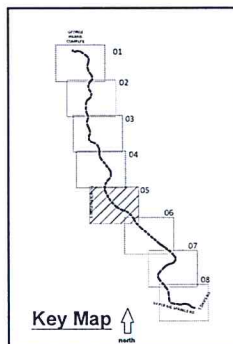
**KAIZEN COLLABORATIVE**  
 2390 MAIN STREET | TUCKER, GEORGIA 30084 | 404.292.2621



- EROSION CONTROL NOTES:**
1. EROSION CONTROL DEVICES WILL BE PROPERLY INSTALLED, PRIOR TO SITE DISTURBANCE, AND MAINTAINED IN GOOD WORKING CONDITION UNTIL COMPLETION OF THE PROJECT.
  2. ALL DISTURBED AREAS TO BE ESTABLISHED TO SUITABLE PERENNIAL VEGETATION, ACCORDING TO LOCAL SOIL, CLIMATE AND GEORGIA EXTENSION SERVICE SPECIFICATIONS, IMMEDIATELY AFTER FINAL GRADING, STREET LIGHT INSTALLATION, AND STORM SEWER. MULCH, INSTALLED AND STAY AREAS STABILIZED BEFORE OTHER AREAS ARE DISTURBED.
  3. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
  4. EVERY EFFORT SHOULD BE MADE TO CONSERVE AND PROTECT NATURAL VEGETATION.
  5. SEDIMENT BARRIERS WILL BE PLACED AT THE TOP OF ALL CUT AND FILL SLOPES AND AROUND ALL DROP SHEETS, ALSO BELOW ALL LOT DISTURBANCES WHERE ESCAPE RUN-OFF MIGHT LEAVE THE SITE.
  6. ALL PIPE OUTLETS ARE TO BE COVERED WITH 400 BPPRIP FOR A MINIMUM DISTANCE OF SIX (6) TIMES THE DIAMETER OF THE PIPE. SEE OUTLET PROTECTION TABLE FOR DIMENSIONS OF BPPRIP FOR INDIVIDUAL OUTLETS.
  7. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
  8. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
  9. NON-COMPLIANT SITES CAN BE FINED UP TO \$2,500.00 DOLLARS PER DAY, PER VIOLATION AS SET OUT BY THE EROSION AND SEDIMENT CONTROL ACT, THE GEORGIA WATER QUALITY CONTROL ACT PROVIDES FOR FINES UP TO \$20,000.00 DOLLARS PER DAY, PER VIOLATION.
  10. NON-EMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50 FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MANGROVE BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
  11. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
  12. THE PRIMARY PERMITTEE MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN, EXCEPT WHEN THE PRIMARY PERMITTEE HAS REQUESTED IN WRITING AND THE EROSION AND SEDIMENTATION CONTROL PROFESSIONAL, TO RESPECT THE INSTALLATION OF THE CONTROL MEASURES (EMPs) WHICH HAVE THE DESIGN PROFESSIONAL DESIGNED WITHIN SEVEN (7) DAYS AFTER INSTALLATION.
  13. ANY AMENDMENTS/REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
  14. 24 HOUR CONTACT PERSON RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL DEVICES AND MEASURES IS:  
 NAME: PETE PELLEGRINI  
 TELEPHONE # 404-277-5392

**GEORGIA & WEST, INC.**  
 ENGINEERING • LAND SURVEYING • LAND PLANNING  
 1000 Peachtree Street, N.E.  
 Atlanta, Georgia 30309  
 PHONE: 404.525.1234  
 FAX: 404.525.1235  
 EMAIL: info@georgiawest.com

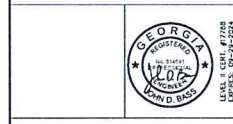
**KAIZEN COLLABORATIVE**  
 2300 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2621



DATE	DESCRIPTION
10/25/2023	100% ISSUE FOR PERMIT
01/26/2024	REV. PER EPD COM. (01-19-24)
04/28/2024	100% ISSUE FOR BID

JOB NUMBER 220523  
 PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**



**EROSION CONTROL PLAN**

SCALE 1" = 30'  
 DATE OCTOBER 25, 2023

SHEET # **EC-05**

OWNER/DEVELOPER (PRIMARY PERMITTEE):  
 CITY OF LaGRANGE  
 ATTN: PATRICK BOWE  
 200 RIDLEY AVENUE  
 LaGRANGE, GA 30240  
 706-883-2010  
 pbowe@cityoflagrange.org

**PROJECT MANAGEMENT**  
 PATH Foundation, PO Box 14327, Atlanta, GA.  
 PETE PELLEGRINI - 24 HOUR CONTACT  
 GA GSWCC LEVEL 1 CERTIFICATION # 0000029813  
 12/21/2023  
 office 404-875-7284 x2 cell 404-277-5392

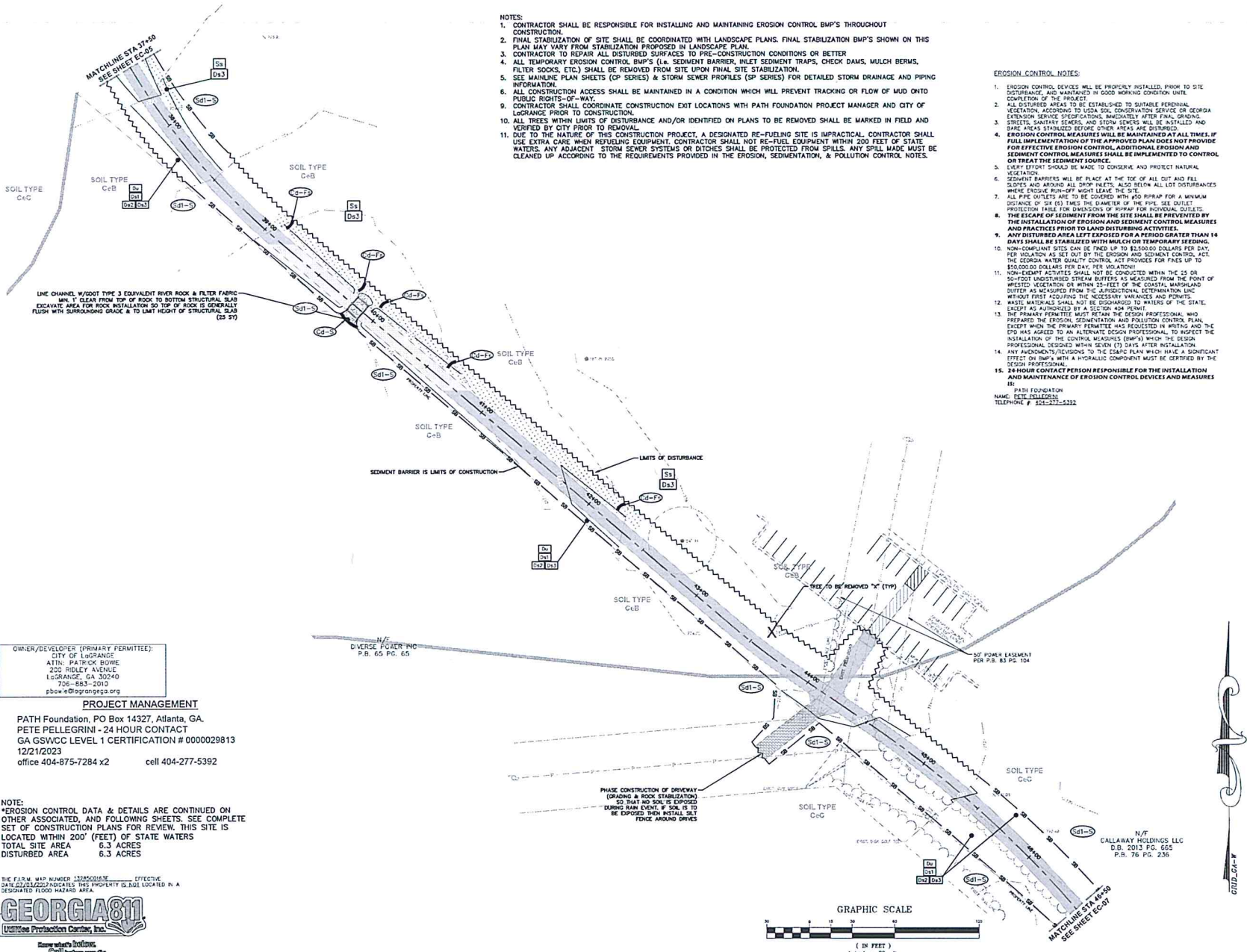
**NOTE:**  
 EROSION CONTROL DATA & DETAILS ARE CONTINUED ON OTHER ASSOCIATED, AND FOLLOWING SHEETS. SEE COMPLETE SET OF CONSTRUCTION PLANS FOR REVIEW. THIS SITE IS LOCATED WITHIN 200' (FEET) OF STATE WATERS  
 TOTAL SITE AREA 6.3 ACRES  
 DISTURBED AREA 6.3 ACRES

- NOTES:**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION CONTROL BMP'S THROUGHOUT CONSTRUCTION.
  2. FINAL STABILIZATION OF SITE SHALL BE COORDINATED WITH LANDSCAPE PLANS. FINAL STABILIZATION BMP'S SHOWN ON THIS PLAN MAY VARY FROM STABILIZATION PROPOSED IN LANDSCAPE PLAN.
  3. CONTRACTOR TO REPAIR ALL DISTURBED SURFACES TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
  4. ALL TEMPORARY EROSION CONTROL BMP'S (i.e. SEDIMENT BARRIER, INLET SEDIMENT TRAPS, CHECK DAMS, MULCH BERMS, FILTER SOCKS, ETC.) SHALL BE REMOVED FROM SITE UPON FINAL SITE STABILIZATION.
  5. SEE MAINLINE PLAN SHEETS (CP SERIES) & STORM SEWER PROFILES (SP SERIES) FOR DETAILED STORM DRAINAGE AND PIPING INFORMATION.
  6. ALL CONSTRUCTION ACCESS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
  7. CONTRACTOR SHALL COORDINATE CONSTRUCTION EXIT LOCATIONS WITH PATH FOUNDATION PROJECT MANAGER AND CITY OF LaGRANGE PRIOR TO CONSTRUCTION.
  8. ALL TREES WITHIN LIMITS OF DISTURBANCE AND/OR IDENTIFIED ON PLANS TO BE REMOVED SHALL BE MARKED IN FIELD AND VERIFIED BY CITY PRIOR TO REMOVAL.
  9. DUE TO THE NATURE OF THIS CONSTRUCTION PROJECT, A DESIGNATED RE-FUELING SITE IS IMPRACTICAL. CONTRACTOR SHALL USE EXTRA CARE WHEN REFUELING EQUIPMENT. CONTRACTOR SHALL NOT RE-FUEL EQUIPMENT WITHIN 200 FEET OF STATE WATERS. ANY ADJACENT STORM SEWER SYSTEMS OR DITCHES SHALL BE PROTECTED FROM SPILLS. ANY SPILL MADE MUST BE CLEANED UP ACCORDING TO THE REQUIREMENTS PROVIDED IN THE EROSION, SEDIMENTATION, & POLLUTION CONTROL NOTES.

132AS0143X  
 THE FIELD MAP NUMBER IS EFFECTIVE  
 DATE 03/01/2012 INDICATES THIS PROPERTY IS NOT LOCATED IN A  
 DESIGNATED FLOOD HAZARD AREA.



Some water utilities  
 will not use this.



- NOTES:
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION CONTROL BMP'S THROUGHOUT CONSTRUCTION.
  - FINAL STABILIZATION OF SITE SHALL BE COORDINATED WITH LANDSCAPE PLANS. FINAL STABILIZATION BMP'S SHOWN ON THIS PLAN MAY VARY FROM STABILIZATION PROPOSED IN LANDSCAPE PLAN.
  - CONTRACTOR TO REPAIR ALL DISTURBED SURFACES TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
  - ALL TEMPORARY EROSION CONTROL BMP'S (I.e. SEDIMENT BARRIER, INLET SEDIMENT TRAPS, CHECK DAMS, MULCH BERM, FILTER SOCKS, ETC.) SHALL BE REMOVED FROM SITE UPON FINAL SITE STABILIZATION.
  - SEE MAINLINE PLAN SHEETS (CP SERIES) & STORM SEWER PROFILES (SP SERIES) FOR DETAILED STORM DRAINAGE AND PIPING INFORMATION.
  - ALL CONSTRUCTION ACCESS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
  - CONTRACTOR SHALL COORDINATE CONSTRUCTION EXIT LOCATIONS WITH PATH FOUNDATION PROJECT MANAGER AND CITY OF LAGRANGE, PRIOR TO CONSTRUCTION.
  - ALL TREES WITHIN LIMITS OF DISTURBANCE AND/OR IDENTIFIED ON PLANS TO BE REMOVED SHALL BE MARKED IN FIELD AND VERIFIED BY CITY PRIOR TO REMOVAL.
  - DUE TO THE NATURE OF THIS CONSTRUCTION PROJECT, A DESIGNATED RE-FUELING SITE IS IMPRACTICAL. CONTRACTOR SHALL USE EXTRA CARE WHEN REFUELING EQUIPMENT. CONTRACTOR SHALL NOT RE-FUEL EQUIPMENT WITHIN 200 FEET OF STATE WATERS. ANY ADJACENT STORM SEWER SYSTEMS OR DITCHES SHALL BE PROTECTED FROM SPILLS. ANY SPILL MADE MUST BE CLEANED UP ACCORDING TO THE REQUIREMENTS PROVIDED IN THE EROSION, SEDIMENTATION, & POLLUTION CONTROL NOTES.

- EROSION CONTROL NOTES:
- EROSION CONTROL DEVICES WILL BE PROPERLY INSTALLED, PRIOR TO SITE DISTURBANCE, AND MAINTAINED IN GOOD WORKING CONDITION UNTIL COMPLETION OF THE PROJECT.
  - ALL DISTURBED AREA TO BE ESTABLISHED TO SUITABLE PERENNIAL VEGETATION, ACCORDING TO USDA SOIL CONSERVATION SERVICE OR GEORGIA EXTENSION SERVICE SPECIFICATIONS, IMMEDIATELY AFTER FINAL GRADING. STRIPES, SHADY EXPOSED, AND STORM SEWERS WILL BE INSTALLED AND BARE AREAS STABILIZED BEFORE OTHER AREAS ARE DISTURBED.
  - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES, IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
  - EVERY EFFORT SHOULD BE MADE TO CONSERVE AND PROTECT NATURAL VEGETATION.
  - SEDIMENT BARRIERS WILL BE PLACED AT THE TOE OF ALL CUT AND FILL SLOPES AND AROUND ALL SWIRL SHEETS. ALSO BUILT ALL LEFT DISTURBANCES WHERE EROSION RUN-OFF MIGHT LEAVE THE SITE.
  - ALL PIPE OUTLETS ARE TO BE COVERED WITH PFD BRUM FOR A MINIMUM DISTANCE OF SIX (6) TIMES THE DIAMETER OF THE PIPE. SEE OUTLET PROTECTION TABLE FOR DIMENSIONS OF PFD FOR HORIZONTAL OUTLETS.
  - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
  - ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
  - NON-COMPLIANT SITES CAN BE FINED UP TO \$2,500.00 DOLLARS PER DAY, PER VIOLATION AS SET OUT BY THE EROSION AND SEDIMENT CONTROL ACT. THE GEORGIA WATER QUALITY CONTROL ACT PROVIDES FOR FINES UP TO \$50,000.00 DOLLARS PER DAY PER VIOLATION.
  - NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
  - WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
  - THE PRIMARY PERMITTEE MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, EXCEPT WHEN THE PRIMARY PERMITTEE HAS REQUESTED IN WRITING AND THE EROSION CONTROL MEASURES (ECM) WHICH THE DESIGN PROFESSIONAL DESIGNED WITHIN SEVEN (7) DAYS AFTER INSTALLATION.
  - ANY AMENDMENTS/DESIGNS TO THE EROSION PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
  - 24 HOUR CONTACT PERSON RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL DEVICES AND MEASURES IS:

PATH FOUNDATION  
NAME: PETE PELLEGRINI  
TELEPHONE # 404-277-5332

OWNER/DEVELOPER (PRIMARY PERMITTEE):  
CITY OF LAGRANGE  
ATTN: PATRICK BOWEN  
2205 RILEY AVENUE  
LAGRANGE, GA 30240  
706-883-2010  
pbowen@lagrangega.org

**PROJECT MANAGEMENT**

PATH Foundation, PO Box 14327, Atlanta, GA.  
PETE PELLEGRINI - 24 HOUR CONTACT  
GA GSWCC LEVEL 1 CERTIFICATION # 0000029813  
12/21/2023  
office 404-875-7284 x2 cell 404-277-5392

NOTE:  
\*EROSION CONTROL DATA & DETAILS ARE CONTINUED ON OTHER ASSOCIATED, AND FOLLOWING SHEETS. SEE COMPLETE SET OF CONSTRUCTION PLANS FOR REVIEW. THIS SITE IS LOCATED WITHIN 200' (FEET) OF STATE WATERS  
TOTAL SITE AREA 6.3 ACRES  
DISTURBED AREA 6.3 ACRES

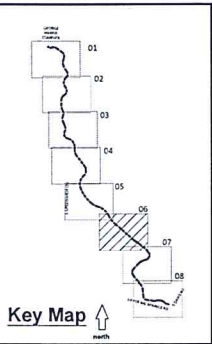
THE FIRM MAP NUMBER 137850208E EFFECTIVE DATE 02/23/2022 INDICATES THIS PROPERTY IS NOT LOCATED IN A DESIGNATED FLOOD HAZARD AREA.



Home where it begins.  
Call before you dig.

**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
135 GORHAM DRIVE  
CAMDEN, GA 30117  
CALL: (770) 841-0505  
LMA: mlw@georgiawest.com

**KAIZEN COLLABORATIVE**  
2390 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2321



DATE	DESCRIPTION
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	100% ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

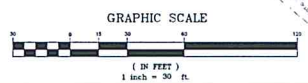
**LaGRANGE THREAD PHASE 10**  
**GEORGE HARRIS COMPLEX TO**  
**SOUTH DAVIS RD**  
**LaGRANGE, GA**



**EROSION CONTROL PLAN**

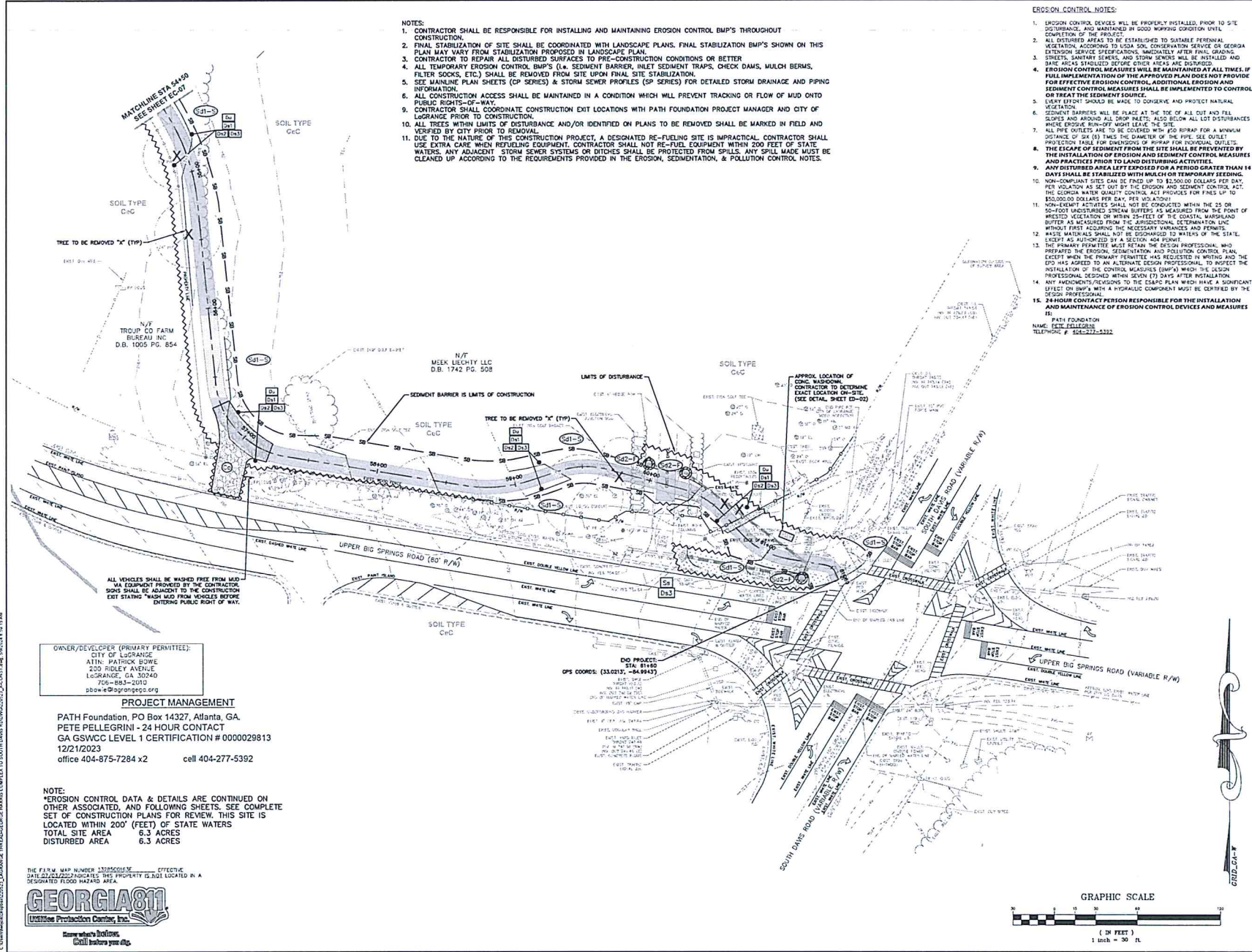
SCALE	1" = 30'
DATE	OCTOBER 25, 2023

SHEET # **EC-06**









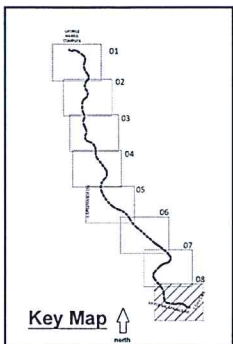
- NOTES:
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION CONTROL BMP'S THROUGHOUT CONSTRUCTION.
  - FINAL STABILIZATION OF SITE SHALL BE COORDINATED WITH LANDSCAPE PLAN. FINAL STABILIZATION BMP'S SHOWN ON THIS PLAN MAY VARY FROM STABILIZATION PROPOSED IN LANDSCAPE PLAN.
  - CONTRACTOR TO REPAIR ALL DISTURBED SURFACES TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
  - ALL TEMPORARY EROSION CONTROL BMP'S (i.e. SEDIMENT BARRIER, INLET SEDIMENT TRAPS, CHECK DAMS, MULCH BERMS, FILTER SOCKS, ETC.) SHALL BE REMOVED FROM SITE UPON FINAL SITE STABILIZATION.
  - SEE MAINLINE PLAN SHEETS (OF SERIES) & STORM SEWER PROFILES (OF SERIES) FOR DETAILED STORM DRAINAGE AND PIPING INFORMATION.
  - ALL CONSTRUCTION ACCESS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY.
  - CONTRACTOR SHALL COORDINATE CONSTRUCTION EXIT LOCATIONS WITH PATH FOUNDATION PROJECT MANAGER AND CITY OF LAGRANGE PRIOR TO CONSTRUCTION.
  - ALL TREES WITHIN LIMITS OF DISTURBANCE AND/OR IDENTIFIED ON PLANS TO BE REMOVED SHALL BE MARKED IN FIELD AND VERIFIED BY CITY PRIOR TO REMOVAL.
  - DUE TO THE NATURE OF THIS CONSTRUCTION PROJECT, A DESIGNATED RE-FUELING SITE IS IMPRACTICAL. CONTRACTOR SHALL USE EXTRA CARE WHEN REFUELING EQUIPMENT. CONTRACTOR SHALL NOT RE-FUEL EQUIPMENT WITHIN 200 FEET OF STATE WATERS. ANY ADJACENT STORM SEWER SYSTEMS OR DITCHES SHALL BE PROTECTED FROM SPILLS. ANY SPILL MADE MUST BE CLEANED UP ACCORDING TO THE REQUIREMENTS PROVIDED IN THE EROSION, SEDIMENTATION, & POLLUTION CONTROL NOTES.

- EROSION CONTROL NOTES:
- EROSION CONTROL DEVICES WILL BE PROPERLY INSTALLED PRIOR TO SITE DISTURBANCE, AND MAINTAINED IN GOOD WORKING CONDITION UNTIL COMPLETION OF THE PROJECT.
  - ALL DISTURBED AREAS TO BE ESTABLISHED TO SUITABLE PERENNIAL VEGETATION. ACCORDING TO USDA SOIL CONSERVATION SERVICE SO GEORGIA EXTENSION SERVICE SPECIFICATIONS, IMMEDIATELY AFTER FINAL GRADING, STREETS, SANITARY SEWERS, AND STORM SEWERS WILL BE INSTALLED AND BARE AREAS STABILIZED BEFORE OTHER AREAS ARE DISTURBED.
  - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE EROSION SOURCE.
  - LEAST EROSION SHOULD BE MADE TO CONSERVE AND PROTECT NATURAL VEGETATION.
  - SEDIMENT BARRIERS WILL BE PLACED AT THE TOE OF ALL CUT AND FILL SLOPES AND AROUND ALL GRIP PILETS. ALSO BLOW ALL LOT DISTURBANCES WHILE EROSION RUN-OFF MIGHT LEAVE THE SITE.
  - ALL THE OUTLETS ARE TO BE COVERED WITH 2" X 2" GRIP PILETS FOR A MINIMUM DISTANCE OF SIX (6) TIMES THE DIAMETER OF THE PIPE. SEE OUTLET PROTECTION TABLE FOR DIMENSIONS OF GRIP PILETS FOR VARIOUS OUTLETS.
  - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
  - ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
  - NON-COMPLIANT SITES CAN BE FINED UP TO \$2,500.00 DOLLARS PER DAY. PER VIOLATION AS SET OUT BY THE EROSION AND SEDIMENT CONTROL ACT, THE GEORGIA WATER QUALITY CONTROL ACT PROVIDES FOR FINES UP TO \$50,000.00 DOLLARS PER DAY. PER VIOLATION!
  - NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF BESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL WASHLAND BUFFER AS MEASURED FROM THE ENVIRONMENTAL DETERMINATION LINE WITHOUT FIRST OBTAINING THE NECESSARY VARIANCES AND PERMITS.
  - WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
  - THE PRIMARY PERMITTEE MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, EXCEPT WHEN THE PRIMARY PERMITTEE HAS REQUESTED IN WRITING AND THE EPD HAS AGREED TO AN ALTERNATE DESIGN PROFESSIONAL TO RESPECT THE INSTALLATION OF THE CONTROL MEASURES (BMP'S) WHICH THE DESIGN PROFESSIONAL DESIGNED WITHIN SEVEN (7) DAYS AFTER INSTALLATION.
  - ANY MODIFICATIONS/REVISIONS TO THE ESCAPE PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
  - 24-HOUR CONTACT PERSON RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL DEVICES AND MEASURES IS:

PATH FOUNDATION  
NAME: ESTE LELLEIGH  
TELEPHONE # 504-277-5332

**GW GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
OFFICE: ATLANTA, GA  
1000 W. BROADWAY, SUITE 1000  
ATLANTA, GA 30331  
PHONE: 404-525-1000  
FAX: 404-525-1005  
EMAIL: mlaber@georgiawest.com

**KAIZEN COLLABORATIVE**  
2390 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521



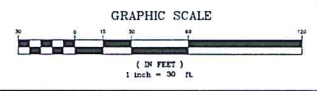
DATE	DESCRIPTION
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	100% ISSUE FOR BID

JOB NUMBER: 220523  
PROJECT MANAGER: LMV  
**LaGRANGE THREAD PHASE 10**  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGRANGE, GA



**EROSION CONTROL PLAN**

SCALE	1" = 30'
DATE	OCTOBER 25, 2023
SHEET #	EC-08



OWNER/DEVELOPER (PRIMARY PERMITTEE):  
CITY OF LAGRANGE  
ATTN: PATRICK BOWE  
200 RIDLEY AVENUE  
LAGRANGE, GA 30240  
706-883-2010  
pbowe@cityoflagrange.org

PROJECT MANAGEMENT  
PATH Foundation, PO Box 14327, Atlanta, GA.  
PETE PELLEGRINI - 24 HOUR CONTACT  
GA GISWQC LEVEL 1 CERTIFICATION # 0000029813  
12/21/2023  
office 404-875-7284 x2 cell 404-277-5392

NOTE:  
\*EROSION CONTROL DATA & DETAILS ARE CONTINUED ON OTHER ASSOCIATED, AND FOLLOWING SHEETS. SEE COMPLETE SET OF CONSTRUCTION PLANS FOR REVIEW. THIS SITE IS LOCATED WITHIN 200' (FEET) OF STATE WATERS.  
TOTAL SITE AREA 6.3 ACRES  
DISTURBED AREA 6.3 ACRES

THE FIRM MAP NUMBER 23295000200 EFFECTIVE DATE 02/22/2023 INDICATES THIS PROPERTY IS NOT LOCATED IN A DESIGNATED FLOOD HAZARD AREA.

**GEORGIA811**  
Landscape Production Company, Inc.  
Home where Distinctions  
Call! before you dig.

C:\Users\pbowe\OneDrive\Documents\2023\23295000200\23295000200\_240124.dwg, 10/25/2023 10:15 AM



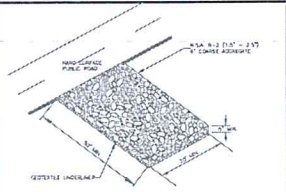


FIGURE 8-111  
Crushed Stone Construction Exit

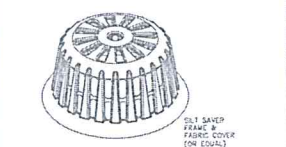


FIGURE 8-112  
Alternative Sediment Trap

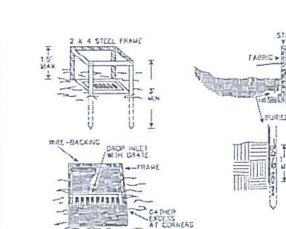


FIGURE 8-213  
Fabric and Supporting Frame for Inlet Protection

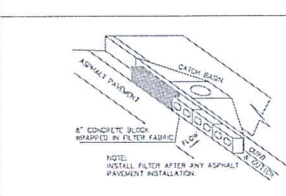


FIGURE 8-215  
Curb Inlet Filter

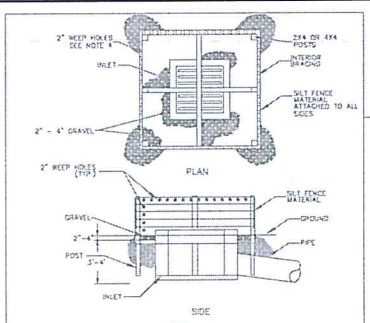


FIGURE 8-217  
Baffle Box

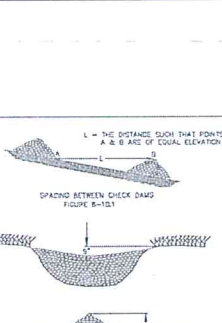


FIGURE 8-122  
Stone Check Dam

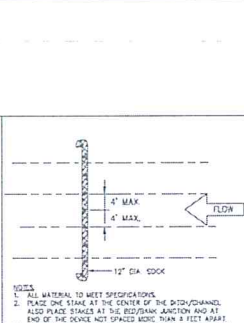


FIGURE 8-124  
Filter Sock Check Dam

**DISTURBED STABILIZATION (DS1)**

**BASE:** PLANT PROGRESS IS MONITORED BY VISUAL INSPECTION OF THE SOIL SURFACE. SOILS THAT ARE EXPOSED TO THE SUN SHALL BE COVERED WITH MULCH OR PLANT AT THE END OF EACH DISTURBED AREA.

**NOTES:**

1. SOIL SURFACE SHALL BE REPAIRED AT 4 DEPTHS OF 2 INCHES OR MORE. REPAIR SHALL BE MADE WITH THE SAME SOIL TYPE AS THE ORIGINAL SOIL. REPAIR SHALL BE MADE WITHIN 14 DAYS OF THE END OF THE DISTURBED AREA.
2. MULCH SHALL BE APPLIED AT A RATE OF 2 TONS PER 1,000 SQ FT. MULCH SHALL BE APPLIED TO THE ENTIRE DISTURBED AREA. MULCH SHALL BE APPLIED TO THE ENTIRE DISTURBED AREA. MULCH SHALL BE APPLIED TO THE ENTIRE DISTURBED AREA.
3. MULCH SHALL BE APPLIED TO THE ENTIRE DISTURBED AREA. MULCH SHALL BE APPLIED TO THE ENTIRE DISTURBED AREA. MULCH SHALL BE APPLIED TO THE ENTIRE DISTURBED AREA.

**TEMPORARY VEGETATIVE PLAN (DS2)**

SPACES	DATE	DATE	PERIOD	DATE
1-10	1-15	2-15	15-30	3-15
11-20	2-15	3-15	15-30	4-15
21-30	3-15	4-15	15-30	5-15

**PERMANENT GRASSING PLAN (DS3)**

SPACES	DATE	DATE	PERIOD	DATE
1-10	1-15	2-15	15-30	3-15
11-20	2-15	3-15	15-30	4-15
21-30	3-15	4-15	15-30	5-15

**NOTES:**

1. ALL AREAS TO BE REPAIRED SHALL BE REPAIRED AT THE RATE OF 1/2 INCH PER 1,000 SQ FT. REPAIR SHALL BE MADE WITH THE SAME SOIL TYPE AS THE ORIGINAL SOIL. REPAIR SHALL BE MADE WITHIN 14 DAYS OF THE END OF THE DISTURBED AREA.
2. MULCH SHALL BE APPLIED AT A RATE OF 2 TONS PER 1,000 SQ FT. MULCH SHALL BE APPLIED TO THE ENTIRE DISTURBED AREA. MULCH SHALL BE APPLIED TO THE ENTIRE DISTURBED AREA.
3. MULCH SHALL BE APPLIED TO THE ENTIRE DISTURBED AREA. MULCH SHALL BE APPLIED TO THE ENTIRE DISTURBED AREA. MULCH SHALL BE APPLIED TO THE ENTIRE DISTURBED AREA.

**Du DUST CONTROL ON DISTURBED AREAS**

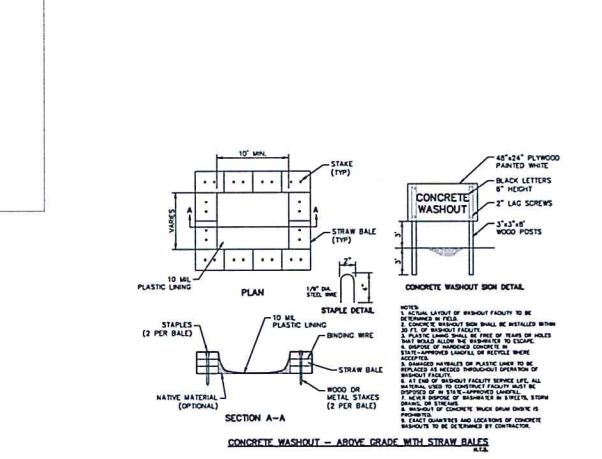


FIGURE 8-216  
Concrete Washout Above Grade with Straw Bales

# GEORGIA UNIFORM CODING SYSTEM

## FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES

GEORGIA SOIL AND WATER CONSERVATION COMMISSION

CODE	SYMBOL	DETAIL	NOTE	DESCRIPTION
01	01	01	01	01
02	02	02	02	02
03	03	03	03	03
04	04	04	04	04
05	05	05	05	05
06	06	06	06	06
07	07	07	07	07
08	08	08	08	08
09	09	09	09	09
10	10	10	10	10
11	11	11	11	11
12	12	12	12	12
13	13	13	13	13
14	14	14	14	14
15	15	15	15	15
16	16	16	16	16
17	17	17	17	17
18	18	18	18	18
19	19	19	19	19
20	20	20	20	20
21	21	21	21	21
22	22	22	22	22
23	23	23	23	23
24	24	24	24	24
25	25	25	25	25
26	26	26	26	26
27	27	27	27	27
28	28	28	28	28
29	29	29	29	29
30	30	30	30	30
31	31	31	31	31
32	32	32	32	32
33	33	33	33	33
34	34	34	34	34
35	35	35	35	35
36	36	36	36	36
37	37	37	37	37
38	38	38	38	38
39	39	39	39	39
40	40	40	40	40
41	41	41	41	41
42	42	42	42	42
43	43	43	43	43
44	44	44	44	44
45	45	45	45	45
46	46	46	46	46
47	47	47	47	47
48	48	48	48	48
49	49	49	49	49
50	50	50	50	50

**GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
OFFICE: 8775 BUCKLEBOURNE  
CAMPBELL, GA 30137  
PHONE: 770-233-8300  
FAX: 770-233-8301  
EMAIL: info@georgiawest.com

**KAIZEN COLLABORATIVE**  
2350 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521

DATE	DESCRIPTION
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	100% ISSUE FOR BID

JOB NUMBER: 220523  
PROJECT MANAGER: LMV

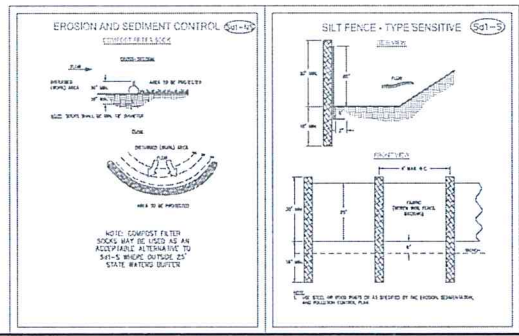
LaGRANGE THREAD PHASE 10  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGRANGE, GA



### EROSION CONTROL DETAILS

SCALE: N.T.S.  
DATE: OCTOBER 25, 2023

SHEET # ED-02



EROSION AND SEDIMENT CONTROL DETAILS

DEVELOPMENT REFERENCE:

DESIGN PROFESSIONAL: GEORGIA AND WEST, INC. 1001 CONCORD AVENUE, CARROLLTON, GA 30118

24-HOUR CONTACT: PETE PELLEGRINI 404-277-5392

GENERAL NOTES:

- 1. NON-EMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 FOOT BUFFER DISTANCE... 2. ANY AMENDMENT TO THE EROSION CONTROL PLAN... 3. ANY AMENDMENT TO THE EROSION CONTROL PLAN WHICH HAS A SIGNIFICANT EFFECT ON BURTS WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

CLEARING PHASE - PHASE I EROSION CONTROL NOTES:

FOR THE LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A PRE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR... THE CONTRACTOR SHALL OBSERVE THE PROJECT SEQUENCE SHOWN ON THE PLANS...

FOR THE LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A PRE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR... THE CONTRACTOR SHALL OBSERVE THE PROJECT SEQUENCE SHOWN ON THE PLANS...

FOR THE LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A PRE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR... THE CONTRACTOR SHALL OBSERVE THE PROJECT SEQUENCE SHOWN ON THE PLANS...

FOR THE LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A PRE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR... THE CONTRACTOR SHALL OBSERVE THE PROJECT SEQUENCE SHOWN ON THE PLANS...

FOR THE LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A PRE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR... THE CONTRACTOR SHALL OBSERVE THE PROJECT SEQUENCE SHOWN ON THE PLANS...

FOR THE LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A PRE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR... THE CONTRACTOR SHALL OBSERVE THE PROJECT SEQUENCE SHOWN ON THE PLANS...

FOR THE LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A PRE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR... THE CONTRACTOR SHALL OBSERVE THE PROJECT SEQUENCE SHOWN ON THE PLANS...

FOR THE LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A PRE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR... THE CONTRACTOR SHALL OBSERVE THE PROJECT SEQUENCE SHOWN ON THE PLANS...

FOR THE LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A PRE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR... THE CONTRACTOR SHALL OBSERVE THE PROJECT SEQUENCE SHOWN ON THE PLANS...

FOR THE LAND DISTURBING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A PRE-CONSTRUCTION MEETING WITH THE AREA SITE DEVELOPMENT INSPECTOR... THE CONTRACTOR SHALL OBSERVE THE PROJECT SEQUENCE SHOWN ON THE PLANS...

DESIGN PROFESSIONAL'S CERTIFICATION:

(1) I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE COMPLIANCE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY ACT AND THE NATIONAL POLLUTANT DISCHARGE PREVENTION ACT...

(2) I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION.

(3) I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR THE MONITORING OF: (A) ALL PERMANENT AND INTERMITTENT STREAMS AND OTHER WATER BODIES...

(4) I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR THE MONITORING OF: (A) ALL PERMANENT AND INTERMITTENT STREAMS AND OTHER WATER BODIES...

(5) I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR THE MONITORING OF: (A) ALL PERMANENT AND INTERMITTENT STREAMS AND OTHER WATER BODIES...

(6) I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR THE MONITORING OF: (A) ALL PERMANENT AND INTERMITTENT STREAMS AND OTHER WATER BODIES...

(7) I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR THE MONITORING OF: (A) ALL PERMANENT AND INTERMITTENT STREAMS AND OTHER WATER BODIES...

(8) I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR THE MONITORING OF: (A) ALL PERMANENT AND INTERMITTENT STREAMS AND OTHER WATER BODIES...

(9) I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR THE MONITORING OF: (A) ALL PERMANENT AND INTERMITTENT STREAMS AND OTHER WATER BODIES...

(10) I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR THE MONITORING OF: (A) ALL PERMANENT AND INTERMITTENT STREAMS AND OTHER WATER BODIES...

(11) I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR THE MONITORING OF: (A) ALL PERMANENT AND INTERMITTENT STREAMS AND OTHER WATER BODIES...

(12) I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR THE MONITORING OF: (A) ALL PERMANENT AND INTERMITTENT STREAMS AND OTHER WATER BODIES...

(13) I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR THE MONITORING OF: (A) ALL PERMANENT AND INTERMITTENT STREAMS AND OTHER WATER BODIES...

(14) I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR THE MONITORING OF: (A) ALL PERMANENT AND INTERMITTENT STREAMS AND OTHER WATER BODIES...

(15) I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR THE MONITORING OF: (A) ALL PERMANENT AND INTERMITTENT STREAMS AND OTHER WATER BODIES...

(16) I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR THE MONITORING OF: (A) ALL PERMANENT AND INTERMITTENT STREAMS AND OTHER WATER BODIES...

(17) I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR THE MONITORING OF: (A) ALL PERMANENT AND INTERMITTENT STREAMS AND OTHER WATER BODIES...

(18) I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR THE MONITORING OF: (A) ALL PERMANENT AND INTERMITTENT STREAMS AND OTHER WATER BODIES...

EROSION CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

"THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES." "EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES, IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE."

GRADING PHASE - PHASE 2 EROSION CONTROL NOTES:

THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE PRELIMINARY GRADING PHASE OF CONSTRUCTION.

1. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION... 2. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION...

3. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION... 4. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION...

5. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION... 6. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION...

7. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION... 8. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION...

9. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION... 10. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION...

11. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION... 12. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION...

13. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION... 14. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION...

15. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION... 16. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION...

17. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION... 18. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION...

19. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION... 20. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION...

21. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION... 22. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION...

23. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION... 24. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION...

25. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION... 26. THE CONTRACTOR SHALL MAINTAIN CAREFUL OBSERVATION OF THE EROSION CONTROL PLAN THROUGHOUT CONSTRUCTION...

PERMIT COVERAGE:

THIS PLAN HAS BEEN PREPARED TO MEET THE REQUIREMENTS UNDER THE STATE OF GEORGIA, DEPARTMENT OF NATURAL RESOURCES, ENVIRONMENTAL PROTECTION DIVISION... THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY AUTHORIZATION TO DISCHARGE UNDER THE NATIONAL POLLUTANT DISCHARGE PREVENTION ACT...

1. CONSTRUCTION ACTIVITIES (CAR 100002 PART I.C.1) (1) ALL DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION PROJECTS THAT WILL RESULT IN LAND DISTURBANCE...

(2) ALL DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION PROJECTS THAT WILL RESULT IN LAND DISTURBANCE... (3) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

(4) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION... (5) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

(6) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION... (7) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

(8) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION... (9) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

(10) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION... (11) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

(12) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION... (13) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

(14) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION... (15) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

(16) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION... (17) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

(18) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION... (19) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

(20) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION... (21) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

(22) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION... (23) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

(24) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION... (25) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

(26) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION... (27) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

(28) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION... (29) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

(30) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION... (31) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

(32) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION... (33) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

(34) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION... (35) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

(36) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION... (37) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

(38) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION... (39) CONSTRUCTION UNDER THIS PERMIT IS NOT REQUIRED FOR DISCHARGES OF STORM WATER ASSOCIATED WITH INFRASTRUCTURE CONSTRUCTION...

2. SAMPLE POINTS (1) ALL SAMPLES SHALL BE COLLECTED BY GRAB SAMPLING AND THE ANALYSIS OF THESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH THE STANDARD METHODS FOR THE DETERMINATION OF WATER QUALITY (1995) (LESSER OTHER TEST PROCEDURES HAVE BEEN APPROVED)... (2) SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES...

(3) SAMPLES SHOULD BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER FOR COLLECTION... (4) SAMPLES SHOULD BE CLEANED THOROUGHLY TO AVOID CONTAMINATION... (5) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(6) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (7) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (8) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(9) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (10) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (11) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(12) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (13) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (14) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(15) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (16) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (17) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(18) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (19) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (20) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(21) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (22) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (23) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(24) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (25) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (26) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(27) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (28) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (29) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(30) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (31) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (32) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(33) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (34) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (35) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(36) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (37) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (38) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(39) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (40) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (41) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(42) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (43) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (44) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(45) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (46) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (47) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(48) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (49) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (50) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(51) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (52) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (53) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(54) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (55) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (56) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(57) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (58) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (59) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

(60) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (61) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION... (62) SAMPLES SHOULD BE ANALYZED WITHIN 24 HOURS OF COLLECTION...

CITY OF GEORGIA ENGINEERING & LAND SURVEYING & LAND PLANNING. KAIZEN COLLABORATIVE. 2300 MAIN STREET | TUCKER, GEORGIA 30084 | 404-230-2521

Table with 2 columns: DATE, DESCRIPTION. Row 1: 10/25/2023, 100% ISSUE FOR PERMIT. Row 2: 04/29/2024, 100% ISSUE FOR PERMIT.

PROJECT MANAGER: LMW. LaGRANGE THREAD PHASE 10 GEORGE HARRIS COMPLEX SOUTH DAVIS RD LaGrange, GA

EROSION, SEDIMENTATION & POLLUTION CONTROL NOTES

Table with 2 columns: SCALE, N.T.S. Row 1: SCALE, N.T.S.

Table with 2 columns: DATE, OCTOBER 25, 2023.

SHEET # EN-01

SCALE N.T.S. DATE OCTOBER 25, 2023

SHEET # EN-01

SCALE N.T.S. DATE OCTOBER 25, 2023

SHEET # EN-01

SCALE N.T.S. DATE OCTOBER 25, 2023

**EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN (ESPPC)**

This plan was prepared as required by NPDES General Permit No. GA100002. These plan sheets and all requirements of the Primary Permit as well as Local, State, and Federal regulations or laws apply regardless of specific provisions in this plan.

**SITE DESCRIPTION**  
CITY OF GORGASON'S Primary Permit will address site construction located within the Property situated at 115, 116, 117, & 118 of District 4 in Town of Georgia, Georgia. The purpose of the entire development contains 163 acres.

The site is to be developed as a linear park that consists of a concrete multi-use trail with grassing and landscaping. No secondary permits are known to be needed for this project at the time.

**Location**  
Map Reference: Obtained from Aerial Survey performed by Georgia & West, Inc.  
Topographic Information: Obtained from Aerial Survey performed by Georgia & West, Inc.

**Natural Resources**  
NPDES General Permit No. GA100002, dated 07/23/2013, shows the site to be in Zone R (No base flood elevation determined).

**Runoff Coefficient**  
• Weighted post-construction C1 curve number: 65  
• Weighted pre-construction C1 curve number: 65

**Soil Types**  
The NPDES soil types are shown on the Erosion Control Plan.

**Disturbing Activities**  
• Installing a stabilized construction exit, perimeter and other erosion and sediment controls  
• Clearing and grubbing  
• Grading and excavation for utilities & road subgrade  
• Final grading and final site preparation  
• Completion of on-site stabilization

**Sequence of Major Activities**  
See Construction Schedule

**Name of Regulating Waters**  
Tributary of the Savannah River and Tributary of Long Cove Creek

**Other Erosion and Sediment Controls**  
All construction sites shall be in place prior to any land disturbing activities.

Disturbing activities shall be limited to land disturbing activities to be taken place upon that portion of the site. When construction has ceased in an area, that area shall be stabilized with mulch or grass seed. If the area is to be graded, it shall be mulched. If the area is to be final graded and all remaining final site improvements such as the structures or streets, it shall be temporary seeded.

Final grading and final site preparation shall be permanently seeded. Allowable exceptions from the NPDES General Permit No. GA100002, are noted below.

Where the isolation of stabilization measures by the 14th day after construction activity temporarily or permanently ceases in an area, the Contractor shall be responsible for seeding and stabilization measures that be initiated on such practices.

Phase prior to Detail Sheets for the land disturbance construction schedule and temporary and permanent seeding schedule.

Storm water from this development will sheet flow into existing drainage ditches and storm sewer lines and discharge into a tributary of Long Cove Creek.

**NON-POINT WATER DISCHARGES**  
All non-storm water discharges will be routed through site BMPs and the storm water management system where they are collected. These discharges include building of water and fire lines, irrigation water, ground water, seepage of pits or depressions within the construction site and reuse of water of non-storm water.

**OTHER CONTROLS**  
NO WATER WILL BE DISPOSED OF INTO STORM WATER RUNOFF OR WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

**Waste Management**  
All solid materials will be collected and stored in a securely locked metal dumpster. The dumpster will meet all solid waste management regulations. All trash and construction debris from the site will be deposited in the dumpster. The dumpster will be emptied a minimum of once per week or more often if necessary and trash will be hauled or removed by local regulations. No construction waste will be buried onsite.

All personnel will be instructed on proper procedures for waste disposal. A notice stating these practices will be posted at the jobsite and the Contractor will be responsible for ensuring that these procedures are followed.

**Building Materials**  
Building materials, construction wastes, trash, landscape materials, fertilizers, pesticides, herbicides, solvents, sanitary wastes and other materials present on the site, including plastic sheeting, temporary needs) to minimize the exposure of these materials to precipitation and to stormwater, or a sanitary structure. It means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not means designed to minimize the discharge of materials from any area where accumulation of exposure is not

**INVENTORY FOR POLLUTION PREVENTION PLAN**

The following materials are expected onsite during construction: Concrete products, asphalt, petroleum based products and materials, fuel, oil, hydraulic fluids, antifreeze, motor, diesel, fuel, four cements, electrical wire and cables, paints/paints/finishing treatments, plastic pipe materials, additives for soil stabilization, clearing and grubbing, fertilizers, herbicides, crushed stone, blocks and metal pipe.

**SPILL PREVENTION**

Practices such as good housekeeping, proper handling of hazardous products and proper spill control practices will be followed to reduce the risk of spills and spills from discharging into storm water runoff.

**Good Housekeeping**

- 1. Quantities of products stored onsite will be limited to the amount needed for the job.
- 2. Products and materials will be stored in a well, orderly manner in appropriate containers protected from weather.
- 3. Products will be kept in their original containers with manufacturer labels legible and visible.
- 4. Spills and leaks of materials will be cleaned up immediately.
- 5. The Contractor will inspect such materials to ensure proper use, storage and disposal.

**Product Specific Practices**

**Petroleum Based Products** - Containers for products such as fuels, herbicides and oils will be inspected daily for leaks and spills. This includes on-site vehicle and machinery daily inspections and regular preventative maintenance on all such equipment. Equipment maintenance areas will be located away from storm water drains and storm water drainage pipes. In addition, temporary parking lots shall have a secondary containment cover to prevent/minimize site contamination. Discharge of oils, fuels and lubricants is prohibited. Proper disposal methods will involve collection in a suitable container and disposal as required by local and state regulations.

**Paints/Fertilizers/Solvents** - All products will be stored in tightly sealed original containers when not in use. Excess product will not be discharged to the storm water collection system. Excess product, materials used with these products and product containers will be disposed of according to manufacturer's specifications and recommendations.

**Concrete** - No concrete trucks will be allowed to wash or discharge surplus concrete or slurry wash water into any storm water collection system. Concrete mixer trucks, hoppers and the rear of the vehicles, if used, will contain an enclosed waste collection area that will contain the concrete wash water until it is hauled to a concrete wash water treatment facility.

**Fertilizers/Herbicides** - These products will be applied to areas that do not enclose the manufacturer's specifications or labels. Containers will be stored in a secure area and will be under roof in sealed containers.

**Building Materials** - No building or construction materials will be buried or disposed of onsite. All such material will be disposed of in approved disposal procedures.

**Spill Cleanup and Control Regimes**

Local, State and Manufacturer's recommended methods for spill cleanup will be clearly posted and procedures will be made available to site personnel.

Materials and equipment required for spill cleanup will be kept in the material storage areas. Typical materials and equipment includes, but is not limited to, brooms, shovels, mops, rags, gloves, goggles, etc.

Spill prevention policies and procedures will be reviewed after a spill and adjusted as necessary to prevent future spills.

All spills will be cleaned up immediately upon discovery. All spills will be reported as required by local, state and federal regulations.

**FOR SPILLS THAT IMPACT SURFACE WATER (LEAKAGE OR SPILLS ON SURFACE WATER)**, the NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-9302.

**FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-9302.**

**FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS**, the GEORGIA DEP WILL BE CONTACTED WITHIN 24 HOURS.

**FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS**, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.

The Contractor shall notify the licensed professional who prepared the plan if more than 1320 gallons of petroleum is stored onsite (the amount is dependent on equipment) or if any one piece of equipment has a capacity greater than 500 gallons. The Contractor will need a Spill Prevention Containment and Containmentment Plan prepared by that licensed professional.

**INSPECTIONS**

**Primary Permits**  
1. Each day when any type of construction activity has taken place at a primary permit's site, certified personnel provided by the primary permittee shall inspect: (a) all areas of the primary permittee's site where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment and (b) all locations of the primary permittee's site where vehicles enter or exit the site for final stabilization or spill prevention tracking. These inspections must be conducted within a Notice of Termination is submitted.

2. Inspections and record sheets shall be maintained at the site that have not had final stabilization every 24 hours except any non-working Saturday, non-working Sunday and non-working Federal holiday. The site certified for the purpose of compliance with this permit shall be representative of the monitored activity. Measurement of rainfall may be suspended if all areas of the site have undergone final stabilization or established a cap of annual vegetation and a seeding of target percentages appropriate for the region.

3. Certified personnel (provided by the primary permittee) shall inspect the following at least once every (unless such storm area is over 5.00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday) in each case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first: (a) disturbed areas of the primary permittee's construction site; (b) areas created by the primary permittee for storage of materials that are exposed to precipitation; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the primary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are established, they shall be inspected to ensure water erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a cap of annual vegetation and a seeding of target percentages appropriate for the region, the permittee must comply with Part IV.C.6.(b). These inspections must be conducted within a Notice of Termination is submitted.

4. Certified personnel (provided by the primary permittee) shall inspect all of the areas of a site that have undergone final stabilization or established a cap of annual vegetation and a seeding of target percentages appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are established, they shall be inspected to ensure water erosion control measures are effective in preventing significant impacts to receiving water(s).

5. Based on the results of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, the Plan shall be revised as appropriate not later than seven (7) calendar days following each inspection. Implementation of such changes shall be made as soon as practical but in no case later than seven (7) calendar days following each inspection.

6. A report of each inspection that includes the name(s) of certified personnel making each inspection, the details of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.C.6.(b) of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site or that portion of a site that has not been inspected has undergone final stabilization and a Notice of Termination is submitted to DEP. Such reports shall be readily available by and at the second business day and/or working day and shall identify any areas of the site that require attention. The inspection report shall contain a statement that the best management practices and erosion control measures are being implemented and that the inspection was conducted in accordance with Part IV.C.6.(b) of the permit.

7. A copy of the reports shall be sent to the OWNER/DEVELOPER AS REQUIRED BY THE PERMIT AND THE PROJECT INSPECTOR.

**MAINTENANCE & INSPECTION OF EROSION & SEDIMENTATION CONTROLS**

Maintenance and inspection of erosion and sedimentation controls

The following best management practice maintenance criteria are taken from the "Manual for Erosion and Sediment Control in Georgia", Sixth Edition.

Construction exits shall be maintained in a condition that all prevent tracking or flow of mud into public rights-of-way. They may require periodic top dressing with 1.5 - 2.5 inch stone, or conditions demand, and repair and/or removal of any structures to cross sediment. All materials spilled, dropped, washed, or tracked from vehicles or site into roadway or into storm drains must be removed immediately.

Retain structures shall be free of trash and debris. They will require continuous monitoring and maintenance, which includes sediment removal when one-half of the sediment storage capacity has been lost.

Sediment shall be removed from sediment traps when the sediment has accumulated to one-half the height of the trap. Sediment shall be removed from curb edge protection immediately. For excavated lots, sediment traps, sediment shall be removed when one-half of the sediment storage capacity has been lost to sediment accumulation.

Sediment shall not be washed into the street. It shall be removed from the sediment trap and disposed of and stabilized as described in this plan. It shall not enter the street.

When the contributing drainage area has been permanently stabilized, all materials and any sediment shall be removed, and either recycled or disposed of properly. The stabilized area shall be brought to proper grade, then smoothed and compacted. Appropriately stabilize all disturbed areas around the inlet.

Repair all damaged caused to temporary sediment basins by soil erosion or construction equipment at or before the end of each working day. Sediment shall be removed from the basin when it reaches the specified distance below the top of the basin. Sediment shall not enter adjacent streams or drainage ways during sediment removal or disposal. The sediment shall not be deposited downstream from the basin.

Flagged riprap outlet structures after heavy rains to see if any erosion around or below the riprap has taken place or if stones have been dislodged. Immediately make or correct repairs to prevent further damage.

Inspected areas shall be seeded and mulched as soon as possible to obtain optimum seed germination and growing grass.

Mulch or temporary growing shall be applied to all exposed areas within 14 days of disturbance. Mulch can be used as a temporary erosion control device for up to six months, but it shall be applied at the appropriate rate, depending on the material used, and there is a minimum 90% cover or greater at the surface. Maintenance shall be required to maintain appropriate depth and 90% cover. Temporary vegetation may be employed instead of mulch. If the area will remain undisturbed for less than six months, if an area will remain undisturbed for greater than six months, permanent vegetative techniques will be employed.

Permanent vegetation shall be applied immediately to rough graded areas that will be undisturbed for longer than six months. The practices and timing shall be applied consistently to all areas of final grade. Final Stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

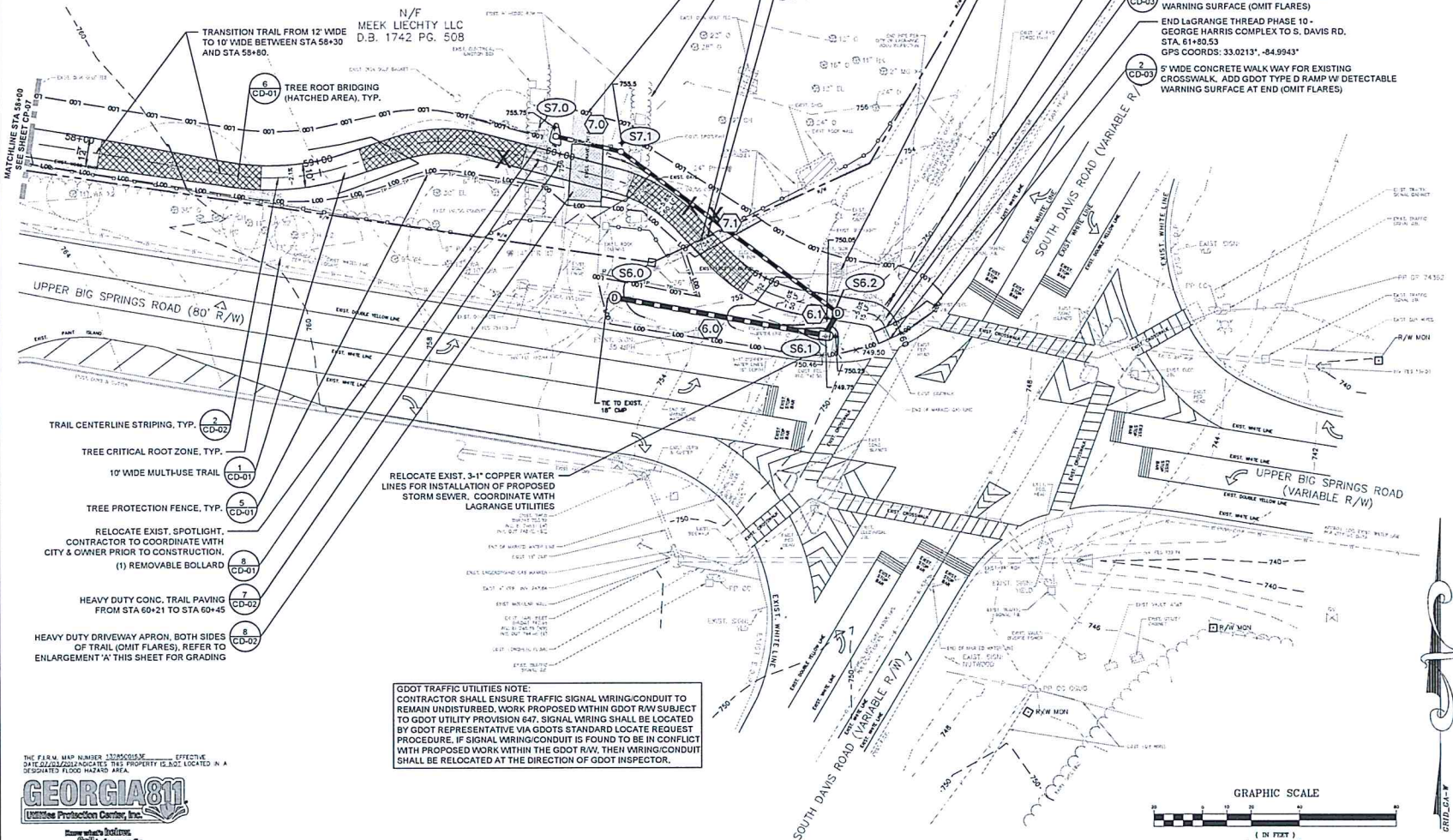
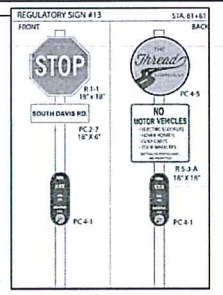
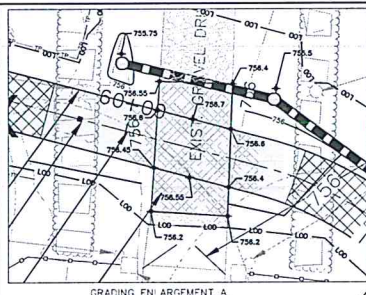
Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside the state-owned limits of a right-of-way that has been certified by the CA DFD for waste disposal, 100% of the soil surface is unencumbered in permanent vegetation with a density of 75% or greater, or unencumbered according to the Plan (uniformly covered with nonbare ground in general unbarren areas), or equivalent permanent stabilization measures. Permanent vegetation shall consist of planted trees, shrubs, ground cover, or a crop of permanent vegetation appropriate for the region, such that within the growing season, 75% coverage by permanent vegetation and a seeding of target percentages appropriate for the region.

Final stabilization means that all soil disturbing activities at the site have been completed, and that for ungrazed areas and areas not covered by permanent structures and areas located outside

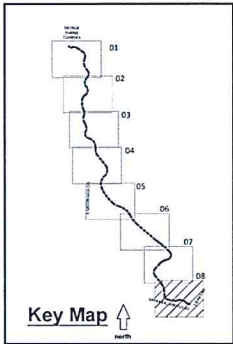
- STANDARD CONSTRUCTION NOTES:**
1. ALL DEMOLITION WASTE SHALL BE DISPOSED OF OFF SITE AT A STATE APPROVED LANDFILL.
  2. CONTRACTOR TO REQUEST CAD FILE FROM PROJECT CIVIL ENGINEER FOR STRIPING.
  3. CONTRACTOR TO INSTALL PAVEMENTS/ ADA COMPLIANT PAVER (60MM 4"x8") AT ALL HANDICAP RAMPS, COLOR: RIVER RED OR APPROVED EQUAL.
  4. UTILITY RELOCATION WORK (HYDRANTS AND UTILITY POLES/SIGNS) NOT INCLUDED WITHIN THIS PROJECT'S SCOPE. OTHER UTILITY WORK, I.E. AS INDICATED IN THE PLANS, CONTRACTOR TO COORDINATE WITH CITY OF LAGRANGE PRIOR TO CONSTRUCTION.
  5. ALL TREES OUTSIDE THE L.O.D. NOT DESIGNATED AS DISEASED, DYING, OR DEAD, 2) PREVIOUSLY VERIFIED FOR REMOVAL BY THE CITY OF LAGRANGE, AND/OR 3) MARKED WITH AN "X" ON THESE PLANS, SHALL BE ASSUMED AS SLATED TO REMAIN AND THEREBY PROTECTED ON SITE DURING CONSTRUCTION FROM ANY AND ALL DAMAGES, INCLUDING IMPACT OR COMPACTION >25% OF THEIR CRITICAL ROOT ZONE.
  - 5.1. THE CONTRACTOR WILL BE HELD LIABLE FOR ANY DAMAGE TO PROTECTED TREES AND/OR THOSE SLATED TO REMAIN AND THEREBY SUBJECT TO ANY PENALTIES LEVIED BY THE CITY, AND/OR GOVERNING BODY(IES) AS COMPENSATION FOR SUCH DAMAGE.

- SIGNING AND MARKING NOTES:**
1. MUTCD SIGN PLACEMENTS ARE APPROXIMATE AND MAY BE ADJUSTED TO MEET FIELD CONDITIONS WHERE NECESSARY, BUT SHALL BE WITHIN THE LIMITATIONS SET FORTH IN THE MUTCD CURRENT EDITION.
  2. ALL EXISTING MUTCD SIGNS WITHIN TRAIL CORRIDOR TO BE RELOCATED SO THE EDGE OF SIGN IS A MIN. 2' OFF TRAIL EDGE, CONTRACTOR TO COORDINATE WITH CITY ON RELOCATION PLACEMENT OF SIGNS WHERE LANDSCAPE BUFFER IS LESS THAN 3' OR WIDE.
  3. ALL MUTCD SIGNS TO BE SET ON NEW POST PER GDOT STD. DETAIL T-3A
  4. ALL NEW ROAD STRIPING AND GDOT STD. CROSSWALK STRIPING TO BE THERMOPLASTIC ON ASPHALT



**CITY OF GEORGIA & WEST, INC.**  
ENGINEERING • LAND SURVEYING • LAND PLANNING  
1000 W. BUCKLEBOURNE DR. SUITE 100  
LANSING, ALA 36506  
TEL: (205) 833-1111  
FAX: (205) 833-1105  
E-MAIL: info@georgiawest.com

**KAIZEN COLLABORATIVE**  
2300 MAIN STREET | TUCKER, GEORGIA 30084 | 404.239.2521



DATE	DESCRIPTION
09/16/2022	50% REVIEW
09/18/2023	50% REVIEW REVISED
10/25/2023	100% ISSUE FOR PERMIT
04/29/2024	ISSUE FOR BID

JOB NUMBER 220523  
PROJECT MANAGER LMW

**LaGRANGE THREAD PHASE 10  
GEORGE HARRIS COMPLEX TO  
SOUTH DAVIS RD  
LaGRANGE, GA**



**GDOT ENCROACHMENT  
CONSTRUCTION PLAN**

SCALE 1" = 20'  
DATE 10-25-2023

SHEET # **GDOT-01**

