

2118 MILVIA ST DEMOLITION - PHASE I

2118 MILVIA ST., BERKELEY CA

2118 MILVIA ST.
DEMOLITION -
PHASE I

BERKELEY CA
BERKELEY CITY
COLLEGE WEST

PERALTA COMMUNITY COLLEGE DISTRICT
833 EIGHTH ST., OAKLAND, CA

RATCLIFF

5856 Doyle Street
Emeryville, CA 94608
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CELL: (510) 912-8386

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ABBREVIATIONS

& @ Ø # (E) (L) (N) (PBO) (R) (RS)	And Diameter Pound or Number Existing Leave New Provided by Owner Remove Remove & Save	F.A. F.A.U. F.D. FDN. F.E. F.E.C. F.H.C. F.H.W.S. FIN. F.J. FL. FLASH. FLUOR. F.O. F.O.C. F.O.F. F.O.S. F.P.F. FT. FTG. FURR. GA. GALV. G.I. G.B. G.D. G.F.C.I. G.L. GR. G.S.M. GYP. H.B. H.C. HDWE. HDWD. H.M. HR. HGT. HORIZ. ID. I. I.F. INSUL. INT. JAN. JST. JT. LAM. LAV. LKR. LT. LB. MALL. MAX. MB. M.C. MECH. MEMB. MET. MFR. MH. MIN. MIR. MISC. M.O. MTD. MUL. N. N.I.C. N.I.H.C. NO. or # NOM. N.T.S. O.A. OBS. O.C. O.D. O.F. OFF. O.H. O.P.N. OPP.	Fire Alarm Forced Air Unit Floor Drain Foundation Fire Extinguisher Fire Extinguisher Cabinet Fire Hose Cabinet Flat Head Wood Screw Finish Floor Joist Floor Flashing Fluorescent Face of Face of Concrete Face of Finish Face of Stud Fireproof Flood or feet Footing Furring Gauge Galvanized Galvanized Iron Grab Bar Garbage Disposer Ground Fault Circuit Interrupter Beam Grade Galv. Sheet Metal Gypsum Hose Bibb Hollow Core Hardware Hardwood Hollow Metal Hour Height Horizontal Inside Diameter (Dim) Inside Face Insulation Interior Janitor Joint Joint Laminated Lavatory Locker Light Lumber Malleable Maximum Machine Bolt Medicine Cabinet Mechanical Membrane Metal Manufacturer Manhole Minimum Mirror Miscellaneous Masonry Opening Mounted Mullion North Not In Contract Not In HUD Contract Number Nominal Not To Scale Overall Obscure On Center Outside Diameter (Dim) Outside Face Office Opposite Hand Opening Opposite	P.D. PERF. PL. P.LAM. PLAS. PLYWD. PR. PT. P.T. P.T.D. PTN. P.T.R. R.D. RAD. R.A.G. REF. REFR. REGTR. REINF. REP. REQ. RESIL. R.J. RM. R.O. R.R. R.W.D. R.W.L. S.C. S.C.D. SCD SCHEM. S.D. SECT. SED SH. SHR. SHT. SHTG. SIM. SLD S.M. SMD S.N.D. S.N.R. SPD SSD SPEC. SQ. S.S.T. S.S.K. STA. STL. STOR. STRL. SUSP. SYM. T. TKBD. T.B. T.C. TEL. TEMP. TER. T & G. THK. T.P. T.P.D. TRK. TV. T.W. TYP. UNF. UNIV. U.O.N. UR. VERT. VEST. V.G. W. W.C. WD. WH. W.O. W.O. WP. W.R. WSCT. WT.	Powder Driven Perforated Plate Plastic Laminate Plaster Plywood Pair Point Post-tensioned Paper Towel Dispenser Partition Paper Towel Receptacle Roof Drain Radius Return Air Grille Reference Refrigerator Register Reinforced Representative Required Resilient Roof Joist Room Rough Opening Roof Rafter Redwood Rain Water Leader Solid Core Seat Cover Dispenser See Civil Documents Schedule Soap Dispenser Section See Electrical Documents Shelf Shower Sheet Sheathing Similar See Landscape Drawings Sheet Metal See Mechanical Drawings Sanitary Napkin Dispenser Sanitary Napkin Receptacle See Plumbing Drawings See Structural Drawings Specification Square Stainless Steel Service Sink Station Steel Storage Structural Suspended Symmetrical Tread Tack Board Towel Bar Top of Curb Telephone Tempered Terrazzo Tongue & Groove Thick Top of Pavement Toilet Paper Dispenser Track Television Top of Wall Typical Unfinished University Unless Otherwise Noted Urnal Vertical Vestibule Vertical Grain West With Water Closet Wood Waterheater Where Occurs Without Waterproof, Weatherproof Water Resistant Wainscot Weight
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GENERAL NOTES

- PRIOR TO BID SUBMISSION, REVIEW THE WORK OF ALL TRADES BY REVIEWING A COMPLETE SET OF CONSTRUCTION DOCUMENTS & VERIFY ONSITE CONDITIONS. NO EXTRA PAYMENT WILL BE ALLOWED FOR WORK RESULTING FROM LACK OF PROPER APPRAISAL OF THE COMPLETE SCOPE OF WORK.
- ALL DIMENSIONS AND GRIDLINES ARE TO THE FACE OF WOOD STUDS, TO CENTERLINES OF PARTY WALLS, AND TO FACE OF MASONRY WALLS TYP. U.O.N.
- ALL DIMENSIONS SHALL BE AS INDICATED ON THE DRAWINGS OR AS CLARIFIED BY ARCHITECT. UNDER NO CIRCUMSTANCES SHALL DIMENSIONS BE DETERMINED BY SCALING THE DRAWINGS.
- ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. DO NOT RESUME WORK UNTIL SUCH ITEMS HAVE BEEN RESOLVED.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND THE HIGHEST STANDARDS OF THE TRADE.
- ALL WORK SHALL BE DONE IN A SAFE, ORDERLY MANNER WITHOUT DAMAGE TO OTHER PARTS OF THE PREMISES OR ADJACENT PROPERTIES.
- PROVIDE BLOCKING FOR ADEQUATE SUPPORT OF FIXTURES, CABINETS, BATHROOM ACCESSORIES, HARDWARE, AND OTHER EQUIPMENT SUSPENDED ON CEILING OR MOUNTED ON WALL.
- NO MATERIAL CONTAINING ASBESTOS MAY BE USED.
- THERE SHALL BE NO OBSTRUCTIONS (SUCH AS TREE BRANCHES, SIGNS) OVER SIDEWALKS UNDER 8'-0" ABOVE SIDEWALK GRADE, PER ADA ACCESSIBILITY REQUIREMENTS. AWNINGS EXTENDING OVER SIDEWALKS SHALL BE 8'-0" CLEAR ABOVE SIDEWALK GRADE.
- WORK SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE DISTURBANCE TO THE PUBLIC AND TO OCCUPANTS OF THE EXISTING BUILDINGS. ALL SOILS STOCKPILED ON THE SITE DURING CONSTRUCTION SHALL BE COVERED OR OTHERWISE PROTECTED FROM WIND AND WATER EROSION (EROSION AND SEDIMENTATION CONTROL PLAN)
- THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR SAFETY OF ALL PERSONS ON OR ABOUT THE CONSTRUCTION SITE. IN ACCORDANCE WITH APPLICABLE LAWS AND CODES. GUARD AGAINST ALL HAZARDS IN ACCORDANCE WITH SAFETY PROVISIONS OF THE LATEST MANUAL OF ACCIDENT PREVENTIONS PUBLISHED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA.
- CLEAN ALL EXPOSED SURFACES AND NEW EQUIPMENT AFTER COMPLETION.
- MATERIALS USED ARE NEW, UNLESS OTHERWISE NOTED AS EXISTING.
- ALL EXPOSED GSM FLASHING SHALL BE PAINTED.
- NOTE: ALL MATERIALS TO BE NON-COMBUSTIBLE WITH THE EXCEPTION OF NON-STRUCTURAL, NON-BEARING WALL MEMBERS THAT MAY BE FIRE RETARDANT TREATED WOOD.

SYMBOLS

KEY NOTE	ROOM NAME	ROOM NAME/NUMBER
GRID LINE	101	
DOOR NUMBER	1	A1.1
WINDOW TYPE	DELTA	SECTION REFERENCE
REVISION NUMBER	DELTA	
REF. ELEVATIONS	V R G G	FINISHES REFERENCE
SIGN TYPE	DELTA	INTERIOR ELEVATION REFERENCE
EXTERIOR ELEVATION	A	WALL TYPE (ASSEMBLY)
SECTION	A	REVISION CLOUD AND DELTA

PROJECT DIRECTORY

OWNER: PERALTA COMMUNITY COLLEGE DISTRICT DEPARTMENT OF GENERAL SERVICES 833 8TH ST., OAKLAND CA	CAMPUS: BERKELEY CITY COLLEGE BERKELEY CA
DESIGN - BUILD TEAM:	ARCHITECT: RATCLIFF ARCHITECTS 5856 DOYLE ST EMERYVILLE, CA 94608 (510) 899-6400
CONTRACTOR: XL CONSTRUCTION 861 BUCKEYE COURT MILPITAS, CA 95035 (408)240-6378	CONSULTANT ARCHITECT - PHASE I: POWELL & PARTNERS 311 OAK ST, STE 331 OAKLAND, CA (510) 912-8386
STRUCTURAL ENGINEER: DEGENKOLB ENGINEERS 1300 CLAY ST STE 300 OAKLAND, CA 94612 (510) 272-9040	CIVIL ENGINEER: CSW1 STZ 121 PARK PLACE RICHMOND CA 94801 (415) 883-9850
ELECTRICAL DESIGN-BUILD CONTRACTOR: ROSENDIN ELECTRIC 2121 OAKDALE AVE SAN FRANCISCO, CA 94124 (415) 495-9300 CONTACT: RICK MCINTOSH	MECHANICAL DESIGN-BUILD CONTRACTOR: FM BOOTH 251 MICHELLE CT. SOUTH SAN FRANCISCO, CA 94080 (650) 589-1844 CONTACT: LAWRENCE BOOTH

SCOPE OF WORK

WORK INCLUDES THE DEMOLITION OF ENTIRE BUILDING, DISPOSAL OF ALL EXISTING BUILDING COMPONENTS DOWN TO AND INCLUDING SLAB, 12" OF PIER CAPS AND SITE FEATURES INCLUDING, BUT NOT LIMITED TO ALL EXISTING UTILITIES, GAS METERS, STORM AND SEWER DRAINAGE, PAVING, TREES AND STUMPS, FENCING, ETC. WITHIN THE DESIGNATED SCOPE OF WORK BOUNDARIES.

THE WORK ALSO TO INCLUDE THE ABATEMENT AND REMOVAL OF ALL ASBESTOS CONTAINING MATERIAL, LEAD BASE PAINT REMOVAL AND PCB BALLAST REMOVAL IN ENTIRE STRUCTURE.

CONTRACTOR TO RECYCLE, SALVAGE AND RE-USE PRODUCTS AND MATERIALS AS REQUIRED TO MEET 75% DEMOLITION WASTE DIVERSION FROM LANDFILLS AS ESTABLISHED BY LEED CRITERIA.

INDEX OF DRAWINGS

ARCHITECTURAL	
Sheet Name	Sheet Number
SITE - ROOF PLAN	A101
EXTERIOR ELEVATIONS	A102
TITLE SHEET	A100

CIVIL	
SITE DEMOLITION	C100

STRUCTURAL	
FOUNDATION DEMOLITION PLAN	S100
EXISTING DETAILS FOR REFERENCE ONLY	S200

PLANS OF EXISTING BUILDING FOR REFERENCE ONLY
PERMIT CENTER BY ANSON ALLEN DATED 2-16-96

INDEX / CODE / SITE LOCATION	A1.0
FIRST FLOOR PLAN	A2.1
FIRST FLOOR PLAN	A2.1
SECOND FLOOR PLAN	A2.2
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CASEWORK PLANS SECTIONS AND DETAILS	A5.1
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PARTITION AND MISC DETAILS	A6.1
FIRST FLOOR LIGHTING	E2.1L
FIRST FLOOR PLAN POWER AND SIGNAL	E2.1P

PROJECT INFORMATION

APN # 57-2022-5-1
PROJECT LOCATION: 2118 MILVIA ST, BERKELEY CA
XST CENTER ST

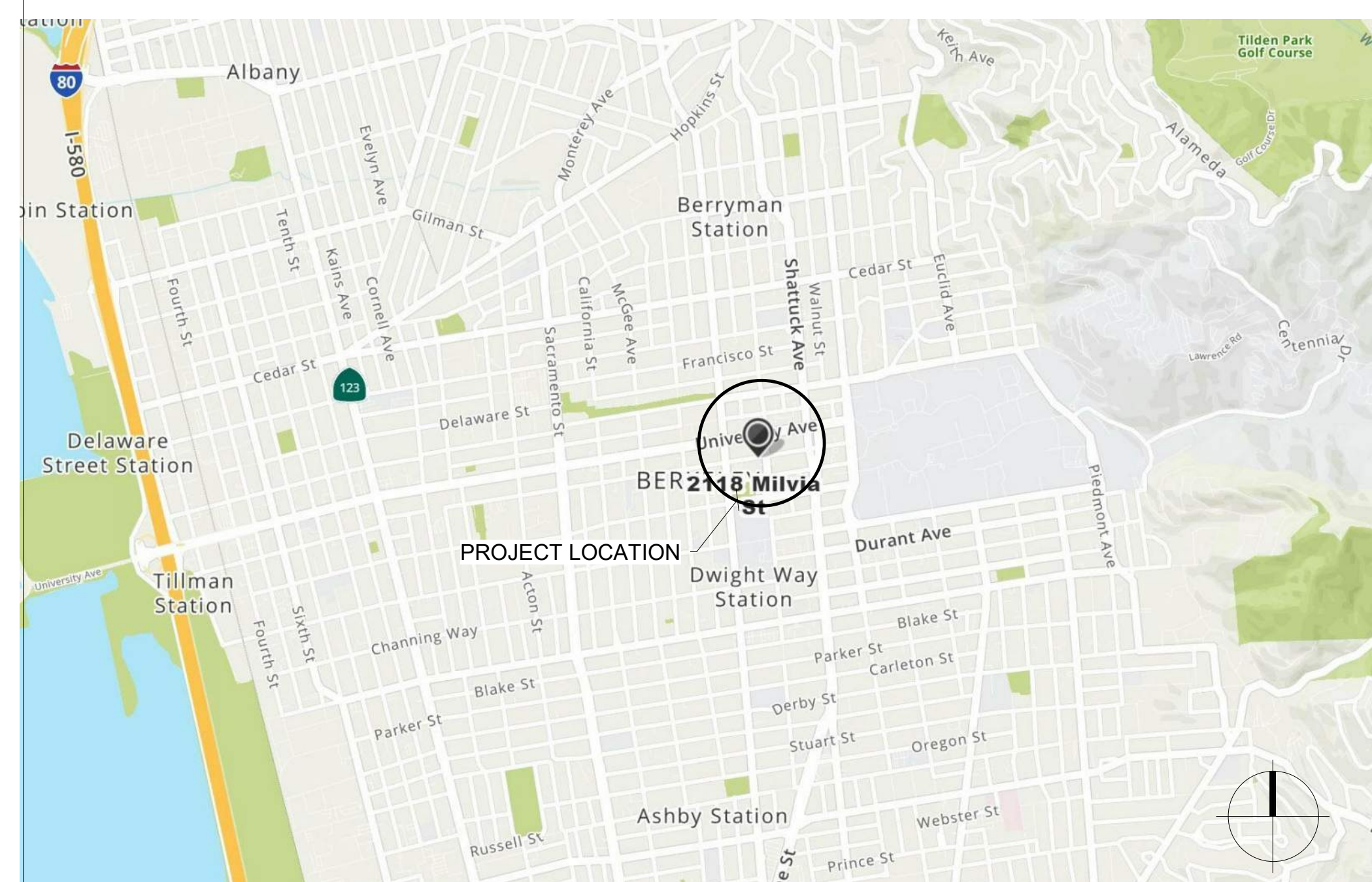
NUMBER OF STORIES:	3 STORIES
BUILDING HEIGHT: APPROXIMATELY 36 - 40 FT	
TOTAL BUILDING FLOOR AREA:	
1ST FLOOR	9,850 SF
2ND FLOOR	10,250 SF
3RD FLOOR	4,620 SF
TOTAL	24,720 SF

LOT AREA 11,376 SF

APPLICABLE CODES

- 2019 CALIFORNIA BUILDING CODE (CBC), PARTS 1 & 2, TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS (C.C.R.)
- CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
- CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.
- CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
- 2019 CALIFORNIA FIRE CODE (CFC)

VICINITY MAP



PROJECT

2118 MILVIA ST DEMOLITION
- PHASE I

SHEET TITLE

TITLE SHEET

SCALE

JOB NO.

DATE

DRAWN BY:

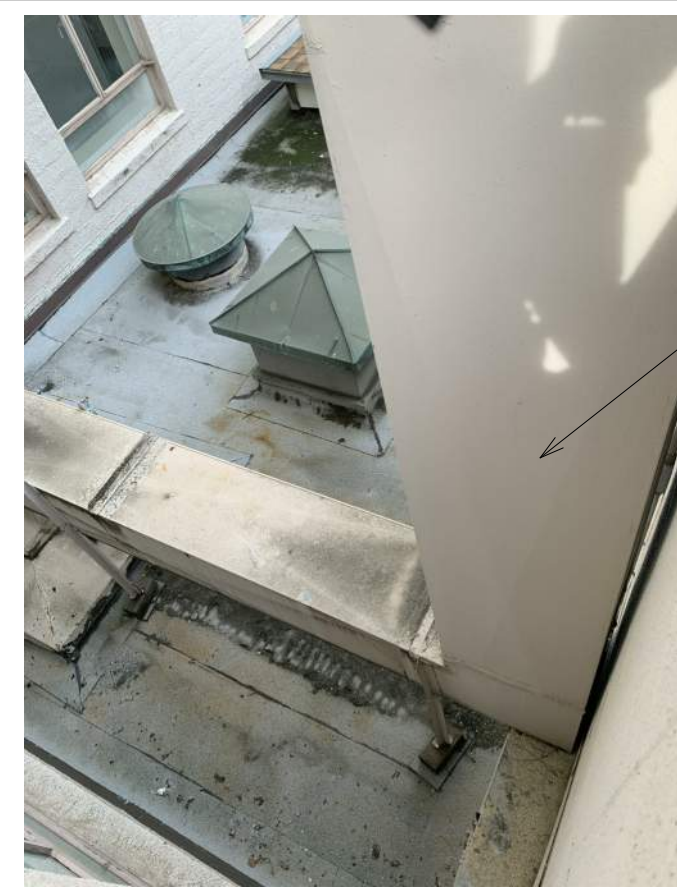
CHECKED BY:

SHEET NO.

FILE NO.

Issue Date
Author
Checker

A100



REMOVE EXISTING DUCTWORK BY CITY OF BERKELEY

1



REMOVE EXISTING EHAUST FAN AND DUCTWORK BY CITY OF BERKELEY

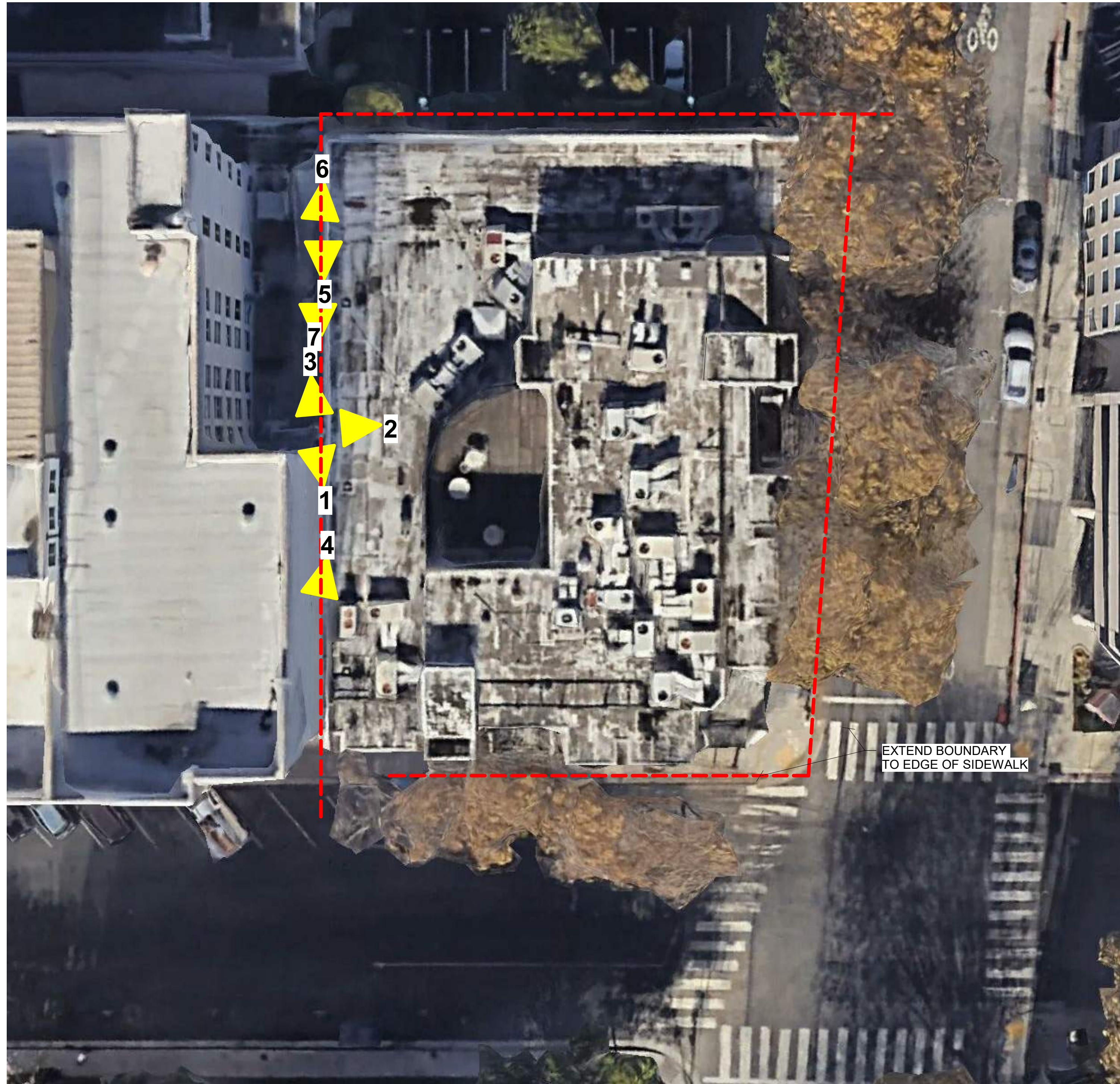
2



CAP DUCT WORK AT ROOF. PROVIDE SHT. METAL CAP BY CITY OF BERKELEY

3

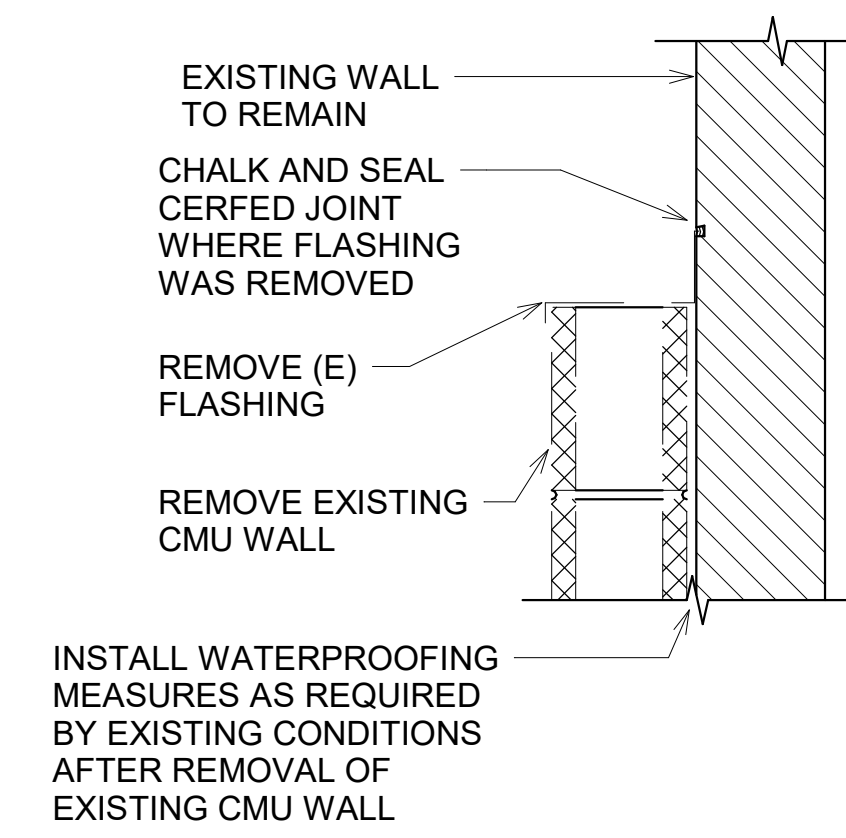
REMOVE EXISTING DUCTWORK BY CITY OF BERKELEY



① SITE - ROOF PLAN
1 1/2" = 1'-0"



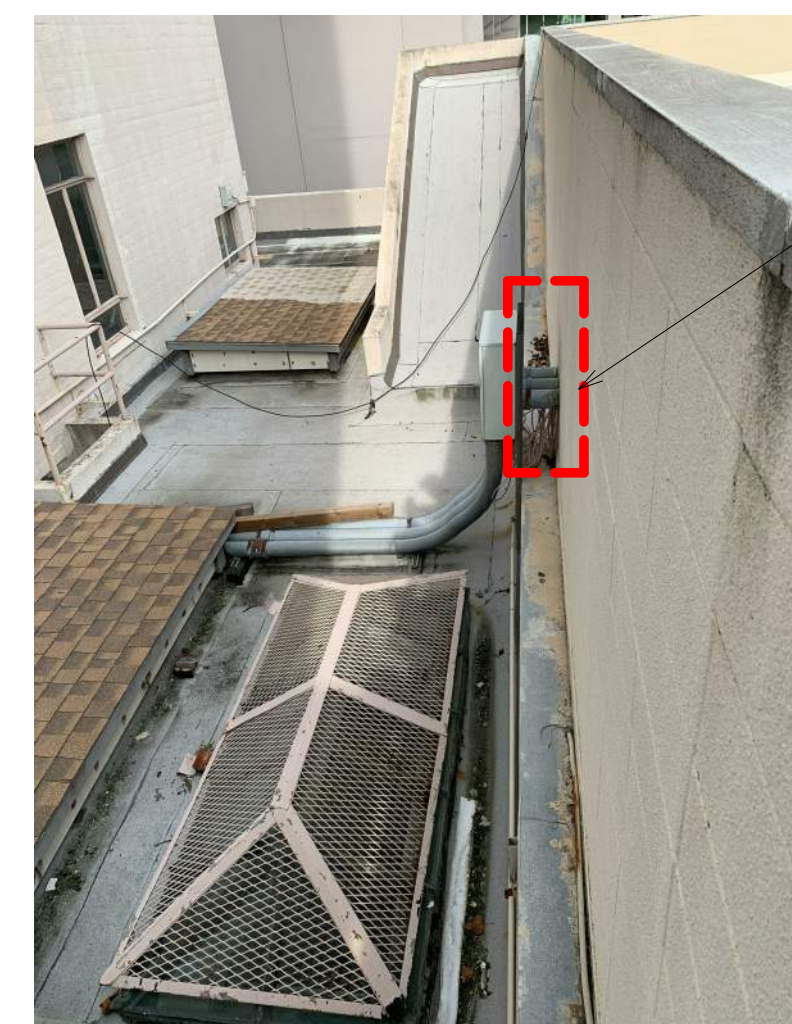
4



② WATERPROOFING DETAIL
1 1/2" = 1'-0"

LEGEND:

- - - - - = PROJECT BOUNDARY



REMOVE CONDUIT AND CABLING AT WALL PENETRATION.. TERMINATE WIRING AT J-BOX. AND MAKE J-BOX WATER TIGHT BY CITY OF BERKELEY

7



6



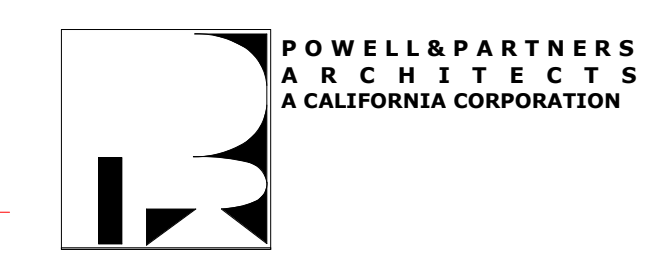
5

EXISTING ANTENNA TO BE RELOCATED BY CITY OF BERKELEY

EXISTING STAIRWAY TO REMAIN MAKE EXISTING WALL WATER TIGHT

RATCLIFF

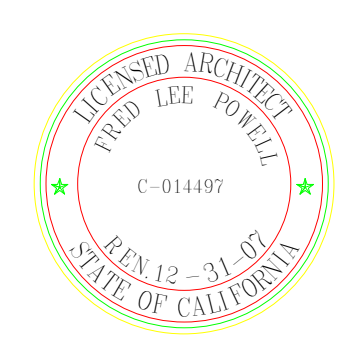
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No.	Description	Date



PROJECT
**2118 MILVIA ST DEMOLITION
- PHASE I**

SITE - ROOF PLAN

SCALE 1 1/2" = 1'-0"

JOB NO.

DATE

DRAWN BY: Issue Date

CHECKED BY: Author

SHEET NO. Checker

A101

FILE NO.



② SOUTH ELEVATION
1 1/2" = 1'-0"



① NORTH ELEVATION
1 1/2" = 1'-0"



③ EAST ELEVATION
1 1/2" = 1'-0"

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DEMOLITION -
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BERKELEY CITY
COLLEGE WEST
PERALTA COMMUNITY COLLEGE DISTRICT
833 EIGHTH ST., OAKLAND, CA

RATCLIFF

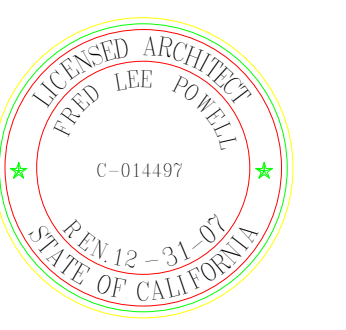
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No.	Description	Date



PROJECT
2118 MILVIA ST DEMOLITION
- PHASE I

SHEET TITLE
EXTERIOR
ELEVATIONS

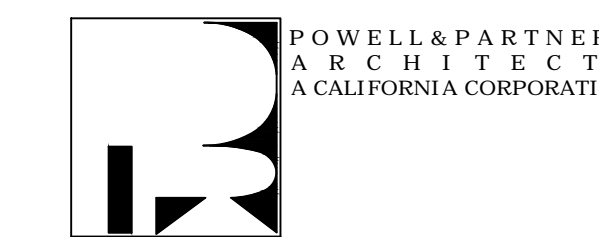
SCALE 1 1/2" = 1'-0"
JOB NO.
DATE Issue Date
DRAWN BY: Author
CHECKED BY: Checker
SHEET NO. **A102**
FILE NO.

**2118 MILVIA ST.
DEMOLITION -
PHASE I**

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BERKELEY CITY COLLEGE WEST
PERALTA COMMUNITY COLLEGE DISTRICT
833 EIGHTH ST., OAKLAND, CA

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CSW ST2

CSW/Stuber-Stroth
Engineering Group, Inc.

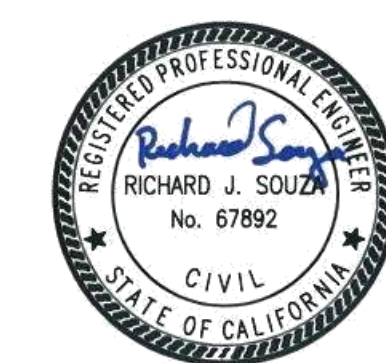
121 Park Place, Suite 200
Redwood City, CA 94061

tel: 415.883.9850
fax: 415.883.9850

Civil Engineers
Surveying & Mapping
Land Planning
Construction Management

http://www.cswst2.com

No.	Description	Date



PROJECT
**2118 MILVIA ST.
BERKELEY, CA
DEMOLITION -
PHASE I**

**SHEET TITLE
SITE
DEMOLITION**

SCALE:
JOB NO. SHEET NO.
DATE 02/17/2022
DRAWN BY: JBD
CHECKED BY: RJS

FILE NAME: **C100**

GENERAL NOTES:

- ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL REQUIRE A CITY ENCROACHMENT PERMIT.
- UTILITIES AS SHOWN CONFORM TO AVAILABLE RECORD DATA. THE EXISTENCE, LOCATION AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION AND DEPTHS BY POTHOLING OF ALL UTILITIES WITH APPROPRIATE AGENCIES, AND TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. ANY CONFLICTS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
- PAVEMENT MARKINGS DISTURBED, DAMAGED IN ANY FORM, OR TO ANY DEGREE WHILE THE CONTRACTOR HAS CUSTODY OF THE SITE SHALL BE REPLACED IN THEIR ENTIRETY AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL CONTACT CITY ARBORIST IN ADVANCE OF ANY DEMOLITION. CONTRACTOR SHALL ADHERE TO CITY SPECIFICATIONS AND RECOMMENDATIONS FOR TREE PRESERVATION.
- TREE PROTECTION - PROVIDE FOR WRAPPING TREES, KEEPING EXPOSED ROOTS MOIST, AND USE OF AIR TOOLS FOR EXCAVATING (SEE DETAIL 1, THIS SHEET), MEET WITH CITY ARBORIST PRIOR TO COMMENCEMENT OF WORK.

POLLUTION CONTROL NOTES:

- IF SIGNIFICANT SEDIMENT OR OTHER VISUAL SYMPTOMS OF IMPURITIES ARE NOTICED IN THE STORM WATER, CONTACT THE CITY ENGINEER IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND RESTORATION OF ALL ASPECTS OF THIS PLAN. SEDIMENT ON SIDEWALKS AND GUTTERS SHALL BE REMOVED BY SHOVEL AND/OR BRROOM AND PLACED IN STOCKPILES.
- ALL DUMPSTERS OR OTHER TRASH STORAGE ENCLOSURES SHALL BE UTILIZED SOLELY FOR NON-HAZARDOUS MATERIALS.
- ALL EMPLOYEES, CONTRACTORS, AND SUBCONTRACTORS ARE RESPONSIBLE FOR CONFORMING TO THE ELEMENTS SHOWN ON THIS PLAN OR RELATED DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND FILING ALL PLANS WITH RELATED AGENCIES ASSOCIATED WITH THEIR WORK. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, PERMITS FOR STORAGE OF HAZARDOUS MATERIALS, BUSINESS PLANS, PERMITS FOR STORAGE OF FLAMMABLE LIQUIDS, GRADING PERMITS, OR OTHER PLANS OR PERMITS REQUIRED BY ALAMEDA COUNTY, THE CITY OF BERKELEY, OR OTHER AGENCIES. ALL CONTRACTORS, OR SUBCONTRACTORS WORKING ON-SITE ARE INDIVIDUALLY RESPONSIBLE FOR OBTAINING AND SUBMITTING ANY BUSINESS PLANS OR PERMITS REQUIRED BY CITY, STATE OR LOCAL AGENCIES.
- CONTRACTOR SHALL LOCATE STORAGE, DELIVERY, OR WASH-OUT AREAS, TO SUIT THEIR OPERATIONS. CONTRACTOR TO MAINTAIN SECONDARY CONTAINMENT AS NECESSARY TO PROHIBIT POLLUTION AND TOXIC MATERIALS FROM ENTERING STORM DRAIN.

EROSION CONTROL NOTES:

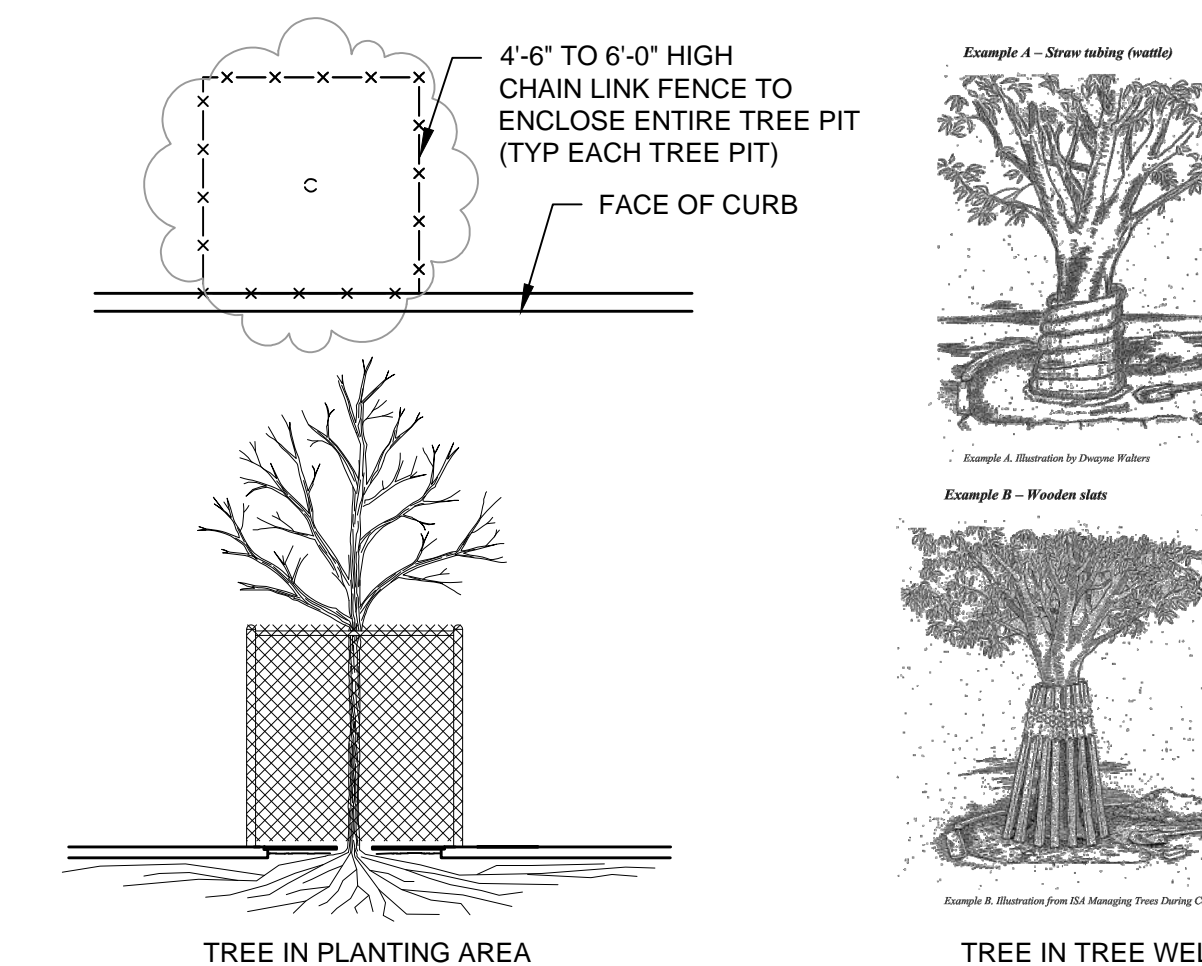
- NO VEHICLES SHALL BE ALLOWED TO TRACK OR SPREAD SOIL FROM THE CONSTRUCTION AREAS ONTO EXISTING PAVED PUBLIC STREETS.
- THE EROSION AND SEDIMENT CONTROL MEASURES WILL BE OPERABLE DURING THE RAINY SEASON, OCTOBER 1ST TO APRIL 15TH. NO GRADING WILL OCCUR BETWEEN OCTOBER 1ST AND APRIL 15TH, UNLESS AUTHORIZED BY THE CITY ENGINEER.
- DURING THE RAINY SEASON, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE WILL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF ENTERS THE STORM DRAIN SYSTEM. THESE PLANS SHALL REMAIN IN EFFECT UNTIL THE TRACT IMPROVEMENTS ARE ACCEPTED BY THE CITY, AND ALL SLOPES ARE STABILIZED FROM EROSION.

URBAN RUNOFF POLLUTION NOTES:

- STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY FOR THE DURATION OF THE PROJECT.
- REMOVE SPOILS PROMPTLY AND AVOID STOCKPILING OF FILL MATERIALS WHEN RAIN IS FORECAST. IF RAIN THREATENS, STOCK-PILED SOILS AND OTHER MATERIALS SHALL BE TARPED, AT THE REQUEST OF THE CITY ENGINEER.
- STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES SO AS TO PREVENT THEIR ENTRY TO THE STORM DRAIN SYSTEM. CONTRACTOR MUST NOT ALLOW CONCRETE, WASHWATERS, SLURRIES, PAINT OR OTHER MATERIALS TO ENTER CATCH BASINS OR TO ENTER SITE RUNOFF.
- USE FILTRATION OR OTHER MEASURES TO REMOVE SEDIMENT FROM DEWATERING EFFLUENT.
- NO CLEANING, FUELING OR MAINTAINING VEHICLES ON SITE SHALL BE PERMITTED IN ANY MANNER THAT ALLOWS DELETERIOUS MATERIALS TO ENTER CATCH BASINS OR TO ENTER SITE RUNOFF.

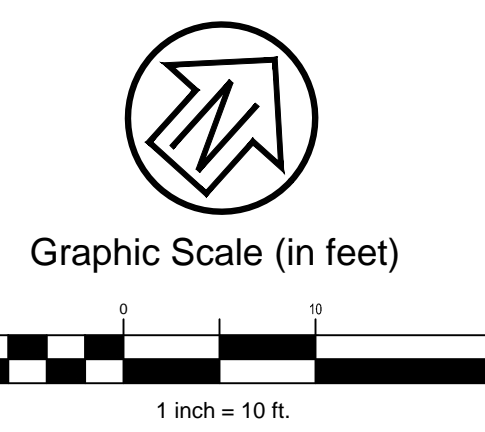
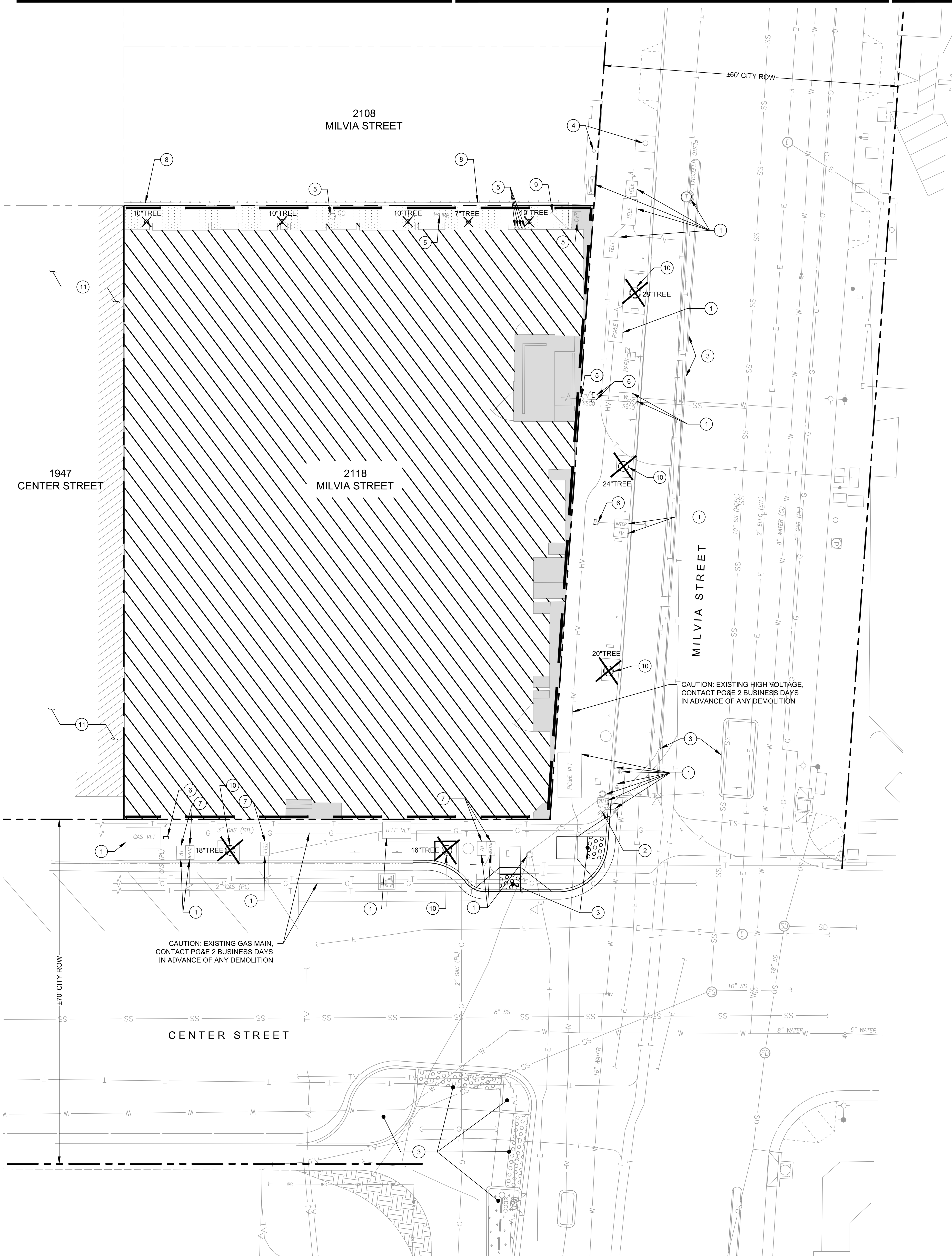
BMP IMPLEMENTATION SCHEDULE:

- BMP'S APPROPRIATE FOR THE WORK BEING DONE SHALL BE IN PLACE AT ALL TIMES.
- PERIMETER CONTROL, EXISTING INLET PROTECTION, AND CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
- ALL OTHER BMP'S SHALL BE INSTALLED AT COMPLETION OF CONSTRUCTION OF EACH INLET.



- NOTE:**
- CONSIDER TRAFFIC TURNING VISIBILITY AND PEDESTRIAN VISIBILITY WHEN SELECTING FENCE HEIGHT. TYPICALLY SHORTER FENCING AROUND TREE PITS BETWEEN SIDEWALK AND ROADWAY IS DESIRED
 - TREES IN PLANTING AREAS TO BE PROTECTED BY FENCING AND TREES IN TREE WELLS TO BE PROTECTED BY WATTLE AND 2X4 WOODEN SLATS. FOR MORE CITY REQUIREMENTS, REFER TO 'ROOT PRUNING GUIDELINES' FOR WHEN A CONTRACTOR PERFORMS ROOT PRUNING ON CITY TREES.

1 TREE PROTECTION DURING CONSTRUCTION
SCALE: 1" = 1'



LEGEND

[Hatched pattern]	EXISTING BUILDING AND FOUNDATION TO BE DEMOLISHED (SEE ARCHITECTURAL AND STRUCTURAL PLANS)
[Dashed pattern]	REMOVE AND DISPOSE EX. HARDSCAPE (INCLUDING BASE ROCK AND FOUNDATION)
[Stippled pattern]	CLEAR, GRUBB AND DISPOSE (INCLUDING ALL TREES, ROOT BALL, SHRUBS, PLANTING, AND ALL OTHER ORGANIC MATTER UP TO 18" MIN. BELOW GRADE)
[Dotted pattern]	APPROXIMATE LIMITS OF METAL SHEET PILES (FUTURE WORK BY OTHERS), CONTRACTOR SHALL PROTECT IN PLACE EXISTING SIDEWALK IN PUBLIC RIGHT-OF-WAY

- KEYNOTES**
- PROTECT IN PLACE EXISTING UTILITY (INCLUDING BOX STRUCTURES, PIPES, CONDUITS, AND ANY OTHER APPURTENANCES UNLESS NOTED OTHERWISE)
 - PROTECT IN PLACE EXISTING FIRE HYDRANT. CONTRACTOR SHALL MAINTAIN FIRE ACCESS AT ALL TIMES AS APPROVED BY THE LOCAL FIRE MARSHAL
 - FUTURE IMPROVEMENTS BY CITY OF BERKELEY (PROTECT IN PLACE)
 - PROTECT IN PLACE EX. TREE AS REQUIRED BY THE CITY OF BERKELEY
 - REMOVE AND DISPOSE EX. UTILITY (INCLUDING BOX STRUCTURES, LIDS, PIPES, CONDUITS, ETC), IF UTILITY EXTENDS BEYOND PROPERTY LINE, CAP UTILITY 24" MIN. OUTSIDE PROPERTY LINE PER APPLICABLE UTILITY AGENCY'S LATEST STANDARD
 - CAP EXISTING UTILITY 24" MIN. OUTSIDE PROPERTY LINE FOR FUTURE TIE-IN PER APPLICABLE UTILITY AGENCY'S LATEST STANDARD
 - CONTRACTOR SHALL VERIFY IN FIELD IF SERVICE LATERAL EXISTS SERVING EXISTING BUILDING. IF A SERVICE LATERAL IS FOUND, CAP EXISTING UTILITY 24" MIN. OUTSIDE PROPERTY LINE FOR FUTURE TIE-IN PER APPLICABLE UTILITY AGENCY'S LATEST STANDARD
 - PROTECT IN PLACE EXISTING RETAINING WALL, FOUNDATION, FENCE, AND ANY TREES OR VEGETATION OUTSIDE OF LIMITS OF WORK
 - REMOVE AND DISPOSE EX. GATE (INCLUDING FOUNDATION (WHERE OCCURS), MESH, AND ANY OTHER APPURTENANCES)
 - REMOVE AND DISPOSE EX. TREE ABOVE GRADE
 - PROTECT IN PLACE EX. BUILDING, FOUNDATION, AND ANY OTHER APPURTENANCES UNLESS NOTED OTHERWISE)

SYMBOLS

[Symbol]	EXISTING	[Symbol]	BOLLARD
[Symbol]		[Symbol]	SIGN
[Symbol]		[Symbol]	TREE TO BE REMOVED
[Symbol]		[Symbol]	LIGHT - POST MOUNTED
[Symbol]		[Symbol]	SANITARY SEWER - CLEANOUT
[Symbol]		[Symbol]	SANITARY SEWER - MANHOLE
[Symbol]		[Symbol]	STORM DRAINAGE - AREA DRAIN
[Symbol]		[Symbol]	STORM DRAINAGE - CLEANOUT
[Symbol]		[Symbol]	STORM DRAINAGE - DROP INLET
[Symbol]		[Symbol]	STORM DRAINAGE - MANHOLE
[Symbol]		[Symbol]	GAS VALVE
[Symbol]		[Symbol]	UTILITY MANHOLE - ELECTRIC
[Symbol]		[Symbol]	FIRE HYDRANT
[Symbol]		[Symbol]	WATER METER
[Symbol]		[Symbol]	WATER VALVE
[Symbol]		[Symbol]	CONTROL POINT

LINETYPES

[Line style]	EXISTING	[Line style]	BOUNDARY LINE
[Line style]	CTV	[Line style]	CABLE TELEVISION
[Line style]		[Line style]	CONTOUR - MAJOR
[Line style]		[Line style]	CONTOUR - MINOR
[Line style]		[Line style]	FENCE
[Line style]		[Line style]	RETAINING WALL
[Line style]		[Line style]	TREE DRIPLINE
[Line style]		[Line style]	ELECTRICAL LINE
[Line style]	F	[Line style]	FIRE WATER
[Line style]	G	[Line style]	GAS LINE
[Line style]	HV	[Line style]	HIGH VOLTAGE
[Line style]	L	[Line style]	LIGHTING
[Line style]	SS	[Line style]	SANITARY SEWER
[Line style]	SD	[Line style]	STORM DRAIN
[Line style]	T	[Line style]	TELECOM LINE
[Line style]	W	[Line style]	WATER



GENERAL NOTES:

I. GENERAL

1. MATERIALS AND WORKMANSHIP TO CONFORM WITH THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE.
2. DO NOT SCALE THE DRAWINGS.
3. INFORMATION SHOWN ON THE DRAWINGS RELATED TO EXISTING CONDITIONS REPRESENTS THE PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. REPORT CONDITIONS THAT CONFLICT WITH THE CONTRACT DOCUMENTS TO THE ARCHITECT. DO NOT DEVIATE FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN DIRECTION FROM THE ARCHITECT.
4. VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD PRIOR TO START OF WORK.
5. ALL DEMOLISHED MATERIALS, DEBRIS, AND RUBBISH SHALL BE REMOVED FROM SITE AS SOON AS POSSIBLE. DO NOT ACCUMULATE DEBRIS ON THE FLOOR OR AT THE SITE.
6. USE ALL MEANS NECESSARY TO PREVENT THE SPREAD OF DUST TO ADJACENT AREAS.
7. CONDUCT DEMOLITION OPERATIONS & THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH STREETS, WALKS, & OTHER ADJACENT OCCUPANTS OR USED FACILITIES. COMPLY WITH LOCAL JURISDICTION REQUIREMENT FOR RECYCLING AND TREATMENT OF ITEMS TO BE RECYCLED.
8. DISPOSE OF ALL DEMOLISHED OR REMOVED MATERIAL LEGALLY OFF THE SITE. COMPLY WITH ALL LOCAL HAULING AND DISPOSAL REQUIREMENTS.
9. DEMOLITION PROCEDURES SHALL COMPLY WITH ALL STANDARD LOCAL, NATIONAL, STATE AND FEDERAL SAFETY REQUIREMENTS.
10. SHORE EXISTING FRAMING AS REQUIRED.
11. ENSURE A WALL/COLUMN IS NON BEARING, EITHER BY DESIGN OR BY PROVIDING SHORING ADJACENT TO IT, BEFORE DEMOLISHING ON SITE IF THE SUPPORTED FRAMING IS NOT DEMOLISHED PRIOR TO THE WALL/COLUMN.
12. LOCATE AND PROTECT EXISTING UTILITIES TO REMAIN DURING AND/OR AFTER DEMOLITION. SEE CIVIL DRAWINGS FOR UTILITIES TO REMAIN.
13. REMOVE ALL EXISTING FOOTINGS, UTILITIES, ETC. WHICH INTERFERE WITH NEW CONSTRUCTION.
14. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, UNDERPINNING AND PROTECTION OF EXISTING ADJACENT BUILDING CONSTRUCTION.
15. DO NOT PERMIT ANY PERSON TO DESCEND INTO TRENCHES OR EXCAVATIONS 4'-0" OR GREATER IN DEPTH UNLESS NECESSARY PERMIT FROM STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY IS OBTAINED PRIOR TO ISSUANCE OF DEMOLITION PERMIT.

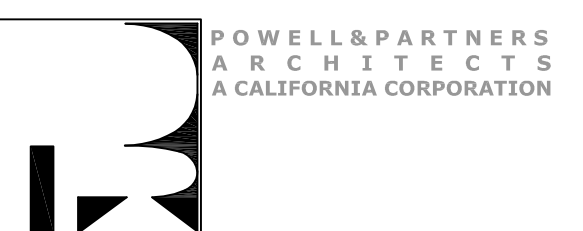
16. DESIGN TEAM
 HOLLY RAZZANO PROJECT PRINCIPAL
 HEAVENZ KAUR ASSOCIATE

2118 MILVIA ST.
 DEMOLITION -
 PHASE I

BERKELEY CA
 BERKELEY CITY COLLEGE WEST
 PERALTA COMMUNITY COLLEGE DISTRICT
 833 EIGHTH ST., OAKLAND, CA

RATCLIFF

5856 Doyle Street
 Emeryville, CA 94608
 Tel 510 899 6400
 www.ratcliffarch.com

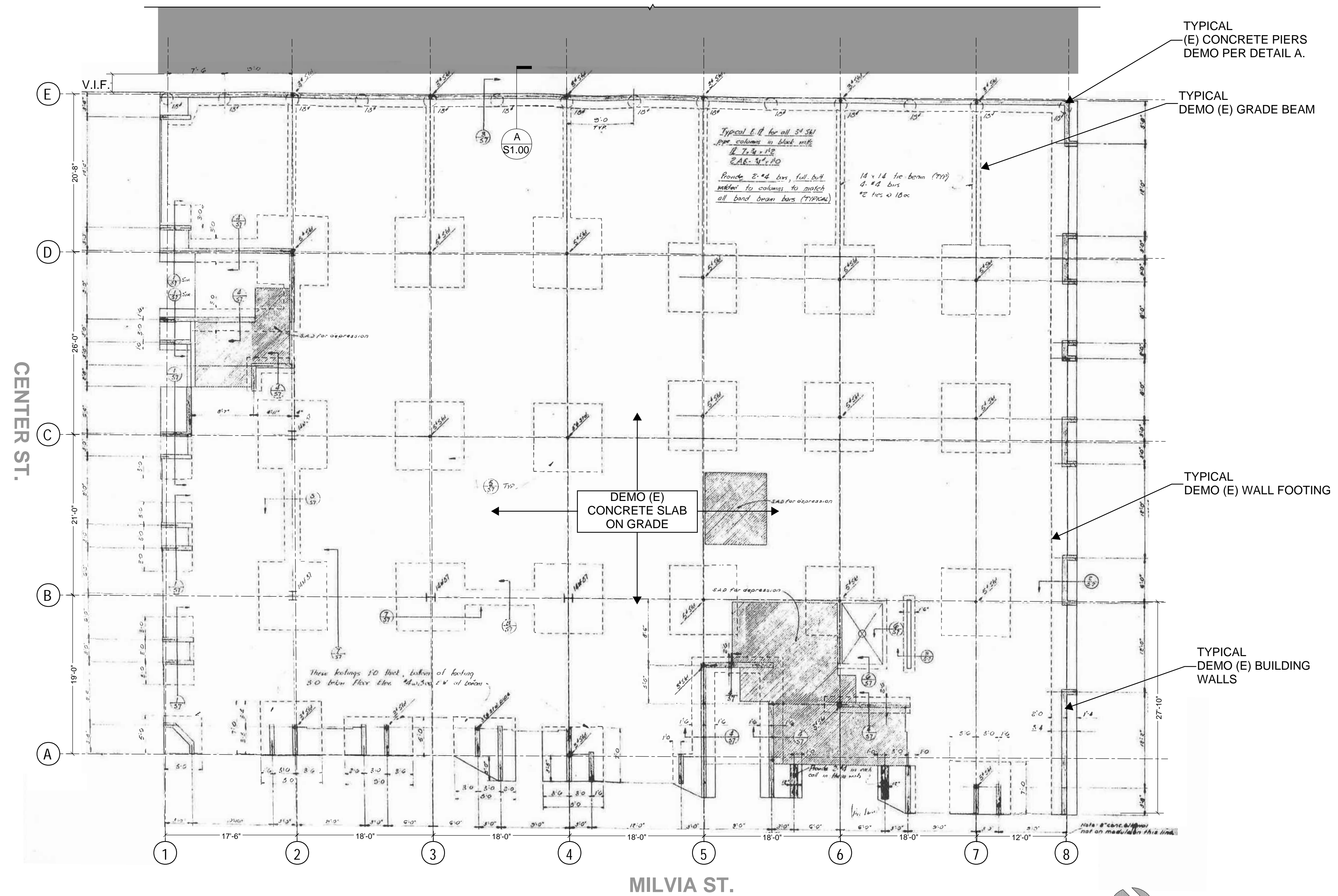


311 OAK ST, STE 331
 OAKLAND, CA 94607
 CELL: (510) 912-8386

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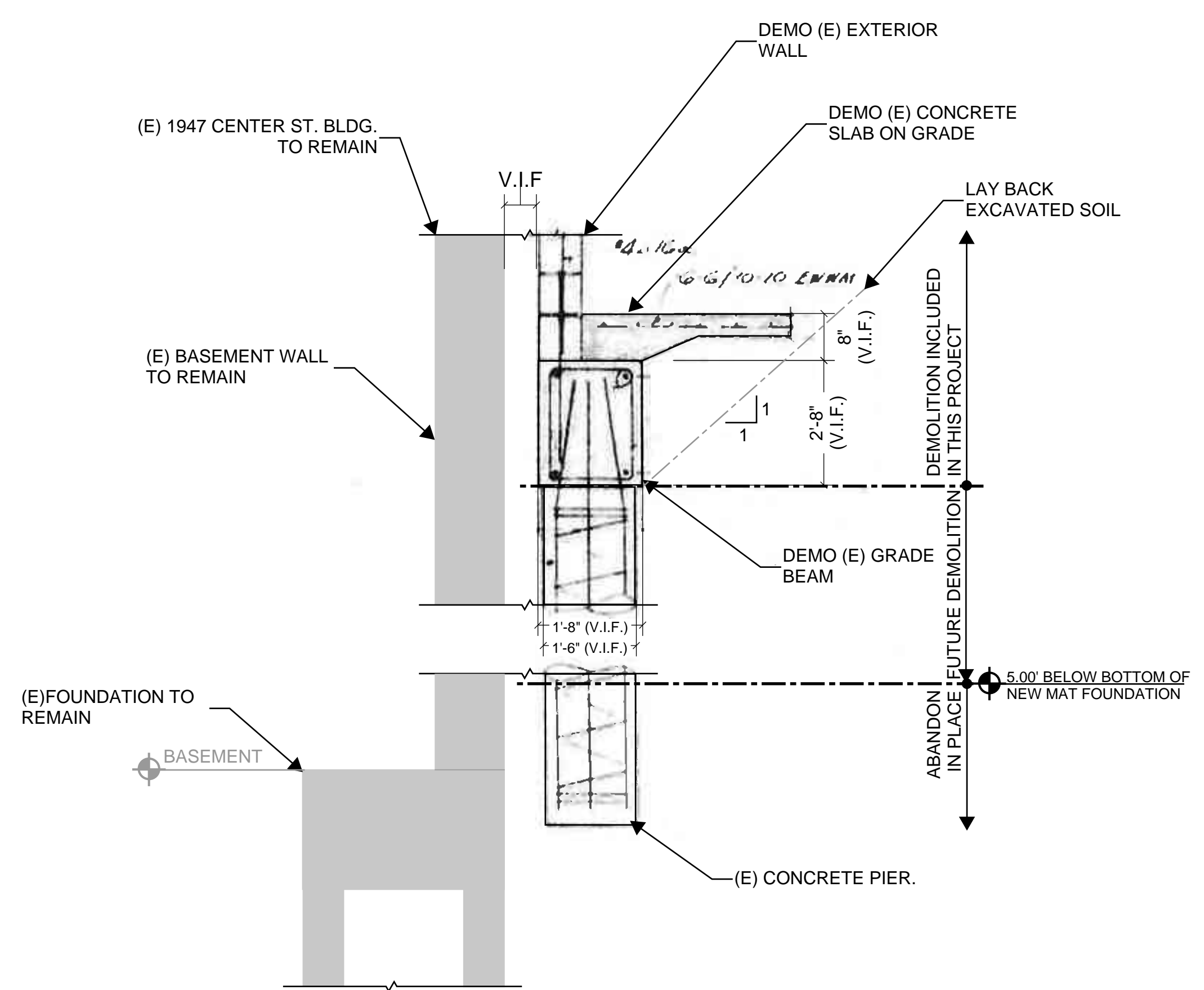


DEGENKOLB ENGINEERS
 1300 Clay Street, Suite 900
 Oakland, CA 94612
 510.272.9040 PHONE
 www.degenkolb.com
 DE Job Number: C0498027.00



NOTE: DEMOLISH EXISTING BUILDING ENTIRELY INCLUDING SUPER STRUCTURE AND FOUNDATION. EXISTING CONCRETE PIERS TO BE DEMOLISHED PER DETAIL A.

1 FOUNDATION DEMOLITION PLAN
NTS



A (E) FOUNDATION SECTION
NTS

No.	Description	Date



PROJECT
 2118 MILVIA ST.
 BERKELEY, CA
 DEMOLITION -
 PHASE I

SHEET TITLE
Foundation Demolition Plan
 SCALE

JOB NO. SHEET NO.
 DATE 2/18/2022
 DRAWN BY: HK
 CHECKED BY: HJR

FILE NAME: **S100**

MATERIAL SYMBOLS

	EARTH		STONE - INCLUDING MARBLE
	ROCK FILL		INSULATION, BATT
	ROCK		INSULATION, RIGID
	PLASTER: SAND/CEMENT/GROUT		FIRE SAFING
	METAL LATH AND PLASTER		CERAMIC TILE
	CONCRETE CAST-IN-PLACE OR PRECAST		GLASS
	CONCRETE - LIGHTWEIGHT		RESILIENT FLOORING/ PLASTIC LAMINATE
	BRICK/COMMON FACE		CARPET AND PAD
	ALUMINUM		ANY MATERIAL: SMALL SCALE
	BRASS - BRONZE		
	STEEL/OTHER METALS		
	FINISH WOOD		
	ROUGH WOOD: CONTINUOUS		
	ROUGH WOOD: INTERRUPTED/BLOCKING		
	PLYWOOD: LARGE SCALE		
	PLYWOOD: SMALL SCALE		
	ACOUSTIC TILE OR BOARD		
	GYP. BOARD - LARGE SCALE		
	GYP. BOARD - SMALL SCALE		

GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF FINISH U.O.N.

FLOOR AREA/OCCUPANT LOAD

FLOOR AREA	G.F.	OCCUPANT LOAD
1 ST FLOOR	9,850	99
2 ND FLOOR	10,250	103
3 RD FLOOR	4,020	41
TOTAL	24,120	244
ALLOWABLE	12,000*	

* ALLOWABLE = 4 x 10,000

PROJECT INFO/CODE DATA

APPLICABLE CODES

CALIFORNIA CODE OF REGULATIONS (CCR)
 TITLE 8 - INDUSTRIAL RELATIONS
 TITLE 19 - PUBLIC SAFETY
 TITLE 22 - DIVISION OF HEALTH
 TITLE 24 - PART 2, CALIFORNIA BUILDING CODE
 PART 3, CALIFORNIA ELECTRICAL CODE
 PART 4, CALIFORNIA MECHANICAL CODE
 PART 5, CALIFORNIA PLUMBING CODE

UNIFORM BUILDING CODE (1991) WITH STATE OF CALIFORNIA AMENDMENTS
 UNIFORM MECHANICAL CODE (1991) WITH STATE OF CALIFORNIA AMENDMENTS
 UNIFORM ELECTRICAL CODE (1991) WITH STATE OF CALIFORNIA AMENDMENTS
 UNIFORM PLUMBING CODE (1991) WITH STATE OF CALIFORNIA AMENDMENTS
 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), "LIFE SAFETY CODE", NFPA 101

LOCAL CODE AND ORDINANCES OF THE CITY AND COUNTY OF BERKELEY
 BUILDING TYPE 111 - 1-HOUR
 OCCUPANCY TYPE: TYPE B2 (OFFICE)

GRAPHIC SYMBOLS

(GRAPHIC SYMBOLS SHOWN BELOW ARE FOR ARCHITECTURAL DRAWINGS ONLY.)

A6.3 - DRAWING NUMBER
GROUP NUMBER
DISCIPLINE PREFIX

COLUMN LINE
 Circle: Existing column line.

DOOR SYMBOL
 See A6.0 for schedule

WINDOW TYPE
 Interior Window
 Exterior Window
 See A6.0 for schedule

REVISION

MATCH LINE
 Shaded portion is the side considered.

WORK POINT, CONTROL POINT OR DATA POINT

SECTION
 Section Identification
 Sheet where section is drawn

DETAIL
 Detail Information
 Sheet where detail is drawn

INTERIOR ELEVATIONS
 Elevation Identification
 (Unfold elevations clockwise. No arrow means elevation not shown.)
 Sheet where elevation is drawn.

ROOM IDENTIFICATION, PLANS
 Room Name
 Room Number

INTERIOR GLAZED PARTITION
 Typical Furring
 Backing, One Side of Wall
 Backing, Both Sides of Wall
 BACKING TYPE REFERENCE

CEILING SYMBOLS

LIGHT FIXTURE TYPES

TYPE A ○ OPEN DOWNLIGHT 6" APERTURE HORIZONTAL LAMP 8052 CLIF + 6213 HT 120 LIGHTOLIER 120 W

TYPE B ○ ENCLOSED WALL SCONCE 5"X9-13/16 ESCONCE ESA-02 METAL HALIDE ELLIPTIPAR 150 W

TYPE C ○ 4' FLUORESCENT STRIP SINGLE LAMP

TYPE D ○ 4' TWO LAMP FLUORESCENT W/ CUSTOM SHROUD, SEE ARCH. DWG. FOR DETAILS

TYPE E ○ OPEN WALL WASHER 8082CLIF-6213 HT120 LIGHTOLIER 120 W

TYPE F ○ 2X4 FLUOR. FIXTURE IN CLG. GRID W/ 18 CELL 3" DEEP SEM-SPECULAR ANODIZED ALUM. LOUVER, 120 W COLUMBIA

TRACK MTD. WALL WASHERS (RELOCATED FROM EXISTING)

EXIT SIGN
 Ceiling Mounted
 Wall Mounted

SPEAKER

DIFFUSERS, EXHAUST

DIFFUSERS, SUPPLY

DIFFUSERS, RETURN

GRAPHIC SYMBOLS NOTES

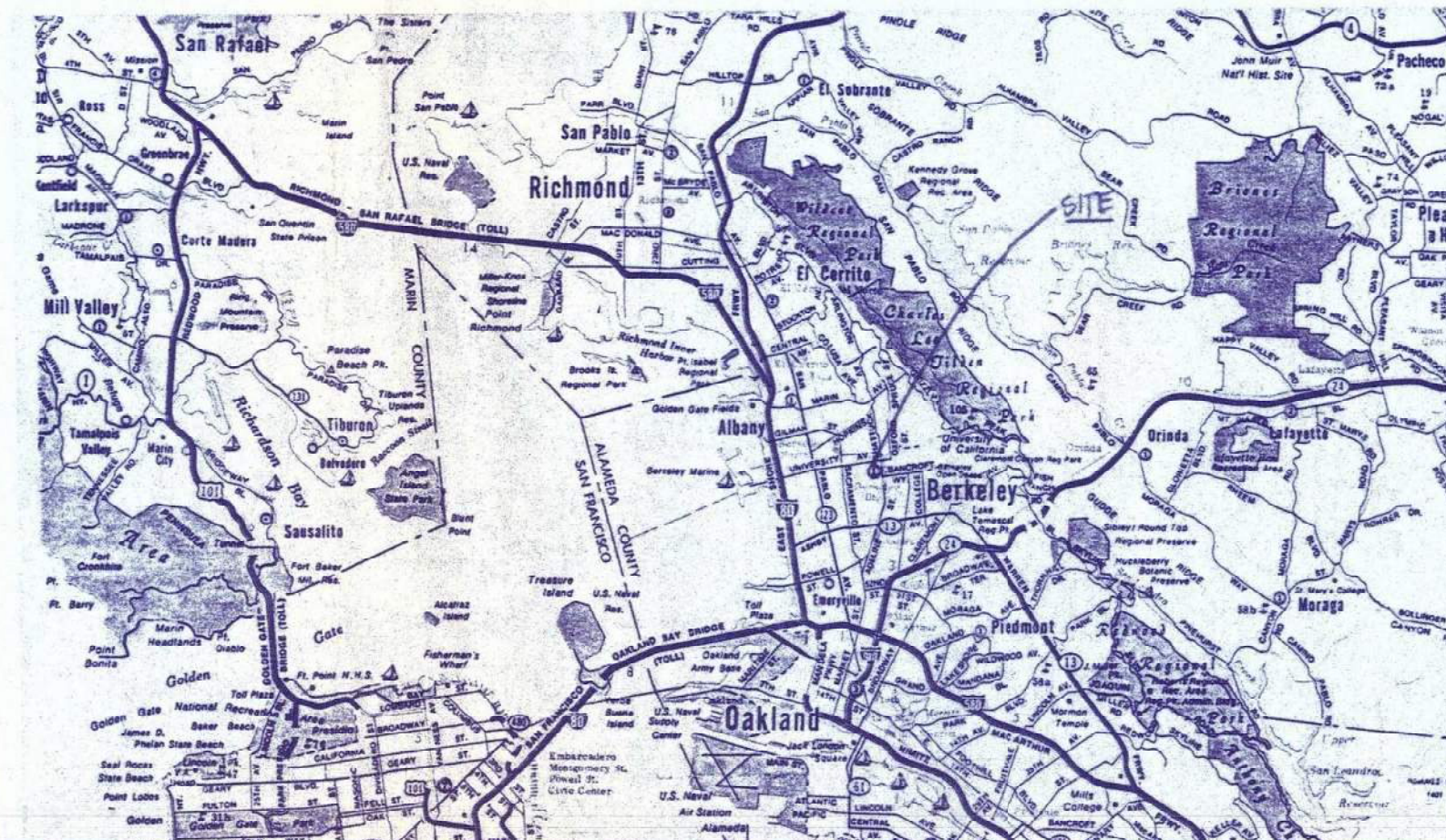
1. Graphic symbols represent objects, elements, equipment, instructions, location, conventions, etc. They do not represent the shape, size, dimension of the actual object.

2. Each drawing group (ie. Mech., Elec.) has its own symbols, abbreviations, legend and notes. The information and symbols on this drawing are general and apply to all drawings.

ABBREVIATIONS

&	And	G.A.	Gauge	R.	Riser
∠	Angle	GALV.	Galvanized	RAD.	Radius
⊕	Centerline	G.B.	Grab Bar	R.D.	Roof Drain
⊘	Diameter or Round	GL.	Glass	REF.	Reference
⊥	Perpendicular	GND.	Ground	REFR.	Refrigerator
#	Round or Number	GR.	Groove	REG.	Register
		G.R.G.	Glass Rolled Gypsum	REINF.	Reinforced
		GYP.	Gypsum	REQ.	Required
		G.W.B.	Gypsum Wall Board	RESIL.	Resilient
		GEN.	General	R.H.	Robe Hook
				R.M.	Room
				R.O.	Rough Opening
				RWD.	Redwood
				R.W.L.	Rain Water Leader
				S.	South
				S.C.	Solid Core
				S.C.D.	Seat Cover Dispenser
				SCHED.	Schedule
				S.D.	Soap Dispenser
				SECT.	Section
				SH.	Shelf
				SHR.	Shower
				SHT.	Sheet
				SM.	Similar
				S.M.S.	Shower Mats Sinks
				S.N.D.	Sanitary Napkin Dispenser
				S.N.R.	Sanitary Napkin Receptacle
				SPEC.	Specification
				SQ.	Square
				S.S.	Shower curtain Rod
				S.S.	Shower Seat
				SST.	Stainless Steel
				S.S.K.	Service Sink
				STA.	Station
				STD.	Standard
				STL.	Steel
				STR.	Storage
				SUSP.	Structural Suspended
				SYM.	Symmetrical
				T.D.	Trench Drain
				TRD.	Tread
				T.B.	Towel Bar
				T.C.	Top of Curb/Concrete
				TEL.	Telephone
				TER.	Terrazzo
				T.&G.	Tongue and Groove
				THK.	Thick
				TK.BD.	Trackboard
				T.P.	Top of Pavement/Telephone Panelboard
				T.P.D.	Toilet Paper Dispenser
				T.V.	Television
				T.W.	Top of Wall
				TP.	Typical
				T.O.S.	Top of Steel
				UR.	Urinal
				UNF.	Unfinished
				U.O.N.	Unless Noted
				N	North
				(N)	New
				N.I.C.	Not In Contract (Not included in OSHPD approval)
				NO. or #	Number
				NOM.	Nominal
				N.T.S.	Not to Scale
				O.A.	Overall
				OBS.	Obscure
				O.C.	On Center
				O.D.	Outside Diameter(dim.)
				OFF.	Office
				O.H.	Opposite Hand
				OPNG.	Opposite
				OPP.	Opposite
				O.F.D.	Overflow Drain
				PEN.	Penetration(s)
				PRCST.	Pre-cast
				PL.	Plate
				P.LAM.	Plastic Laminate
				PLAS.	Plaster
				PLYWD.	Plywood
				PR.	Pair
				PT.	Point
				PTD.	Painted
				P.T.D.	Paper Towel Dispenser
				P.T.D/R	Combination Paper Towel Dispenser & Receptacle
				PTN.	Partition
				P.T.R.	Paper Towel Receptacle
				P.T.S.	Pneumatic Tube Station
				P.A.D.	Power Actuated Device
				P.I.P.	Poured-In-Place
				Q.T.	Quarry Tile

LOCATION MAP



DRAWING INDEX

ARCHITECTURAL DRAWINGS	
A1.0	TITLE SHEET
A1.2	INDEX/CODE/SITE LOCATION
A2.1	FIRST AND SECOND DEMOLITION PLANS
A2.2	FIRST FLOOR PLAN
A2.3	SECOND FLOOR PLAN
A3.0	THIRD FLOOR PLAN
A3.1	INTERIOR ELEVATIONS
A4.1	INTERIOR ELEVATIONS
A4.2	FIRST FLOOR REFLECTED CEILING PLAN
A4.3	SECOND FLOOR REFLECTED CEILING PLAN
A4.4	CASEWORK PLANS SECTION AND DETAILS
A5.0	CASEWORK PLANS SECTION AND DETAILS
A5.1	DOOR SCHEDULE AND DETAILS
A5.2	PARTITION AND MISCELLANEOUS DETAILS
A7.1	FIRST FINISH PLAN
A7.2	SECOND FLOOR FINISH PLAN
A7.3	THIRD FLOOR FINISH PLAN

MECHANICAL DRAWINGS	
M0.1	LEGEND, ABBREV. NOTES, SCHEDULES AND TITLE 24
M2.1	MECHANICAL PLAN FIRST FLOOR
M2.2	MECHANICAL PLAN SECOND FLOOR

ELECTRICAL DRAWINGS	
E1.0	ELECTRICAL SPECIFICATIONS, SYMBOL LIST & NOTES
E1.1	TITLE 24
E1.2	FIRST & SECOND FLOOR ELECTRICAL DEMOLITION PLANS
E2.1L	FIRST FLOOR LIGHTING PLAN
E2.1P	FIRST FLOOR POWER & SIGNAL
E2.2L	SECOND FLOOR PLAN-LIGHTING
E2.2P	SECOND FLOOR PLAN POWER & SIGNAL
E4.1	RISER SCHEMATICS
ME.1	CECO COMPLIANCE FORMS

ANSHEN + ALLEN

ARCHITECTURE
 PLANNING
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 901 MARKET ST.
 SAN FRANCISCO
 CALIFORNIA 94103
 415 882-9500

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DRAWN: _____
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 Author: _____
 P.A.: _____
 Q.C.: _____
 APPROVED FOR ISSUANCE: _____
 Sta. Dir: _____

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PE-ISSUED FOR PERMIT 5-20-96
 ISSUE FOR PERMIT 3-04-95
 ADDENDUM NO. 1 3-01-95
 ISSUED FOR PRICING 2-16-95
 DATE

REVISIONS

CODES AND INSPECTION DIVISION
 City Planning Department
APPROVED
 By: _____
 JUN 06 1996

Berkeley One Stop Permit Center - Planning & Building Departments
 Berkeley, California

ACCESSIBILITY NOTES

1. ACCESSIBLE PARKING PROVIDED IN CITY OF BERKELEY PUBLIC PARKING GARAGE. NO NEW PARKING IS PROVIDED AS PART OF THIS PROJECT.
2. CARPET SHALL COMPLY W/ CBC SEC. 3105(U)(8). ADD CONTRACTING STRIPS AT TOP AND BOTTOM THREADS OF EACH STAIR RUN AT EACH STAIRWAY.
3. MINIMUM HEAD HEIGHT OF 84" FROM OVERHEAD OBSTRUCTIONS AND LIGHT FIXTURES TO BE MAINTAINED
4. ALL SIGNAGE TO COMPLY W/ CBC SECTION 3105(A)(2) AT PER'D LOCATIONS

SCALE: 1/4" = 1'-0"

PROJECT NO. 95055.00 DRAWING NO. A1.0

DATE: 02.16.96

If this drawing is not 36" x 42" it is a reduced print - scale accordingly.



SHEET NOTES:

- SEE A1.2 FOR GENERAL NOTES, ABBREVIATIONS AND GRAPHIC SYMBOLS
- PAINT, PATCH AND REPAIR ALL AREAS ALL AREAS INDICATED IN SCOPE OF WORK
- (N) CARPET & PAD IN ALL AREAS OF NEW WORK. CARPET TILE TO BE INSTALLED IN PERMIT CENTER AS INDICATED
- (N) VINYL BASE IN ALL AREAS U.O.N.
- ALL NEW PARTITIONS TO BE TYPE A U.O.N. SEE S/A.1.1 PARTITION FOR ALL PARTITION TYPES
- SEE ENLARGED PLAN AREAS AS INDICATED FOR FURTHER INFORMATION ON FINISHES, DIMENSIONS AND CASEWORK
- REPLACE ALL EXISTING DOOR HARDWARE W/ LEVER TYPE TO COMPLY W/ CBC ACCESSIBILITY STANDARDS
- REMOVE DOOR SECURITY SYSTEM, PRORISE (N) PUSH/PULL HANDLE AND ADJUST CLOSER TO COMPLY W/ CBC ACCESSIBILITY STANDARDS
- ADD 1/2" OD PAINTED PIPE RAIL AT 20" ABOVE FINISH FLOOR ON TOP OF EXISTING WOOD STAIR TYP OF TWO STAIRWELLS ALL FLOOR TYP SEE STAIRWELL THIS FLOOR FOR TYPICAL CONFIGURATION.

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PE ISSUED FOR PERMIT	5.21.96
ISSUE FOR PERMIT	3.04.96
ADDENDUM NO. 1	3.01.96
ISSUED FOR PRICING	2.16.96
NO. DESCRIPTION	DATE

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CODES AND INSPECTION DIVISION
City Planning Department
APPROVED
By: _____
JUN 06 1996

BERKELEY ONE STOP PERMIT CENTER - PLANNING & BUILDING DEPARTMENTS
Berkeley, California

FIRST FLOOR PLAN

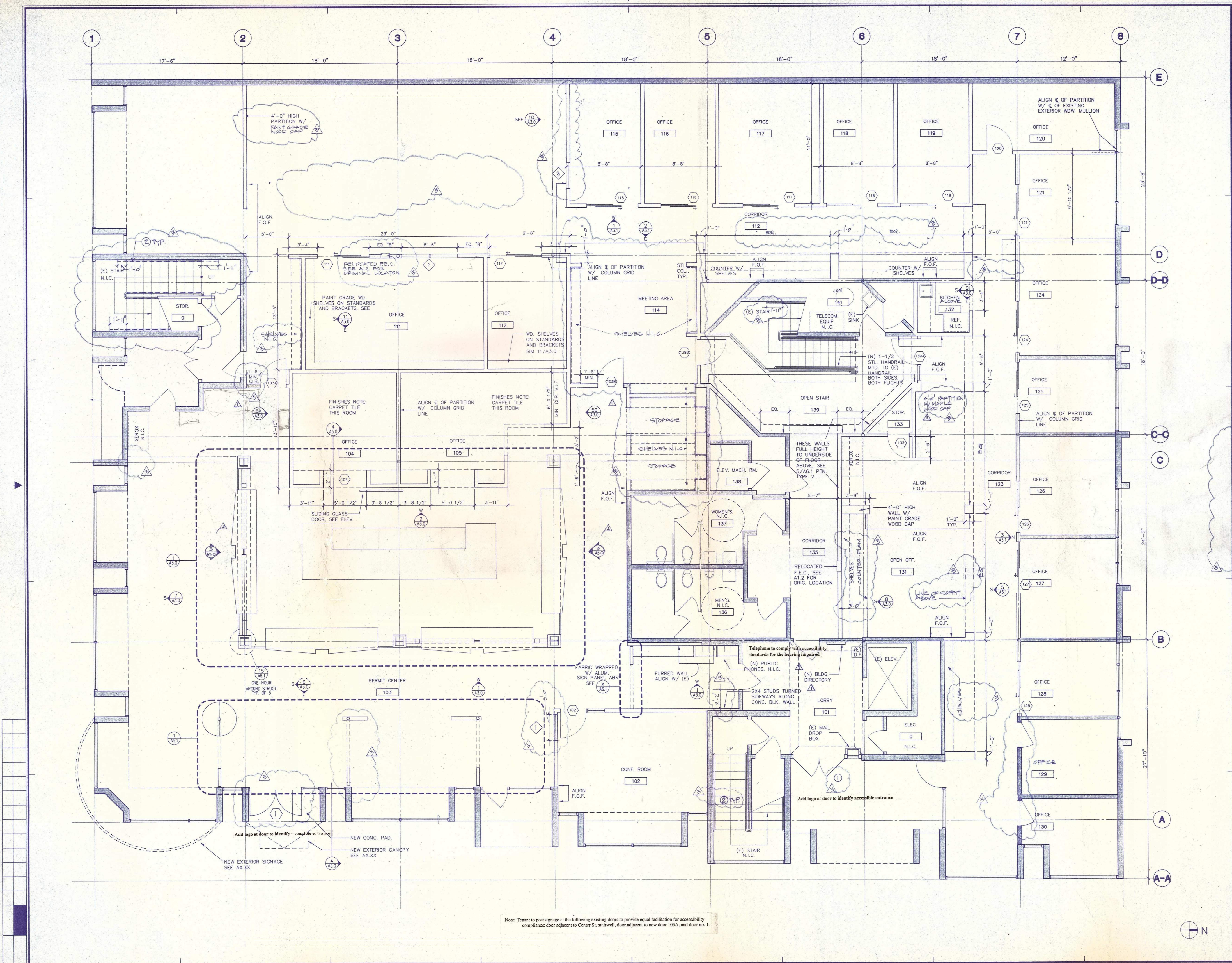
SCALE: 1/4" = 1'-0"

PROJECT NO. 95055.00
DRAWING NO.

DATE: 02.16.96

A2.1

If this drawing is not 36" x 42" it is a reduced print - scale accordingly.



Note: Tenant to post signage at the following existing doors to provide equal facilitation for accessibility compliance door adjacent to Center St. stairwell, door adjacent to new door 103A, and door no. 1.

SHEET NOTES:

- SEE A1.2 FOR GENERAL NOTES, ABBREVIATIONS AND GRAPHIC SYMBOLS
- PAINT, PATCH AND REPAIR ALL AREAS ALL AREAS INDICATED IN SCOPE OF WORK
- (N) CARPET & PAD IN ALL AREAS OF NEW WORK. CARPET TILE TO BE INSTALLED IN PERMIT CENTER AS INDICATED
- (N) VINYL BASE IN ALL AREAS U.O.N.
- ALL NEW PARTITIONS TO BE 2x4 WOOD STUD W/ 5/8" TYPE "X" GYP. BD. EA. SIDE EXTEND GYP. BD. 6" ABOVE ADJACENT FINISH CEILING AT ALL PARTITIONS, U.O.N.
- SEE ENLARGED PLAN AREAS AS INDICATED FOR FURTHER INFORMATION ON FINISHES, DIMENSIONS AND CASEWORK

NO.	DESCRIPTION	DATE

REVISIONS

BERKELEY ONE STOP PERMIT CENTER - PLANNING & BUILDING DEPARTMENTS
Berkeley, California

FIRST FLOOR PLAN

SCALE:
PROJECT NO. 95055.00
DATE: 02/16/96

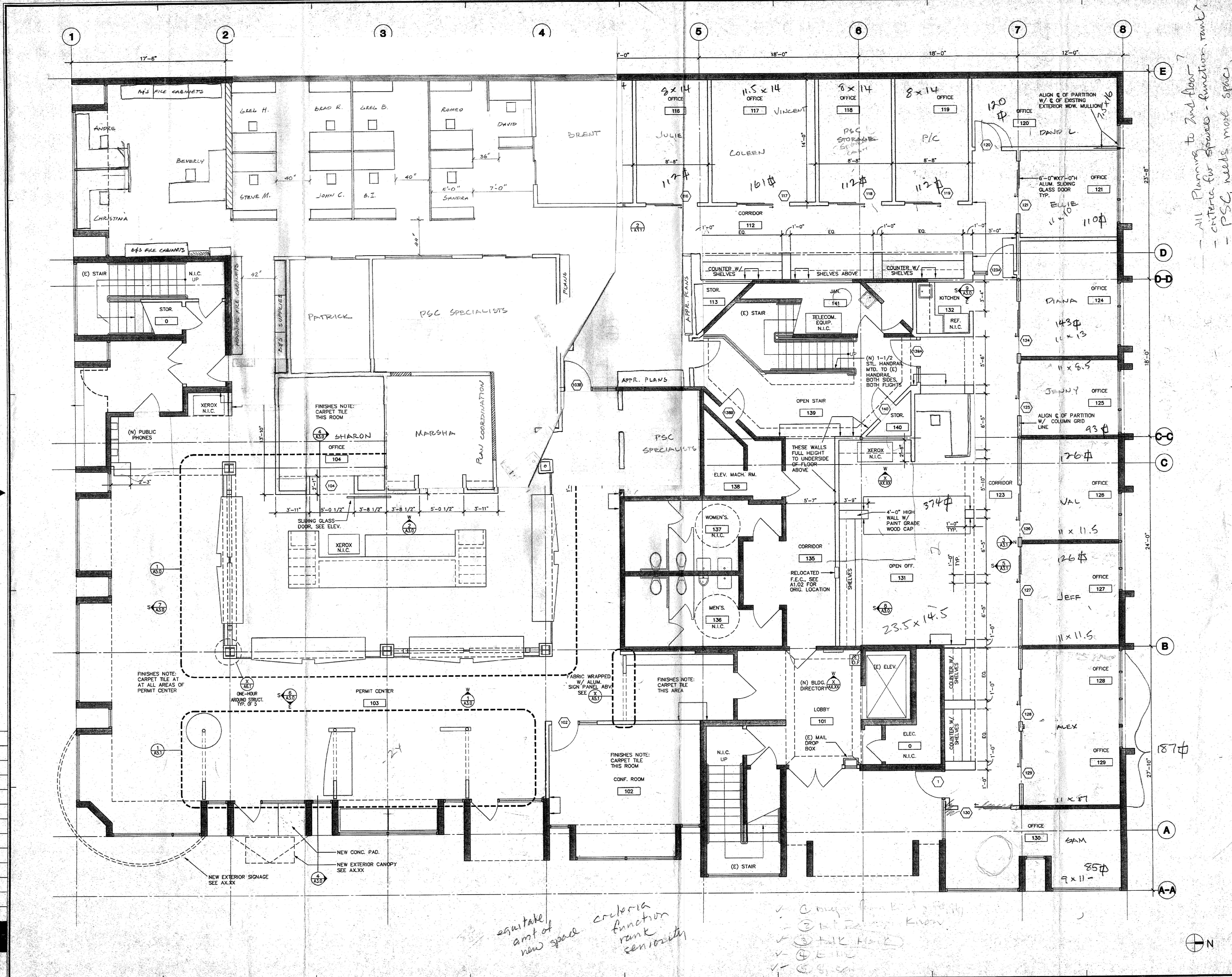
DRAWING NO. A2.1

If this drawing is not 36" x 48" it is a reduced print - scale accordingly.

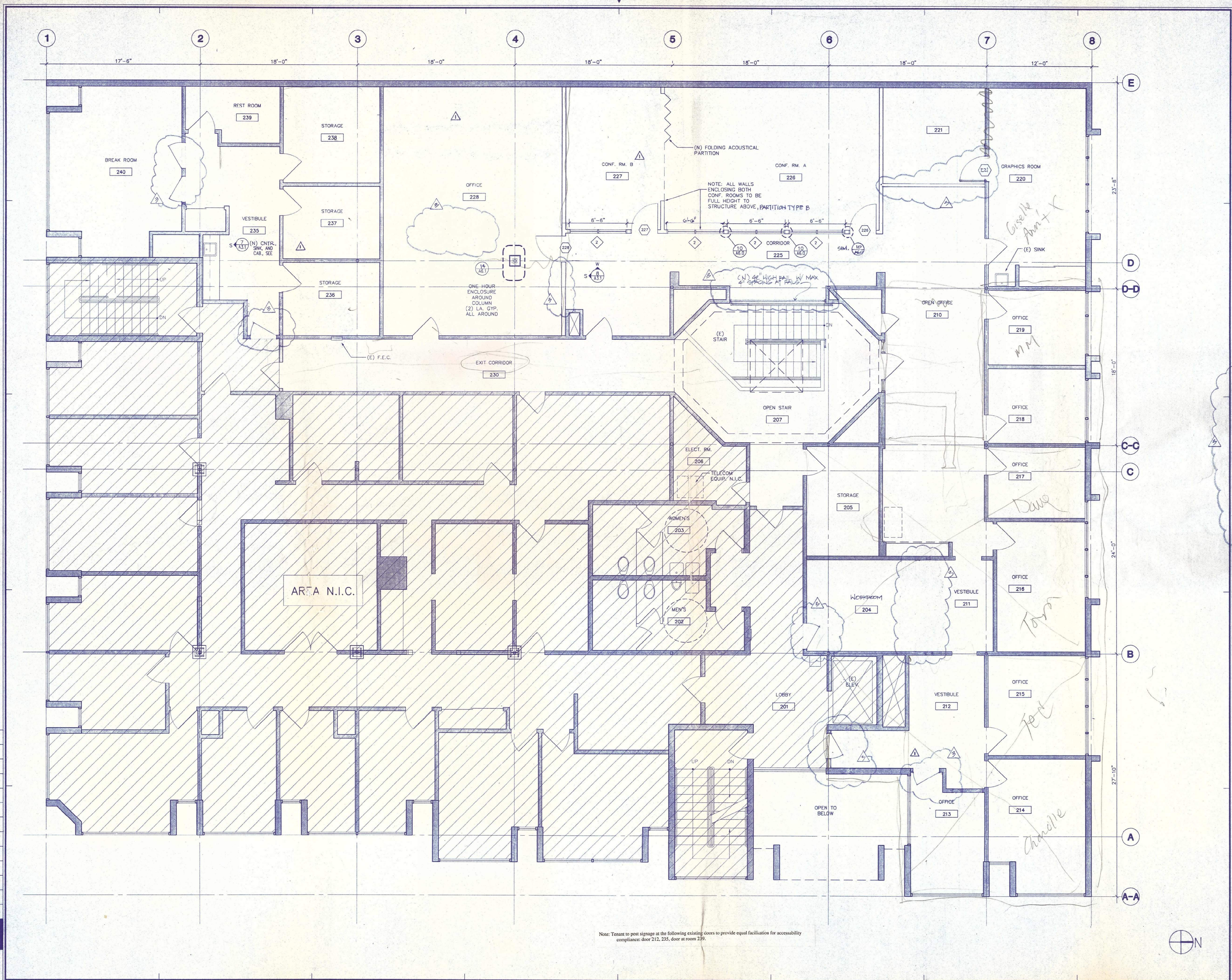
*All Planning to 2nd floor
- criteria for space - function, rank
- PSC needs most space*

equi take amt of new space criteria function rank seniority

- ✓ C. major from B. 1 & 2
- ✓ ③ talk about know
- ✓ ④ talk about
- ✓ ⑤ talk about
- ✓ ⑥ talk about



FOR REFERENCE ONLY



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SHEET NOTES:

- SEE A1.2 FOR GENERAL NOTES, ABBREVIATIONS AND GRAPHIC SYMBOLS
- PAINT, PATCH AND REPAIR ALL AREAS INDICATED IN SCOPE OF WORK
- (N) CARPET & PAD IN ALL AREAS
- PATCH (E) LIGHTWEIGHT CONC. FLOOR AT ALL AREAS ON (N) FLOORING
- (N) VINYL BASE IN ALL AREAS
- ALL NEW PARTITIONS TO BE 2x4 WOOD STUD W/ 5/8" TYPE 'X' GYP. BD. EA. SIDE. EXTEND GYP. BD. 6" ABOVE ADJACENT FINISH CEILING AT ALL PARTITIONS U.O.N.
- REPLACE ALL EXISTING POOR HARDWARE W/ LEVER TYPE TO COMPLY W/ ACCESSABILITY STANDARDS.

CROSS-HATCHING INDICATES EXISTING TENANT AND COMMON AREAS OF NO WORK

△	PER ISSUED POP PERMIT	15.2.96
△	ISSUE FOR PERMIT	3.04.96
△	APPENDUM #1	3.01.96
△	ISSUED FOR PRICING	2.16.96
NO.	DESCRIPTION	DATE

REVISIONS

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CODES AND INSPECTION DIVISION
 For Planning Department
APPROVED
 By: _____
 JUN 06 1996

BERKELEY ONE STOP PERMIT CENTER - PLANNING & BUILDING DEPARTMENTS
 Berkeley, California

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"
 PROJECT NO. 95055.00
 DRAWING NO. _____
 DATE: 02.16.96

A2.2

If this drawing is not 30" x 42" it is a reduced print - scale accordingly.

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 CALIFORNIA 94103
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 Sta. Dir: _____



- SHEET NOTES:**
- SEE A1.2 FOR GENERAL NOTES, ABBREVIATIONS AND GRAPHIC SYMBOLS
 - PAINT, PATCH AND REPAIR WALLS IN ALL AREAS.
 - (E) CARPET TO REMAIN IN ALL AREAS W/O.N.
 - REPAIR CALL LIGHT AND AUDIOLE SIGNAL AT ELEVATOR
- ① ADD 6" GUARDRAIL ABOVE (E) IN VERTICALS AT 4" O.C. MATCH (E) TUBE STEEL SECTIONS

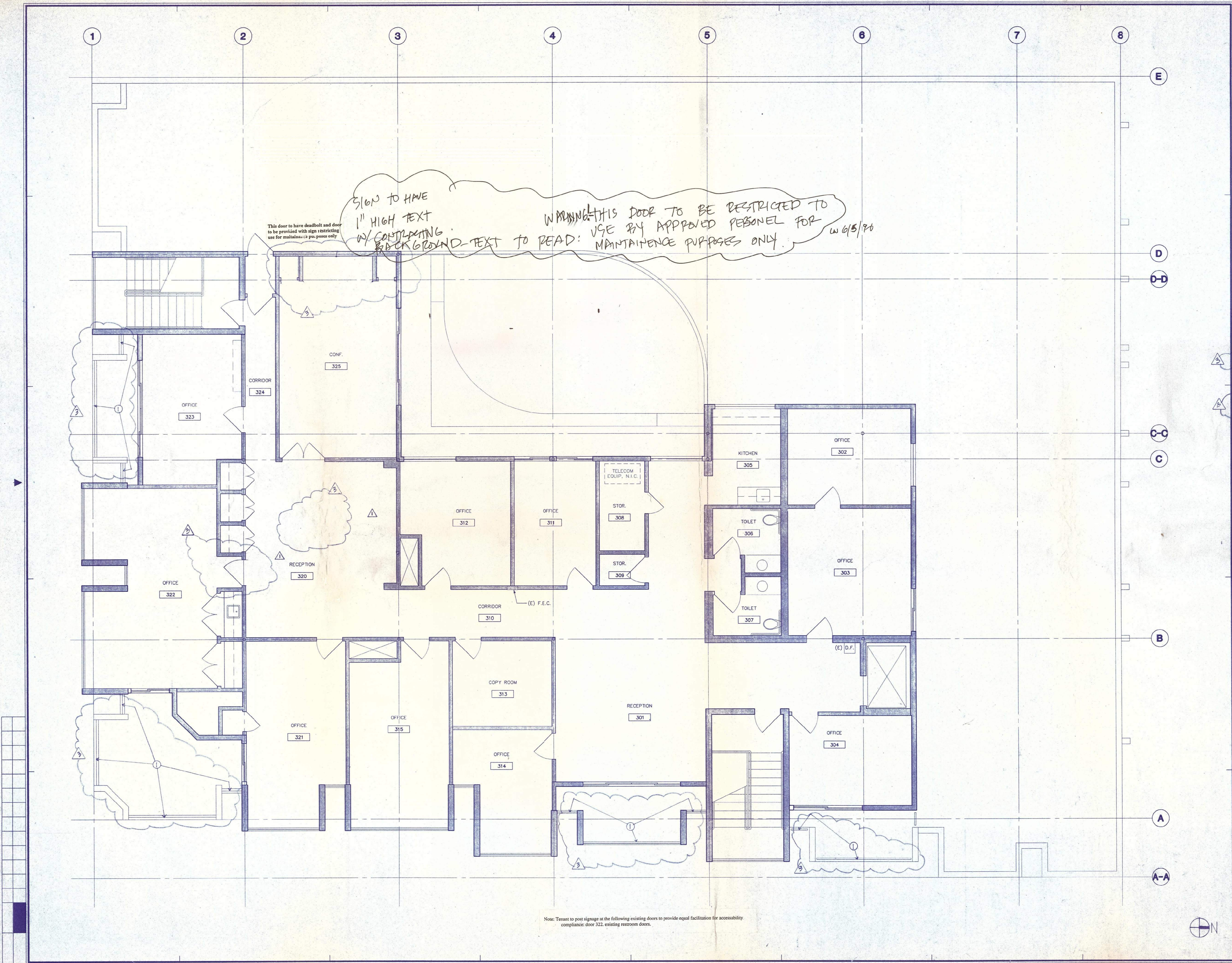
NO.	DESCRIPTION	DATE
①	PE ISSUED FOR PERMIT	5/21/96
②	ISSUE FOR PERMIT	3/24/96
③	APPENDIX #1	3/01/96
	ISSUED FOR PRICING	2/16/96

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 City Planning Department
 APPROVED
 By: _____
 JUN 0 6 1996

BERKELEY ONE STOP PERMIT CENTER - PLANNING & BUILDING DEPARTMENTS
 Berkeley, California

THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 PROJECT NO. 95055.00 DRAWING NO. A2.3
 DATE: 02.16.96



This door to have deadbolt and door to be provided with sign restricting use for maintenance purposes only

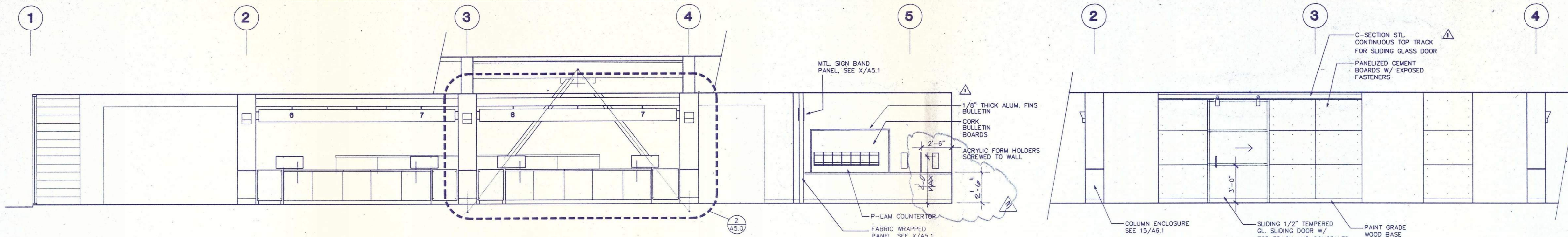
5/6/96 TO HAVE 1" HIGH TEXT W/ CONTRASTING BACKGROUND-TEXT TO READ: MAINTAINENCE PURPOSES ONLY

WARNING: THIS DOOR TO BE RESTRICTED TO USE BY APPROVED PERSONEL FOR MAINTAINENCE PURPOSES ONLY w 6/5/96

Note: Tenant to post signage at the following existing doors to provide equal facilitation for accessibility compliance: door 322, existing restroom doors.

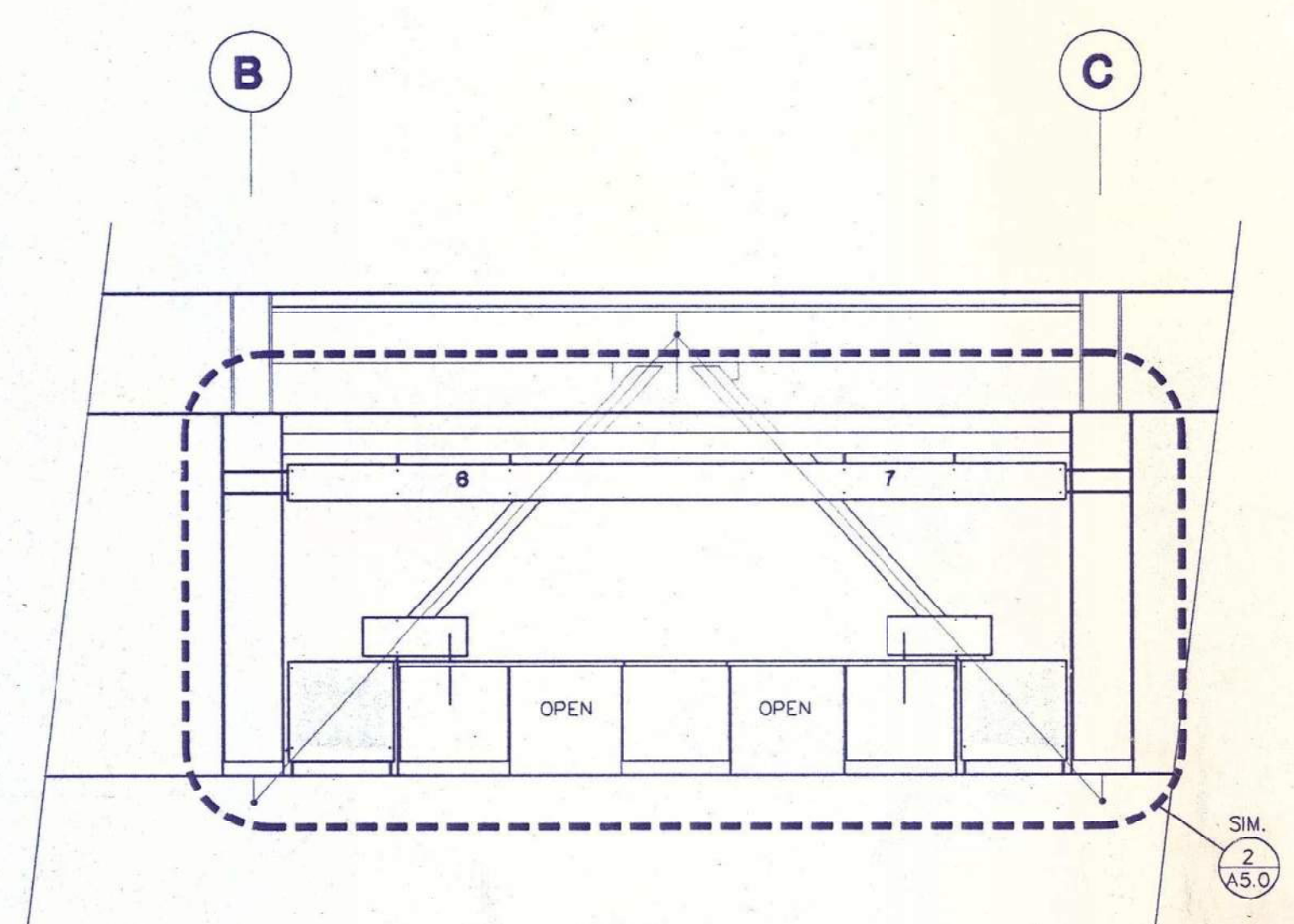


FOR REFERENCE

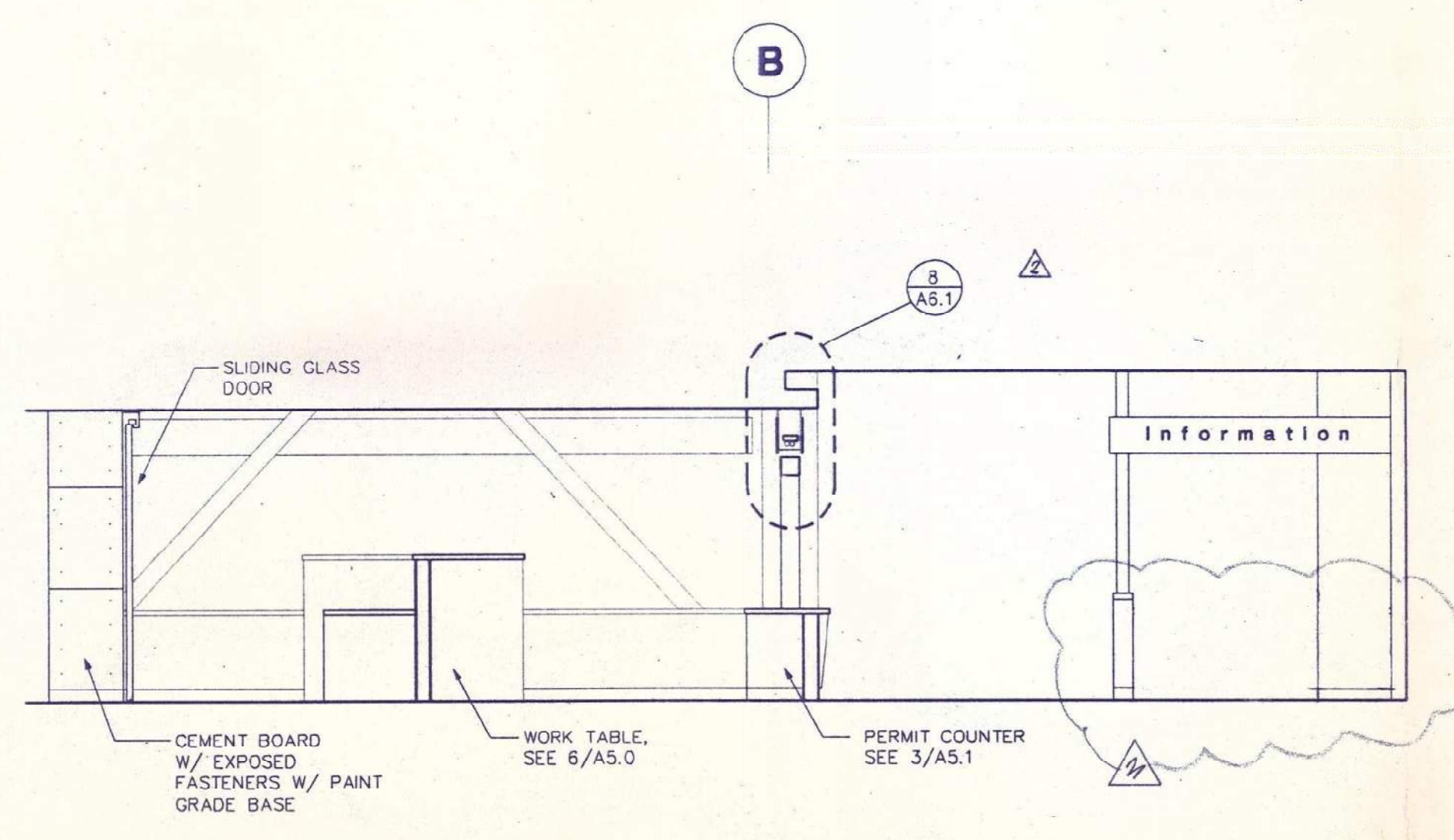


1 PERMIT COUNTER AT PERMIT CENTER

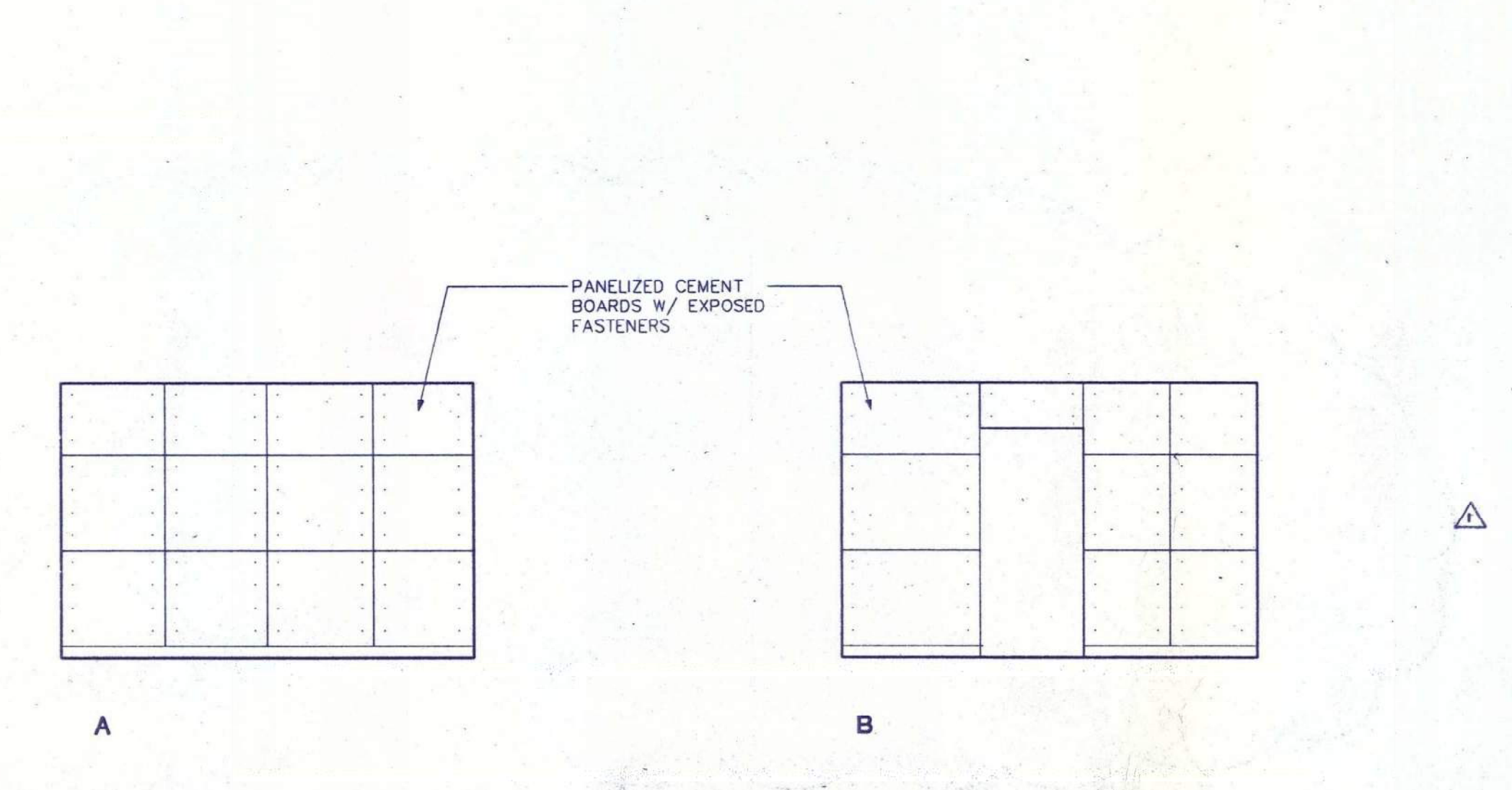
2 PERMIT COUNTER AT PERMIT CENTER



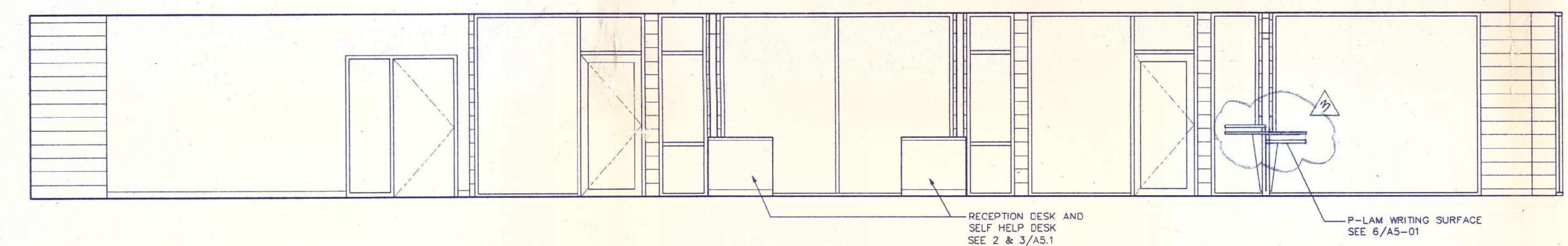
3 PERMIT COUNTER AT PERMIT CENTER LOOKING NORTH



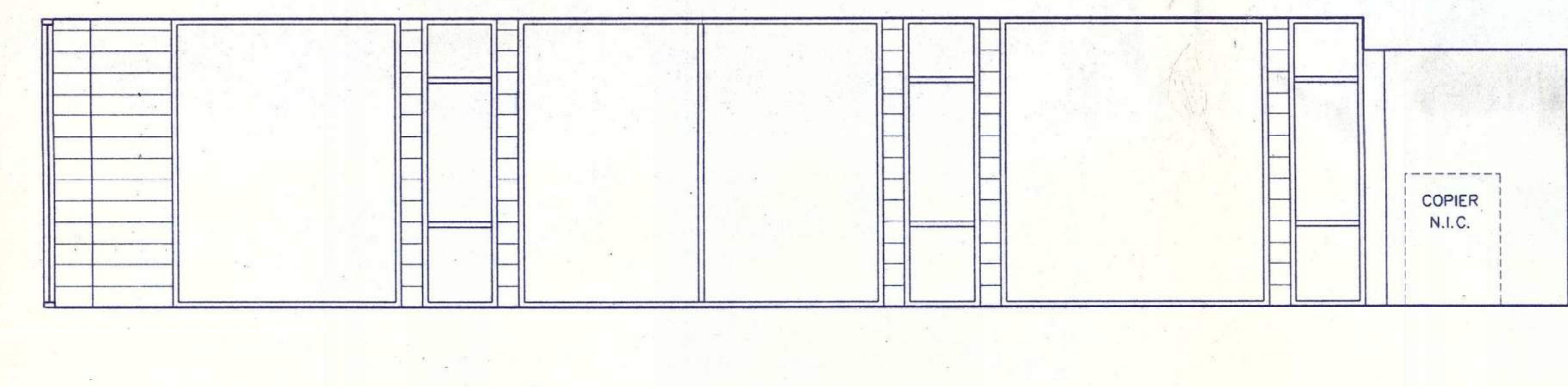
4 SECTION THROUGH PERMIT COUNTER AT PERMIT CENTER



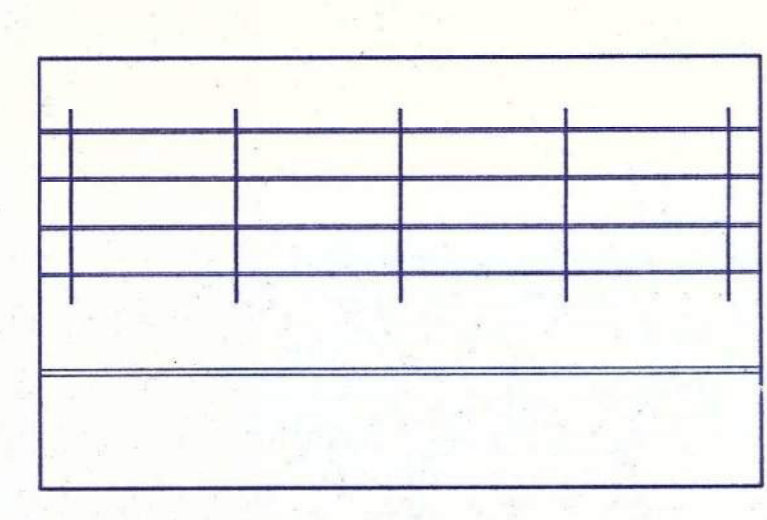
5 CEMENT BOARD WALL AT PERMIT CENTER



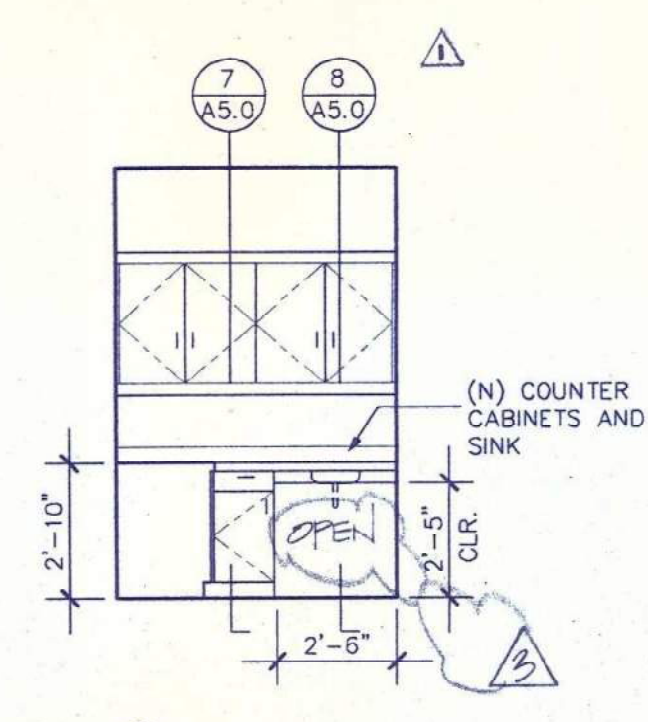
6 EAST ELEVATION AT PERMIT CENTER



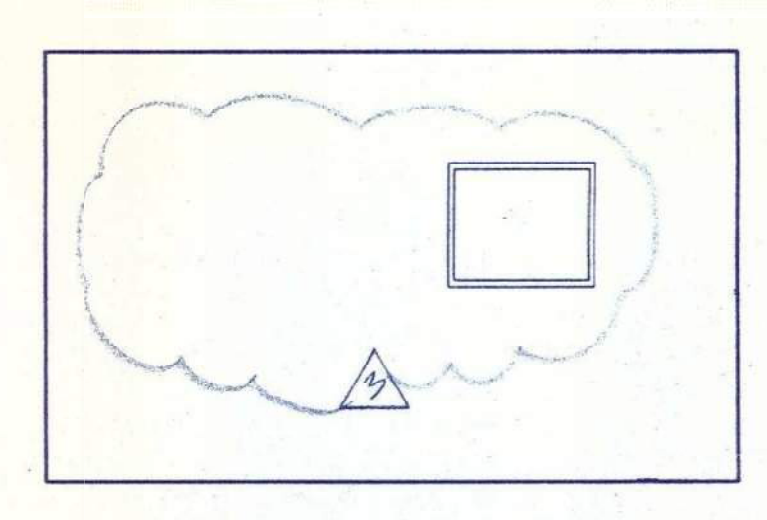
7 SOUTH ELEVATION AT PERMIT CENTER



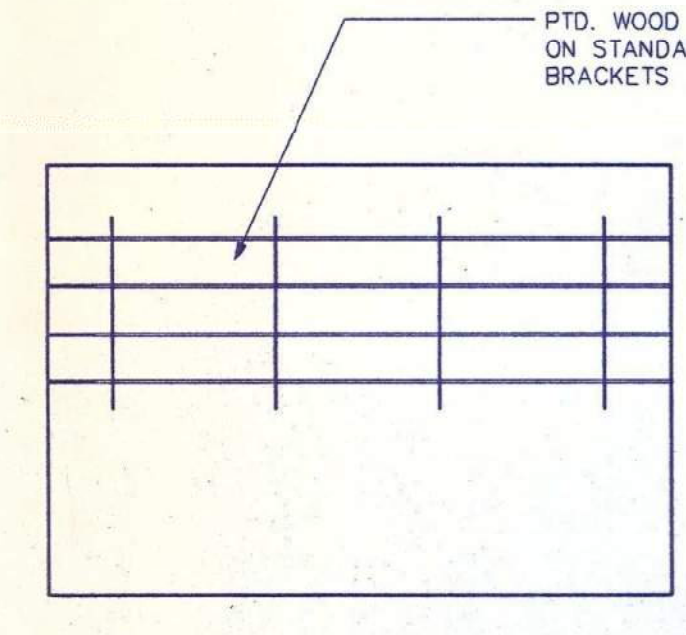
8 WORK AREA AT OPEN OFFICE 131



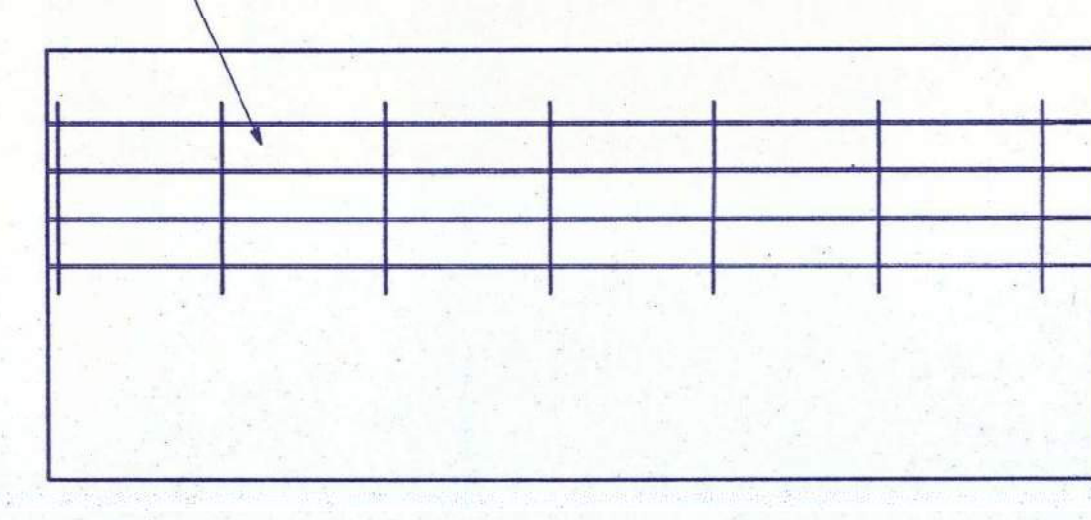
9 KITCHEN RM. NO. 132



10 ELEV. AT OFF. 115



11 OFFICE 111



11 OFFICE 111

ANSHEN + ALLEN
 ARCHITECTURE
 PLANNING
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 SAN FRANCISCO
 CALIFORNIA 94103
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 Stua. Dir.: _____
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 LICENSED ARCHITECT
 STATE OF CALIFORNIA

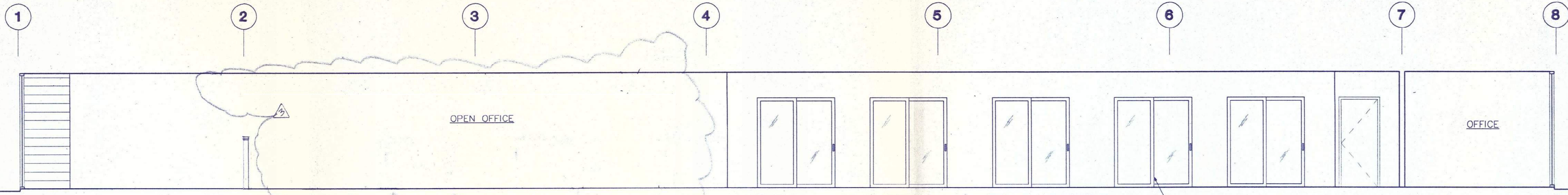
NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	3.04.96
2	ADDENDUM NO. 1	3.01.96
3	ISSUED FOR PRICING	2.16.96
4	DATE	

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 By: _____
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This set of plans and specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the City of Berkeley, Code and Inspection Division. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Berkeley. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Berkeley. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Berkeley.

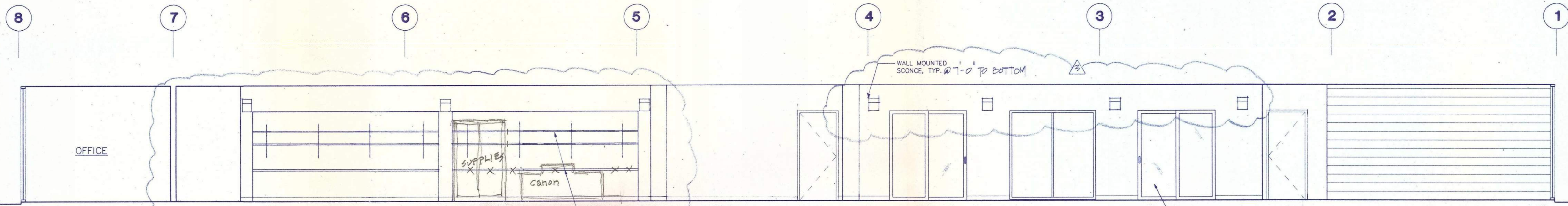
BERKELEY ONE STOP PERMIT CENTER - PLANNING & BUILDING DEPARTMENTS
 Berkeley, California
 INTERIOR ELEVATIONS
 SCALE: 1/4" = 1'-0"
 PROJECT NO. 95055.00
 DRAWING NO. A3.0
 DATE: 02.16.96

FOR REFERENCE

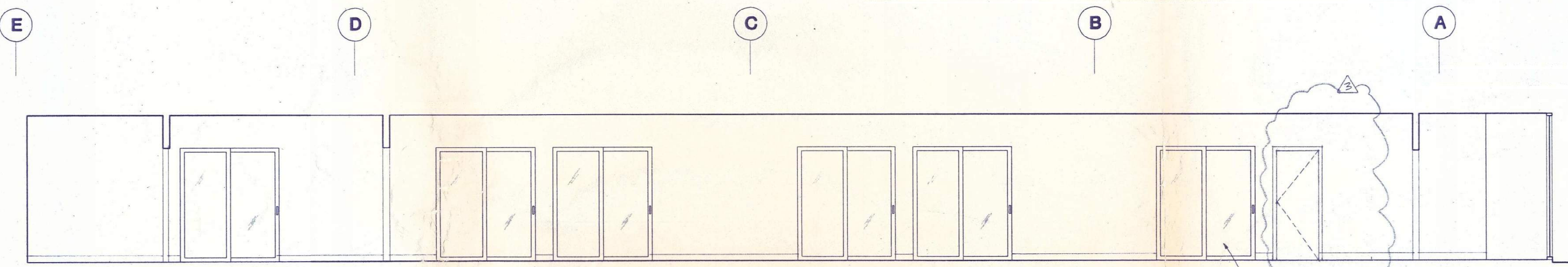
If this drawing is not 30" x 42" it is a reduced print - scale accordingly.



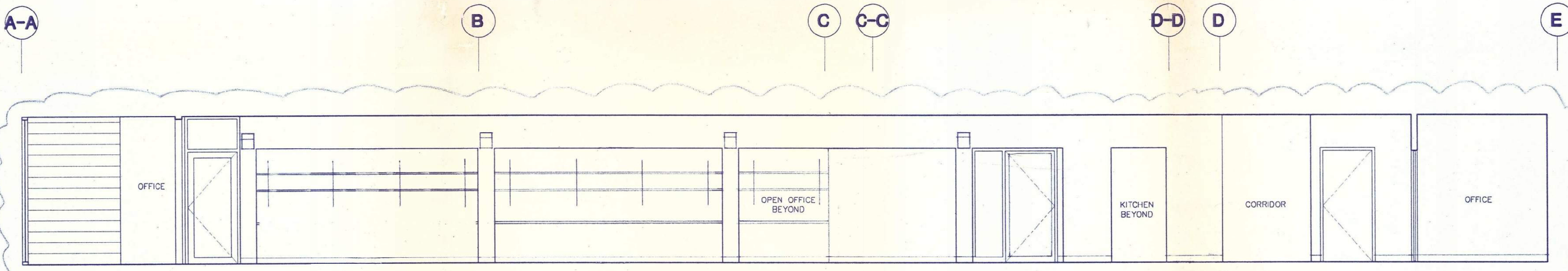
1 WEST CORRIDOR AT FIRST FLOOR LOOKING WEST



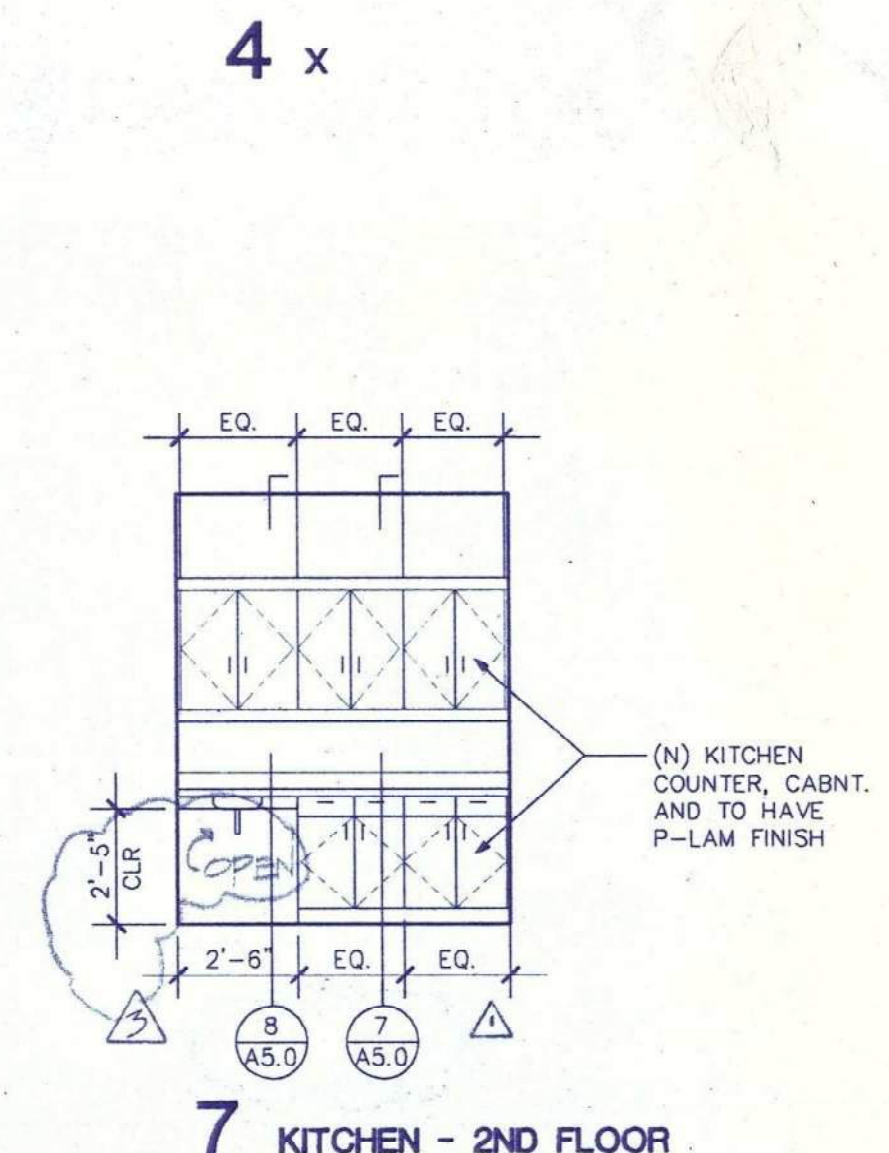
2 WEST CORRIDOR AT FIRST FLOOR LOOKING EAST



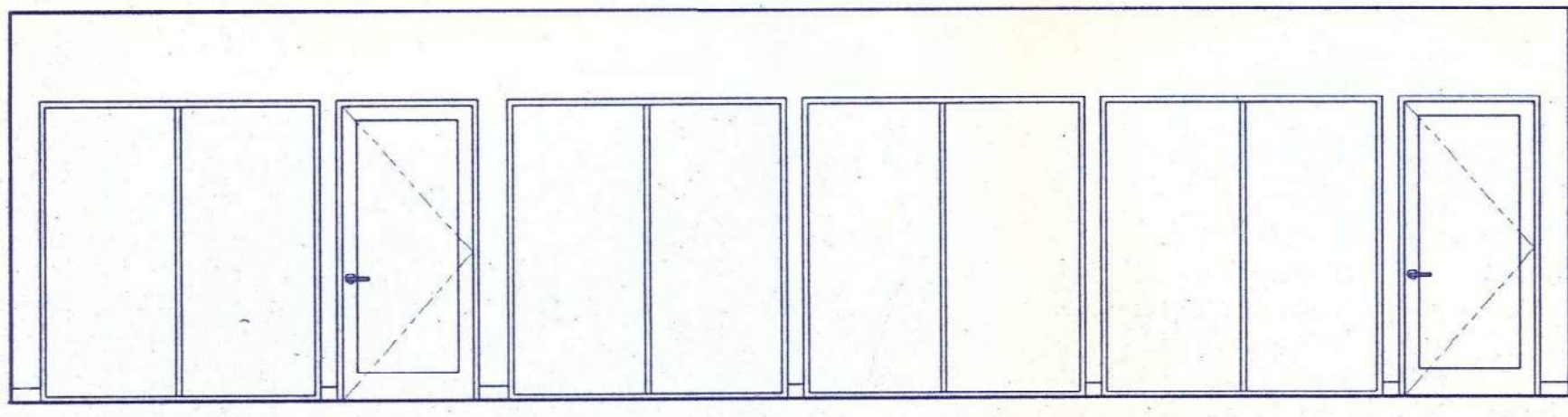
3 NORTH CORRIDOR LOOKING NORTH



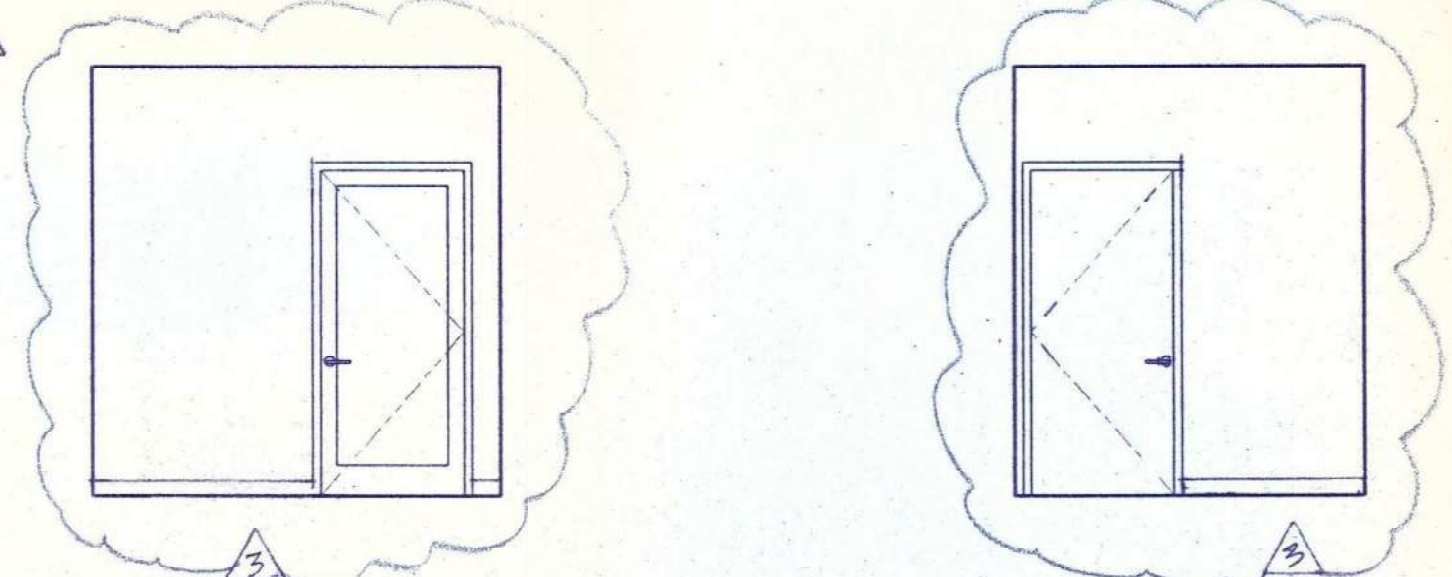
5 NORTH CORRIDOR LOOKING SOUTH



7 KITCHEN - 2ND FLOOR



8 CORRIDOR 225 TOWARD CONFERENCE AND GRAPHICS



9 CORRIDOR 235 TOWARDS BREAK ROOM

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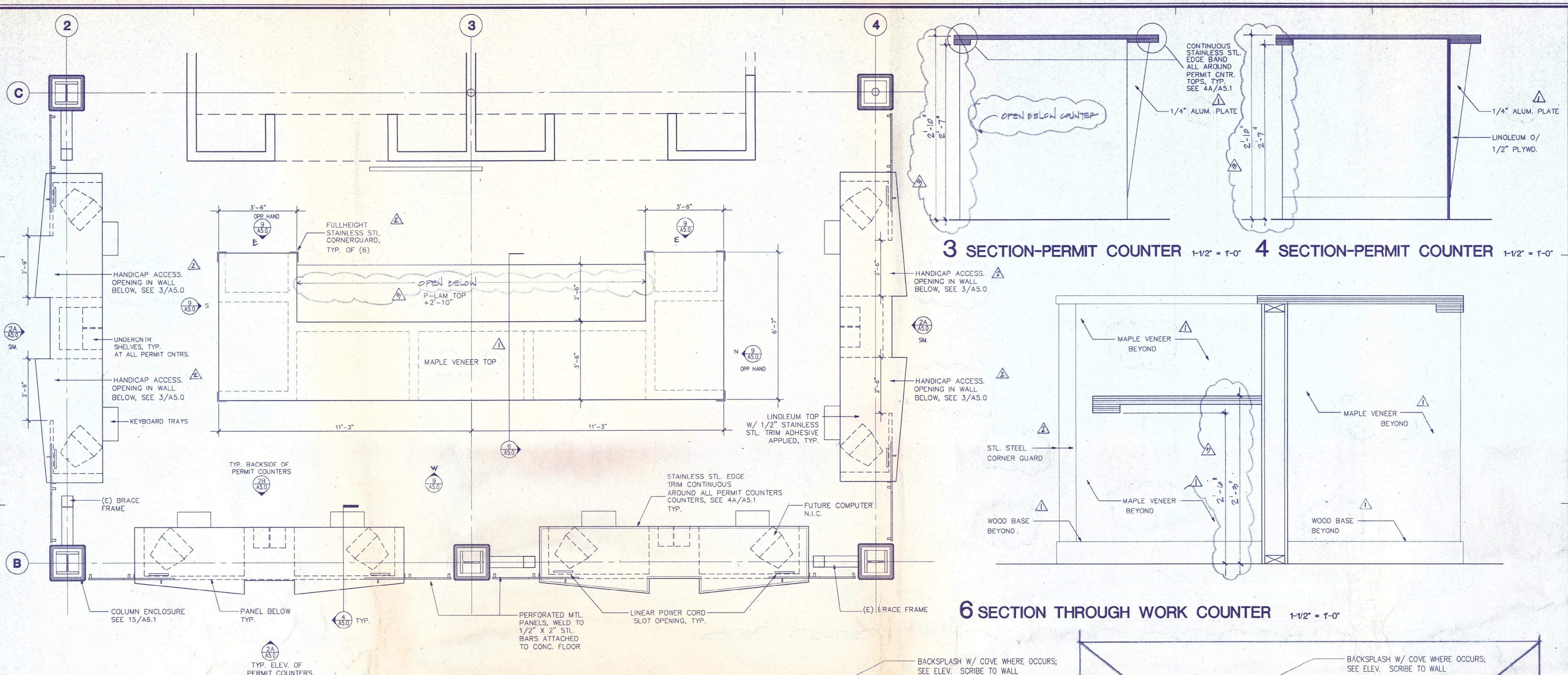
NO.	DESCRIPTION	DATE
1	PE-ISSUED FOR PERMIT	5/21/96
2	ISSUE FOR PERMIT	3/04/96
3	ADDENDUM NO. 1	3/01/96
4	ISSUED FOR PERMIT	2/16/96

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CITY PLANNING DEPARTMENT
APPROVED
By: _____
JAN 06 1996

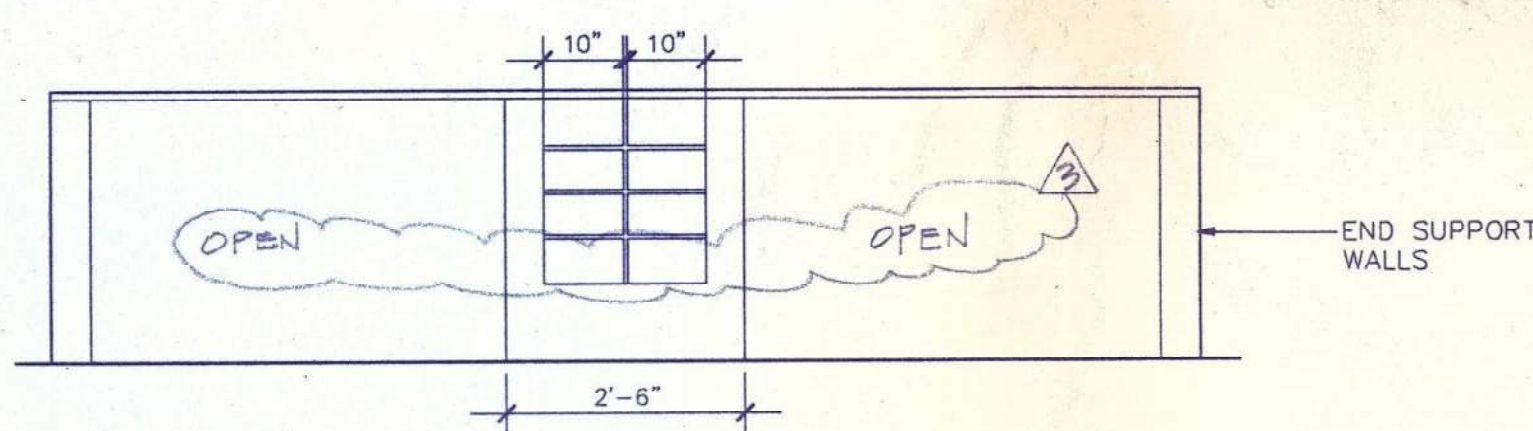
BERKELEY ONE STOP PERMIT
CENTER - PLANNING &
BUILDING DEPARTMENTS
Berkeley, California

INTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"
PROJECT NO. 95055.00 DRAWING NO. A3.1
DATE: 02.16.96

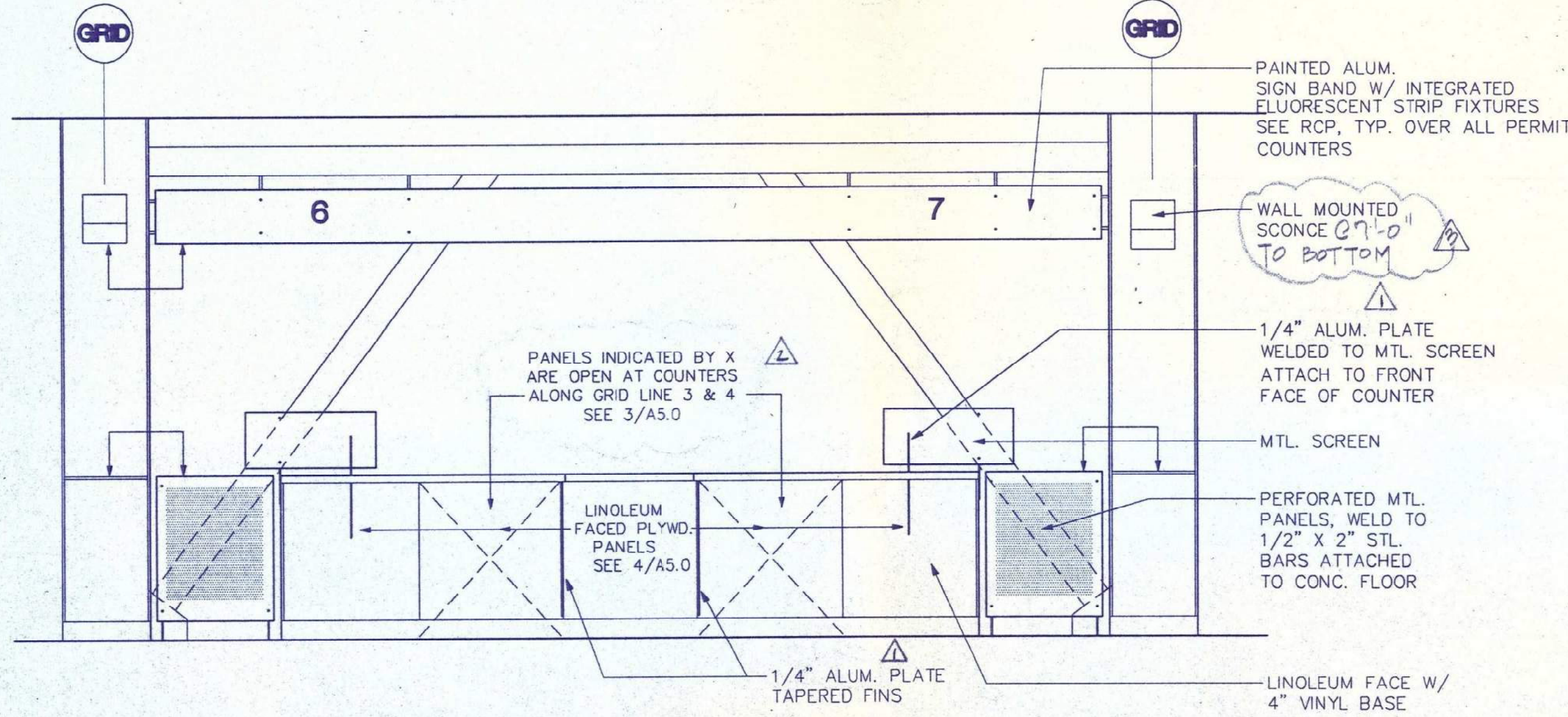
FOR REFERENCE



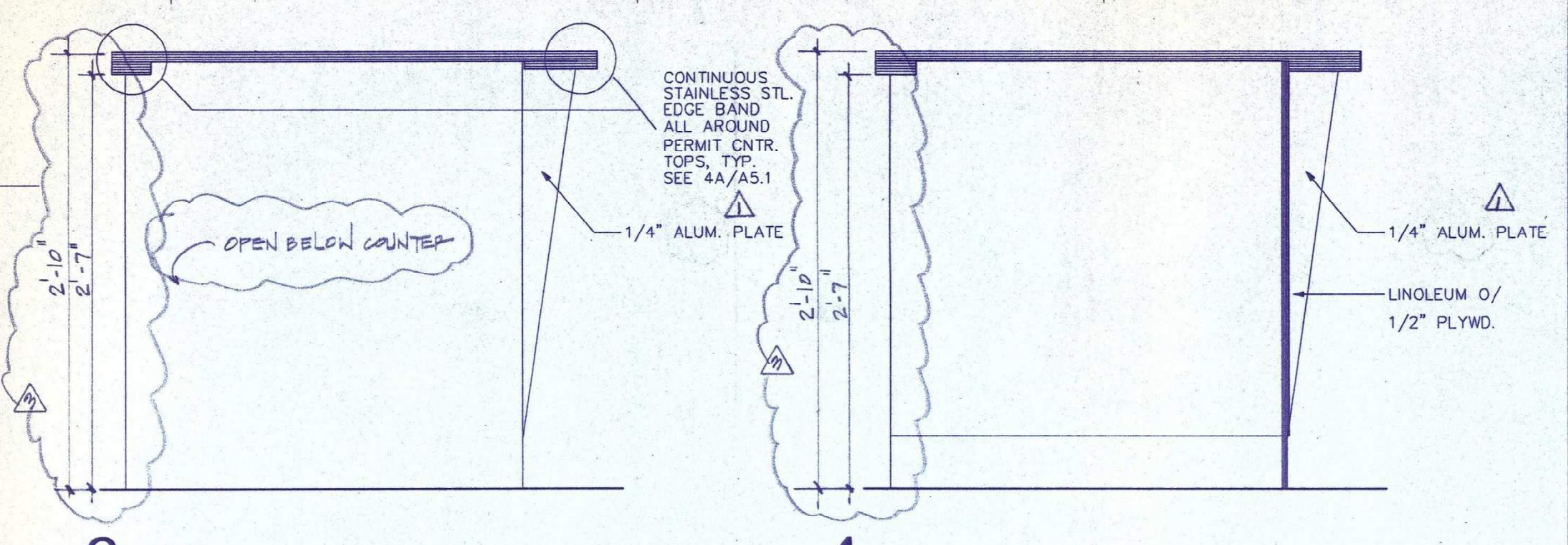
1 PLAN AT PERMIT COUNTERS 1/2" = 1'-0"



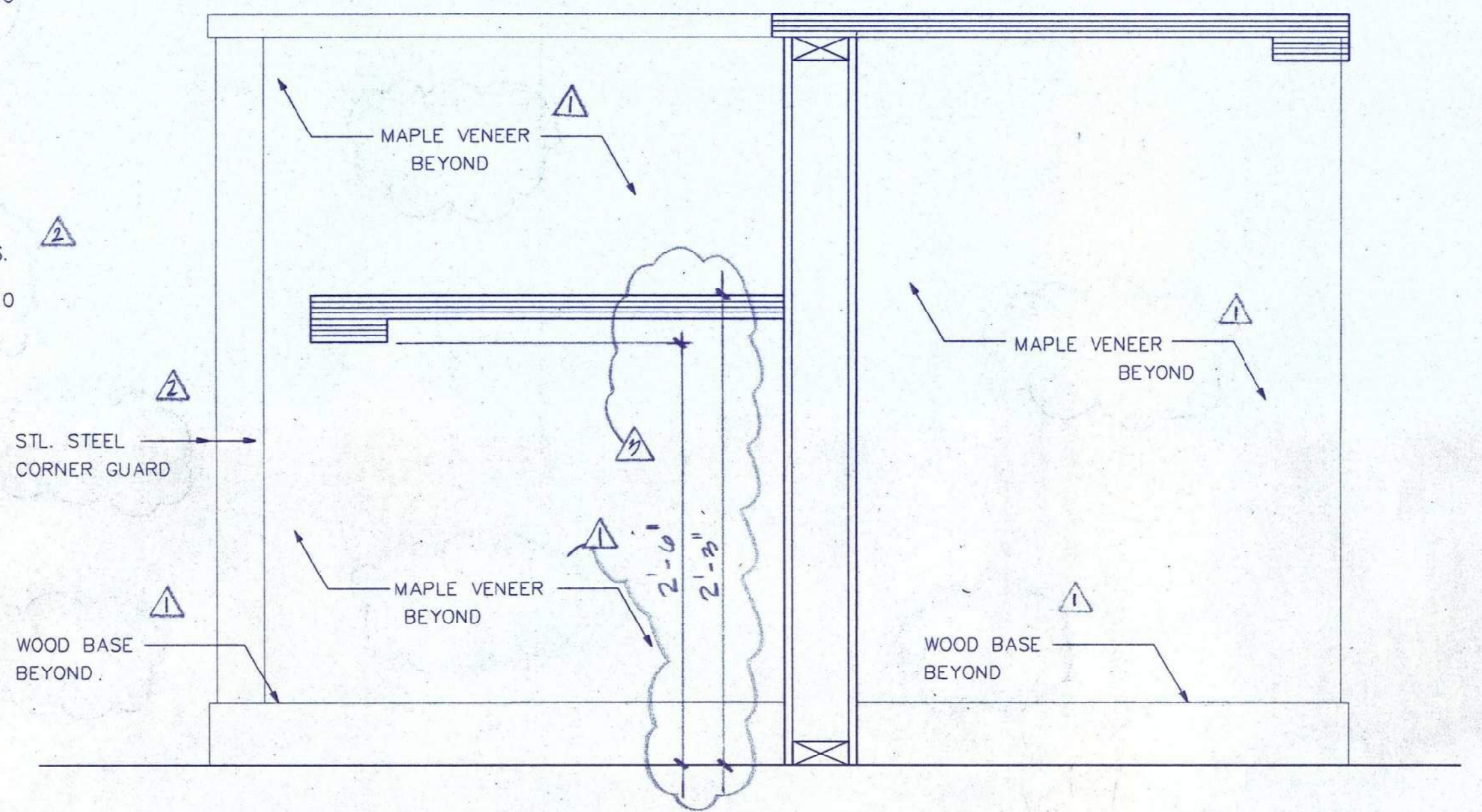
2B ELEVATION AT BACK OF PERMIT COUNTER



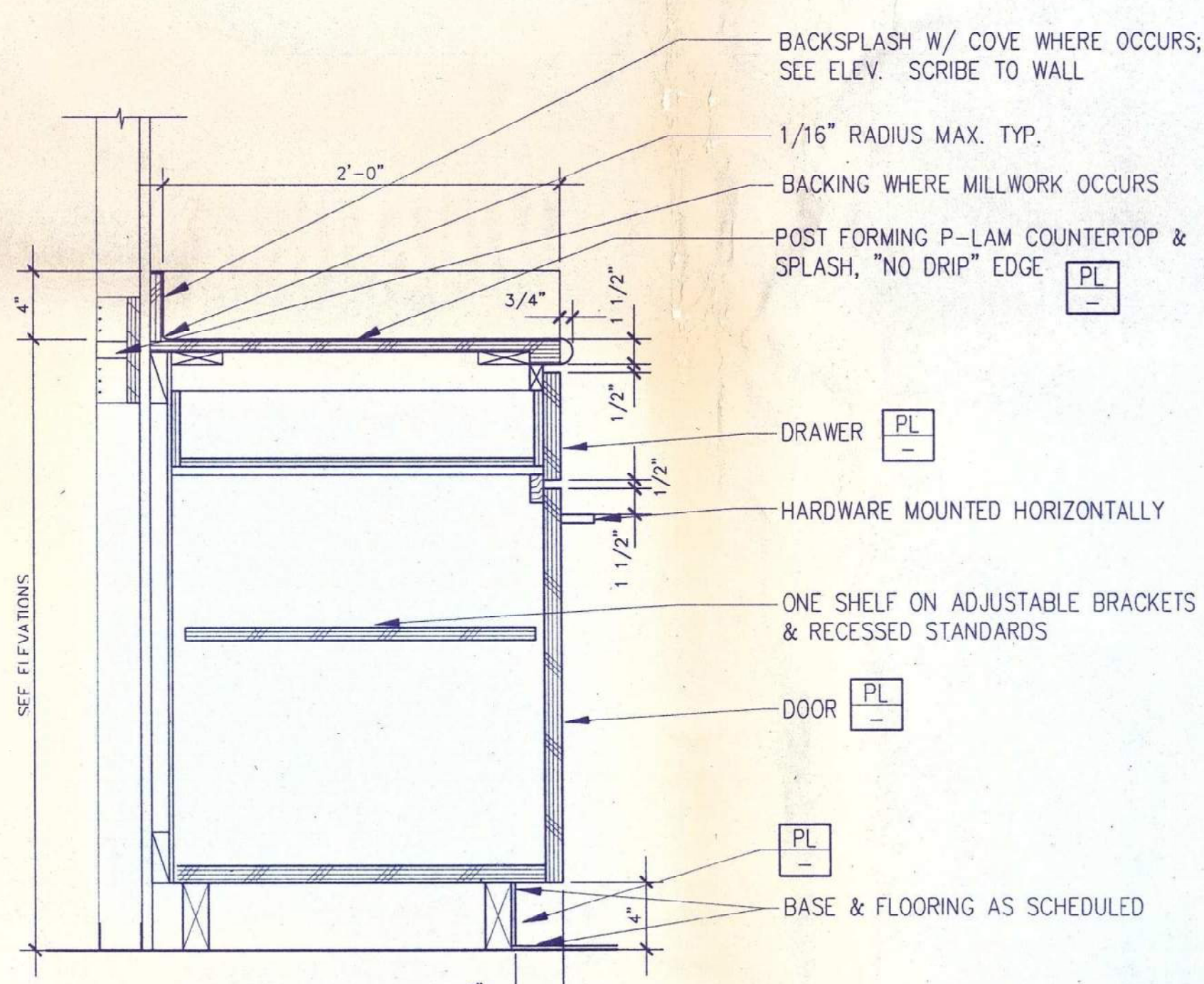
2A ELEVATION AT FRONT OF PERMIT COUNTER 1/2" = 1'-0"



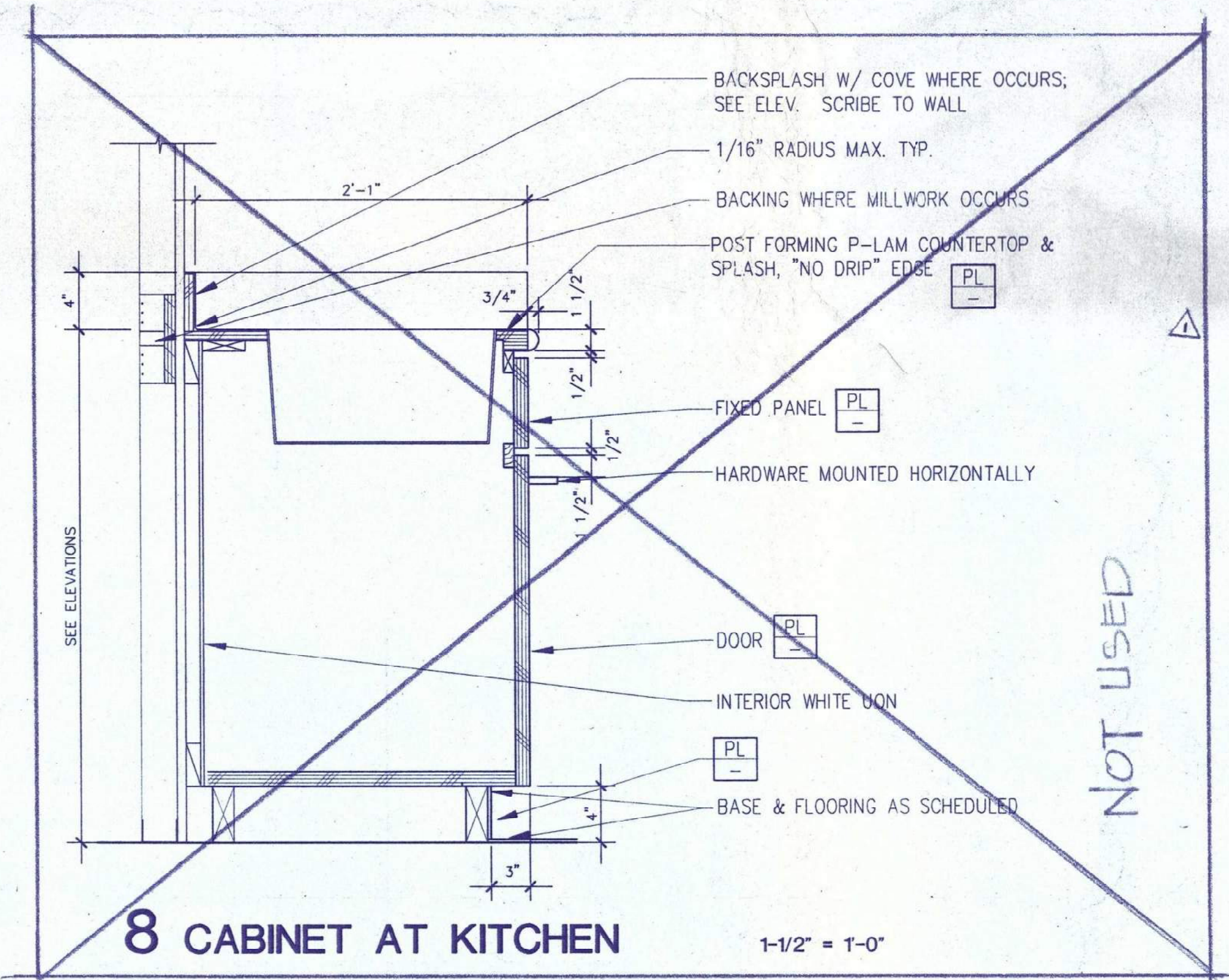
3 SECTION-PERMIT COUNTER 1-1/2" = 1'-0" 4 SECTION-PERMIT COUNTER 1-1/2" = 1'-0"



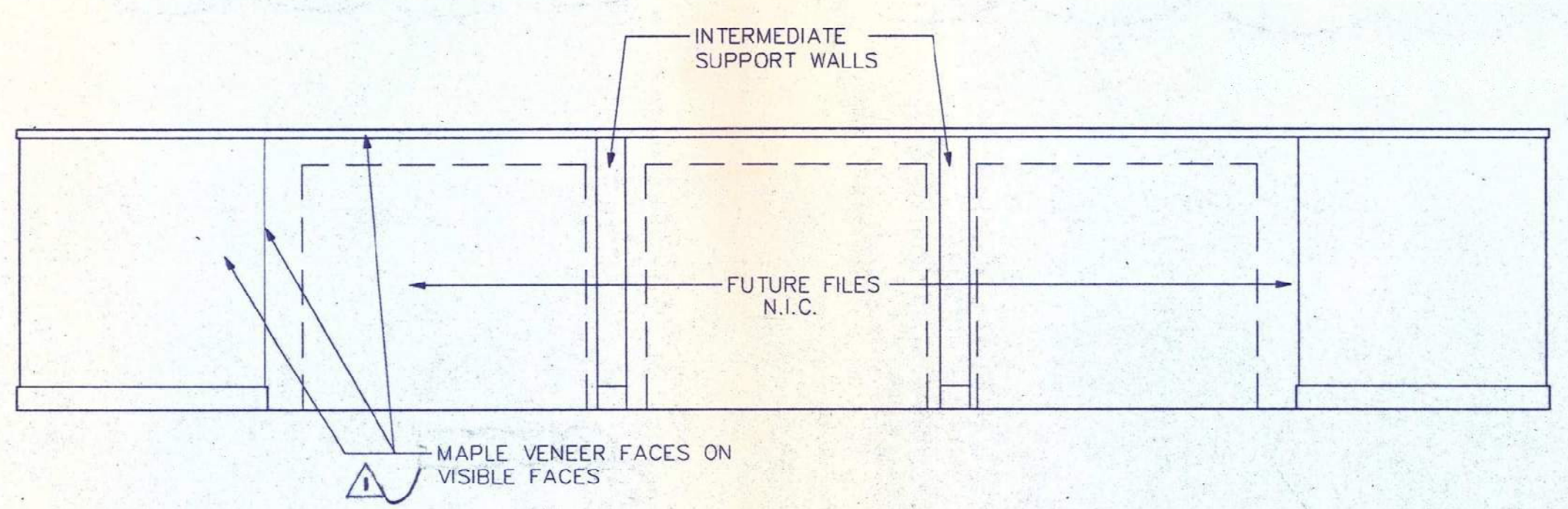
6 SECTION THROUGH WORK COUNTER 1-1/2" = 1'-0"



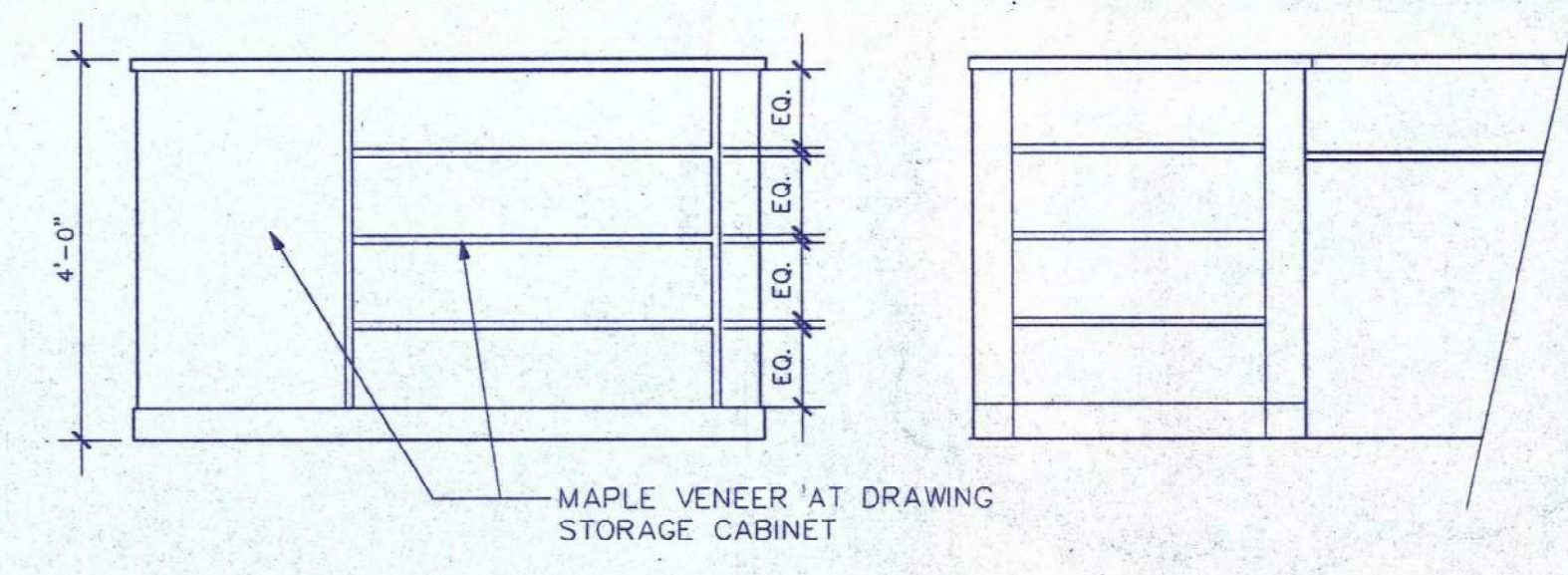
7 CABINET AT KITCHEN 1-1/2" = 1'-0"



8 CABINET AT KITCHEN 1-1/2" = 1'-0"



9 ELEVATION AT WORK COUNTER 1/2" = 1'-0"



N AND S E

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NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	3.2.91
2	ISSUE FOR PERMIT	3.04.96
3	ADDENDUM NO. 1	3.01.96
4	ISSUED FOR PRICING	2.16.96
5	DESCRIPTION	DATE

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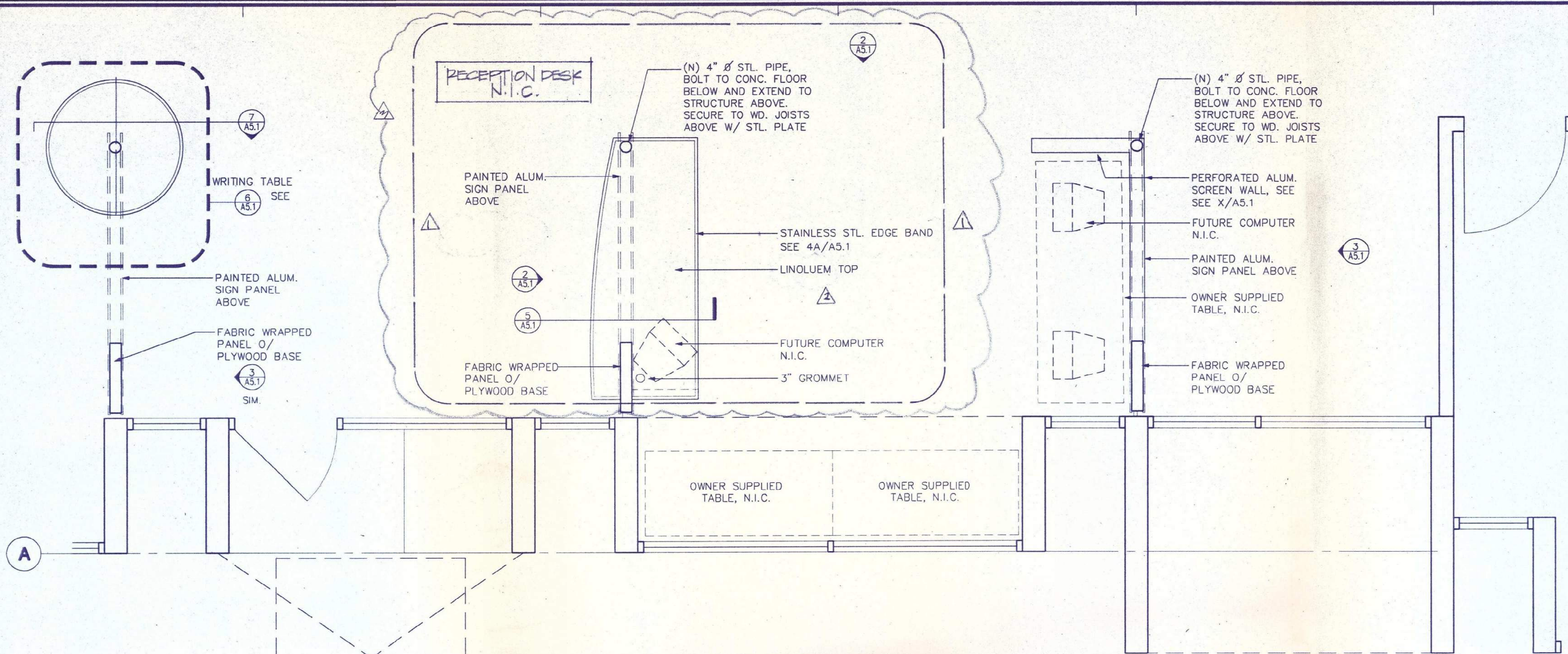
BERKELEY ONE STOP PERMIT CENTER - PLANNING & BUILDING DEPARTMENTS
Berkeley, California

CASEWORK PLANS SECTIONS AND DETAILS

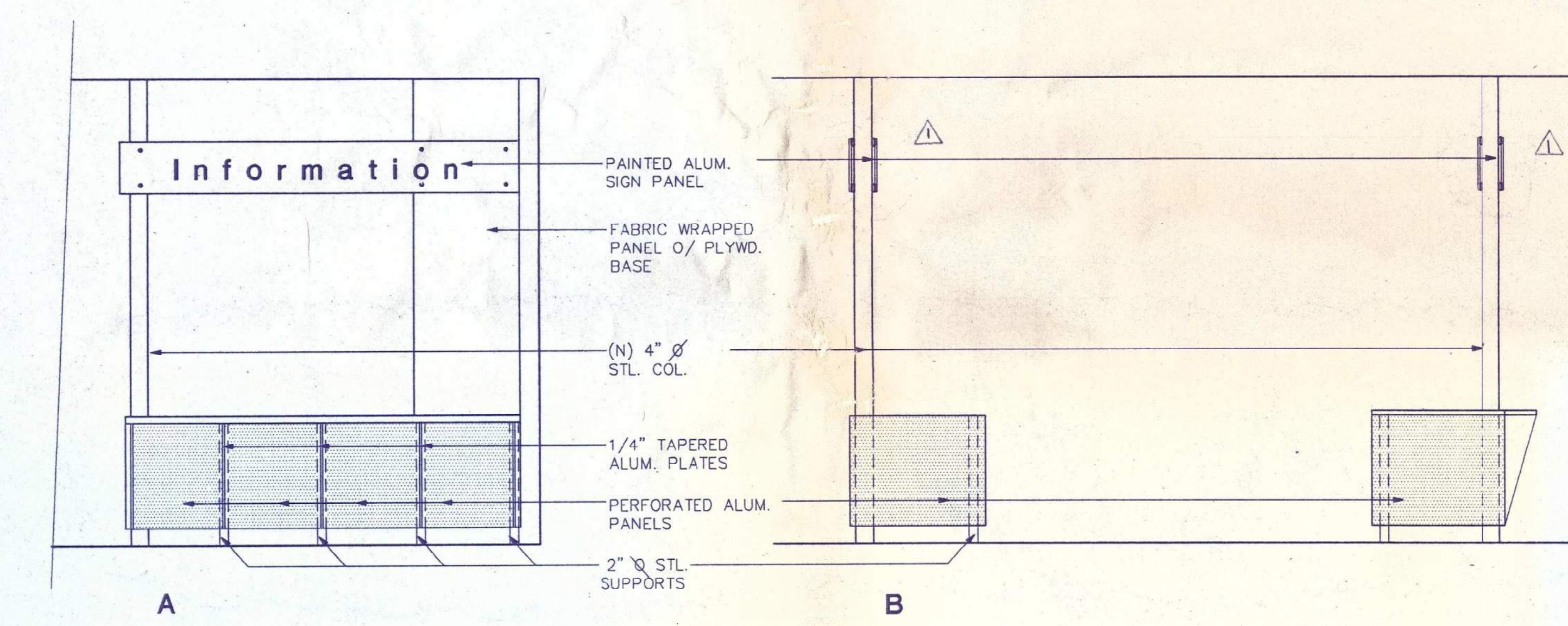
SCALE: VARIES

PROJECT NO. 95055.00	DRAWING NO. A5.0
DATE: 02.16.96	

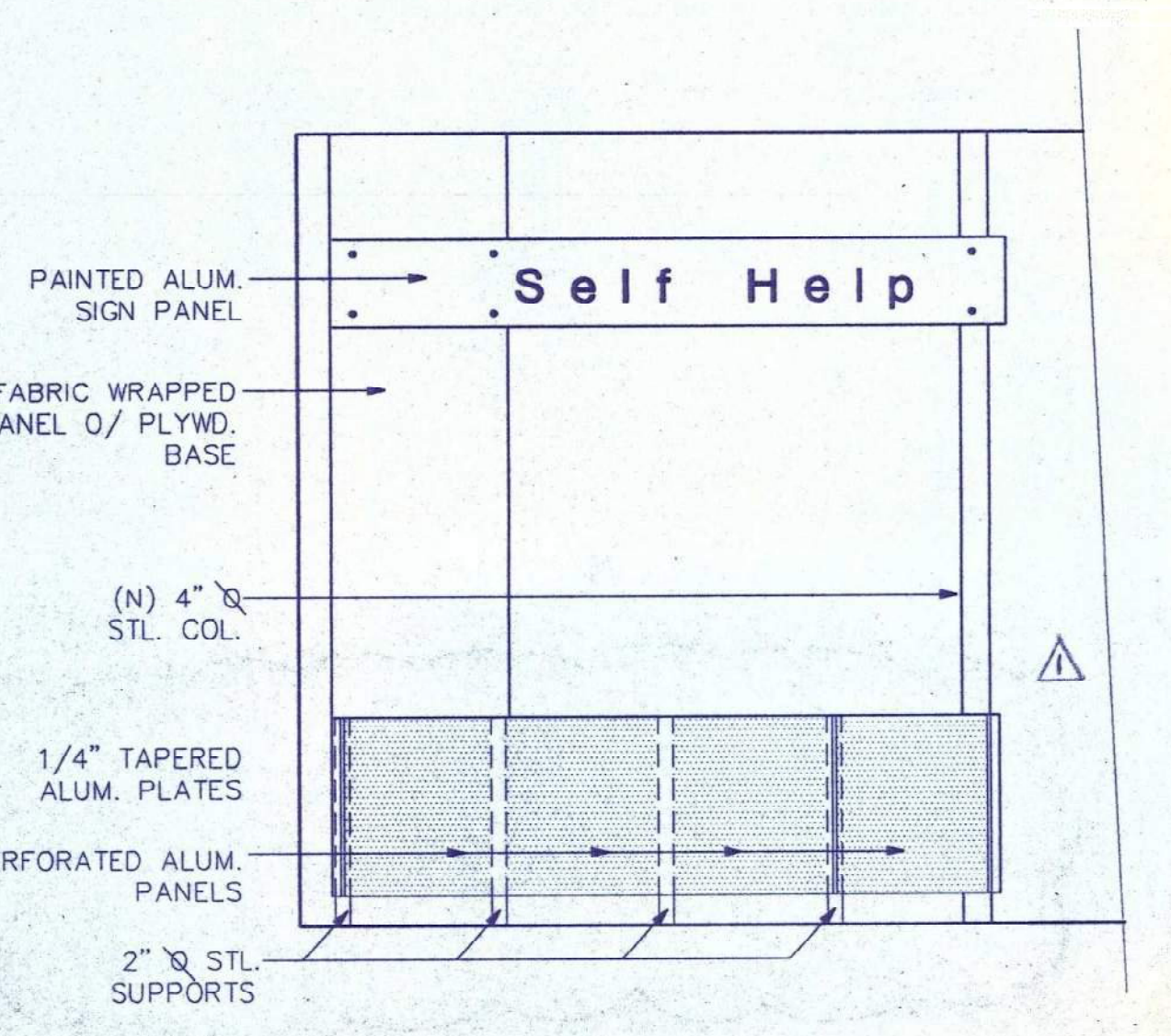
If this drawing is not 30" x 42" it is a reduced print - scale accordingly.



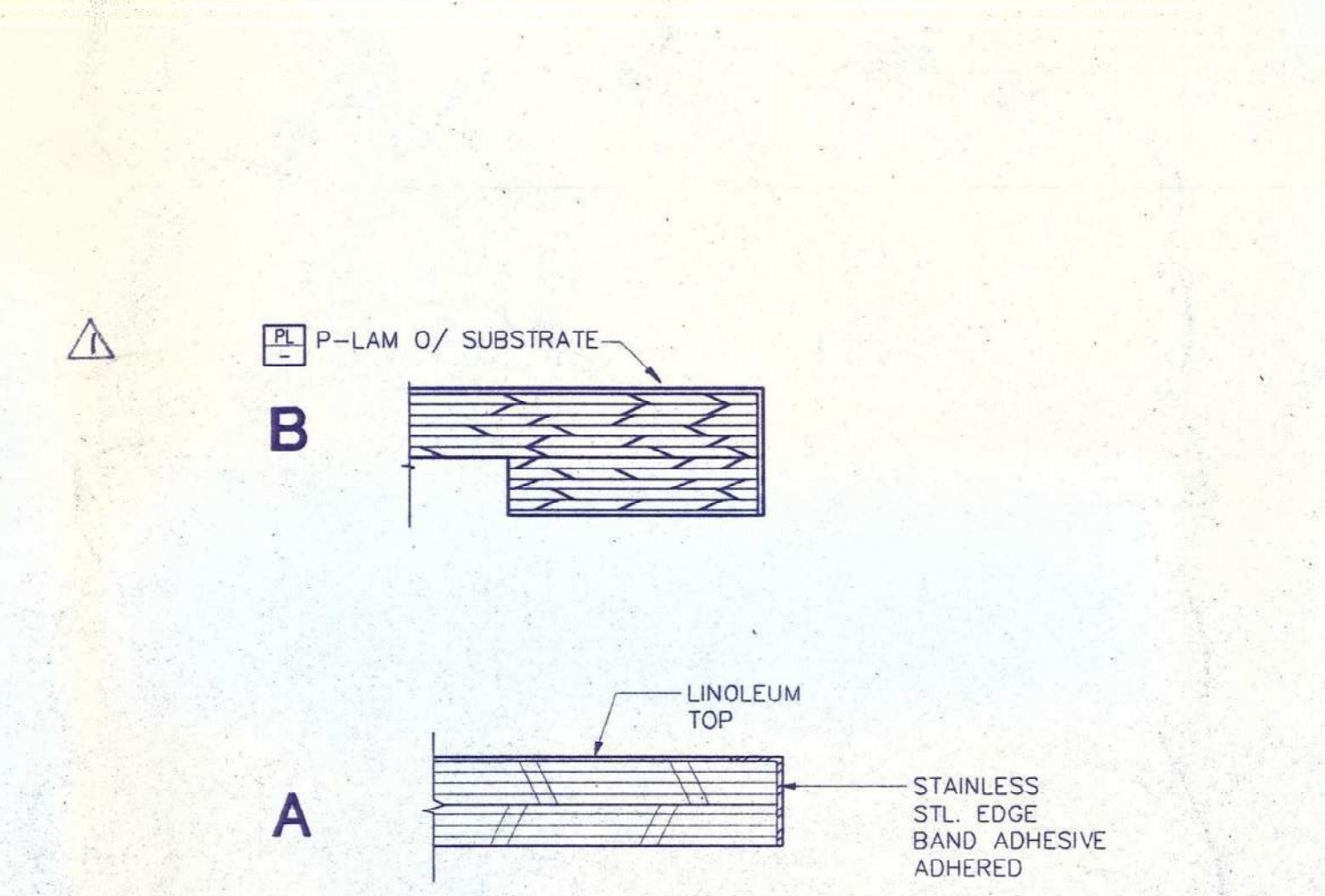
1 PLAN AT PERMIT CENTER RECEPTION 1/2" = 1'-0"



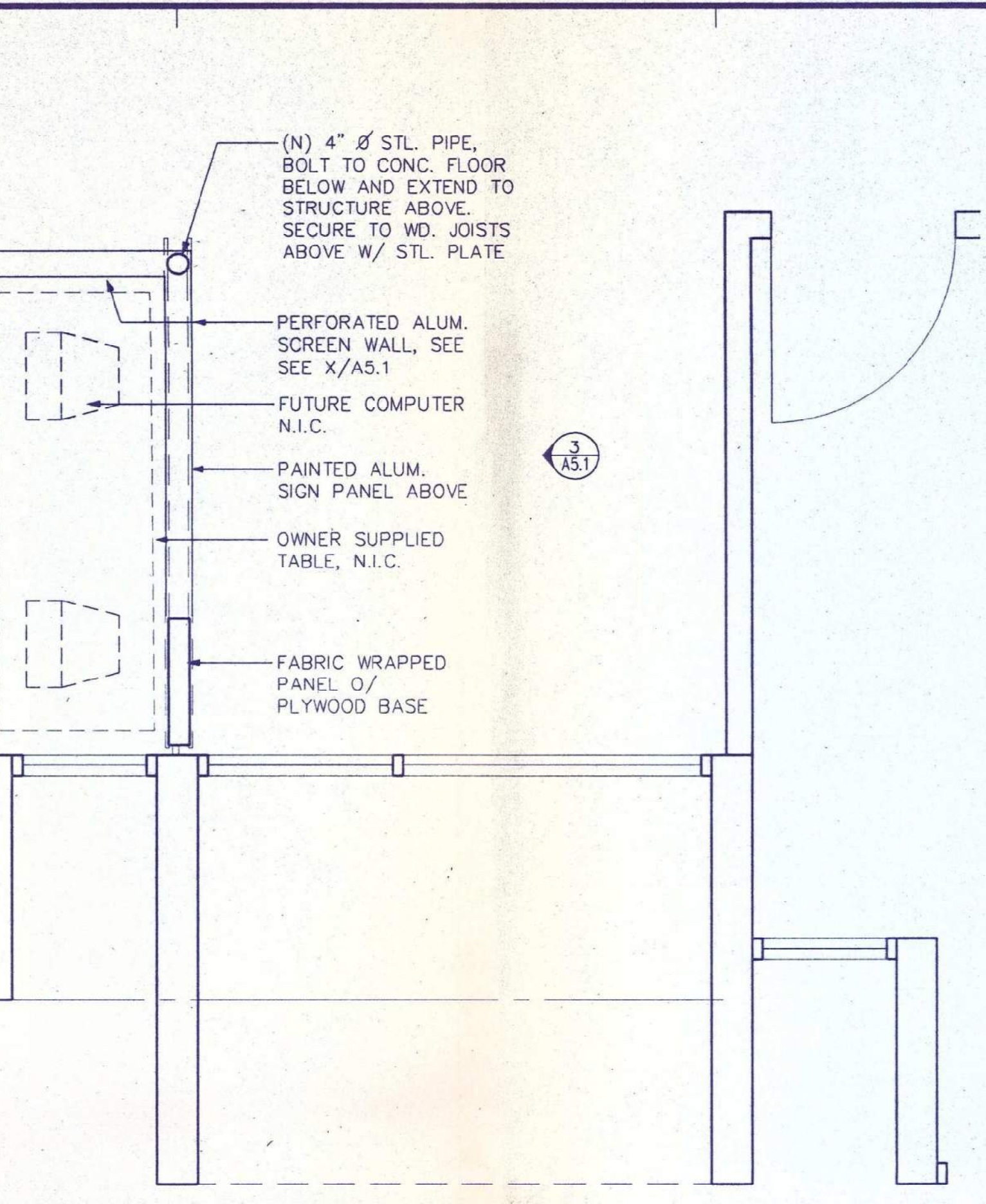
2 RECEPTION ELEVATION 1/2" = 1'-0"



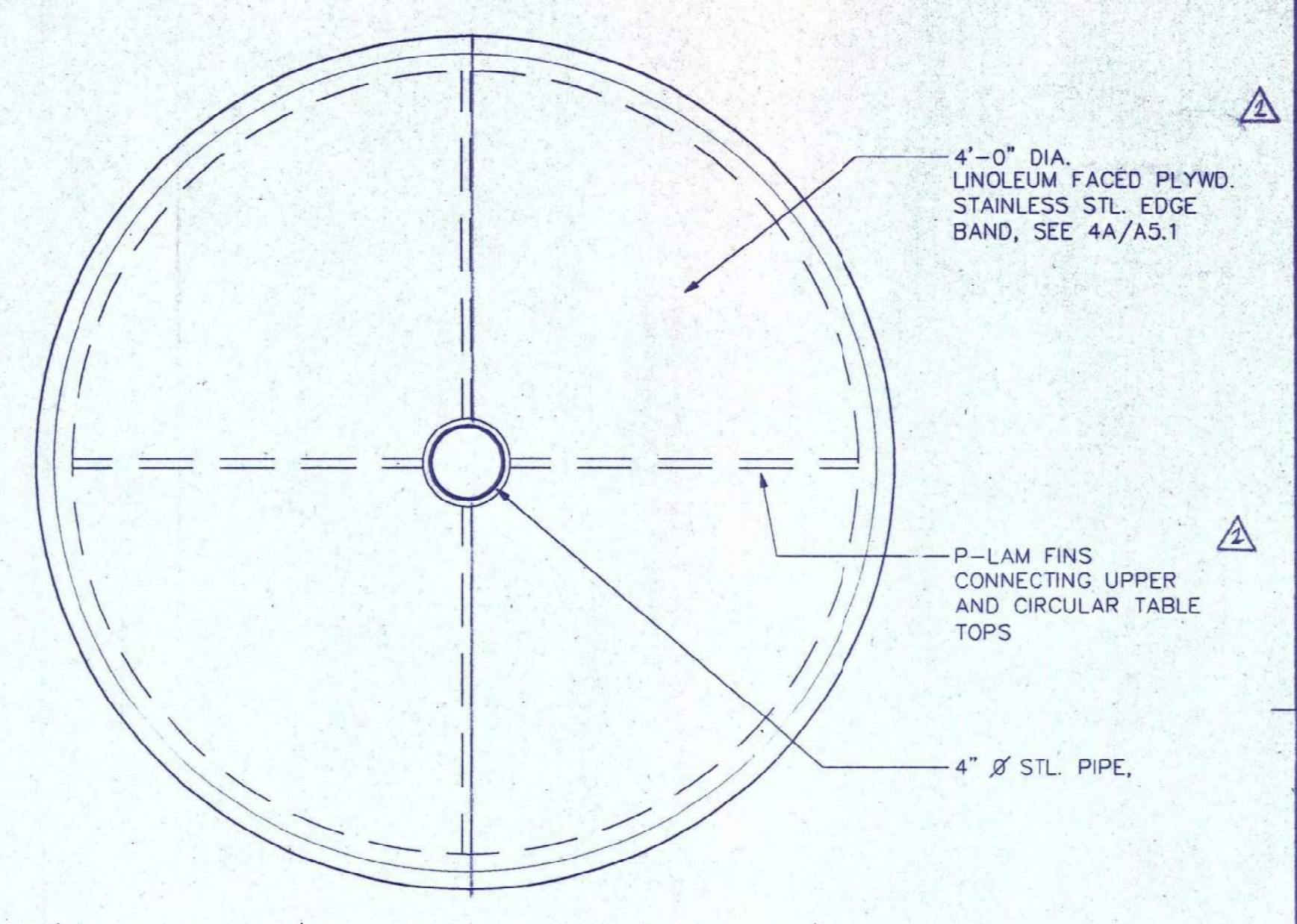
3 SELF HELP ELEV. 1/2" = 1'-0"



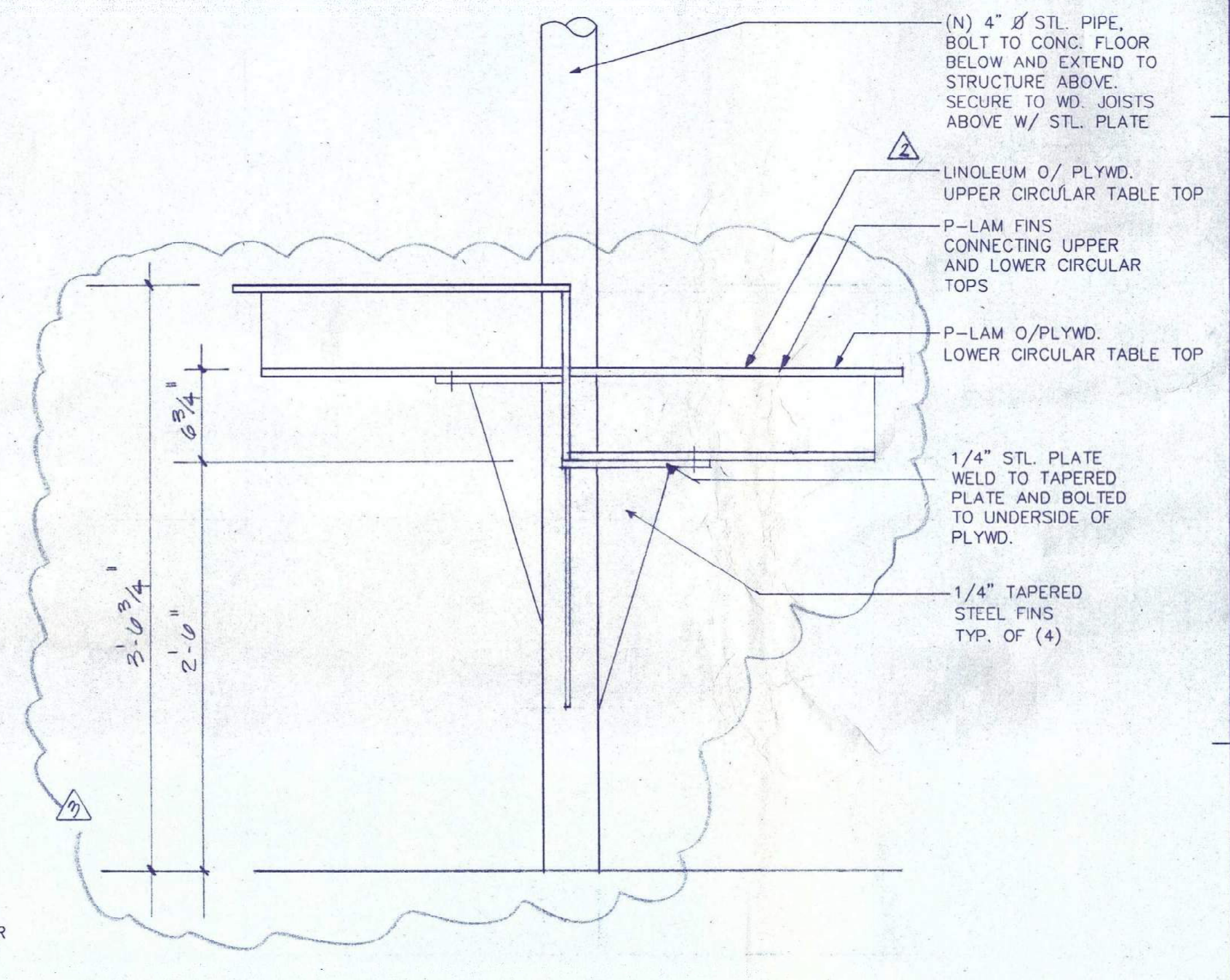
4 CASEWORK EDGE DETAILS



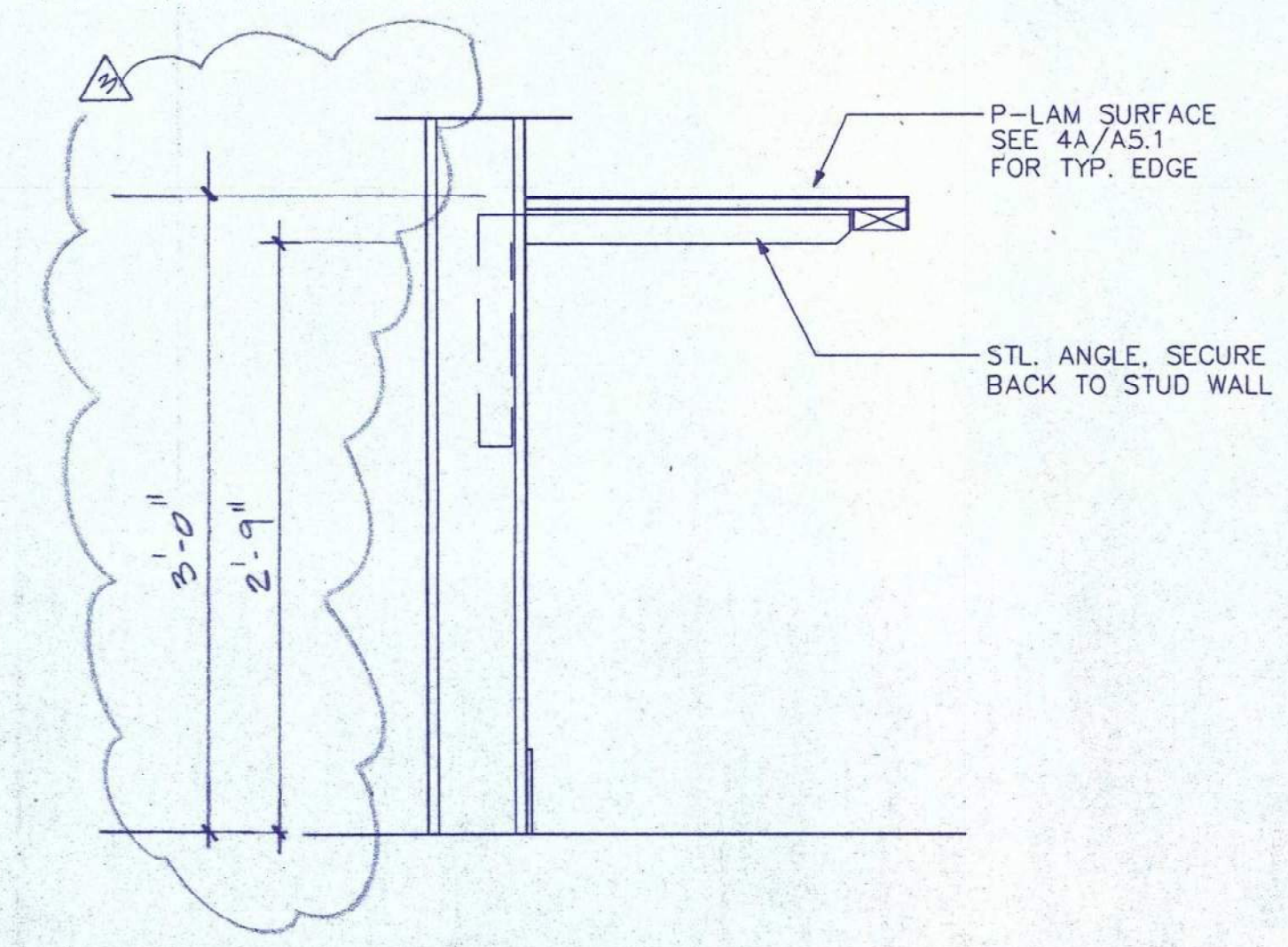
5 RECEPTION DESK SECTION 1-1/2" = 1'-0"



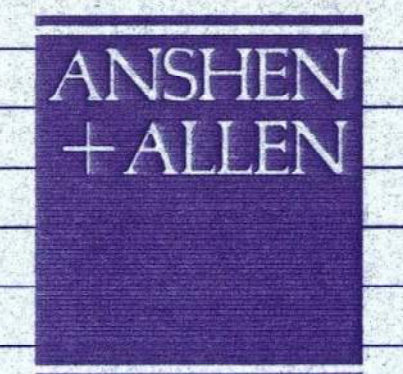
6 PLAN AT WRITING SURFACE 1-1/2" = 1'-0"



7 SECTION AT WRITING SURFACE 1-1/2" = 1'-0"



8 TYP. P-LAM COUNTER 1/2" = 1'-0"



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NO. DESCRIPTION	DATE

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By: _____
JUN 06 1996

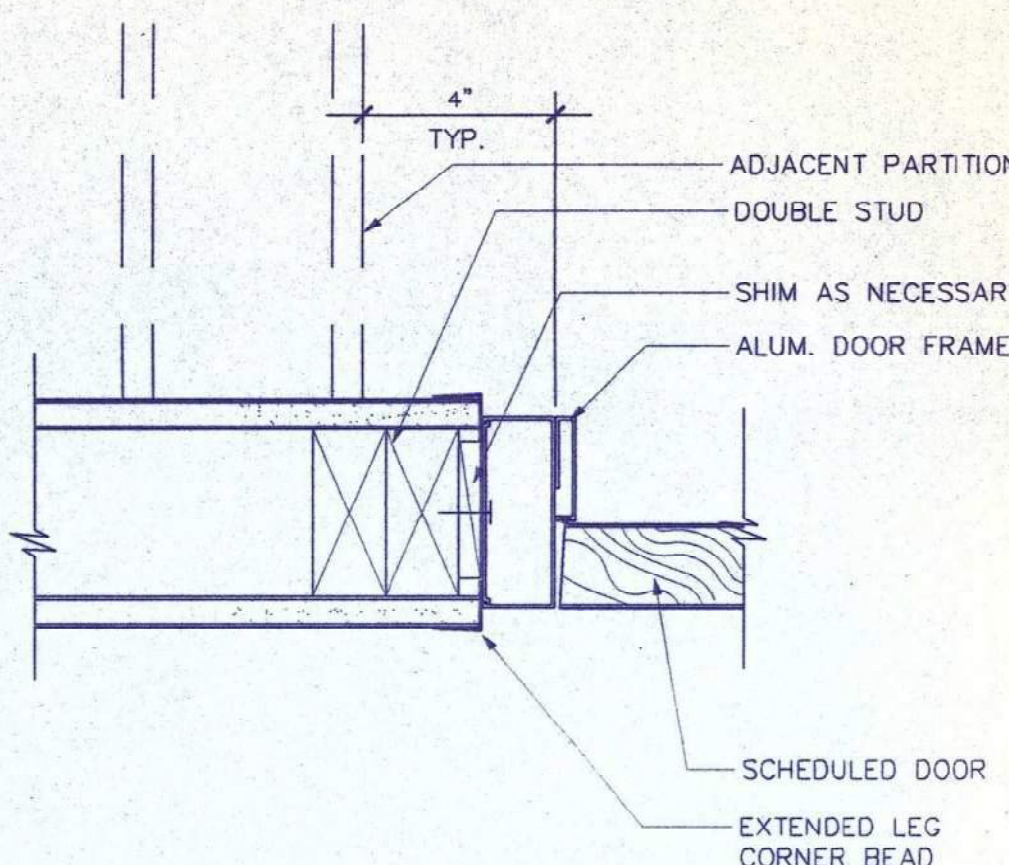
BERKELEY ONE STOP PERMIT
CENTER - PLANNING &
BUILDING DEPARTMENTS
Berkeley, California

CASEWORK PLANS
SECTIONS AND DETAILS

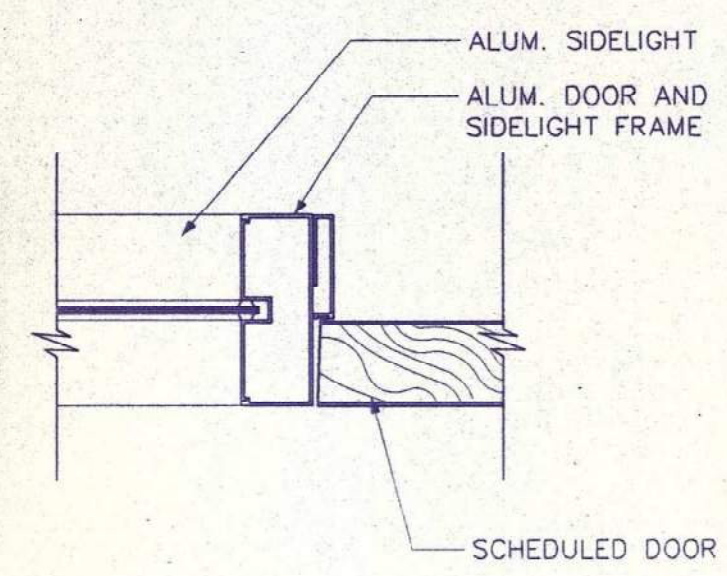
SCALE: VARIES	DRAWING NO.
PROJECT NO. 95055.00	
DATE: 02.16.96	A5.1

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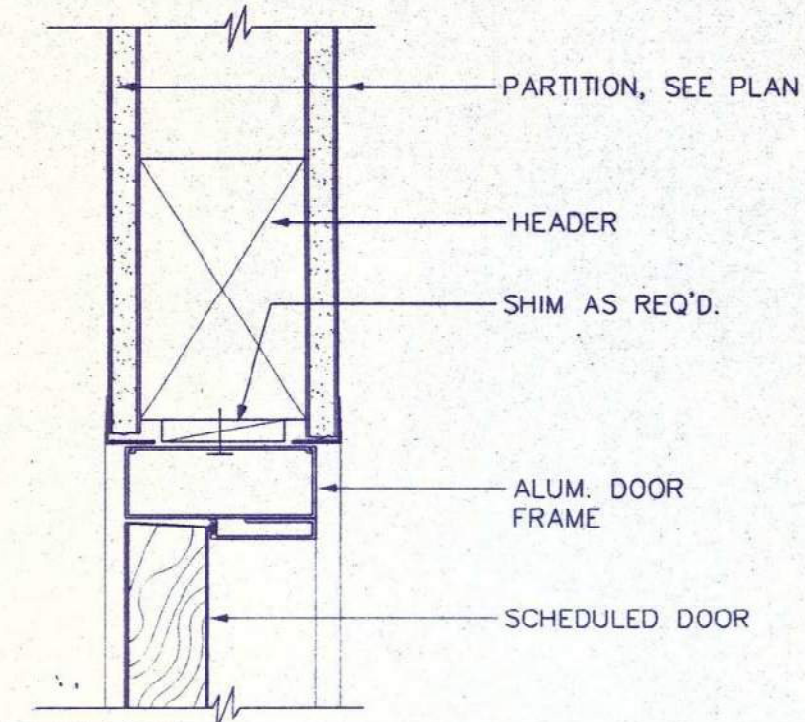
FOR REFERENCE



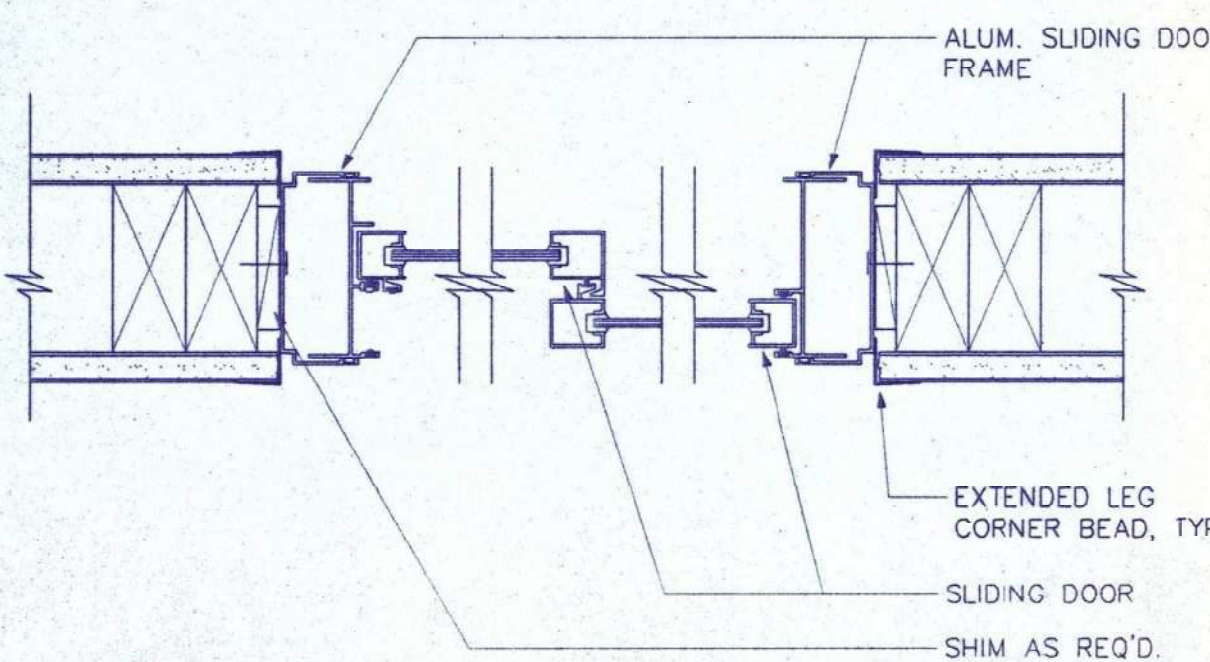
1 DOOR JAMB 3'-1-0"



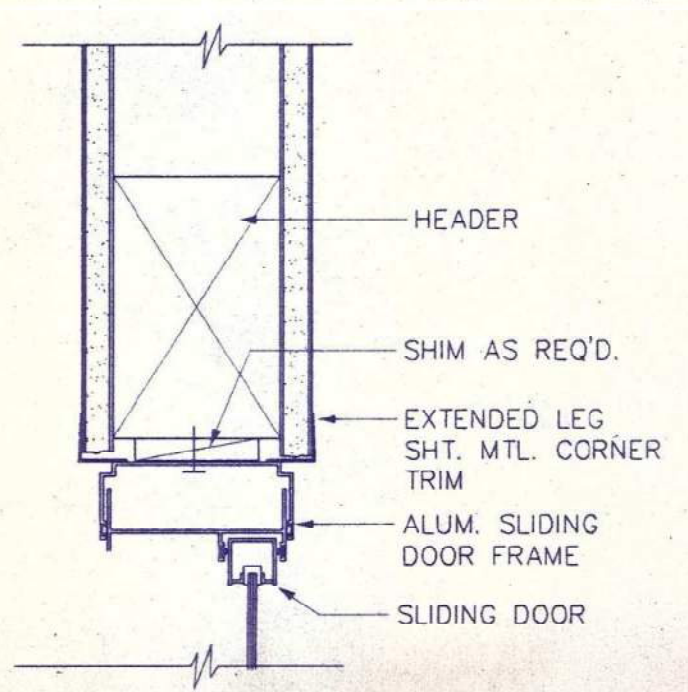
2 DOOR JAMB W/ SIDELGT. 3'-1-0"



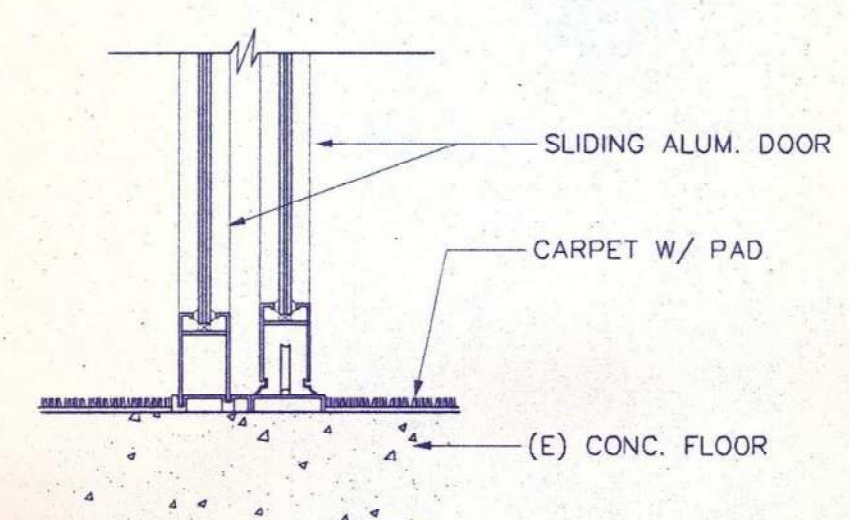
3 DOOR HEAD 3'-1-0"



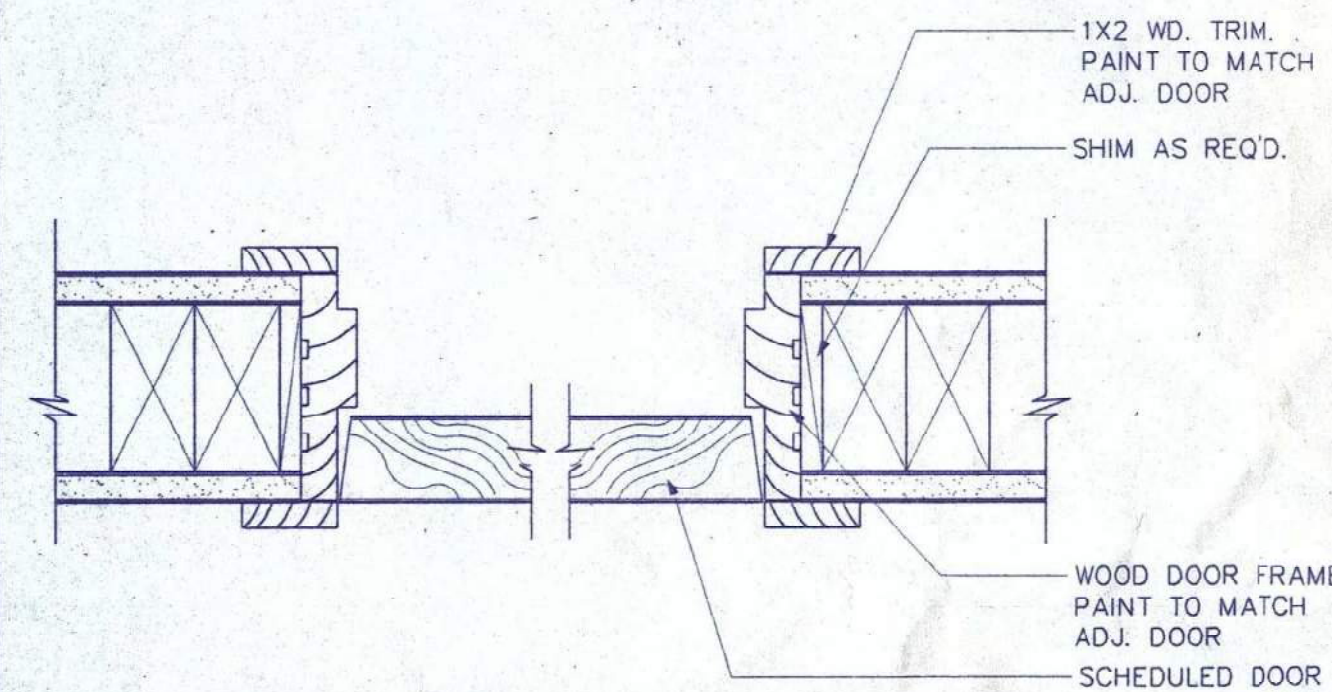
4 SLIDING ALUM. DOOR JAMB 3'-1-0"



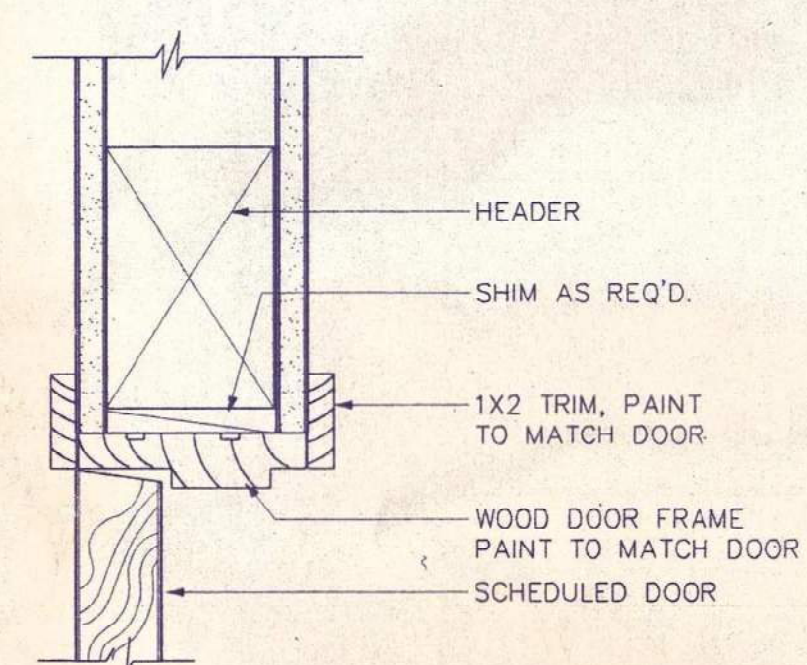
5 SLIDING ALUM. DOOR HEAD 3'-1-0"



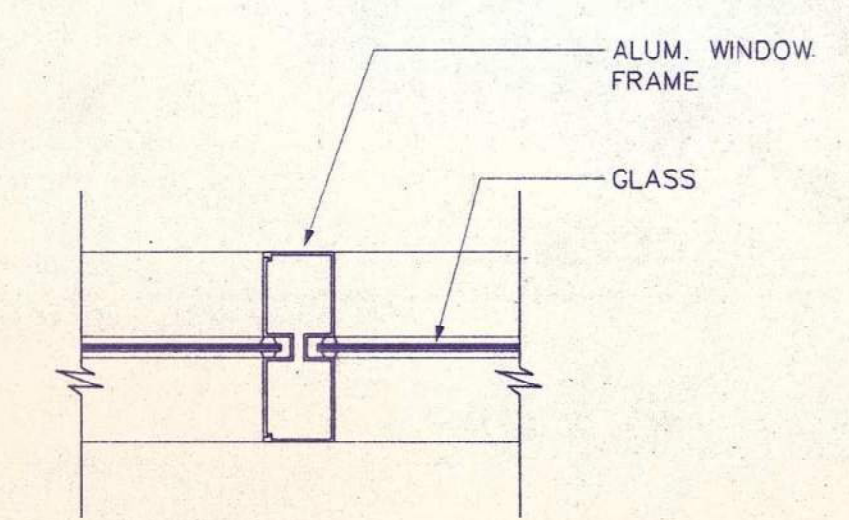
6 SLIDING ALUM. DOOR SILL 3'-1-0"



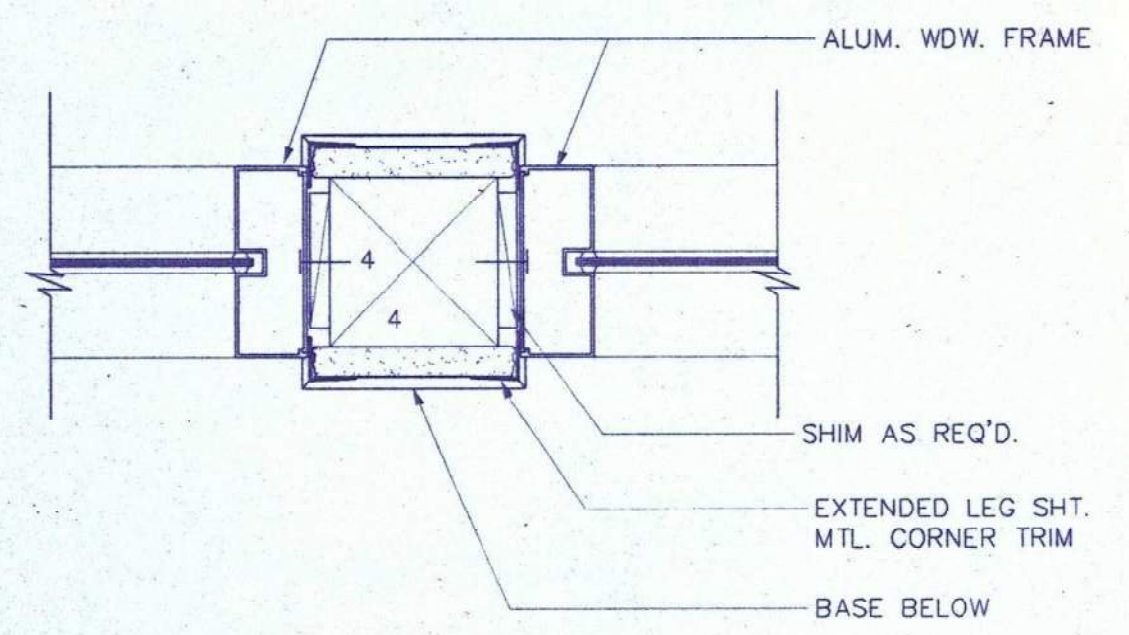
7 WOOD DOOR JAMB 3'-1-0"



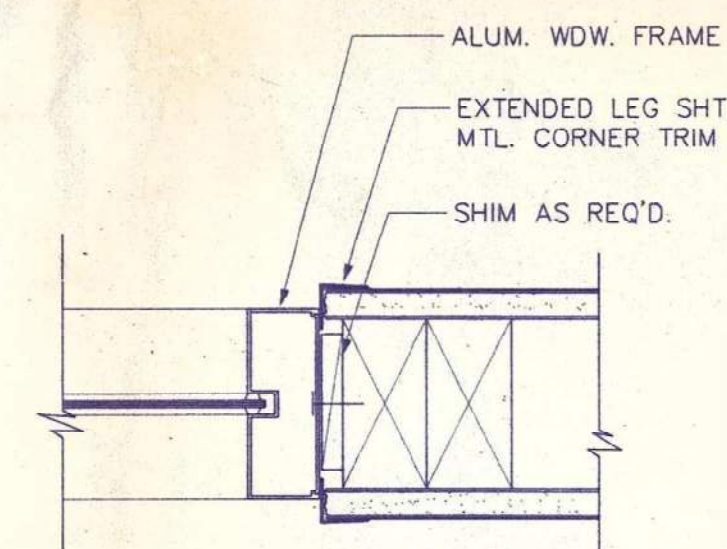
8 DOOR HEAD 3'-1-0"



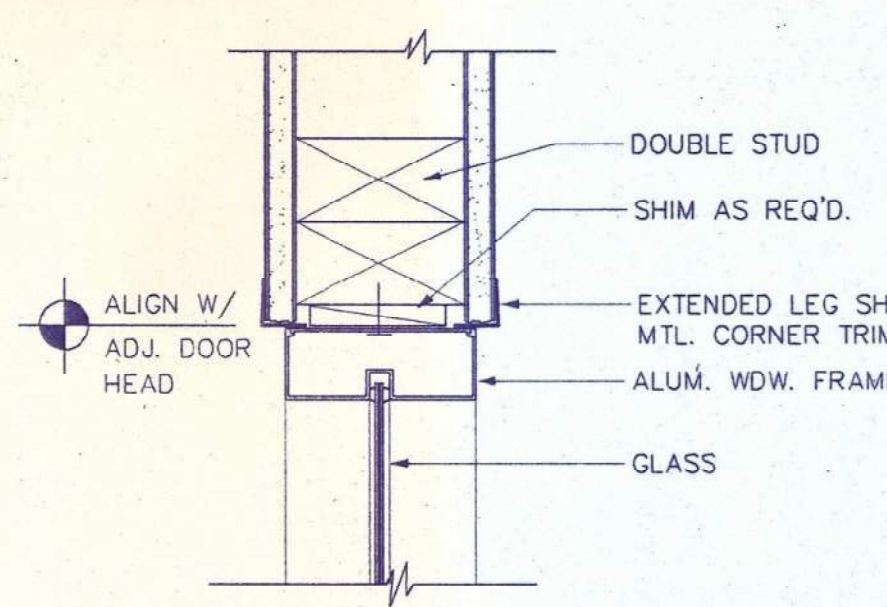
9 INTERMEDIATE WDW. MULLION 3'-1-0"



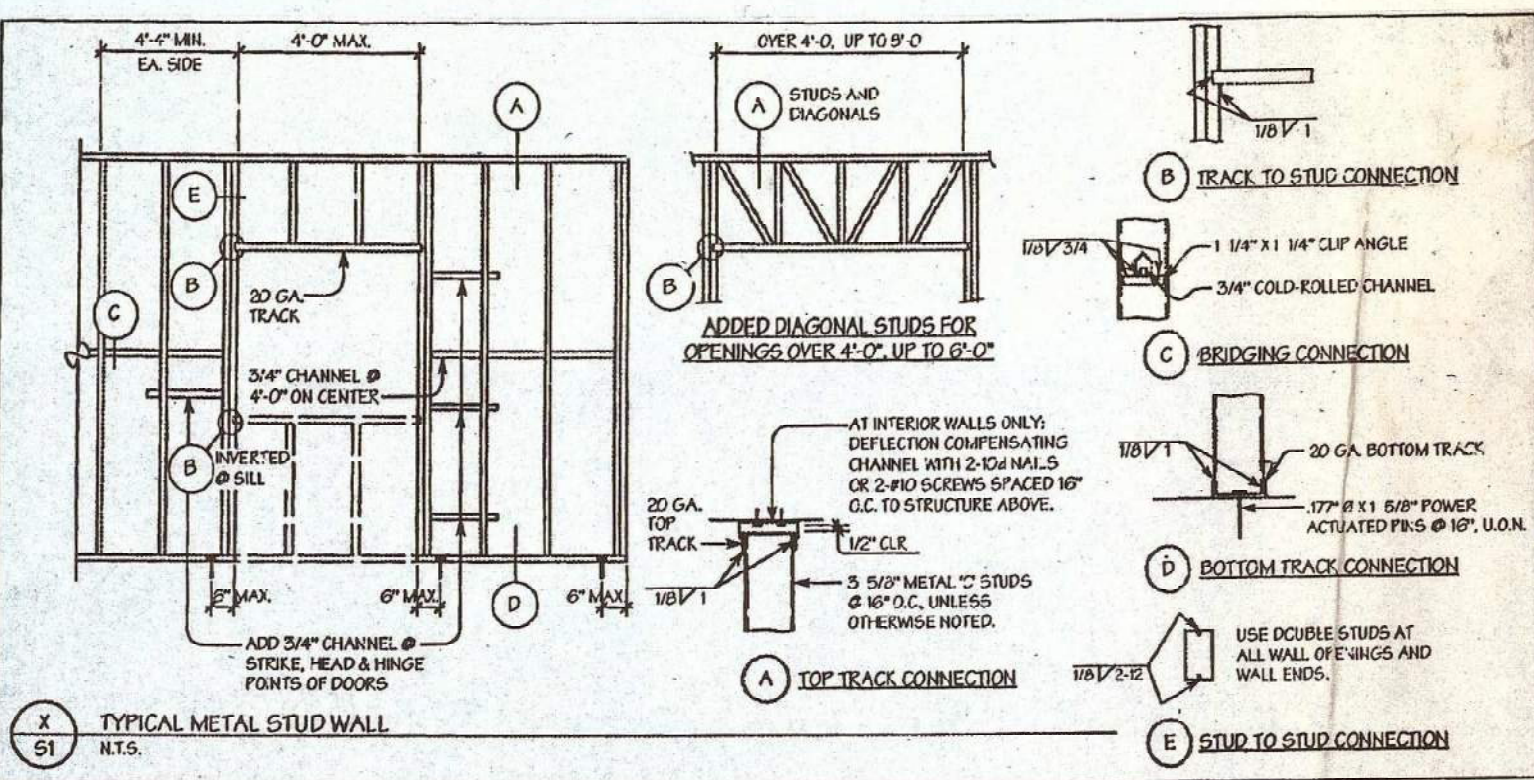
10 WINDOW JAMB 3'-1-0"



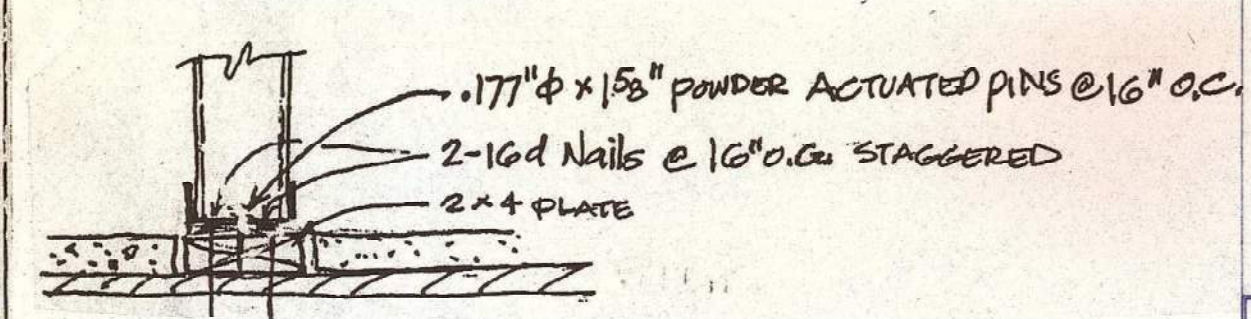
11 WINDOW JAMB 3'-1-0"



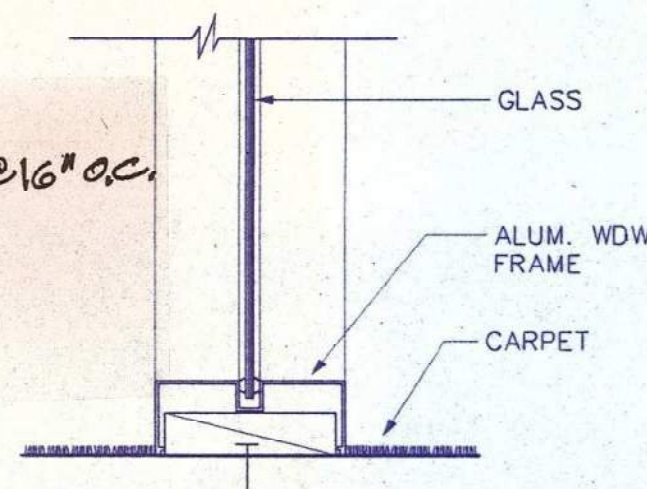
12 WINDOW HEAD 3'-1-0"



13 x



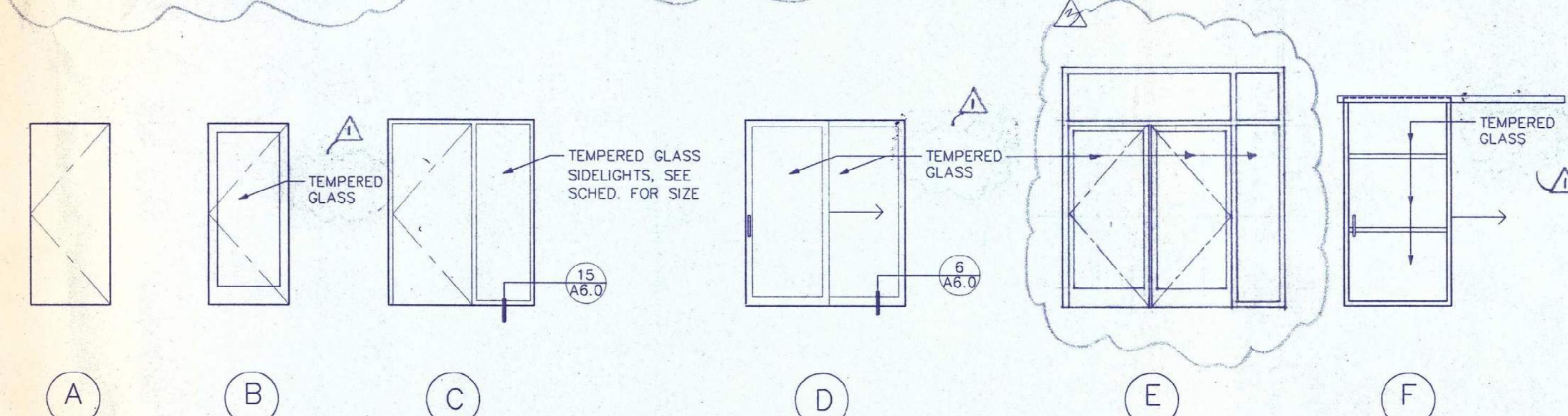
14 x



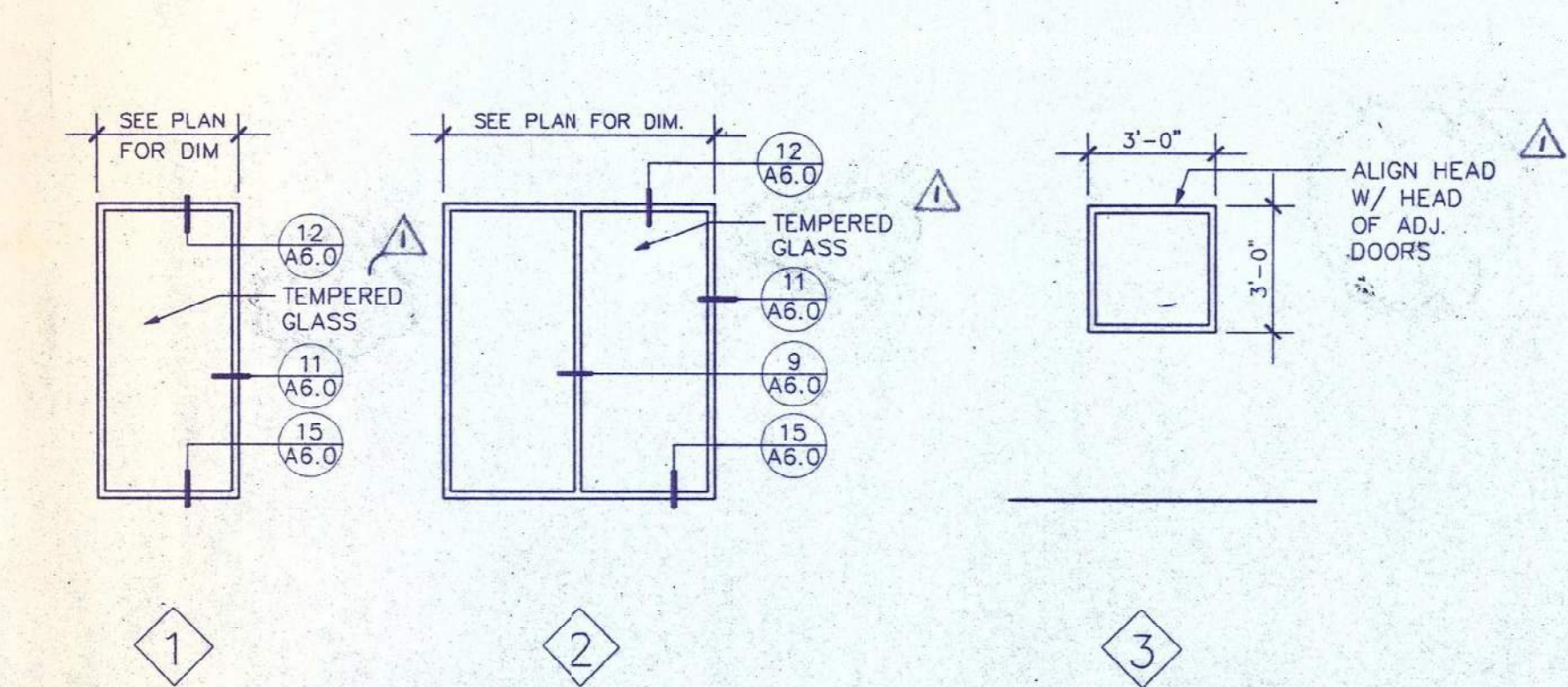
15 WINDOW SILL 3'-1-0"

ROOM NO.	DOOR				DOOR FRAME					HWR GROUP (SEE SPEC)	RTG.	REMARKS	
	TYPE	MAT'L	WIDTH	HT.	FINISH	MAT'L	JAMB	JAMB2	HEAD				SILL
FIRST FLOOR													
1	E	ALUM.	6'-0"	7'-0"	-	ALUM.	-	-	-	-	-	-	MATCH OTHER EXTERIOR STOREFRONT DOORS
102	A	WD.	3'-0"	6'-8"	PTD.	ALUM.	1	2	3	-	1	-	2'-0" SIDELIGHT, V.I.F. SIZE
103A	A	WD.	3'-0"	6'-8"	PTD.	ALUM.	1	1	3	-	2	-	
103B	B	WD.	3'-0"	6'-8"	PTD.	ALUM.	1	1	3	-	2	-	
104	F	GLASS	4'-0"	8'-0"	-	-	-	-	-	-	3	-	ALL GLASS SLIDING DOOR
106													
111	D	GLASS	6'-0"	6'-8"	-	ALUM.	4	4	5	6	4	-	SLIDING DOOR
112	D	GLASS	6'-0"	6'-8"	-	ALUM.	4	4	5	6	4	-	SLIDING DOOR
113													
115	D	GLASS	6'-0"	6'-8"	-	ALUM.	4	4	5	6	4	-	SLIDING DOOR
116	D	GLASS	6'-0"	6'-8"	-	ALUM.	4	4	5	6	4	-	SLIDING DOOR
117	D	GLASS	6'-0"	6'-8"	-	ALUM.	4	4	5	6	4	-	SLIDING DOOR
118	D	GLASS	6'-0"	6'-8"	-	ALUM.	4	4	5	6	4	-	SLIDING DOOR
119	D	GLASS	6'-0"	6'-8"	-	ALUM.	4	4	5	6	4	-	SLIDING DOOR
120	A	WD.	3'-0"	6'-8"	PTD.	WOOD	7	7	8	-	1	-	
121	D	GLASS	6'-0"	6'-8"	-	ALUM.	4	4	5	6	4	-	SLIDING DOOR
123A													
124	D	GLASS	6'-0"	6'-8"	-	ALUM.	4	4	5	6	4	-	SLIDING DOOR
125	D	GLASS	6'-0"	6'-8"	-	ALUM.	4	4	5	6	4	-	SLIDING DOOR
126	D	GLASS	6'-0"	6'-8"	-	ALUM.	4	4	5	6	4	-	SLIDING DOOR
127	D	GLASS	6'-0"	6'-8"	-	ALUM.	4	4	5	6	4	-	SLIDING DOOR
128	D	GLASS	6'-0"	6'-8"	-	ALUM.	4	4	5	6	4	-	SLIDING DOOR
129													
130													
133	A	WD.	2'-6"	6'-8"	PTD.	WOOD	7	7	8	-	1	-	
139A	B	WD.	3'-0"	6'-8"	PTD.	ALUM.	1	2	3	-	5	-	1'-6" SIDELIGHT-V.I.F. SIZE
139B	B	WD.	3'-0"	6'-8"	PTD.	ALUM.	1	1	3	-	1	-	
SECOND FLOOR													
204													
212													
213													
226	B	ALUM.	3'-0"	6'-8"	PTD.	ALUM.	1	1	3	-	1	-	SEE WDW. SCHED. FOR ADJACENT WDW.
227	B	ALUM.	3'-0"	6'-8"	PTD.	ALUM.	1	1	3	-	1	-	SEE WDW. SCHED. FOR ADJACENT WDW.
228	B	WD.	3'-0"	6'-8"	PTD.	ALUM.	1	1	3	-	1	-	
235													
240													
221	A	WD.	3'-0"	6'-8"	PTD.	WOOD	7	7	8	-	1	-	
THIRD FLOOR													
322													
325A													
325B													
325C													

16 DOOR SCHEDULE



17 DOOR TYPES



18 WINDOW TYPES

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 ARCHITECTURE
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SHEET NOTES

- DOOR SIZES INDICATED ARE NOMINAL COORDINATE UNDERCUTTING WITH FRAME TYPE & FLOOR FINISH.
- REFER TO PARTITION TYPES FOR COORDINATION OF DOOR FRAMING WITH ROUGH OPENINGS AT PARTITIONS.
- ALL DOOR OPENINGS ARE TO BE 4" FROM ADJACENT PARTITIONS, U.O.N.
- FINISH AT GLAZING FRAMES IN DOORS TO MATCH DOOR FRAME FINISH.
- PAINTED DOORS TO BE P1, U.O.N.
- ALL DOORS TO COMPLY W/ MAX. OPENING FORCE AS REQ'D BY CBC ACCESSIBILITY REQUIREMENTS.

NO.	DESCRIPTION	DATE
1	RE-ISSUED FOR PERMIT	5.21.96
2	ISSUE FOR PERMIT ADDENDUM NO. 1	3.04.96
3		3.01.96

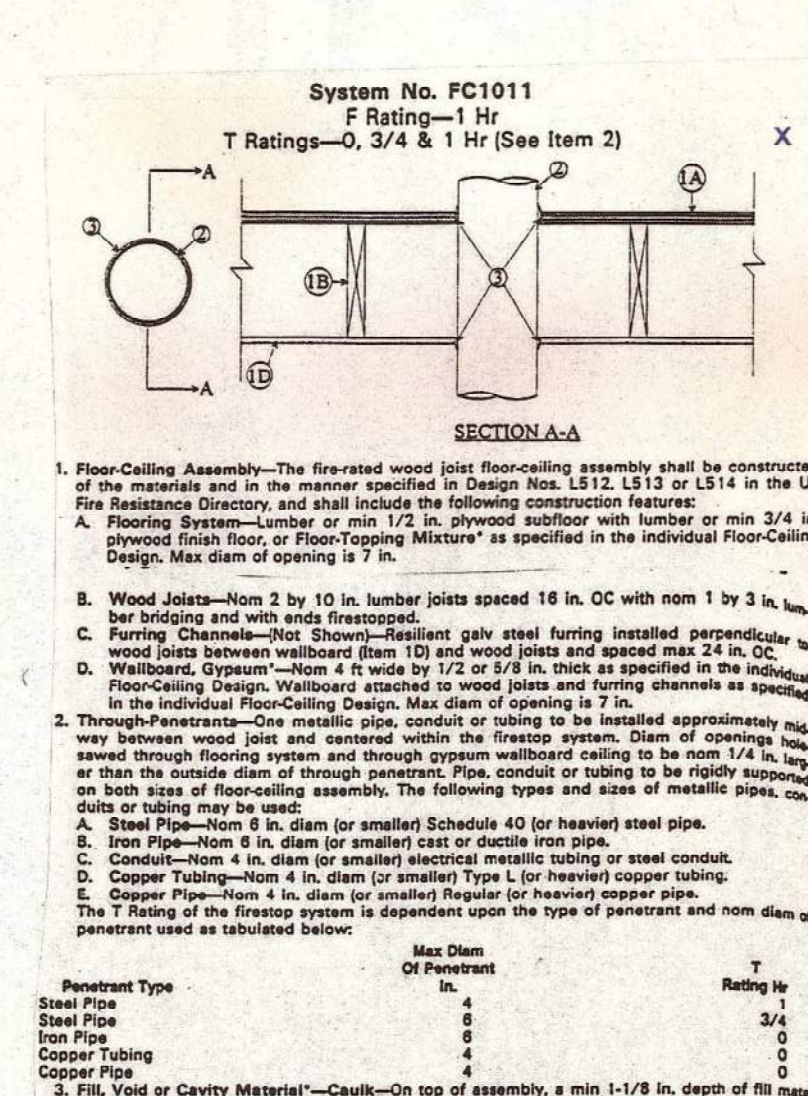
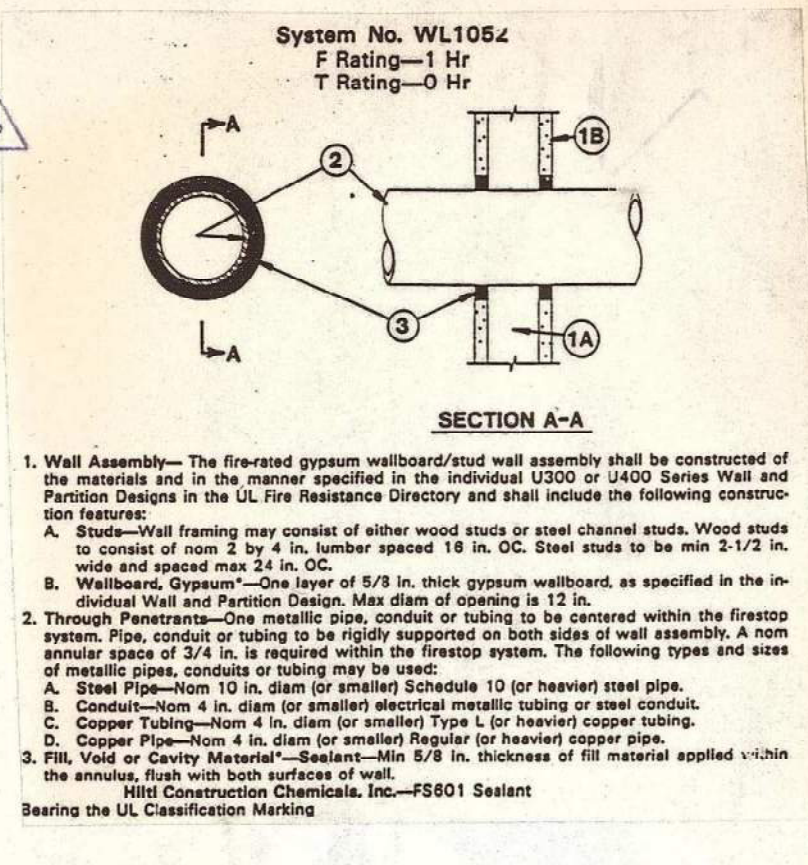
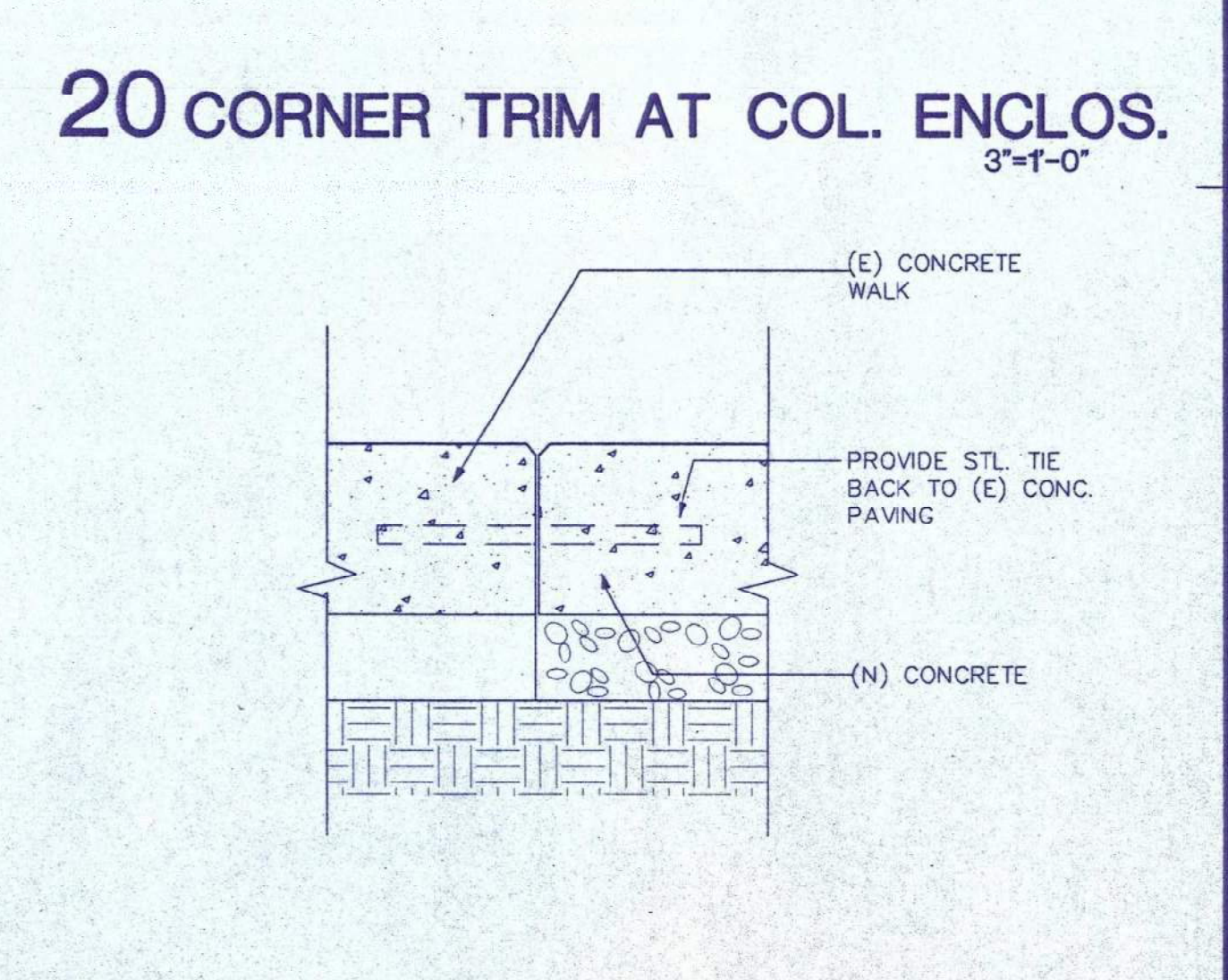
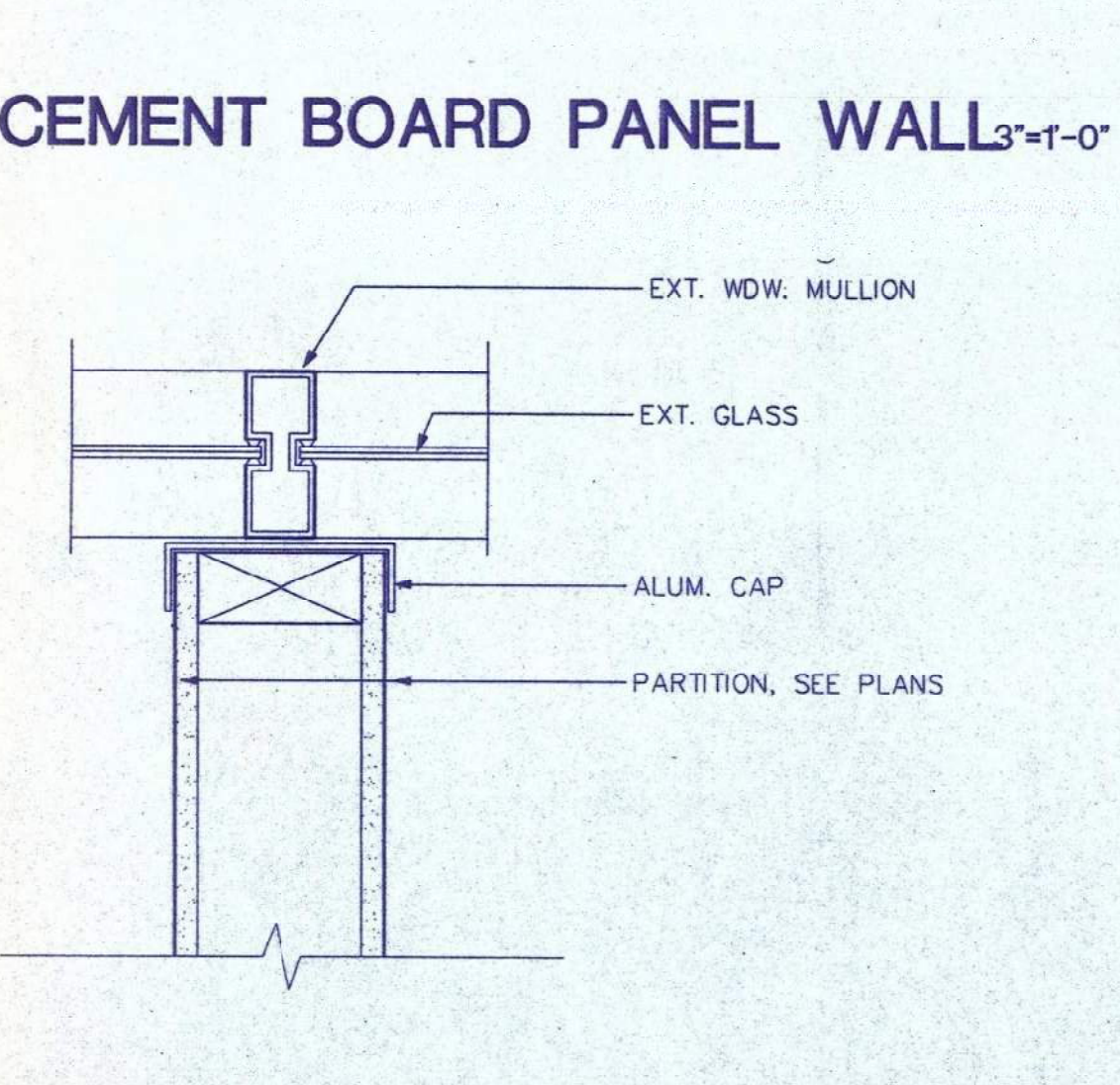
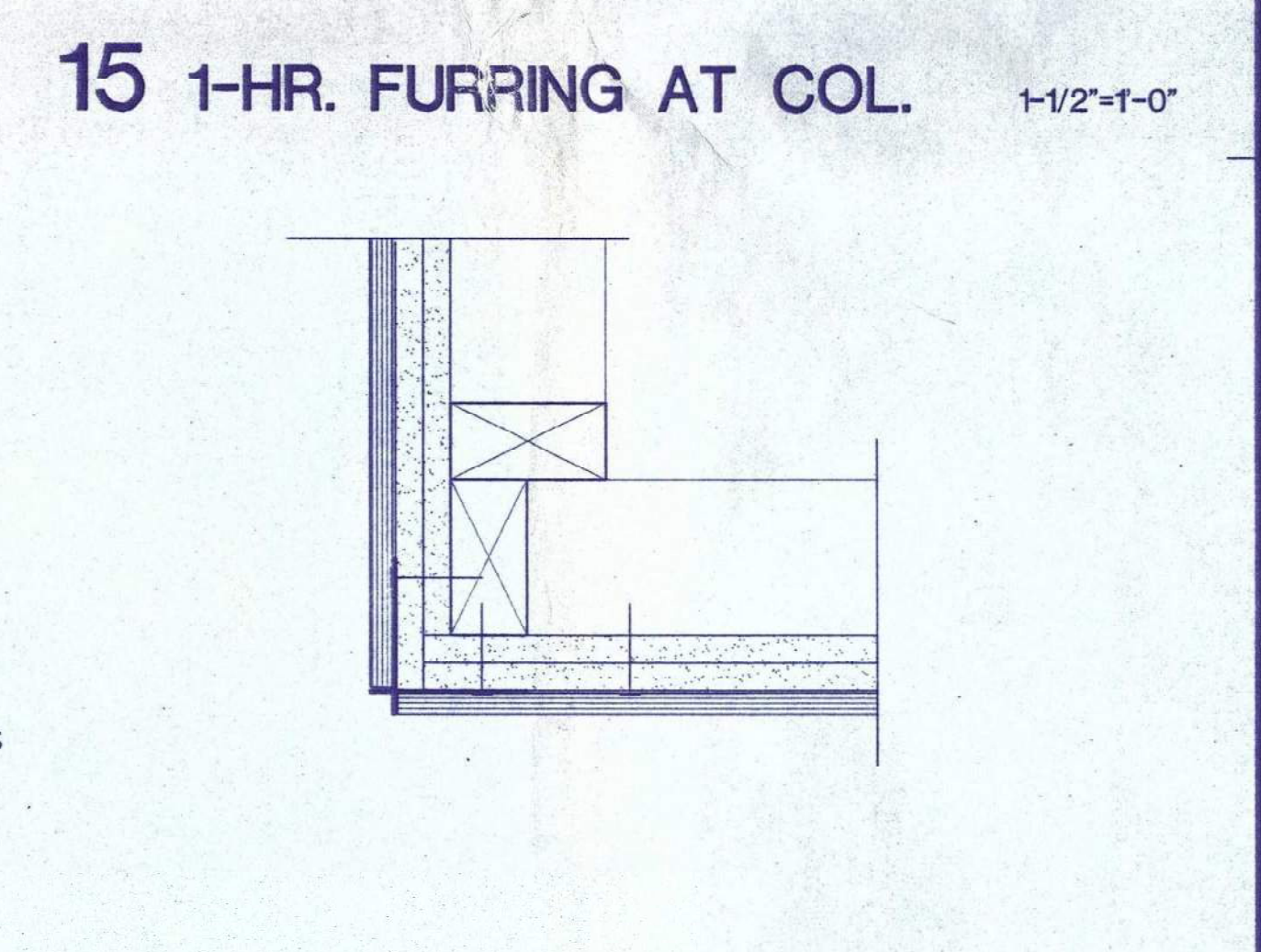
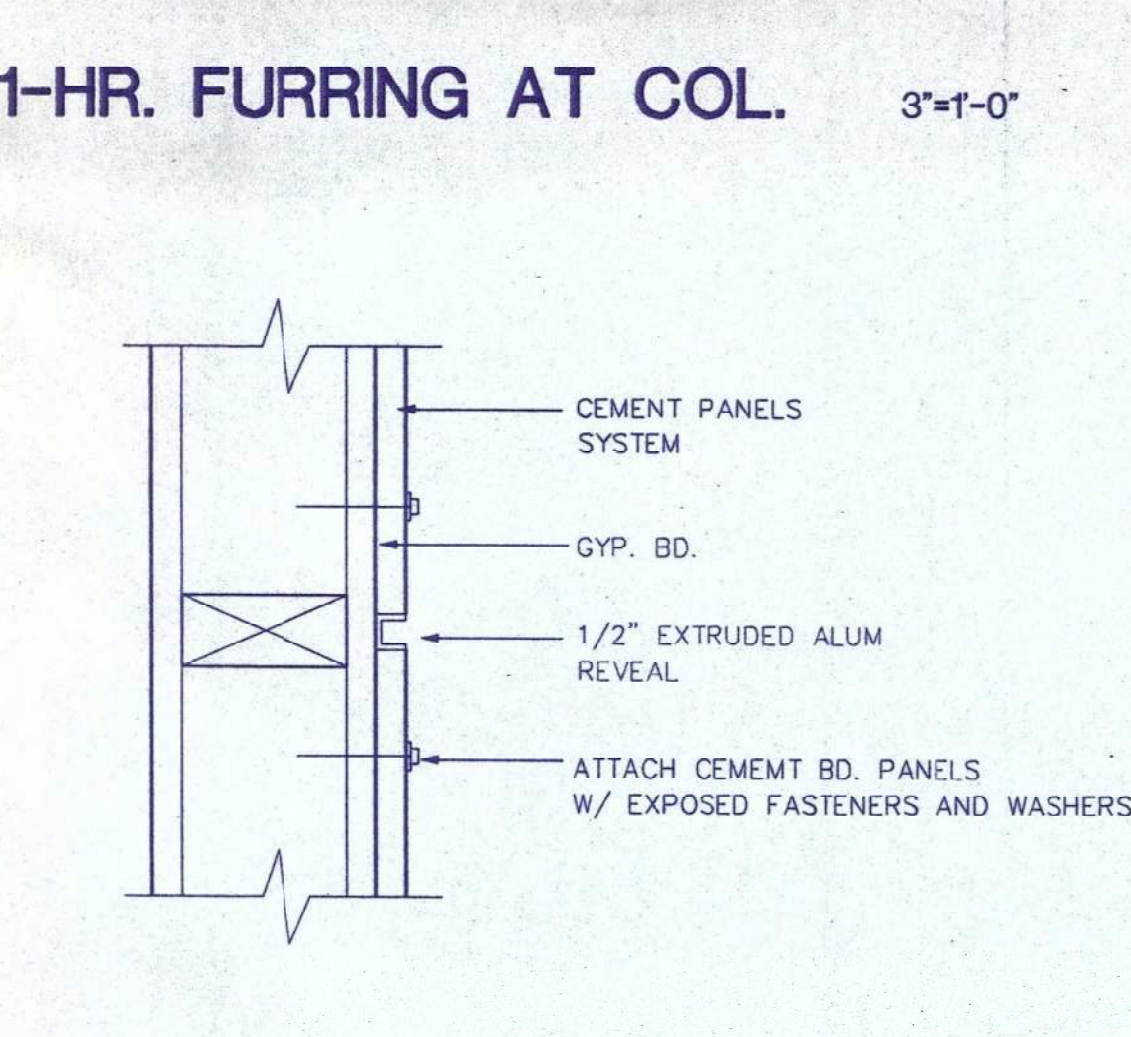
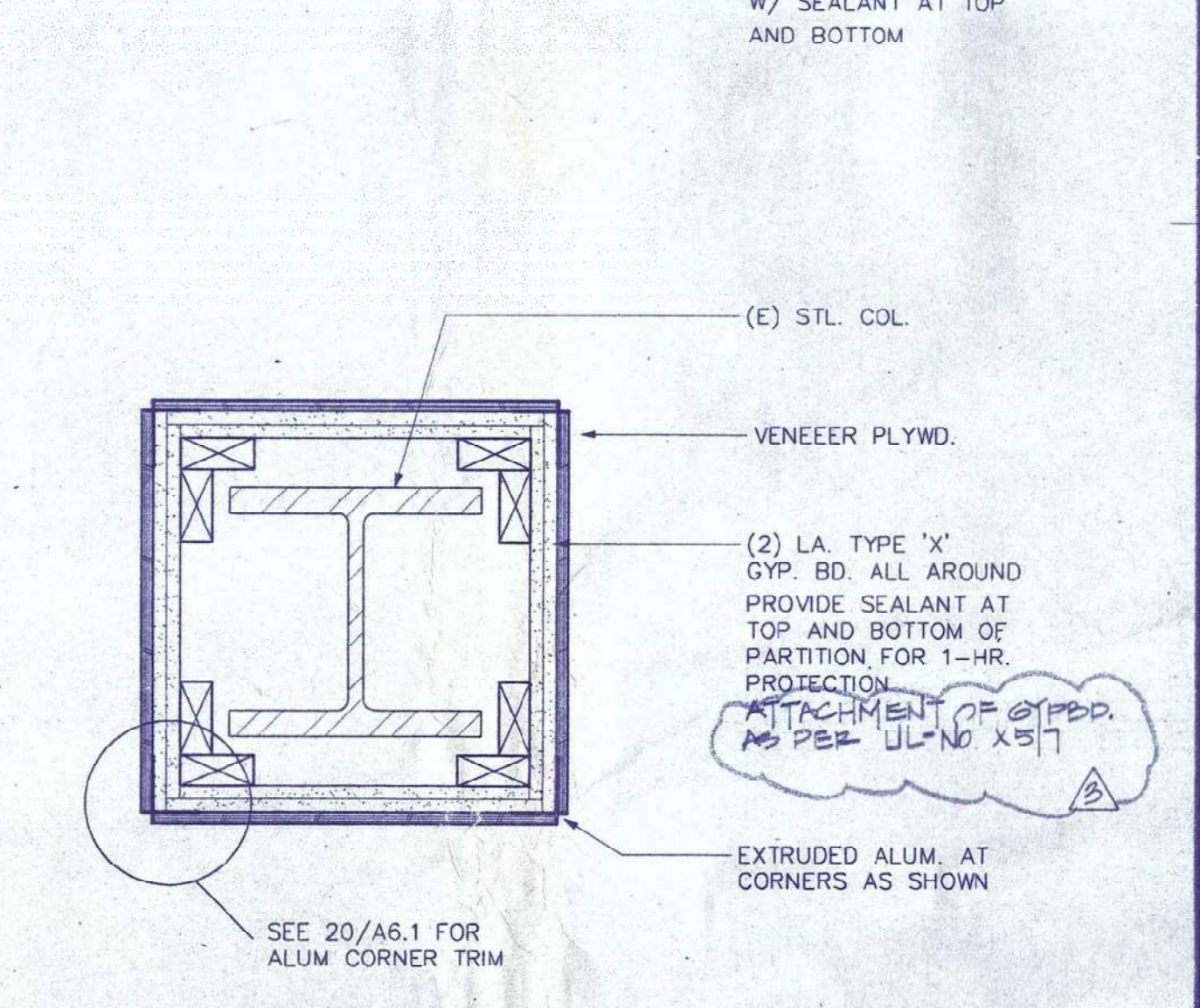
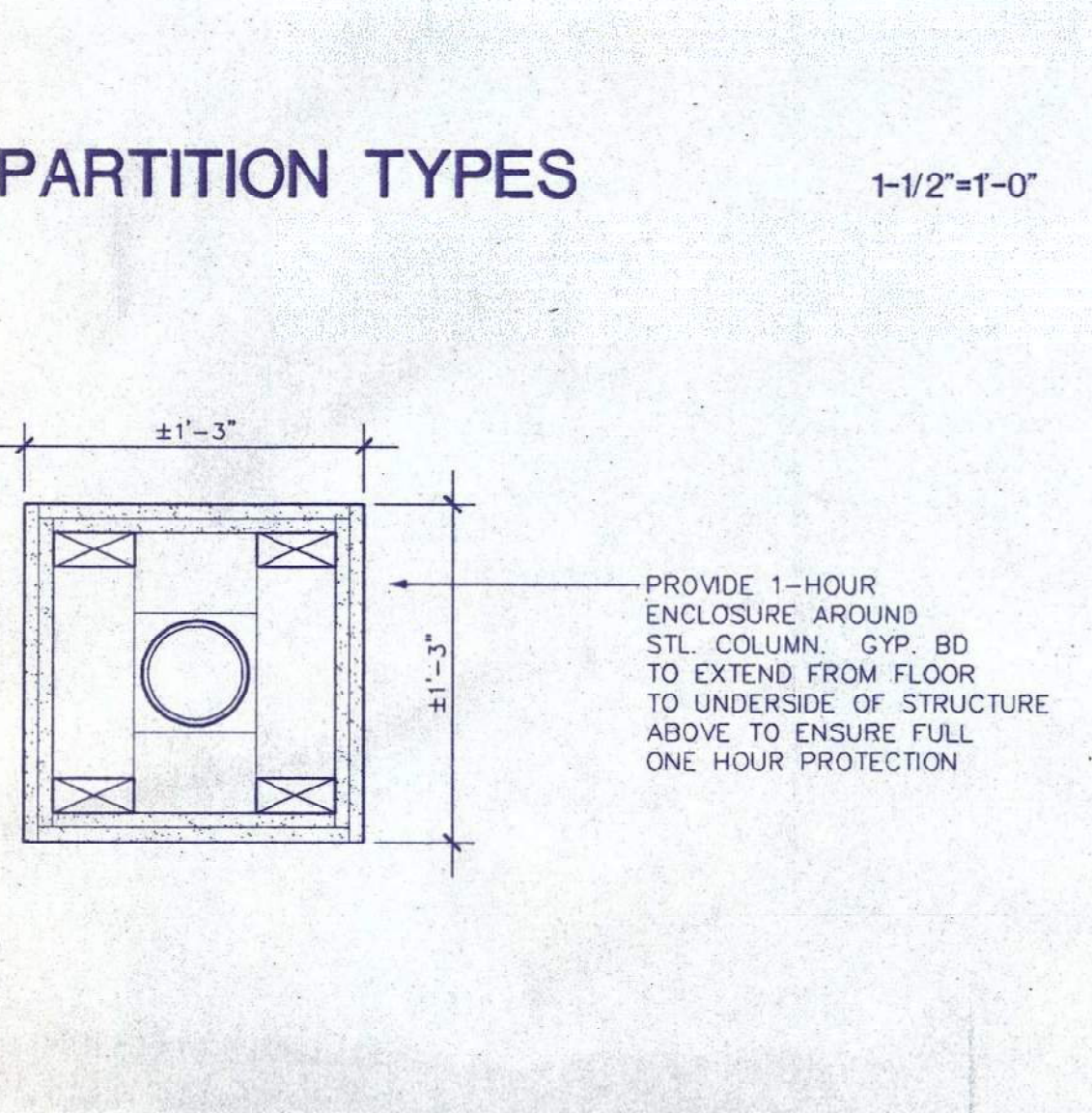
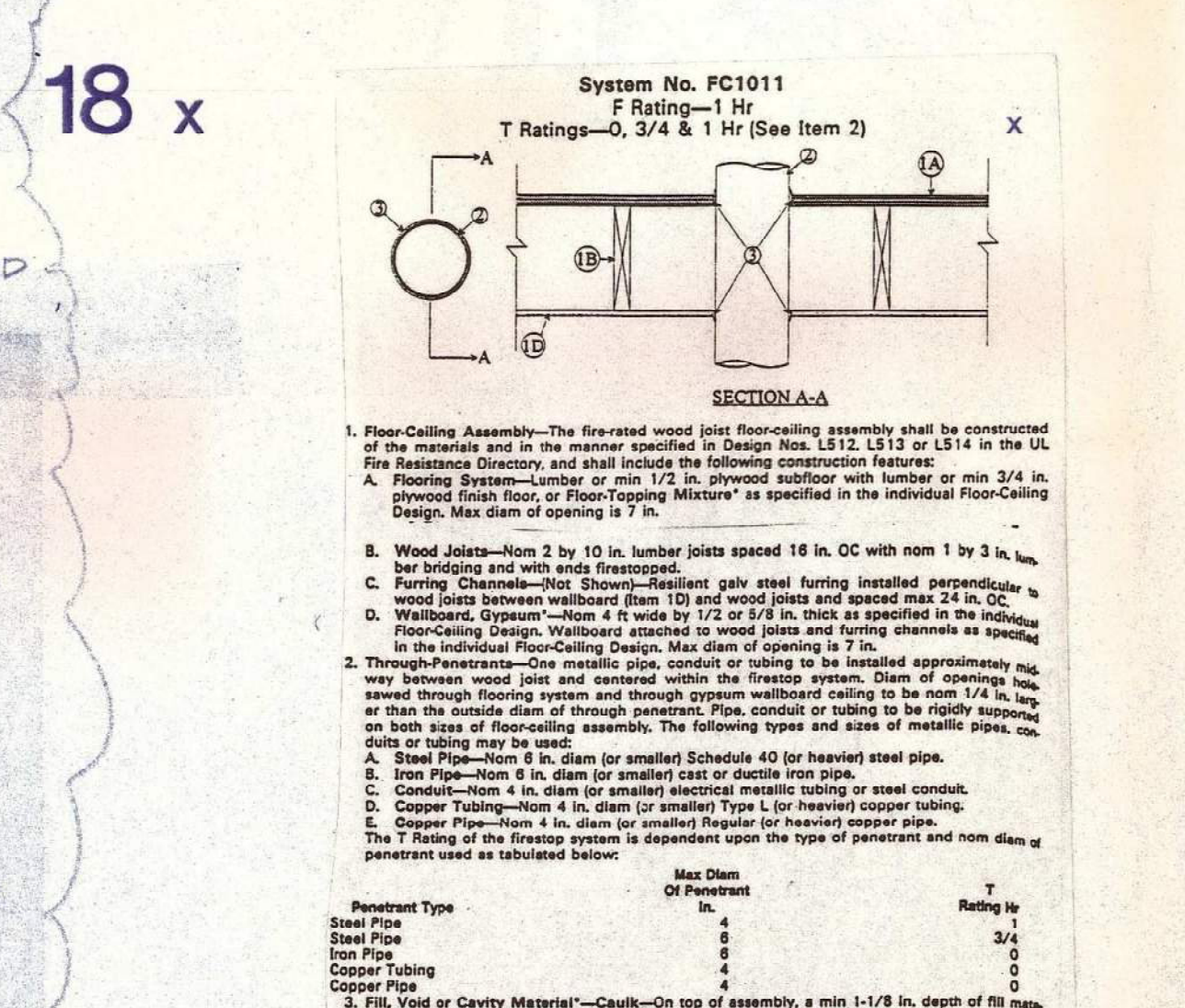
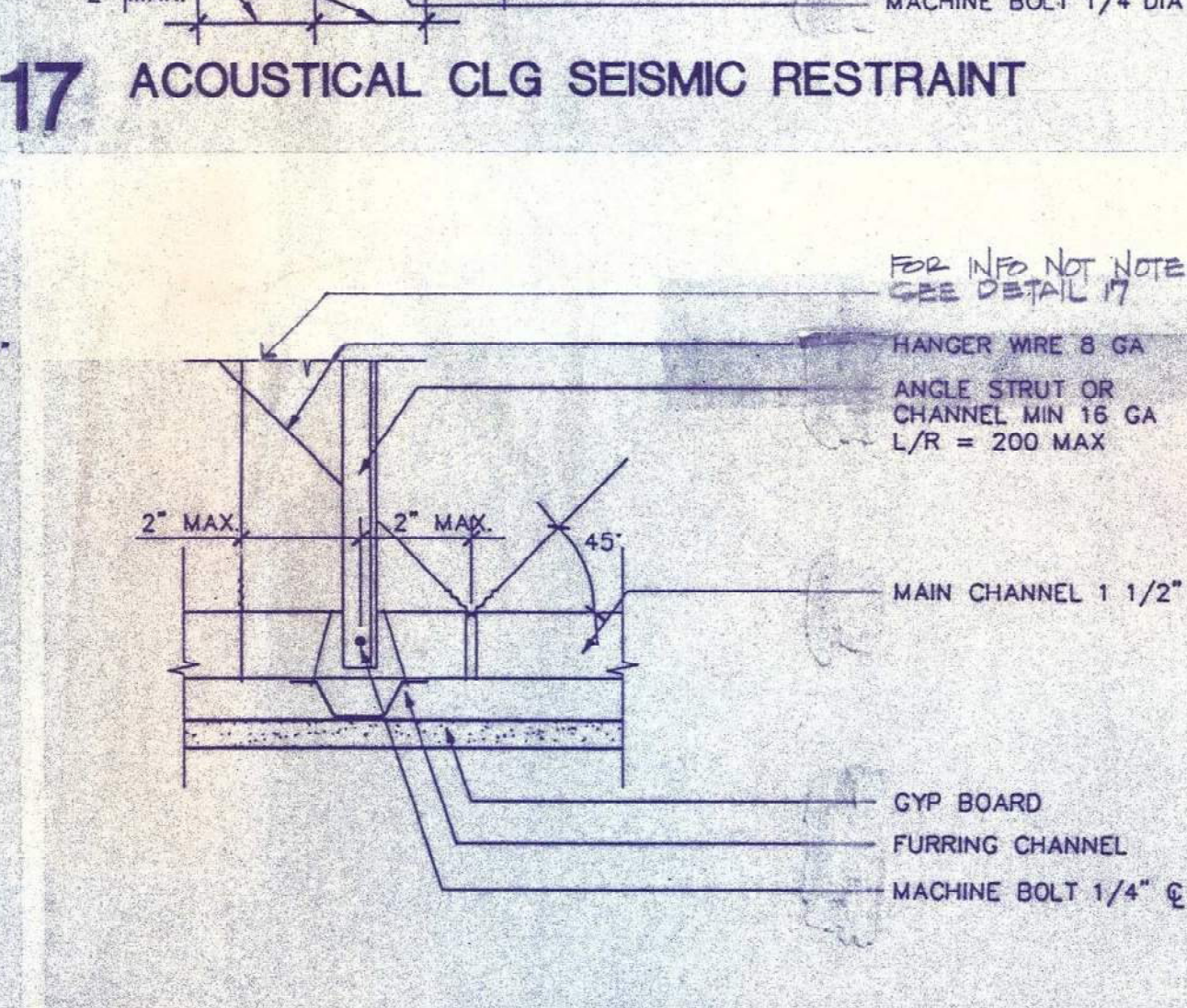
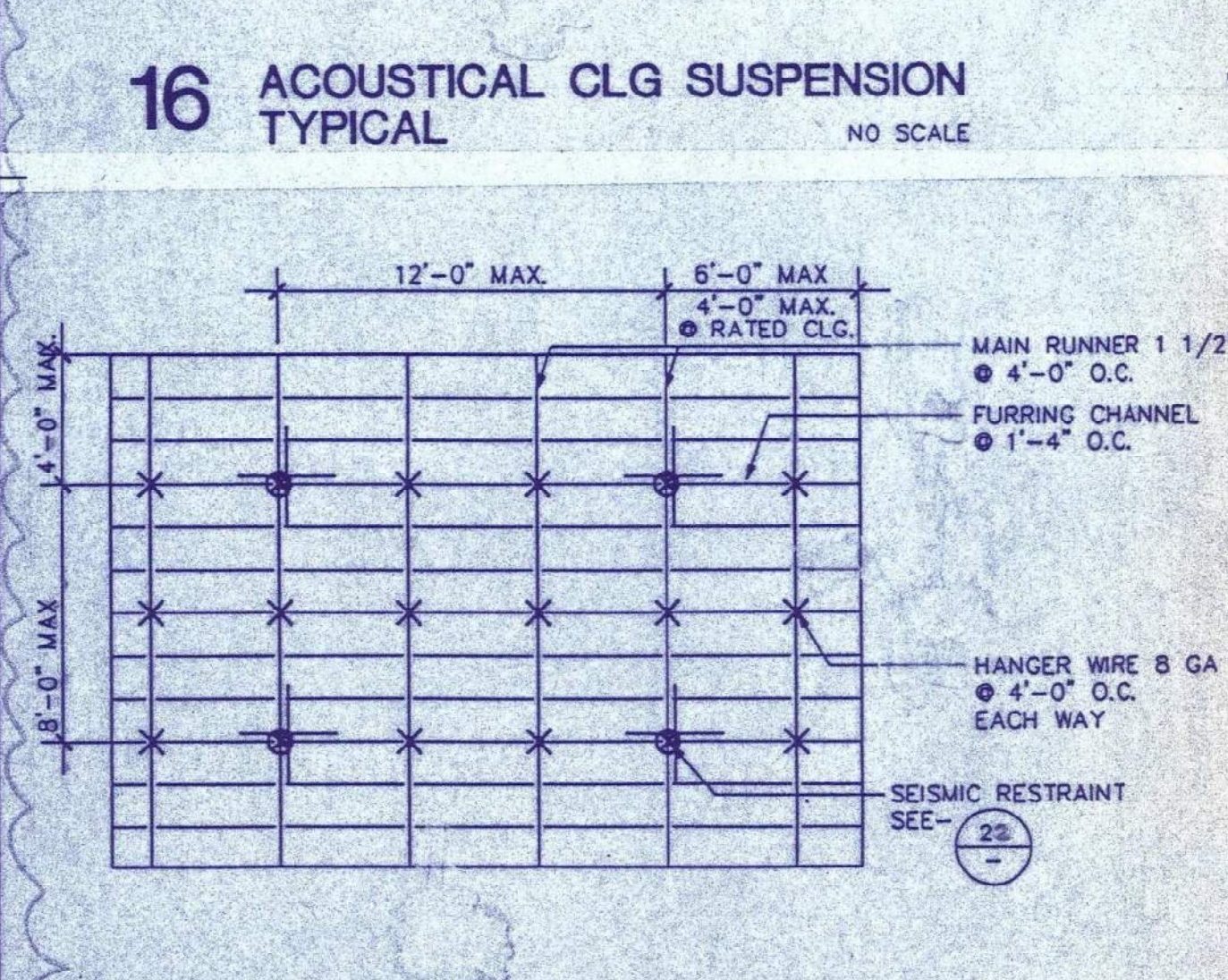
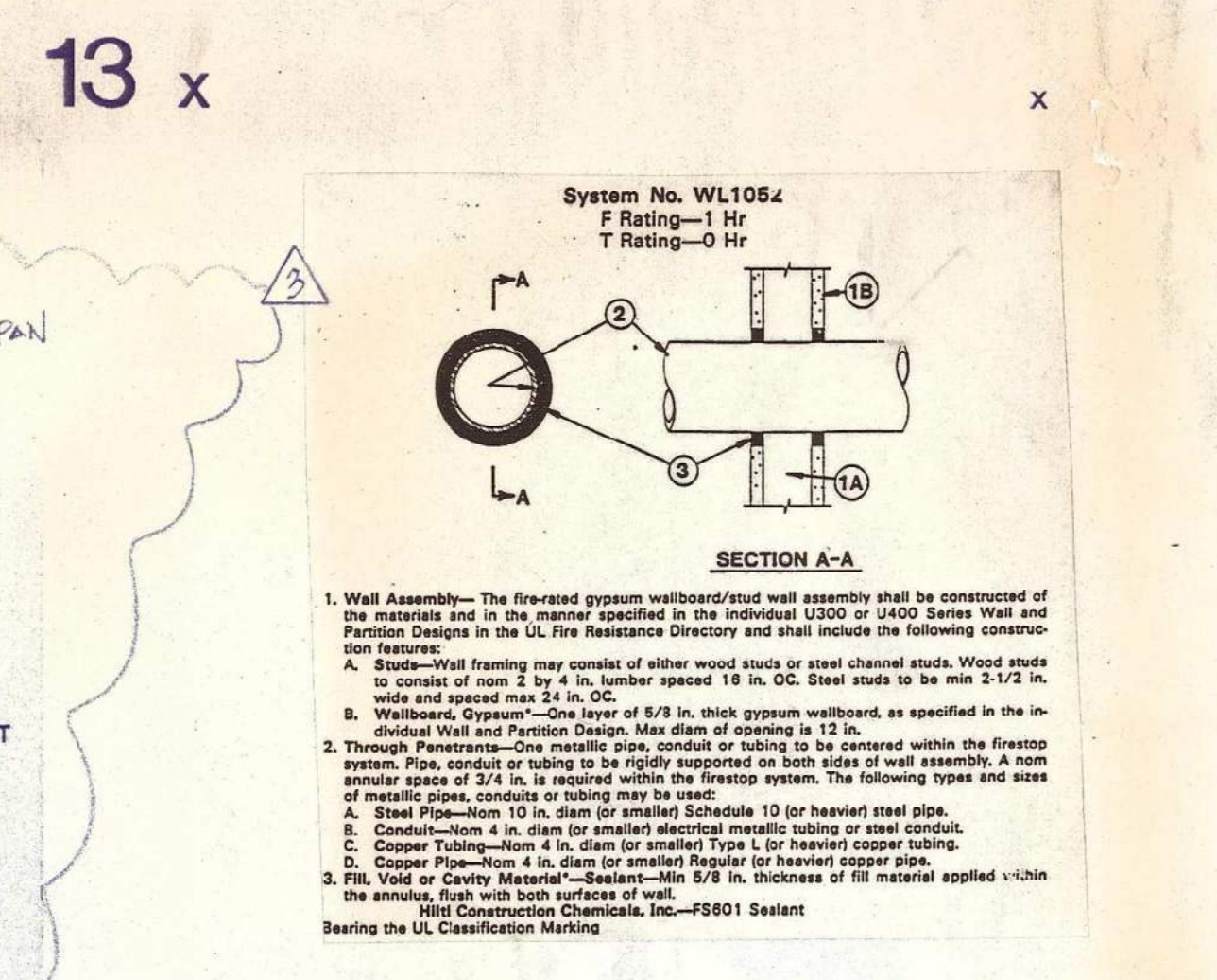
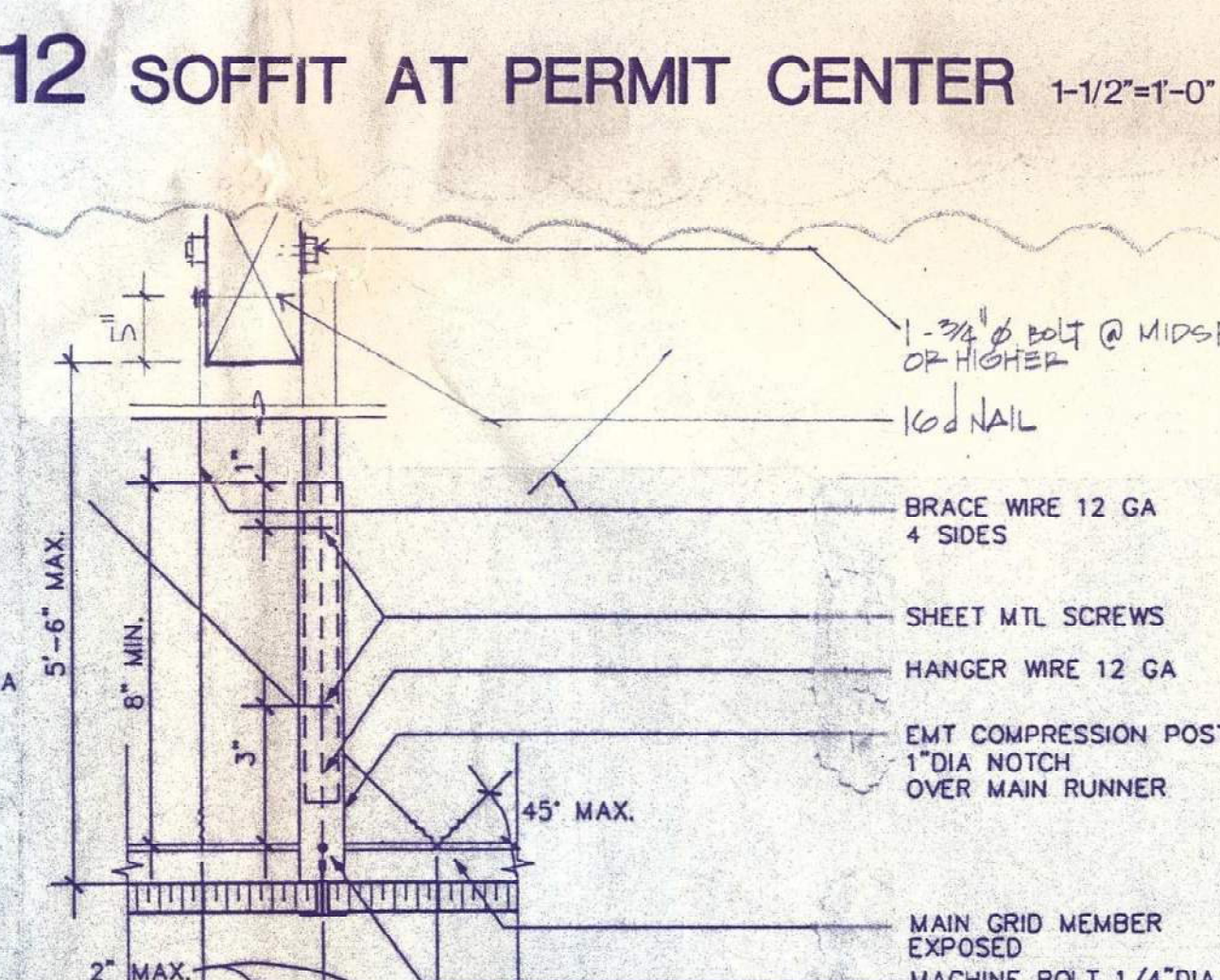
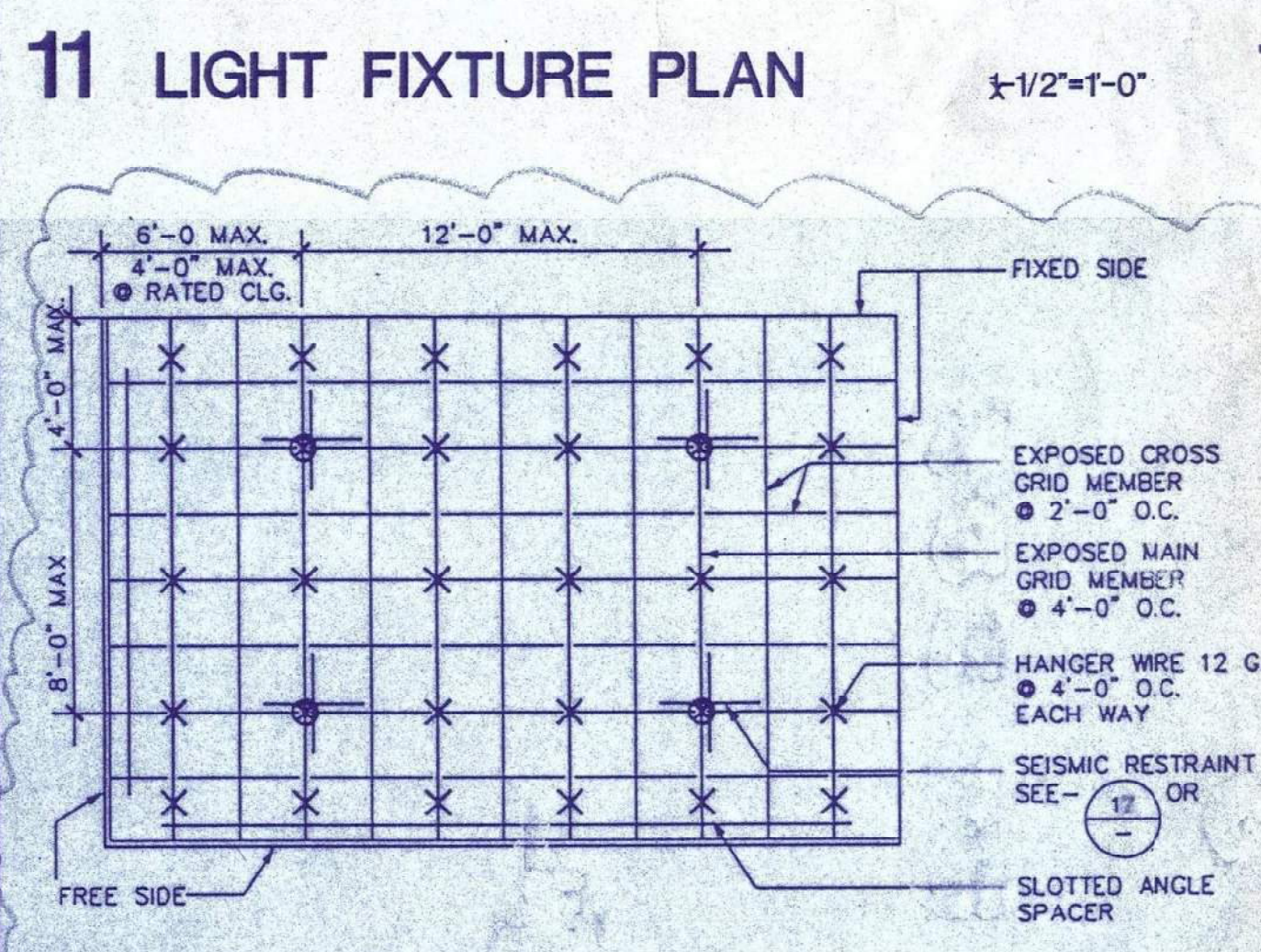
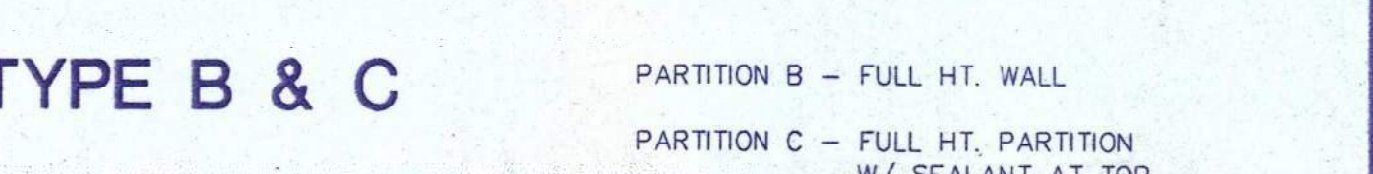
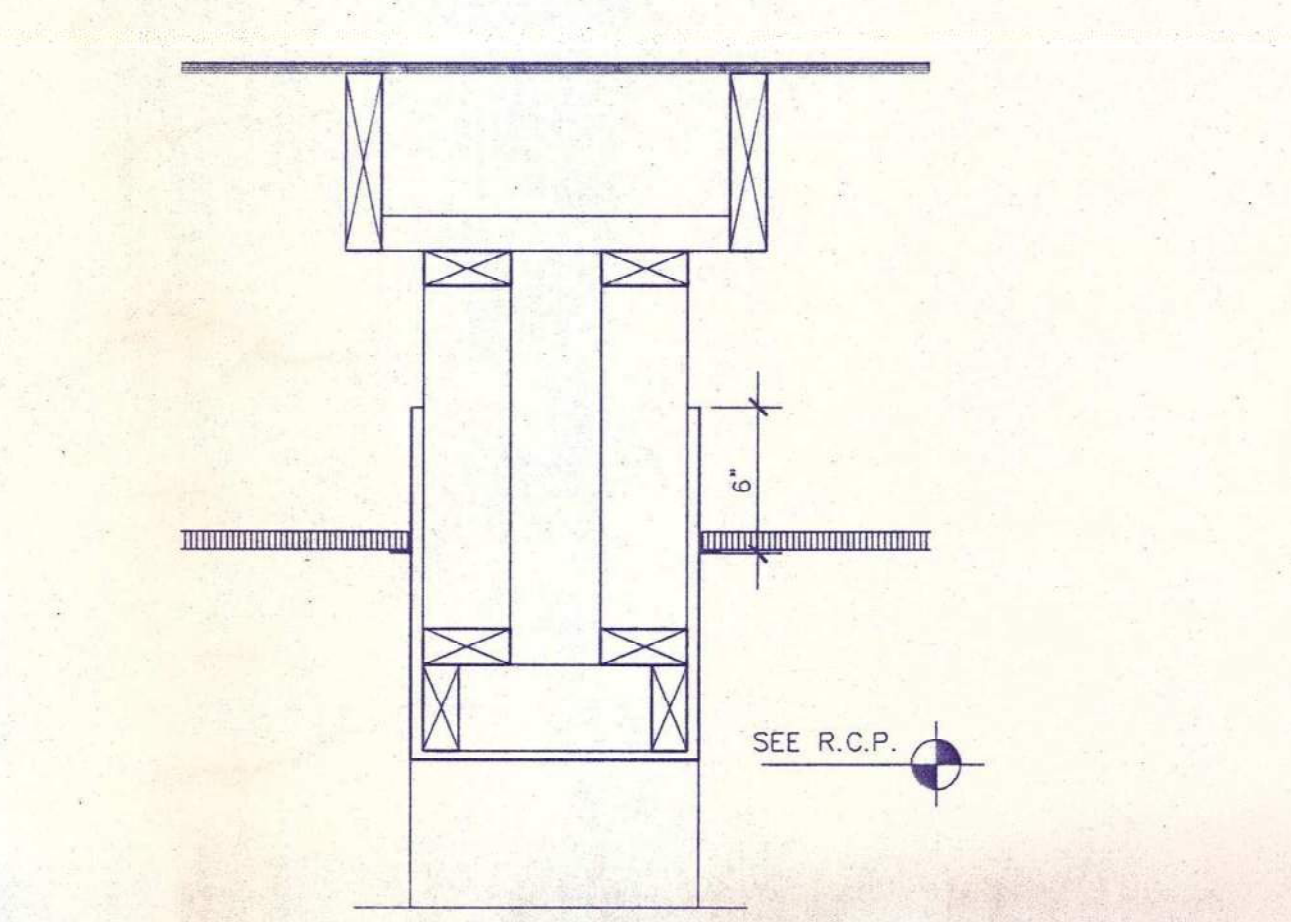
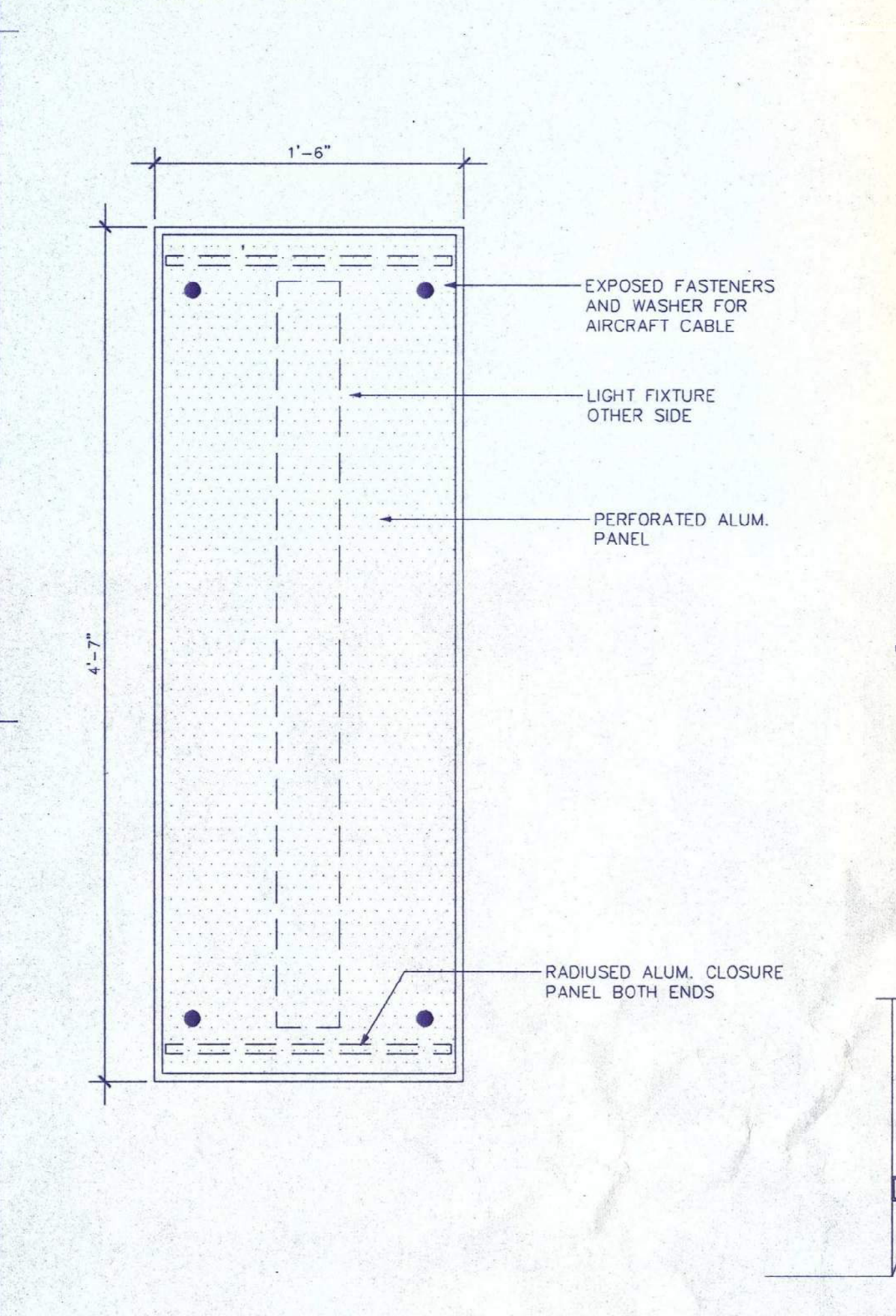
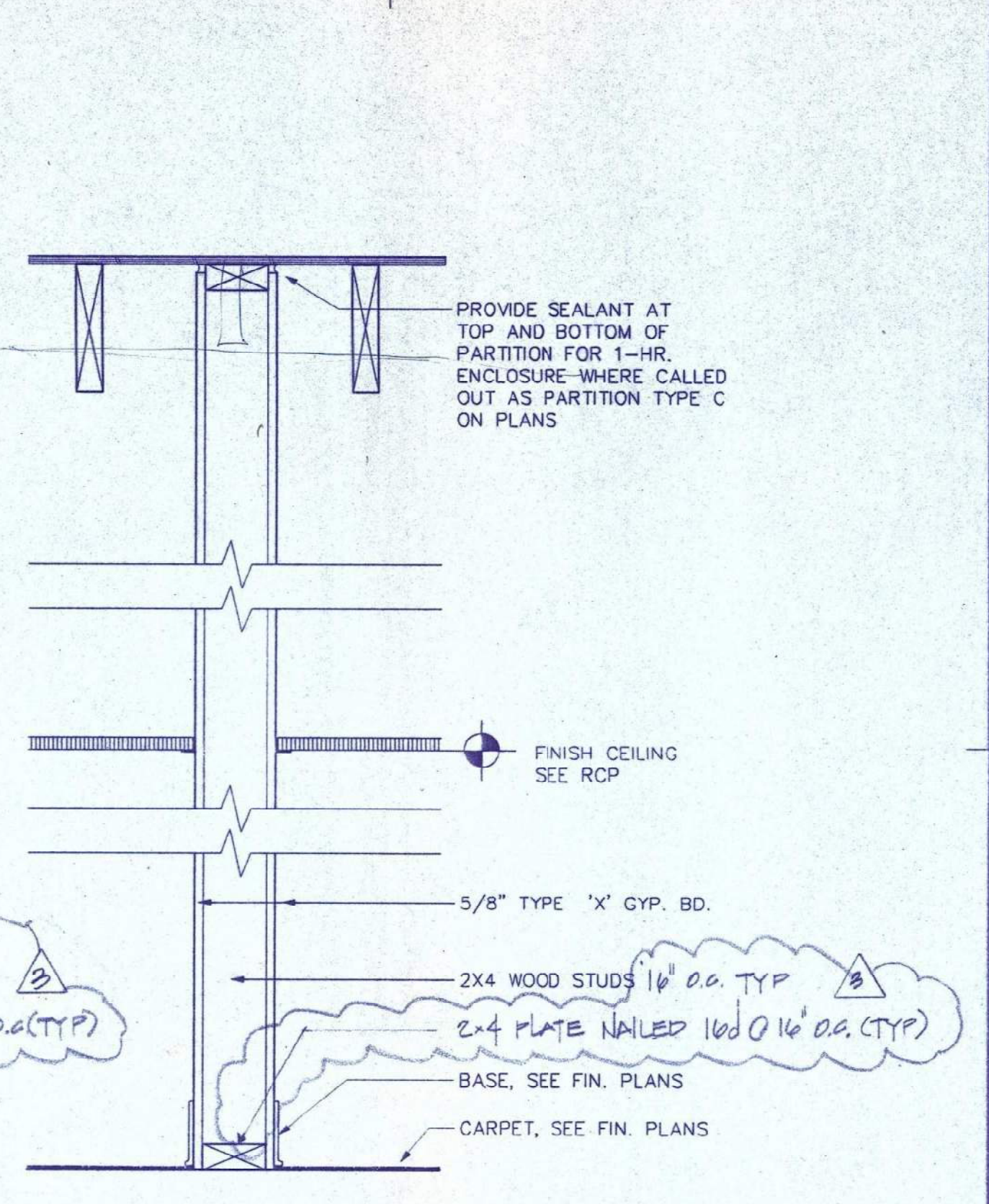
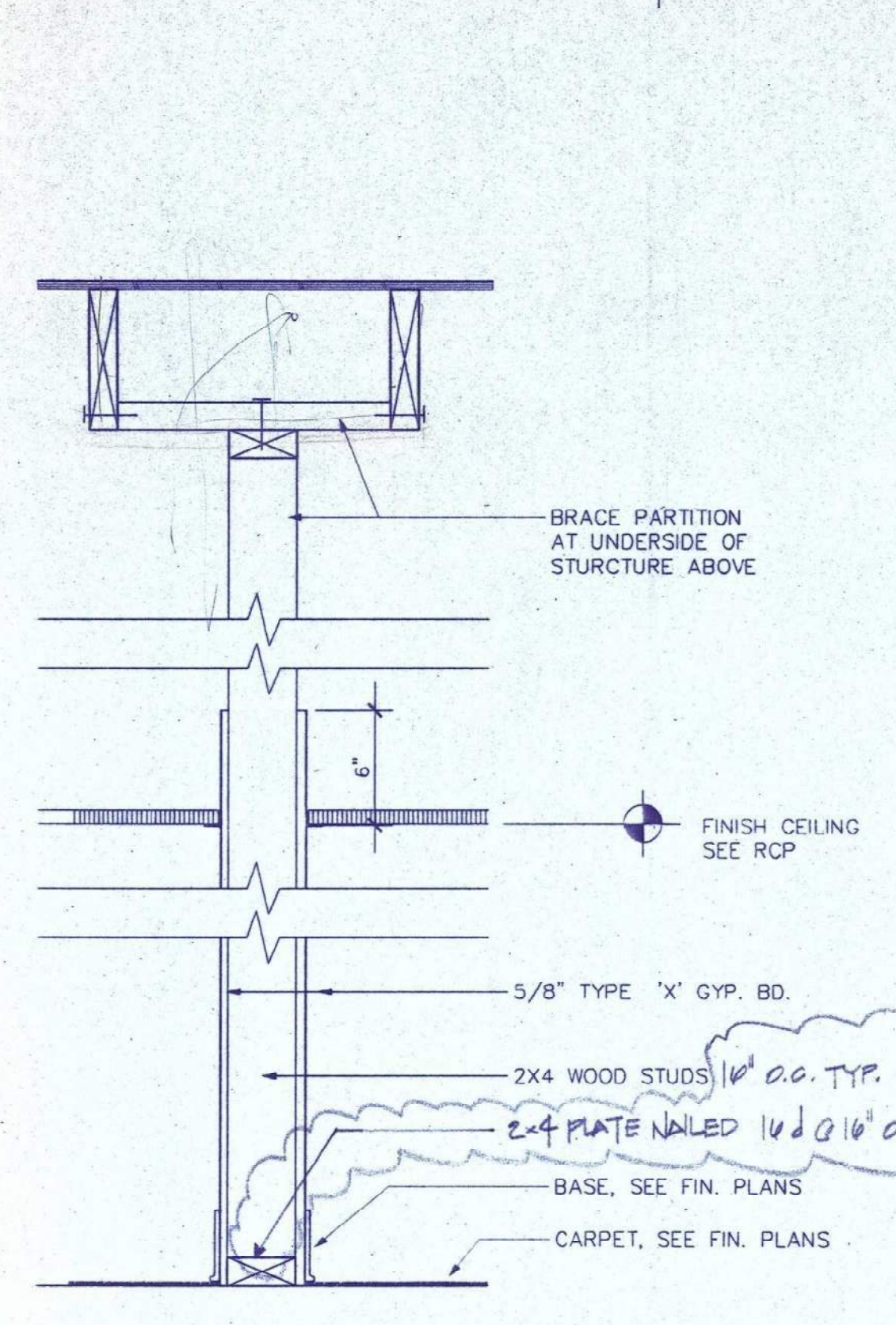
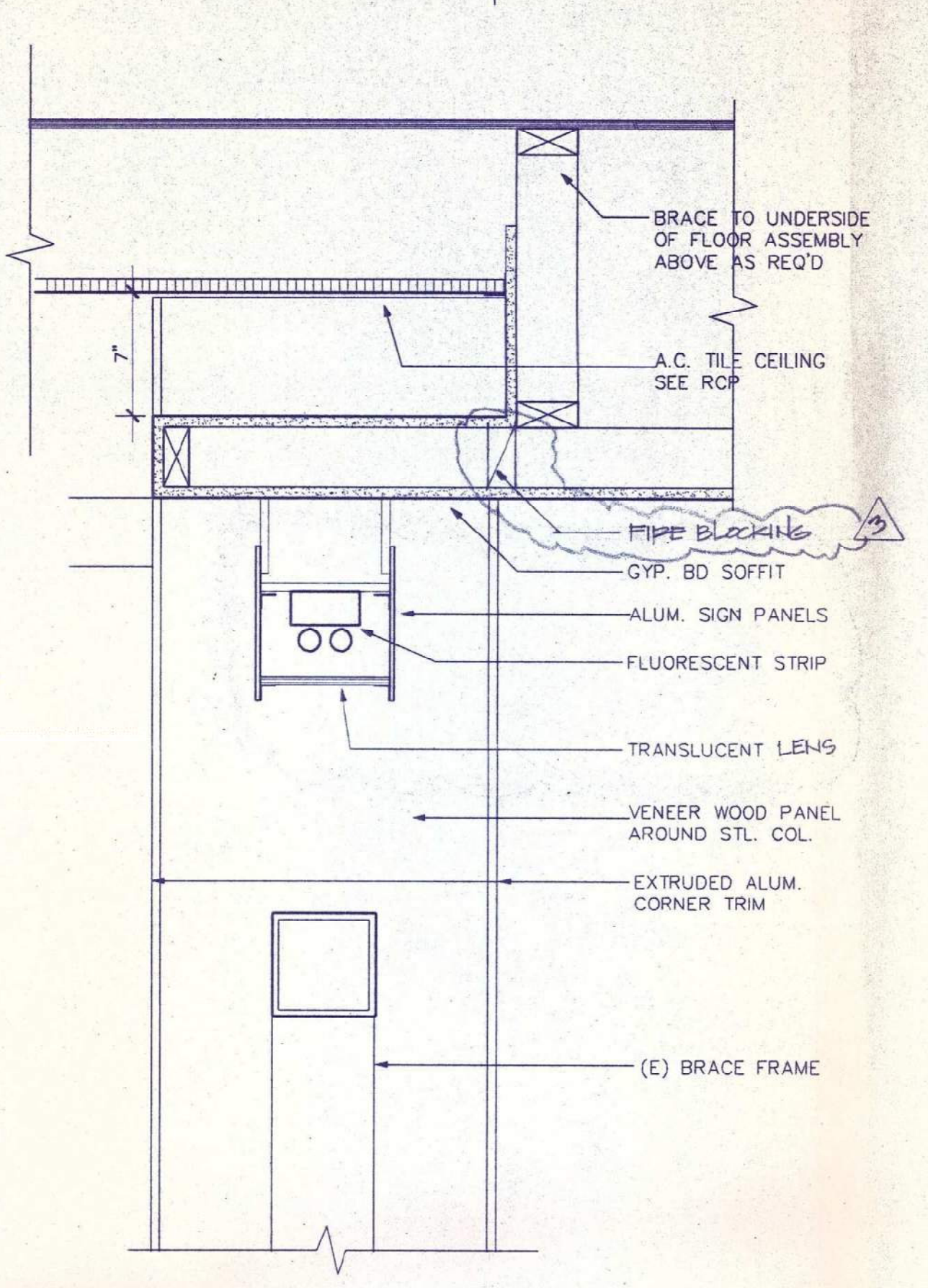
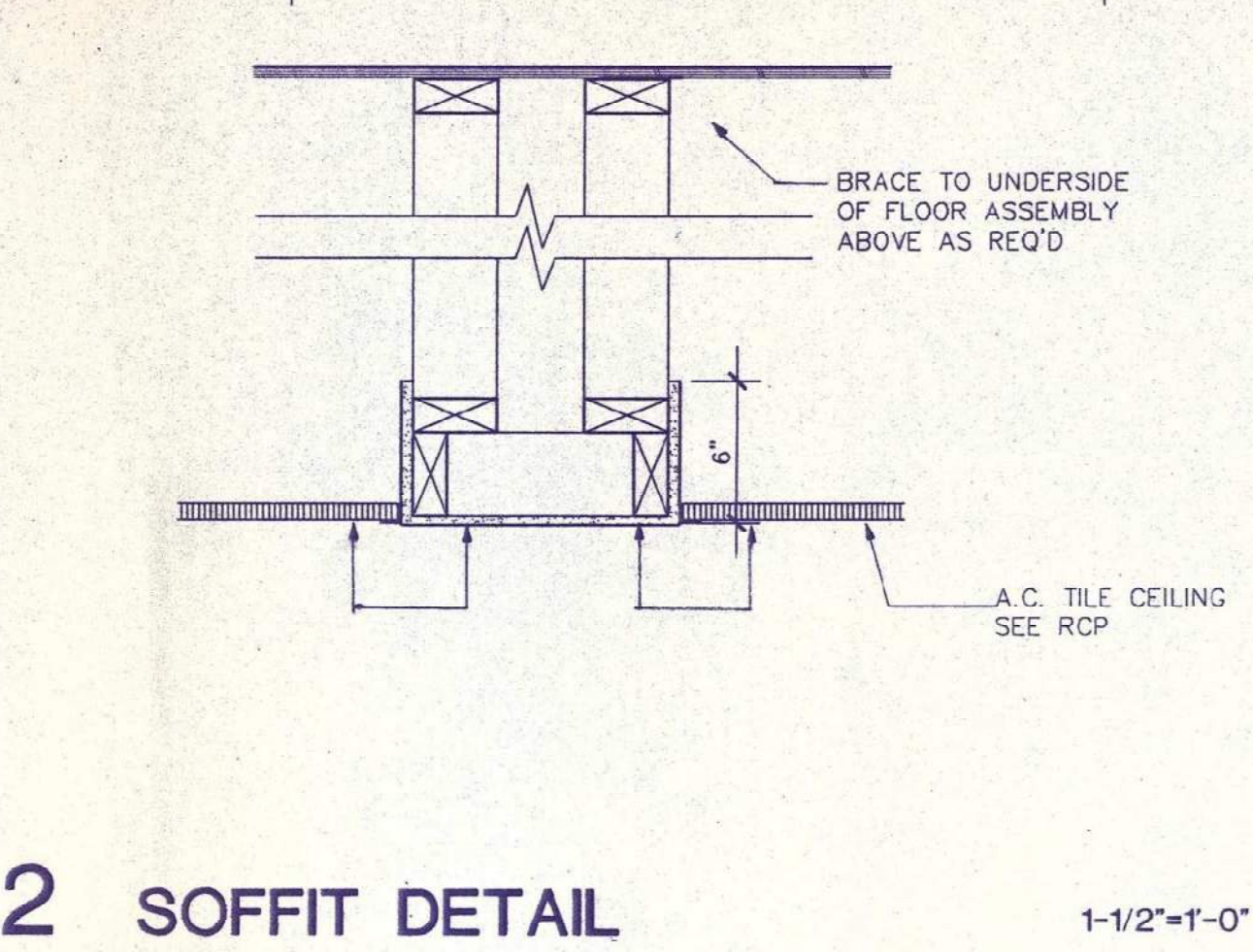
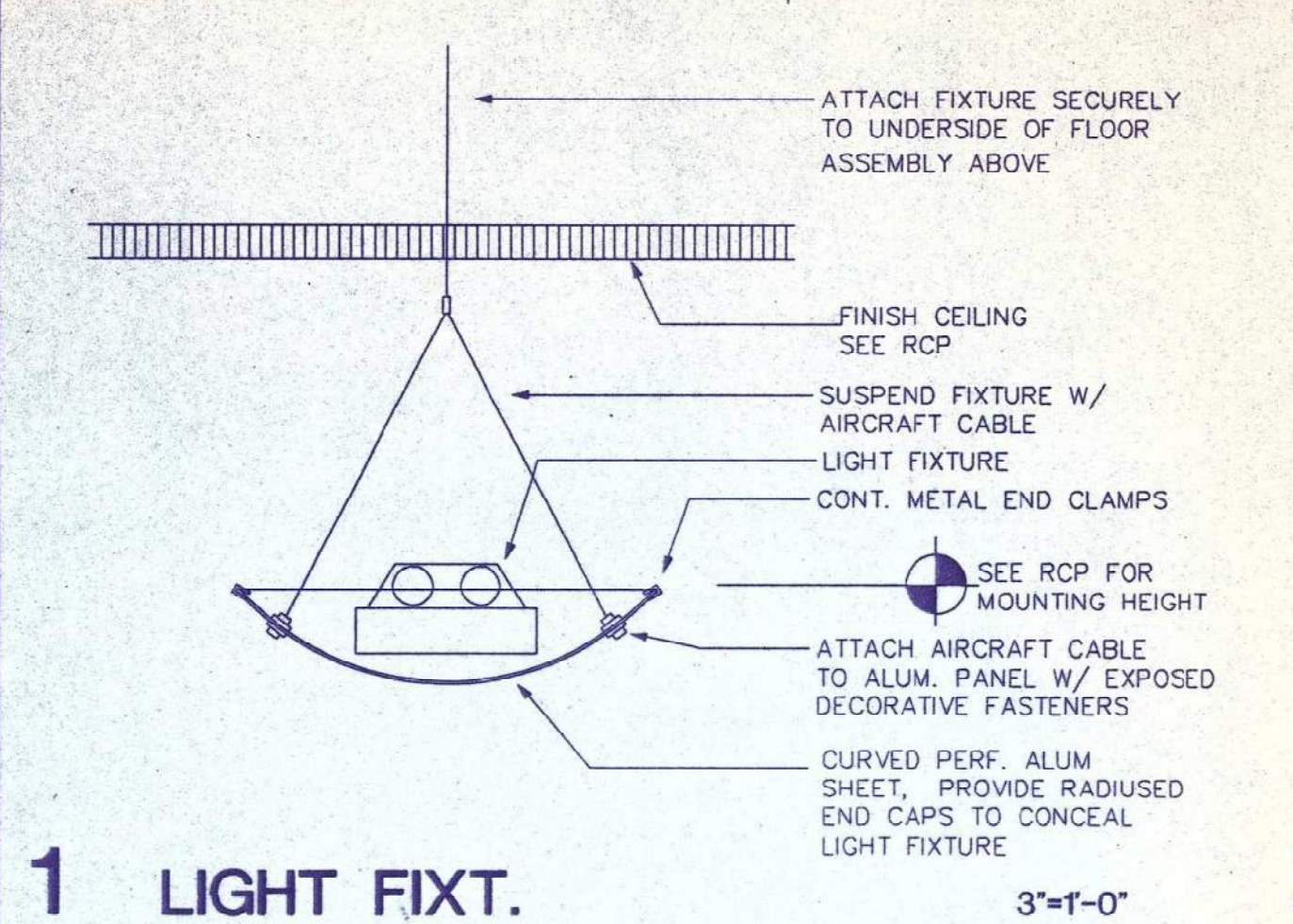
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 Berkeley, California
 JUN 06 1996

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DOOR SCHEDULE AND DETAILS
 SCALE: VARIES
 PROJECT NO. 95055.00
 DRAWING NO. A6.0
 DATE: 02.16.96

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PARTITION B - FULL HT. WALL
PARTITION C - FULL HT. PARTITION W/ SEALANT AT TOP AND BOTTOM

REVISIONS
NO. DESCRIPTION DATE
1. PE ISSUED FOR PERMIT 5/21/96
2. ISSUE FOR PERMIT 8/04/96
3. ADDENDUM #1 3/01/96
4. DESCRIPTION DATE

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Berkeley, California

PARTITION AND MISC. DETAILS
SCALE: 1/4" = 1'-0"
PROJECT NO. 95055.00 DRAWING NO.
DATE: 03.01.96 A6.1

FOR REFERENCE

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ISSUED FOR PERMIT NO. _____ DATE 3.1.96

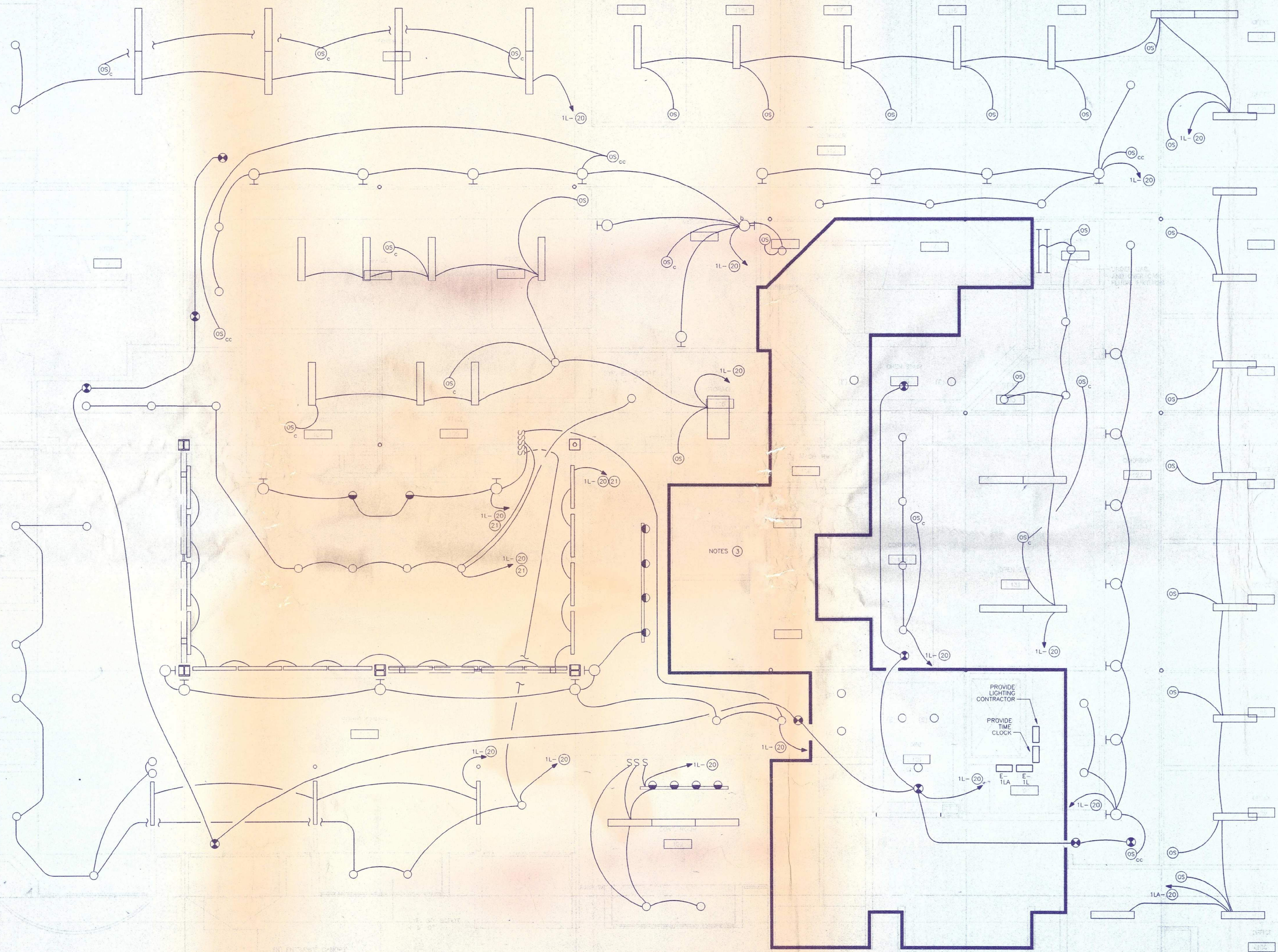
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JUN 06 1996

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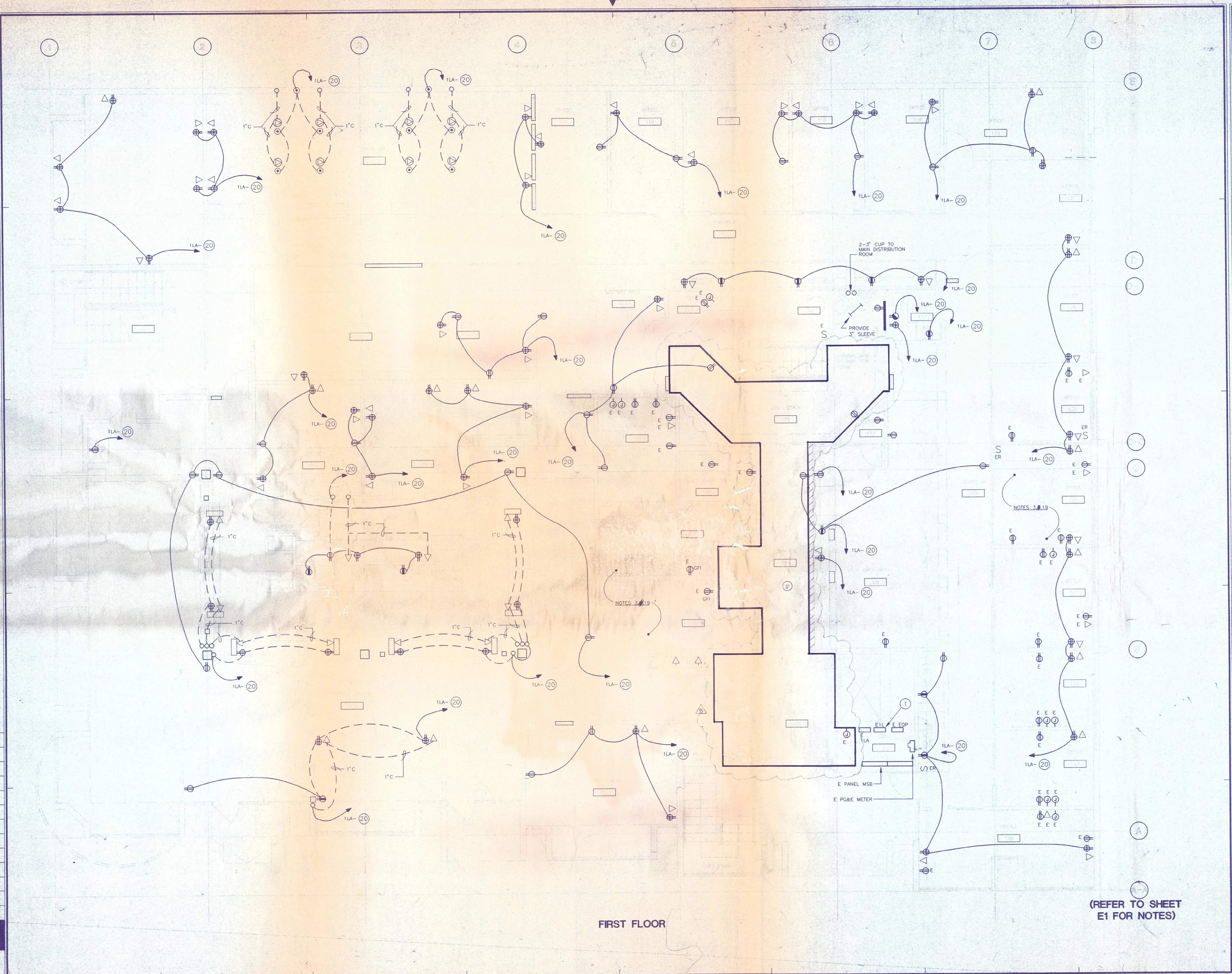
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FIRST FLOOR PLAN LIGHTING
SCALE: 1/4" = 1'-0"
PROJECT NO. 95055.00 DRAWING NO. E2.1L
DATE: 03.01.96



FIRST FLOOR

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FIRST FLOOR

(REFER TO SHEET E1 FOR NOTES)



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CENTER - PLANNING &
BUILDING DEPARTMENTS**

Berkeley, California

**FIRST FLOOR PLAN
POWER & SIGNAL**

SCALE: 1/4" = 1'-0"

PROJECT NO. 95055.00	DRAWING NO. E2.1P
DATE: 03.01.96	

FOR REFERENCE ONLY

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