

# MARTIN COUNTY SCHOOL DISTRICT ADMINISTRATIVE OFFICES ROOF REPLACEMENT

1939 SE Federal Highway, Stuart, Florida 34994  
100% CONSTRUCTION DOCUMENTS

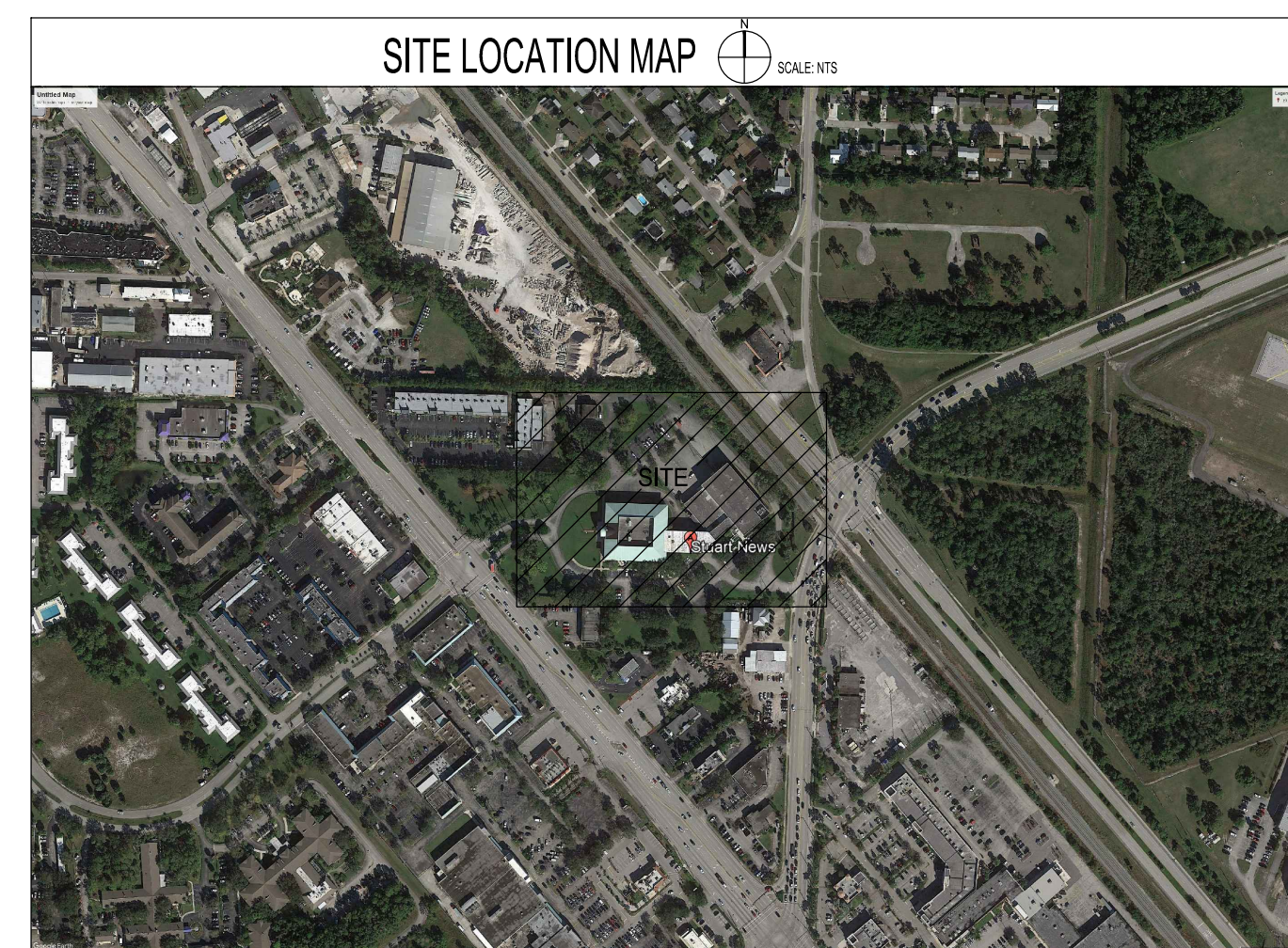
## BOARD MEMBERS:

**MARSHA POWERS**  
**TONY ANDERSON**  
**CHRISTIA LI ROBERTS**  
**VICTORIA DEFENTHALER**  
**MICHAEL DITERLIZZI**

**DR. JOHN D. MILLAY**

**CHAIR**  
**VICE CHAIR**  
**MEMBER**  
**MEMBER**  
**MEMBER**

**SUPERINTENDENT**



**PROJECT NARRATIVE**

THIS PROJECT INCLUDES THE RE-ROOFING OF ALL THE BUILDINGS LOCATED AT THE MARTIN COUNTY SCHOOL DISTRICT ADMINISTRATIVE OFFICE. ALL NEW WORK SHALL BE IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS SET FORTH IN THESE DOCUMENTS, FROM DIRECTION GIVEN FROM THE MARTIN COUNTY SCHOOL DISTRICT AND PER MANUFACTURERS RECOMMENDED INSTALLATION REQUIREMENTS. ALL AREAS, REGARDLESS OF THE LOCATION, WILL BE REQUIRED TO BE REPAIRED AND PREPPED FOR THE INSTALLATION OF THE SCOPE OF WORK. CONTRACTOR SHALL VISIT THE SITE TO RECOGNIZE THE AREAS WITHIN THE SCOPE OF WORK. ALL NEW WORK SHALL BE IN CONFORMANCE WITH THE MARTIN COUNTY SCHOOL DISTRICT STANDARDS, APPLICABLE CODES AND AUTHORITY HAVING JURISDICTION. THIS INCLUDES THE REQUIREMENTS OF SREF, THE 2020 FLORIDA BUILDING CODE SEVENTH EDITION AND THE FLORIDA FIRE PREVENTION CODE.

ARCHITECT'S STATEMENT OF COMPLIANCE:  
TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS AND THE PROJECT MANUAL ARE COMPLETE AND COMPLY WITH THE MINIMUM REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE SEVENTH EDITION.

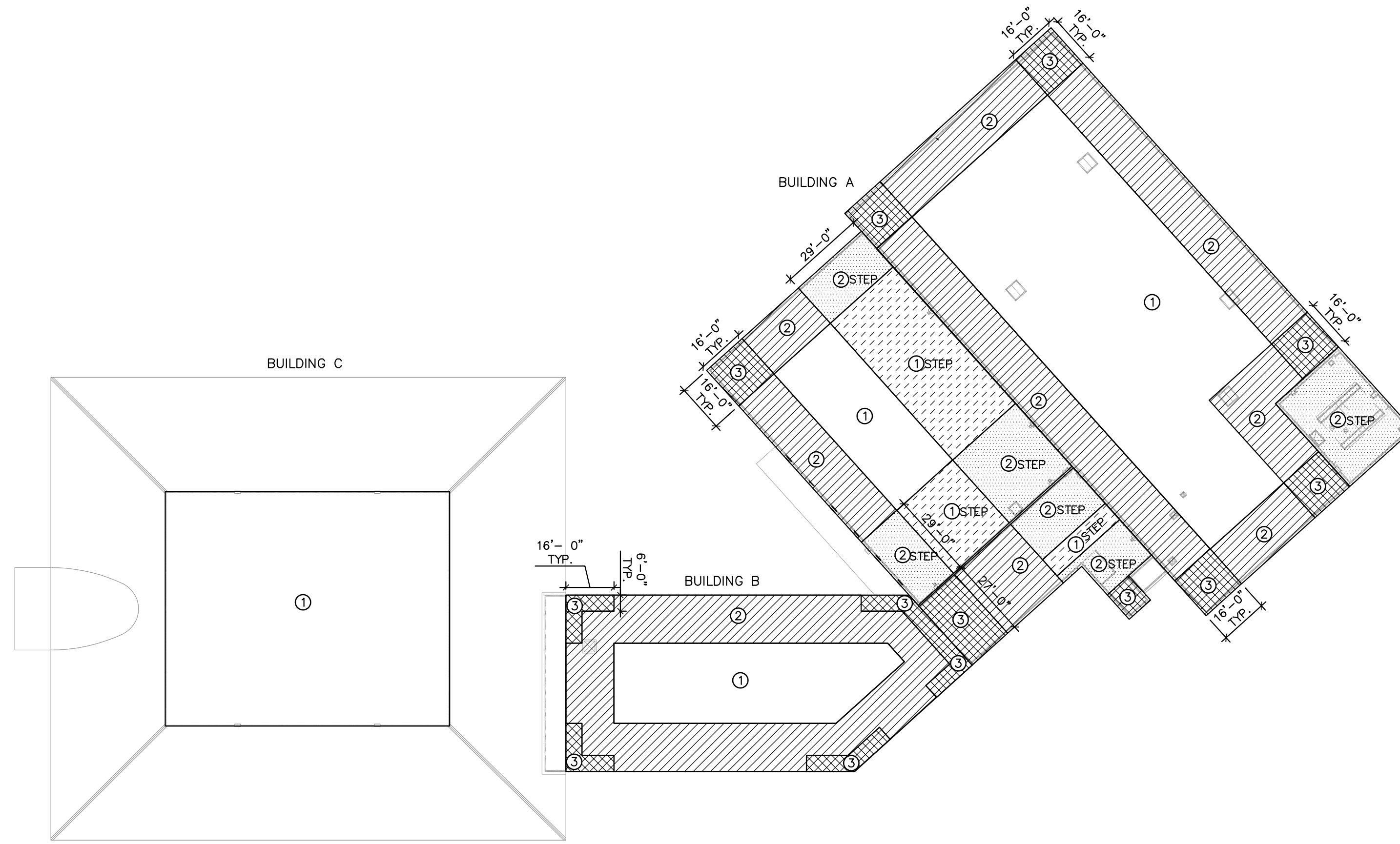
SHEET NO.	TITLE	ORIGINAL DATE	REVISION NO.	LATEST REVISION DATE
<b>GENERAL</b>				
G-100	COVER SHEET & INDEX	07/14/2021		
<b>STRUCTURAL</b>				
S-102	WIND DESIGN DATA AND LOAD SCHEDULE	07/14/2021		
<b>ARCHITECTURAL</b>				
AD-101	OVERALL DEMOLITION ROOF PLAN	07/14/2021		
AD-102	PARTIAL DEMOLITION ROOF PLAN	07/14/2021		
AD-103	PARTIAL DEMOLITION ROOF PLAN	07/14/2021		
A-101	OVERALL PROPOSED ROOF PLAN	07/14/2021		
A-102	PARTIAL PROPOSED ROOF PLAN	07/14/2021		
A-103	PARTIAL PROPOSED ROOF PLAN	07/14/2021		
A-104	ROOF DETAILS	07/14/2021		
A-105	ROOF DETAILS	07/14/2021		

Revisions		
No.	Date	Note

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.



P:\17042.04 - SBMC New Admin - Roof Replacement\CAD\Sheets\24x36\FULL SET\100 C-000 COVER.dwg, 7/18/2021 10:38:29 AM, DWG To PDF.pc3



**WIND DESIGN ROOF PLAN**  
SCALE: N.T.S.

**BUILDING A**

<b>WIND DESIGN DATA (BUILDING A):</b>	
CODE:	FLORIDA BUILDING CODE, (SEVENTH EDITION) 2020 ASCE/SEI 7-16
BASIC WIND SPEED:	163 MPH (Ult) 126 MPH (Voad)
CATEGORY (RISK):	II
EXPOSURE CATEGORY:	C
BUILDING HEIGHT:	40.67 ft.
ENCLOSURE CLASSIFICATION:	ENCLOSED
INTERNAL PRESSURE COEFFICIENT:	±0.18

PATTERN	ZONE	MAIN ROOF					
		EFFECTIVE WIND AREA					
		10 SQ. FT.	20 SQ. FT.	50 SQ. FT.	100 SQ. FT.	200 SQ. FT.	500 SQ. FT.
	①	+29 PSF/-113 PSF	+27 PSF/-106 PSF	+25 PSF/-96 PSF	+23 PSF/-89 PSF	+23 PSF/-81 PSF	+23 PSF/-71 PSF
	②	+29 PSF/-150 PSF	+27 PSF/-140 PSF	+25 PSF/-127 PSF	+23 PSF/-118 PSF	+23 PSF/-108 PSF	+23 PSF/-95 PSF
	③	+29 PSF/-204 PSF	+27 PSF/-185 PSF	+25 PSF/-159 PSF	+23 PSF/-140 PSF	+23 PSF/-120 PSF	+23 PSF/-95 PSF
	① STEP	+65 PSF/-113 PSF	+62 PSF/-106 PSF	+58 PSF/-96 PSF	+56 PSF/-89 PSF	+53 PSF/-82 PSF	+49 PSF/-71 PSF
	② STEP	+65 PSF/-150 PSF	+62 PSF/-140 PSF	+58 PSF/-127 PSF	+56 PSF/-118 PSF	+53 PSF/-108 PSF	+49 PSF/-95 PSF

**NOTE:**  
1. ALL EXTERIOR DOORS & WINDOW ASSEMBLIES SHALL SATISFY THE REQUIREMENTS OF THE FLORIDA BUILDING CODE (SEVENTH EDITION 2020, SECTION 1709.5). ALL CONNECTIONS TO BUILDING STRUCTURE SHALL HAVE THE CAPACITY TO WITHSTAND THE PRESSURES INDICATED IN THIS SCHEDULE.  
2. PLUS AND MINUS SIGNS SIGNIFY PRESSURES ACTING TOWARD AND AWAY FROM THE SURFACES, RESPECTIVELY.  
3. ALL WIND PRESSURE VALUES INDICATED ARE IN POUNDS PER SQUARE FOOT (PSF). MULTIPLY ULTIMATE WIND PRESSURE BY 0.60 FOR ASD PRESSURE.

**BUILDING B**

<b>WIND DESIGN DATA (BUILDING B):</b>	
CODE:	FLORIDA BUILDING CODE, (SEVENTH EDITION) 2020 ASCE/SEI 7-16
BASIC WIND SPEED:	163 MPH (Ult) 126 MPH (Voad)
CATEGORY (RISK):	II
EXPOSURE CATEGORY:	C
BUILDING HEIGHT:	27.33 ft.
ENCLOSURE CLASSIFICATION:	ENCLOSED
INTERNAL PRESSURE COEFFICIENT:	±0.18

PATTERN	ZONE	MAIN ROOF					
		EFFECTIVE WIND AREA					
		10 SQ. FT.	20 SQ. FT.	50 SQ. FT.	100 SQ. FT.	200 SQ. FT.	500 SQ. FT.
	①	+27 PSF/-104 PSF	+25 PSF/-97 PSF	+23 PSF/-88 PSF	+21 PSF/-81 PSF	+21 PSF/-75 PSF	+21 PSF/-65 PSF
	②	+27 PSF/-137 PSF	+25 PSF/-129 PSF	+23 PSF/-117 PSF	+21 PSF/-108 PSF	+21 PSF/-99 PSF	+21 PSF/-88 PSF
	③	+27 PSF/-187 PSF	+25 PSF/-170 PSF	+23 PSF/-146 PSF	+21 PSF/-129 PSF	+21 PSF/-111 PSF	+21 PSF/-88 PSF

**NOTE:**  
1. ALL EXTERIOR DOORS & WINDOW ASSEMBLIES SHALL SATISFY THE REQUIREMENTS OF THE FLORIDA BUILDING CODE (SEVENTH EDITION 2020, SECTION 1709.5). ALL CONNECTIONS TO BUILDING STRUCTURE SHALL HAVE THE CAPACITY TO WITHSTAND THE PRESSURES INDICATED IN THIS SCHEDULE.  
2. PLUS AND MINUS SIGNS SIGNIFY PRESSURES ACTING TOWARD AND AWAY FROM THE SURFACES, RESPECTIVELY.  
3. ALL WIND PRESSURE VALUES INDICATED ARE IN POUNDS PER SQUARE FOOT (PSF). MULTIPLY ULTIMATE WIND PRESSURE BY 0.60 FOR ASD PRESSURE.

**BUILDING C**

<b>WIND DESIGN DATA (BUILDING C):</b>	
CODE:	FLORIDA BUILDING CODE, (SEVENTH EDITION) 2020 ASCE/SEI 7-16
BASIC WIND SPEED:	163 MPH (Ult) 126 MPH (Voad)
CATEGORY (RISK):	II
EXPOSURE CATEGORY:	C
BUILDING HEIGHT:	42.83 ft.
ENCLOSURE CLASSIFICATION:	ENCLOSED
INTERNAL PRESSURE COEFFICIENT:	±0.18

PATTERN	ZONE	MAIN ROOF					
		EFFECTIVE WIND AREA					
		10 SQ. FT.	20 SQ. FT.	50 SQ. FT.	100 SQ. FT.	200 SQ. FT.	500 SQ. FT.
	①	+54 PSF/-98 PSF	+47 PSF/-86 PSF	+37 PSF/-72 PSF	+30 PSF/-61 PSF	+30 PSF/-61 PSF	+30 PSF/-61 PSF

**NOTE:**  
1. ALL EXTERIOR DOORS & WINDOW ASSEMBLIES SHALL SATISFY THE REQUIREMENTS OF THE FLORIDA BUILDING CODE (SEVENTH EDITION 2020, SECTION 1709.5). ALL CONNECTIONS TO BUILDING STRUCTURE SHALL HAVE THE CAPACITY TO WITHSTAND THE PRESSURES INDICATED IN THIS SCHEDULE.  
2. PLUS AND MINUS SIGNS SIGNIFY PRESSURES ACTING TOWARD AND AWAY FROM THE SURFACES, RESPECTIVELY.  
3. ALL WIND PRESSURE VALUES INDICATED ARE IN POUNDS PER SQUARE FOOT (PSF). MULTIPLY ULTIMATE WIND PRESSURE BY 0.60 FOR ASD PRESSURE.

**HARVARD JOLLY ARCHITECTURE**  
2047 Vista Parkway, Suite 100 West Palm Beach, FL 33411 | 561-476-4457 | www.harvardjolly.com | AR0013140

**MASTER CONSULTING INC.**  
4101 RAVENSWOOD RD., #200  
WEST PALM BEACH, FL 33411  
561-476-4457 | www.mcmeng.pro  
CA: 8426 PROJ. NO. 1413-160  
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District Administrative Offices Roof Replacement  
Martin County School District  
1939 SE Federal Highway  
Stuart, Florida 34994  
100% Construction Documents

Comm. No: 17042.04  
Date: 07/14/2021  
Drawn: AF

Revisions		
No.	Date	Note

TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, THESE STRUCTURAL PLANS CONFORM TO AND SATISFY THE FLORIDA BUILDING CODE, SEVENTH EDITION 2020, ACI 318-14 AND LOCAL CODES AS APPLICABLE.

ARMANDO A. CASTELLON, P.E.  
No. 43453  
FLORIDA PROFESSIONAL ENGINEERING BOARD  
STATE OF FLORIDA  
LIC. No. 43453  
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WIND DESIGN DATA AND LOAD SCHEDULE

S-102

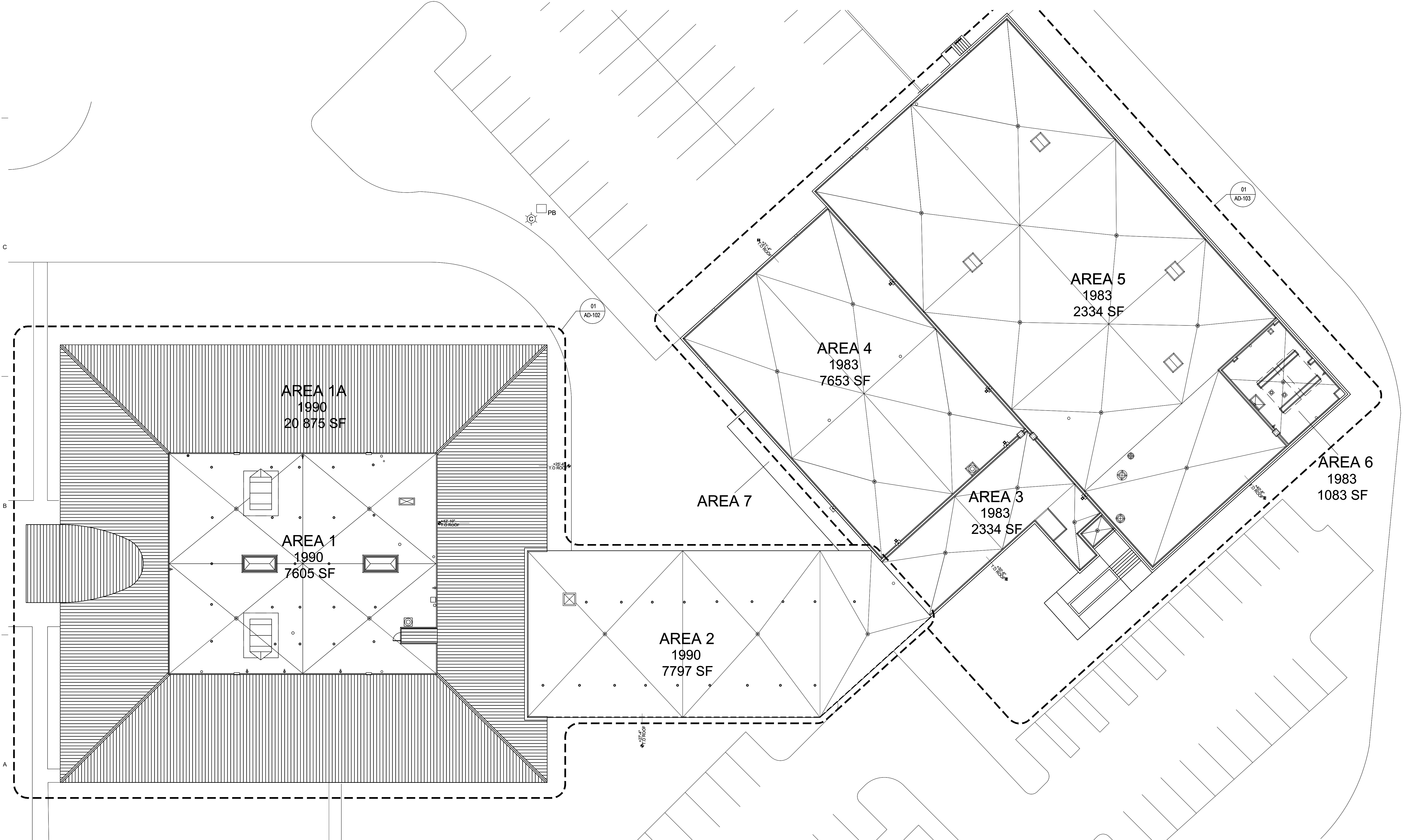
TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, THESE STRUCTURAL PLANS CONFORM TO AND SATISFY THE FLORIDA BUILDING CODE, 2020 EDITION, ACI 318-14, AND LOCAL CODES AS APPLICABLE.

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LEGEND	
	EXISTING EQUIPMENT TO REMAIN
	EXISTING ROOF SLOPE DIRECTION
	D.S. EXISTING DOWNSPOUTS TO REMAIN
	AREA OF DEMOLITION WORK
	EXISTING METAL ROOF TO REMAIN
	AREA OF DEMOLITION WORK IN METAL ROOF

DEMOLITION NOTES	
1.	ALL WORK, MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE NEW AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
2.	DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS SHALL BE FOLLOWED.
3.	CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY UNEXPECTED OR UNKNOWN FIELD CONDITIONS, ERRORS, OMISSIONS, OR DISCREPANCIES IN THE DRAWINGS, PROJECT MANUAL OR CONTRACT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK OR SHOP FABRICATIONS.
4.	CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS FOR CONSTRUCTION. ALL SHOP DRAWINGS DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL.
6.	REMOVE EXISTING ROOFING AND INSULATION; PREPARE EXISTING STRUCTURE/METAL DECK/CONCRETE DECK AS REQUIRED FOR THE INSTALLATION OF THE NEW ROOFING SYSTEM AT A MINIMUM SLOPE OF 1/4" PER FOOT.
7.	CONTRACTOR SHALL PROVIDE NEW PRECAST CONCRETE SPLASH BLOCKS AT ALL DOWNSPOUTS EMPTYING ON GRADE AS REQUIRED.

GENERAL NOTES	
1.	DEMOLITION NOTES - REFER TO DEMOLITION NOTES FOR SPECIFIC DEMOLITION REQUIREMENTS. SPECIFIC DEMOLITION ITEMS ARE NOT TO BE CONSIDERED ALL INCLUSIVE OR COMPLETE IN THEMSELVES. PERFORM ADDITIONAL DEMOLITION THAT MIGHT REASONABLY BE REQUIRED FOR THE PREPARATION OF INSTALLATION OF NEW CONSTRUCTION OR SPECIFIED FINISHES. DEMOLITION SHALL BE PERFORMED IN A MANNER THAT WILL NOT DAMAGE ADJOINING SURFACES INDICATED TO REMAIN. SURFACES SHALL BE PATCHED IF NECESSARY TO PROVIDE A SUITABLE SUBSTRATE FOR NEW FINISHES.
2.	SITE VISIT - PRIOR TO BIDDING, THE CONTRACTOR SHALL VISIT THE FACILITY AND THOROUGHLY FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. NO CLAIMS FOR ADDITIONAL WORK DUE TO REASONABLY INFERRED OBSERVABLE CONDITIONS WILL BE CONSIDERED.
3.	SCHEDULING - SCHEDULE DEMOLITION WORK WITH OWNERS PROJECT MANAGER PRIOR TO START OF WORK TO MAXIMIZE PRODUCTIVITY.
4.	PROTECTION - EXERCISE CARE DURING WORK TO PROTECT INTERIOR AND EXTERIOR EXISTING CONSTRUCTION TO REMAIN. REPAIR TO EXISTING CONSTRUCTION DUE TO DAMAGE SHALL BE DONE AT NO COST TO THE OWNER.
5.	HAZARDOUS MATERIALS - THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY HAZARDOUS OR TOXIC MATERIALS DISCOVERED TO ARCHITECT, OWNER AND AUTHORITIES HAVING JURISDICTION.
6.	CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF WORK OF OTHER TRADES SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
7.	THE WORK IS TO TAKE PLACE ON AN OCCUPIED AND ACTIVE SITE. ALL PERSONNEL WORKING ON-SITE WITH THIS PROJECT MUST HAVE AND WEAR COMPANY IDENTIFYING CLOTHING.
8.	CONTRACTOR SHALL PROVIDE SIGNED AND SEALED SHOP DRAWINGS PREPARED BY A FLORIDA LICENSED ENGINEER FOR ROOFING ASSEMBLY, ACCESSORIES, ETC. FOR APPROVAL.



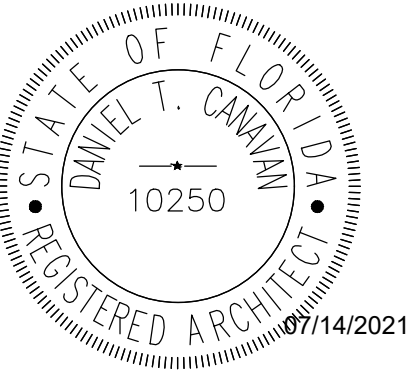
01 OVERALL DEMOLITION ROOF PLAN  
SCALE: 1/16" = 1'-0"

District Administrative Offices Roof Replacement  
Martin County School District  
1939 SE Federal Highway  
Stuart, Florida 34994  
100% Construction Documents

Comm. No: 17042.04  
Date: 07/14/2021  
Drawn: MFH

Revisions		
No.	Date	Note

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.



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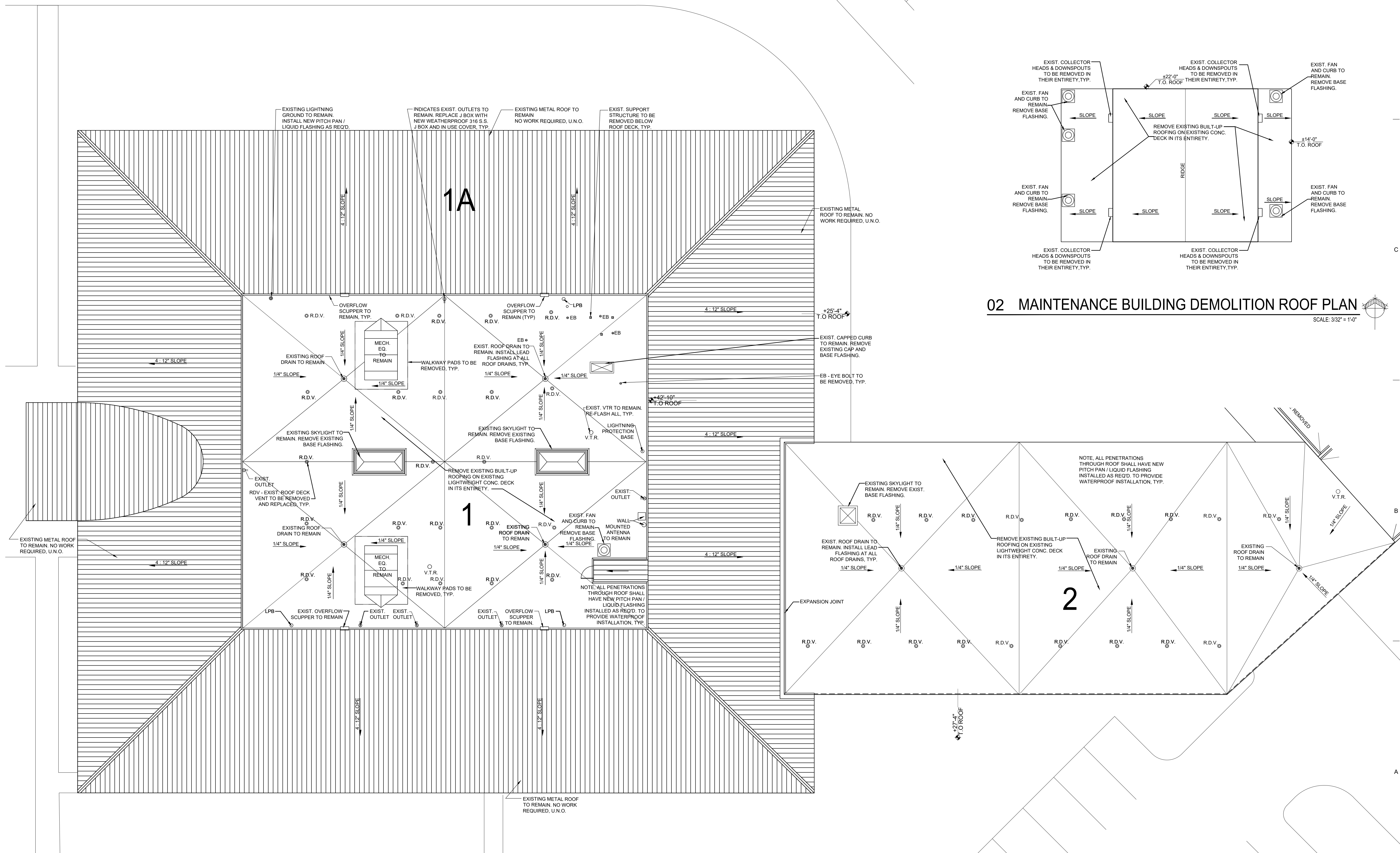
OVERALL DEMOLITION ROOF PLAN

AD-101

LEGEND	
	EXISTING EQUIPMENT TO REMAIN
	EXISTING ROOF SLOPE DIRECTION
	D.S. DOWNSPOUTS
	M.V. EXISTING MECHANICAL VENTILATION
	E.B. EXISTING EYEBOLT
	V.T.R. EXISTING VENT THROUGH ROOF
	R.D.V. EXISTING ROOF DECK VENT

- GENERAL ROOF NOTES**
- ALL WORK, MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE NEW AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
  - DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS SHALL BE FOLLOWED.
  - CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY UNEXPECTED OR UNKNOWN FIELD CONDITIONS, ERRORS, OMISSIONS, OR DISCREPANCIES IN THE DRAWINGS, PROJECT MANUAL OR CONTRACT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK OR SHOP FABRICATIONS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS FOR CONSTRUCTION. ALL SHOP DRAWINGS DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL.
  - REMOVE EXISTING ROOFING AND INSULATION. PREPARE EXISTING STRUCTURE METAL DECK/CONCRETE DECK AS REQUIRED FOR THE INSTALLATION OF THE NEW ROOFING SYSTEM AT A MINIMUM SLOPE OF 1/4" PER FOOT.
  - CONTRACTOR SHALL PROVIDE NEW PRECAST CONCRETE SPLASH BLOCKS AT ALL DOWNSPOUTS EMPTYING ON GRADE AS REQUIRED.

- GENERAL NOTES**
- DEMOLITION NOTES** - REFER TO DEMOLITION NOTES FOR SPECIFIC DEMOLITION REQUIREMENTS. SPECIFIC DEMOLITION ITEMS ARE NOT TO BE CONSIDERED ALL INCLUSIVE OR COMPLETE IN THEMSELVES. PERFORM ADDITIONAL DEMOLITION THAT MIGHT REASONABLY BE REQUIRED FOR THE PREPARATION OF INSTALLATION OF NEW CONSTRUCTION OR SPECIFIED FINISHES. DEMOLITION SHALL BE PERFORMED IN A MANNER THAT WILL NOT DAMAGE ADJOINING SURFACES INDICATED TO REMAIN. SURFACES SHALL BE PATCHED IF NECESSARY TO PROVIDE A SUITABLE SUBSTRATE FOR NEW FINISHES.
  - SITE VISIT** - PRIOR TO BIDDING, THE CONTRACTOR SHALL VISIT THE FACILITY AND THOROUGHLY FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. NO CLAIMS FOR ADDITIONAL WORK DUE TO REASONABLY INFERRED OBSERVABLE CONDITIONS WILL BE CONSIDERED.
  - SCHEDULING** - SCHEDULE DEMOLITION WORK WITH OWNER'S PROJECT MANAGER PRIOR TO START OF WORK TO MAXIMIZE PRODUCTIVITY.
  - PROTECTION** - EXERCISE CARE DURING WORK TO PROTECT INTERIOR AND EXTERIOR EXISTING CONSTRUCTION TO REMAIN. REPAIR TO EXISTING CONSTRUCTION DUE TO DAMAGE SHALL BE DONE AT NO COST TO THE OWNER.
  - HAZARDOUS MATERIALS** - THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY HAZARDOUS OR TOXIC MATERIALS DISCOVERED TO ARCHITECT, OWNER AND AUTHORITIES HAVING JURISDICTION.
  - CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF WORK OF OTHER TRADES SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
  - THE WORK IS TO TAKE PLACE ON AN OCCUPIED AND ACTIVE SITE. ALL PERSONNEL WORKING ON-SITE WITH THIS PROJECT MUST HAVE AND WEAR COMPANY IDENTIFYING CLOTHING.
  - CONTRACTOR SHALL PROVIDE SIGNED AND SEALED SHOP DRAWINGS PREPARED BY A FLORIDA LICENSED ENGINEER FOR ROOFING ASSEMBLY, TRELLIS, ETC. FOR APPROVAL.



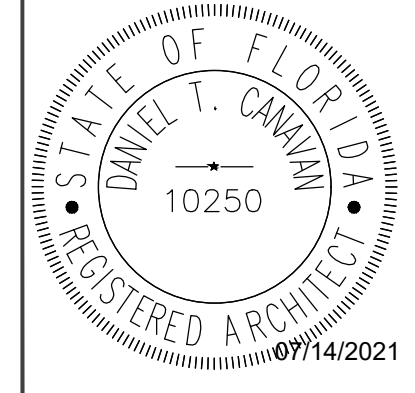
**02 MAINTENANCE BUILDING DEMOLITION ROOF PLAN**  
SCALE: 3/32" = 1'-0"

**01 PARTIAL DEMOLITION ROOF PLAN AREA 1, 1A & 2**  
SCALE: 3/32" = 1'-0"

Comm. No: 17042.04  
Date: 07/14/2021  
Drawn: MFH

Revisions		
No.	Date	Note

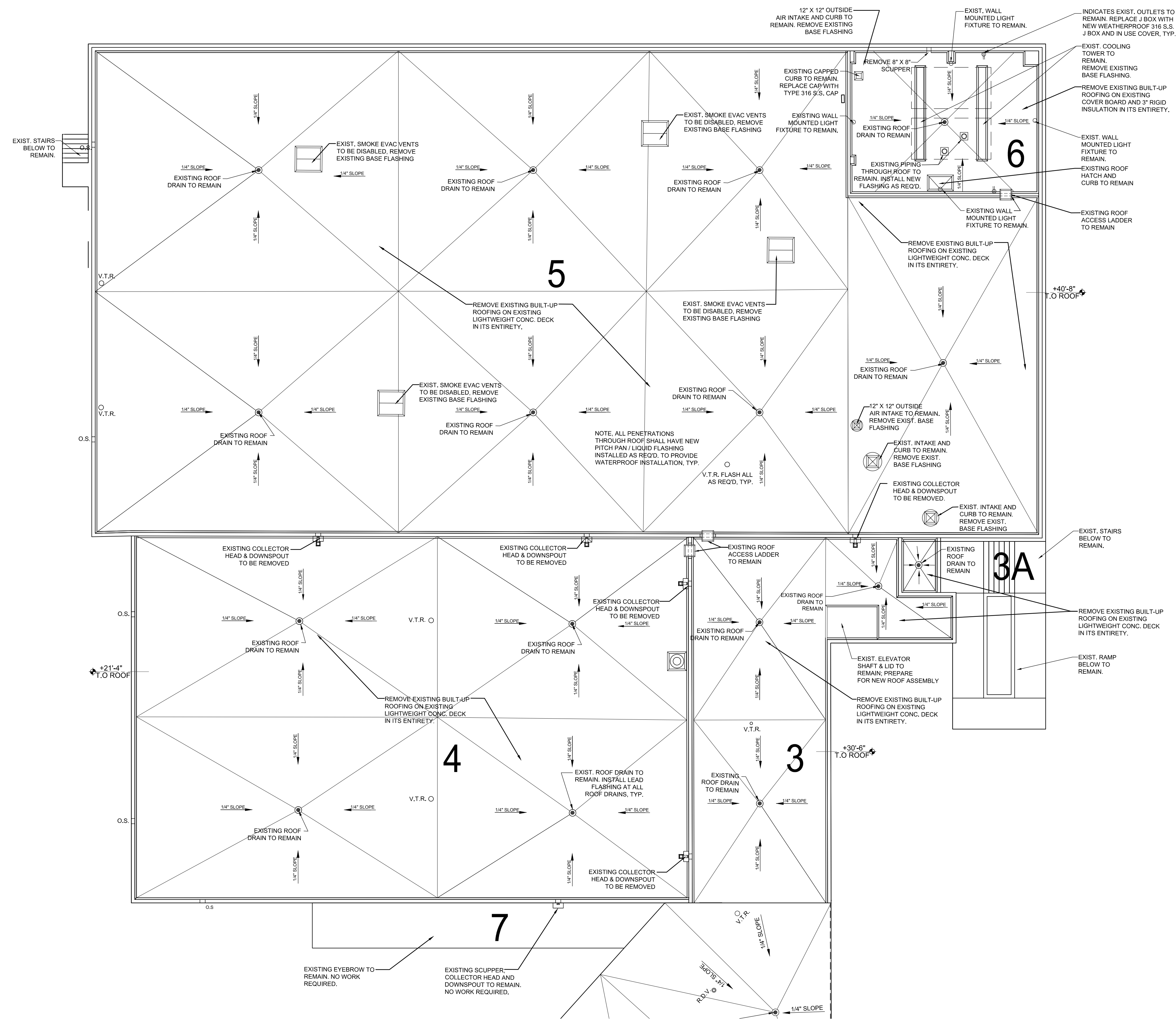
TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.



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**PARTIAL DEMOLITION ROOF PLAN**

**AD-102**



**LEGEND**

- EXISTING EQUIPMENT TO REMAIN
- EXISTING ROOF SLOPE DIRECTION
- D.S. DOWNSPOUTS
- M.V. EXISTING MECHANICAL VENTILATION
- E.B. EXISTING EYEBOLT
- V.T.R. EXISTING VENT THROUGH ROOF
- EXISTING OVERFLOW SCUPPER
- R.D. EXISTING ROOF DRAIN

- GENERAL ROOF NOTES**
1. ALL WORK, MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE NEW AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
  2. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS SHALL BE FOLLOWED.
  3. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY UNEXPECTED OR UNKNOWN FIELD CONDITIONS, ERRORS, OMISSIONS, OR DISCREPANCIES IN THE DRAWINGS, PROJECT MANUAL OR CONTRACT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK OR SHOP FABRICATIONS.
  4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS FOR CONSTRUCTION. ALL SHOP DRAWINGS DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL.
  5. CONTRACTOR SHALL REMOVE EXISTING ROOFING AND INSULATION. PREPARE EXISTING STRUCTURE/METAL DECK/CONCRETE DECK AS REQUIRED FOR THE INSTALLATION OF THE NEW ROOFING SYSTEM AT A MINIMUM SLOPE OF 1/4\"/>

- GENERAL NOTES**
1. DEMOLITION NOTES - REFER TO DEMOLITION NOTES FOR SPECIFIC DEMOLITION REQUIREMENTS. SPECIFIC DEMOLITION ITEMS ARE NOT TO BE CONSIDERED ALL INCLUSIVE OR COMPLETE IN THEMSELVES. PERFORM ADDITIONAL DEMOLITION THAT MIGHT REASONABLY BE REQUIRED FOR THE PREPARATION OF INSTALLATION OF NEW CONSTRUCTION OR SPECIFIED FINISHES. DEMOLITION SHALL BE PERFORMED IN A MANNER THAT WILL NOT DAMAGE ADJOINING SURFACES INDICATED TO REMAIN. SURFACES SHALL BE PATCHED IF NECESSARY TO PROVIDE A SUITABLE SUBSTRATE FOR NEW FINISHES.
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  8. CONTRACTOR SHALL PROVIDE SIGNED AND SEALED SHOP DRAWINGS PREPARED BY A FLORIDA LICENSED ENGINEER FOR ROOFING ASSEMBLY, ETC. FOR APPROVAL.

**01 PARTIAL DEMOLITION ROOF PLAN AREA 3, 4, 5, 6 & 7**  
SCALE: 1/8" = 1'-0"

**District Administrative Offices Roof Replacement**  
Martin County School District  
1939 SE Federal Highway  
Stuart, Florida 34994  
100% Construction Documents

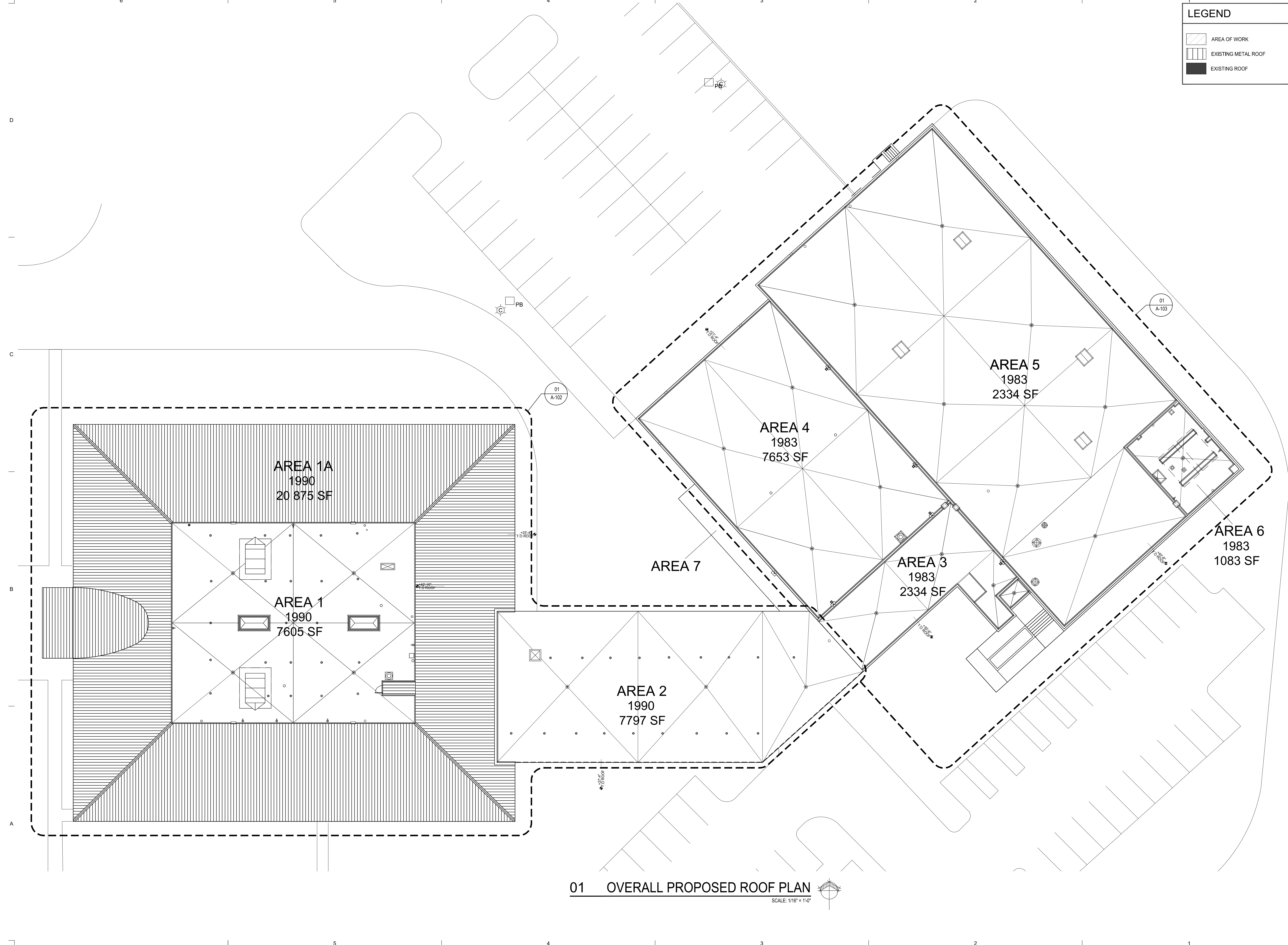
Comm. No.	17042.04
Date	07/14/2021
Drawn	MFH

Revisions		
No.	Date	Note

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PARTIAL DEMOLITION ROOF PLAN

AD-103

P:\17042.04 - SBMC New Admin - Roof Replacement\5 CAD\Sheets\24x36\FULL SET\04 A-101 Overall Revised Roof Plan.dwg, 7/8/2021 11:14:30 AM, DWG To PDF.pc3



**LEGEND**

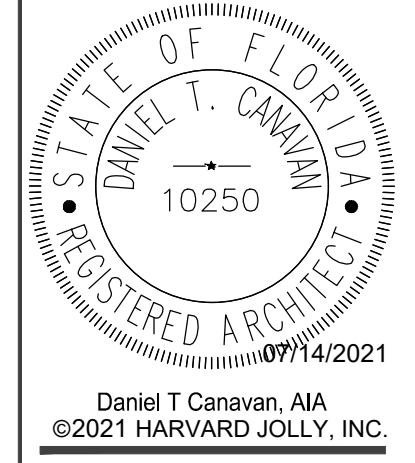
	AREA OF WORK
	EXISTING METAL ROOF
	EXISTING ROOF

District Administrative Offices Roof Replacement  
 Martin County School District  
 1939 SE Federal Highway  
 Stuart, Florida 34994  
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Comm. No: 17042.04  
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Revisions		
No.	Date	Note

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.



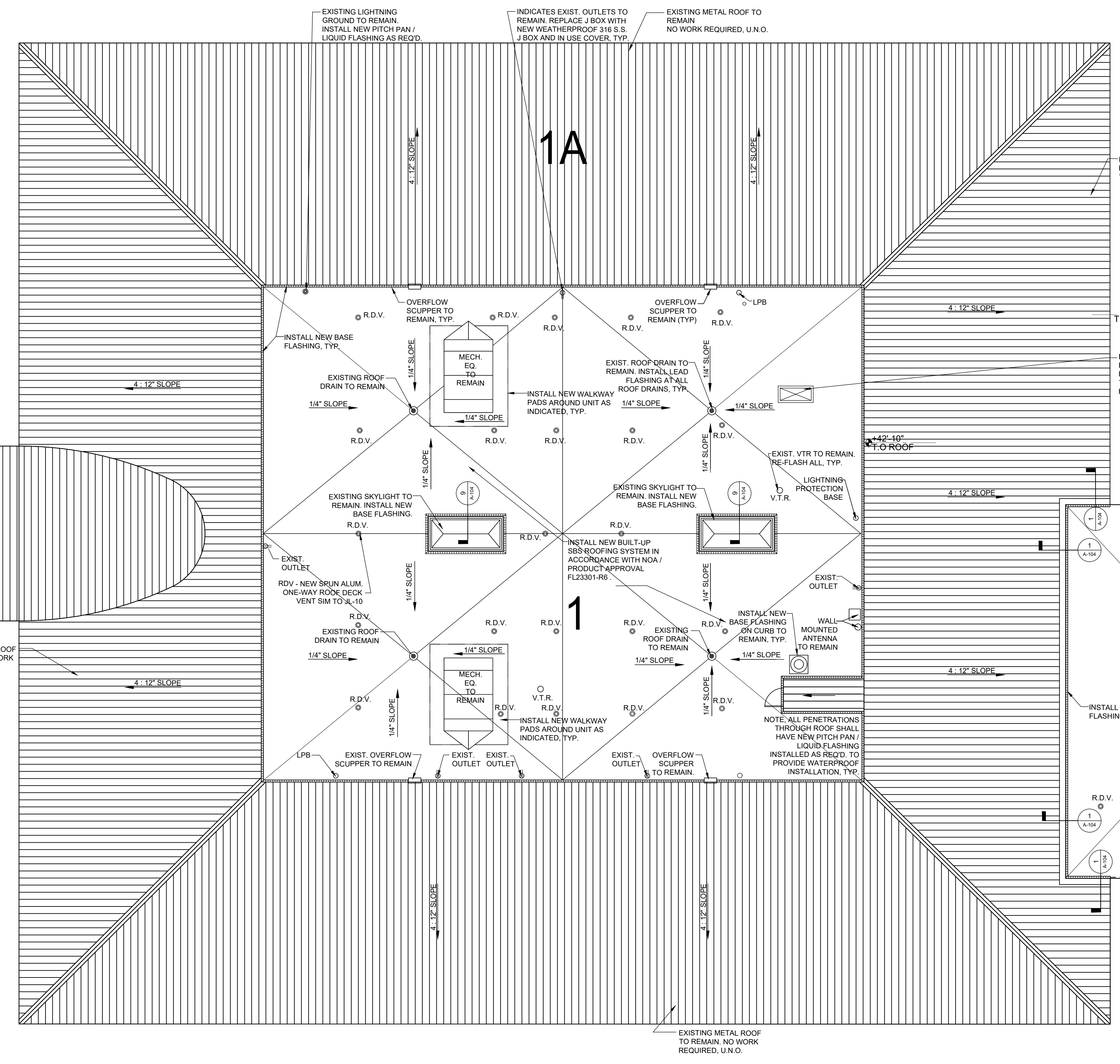
Daniel T. Canavan, AIA  
 ©2021 HARVARD JOLLY, INC.  
 OVERALL PROPOSED ROOF PLAN

**01 OVERALL PROPOSED ROOF PLAN**  
 SCALE: 1/16" = 1'-0"

LEGEND	
	EXISTING EQUIPMENT TO REMAIN
	EXISTING ROOF SLOPE DIRECTION
	D.S. DOWNSPOUTS
	M.V. EXISTING MECHANICAL VENTILATION
	E.B. EXISTING EYEBOLT
	V.T.R. EXISTING VENT THROUGH ROOF
	R.D.V. EXISTING ROOF DECK VENT

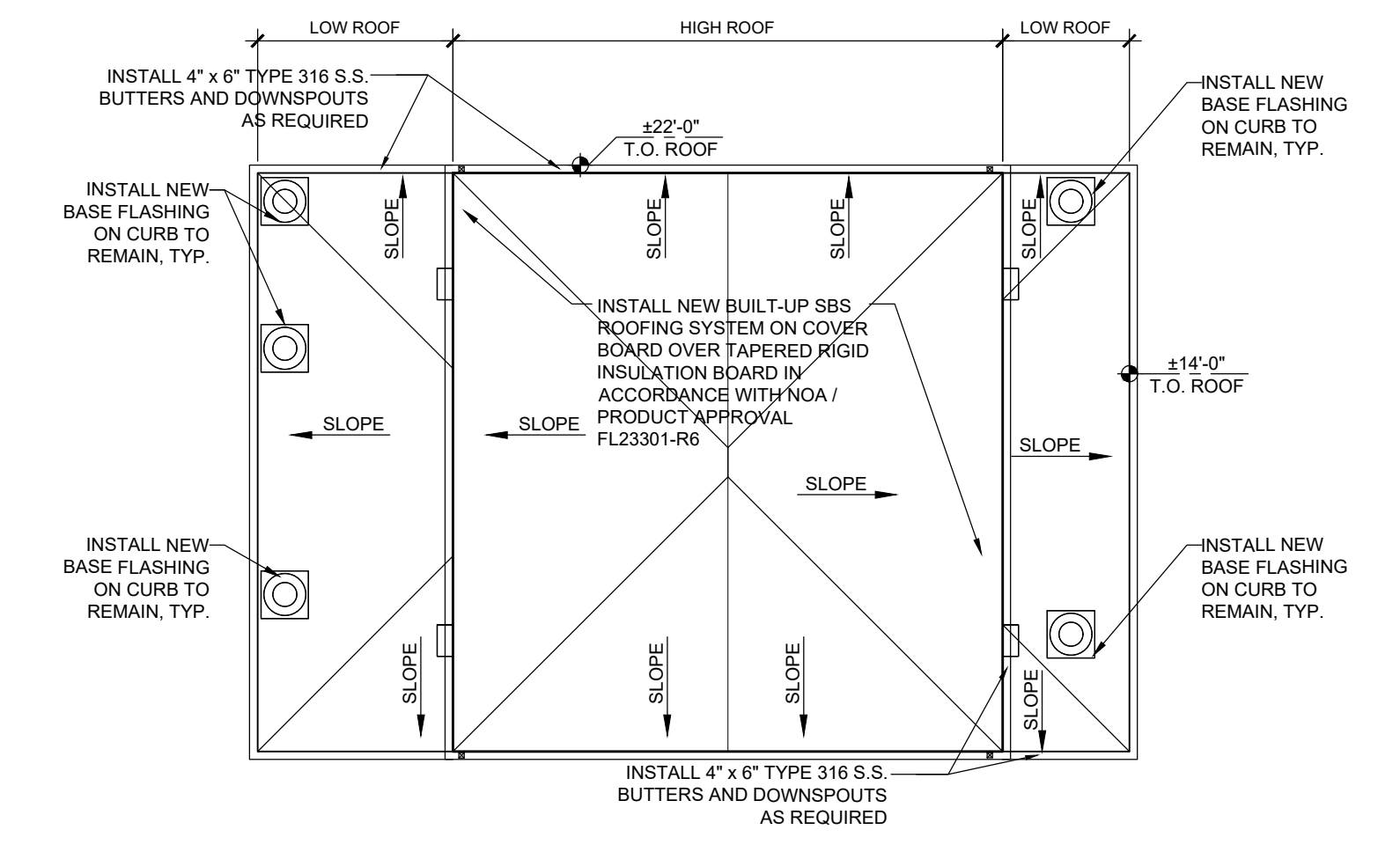
- GENERAL ROOF NOTES**
- ALL WORK, MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE NEW AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS SHALL BE FOLLOWED.
  - CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY UNEXPECTED OR UNKNOWN FIELD CONDITIONS, ERRORS, OMISSIONS, OR DISCREPANCIES IN THE DRAWINGS, PROJECT MANUAL OR CONTRACT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK OR SHOP FABRICATIONS.
  - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS FOR CONSTRUCTION. ALL SHOP DRAWINGS DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL.
  - REMOVE EXISTING ROOFING AND INSULATION; PREPARE EXISTING STRUCTURE/METAL DECK/CONCRETE DECK AS REQUIRED FOR THE INSTALLATION OF THE NEW ROOFING SYSTEM AT A MINIMUM SLOPE OF 1/4" PER FOOT.
  - CONTRACTOR SHALL PROVIDE NEW PRECAST CONCRETE SPLASH BLOCKS AT ALL DOWNSPOUTS EMPTYING ON GRADE AS REQUIRED.

- GENERAL NOTES**
- DEMOLITION NOTES - REFER TO DEMOLITION NOTES FOR SPECIFIC DEMOLITION REQUIREMENTS, SPECIFIC DEMOLITION ITEMS ARE NOT TO BE CONSIDERED ALL INCLUSIVE OR COMPLETE IN THEMSELVES. PERFORM ADDITIONAL DEMOLITION THAT MIGHT REASONABLY BE REQUIRED FOR THE PREPARATION OF INSTALLATION OF NEW CONSTRUCTION OR SPECIFIED FINISHES. DEMOLITION SHALL BE PERFORMED IN A MANNER THAT WILL NOT DAMAGE ADJOINING SURFACES INDICATED TO REMAIN. SURFACES SHALL BE PATCHED IF NECESSARY TO PROVIDE A SUITABLE SUBSTRATE FOR NEW FINISHES.
  - SITE VISIT - PRIOR TO BIDDING, THE CONTRACTOR SHALL VISIT THE FACILITY AND THOROUGHLY FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. NO CLAIMS FOR ADDITIONAL WORK DUE TO REASONABLY INFERRERED OBSERVABLE CONDITIONS WILL BE CONSIDERED.
  - SCHEDULING - SCHEDULE DEMOLITION WORK WITH OWNER'S PROJECT MANAGER PRIOR TO START OF WORK TO MAXIMIZE PRODUCTIVITY.
  - PROTECTION - EXERCISE CARE DURING WORK TO PROTECT INTERIOR AND EXTERIOR EXISTING CONSTRUCTION TO REMAIN. REPAIR TO EXISTING CONSTRUCTION DUE TO DAMAGE SHALL BE DONE AT NO COST TO THE OWNER.
  - HAZARDOUS MATERIALS - THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY HAZARDOUS OR TOXIC MATERIALS DISCOVERED TO ARCHITECT, OWNER AND AUTHORITIES HAVING JURISDICTION.
  - CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF WORK OF OTHER TRADES SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
  - THE WORK IS TO TAKE PLACE ON AN OCCUPIED AND ACTIVE SITE. ALL PERSONNEL WORKING ON-SITE WITH THIS PROJECT MUST HAVE AND WEAR COMPANY IDENTIFYING CLOTHING.
  - CONTRACTOR SHALL PROVIDE SIGNED AND SEALED SHOP DRAWINGS PREPARED BY A FLORIDA LICENSED ENGINEER FOR ROOFING ASSEMBLY, TRELIS, ETC. FOR APPROVAL.



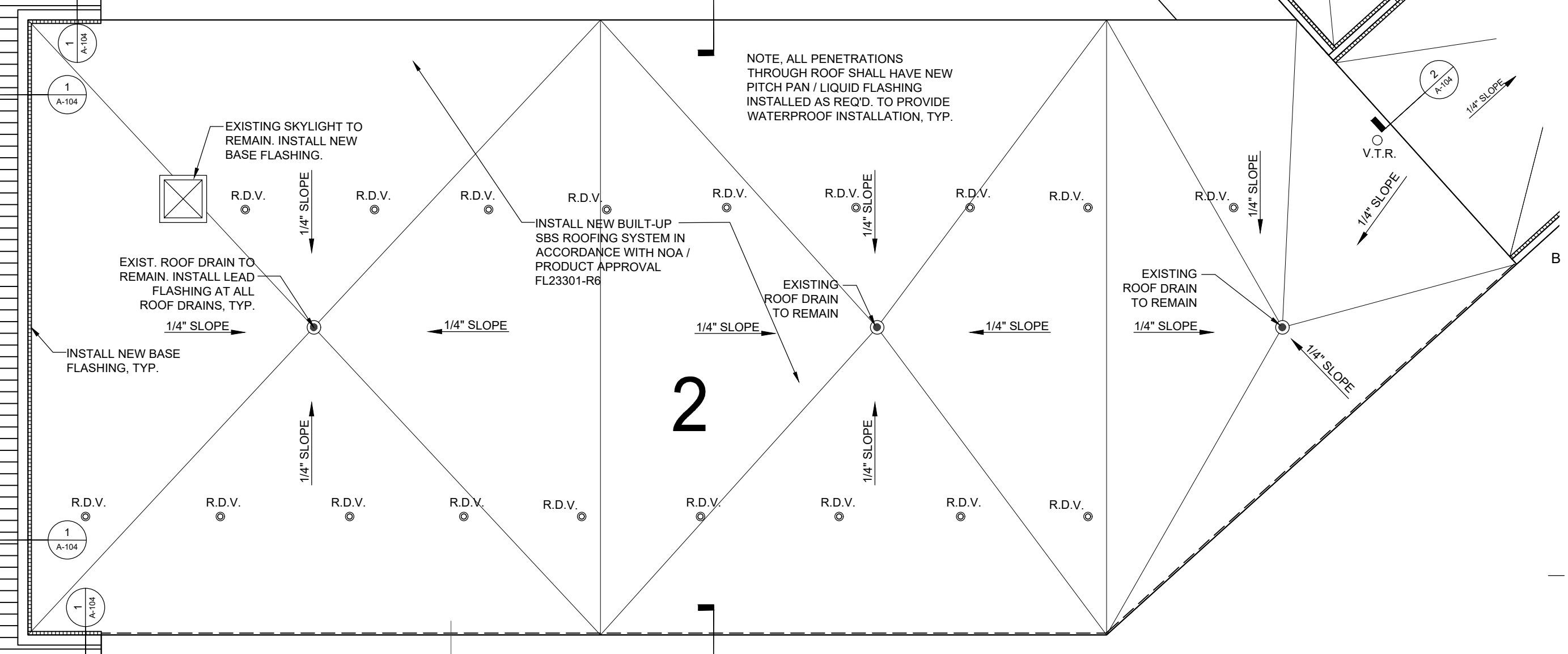
**01 PARTIAL PROPOSED ROOF PLAN AREA 1, 1A & 2**

SCALE: 3/32" = 1'-0"



**02 PROPOSED ROOF PLAN MAINTENANCE BUILDING**

SCALE: 3/32" = 1'-0"

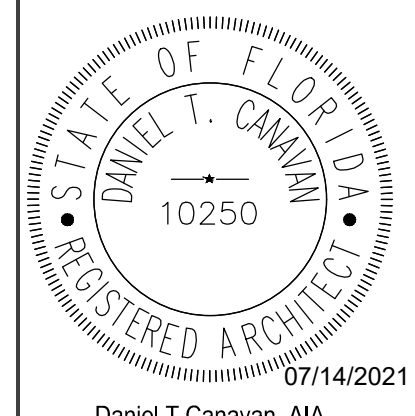


**District Administrative Offices Roof Replacement**  
**Martin County School District**  
 1939 SE Federal Highway  
 Stuart, Florida 34994  
 100% Construction Documents

Comm. No: 17042.04  
 Date: 07/14/2021  
 Drawn: MFH

Revisions		
No.	Date	Note

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.

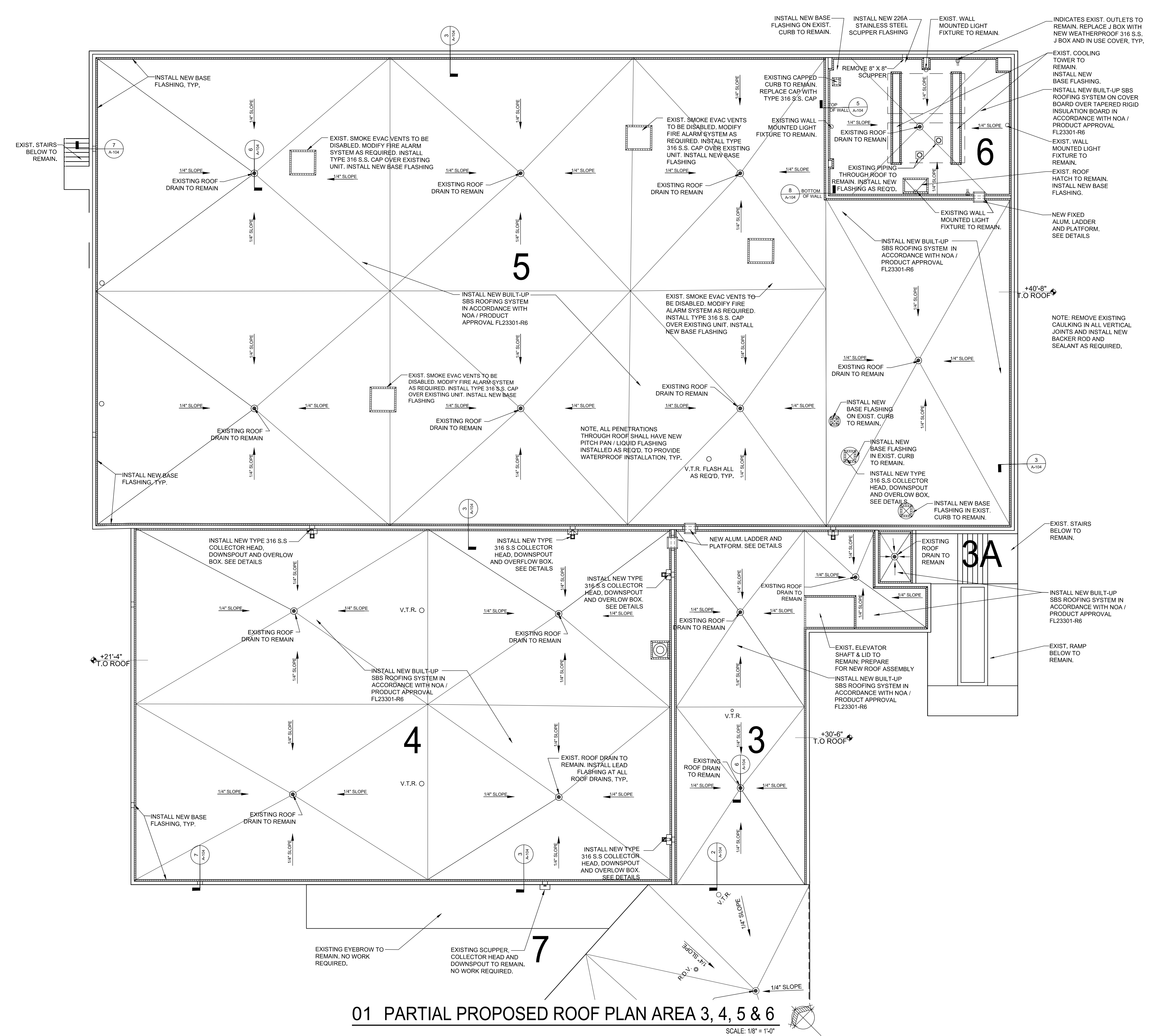


07/14/2021  
 Daniel T. Canavan, AIA  
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**PARTIAL PROPOSED ROOF PLAN**

**A-102**

P:\17042.04 - SBMC New Admin - Roof Replacement\5 CAD\Sheets\24x36\FULL SET\08 A-103 Partial REVISED Roof Plan.dwg, 7/8/2021 11:17:10 AM, DWG To PDF.pc3



01 PARTIAL PROPOSED ROOF PLAN AREA 3, 4, 5 & 6  
SCALE: 1/8" = 1'-0"

### LEGEND

- EXISTING EQUIPMENT TO REMAIN
- EXISTING ROOF SLOPE DIRECTION
- D.S. DOWNSPOUTS
- M.V. EXISTING MECHANICAL VENTILATION
- E.B. EXISTING EYEBOLT
- V.T.R. EXISTING VENT THROUGH ROOF
- EXISTING OVERFLOW SCUPPER
- R.D. EXISTING ROOF DRAIN

- ### GENERAL ROOF NOTES
1. ALL WORK, MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE NEW AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
  2. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS SHALL BE FOLLOWED.
  3. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY UNEXPECTED OR UNKNOWN FIELD CONDITIONS, ERRORS, OMISSIONS, OR DISCREPANCIES IN THE DRAWINGS, PROJECT MANUAL OR CONTRACT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK OR SHOP FABRICATIONS.
  4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS FOR CONSTRUCTION. ALL SHOP DRAWINGS DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL.
  5. REMOVE EXISTING ROOFING AND INSULATION. PREPARE EXISTING STRUCTURE/METAL DECK/CONCRETE DECK AS REQUIRED FOR THE INSTALLATION OF THE NEW ROOFING SYSTEM AT A MINIMUM SLOPE OF 1/4" PER FOOT.
  6. CONTRACTOR SHALL PROVIDE NEW PRECAST CONCRETE SPLASH BLOCKS AT ALL DOWNSPOUTS EMPTYING ON GRADE AS REQUIRED.

- ### GENERAL NOTES
1. DEMOLITION NOTES - REFER TO DEMOLITION NOTES FOR SPECIFIC DEMOLITION REQUIREMENTS. SPECIFIC DEMOLITION ITEMS ARE NOT TO BE CONSIDERED ALL INCLUSIVE OR COMPLETE IN THEMSELVES. PERFORM ADDITIONAL DEMOLITION THAT MIGHT REASONABLY BE REQUIRED FOR THE PREPARATION OF INSTALLATION OF NEW CONSTRUCTION OR SPECIFIED FINISHES. DEMOLITION SHALL BE PERFORMED IN A MANNER THAT WILL NOT DAMAGE ADJOINING SURFACES INDICATED TO REMAIN. SURFACES SHALL BE PATCHED IF NECESSARY TO PROVIDE A SUITABLE SUBSTRATE FOR NEW FINISHES.
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  3. SCHEDULING - SCHEDULE DEMOLITION WORK WITH OWNER'S PROJECT MANAGER PRIOR TO START OF WORK TO MAXIMIZE PRODUCTIVITY.
  4. PROTECTION - EXERCISE CARE DURING WORK TO PROTECT INTERIOR AND EXTERIOR EXISTING CONSTRUCTION TO REMAIN. REPAIR TO EXISTING CONSTRUCTION DUE TO DAMAGE SHALL BE DONE AT NO COST TO THE OWNER.
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  6. CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF WORK OF OTHER TRADES SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
  7. THE WORK IS TO TAKE PLACE ON AN OCCUPIED AND ACTIVE SITE. ALL PERSONNEL WORKING ON-SITE WITH THIS PROJECT MUST HAVE AND WEAR COMPANY IDENTIFYING CLOTHING.
  8. CONTRACTOR SHALL PROVIDE SIGNED AND SEALED SHOP DRAWINGS PREPARED BY A FLORIDA LICENSED ENGINEER FOR ROOFING ASSEMBLY, ETC. FOR APPROVAL.

District Administrative Offices Roof Replacement

Martin County School District

1939 SE Federal Highway

Stuart, Florida 34994

100% Construction Documents

Comm. No: 17042.04

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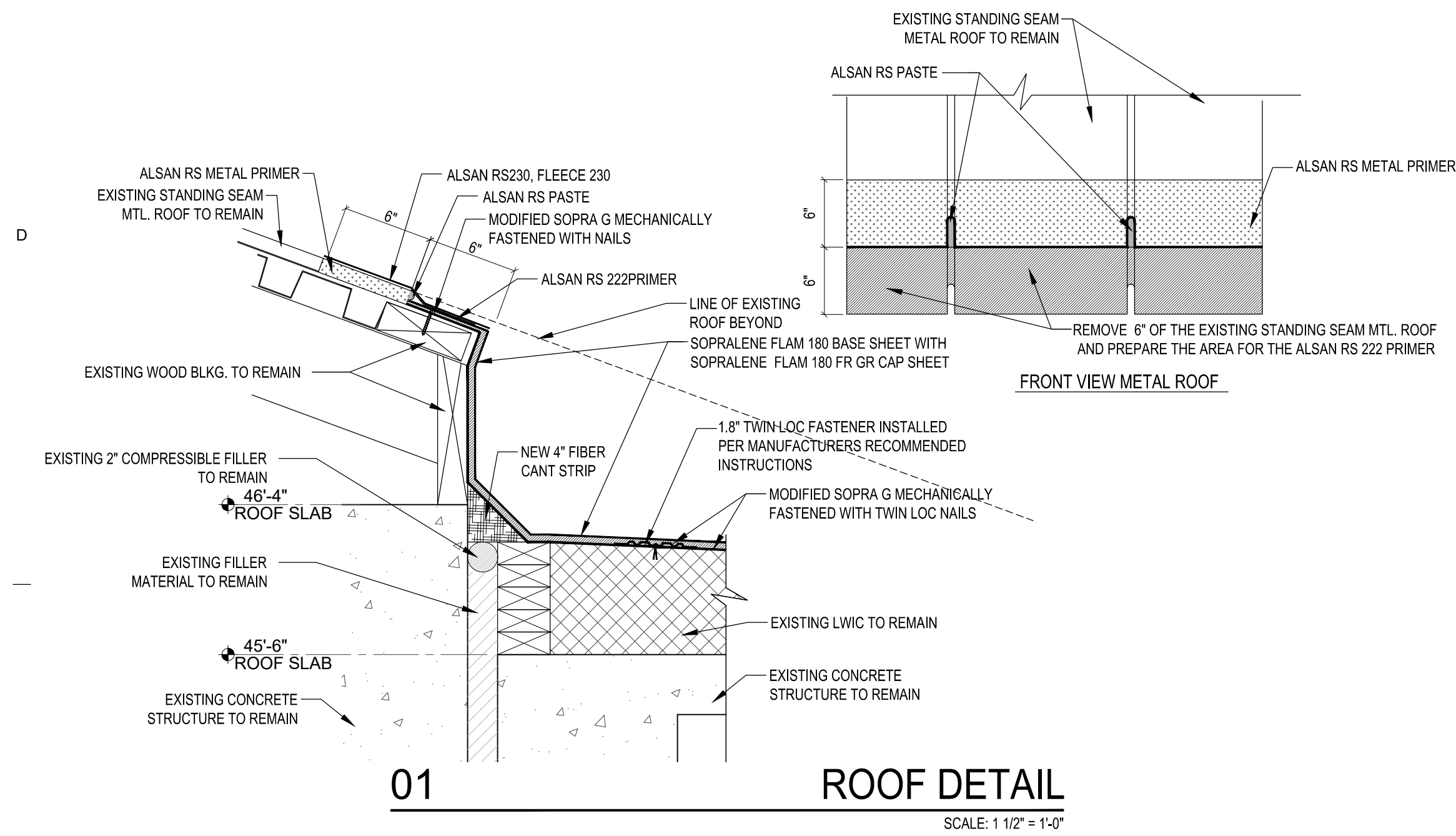
Revisions		
No.	Date	Note

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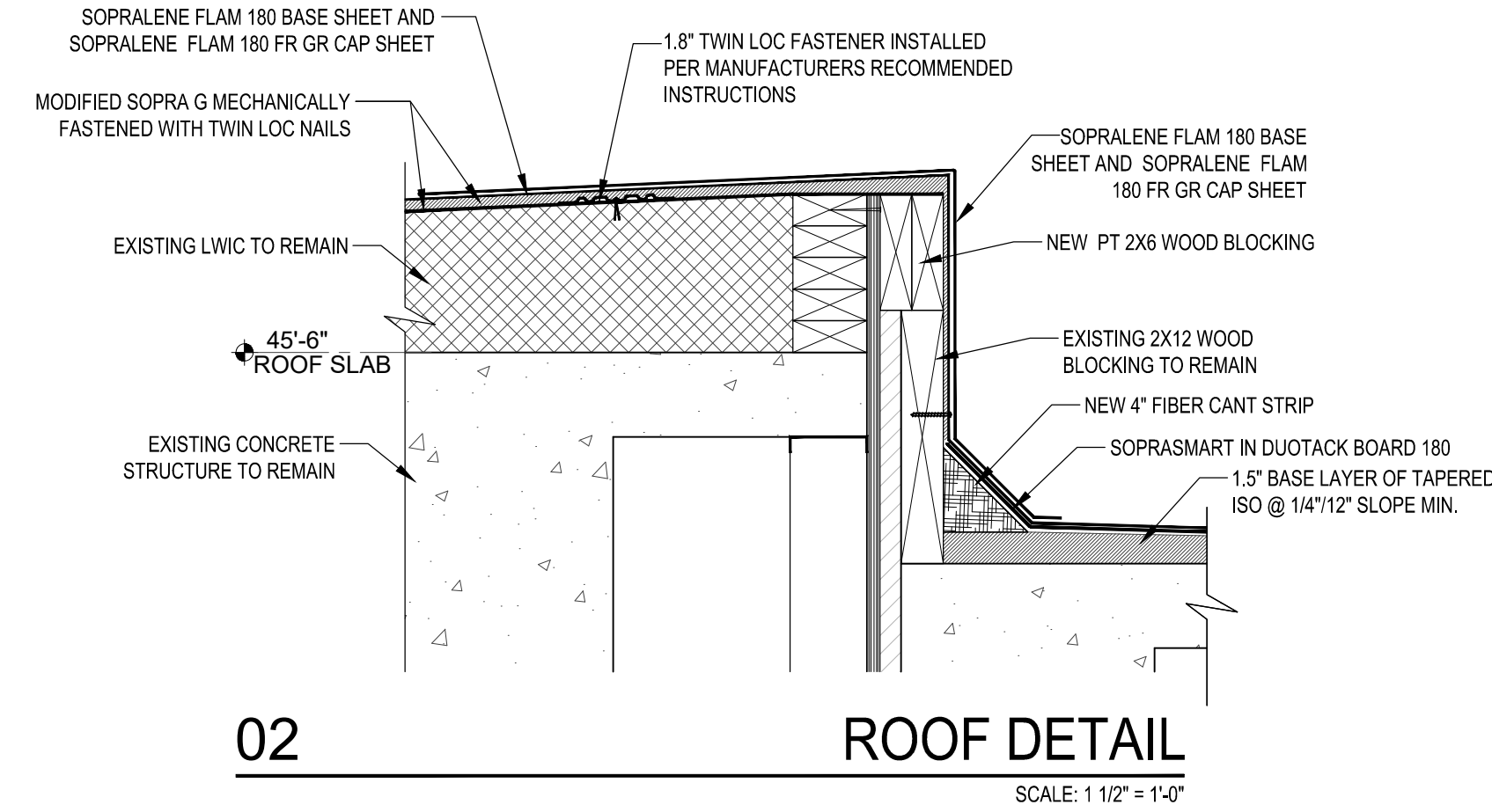
PARTIAL PROPOSED  
ROOF PLAN

A-103

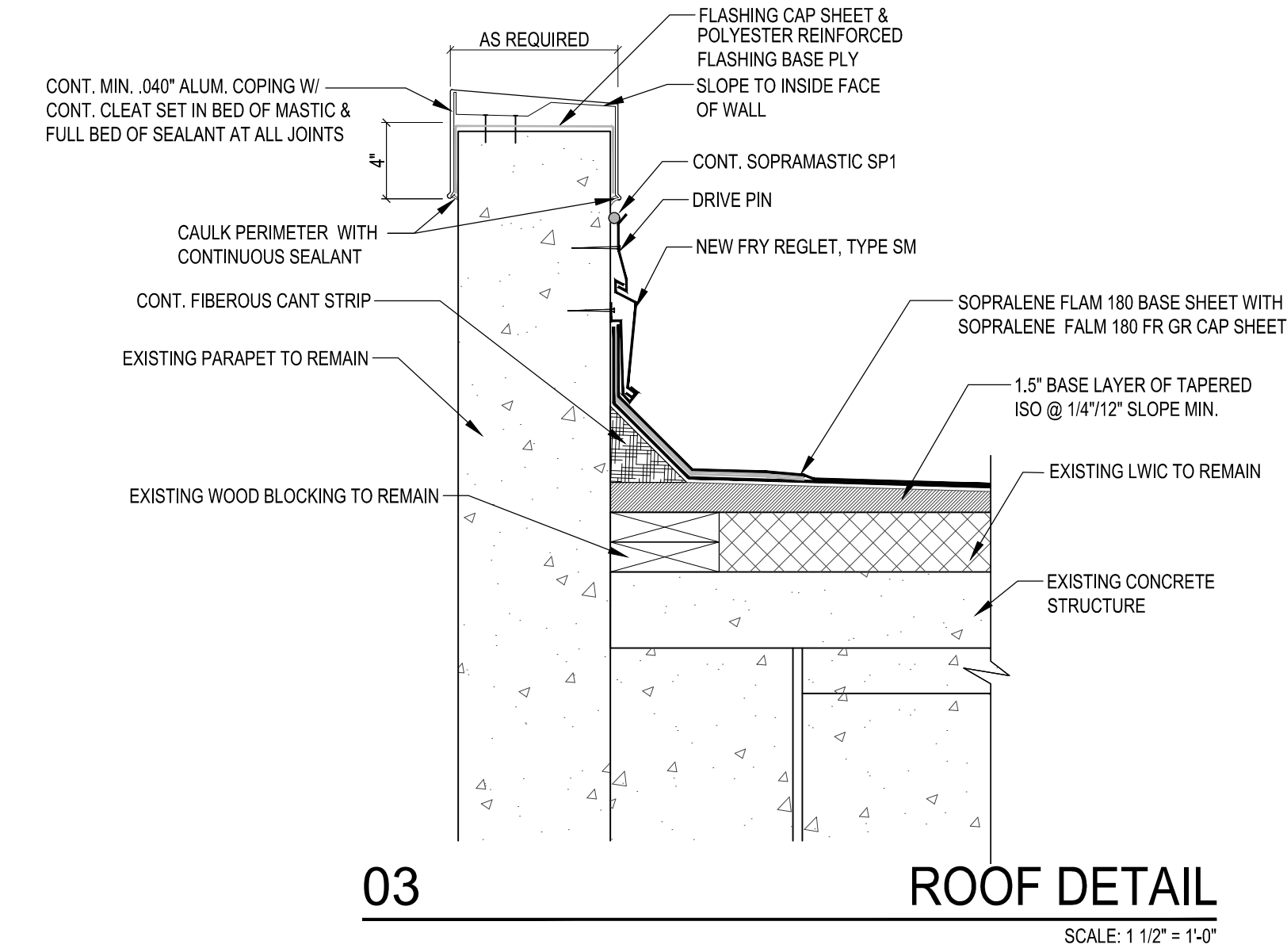




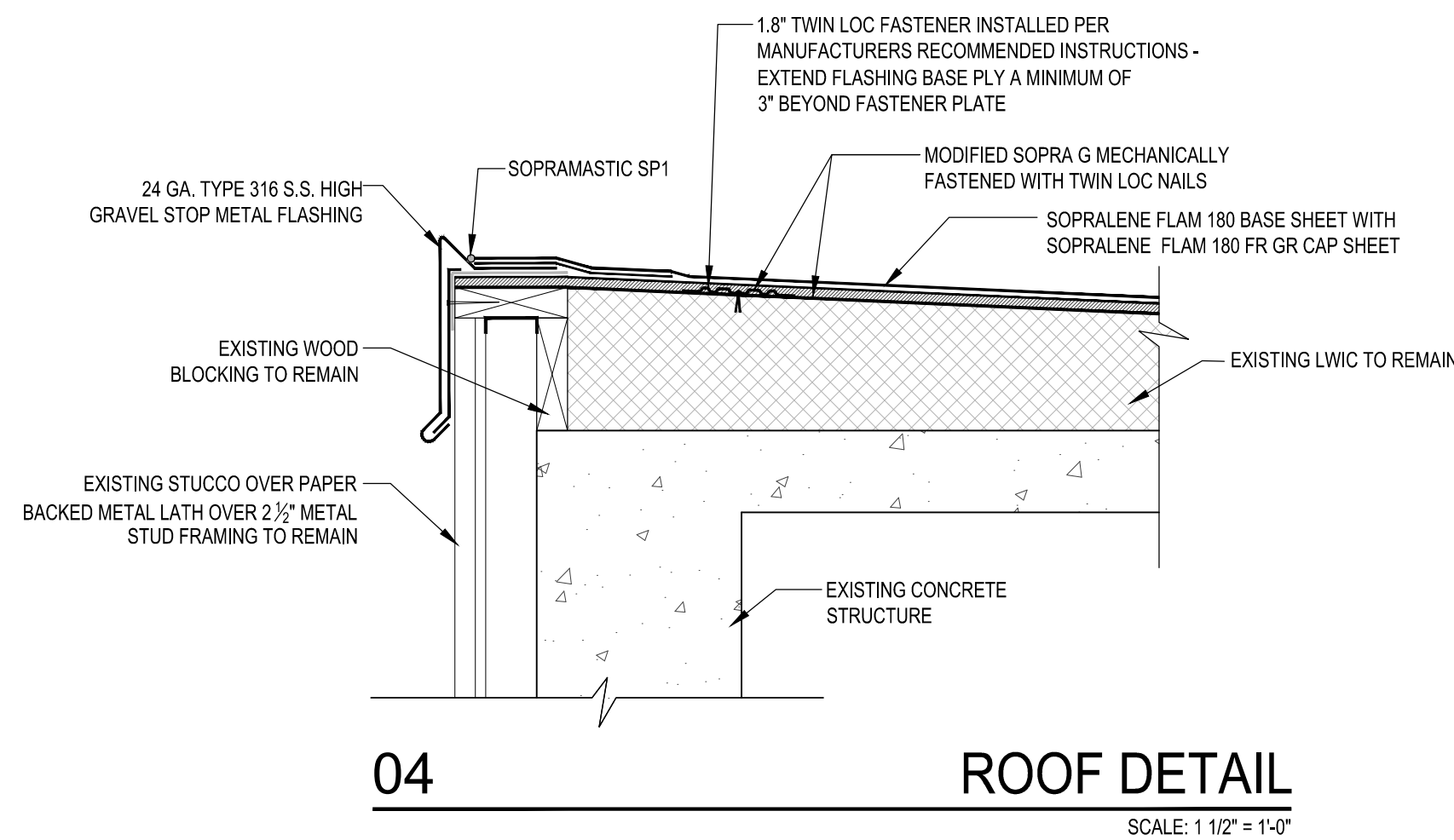
**01** ROOF DETAIL  
SCALE: 1 1/2" = 1'-0"



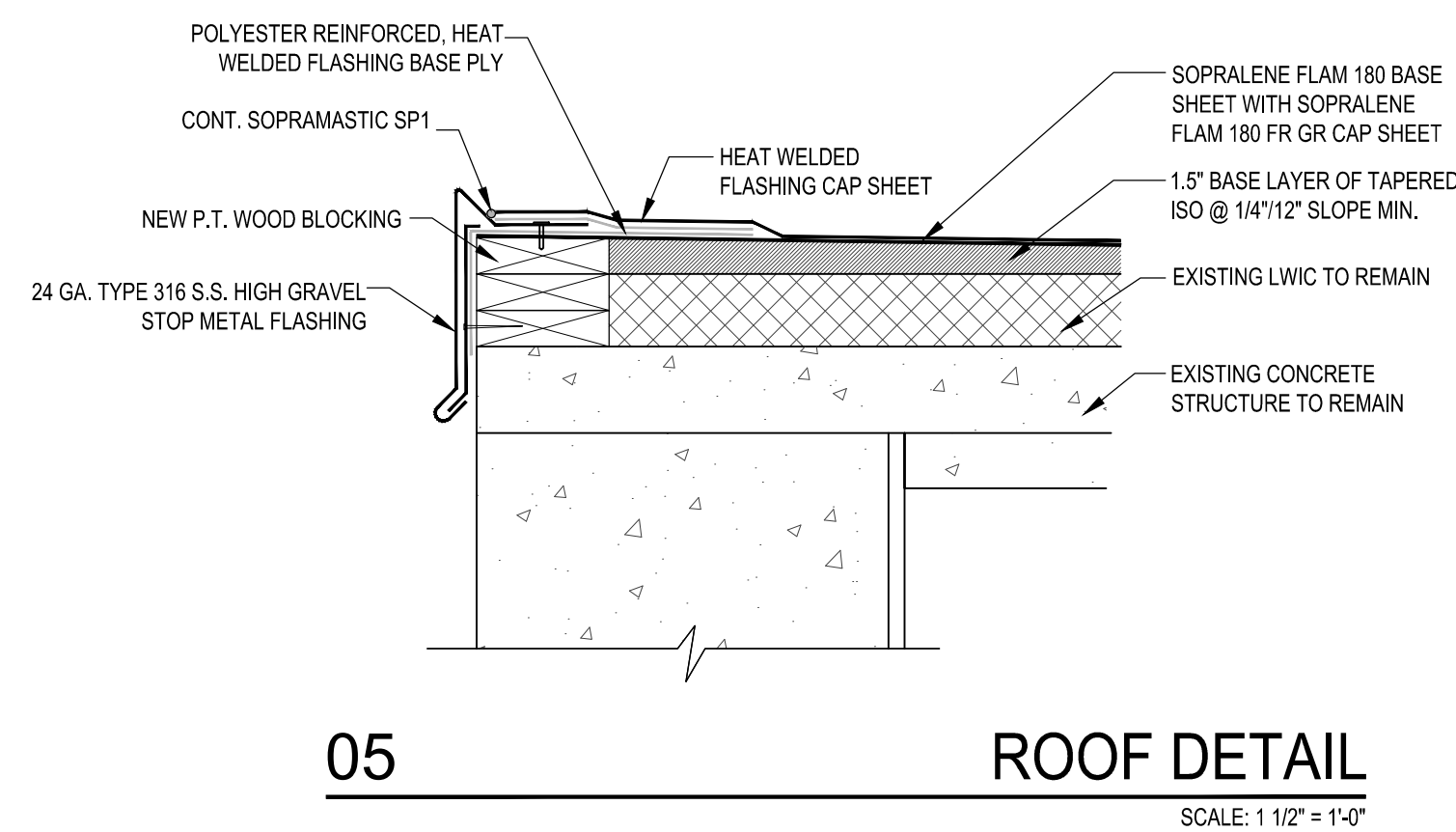
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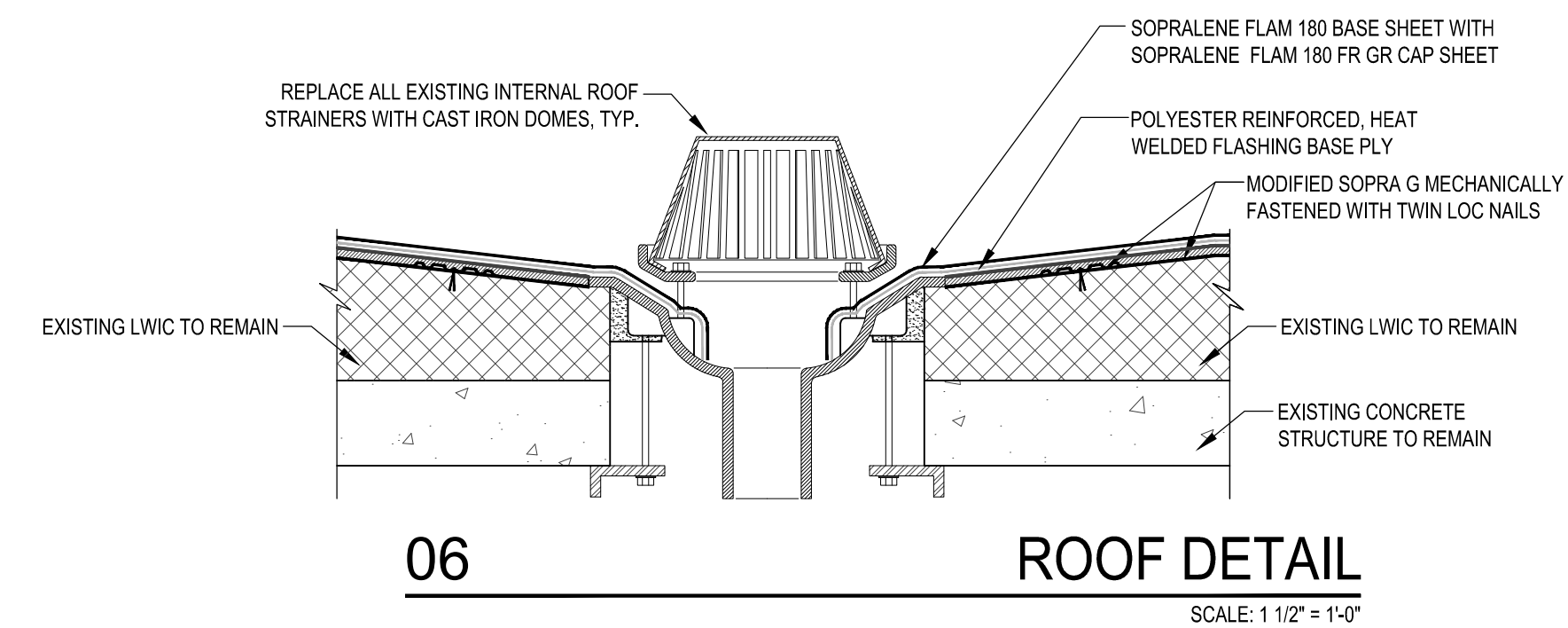
**03** ROOF DETAIL  
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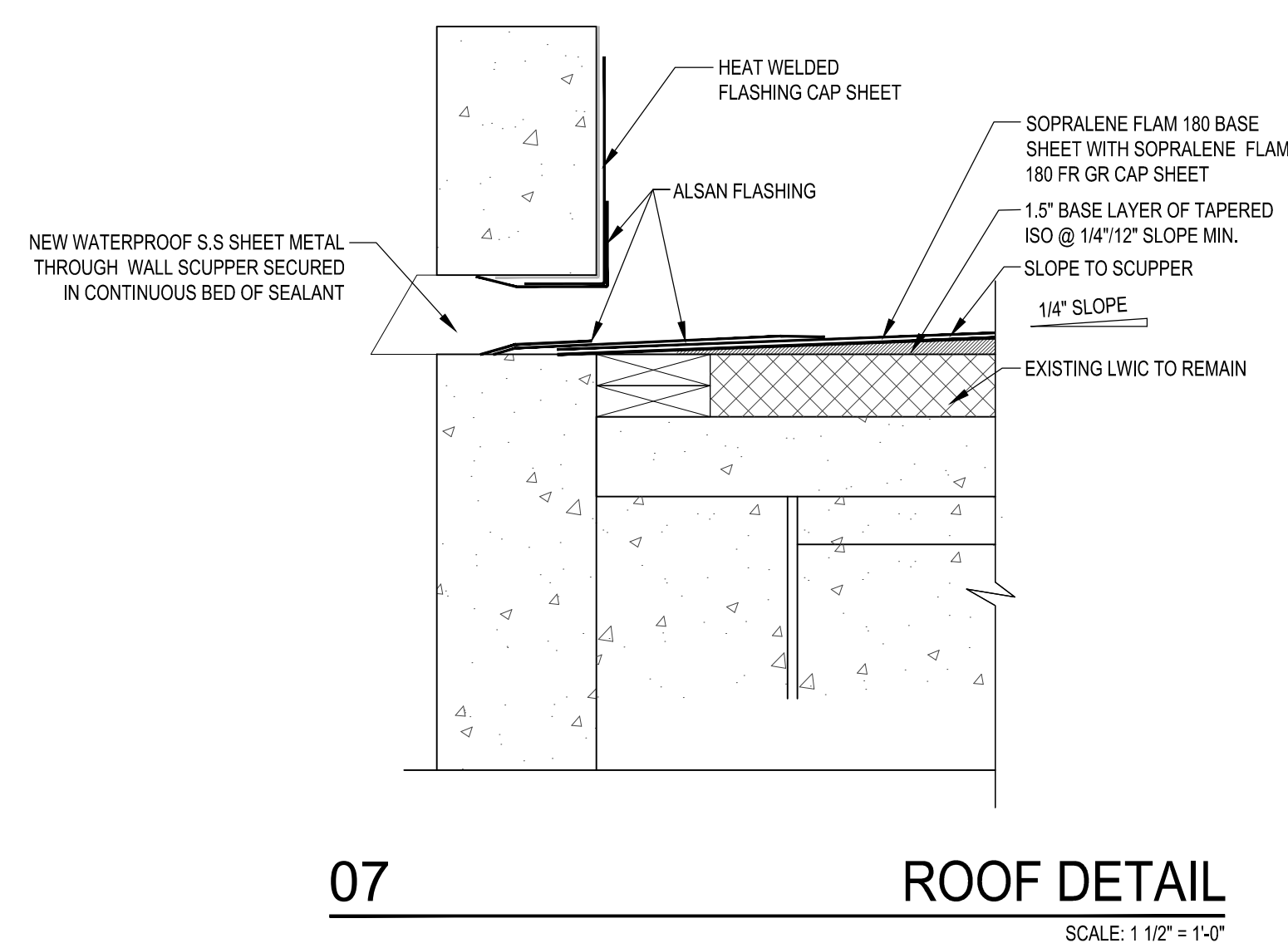
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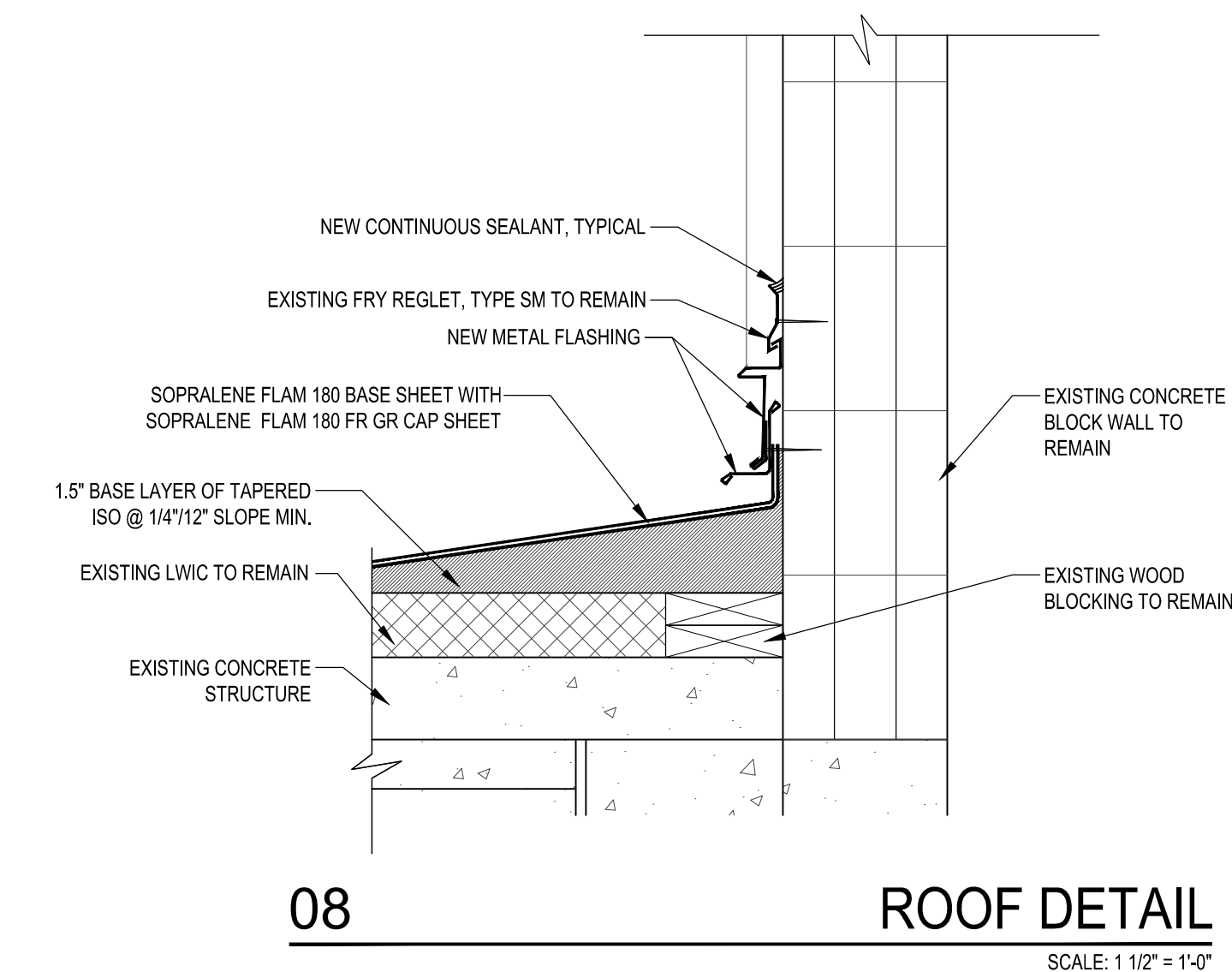
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SCALE: 1 1/2" = 1'-0"



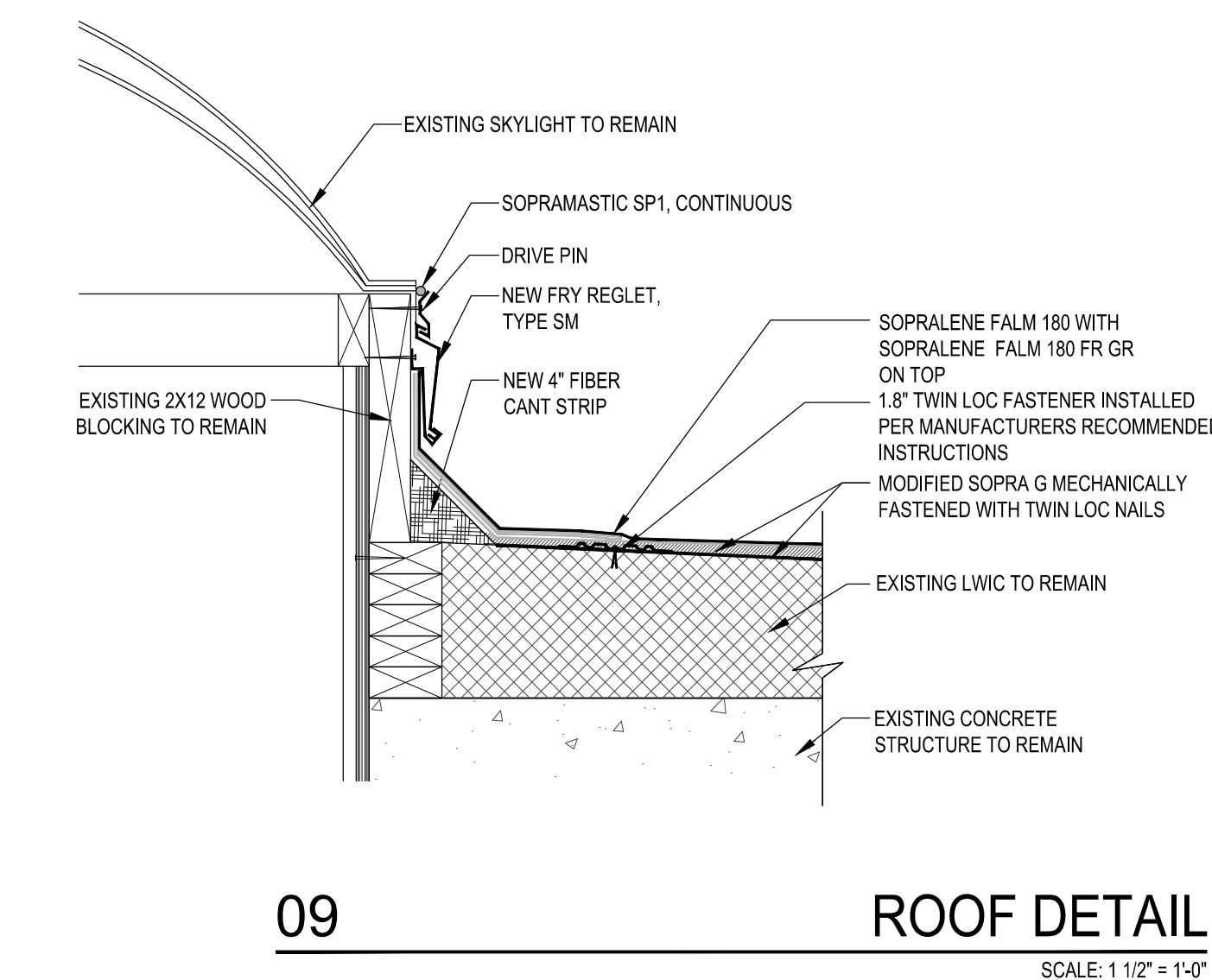
**06** ROOF DETAIL  
SCALE: 1 1/2" = 1'-0"



**07** ROOF DETAIL  
SCALE: 1 1/2" = 1'-0"



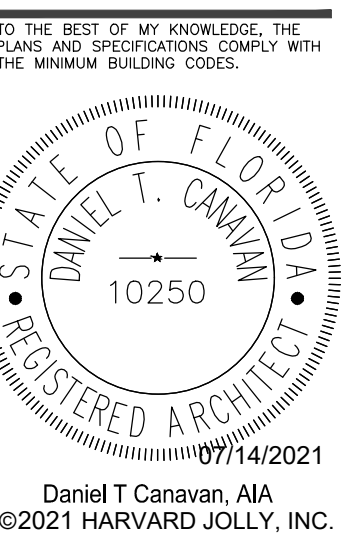
**08** ROOF DETAIL  
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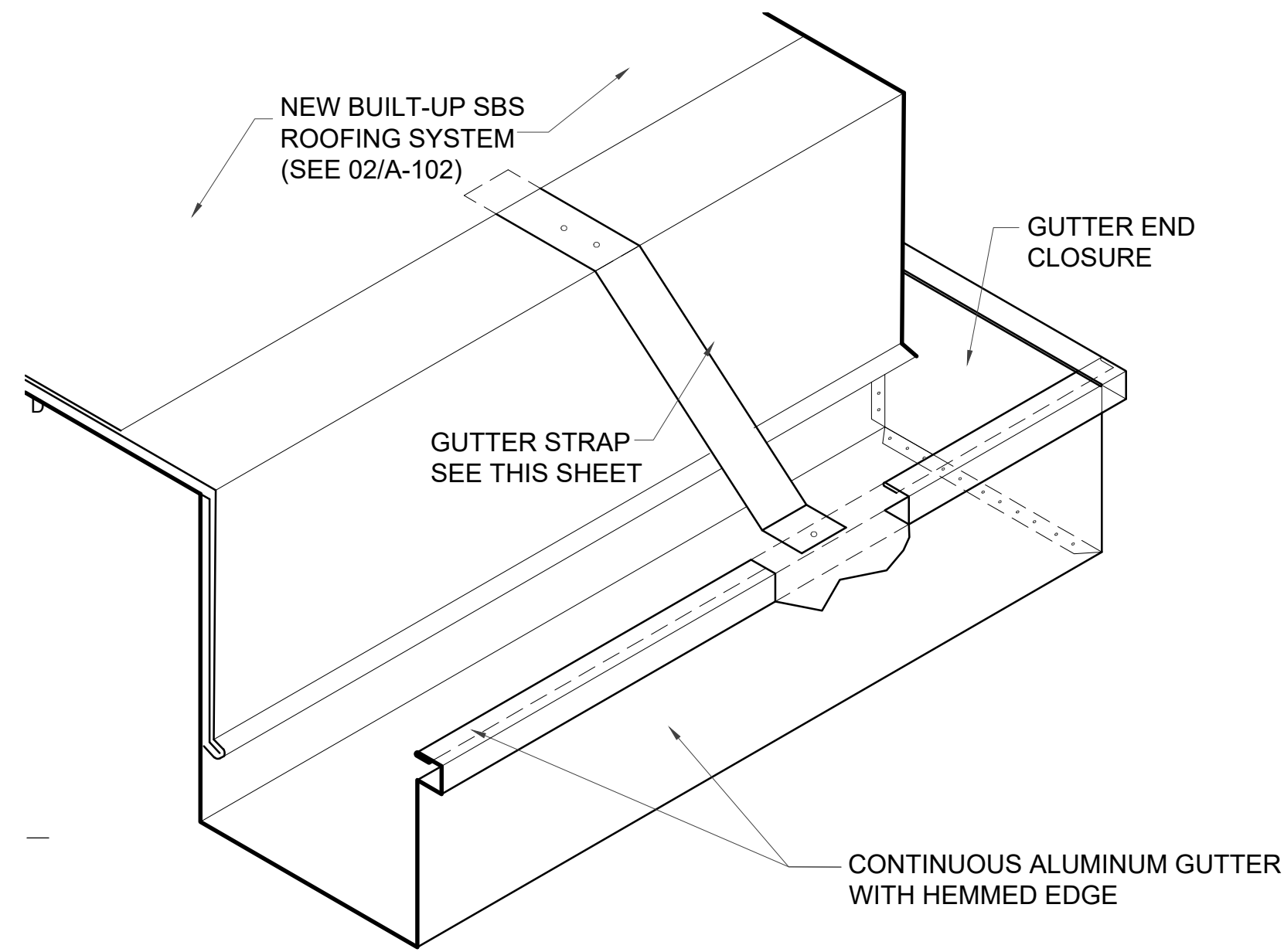


**09** ROOF DETAIL  
SCALE: 1 1/2" = 1'-0"

Comm. No: 17042.04  
Date: 07/14/2021  
Drawn: MFH

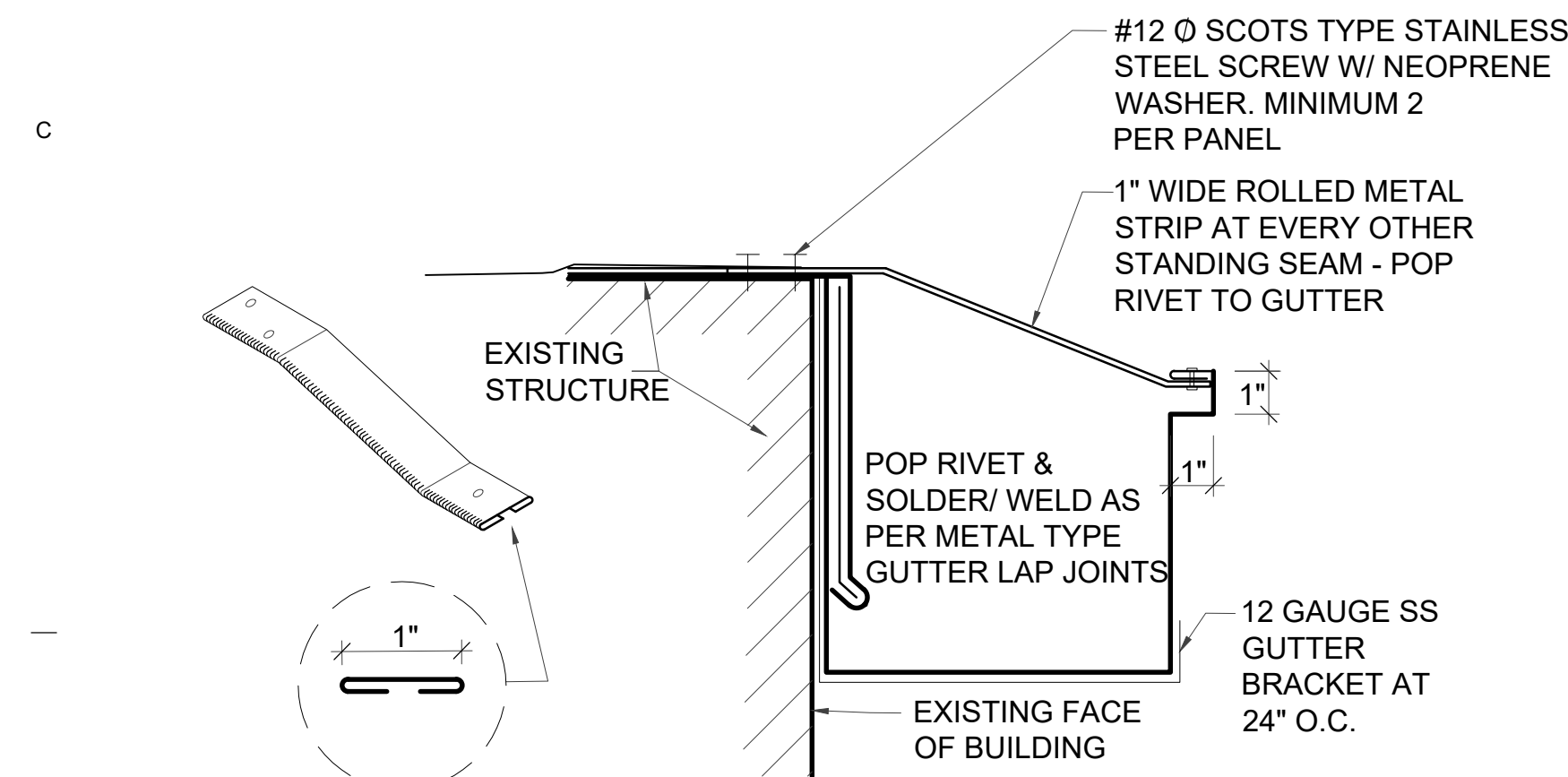
Revisions		
No.	Date	Note





GUTTER ISOMETRIC

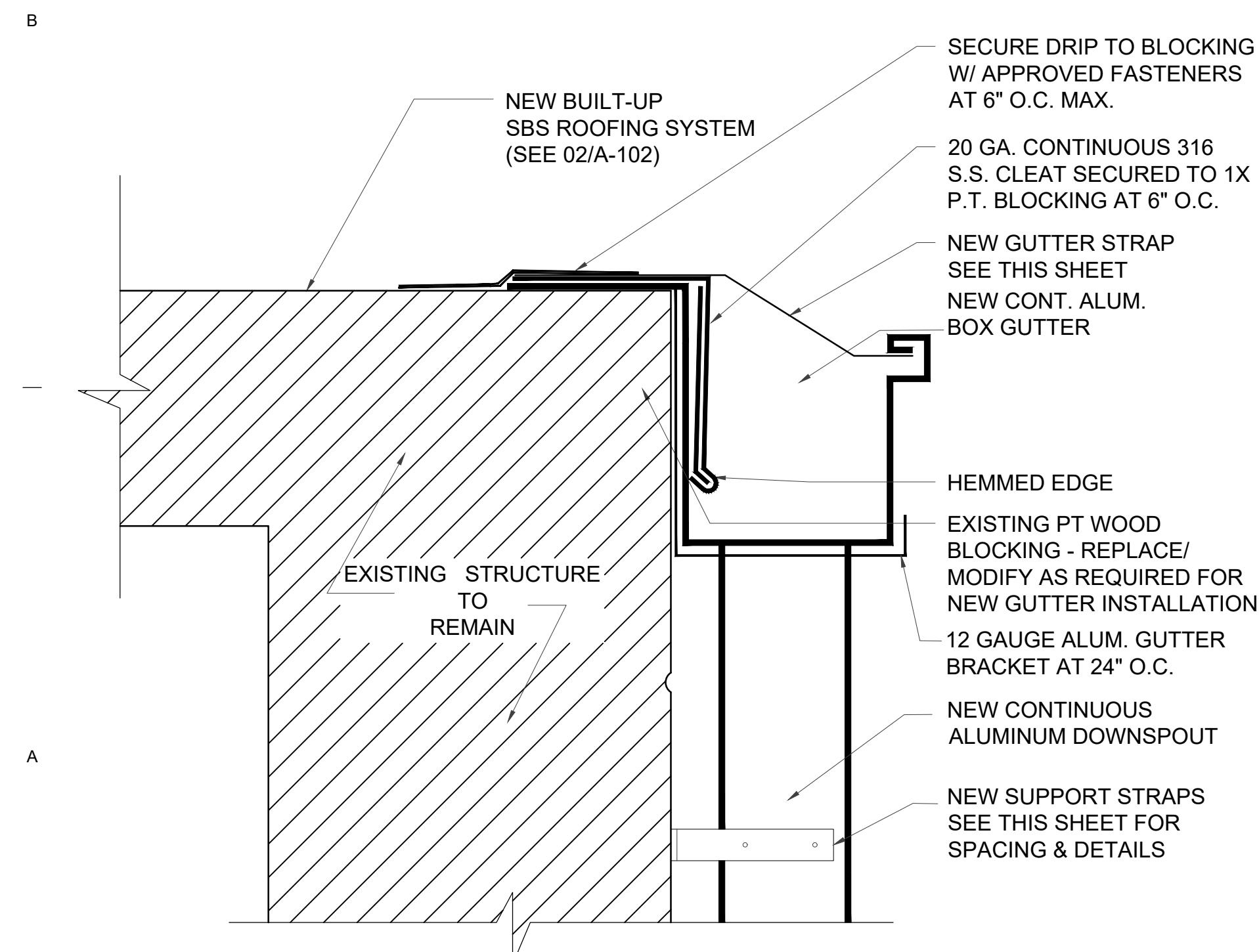
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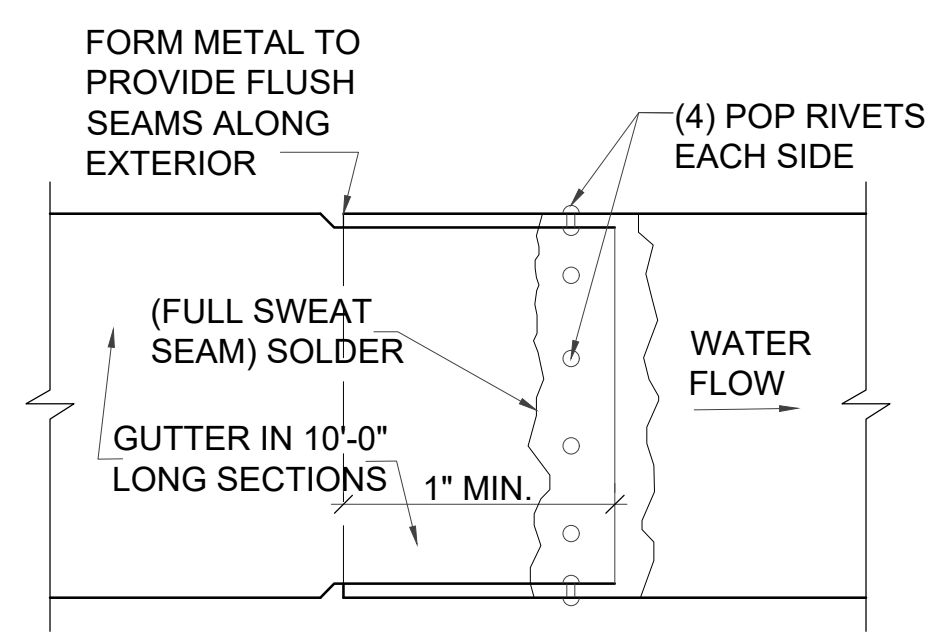
GUTTER STRAP

GUTTER SECTION

02 GUTTER DETAIL  
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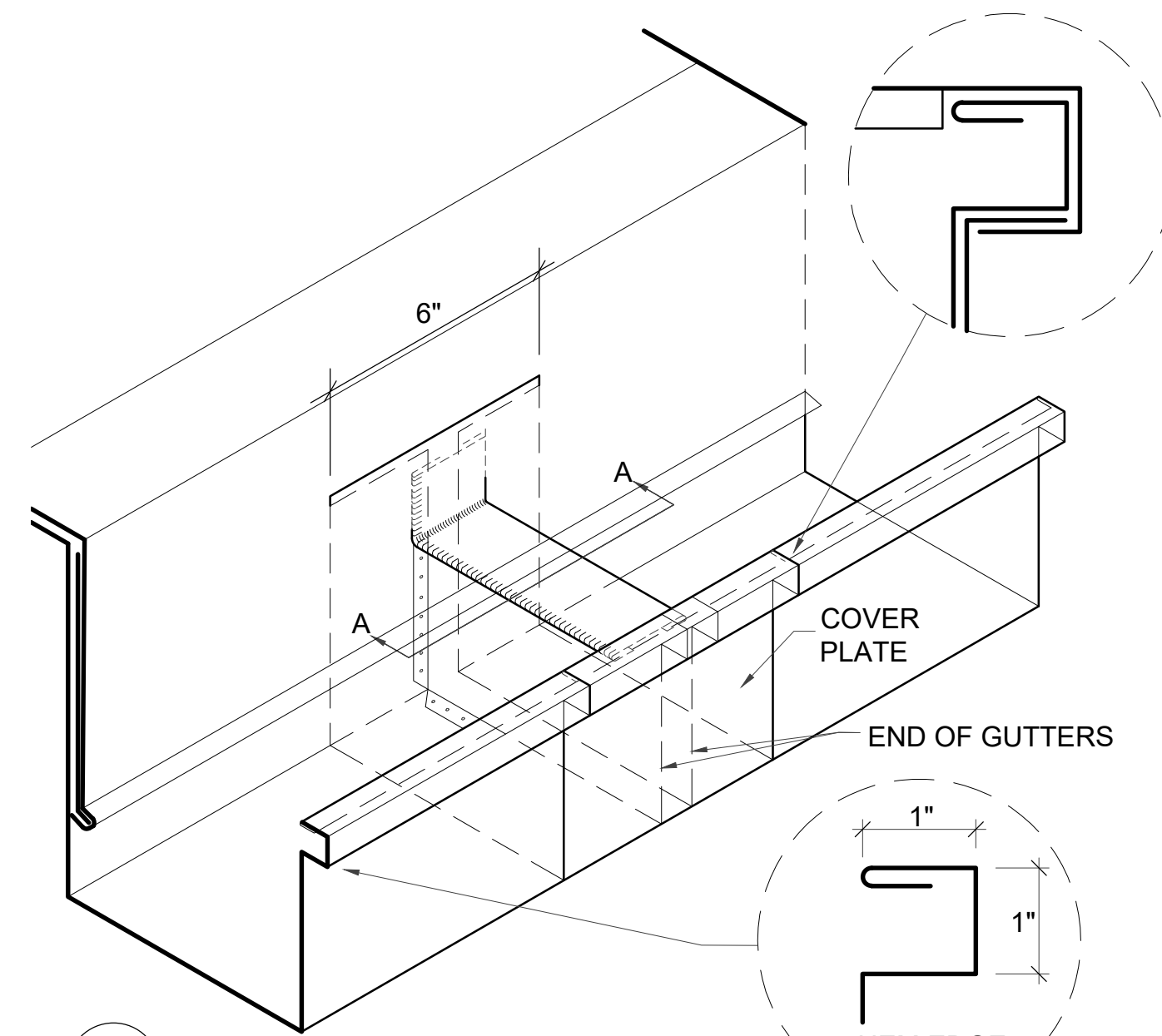


03 GUTTER DETAIL  
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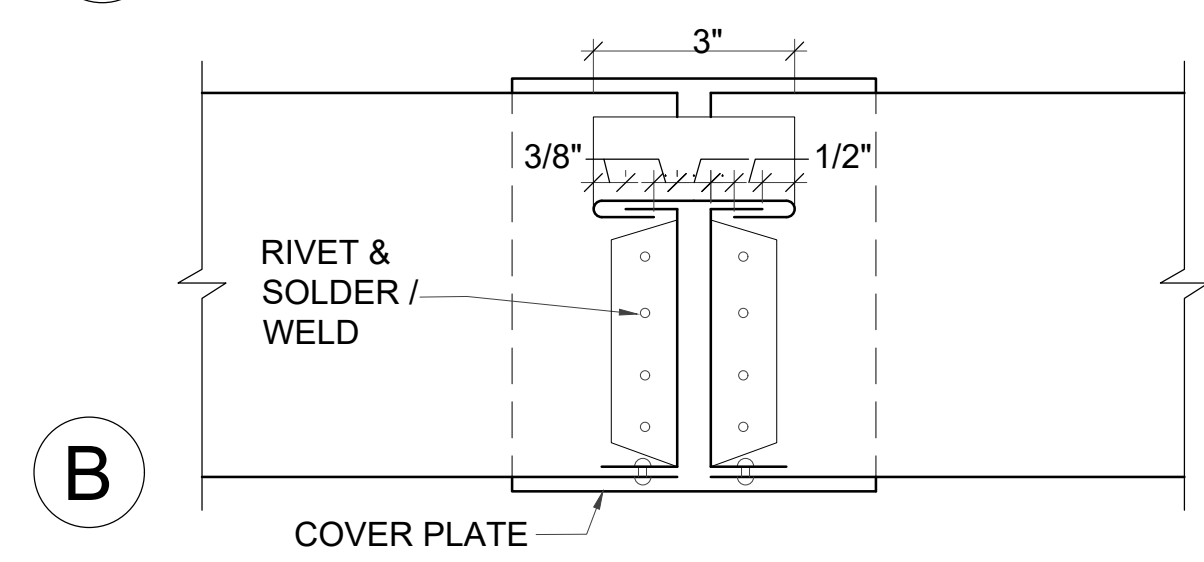


GUTTER LAP JOINT

04 GUTTER DETAIL  
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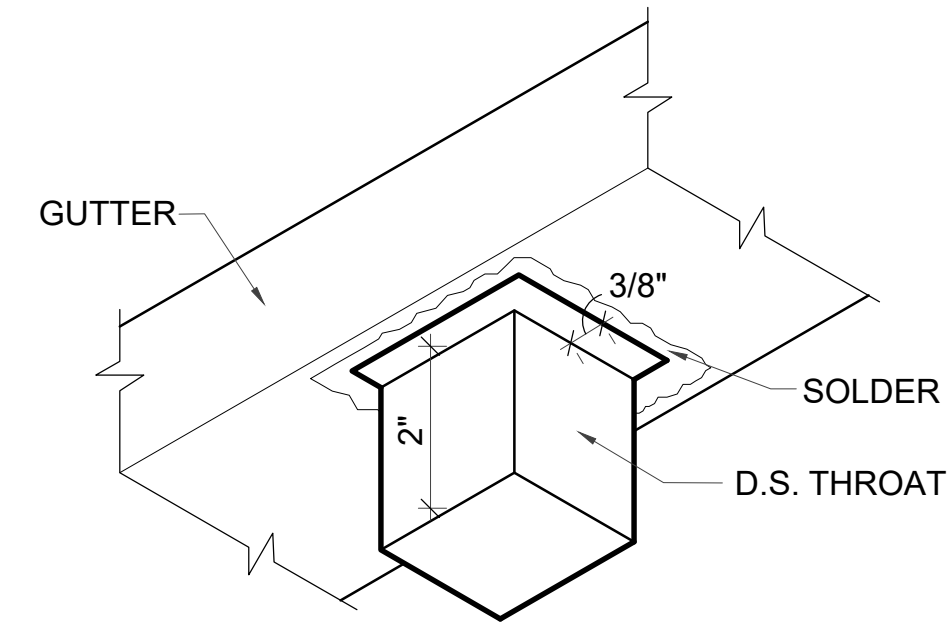


A GUTTER ISOMETRIC

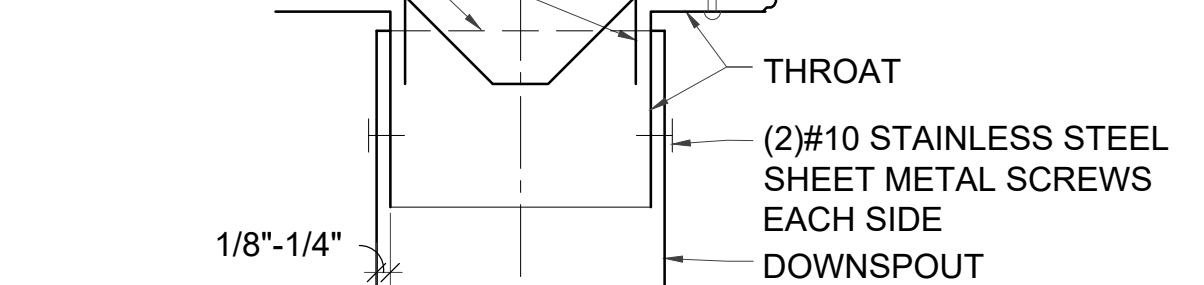


B SECTION A-A

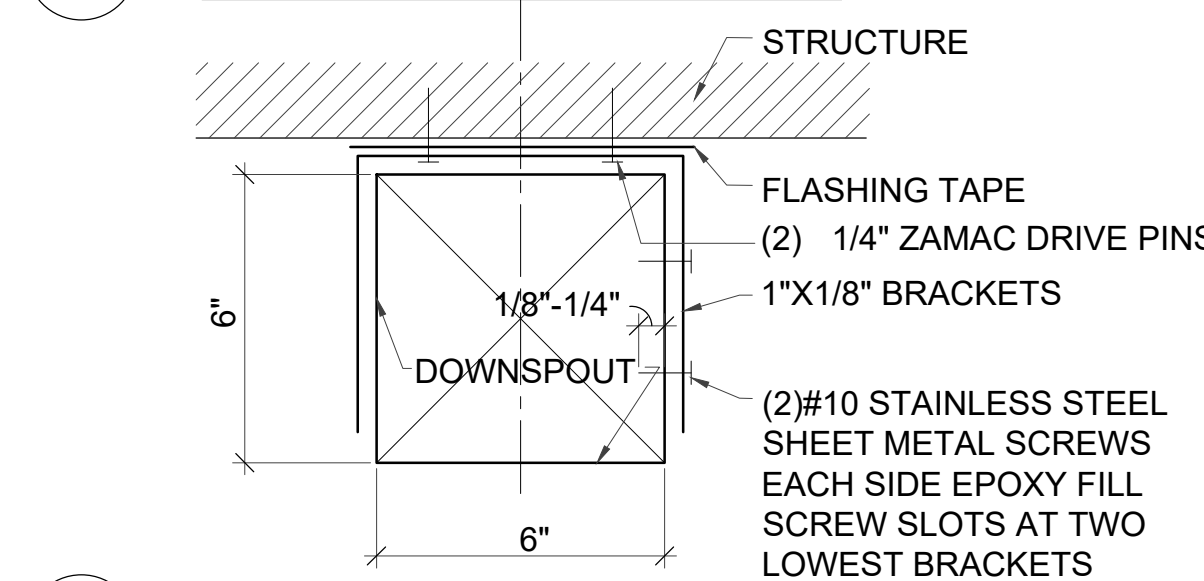
05 GUTTER DETAIL  
SCALE: 3" = 1'-0"



A THROAT IN PLACE

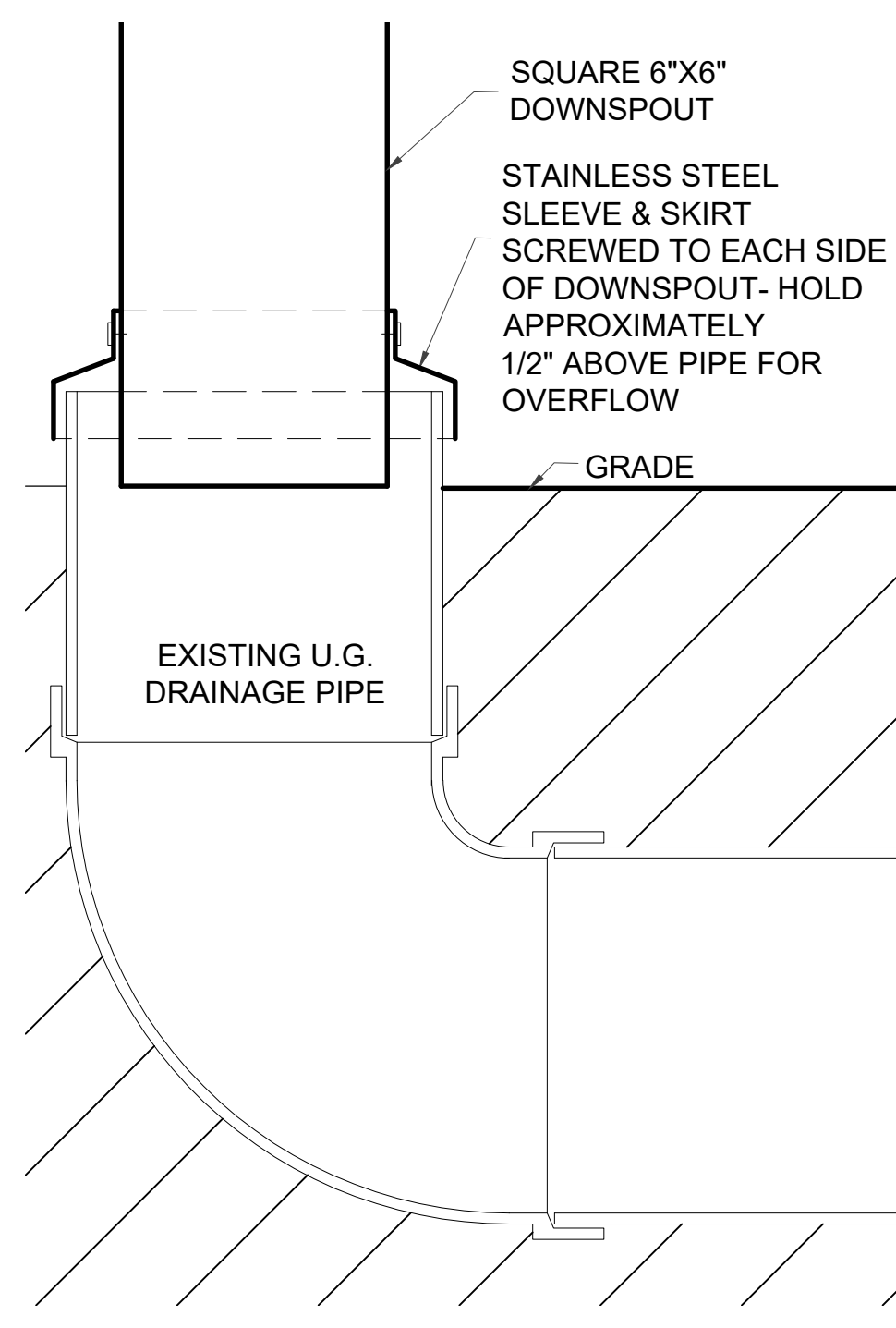


B D.S. CONNECTION DETAIL



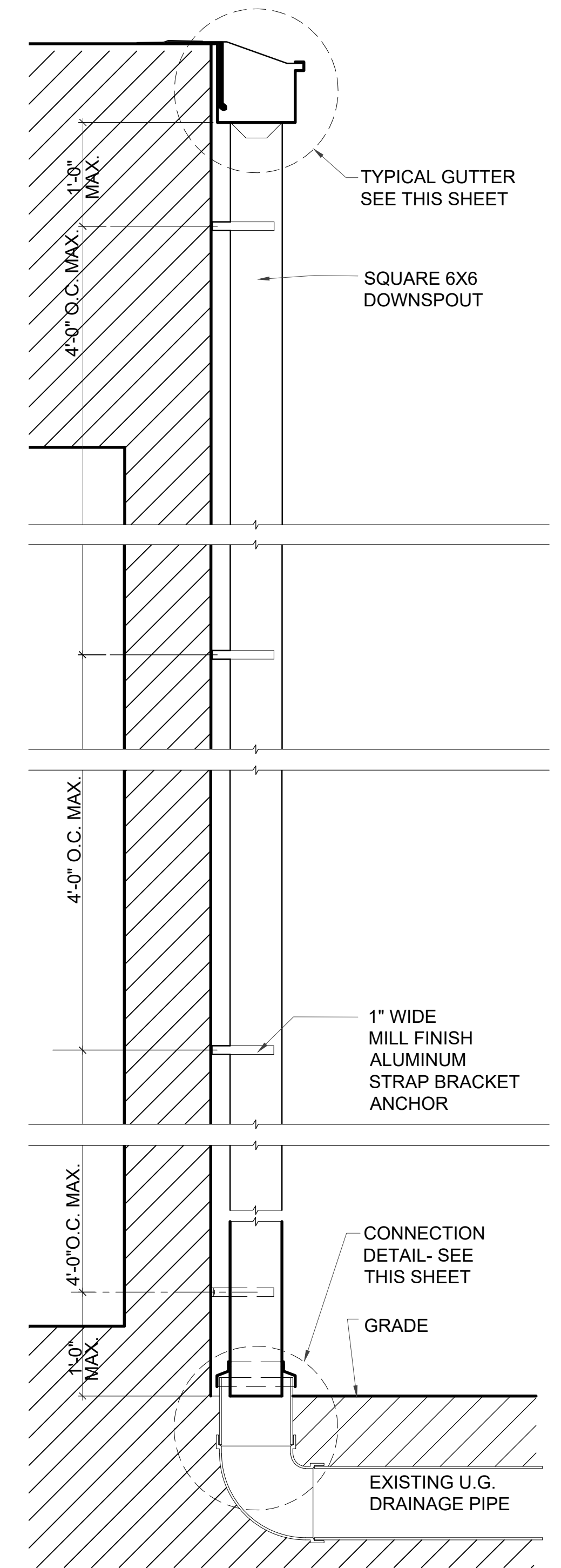
C D.S. BRACKET SECTION

06 DOWNSPOUT DETAIL  
SCALE: 3" = 1'-0"



07 DOWNSPOUT DETAIL  
SCALE: 3" = 1'-0"

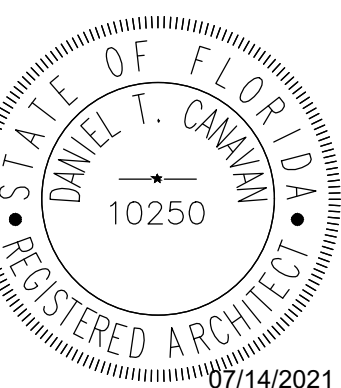
- GENERAL NOTES:
- SOLDER/WELD (AS PER METAL TYPE) ALL LAPS & CORNER INSERT TO FORM ONE CONTINUOUS PIECE.
  - DIMENSIONS NOT SHOWN ARE TO BE FIELD VERIFIED.
  - CONTRACTOR SHALL PROVIDE NO DISSIMILAR MATERIALS IN THE REPLACEMENT OF THE GUTTERS AND DOWNSPOUTS; THIS INCLUDES FASTENERS, STRAPS, ETC.
  - CONTRACTOR SHALL PROVIDE AN ALLOWANCE FOR THE REPLACEMENT OF DETERIORATED FASCIA BOARD AS REQUIRED & DISCOVERED DURING THE REMOVAL OF THE EXISTING GUTTERS. FASCIA BOARD SHALL BE REPLACED WITH LIKE KIND.
  - PROVIDE NEW PRECAST CONCRETE SPLASH BLOCKS AT ALL DOWNSPOUTS EMPTYING ON GRADE.



08 DOWNSPOUT DETAIL  
SCALE: 3" = 1'-0"

Revisions		
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