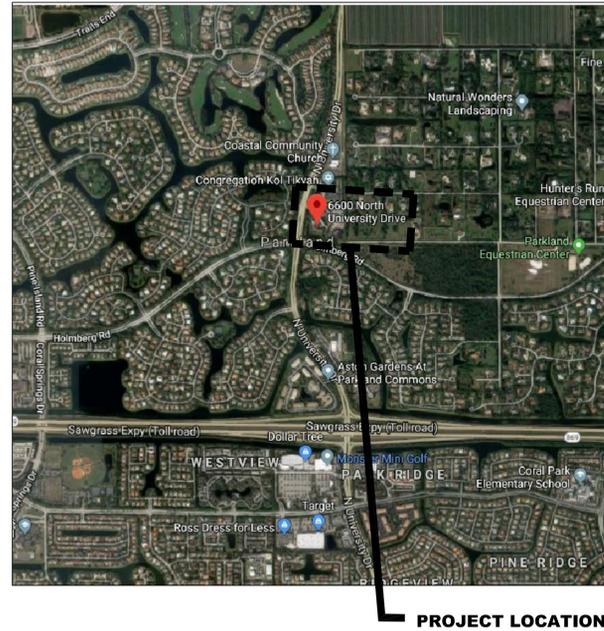
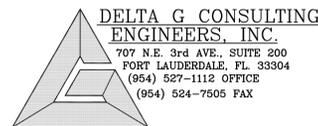


# CITY OF PARKLAND CITY HALL MULTI-PURPOSE ROOM REMODEL

BID SET  
28 FEBRUARY 2020



LOCATION MAP  
N.T.S.



DELTA G CONSULTING  
ENGINEERS, INC.  
707 N.E. 3rd AVE., SUITE 200  
FORT LAUDERDALE, FL 33304  
(954) 527-1112 OFFICE  
(954) 524-7505 FAX



ARCHITECTS, INC.

4316 WEST BROWARD BOULEVARD  
PLANTATION, FLORIDA 33317  
PHONE: (954) 792-8525 FAX: (954) 337-0359  
AA #26000685 WWW.CPZARCHITECTS.COM



consulting engineers

CHRIS P. ZIMMERMAN, A.I.A.  
REGISTERED ARCHITECT NO. 10,995  
STATE OF FLORIDA

DATE: 02/28/2020

NO.	REVISION	DATE
50%	CD SUBMITTAL	11/29/2019
90%	CD SUBMITTAL	01/20/2020
100%	CD'S PERMIT SET	01/31/2020
2	BID SET	02/28/2020

## Drawing Index

COV Cover Sheet

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## DEDUCT ALTERNATE - NO. 1

THE FLOORING IN THE SPACE NO.'S 137, 137A, 141, 142, 143 & 146 WILL BE REMOVED, PREPARED AND NEW CARPET INSTALLED PER SCHEDULE ON SHEET A301 - THE REMAINING ROOMS AND AREAS WILL BE EXISTING TO REMAIN WITH REPAIRS AND TRANSITIONS TO BE FURNISHED AS INDICATED.

THE CONTRACTOR SHALL PROVIDE PROTECTION OF ALL FINISHES TO REMAIN. ANY DAMAGE TO EXISTING FINISH IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR / REPLACE DAMAGE.

PARKLAND CITY HALL  
MULTI-PURPOSE ROOM REMODEL  
6600 UNIVERSITY DRIVE  
PARKLAND, FL 33067

CPZ ARCHITECTS, INC.  
4316 WEST BROWARD BOULEVARD, PLANTATION, FLORIDA 33317  
200 N. E. L. MAR DRIVE, SUITE 201, JENSEN BEACH, FLORIDA 34957  
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AA #26000685



DRAWING TITLE:  
COVER SHEET

DRAWN LV/SL/MW  
CHECKED CPZ/MWW  
DATE 11.04.19  
SCALE AS NOTED  
PROJECT NO. 1852B  
SHEET:

COV

NO.	REVISION	DATE
50%	CD SUBMITTAL	11/29/19
90%	CD SUBMITTAL	01/20/2020
100%	CDs PERMIT	01/31/2020
BID SET		02/28/2020

CONSULTANT:

**CPZ ARCHITECTS, INC.**  
 PARKLAND CITY HALL  
 MULTI-PURPOSE ROOM REMODEL  
 6600 UNIVERSITY DRIVE  
 PARKLAND, FL 33067

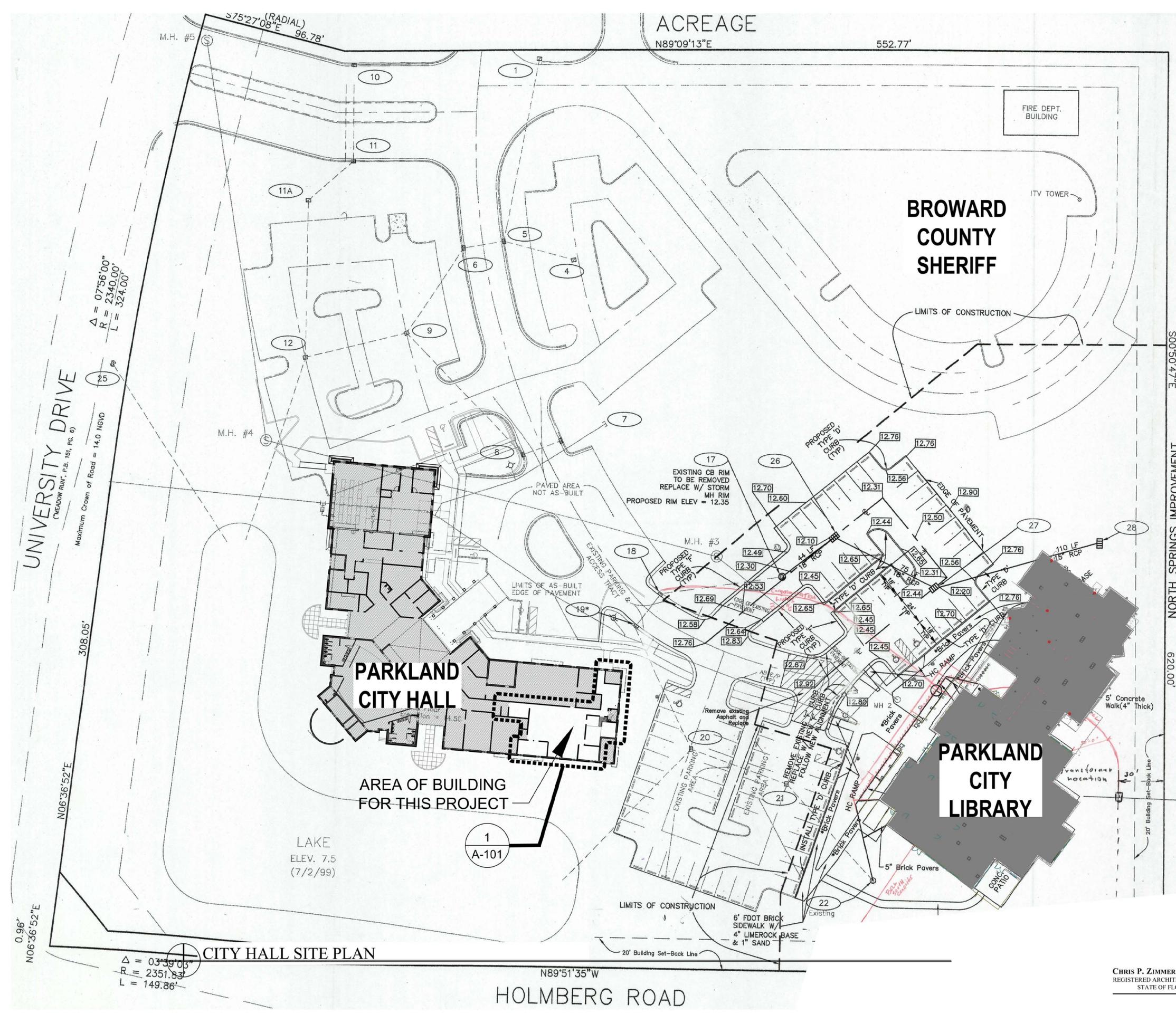
314 WEST BROWARD BOULEVARD, PLANTATION, FLORIDA 33317  
 200 N. EL MAR DRIVE, SUITE 201, HENNESSY BEACH, FLORIDA 33457  
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DRAWING TITLE:  
 CITY HALL  
 SITE PLAN

DRAWN LV/MW  
 CHECKED CPZ/MWW  
 DATE 11.04.19  
 SCALE AS NOTED  
 PROJECT NO. 1852B  
 SHEET:

**SP100**



CITY HALL SITE PLAN

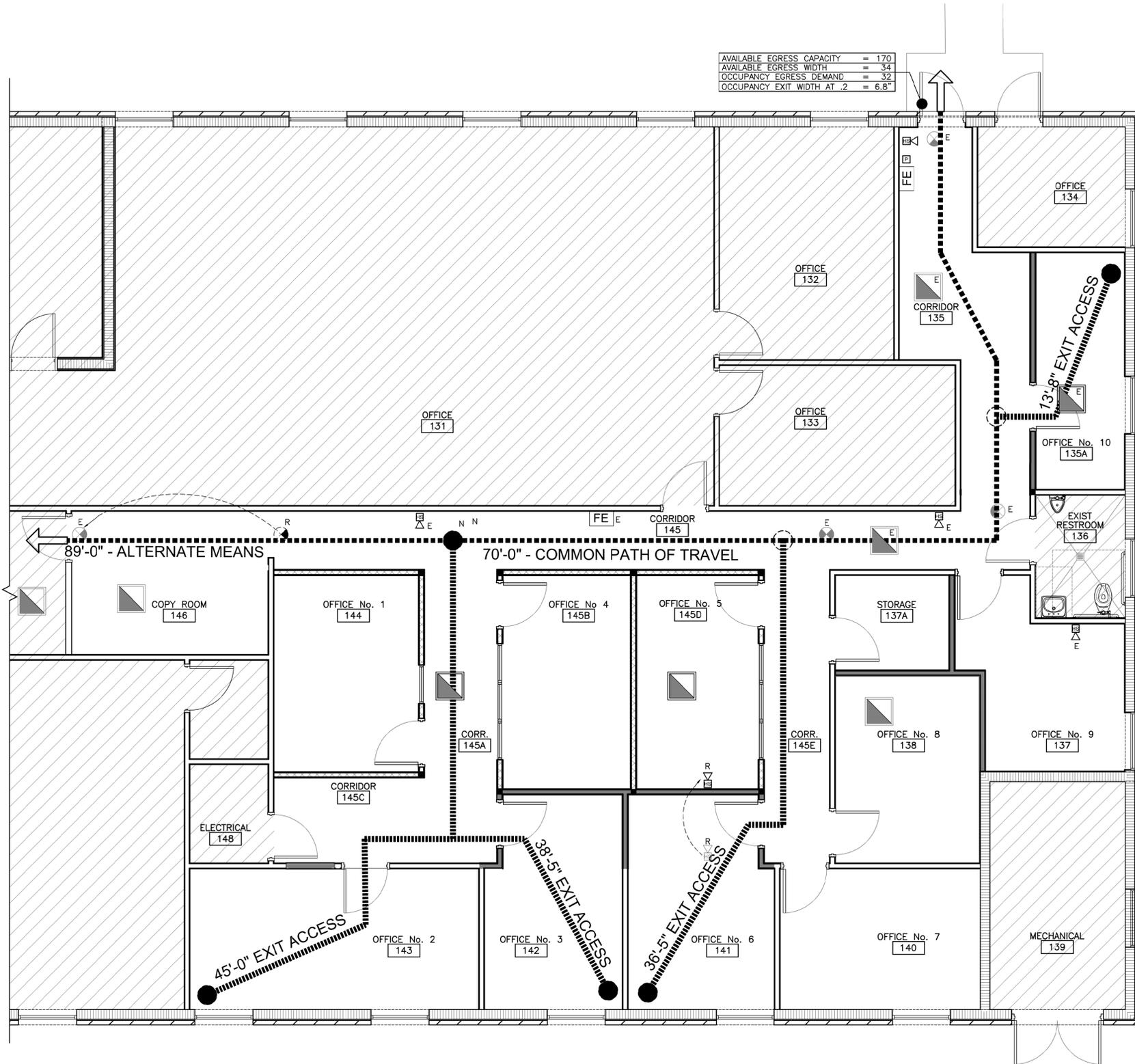
$$\Delta = 03^{\circ}39'05''$$

$$R = 2351.83'$$

$$L = 149.86'$$

CHRIS P. ZIMMERMAN, A.I.A.  
 REGISTERED ARCHITECT NO. 10,995  
 STATE OF FLORIDA

DATE: 02/28/2020



### BUILDING CODE INFORMATION

**GOVERNING CODE:** 2017 FLORIDA BUILDING CODE - BUILDING - 6TH EDITION  
 2017 FLORIDA BUILDING CODE - ACCESSIBILITY - 6TH EDITION  
 2017 FLORIDA BUILDING CODE - EXISTING BUILDING - 6TH EDITION  
 2017 FLORIDA FIRE PREVENTION CODE - 6TH EDITION

**PROPERTY ADDRESS:** 6600 N. UNIVERSITY DRIVE, PARKLAND, FL 33067

**USE AND OCCUPANCY CLASSIFICATION:** (2017 FLORIDA BUILDING CODE - BUILDING 6th EDITION) A-3 ASSEMBLY BUSINESS

**OCCUPANT LOAD:** (FBC-B, Table 1004)  
 OCCUPANT LOAD CALCULATIONS:  
 A-3: 1,385 SF/15 NET = 92.4 (93 PEOPLE)  
 B: 13,168 SF/100 GROSS EX. = 131.7 (132 PEOPLE)  
 TOTAL FACILITY: 225 PEOPLE

**AREA OF BUILDING AFFECTED BY THE SCOPE OF WORK:**  
 B: 2,257 SF/100 GROSS EX. = 22.57 (23 PEOPLE)

**CONSTRUCTION TYPE (FBC-B, CHAPTER 6):** TYPE III-B  
 CONSTRUCTION: CMU, CONCRETE STRUCTURE, WOOD ROOF STRUCTURE

**BUILDING RESTRICTIONS (PER TABLES 504.3 & 506.2)**

MAX. # OF STORIES PERMITTED:	3 STORIES (A-3) SPRINKLERED
MAX. # OF STORIES PROVIDED:	1 - EXISTING
MAX. HT. PERMITTED:	75'
HT. PROVIDED:	28'-5" PEAK OF EX. ROOF
MAX. AREA PERMITTED (PER FLOOR):	A-3 = 38,000 SF B = 76,000 SF
AREA PROVIDED:	A-3 = 1,385 SF EX. B = 13,168 SF EX.

**FIRE RESISTANCE RATINGS PER TABLE 601**

BUILDING ELEMENT	TYPE III-B
STRUCTURAL FRAME	0
BEARING WALLS	
EXTERIOR	2
INTERIOR	0
NON BEARING- EXTERIOR (PER T. 602 DIST. ≥ × 30')	0
INTERIOR PARTITIONS	0
FLOOR CONSTRUCTION	0
ROOF CONSTRUCTION	0
FIRE SPRINKLERS	YES

HIGH-VELOCITY HURRICANE ZONES FIRE CLASSIFICATION SECTION F.B.C.1516 "CLASS B" ROOF ASSEMBLIES AND ROOF COVERINGS REQUIRED TO BE LISTED BY THIS SECTION SHALL BE TESTED IN ACCORDANCE WITH ASTM E108 OR UL790. IN ADDITION, FIRE RETARDANT TREATED WOOD ROOF COVERINGS SHALL BE TESTED IN ACCORDANCE WITH ASTM D2898.

**CLASSIFICATION OF WORK:** THE SCOPE OF THIS PROJECT CONSISTS OF THE MODIFICATION OF APPROXIMATELY 2,257 SF OF EXISTING INTERIOR SPACE. THIS CONSTITUTES A LEVEL 2 ALTERATION PER 2017 FLORIDA BUILDING CODE - EXISTING - 6TH ED. CHAPTER 5, CHAPTER 7 LEVEL 1 AND CHAPTER 8 PROVISIONS SHALL APPLY TO THIS PROJECT.

**EGRESS:** PER FBC - B - CHAPTER 10 & NFPA 101 CHAPTER 22

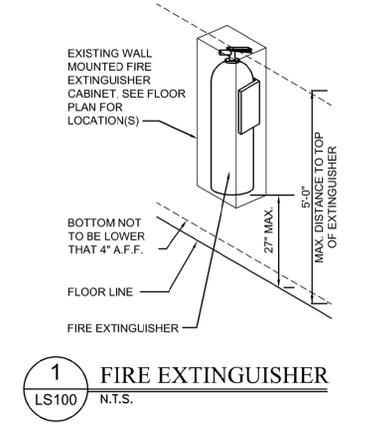
MAX. TRAVEL DISTANCE PERMITTED (FBC-B - T. 1017.2):	A = 250', B = 300'
MAX. TRAVEL DISTANCE PROVIDED:	A = 0', B = 54'-2"
MIN. CORRIDOR WIDTH REQUIRED (FBC-B - T.1020.2):	44"
CORRIDOR WIDTH PROVIDED (MINIMUM):	48"
MAX. DEAD END CORRID. PERMITTED (FBC 1020.4):	50'-0"
MAX. DEAD END CORRID. PROVIDED:	28'-5"
EGRESS WIDTH PER PERSON	0.2" LEVEL
MINIMUM CLEAR OPENING REQUIRED	4.6"
MINIMUM CLEAR OPENING PROVIDED	34"
EXITS REQUIRED (FBC-B - T. 1006.2.1)	1
EXITS PROVIDED:	2
CLASSIFICATION OF HAZARD OF CONTENTS (NFPA 101 - SECTION 6.2.2)	ORDINARY HAZARD CONTENTS
FIRE EXTINGUISHER TYPE - TYP.	MP5 UL RATING 2A-10B:C
TOTAL FIRE EXTINGUISHERS PROVIDED PER NFPA 10 MAX. TRAVEL DISTANCE TO EXTINGUISHERS 75'.	2 (AREA BEING MODIFIED)
EMERGENCY LIGHTING	SEE ELECTRICAL LIGHTING PLAN

### LEGEND:

- EXISTING PARTITION TO REMAIN
- EXISTING CMU PARTITION
- NEW GWB PARTITION TO 8'-0" AFF
- NEW GWB PARTITION TO UNDERSIDE OF CEILING
- DENOTES PATH OF TRAVEL
- NO WORK THIS AREA
- EXISTING SEMI-RECESSED FIRE EXTINGUISHER CABINET (SEE PLAN FOR LOCATIONS) TO REMAIN, MAINTAIN MP5 UL RATED 2A-10B:C FIRE EXTINGUISHER(S).
- EMERGENCY LED LIGHT FIXTURE (SEE ELECTRICAL FOR LOCATIONS)
- EXIT SIGN
- EXISTING FIRE ALARM PULL STATION (SEE PLAN FOR LOCATION(S)) TO REMAIN
- EXISTING FIRE ALARM HORN STROBE (SEE PLAN FOR LOCATION(S)) TO REMAIN, RELOCATE EXISTING AS REQUIRED.

N = NEW  
E = EXISTING  
R = REMOVE/RELOCATE

- ### GENERAL NOTES:
- MAINTAIN EXISTING RATING IN FIRE-RATED WALLS. PATCH & MATCH WALLS AS REQUIRED FOR LIKE NEW FINISH.
  - ALIGN NEW WALLS WITH ADJACENT EXISTING WALLS WHERE THEY ABUT.
  - CONTRACTOR TO COORDINATE ALL WORK WITH OWNER'S REPRESENTATIVE.
  - NO MECHANICAL WORK.



**LIFE SAFETY PLAN**  
SCALE: 1/4" = 1'-0"

NO. REVISION	DATE
50% CD SUBMITAL	11/29/2019
90% CD SUBMITAL	01/20/2020
100% Cds PERMIT	01/31/2020
BID SET	02/28/2020

**PARKLAND CITY HALL**  
**MULTI-PURPOSE ROOM REMODEL**  
 6600 UNIVERSITY DRIVE  
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 4316 WEST BROWARD BOULEVARD, PLANTATION, FLORIDA 33317  
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DRAWING TITLE:  
LIFE SAFETY PLAN AND NOTES

DRAWN	LV/SL/MW
CHECKED	CPZ/MWW
DATE	11.04.19
SCALE	AS NOTED
PROJECT NO.	1852B
SHEET:	

**LS100**

**CHRIS P. ZIMMERMAN, A.I.A.**  
REGISTERED ARCHITECT NO. 10,995  
STATE OF FLORIDA

DATE: 02/28/2020





N O T E S

GENERAL CONSTRUCTION:

- 1. THE CONTRACTOR SHALL BE GOVERNED BY ALL CONDITIONS AS INDICATED IN THE CONSTRUCTION DRAWINGS FOR THE BUILDING.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY IN THE AREA OF WORK IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES.
3. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER/ARCHITECT/ENGINEER HARMLESS FOR INJURY OR DEATH TO PERSONS OR FOR DAMAGE TO PROPERTY CAUSED BY THE NEGLIGENCE OF THE CONTRACTOR, HIS AGENTS, EMPLOYEES, OR SUBCONTRACTORS.
4. EACH CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJACENT WORK AND IS RESPONSIBLE FOR THE REPAIR OF SAID DAMAGE AT THEIR OWN EXPENSE.
5. ALL WORK SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S LATEST RECOMMENDATIONS OR WRITTEN DIRECTIONS.
6. WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
7. WHERE DEVICES OR ITEMS OR PARTS THEREOF ARE REFERRED TO IN SINGULAR, IT IS INTENDED THAT SUCH SHALL APPLY TO AS MANY SUCH DEVICES, ITEMS OR PARTS AS ARE REQUIRED TO PROPERLY COMPLETE THE WORK.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF THE BUILDING AND SITE WHILE JOB IS IN PROGRESS, AND UNTIL THE JOB IS COMPLETED.
9. THE INTENT OF THESE DRAWINGS IS TO INDICATE THE SCOPE OF WORK REQUIRED IN ORDER TO CONSTRUCT COMPLETE AND FINISHED SPACES READY FOR OCCUPANCY. THE CONTRACTOR AND SUB-CONTRACTORS ARE EXPECTED TO VISIT THE PROJECT SITE PRIOR TO SUBMISSION OF BIDS AND NOTIFY THE OWNER PRIOR TO BIDDING OF ANY DISCREPANCIES WITHIN THE DRAWINGS OR POSSIBLE CONFLICTS WHICH AFFECT THE PROGRESS OF THIS PROJECT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS NOTIFYING THE OWNER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE PROJECT.
10. THE CONTRACTOR SHALL ENSURE THAT THIS PROJECT AND ALL CONSTRUCTION ACTIVITIES RELATED THERETO, CONFORM WITH ALL LOCAL, REGIONAL, STATE, AND/OR FEDERAL REGULATIONS PERTAINING TO DISTURBING, DISPLACING, AND/OR REMOVAL OF ASBESTOS OR ASBESTOS CONTAINING MATERIALS.
11. ALL ITEMS MARKED "N.I.C." ARE NOT PART OF THIS CONTRACT.
12. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF (1) ONE YEAR AFTER COMPLETION, UNLESS OTHERWISE SPECIFIED, AND SHALL BE SO STATED IN CONTRACTOR'S WRITTEN PROPOSAL AND AGREEMENT. ALL REPAIRS, CORRECTIONS, DISCREPANCIES, ETC. MUST BE MADE WITHOUT ANY ADDITIONAL COST TO THE OWNER, AND WITHIN (5) FIVE DAYS AFTER NOTICE IS GIVEN.
13. THE CONTRACTOR SHALL COORDINATE ALL THE WORK OF ALL THE TRADES.
14. THE CONTRACTOR, SUBCONTRACTOR, SUPPLIER, ETC., SHALL VERIFY ALL DIMENSIONS, PLANS, SPECIFICATIONS, CONDITIONS AT JOBSITE, ETC. PRIOR TO STARTING ANY WORK AND WITHIN (7) SEVEN CALENDAR DAYS OF BUILDER'S RECEIPT OF THESE PLANS SHALL NOTIFY THE DESIGNER (IN WRITING ONLY) OF ANY AND ALL DISCREPANCIES (WHETHER DISCREPANCIES ARE ERRORS OF COMMISSION OR OMISSION OR NOT) OTHERWISE THE DESIGNER WILL ASSUME NO RESPONSIBILITY FOR ANY ERRORS, AND THE BUILDER, SUBCONTRACTOR, SUPPLIER, ETC., SHALL ASSUME FULL RESPONSIBILITY FOR ANY ERRORS AND CORRECT ERRORS AT THEIR OWN EXPENSE. ALL CONTRACTORS AND SUBCONTRACTORS SHALL HOLD HARMLESS THE DESIGNER FOR ANY PERSONAL INJURY OR DAMAGE TO THE PROJECT OR TO ADJACENT PROPERTIES AND OMISSIONS.
15. ALL WORK SHALL COMPLY WITH THE FLORIDA BUILDING CODE AND AMENDMENTS, LATEST EDITION.
16. ANY CHANGES, REVISIONS, ALTERATIONS, DEVIATIONS, ETC., NOT MADE BY THE DESIGNER WILL FULLY, UNCONDITIONALLY AND TOTALLY RELEASE THE DESIGNER FROM ANY AND ALL RESPONSIBILITY, CLAIMS, OR LIABILITIES AGAINST THE DESIGNER FOR CULPABILITY, ETC. FROM DATE SHOWN ON PLANS ORIGIN UNTIL THE END OF TIME.
17. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
18. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE TO BE PRESSURE TREATED.
19. APPLY AND/OR INSTALL ALL PRODUCTS AND MATERIALS ACCORDING TO MANUFACTURERS PUBLISHED INSTRUCTIONS OR, IF NO INSTRUCTIONS EXIST, INSTALL PER STANDARD INDUSTRY PRACTICES.
20. ALL VERTICAL ELEVATION DATUM FOLLOWED BY "AFF" (ABOVE FINISHED FLOOR) IS REFERENCED FROM THE 0'-0" FINISHED FLOOR. IF NOT FOLLOWED BY "AFF" THE VERTICAL ELEVATION DATUM IS REFERENCED FROM THAT ROOM'S FLOOR ELEVATION.
21. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE BUT WITHOUT

- GUARANTEE OF ACCURACY. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS ADVERSLY AFFECTING THE DESIGN PRIOR TO PROCEEDING WITH THE ITEM OF WORK AFFECTED.
22. DIMENSIONS ON THE PLANS ARE TYPICALLY TO THE FINISH FACE OF PARTITIONS OR TO THE CENTER LINE OF COLUMNS, UNLESS OTHERWISE NOTED.
23. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL FIELD MEASUREMENT. NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE FOUND.
24. ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL AND MUNICIPAL BUILDING CODES, AS WELL AS ANY AND ALL REGULATORY AGENCIES, INCLUDING BUT NOT LIMITED TO, OSHA, ETC. GENERAL NOTES SHALL APPLY TO ALL DRAWINGS.
25. THE TERMS "CONSTRUCTION CONTRACTOR," "GENERAL CONTRACTOR," "G.C." AND "CONTRACTOR" SHALL BE UNDERSTOOD TO BE THE SAME UNLESS SPECIFICALLY NOTED OTHERWISE.
26. THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS, DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION, AND AS ANTICIPATED OR INFERRED PRIOR TO PRICING OR BIDDING.
27. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF ANY AND ALL WORK.
28. THE CONTRACTOR SHALL HAVE HAD EXPERIENCE ON AT LEAST THREE PROJECTS INVOLVING QUALITIES AND COMPLEXITIES AT LEAST EQUAL TO THOSE REQUIRED UNDER ALL DIVISIONS DETAILED IN THESE DRAWINGS.
29. ALL WORKERS PERFORMING UNDER THIS WORK SHALL BE SKILLED IN THEIR RESPECTIVE TRADES.
30. ALL WORK, WHETHER SHOWN OR IMPLIED, UNLESS SPECIFICALLY QUESTIONED, SHALL BE CONSIDERED FULLY UNDERSTOOD IN ALL RESPECTS BY THE GENERAL CONTRACTOR, AND HE WILL BE RESPONSIBLE FOR ANY MISINTERPRETATIONS OR CONSEQUENCES THEREOF FOR ALL WORK ON ALL DRAWINGS.
31. THE CONTRACTOR SHALL REVIEW AND FAMILIARIZE THEMSELVES WITH THE GENERAL NOTES, SPECIFICATIONS & DRAWINGS, AND DETERMINE WHICH NOTES APPLY DIRECTLY TO THEIR RESPONSIBILITY. EACH SUB-TRADE WILL BE RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DRAWINGS AND NOTING THEIR WORK AS APPLICABLE. ALL WORK INDICATED OR INFERRED ON THE DRAWINGS WILL BE DEEMED AND INCLUDED IN ALL CONTRACTORS' COSTS.
32. SEE SPECIFICATIONS FOR PAYMENT OF PERMIT FEES.
33. THE CONTRACTOR SHALL PROVIDE ALL THE DRAWINGS, COMPLETED PAPERWORK AND CERTIFICATES OF INSPECTION AND SHALL PERFORM ALL THE CONTROLLED INSPECTIONS AS REQUIRED FOR BUILDING DEPARTMENT APPROVAL.
34. UPON COMPLETION OF THE JOB, THE CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSPECTION AND A CERTIFICATE OF SUBSTANTIAL COMPLETION.
35. THE CONTRACTOR SHALL SUBMIT IN WRITING ALL PROPOSALS FOR ADDITIONAL WORK TO THE ARCHITECT'S OFFICE FOR REVIEW AND APPROVAL. NO ADDITIONAL WORK IS TO PROCEED UNTIL A SIGNED AUTHORIZATION TO PROCEED IS RETURNED TO THE GENERAL CONTRACTOR.
36. THE CONTRACTOR SHALL SCHEDULE ALL WORK TO CONFORM TO THE GENERAL CONSTRUCTION SCHEDULE AND SHALL COOPERATE WITH OTHER CONTRACTORS IN THE REQUIRED SEQUENTIAL INSTALLATION SCHEDULE AS APPROVED BY THE ARCHITECT.
37. ALL WORK IS TO CONFORM TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS AND SHALL BE NEW AND BEST QUALITY OF THE KINDS SPECIFIED.
38. NO MATERIAL SUBSTITUTIONS SHALL BE MADE. ARCHITECT WILL CONSIDER MATERIAL CHANGE REQUESTS ON AN INDIVIDUAL BASIS. CONTRACTOR SHALL SUBMIT SAMPLES AND CUTS FOR WRITTEN APPROVAL BY ARCHITECT PRIOR TO THE START OF ANY WORK.
39. ALL SUBCONTRACTORS' SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL THROUGH THE GENERAL CONTRACTOR PRIOR TO WORK BEING PERFORMED, UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR SHALL STAMP, SIGN AND APPROVE ALL SHOP DRAWINGS PRIOR TO SUBMITTING TO THE ARCHITECT.
40. THE CONTRACTOR WILL PROVIDE TOILET FACILITIES AND WILL BE RESPONSIBLE FOR CLEANING, MAINTAINING, AND UPON COMPLETION OF THE WORK, RESTORING TO ITS ORIGINAL CONDITION.
41. CONSTRUCTION PERSONNEL MUST CARRY PROPER IDENTIFICATION AT ALL TIMES.
42. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY LOCATIONS OF STRUCTURAL, MECHANICAL, AND ELECTRICAL ELEMENTS AND OTHER EXISTING CONDITIONS PRIOR TO DRILLING OR CUTTING OF SLABS OR STRUCTURAL MEMBERS. NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO BEGINNING WORK.
43. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THEIR WORK.

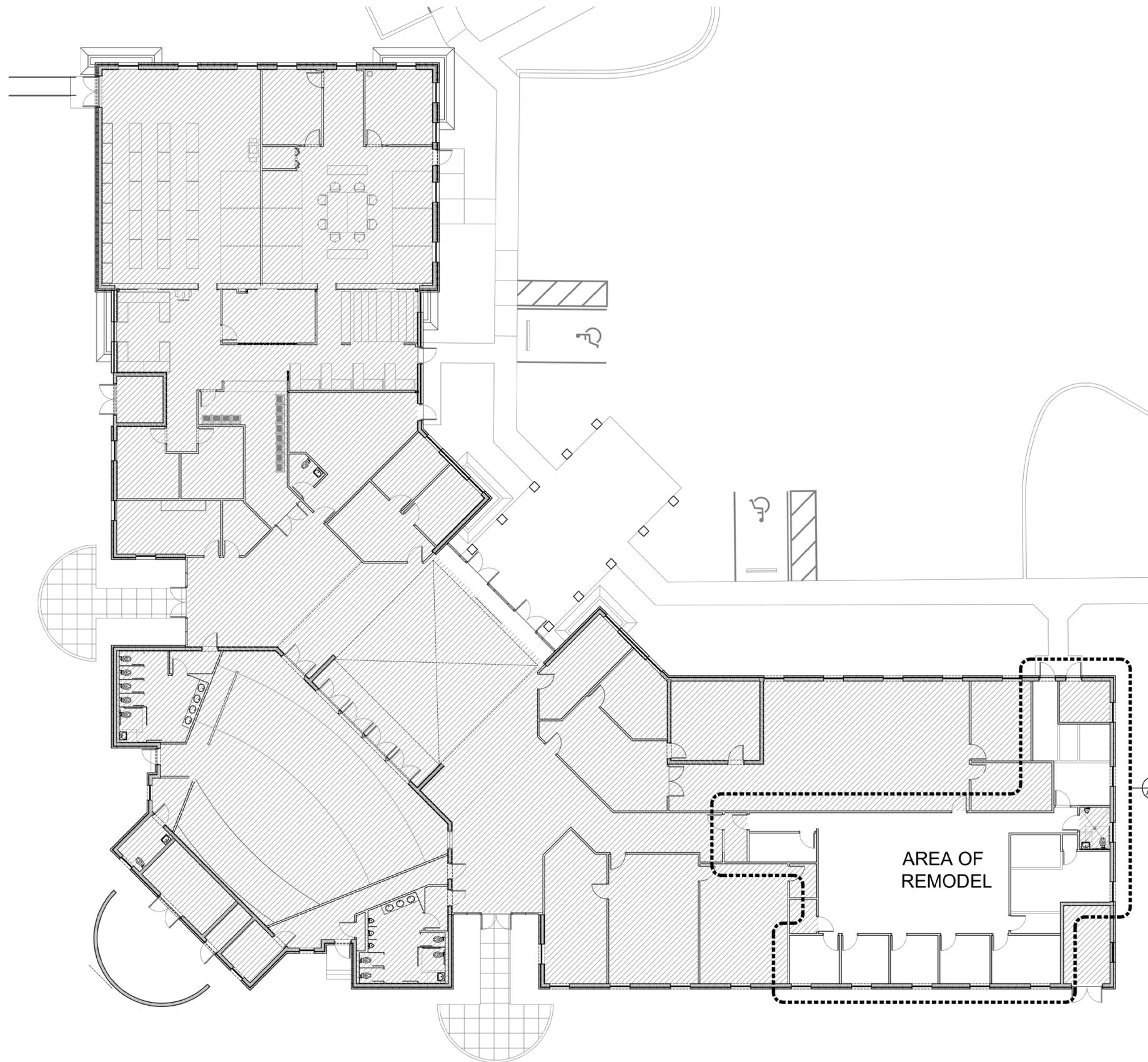
- 44. ALL DEBRIS SHALL BE REMOVED FROM PREMISES AND ALL AREAS SHALL BE LEFT IN A CLEAN (BROOM) CONDITION AT ALL TIMES.
45. THE CONTRACTOR SHALL VERIFY ALL DOOR ROUGH OPENING DIMENSIONS WITH DOOR MANUFACTURERS.
46. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
FIRE PROTECTION:
47. PROVIDE FIRE PROTECTION AT ALL PENETRATIONS OF FIRE RATED ELEMENTS AS REQUIRED BY THE FIRE OFFICIAL.
48. ALL REQUIRED FIRE DOORS SHALL BEAR A LABEL FROM A RECOGNIZED AGENCY SHOWING SPECIFIC RATING.
49. BUILDING FIRE DETECTION/ALARM SYSTEM SHALL BE MODIFIED AS NECESSARY TO MAINTAIN DESIGN EFFECTIVENESS. GENERAL CONTRACTOR SHALL PROVIDE SEPARATE PERMIT OR DOCUMENTATION AS REQUIRED TO COMPLY WITH 2017 FLORIDA BUILDING CODE 6th EDITION.
CODES:
1. ALL WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES. IN CASE OF ANY CONFLICT WHERE THE METHODS OR STANDARDS OF INSTALLATION OR THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAWS OR ORDINANCES SHALL GOVERN. NOTIFY THE OWNER OR ARCHITECT OF ALL CONFLICTS.
AMERICANS WITH DISABILITIES ACT:
1. ALL MOUNTING HEIGHTS AND CONSTRUCTION SHALL COMPLY WITH THE 2017 FLORIDA BUILDING CODE 6th EDITION - ACCESSIBILITY.
DEMOLITION:
1. THE GENERAL CONTRACTOR SHALL SURVEY THIS PROJECT AND BECOME THOROUGHLY FAMILIAR WITH ALL ASPECTS OF THE WORK REQUIRED. ANY DISCOVERED VARIANCE FROM THESE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR A SOLUTION BEFORE FINAL PRICING IS GIVEN TO THE OWNER.
2. THE GENERAL CONTRACTOR SHALL MAKE ARRANGEMENTS FOR ALL REQUIRED TEMPORARY PROTECTION (PRIOR TO START OF DEMOLITION).
3. THE GENERAL CONTRACTOR SHALL COORDINATE ALL TRADES AND DISCIPLINES INVOLVED WITH DEMOLITION.
4. DEMOLITION SERVICES AND TEMPORARY WORK PLANNED BY THE GENERAL CONTRACTOR SHALL NOT, IN ANY WAY, INTERFERE WITH NORMAL BUSINESS OPERATIONS WITHIN THE AFFECTED AND/OR ADJACENT AREAS.
5. TEMPORARY WORK SHALL INCLUDE (BUT NOT BE LIMITED TO) THE FOLLOWING:
-TEMPORARY LIGHT
-TEMPORARY WALLS AND/OR FLOORING.
-PLASTIC PROTECTION (FIN. AND FURN.).
-TEMPORARY CEILING/HVAC.
6. THE GENERAL CONTRACTOR SHALL COORDINATE ALL DEMOLITION AND TEMPORARY WORK WITH ARCHITECT AS REQUIRED, AND SHALL MAKE ARRANGEMENTS FOR REMOVAL OF DEBRIS AND CARTING FROM PREMISES WITH A MINIMUM OF DISTURBANCE ON A REGULAR BASIS.
7. THE GENERAL CONTRACTOR SHALL KEEP THE AFFECTED AREAS CLEAR AT ALL TIMES AND SHALL BE RESPONSIBLE FOR DAILY CLEANUP AND VACUUMING OF CARPET AS REQUIRED.
8. THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY BARRIERS TO PROTECT ADJACENT AREAS FROM DAMAGE CAUSED BY ALL WORK.
9. THE DRAWINGS DO NOT PURPORT TO SHOW ALL OBJECTS EXISTING AT THE SITE. THE GENERAL CONTRACTOR MUST VERIFY, AT SITE, ALL OBJECTS TO BE PRESERVED AND REPORT TO OWNER ANY DISCREPANCY OR QUESTIONABLE ITEMS.
10. THE GENERAL CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PROTECT EXISTING OBJECTS DESIGNATED TO REMAIN AND, IN THE EVENT OF DAMAGE, IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS NECESSARY TO MEET THE APPROVAL OF THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
11. THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
12. THE GENERAL CONTRACTOR SHALL COORDINATE DEMOLITION AND REMOVALS WITH ARCHITECT.
13. PATCH AND REPAIR FLOOR AS REQUIRED FOR NEW FLOOR FINISH MATERIALS.
14. CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES REQUIRED BY ANY PORTION OF THE WORK, BOTH DURING DEMOLITION AND CONSTRUCTION.
15. WHERE DEMOLITION OCCURS ADJACENT TO EXISTING TO REMAIN, PATCH AND REPAIR TO MATCH ADJACENT CONDITIONS FOR A UNIFORM APPEARANCE.

- REFLECTED CEILING:
1. SEE ENGINEER'S DRAWINGS FOR ALL LIGHT FIXTURE CIRCUITING, EMERGENCY AND EXIT LIGHTING, SMOKE DETECTORS, STROBE LIGHTING, ALARM SPEAKERS, SWITCHING AND RELATED WORK. CONTRACTOR IS TO VERIFY ALL LIGHT FIXTURE WATTAGE (MAX) AND PROVIDE PROPER NUMBER OF SWITCHES AT THAT LOCATION TO SERVICE INDICATED LIGHT FIXTURES.
2. SEE ENGINEER'S DRAWINGS FOR ALL CEILING DIFFUSERS, DUCTWORK LAYOUTS, TRANSFER DUCTS, FUSIBLE LINK DAMPERS, ETC. ARCHITECT'S DRAWINGS INDICATE DIFFUSERS FOR LOCATION ONLY. WHERE DISCREPANCIES OCCUR BETWEEN ENGINEERING AND ARCHITECTURAL DRAWINGS REGARDING LOCATIONS, ARCHITECTURAL DRAWINGS SHALL GOVERN.
3. HVAC SUBCONTRACTOR TO SUBMIT A LAYOUT SHOP DRAWING INDICATING ALL EQUIPMENT LOCATIONS AND DUCTWORK LAYOUTS TO ARCHITECTS OFFICE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OF ANY WORK.
4. SEE REFLECTED CEILING PLAN FOR CEILING HEIGHTS. MAINTAIN CEILING HEIGHT THROUGHOUT. NOTIFY ARCHITECT OF ANY COMPLICATIONS WITH HEIGHT.
5. GENERAL CONTRACTOR TO PROVIDE INITIAL LAMPING OF ALL FIXTURES AND INSTALL APPROPRIATE LAMPS AS REQUIRED BY SPECIFIED LIGHT FIXTURE.
6. THE GENERAL CONTRACTOR TO MODIFY ACOUSTIC CEILING AS REQUIRED FOR CIRCULATION OF RETURN AIR TO HVAC SYSTEM. FURNISH AND INSTALL FIRE DAMPERS AS REQUIRED TO MAINTAIN THE INTEGRITY OF RATED WALLS.
7. GENERAL CONTRACTOR SHALL REMOVE CEILING TILE AS REQUIRED BY THE TELEPHONE COMPANY, OR OTHER COMMUNICATIONS AGENCY AUTHORIZED BY THE ARCHITECT FOR TELEPHONE AND SIGNAL CABLE INSTALLATION, AND REPLACE TILE WHEN WORK IS COMPLETED.
8. GENERAL CONTRACTOR TO CLEAN, RE-LAMP, AND REPLACE ALL FAULTY BALLASTS AND/OR BALLASTS NOT CONFORMING TO THE LATEST LOCAL BUILDING CODE.
9. GENERAL CONTRACTOR TO THOROUGHLY CLEAN ALL EXISTING HVAC CEILING DIFFUSERS AND RETURN AIR GRILLES.
FINISHES:
1. SAMPLES OF ALL FINISHES SPECIFIED SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL, IN TRIPLICATE, PRIOR TO COMMENCEMENT OF THE WORK.
2. ALL WALLS (NEW AND EXISTING) SHALL BE PROPERLY PREPARED (PATCHED, SANDED, ETC.) FOR PAINTING AS PER FINISH PLAN AND MANUFACTURER'S SPECIFICATIONS.
3. ALL PAINTS SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR THE PARTICULAR SURFACE.
4. ALL DRYWALL SURFACES WHICH ARE TO BE PAINTED SHALL RECEIVE (1) COAT OF P.V.A. PRIMER AND (2) COATS OF FINISH PAINT. (3) COATS TOTAL MINIMUM.
5. ALL WALLS WHICH HAVE BEEN PAINTED, THAT HAVE A PUNCH-LIST ITEM, SHALL BE REPAINTED ENTIRELY BETWEEN THE (2) CLOSEST BREAK POINTS.
6. GENERAL CONTRACTOR SHALL FLASH PATCH AND PREPARE ALL FLOORS AS REQUIRED TO RECEIVE SPECIFIED FLOORING MATERIAL.
7. FLOORING CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY UNACCEPTABLE FINISH WORK CAUSED BY SUB-FLOOR CONDITIONS.
8. GENERAL CONTRACTOR TO PROVIDE AND INSTALL ALL METAL ANGLES AND/OR MARBLE REDUCING SADDLES PER DETAILS, IN ADDITION TO ANY FLOOR LEVELING AS MAY BE REQUIRED FOR SMOOTH TRANSITION AT ALL TILE FLOORING/MATERIAL TRANSITION POINTS.
9. SAMPLES OF ALL FINISHES SPECIFIED SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL, IN TRIPLICATE, PRIOR TO COMMENCEMENT OF THE WORK. FINISH SAMPLES TO BE A MIN. 12" X 12". PAINT SAMPLES FOR GYP. BD. SURFACES TO BE PROVIDED ON 12" X 12" PIECES OF GYP. BD.
10. ALL DOORS AND FRAMES TO BE PAINTED THE SAME COLOR AND TYPE OF PAINT ON ALL SIDES, UNLESS OTHERWISE NOTED. TOPS, EDGES, AND BOTTOMS SHALL BE SEALED AND PAINTED.
11. FLOORS MUST BE FREE OF DUST, OIL AND ALL FOREIGN MATTER. BUILDING MUST BE FULLY SEALED AND AIR CONDITIONED FOR 48 HOURS PRIOR TO INSTALLATION OF FLOOR COVERING. CRACKS 1/16" OR MORE, HOLES, AND OTHER UNEVENNESS MUST BE FILLED WITH A LATEX BASE FLOOR FILLER; HIGH SPOTS MUST BE LEVELED. FLOOR MUST BE SWEEP CLEAN, WET MOPPED WITH WARM WATER AND SWEEP AGAIN. IF SWEEPING LEAVES A RESIDUE, FLOORS SHALL BE VACUUMED.
12. ALL VINYL OR RUBBER BASE TO BE CONTINUOUS ROLL TYPE WITH SEAMING TO OCCUR ONLY ON INSIDE CORNERS OR AT LEAST 24" FROM WRAPPED OUTSIDE CORNER.
13. WHERE VCT FLOORING IS SPECIFIED, GC SHALL BE RESPONSIBLE FOR PROVIDING APPLYING SEALANTS AS SPECIFIED OR AS RECOMMENDED BY MANUFACTURER FOR A CLEAN, LASTING SURFACE.

- POWER AND COMMUNICATION:
1. SEE ENGINEER'S DRAWING FOR ALL CIRCUITING AND RELATED WORK.
2. GENERAL CONTRACTOR SHALL VERIFY THE AVAILABLE ELECTRICAL SERVICE AND ADVISE THE ARCHITECT OF THEIR FINDINGS PRIOR TO SUBMITTING A BID.
3. ELECTRICAL CONTRACTOR SHALL DISCONNECT, CONNECT, AND PROVIDE NECESSARY ELECTRIC RUNS IN ORDER TO CONFORM WITH NEW PLAN.
4. SWITCHES, DUPLEX OUTLETS, COVER PLATES SHALL BE INSTALLED BY COMPETENT MECHANICS IN A FIRST CLASS MANNER.
5. THE ELECTRICAL CONTRACTOR SHALL INCLUDE AND COORDINATE ELECTRICAL REQUIREMENTS FOR ALL HVAC EQUIPMENT, EXHAUST FANS, AND SPECIAL EQUIPMENT, ETC.
6. CENTERLINE-TO-CENTERLINE DIMENSIONS OF ANY OUTLET PAIR SHALL NOT EXCEED 6".
7. ALL BACK-TO-BACK OUTLETS IN ADJOINING ROOMS TO BE STAGGERED.
8. ALL NEW TELEPHONE AND ELECTRICAL OUTLETS TO BE FLUSH MOUNTED WITH THE FINISHED WALL SURFACE. CUT OUT THE WALL AS REQUIRED TO RECESS THE JUNCTION BOX AND CONDUIT, AND PATCH THE WALL AS REQUIRED.
9. GENERAL CONTRACTOR SHALL REMOVE ALL UNUSED CONDUIT, COAXIAL CABLE AND TELEPHONE WIRING COMPLETELY FROM AREAS IN SCOPE OF THIS CONTRACT.
10. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY TO COMPLETE CORE DRILLING AND ELECTRICAL HOOK-UP, PATCHING, ETC. ALL CORE DRILLING SHALL BE ACCOMPLISHED DURING STATED BUILDING APPROVED WORKING HOURS. CONTRACTOR SHALL VERIFY AND CONFORM TO THOSE HOURS WHEN WORK IS REQUIRED.
11. ALL EXISTING WALL OUTLETS WHICH DO NOT INTERFERE WITH NEW CONSTRUCTION SHALL REMAIN.
12. ANY EXISTING FIRE ALARM SOUNDERS OR PULL BOXES WHICH INTERFERE WITH NEW PARTITION WORK SHALL BE RELOCATED TO AN APPROVED LOCATION.
13. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND HOOK-UP OF ALL ELECTRIFIED RACKWAYS THROUGH ANY SYSTEMS FURNITURE AS SPECIFIED. IT WILL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE SYSTEMS FURNITURE SPECIFIED AND ALL ELECTRICAL WORK RELATED TO THAT SYSTEM.
14. NO FLOOR OR WALL POWER OUTLETS SHALL BE CONNECTED TO LIGHTING CIRCUITS.
15. GENERAL CONTRACTOR SHALL REVISE AND UPDATE LABELS FOR ALL CIRCUIT BREAKERS.
16. TELEPHONE FLOOR AND WALL OUTLET BOXES SHALL BE CAPABLE OF FULLY HOUSING THE TELEPHONE COMPANY'S PRE-WIRED AMPHENOL CONNECTORS, BOTH FOR SINGLE-LINE EXTENSIONS AND FOR CALL DIRECTORS. CONTRACTOR COORDINATE WITH CITY I.T. DEPARTMENT PRIOR TO ROUGH-IN.
17. WHERE EXPOSED CONDUIT OR SURFACE MOUNTED WIRELORD CONDUIT HAS BEEN SPECIFIED, THE CONDUIT SHALL BE RUN IN CORNERS OR ON SIDE OF COLUMNS IN A NEAT AND ORDERLY WAY USING 90° CORNERS RUNNING PARALLEL TO WALLS, COLUMNS, BEAMS AND OTHER CONDUITS TO ABOVE HIGHEST POINT OF BASEBOARD, AT WHICH POINT CONDUIT IS TO RUN HORIZONTALLY TO ACTUAL LOCATION OF OUTLET AS DIMENSIONED ON PLAN.
18. G.C. SHALL COORDINATE WITH THE ELECTRICAL & WOODWORK CONTRACTORS TO PROVIDE CUT-OUTS IN FIELD, AS REQUIRED, FOR EXTENSION OF ELECTRIC OUTLETS, CABLES, ETC. INTO CABINET WORK AS SPECIFIED.
19. ALL ELECTRICAL WORK PERFORMED IN CONNECTION WITH THE INSTALLATION OF THE TELEPHONE COMMUNICATIONS SYSTEM SHALL BE IN ACCORDANCE WITH THE BUILDING MANAGEMENT AND TELEPHONE COMPANY.
20. ALLOW APPROPRIATE LENGTH OF SLACK ON BOTH ENDS OF EACH CABLE TERMINATION FOR CONNECTION TO SPECIFIED EQUIPMENT (MIN-6"). TO DETERMINE MOST ECONOMICAL ROUTE FOR ALL CABLE RUNS FROM ORIGINATION TO TERMINATION POINT AT CONTROLLER.
SHOP DRAWINGS:
SHOP DRAWINGS ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE ARCHITECT PRIOR TO BEING SUBMITTED TO THE BUILDING DEPARTMENT FOR THEIR APPROVAL AND RECORD KEEPING. THE CONTRACTOR SHALL FOLLOW THE FOLLOWING PROCEDURE TO PROCESS SHOP DRAWINGS.
1. SHOP DRAWINGS MAY BE SUBMITTED TO THE ARCHITECT IN ELECTRONIC FORM. (.PDF PREFERRED).
2. A COVER SHEET ON THE SUBMITTAL SHALL INDICATE THE NAMES AND ADDRESSES OF: THE PROJECT, OWNER, ARCHITECT, CONTRACTOR, SUBCONTRACTOR AND THE SUPPLIER IF PERTINENT.
3. THE COVER SHEET SHALL INDICATE THE

- DATE OF SUBMITTAL, AND A DESCRIPTION THE ITEM BEING SUBMITTED.
4. THE COVER SHEET MUST PROVIDE SPACE FOR THE CONTRACTOR, ARCHITECT AND CONSULTING ENGINEER(S) TO STAMP THE SUBMISSION AFTER THEIR REVIEWS. THE SPACE FOR THESE STAMPS SHALL BE CLEAR OF ANY PERTINENT INFORMATION SO THE STAMPS WILL NOT COVER ANY PROJECT INFORMATION. THE SPACE FOR EACH OF THE STAMP(S) NEEDS TO BE A MINIMUM OF 4" X 4".
5. THE ORIGINAL DATE AND ANY REVISIONS MUST ALWAYS APPEAR ON THE COVER SHEET, AND ON EVERY REVISED SHEET WHICH WAS REVISED OF THE LARGER VARIETY, A "CLOUD" MUST ALWAYS APPEAR AROUND THAT PORTION OF THE DRAWING ON ANY/EVERY SHEET INDICATING WHERE THE REVISIONS HAVE OCCURRED.
6. THE SUBMITTAL WILL NOT BE REVIEWED BY THE ARCHITECT IF THE COVER SHEET DOES NOT PROVIDE THE REQUIRED INFORMATION AND SPACE FOR APPROVAL STAMPS.
7. ALL SUBMITTALS MUST BE REVIEWED BY THE CONTRACTOR AND STAMPED ACCORDINGLY WITH ANY COMMENTS PRIOR TO FORWARDING TO THE ARCHITECT FOR THEIR REVIEW. A COLOR INK OTHER THAN BLACK SHOULD BE USED FOR ANY COMMENT ADDED TO THE SUBMITTAL SO THE COMMENT WILL CLEARLY STAND OUT. THE SUBMISSION WILL NOT BE REVIEWED BY THE ARCHITECT IF NOT ALREADY REVIEWED AND STAMPED BY THE CONTRACTOR.
8. ANY DEVIATION FROM WHAT THE CONSTRUCTION DOCUMENTS CALL FOR MUST BE INDICATED BY THE CONTRACTOR ON THE SUBMITTAL PRIOR TO FORWARDING TO THE ARCHITECT.
9. IF THE CONTRACTOR IS REJECTING THE SUBMITTAL THEN IT SHALL NOT BE FORWARDED TO THE ARCHITECT UNTIL SUCH TIME AN ACCEPTABLE SUBMITTAL IS MADE FOR THAT ITEM.
10. ALL SUBMITTALS SHALL BE REVIEWED IN A TIMELY FASHION SO DELAYS IN CONSTRUCTION DO NOT OCCUR. ALLOW AT LEAST TEN WORKING DAYS FOR EACH DISCIPLINE TO REVIEW THAT ITEM.
11. ALL SUBMITTALS SHALL BE DRAWN TO SCALE. SUBMITTALS DRAWINGS SUBMITTED NTS WILL BE REJECTED WITHOUT REVIEW.
12. SUBMITTALS SENT WITH SAFETY DATA SHEETS (SDS) ARE HEREBY NOT REQUESTED AND WILL NOT BE REVIEWED. SDS'S SHALL BE INCLUDED IN THE OPERATIONS & MAINTENANCE DOCUMENTS TO THE OWNER AT THE CLOSE OF THE PROJECT.
PROVIDE SHOP DRAWINGS FOR THE FOLLOWING ITEMS:
1. HOLLOW METAL DOORS AND FRAMES
2. DOOR HARDWARE
3. STOREFRONT WINDOW - FIXED
4. FIRE EXTINGUISHER CABINET
5. FIRE SPRINKLERS AND ACCESSORIES
6. ELECTRICAL
7. PAINT
8. SEALANT
9. CARPET SQUARES
PUNCH LIST:
PRIOR TO REQUESTING A PUNCH LIST FROM THE ARCHITECT AND ENGINEERS, THE GC SHALL PERSONALLY REVIEW THE ENTIRE PROJECT AND PROVIDE A FULL PUNCH LIST OF ITEMS (BUILDING, INTERIOR, EXTERIOR AND SITE WORK) TO THE ARCHITECT FOR REVIEW. THE LIST SHALL BE STAMPED AND SIGNED BY THE GC. THE PUNCH LIST SHALL BE BY ROOM NUMBER, SITE AREA AND ORIENTATION WITH PHOTOGRAPHS OF THE ITEMS REMAINING. UPON ACCEPTANCE BY THE ARCHITECT, THE ARCHITECT WILL USE THIS PUNCH LIST AND REVIEW THE PROJECT WITH THE OWNER TO DETERMINE ANY ADDITIONAL ITEMS. PLEASE NOTE THAT UPON THE ARCHITECTS AND OWNERS SITE REVIEW, IF A SUBSTANTIAL AMOUNT OF ITEMS ARE FOUND TO BE DEFICIENT, AT THE BEGINNING OF THE SITE REVIEW, THE ARCHITECT AND OWNER, MAY TERMINATE THE REVIEW AND THE GC SHALL UPDATE THE LIST AND RESUBMIT THE PUNCH LIST.

NO. REVISION DATE
50% CD SUBMITTAL 11/29/2019
90% CD SUBMITTAL 01/20/2020
100% CDs PERMIT 01/31/2020
BID SET 02/28/2020
CONSULTANT:
PARKLAND CITY HALL MULTI-PURPOSE ROOM REMODEL
6600 UNIVERSITY DRIVE PARKLAND, FL 33067
CPZ ARCHITECTS, INC.
414 WEST BROWARD BOULEVARD, PLANTATION, FLORIDA 33317
200 N. EL MAR DRIVE, SUITE 201, HENNESSY BEACH, FLORIDA 34957
PHONE: (954) 792-8525 FAX: (954) 792-8525 WWW.CPZARCHITECTS.COM
DRAWING TITLE: GENERAL NOTES
DRAWN MW
CHECKED CPZ/MWW
DATE 11.04.19
SCALE AS NOTED
PROJECT NO. 1852B
SHEET:
CHRIS P. ZIMMERMAN, A.I.A. REGISTERED ARCHITECT NO. 10,995 STATE OF FLORIDA
A-000
DATE: 02/28/2020



**LEGEND:**

	EXISTING WALL TO REMAIN
	EXISTING CMU WALL TO REMAIN
	REMOVE PARTITION AS INDICATED
	NO WORK IN THIS AREA
EX	EXISTING
D	DEMOLITION
N	NEW
R	REMOVE / RELOCATE

- GENERAL NOTES:**
1. MAINTAIN EXISTING RATING IN FIRE-RATED WALLS. PATCH & MATCH WALLS AS REQUIRED FOR LIKE NEW FINISH.
  2. ALIGN NEW WALLS WITH ADJACENT EXISTING WALLS WHERE THEY ABUT.
  3. CONTRACTOR TO COORDINATE ALL WORK WITH OWNER'S REPRESENTATIVE.
  4. FURNITURE, FIXTURES AND EQUIPMENT SHOWN BY OTHERS. U.N.O.

NO.	REVISION	DATE
50%	CD SUBMITTAL	11/29/2019
90%	CD SUBMITTAL	01/20/2020
100%	CDs PERMIT	01/31/2020
2	BID SET	02/28/2020

CONSULTANT:

**CPZ ARCHITECTS, INC.**  
 PARKLAND CITY HALL  
 MULTI-PURPOSE ROOM REMODEL  
 6600 UNIVERSITY DRIVE  
 PARKLAND, FL 33067  
514 WEST BROWARD BOULEVARD, PLANTATION, FLORIDA 33317  
 200 N. EL MAR DRIVE, SUITE 201, HENSHEN BEACH, FLORIDA 34957  
 PHONE: (954) 792-8525  
 WWW.CPZARCHITECTS.COM



DRAWING TITLE:  
 FLOOR PLAN  
 LEGENDS, & DETAILS

DRAWN	LV/MW
CHECKED	CPZ/MWW
DATE	11.04.19
SCALE	AS NOTED
PROJECT NO.	1852B
SHEET:	

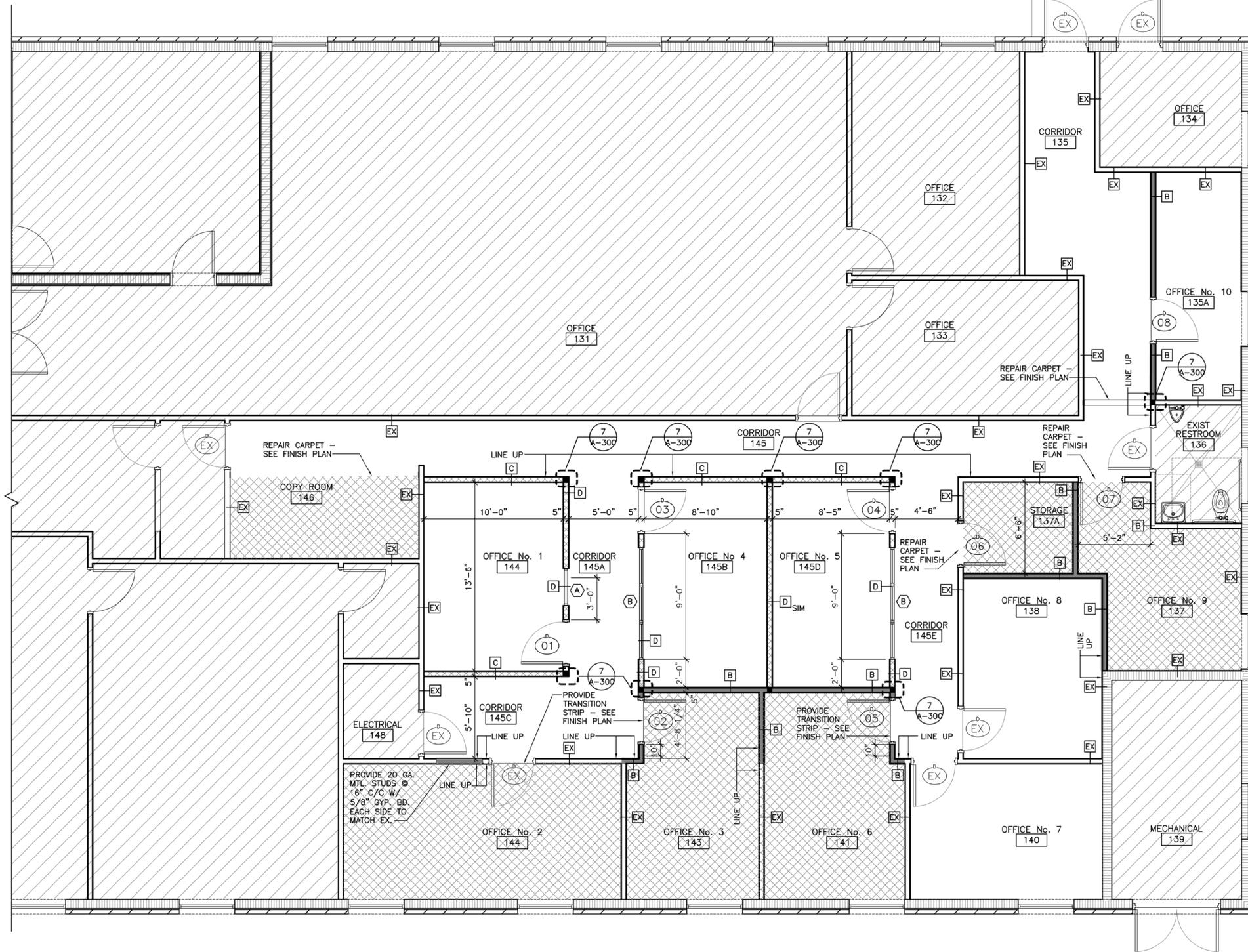
**A-100**

**EXISTING OVERALL FLOOR PLAN**  
 SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"

**CHRIS P. ZIMMERMAN, A.I.A.**  
 REGISTERED ARCHITECT NO. 10,995  
 STATE OF FLORIDA

DATE: 02/28/2020



**PROPOSED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**LEGEND:**

	EXISTING WALL TO REMAIN
	EXISTING CMU WALL TO REMAIN
	NEW DRYWALL PARTITION TO UNDERSIDE OF ACOUSTIC CEILING
	NEW 8'0" HIGH DRYWALL PARTITION
	DOOR TAG
	WALL TYPE, SEE SHEET A-300 FOR DETAILS
	WINDOW TAG, SEE SHEET A-300
	NO WORK IN THIS AREA
EX	EXISTING
N	NEW
R	REMOVE / RELOCATE

- GENERAL NOTES:**
1. MAINTAIN EXISTING RATING IN FIRE-RATED WALLS. PATCH & MATCH WALLS AS REQUIRED FOR LIKE NEW FINISH.
  2. ALIGN NEW WALLS WITH ADJACENT EXISTING WALLS WHERE THEY ABUT.
  3. CONTRACTOR TO COORDINATE ALL WORK WITH OWNER'S REPRESENTATIVE.
  4. FURNITURE, FIXTURES AND EQUIPMENT SHOWN BY OTHERS. U.N.O.

NO.	REVISION	DATE
50%	CD SUBMITTAL	11/29/2019
100%	CD SUBMITTAL	01/20/2020
100%	CDs PERMIT	01/31/2020
	BID SET	02/28/2020

CONSULTANT:

**CPZ ARCHITECTS, INC.**  
 PARKLAND CITY HALL  
 MULTI-PURPOSE ROOM REMODEL  
 6600 UNIVERSITY DRIVE  
 PARKLAND, FL 33067

414 WEST BROWARD BOULEVARD, PLANTATION, FLORIDA 33317  
 200 N. EL MAR DRIVE, SUITE 201, JENSEN BEACH, FLORIDA 34957  
 PHONE: (954) 792-8525  
 WWW.CPZARCHITECTS.COM



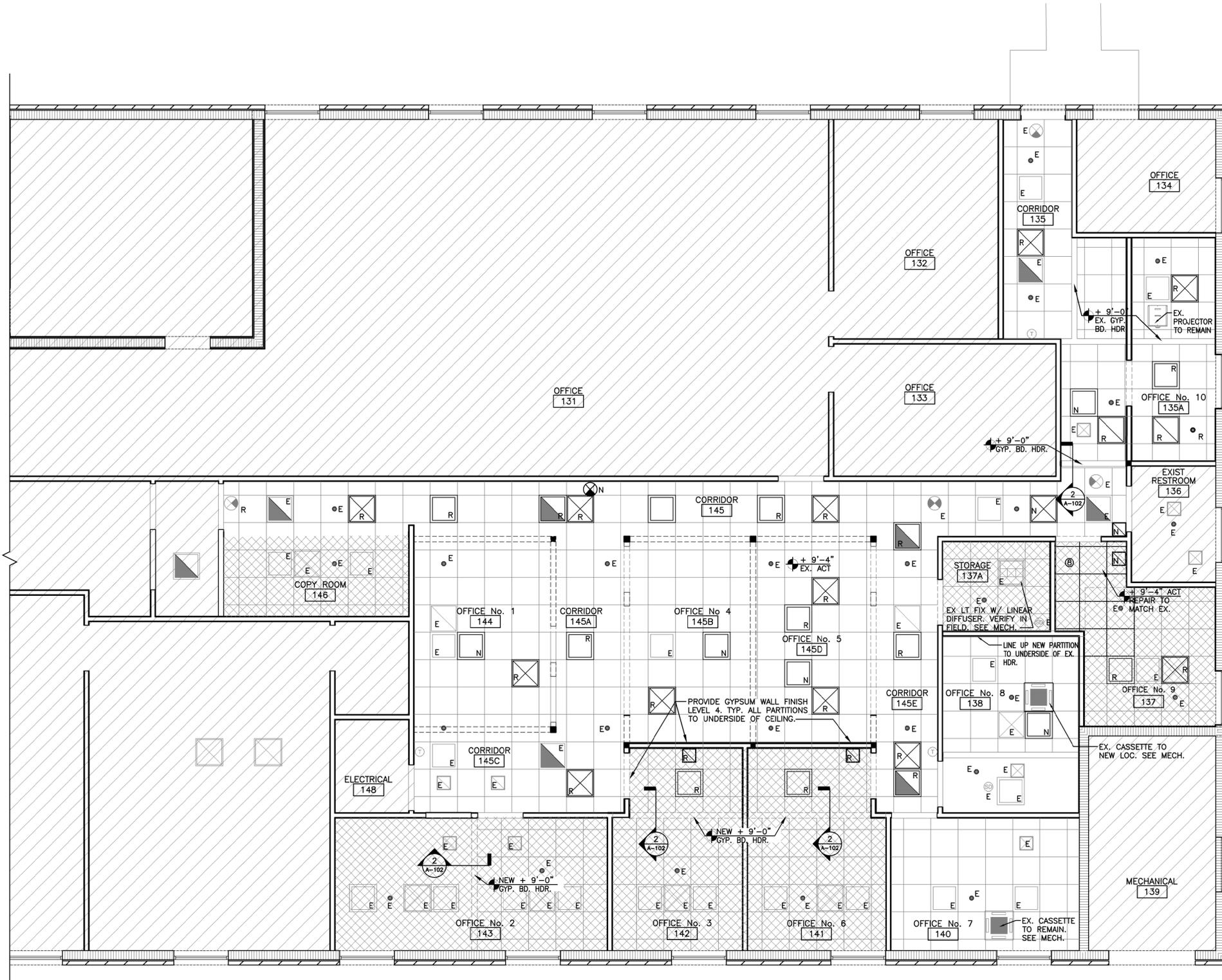
DRAWING TITLE:  
PROPOSED FLOOR PLAN AND NOTES

DRAWN LV/SL/MW  
 CHECKED CPZ/MWW  
 DATE 11.04.19  
 SCALE AS NOTED  
 PROJECT NO. 1852B

CHRIS P. ZIMMERMAN, A.I.A.  
 REGISTERED ARCHITECT NO. 10,995  
 STATE OF FLORIDA

**A-101**

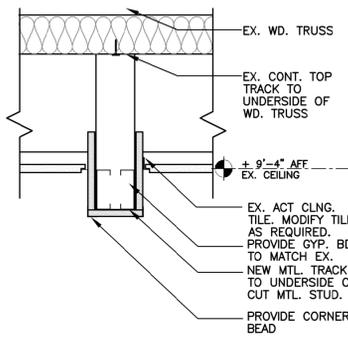
DATE: 02/28/2020



**LEGEND:**

	EXISTING WALL TO REMAIN
	EXISTING CMU WALL TO REMAIN
	NEW DRYWALL PARTITION TO UNDERSIDE OF ACOUSTIC CEILING
	NEW 8'0 HIGH DRYWALL PARTITION
	WALL TYPE, SEE SHEET A-300 FOR DETAILS
	NO WORK IN THIS AREA
	LIGHT FIXTURE
	SUPPLY AIR DIFFUSER
	RETURN AIR GRILLE
	LIGHTING FIXTURE W/ LINEAR DIFFUSER TO BE FIELD VERIFIED
	EXISTING AHU CASSETTE
	FIRE SPRINKLER HEAD
	SMOKE DETECTOR
N	= NEW
EX	= EXISTING
R	= REMOVE / RELOCATE

- GENERAL NOTES:**
1. MAINTAIN EXISTING RATING IN FIRE-RATED WALLS. PATCH & MATCH WALLS AS REQUIRED FOR LIKE NEW FINISH.
  2. ALIGN NEW WALLS WITH ADJACENT EXISTING WALLS WHERE THEY ABUT.
  3. CONTRACTOR TO COORDINATE ALL WORK WITH OWNER'S REPRESENTATIVE.
  4. FURNITURE, FIXTURES AND EQUIPMENT SHOWN BY OTHERS. U.N.O.
  5. SEE MECHANICAL PLANS FOR ADJUSTMENT TO HVAC SUPPLY & RETURN GRILLES.
  6. SEE ELECTRICAL PLANS FOR ADJUSTMENT TO LIGHTING.
  7. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR THE MOVEMENT, DELETION OR ADDITION OF FIRE SPRINKLER HEADS.
  8. NEW ACT CEILING GRID & PANELS TO MATCH EXISTING. LINE UP GRID TO MATCH



**2** HEADER DETAIL  
 A-102 SCALE: 1 1/2"=1'-0"

**PROPOSED REFLECTED CEILING PLAN**  
 SCALE: 1/4" = 1'-0"

NO.	REVISION	DATE
50%	CD SUBMITAL	11/29/2019
90%	CD SUBMITAL	01/20/2020
100%	CDs PERMIT	01/31/2020
	BID SET	02/28/2020

CONSULTANT:

**PARKLAND CITY HALL  
 MULTI-PURPOSE ROOM REMODEL**  
 6600 UNIVERSITY DRIVE  
 PARKLAND, FL 33067

**CPZ ARCHITECTS, INC.**  
 4316 WEST BROWARD BOULEVARD, PLANTATION, FLORIDA 33317  
 200 N. EL MAR DRIVE, SUITE 201, JENSEN BEACH, FLORIDA 34957  
 AA 22000685  
 WWW.CPZARCHITECTS.COM



DRAWING TITLE:  
 PROPOSED REFLECTED  
 CEILING PLAN  
 AND NOTES

DRAWN	LV/SL/MW
CHECKED	CPZ/MWW
DATE	11.04.19
SCALE	AS NOTED
PROJECT NO.	18528
SHEET:	

**CHRIS P. ZIMMERMAN, A.I.A.**  
 REGISTERED ARCHITECT NO. 10,995  
 STATE OF FLORIDA

DATE: 02/28/2020

**A-102**

NO. REVISION	DATE
50% CD SUBMITAL	11/29/2019
90% CD SUBMITAL	01/20/2020
100% CDB PERMIT	01/31/2020
BID SET	02/28/2020

CONSULTANT:

PARKLAND CITY HALL  
MULTI-PURPOSE ROOM REMODEL  
6600 UNIVERSITY DRIVE  
PARKLAND, FL 33067

CPZ ARCHITECTS, INC.  
4316 WEST BROWARD BOULEVARD, PLANTATION, FLORIDA 33317  
200 N. EL MAR DRIVE, SUITE 201, JENSEN BEACH, FLORIDA 34957  
AA 22000685  
WWW.CPZARCHITECTS.COM



DRAWING TITLE:  
WALL TYPES, DETAILS,  
WINDOW & DOOR  
SCHEDULE

DRAWN LV/SL/MW  
CHECKED CPZ/MWW  
DATE 11.04.19  
SCALE AS NOTED  
PROJECT NO. 1852B  
SHEET:

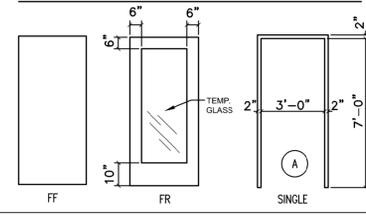
**A-300**

DATE: 02/28/2020

### DOOR SCHEDULE

NUMBER	LOCATION	TYPE	MATL	SIZE		THICK	FINISH	RATING	HARDWARE	FRM MATL	FRAME FINISH	JAMB	HEAD	SILL	REMARKS
				WIDTH	HEIGHT										
01	OFFICE NO. 1	FR	SOLID OAK	3'-0"	7'-0"	1 3/4"	STAIN TO MATCH EX.		KEYED/PV.	SOLID OAK	STAIN TO MATCH EX.	1/A-500	1/A-500	1/A-500	
02	OFFICE NO. 3	FR	SOLID OAK	3'-0"	7'-0"	1 3/4"	STAIN TO MATCH EX.		KEYED/PV.	SOLID OAK	STAIN TO MATCH EX.	2/A-500	2/A-500	2/A-500	
03	OFFICE NO. 4	FR	SOLID OAK	3'-0"	7'-0"	1 3/4"	STAIN TO MATCH EX.		KEYED/PV.	SOLID OAK	STAIN TO MATCH EX.	2/A-500	2/A-500	2/A-500	
04	OFFICE NO. 5	FR	SOLID OAK	3'-0"	7'-0"	1 3/4"	STAIN TO MATCH EX.		KEYED/PV.	SOLID OAK	STAIN TO MATCH EX.	2/A-500	2/A-500	2/A-500	
05	OFFICE NO. 6	FR	SOLID OAK	3'-0"	7'-0"	1 3/4"	STAIN TO MATCH EX.		KEYED/PV.	SOLID OAK	STAIN TO MATCH EX.	2/A-500	2/A-500	2/A-500	
06	STORAGE	FF	H.M.	3'-0"	7'-0"	1 3/4"	PANT COLOR TO MATCH EX.		PASSAGE	H.M.	PANT COLOR TO MATCH EX.	2/A-500	2/A-500	2/A-500	
07	OFFICE NO. 9	FR	SOLID OAK	3'-0"	7'-0"	1 3/4"	STAIN TO MATCH EX.		KEYED/PV.	SOLID OAK	STAIN TO MATCH EX.	2/A-500	2/A-500	2/A-500	
08	OFFICE NO. 10	FF	H.M.	3'-0"	7'-0"	1 3/4"	PANT COLOR TO MATCH EX.		KEYED/PV.	H.M.	PANT COLOR TO MATCH EX.	2/A-500	2/A-500	2/A-500	
EX	EXISTING														EXISTING TO REMAIN - REFINISH AS REQUIRED

### DOOR AND H.M. FRAME TYPES



### HARDWARE NOTES

- ALL NEW DOOR HARDWARE TO MATCH EXISTING BUILDING STANDARD FOR HARDWARE AND TO BE RE-KEYED TO THE MASTER SYSTEM KEY WAY SCHLAGE LOCK 6 PIN.
- CONTRACTOR SHALL COORDINATE ALL HARDWARE REQUIREMENTS WITH THE OWNER PRIOR TO ORDERING.
- ALL HINGES SHALL BE SATIN BRASS, BALL BEARING HINGES, COLOR SATIN CHROME.
- ALL DOOR CLOSERS TO BE BY 'LON' 4000 SERIES COMMERCIAL GRADE, ADA CODE COMPLIANT AND EQUIPPED WITH HOLD OPEN FEATURE. COLOR SATIN CHROME OR APPROVED EQUAL.

### NOTES

- WEATHER-STRIP ALL EXTERIOR DOORS.
- DETAILS INDICATE BASIC WALL CONSTRUCTION AND DIMENSIONS. ALSO SEE INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR SPECIAL FINISHES.
- ALL DOORS AND HARDWARE SHALL COMPLY WITH NFPA 101, SECTION 7.2.1
- EXISTING CORRIDOR DOOR TO LOBBY TO BE MAINTAINED.

### HARDWARE NOTES:

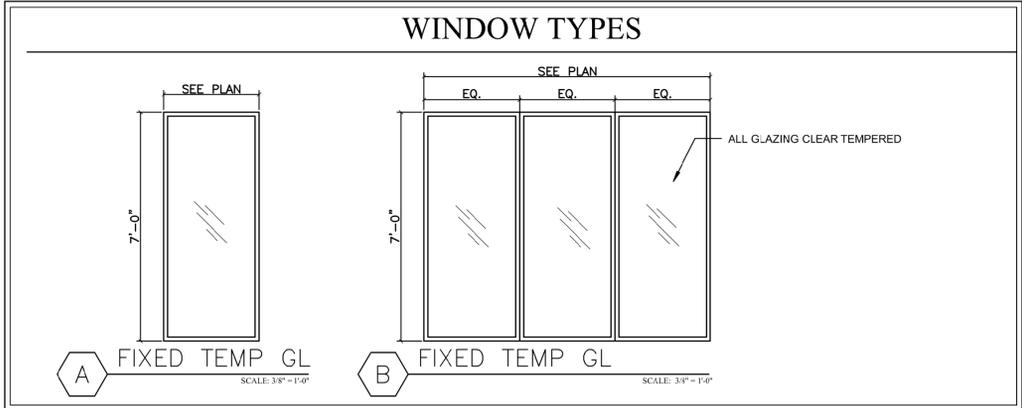
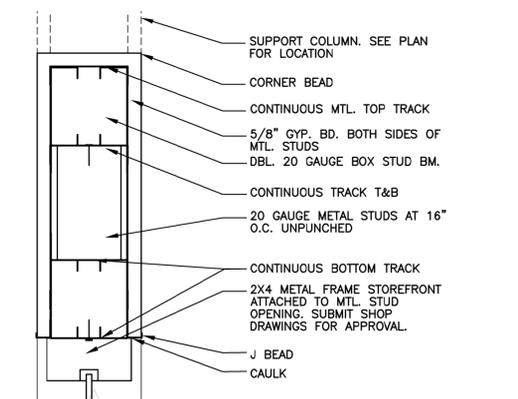
- ALL NEW DOOR HARDWARE TO MATCH EXISTING BUILDING STANDARD FOR HARDWARE AND TO BE RE-KEYED TO THE MASTER SYSTEM LSCA KEYWAY, SCHLAGE LOCK 6 PIN OR APPROVED EQUAL.
- CONTRACTOR SHALL COORDINATE ALL HARDWARE REQUIREMENTS WITH THE OWNER PRIOR TO ORDERING.
- ALL HINGES SHALL BE BRASS, BALL BEARING HINGES, COLOR SATIN CHROME.
- ALL DOOR CLOSERS TO BE BY 'LON' 4000 SERIES COMMERCIAL GRADE, ADA CODE COMPLIANT AND EQUIPPED WITH HOLD OPEN FEATURE. COLOR SATIN CHROME OR APPROVED EQUAL.
- ALL DOORS AND FRAMES SHALL HAVE DOOR SILENCERS.
- ALL HARDWARE SHALL HAVE ADA COMPLIANT LEVERS AND MATCH BUILDING STANDARD.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR DOORS TO OWNER/ARCHITECT FOR REVIEW PRIOR TO ORDERING DOORS.
- ALL LOCKSETS TO HAVE SATIN CHROME FINISH OR APPROVED EQUAL.
- ALL NEW DOORS TO HAVE FLOOR MOUNTED DOOR STOPS.

### ABBREVIATIONS:

ABV	ABOVE	GC	GENERAL CONTRACTOR	NL	NARROW LITE	SPEC	SPECIFICATION
ADDL	ADDITIONAL	GYP	GYPHUM	NG	NARROW GLASS	SS	STAINLESS STEEL
ALLM	ALUMINUM	HDWR	HARDWARE	PAP	POWDER ACTUATED FASTENER	STL	STEEL
BLDG	BUILDING	HG	HALF GLASS	PL	PLATE	TBD	TO BE DETERMINED
CL	CENTER LINE	HM	HOLLOW METAL	PNT	PAINTED	TC	TEMPERED CLEAR
CH	CHAIN LINK	IMP	IMPACT	PT	PRESSURE TREATED	TEMP	TEMPORARY
CMU	CONCRETE MASONRY UNIT	IN	INCH	PRV	PRIVACY	TYP.	TYPICAL
CONC	CONCRETE	INFO	INFORMATION	REIN	REINFORCEMENT	UC	UNDER CUT
CW	CLEAR WIRE	INT	INTERIOR	RU	ROLL UP	UNO	UNLESS NOTED
EA	EACH	LBS	POUNDS	SC	SOLID CORE	OTHERWISE	
EX	EXISTING	LMI	LARGE MISSILE IMPACT	SECT	SECTION	VP	VISION PANEL
EXT	EXTERIOR	LT	LIGHT	SF	STOREFRONT	W/	WITH
EQ	EQUAL	LVR	LOUVER	SHT	SHEET	W/O	WITHOUT
FF	FULL FLUSH	MFR	MANUFACTURER	SIM	SIMILAR	WD	WOOD
FG	FUSED GLASS	MISC	MISCELLANEOUS	SL	SIDELITE		
GA	GAUGE	MR	MOISTURE RESISTANT	SMI	SMALL MISSILE IMPACT		
		MTL	METAL	STD	STANDARD		

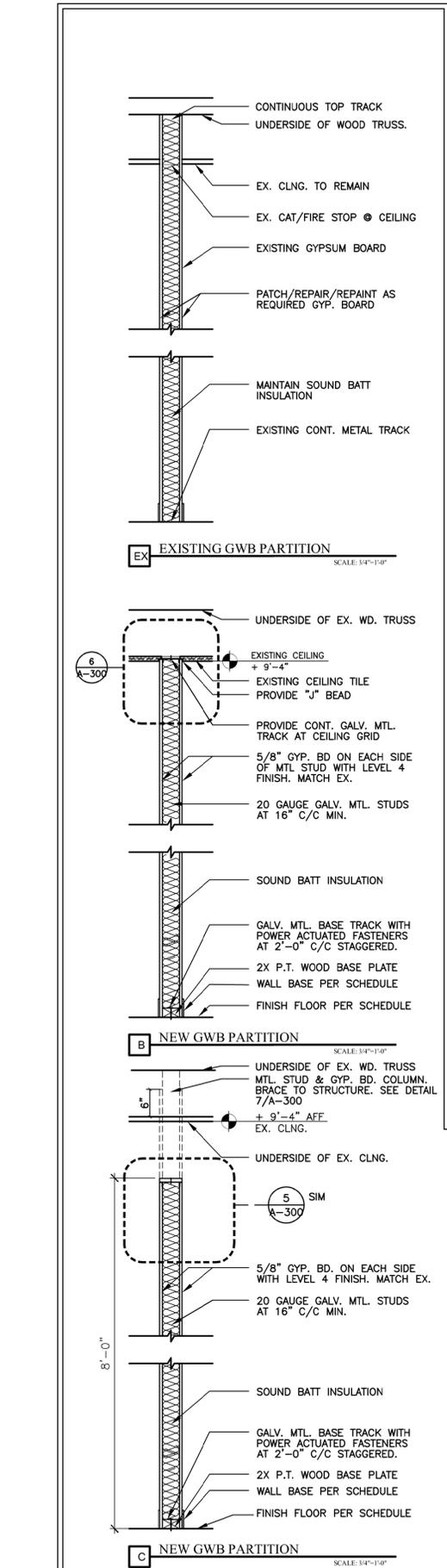
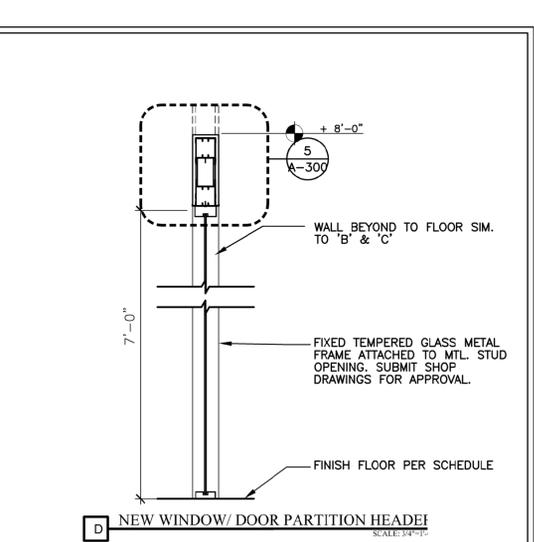
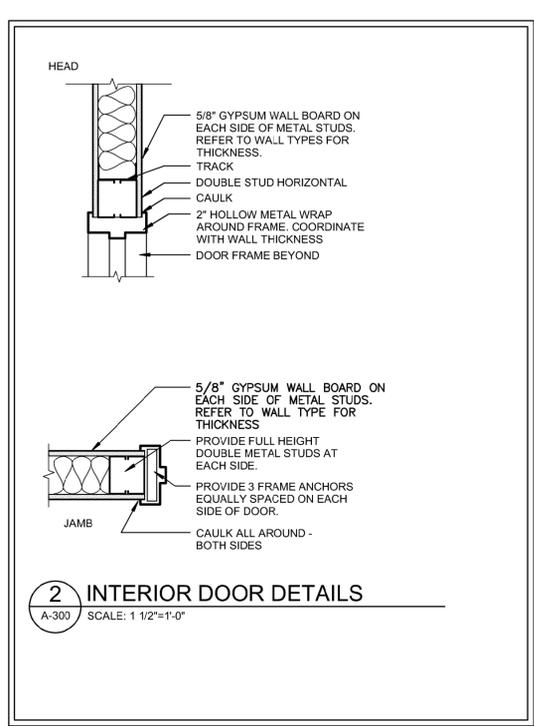
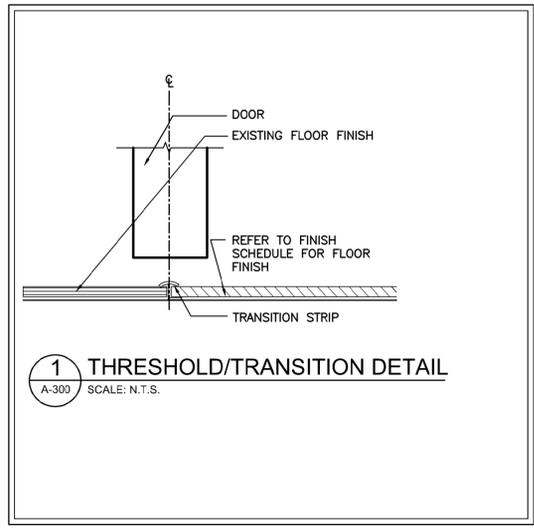
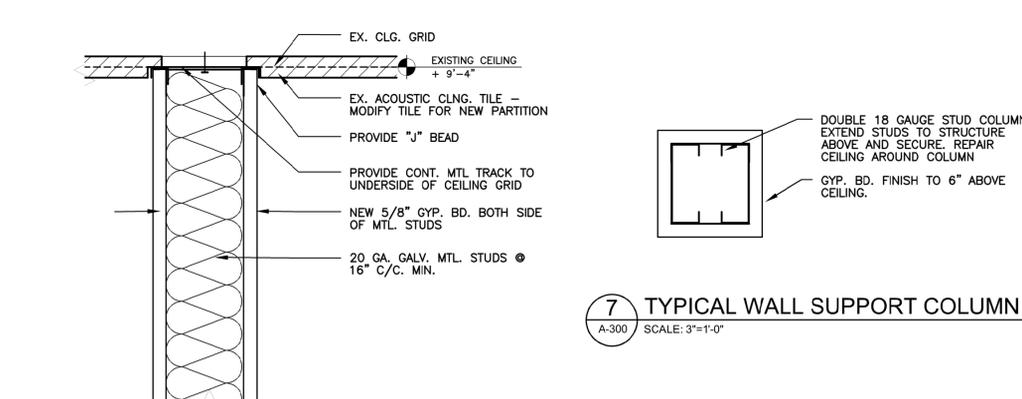
### Finishing Level Matrix

Finishing Level	Final Appearance	How to Achieve Result	Accessories & Fasteners	Surface
5	Entire surface covered with a Semigloss Brand Primer Surfer (i.e. b) Skim coat and ready to go with gloss, semigloss or enamel paint.	As in Level 4	As in Level 4	Semigloss Brand Primer Surfer (i.e. b) or skim coat and prime with CGC First Coat, Snow Brand Pre-Coat before painting or texturing.
4	No marks or ridges. Ready for priming, followed by wallcoverings, flat paints or light textures.	Two separate coats of compound over Level 2	Three separate coats of compound	Joints filled and smoothed again. Shall be primed with CGC First Coat before painting or texturing.
3	No marks or ridges. Ready for priming, to be followed by heavy texture.	One separate coat of compound over Level 2	Two separate coats of compound	Joints filled and smoothed. Spackled, primed with CGC First Coat before painting or texturing.
2	Tool marks and ridges okay. Thin coating of compound & one coat of fastener hat compound over tape.	Tape embedded in compound	One coat of compound	Free of excess compound
1	Tool marks and ridges acceptable.	Tape embedded in compound	Optional One coat of compound	Free of excess compound
0	Unfinished	None		



### WINDOW SCHEDULE

NUMBER	SIZE		MANUFACTURER	TYPE	CONSTRUC.	GLASS SPECIFICATION	FRAME / FINISH	REMARKS
	WIDTH	HEIGHT						
A	SEE PLAN	86"	TBD	FIXED	ALUMINUM.	CLEAR 1/4" TEMP.	ALUMINUM-BRONZE	
B	SEE PLAN	86"	TBD	FIXED	ALUMINUM.	CLEAR 1/4" TEMP.	ALUMINUM-BRONZE	



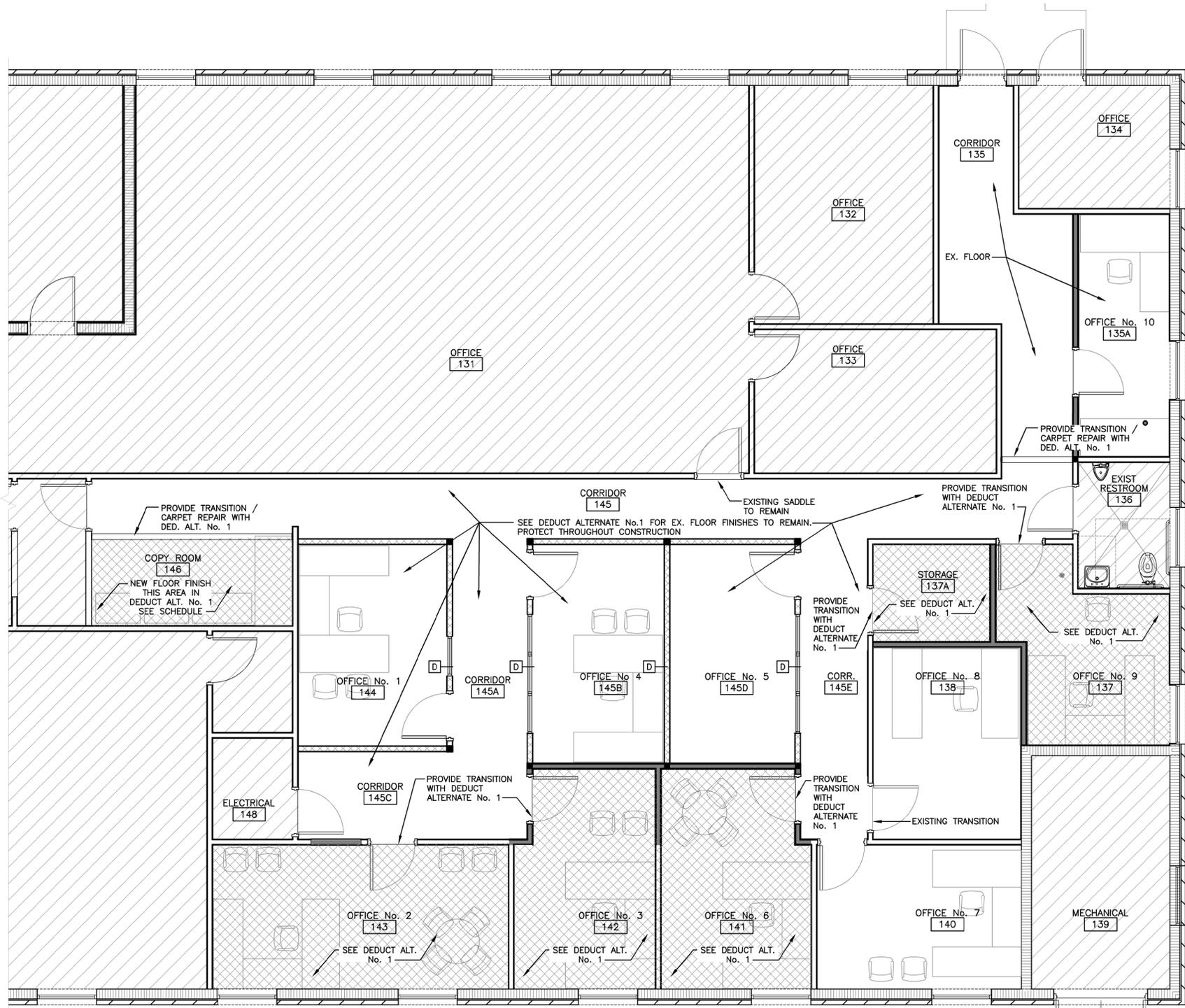
DATE: 02/28/2020

FINISH MATERIALS			
FLOORING		WALLS	
CPT-1	CARPET TILE: MOHAWK - DEXTERITY COLLECTION. BT449 INTERTHREAD TILE. COLOR: 828 BEIGE TONE. SIZE 24X24. OR APPROVED EQ.	P-1	PAINT: SHERWIN WILLIAMS FLAT LATEX, COLOR - SW 6070 HERON PLUME
VCT-1	VINYL COMP. TILE: ARMSTRONG - EXCELOX ESD. COLOR: BEACH 51960. SIZE 12X12		
BASE		CEILING	
V-1	VINYL WALL BASE: JOHNSONITE 4", COLOR - 45 SANDALWOOD. WB VERIFY MATCH EXISTING.	ACT	EXISTING TO REMAIN. DAMAGE TO EXISTING TILE DURING CONSTRUCTION IS THE CONTRACTORS RESPONSIBILITY TO REPLACE
		GYP	5/8" GYPSUM WALL BOARD BY GEORGIA PACIFIC OR EQUAL. (CEILING AND WALLS)
NOTE: COLOR SCHEME TO MATCH EXISTING. NOTIFY ARCHITECT / OWNER, PRIOR TO PURCHASE AND OR INSTALLATION. PROVIDE FINISH SAMPLES FOR REVIEW AND APPROVAL PRIOR TO APPLICATION (TYP.)			

ROOM FINISH SCHEDULE										
ROOM	NAME	FLOOR	BASE	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	CLNG.	CLNG. HT.	REMARKS
135	CORRIDOR	CPT-1	V-1 EX	P-1	P-1	P-1	P-1	EX. ACT	EX 9'-4"	PATCH AND REPAIR AS REQ'D
135A	OFFICE No. 10	VCT-1	V-1 EX	P-1	P-1	P-1	P-1	EX. ACT	EX 9'-4"	PATCH AND REPAIR AS REQ'D
137	OFFICE No. 9	CPT-1	V-1 EX	P-1	P-1	P-1	P-1	EX. ACT	EX 9'-4"	PATCH AND REPAIR AS REQ'D
137A	STORAGE	CPT-1	V-1 EX	P-1	P-1	P-1	P-1	EX. ACT	EX 9'-4"	PATCH AND REPAIR AS REQ'D
138	OFFICE No. 8	CPT-1	V-1 EX	P-1	P-1	P-1	P-1	EX. ACT	EX 9'-4"	
140	OFFICE No. 7	CPT-1	V-1 EX	P-1	P-1	P-1	P-1	EX. ACT	EX 9'-4"	
141	OFFICE No. 6	CPT-1	V-1 EX	P-1	P-1	P-1	P-1	EX. ACT	EX 9'-4"	
142	OFFICE No. 3	CPT-1	V-1 EX	P-1	P-1	P-1	P-1	EX. ACT	EX 9'-4"	
143	OFFICE No. 2	CPT-1	V-1 EX	P-1	P-1	P-1	P-1	EX. ACT/GYP	EX 9'-4"	
144	OFFICE No. 1	CPT-1	V-1 EX	P-1	P-1	P-1	P-1	EX. ACT	EX 9'-4"	
145	CORRIDOR	CPT-1	V-1 EX	P-1	P-1	P-1	P-1	EX. ACT	EX 9'-4"	
145A	CORRIDOR	CPT-1	V-1 EX	P-1	P-1	P-1	P-1	EX. ACT	EX 9'-4"	
145B	OFFICE No. 4	CPT-1	V-1 EX	P-1	P-1	P-1	P-1	EX. ACT	EX 9'-4"	
145C	CORRIDOR	CPT-1	V-1 EX	P-1	P-1	P-1	P-1	EX. ACT	EX 9'-4"	
145D	OFFICE No. 5	CPT-1	V-1 EX	P-1	P-1	P-1	P-1	EX. ACT	EX 9'-4"	
145E	CORRIDOR	CPT-1	V-1 EX	P-1	P-1	P-1	P-1	EX. ACT	EX 9'-4"	
146	COPY ROOM	CPT-1	V-1 EX	P-1	P-1	P-1	P-1	EX. ACT	EX 9'-4"	

NO. REVISION	DATE
50% CD SUBMITAL	11/15/2019
90% CD SUBMITAL	01/20/2020
100% CD PERMIT	01/31/2020
BID SET	02/28/2020

CONSULTANT:



**INTERIOR FINISH NOTES :**

ALL FINISHES COMPLY WITH N.F.P.A. 101 SEC. 8-3.3

N.F.P.A 1221 2-1.2.3. ALL FINISHES SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 50 OR LESS

CONTRACTOR SHALL PERFORM MOISTURE TEST ON ALL FLOOR SLABS TO VERIFY THAT THE MOISTURE CONTENT IS ACCEPTABLE TO THE FLOORING MANUFACTURER, PRIOR TO INSTALLING ANY FLOORING.

ALL FINISHES TO BE INSTALLED PER MANUFACTURERS RECOMMENDATION. CONTRACTOR TO SUBMIT COLOR SAMPLES & CUT SHEET OF ALL FINISHES FOR ARCHITECTS REVIEW AND APPROVAL PRIOR TO ORDERING

**INTERIOR PAINT SPECIFICATION:**

ALL ROOMS IN SCOPE OF WORK

**Gypsum Board - Walls**  
Eggshell Satin Finish  
Primer: S-W ProMar 200 Zero VOC Interior Latex Primer B28W02600 (4 mils wet, 1.5 mils dry)  
1st coat: S-W ProMar 200 Zero VOC Latex Eg-shel B20-2600 Series (4 mils wet, 1.7 mils dry per coat)  
2nd coat: S-W ProMar 200 Zero VOC Latex Eg-shel B20-2600 Series (4 mils wet, 1.7 mils dry per coat)

**Gypsum Board - Ceiling**  
Flat Finish  
Primer: S-W ProMar 200 Zero VOC Latex Primer B28W02600 (4 mils wet, 1.5 mils dry)  
1st coat: S-W ProMar 200 Zero VOC Latex Flat, B30-2600 Series (4 mils wet, 1.6 mils dry per coat)  
2nd coat: S-W ProMar 200 Zero VOC Latex Flat, B30-2600 Series (4 mils wet, 1.6 mils dry per coat)

**Wood - Doors**  
Semi-Gloss Finish  
Primer: S-W Premium Wall & Wood Interior Latex Primer B28W08111 (4 mils wet, 1.8 mils dry)  
1st coat: S-W Pro Industrial Water Based Alkyd Urethane Enamel B53-1150 Series (4.0-5.0 mils wet, 1.4-1.7 mils dry per coat)  
2nd coat: S-W Pro Industrial Water Based Alkyd Urethane Enamel B53-1150 Series (4.0-5.0 mils wet, 1.4-1.7 mils dry per coat)

Sherwin Williams Representative: Glenn J. Remler.  
954-547-1217.  
Email: glenn.j.remier@sherwin.com.

**NOTES:**

- ALL FURNITURE AND EQUIPMENT BY OWNER
- THE OWNER TO REMOVE FURNITURE OUT OF AFFECTED AREA UNTIL AFTER CONSTRUCTION IS COMPLETED.

**FINISH LEGEND**

FLOOR	BASE	WALLS	CEILING
C CARPET	CTB CERAMIC TILE	CMU MASONRY BLOCK	ACT JACOUSTICAL TILE
CTF CARPET TILE	N NONE	GB GYPSUM WALLBOARD	EXP EXPOSED STRUCTURE
CT CERAMIC TILE	PTB PORCELAIN TILE	P PAINT	GB GYPSUM WALLBOARD
EX. EXISTING	QE QUARTZ EPOXY	PT PORCELAIN TILE	P PAINT
N NONE	R RUBBER 4"	SC SKIM COAT	PA PATCH
PTF PORCELAIN TILE	V VINYL 4"	STCO STUCCO	PL PLASTER
SC SEALED CONCRETE	WD WOOD 4"	VVC VINYL WALL COVERING	STCO STUCCO
VCT VINYL COMPOSITION TILE		WT CERAMIC TILE	

**INTERIOR FINISH CLASSIFICATIONS :**

MATERIAL:	CLASSIFICATION
ACOUSTIC CEILINGS	A
CERAMIC/PORCELAIN TILE FLOORING	ASTM C650
PAINTED GYPSUM WALLBOARD	A
VINYL BASE	B

**DEDUCT ALTERNATE - NO. 1**

THE FLOORING IN THE SPACE NO.'S 137, 137A, 141, 142, 143 & 146 WILL BE REMOVED, PREPARED AND NEW CARPET INSTALLED PER SCHEDULE ON SHEET A301 - THE REMAINING ROOMS AND AREAS WILL BE EXISTING TO REMAIN WITH REPAIRS AND TRANSITIONS TO BE FURNISHED AS INDICATED.

THE CONTRACTOR SHALL PROVIDE PROTECTION OF ALL FINISHES TO REMAIN. ANY DAMAGE TO EXISTING FINISH IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR / REPLACE DAMAGE.

**PROPOSED FINISH & FURNITURE (N.I.C.) LAYOUT PLAN**  
SCALE: 1/4" = 1'-0"

CHRIS P. ZIMMERMAN, A.I.A.  
REGISTERED ARCHITECT NO. 10,995  
STATE OF FLORIDA

DATE: 02/28/2020

PARKLAND CITY HALL  
 MULTI-PURPOSE ROOM REMODEL  
 6600 UNIVERSITY DRIVE  
 PARKLAND, FL 33067  
 CPZ ARCHITECTS, INC.  
 4316 WEST BROWARD BOULEVARD, PLANTATION, FLORIDA 33317  
 200 N. EL MAR DRIVE, SUITE 201, JENSEN BEACH, FLORIDA 34957  
 WWW.CPZARCHITECTS.COM



DRAWING TITLE:  
PROPOSED FLOOR  
FINISH SCHEDULE

DRAWN LV/SL/MW  
CHECKED CPZ/MWW  
DATE 11.04.19  
SCALE AS NOTED  
PROJECT NO. 1852B  
SHEET:

**A-301**

GENERAL ELECTRICAL NOTES

- (GENERAL NOTES ARE PROVIDED AS A BASIC DESCRIPTION OF THE EXTENT AND QUALITY EXPECTED IN THIS PROJECT. IF A CONFLICT EXISTS BETWEEN THESE GENERAL NOTES AND THE REMAINDER OF THE CONTRACT DOCUMENTS THE SPECIFICATIONS, PLANS AND DETAILS WILL GOVERN.)
1. THE ENTIRE INSTALLATION SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:
A. FLORIDA STATE FIRE MARSHAL'S RULE 68A-3.012 FAC AND RULE CHAPTER 68A-400 FLORIDA ADMINISTRATIVE CODE (FAC) AND FLORIDA STATUTE SECTION 633.022.
B. NFPA 70: NATIONAL ELECTRICAL CODE (2014 EDITION)
C. NFPA 72: NATIONAL FIRE ALARM CODE (2013 EDITION)
D. NFPA 99: HEALTH CARE FACILITIES (2015 EDITION)
E. NFPA 101: LIFE SAFETY CODE (2015 EDITION)
F. NFPA 110: STANDARD FOR EMERGENCY AND STANDBY POWER SYSTEMS (2013 EDITION)
G. NFPA 780: STANDARD FOR THE INSTALLATION OF LIGHTNING PROTECTION SYSTEMS (2014 EDITION)
H. NFPA 700: STANDARD FOR THE INSTALLATION OF LIGHTNING PROTECTION SYSTEMS (2014 EDITION)
I. FLORIDA FIRE PREVENTION CODE (2015 EDITION)
IN ADDITION, THE INSTALLATION SHALL ALSO BE IN ACCORDANCE WITH THE FOLLOWING:
A. FLORIDA BUILDING CODE 2017 4th EDITION (FBC)
B. THE GUIDELINES FOR DESIGN AND CONSTRUCTION OF HEALTH CARE FACILITIES (FBI GUIDELINES, 2014 EDITION)
C. FLORIDA FIRE PREVENTION CODE (2015 EDITION)
2. AS A MINIMUM, ALL EQUIPMENT SHALL MEET APPLICABLE STANDARDS, FOR THE TYPE OF EQUIPMENT AND INTENDED USE, OF THE FOLLOWING:
A. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
B. ILLUMINATING ENGINEERS SOCIETY (IES)
C. AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)
D. NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATES (NEMA)
E. NOTE: THESE STANDARDS ARE SUBORDINATE TO CODES AND STANDARDS SET BY U.L.
F. ALL ELECTRICAL EQUIPMENT, DEVICES, WIRE, ETC., SHALL BE LISTED, FOR INTENDED USE, BY UNDERWRITER'S LABORATORIES INC. (U.L.), WHERE STANDARDS HAVE BEEN ESTABLISHED BY U.L.
3. CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK AS SHOWN AND/OR NOTED ON THE DRAWINGS.
4. THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY ALL CONDITIONS, LOCATIONS, DIMENSIONS AND COUNTS AS SHOWN OR NOTED ON THE DRAWINGS. PRIOR TO SUBMITTING BID, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK AS SHOWN AND/OR NOTED ON THE PLANS.
5. ELECTRICAL CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT UNLESS NOTED OTHERWISE.
6. IT SHALL BE UNDERSTOOD THAT ALL WORK PERFORMED SHALL BE DONE BY A LICENSED CONTRACTOR AND IN A FIRST-CLASS WORKMANLIKE MANNER. SAID CONTRACTOR SHALL MEET ALL REQUIREMENTS SET FORTH BY ANY LOCAL ORDINANCE AND GOVERNING AUTHORITIES.
7. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
8. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE, UNLESS INDICATED OR SPECIFIED OTHERWISE.
9. IT SHALL NOT BE THE INTENT OF THESE PLANS AND/OR SPECIFICATIONS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR SHALL BE EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE FOR ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING TO ORIGINAL CONDITIONS, ANY AND ALL DAMAGES TO BUILDINGS SURFACES, EQUIPMENT, ETC. CAUSED DURING THE PERFORMANCE OF WORK.
11. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE OR DELAYS AND SHALL INCLUDE REPAIR OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
12. FOR ELECTRIC POWER SYSTEM, COORDINATE POWER SERVICE WITH POWER COMPANY.
A. VERIFY LOCATION OF POWER SERVICE TERMINATION WITH POWER COMPANY, PRIOR TO SUBMITTING BID. CONTRACTOR TO VERIFY AVAILABLE SERVICE VOLTAGE AND PHASES WITH POWER COMPANY PRIOR TO BID AND PROVIDE BID ALLOWANCE FOR ALTERNATES.
B. PROVIDE TEMPORARY ELECTRICAL SERVICE FOR USE BY ALL TRADES DURING CONSTRUCTION AND REMOVE SAME AT COMPLETION OF PROJECT.
13. CONTRACTOR SHALL KEEP ALL AREAS IN WHICH WORK IS BEING PERFORMED, FREE FROM DEBRIS AT ALL TIMES AND SAID AREAS SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
14. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, AND TESTING COSTS.
15. COORDINATE ALL ELECTRICAL SITE WORK WITH ALL OTHER TRADES CONTRACTORS.
16. IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR FOR THE ADVANCE ORDERING OF LONG LEAD ITEMS, AS TO NOT INTERFERE WITH THE PRODUCTION OF OTHER TRADES RESULTING IN ANY DELAY. THE CONTRACTOR SHALL NOT ORDER ANY ITEMS UNTIL APPROVED SHOP DRAWINGS ARE RETURNED TO HIM.
17. ELECTRICAL CONTRACTOR SHALL SUBMIT (6 COPIES) EQUIPMENT LAYOUT OF ALL ELECTRICAL SPACES, ROOMS, ETC., TO ENGINEER FOR APPROVAL PRIOR TO ORDERING EQUIPMENT OR INSTALLING CONDUITS, ETC. LAYOUT SHALL CONSIST OF PLAN VIEWS (SCALED AS REQUIRED) AND ELEVATIONS (DIMENSIONED) FOR EACH SUCH SPACE, ROOM, ETC.
18. CONTRACTOR SHALL SUBMIT AT ONE TIME, SIX (6) SETS OF LOOSE-LEAF BOUND BOOKS, INDEXED WITH ALL PRODUCTS, MATERIALS, LIGHTING FIXTURES, LAMPS, WIRING DEVICES, SWITCHES, ETC. CLEARLY HIGHLIGHTING A COMPLETE EQUIPMENT QUANTITIES AND DETAILS. ALL EQUIPMENT SHALL BE AS SPECIFIED ON PLANS; THE RESPONSIBILITY TO ACCEPT OR REJECT ANY PROPOSED SUBSTITUTION REMAINS WITH THE PROJECT ENGINEER. THE CONTRACTOR MAY AT HIS JUDGMENT USE ANY ARTICLE, DEVICE, PRODUCT, OR MATERIAL WHICH IN THE JUDGMENT OF THE ENGINEER EXPRESSED IN WRITING ARE EQUAL TO THAT SPECIFIED.
19. ALL CONDUCTORS SHALL BE COPPER, TYPE THHN/THWN EXCEPT WHERE OTHERWISE REQUIRED BY U.L. OR CODES. MINIMUM WIRE SIZE SHALL BE #12 AWG, EXCLUDING CONTROL WIRING. ALUMINUM CONDUCTORS ARE NOT PERMITTED.
20. ALL CONDUCTORS SHALL BE IN CONDUITS. ALL CONDUITS SHALL BE GALVANIZED RIGID STEEL (GRS) EXCEPT THAT: (a) PVC CONDUITS MAY BE USED UNDERGROUND PROVIDED ELBOWS AND RISERS ARE GALVANIZED RIGID STEEL OR SCHEDULE 80 PVC, WHERE SUBJECT TO PHYSICAL DAMAGE; (b) ELECTRICAL METAL TUBING (EMT) MAY BE USED IN OR ON WALLS OR CEILING WHERE NOT SUBJECT TO MECHANICAL DAMAGE, DAMP OR CORROSIVE CONDITIONS; (c) LIQUID TIGHT FLEXIBLE CONDUIT WHERE REQUIRED; (d) FLEXIBLE METALLIC CONDUIT WHERE REQUIRED IN DRY LOCATIONS ONLY; (e) MC CABLE WITH DEDICATED GREEN GROUNDING CONDUCTOR WHERE PERMITTED; (f) ALL CONDUITS IN HAZARDOUS AREAS (PER NEC) SHALL MEET THE REQUIREMENTS OF NEC CHAPTER 5.
21. FOR UNDERGROUND ELECTRICAL CONDUITS, PROVIDE PULL BOXES, SUCH THAT NO SINGLE CONDUIT RUN HAS BENDS IN EXCESS OF 360°. PULL BOXES SHALL BE SUITABLE AND APPROVED FOR THE INTENDED USE. WARNING TAPE WHICH SAYS "WARNING BURIED ELECTRIC" SHALL BE PLACED IN TRENCHES ABOVE ALL UNDERGROUND ELECTRICAL CONDUITS, WHERE CONDUITS PASS UNDER PAVED AREAS, THEY SHALL BE PVC. WHERE UNDERGROUND CONDUITS ARE NOT EXPOSED TO MECHANICAL DAMAGE OR ARE NOT UNDER PAVED AREAS, THEY SHALL BE SCHEDULE 40 PVC.
22. ALL CONDUIT RUNS ARE SHOWN DIAGRAMMATIC. EXACT ROUTING SHALL BE DETERMINED IN THE FIELD, UNLESS OTHERWISE NOTED.
23. WIREWAYS SHALL BE SIZED AS REQUIRED, PER NEC, UNLESS OTHERWISE NOTED (UON). WHERE CORE DRILLING OF FLOOR/WALLS IS REQUIRED, CONTRACTOR SHALL SEAL OPENINGS WATER TIGHT AFTER UTILITIES HAVE BEEN INSTALLED. LOCATION OF CORED HOLES SHALL COORDINATE WITH LOCATION OF EQUIPMENT IN A MANNER TO BE CLEAN AND FUNCTIONAL. THE CONTRACTOR SHALL INSTALL ONLY ONE CONDUIT PER HOLE AND SEAL THE OPENING AROUND THE CONDUIT AS SPECIFIED.
24. PROVIDE FIRE RETARDANT U.L. APPROVED SEALANT ON ALL PENETRATIONS OF FIRE RATED PARTITIONS, WALLS AND STRUCTURAL SLABS. CONTRACTOR TO VERIFY, PRIOR TO SUBMITTING BID, LOCATIONS OF ALL SUCH FIRE RATED PARTITIONS, WALL AND STRUCTURAL SLABS.
25. UNLESS NOTED AS EXISTING, ALL EQUIPMENT, WIRING, DEVICES, ETC. SHALL BE NEW.
26. ALL CIRCUIT BREAKERS SHALL BE INVERSE TIME TYPE (THERMAL MAGNETIC OR SOLID STATE AS REQUIRED BY SPECIFICATION). TWO AND THREE POLE CIRCUIT BREAKERS SHALL BE COMMON TRIP. NO THE HANDLES PERMITTED.
27. CONTRACTOR SHALL COMPLY WITH 2014 FBC SECTION R404.1. MINIMUM OF 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.
28. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF LIGHT FIXTURES.
29. COORDINATE TYPE OF CEILING FOR EACH FIXTURE WITH ARCHITECTURAL REFLECTED CEILING PLANS AND PROVIDE FIXTURE TRIM AS REQUIRED.
30. ALL COMPACT FLUORESCENT DOWNLIGHTS SHALL USE LAMPS WITH 3500K TEMPERATURE, MINIMUM 10,000 HOUR LIFE, ELECTRONIC BALLAST, UNLESS OTHERWISE NOTED.
31. PROVIDE APPROVED FIRE RATED ENCLOSURES FOR ALL LIGHT FIXTURES LOCATED IN FIRE RATED CEILING.
32. FIXTURES IN AREAS WITHOUT CEILING, OR IN MECHANICAL AND ELECTRICAL ROOMS SHALL BE MOUNTED WITH CHANNEL SUPPORT SUSPENDED FROM ROOF STRUCTURE WITH THREAD RODS. FIXTURES SHALL BE MOUNTED 10"-0" A.F.F.
33. ALL ACRYLIC LENSED FIXTURES SHALL HAVE A LENS THICKNESS OF .125 INCHES MINIMUM.
34. HALF SHADED FIXTURES DENOTE EMERGENCY FIXTURES EITHER WITH 1100 LUMEN EMERGENCY BATTERY PACK OR ON LIFE SAFETY CIRCUIT.
35. LIGHTING FIXTURE SCHEDULE IS PREDICTED ON PERFORMANCE AND IS DESIGNED TO MEET CERTAIN AESTHETIC CRITERIA. ALL ALTERNATIVE SELECTIONS MUST BE SUBMITTED FOR PRIOR APPROVAL TEN (10) DAYS PRIOR TO BID DATE.
36. ALL BALLASTS SHALL HAVE MINIMUM POWER FACTOR OF 0.90. ALL BALLASTS FOR METAL HALIDE AND HIGH PRESSURE SODIUM FIXTURES SHALL BE CONSTANT WATTAGE TYPE WITH +/-5% LAMP WATTS FOR +/-10% NOMINAL LINE VOLTAGE VARIATION.
37. PROVIDE LAMPS WITH FIXTURES. VERIFY LAMP TYPE WITH MANUFACTURER.
38. FLUORESCENT LUMINAIRES THAT UTILIZE DOUBLE-ENDED LAMPS AND CONTAIN BALLAST(S) OR MULTIPLE BALLASTED LUMINAIRES SHALL CONTAIN AN INTEGRATED INTERNAL DISCONNECT AND BE COMPLIED WITH NEC 410.130(C).
39. ALL OPENINGS FOR LIGHT FIXTURES IN CEILING SHALL BE PROTECTED IN A MANNER (PER ALL GOVERNING CODES) THAT WILL PROVIDE THE SAME RATING AS THE CEILING. (THIS APPLIES TO ALL FIRE RATED CEILING).
40. FOR EMERGENCY EXIT SIGNS AND EMERGENCY BATTERY PACKS MAKE CONNECTION AHEAD OF ALL SWITCHES AND CONTROLS.
41. PROVIDE A FUSE HOLDER AND FUSE (BUSSMAN HEB AND FNO OR EQUAL), IN THE PRIMARY SIDE OF EACH UNGROUNDED CONDUCTOR FOR ALL BALLASTS AT THE HAND HOLE OF EACH EXTERIOR POLE MOUNTED LIGHTING FIXTURE OR J-BOX FOR WALL OR GROUND MOUNTED FIXTURE.
42. PROVIDE WIND LOAD RATED LIGHT POLES WITH 170 MPH MINIMUM WIND SPEED (ASSE ?). EXPOSURE C WITH IMPORTANCE FACTOR OF 1.0, AND PROVIDE PHOTOMETRICS WITH ALL FIXTURE SUBMITTALS. CONTRACTOR TO VERIFY VOLTAGES OF ALL LIGHT FIXTURES PRIOR TO BIDDING.
43. PHOTOMETRICS ARE BASED ON MANUFACTURER'S INFORMATION AND CATALOG NUMBERS. ALTERNATIVE MANUFACTURERS MUST PROVIDE THE IESNA FORMAT ELECTRIC FILES OF THE INDEPENDENT TEST LAB REPORTS FOR THE PROPOSED FIXTURES ON CD OR USB DRIVE 10 WORKING DAYS PRIOR TO BID. (SPECIFIER) WILL CONFIRM THAT THE PHOTOMETRIC CRITERIA HAS BEEN MET, AND IF ALTERNATE IS APPROVED WILL ISSUE AN ADDENDUM. MANUFACTURERS NOT LISTED ON THE PLANS OR IN AN ADDENDUM WILL NOT BE ACCEPTED.
44. TO CONFIRM THAT THE SPECIFIED PHOTOMETRIC CRITERIA HAS BEEN MET, A COMPUTER DISK CONTAINING AN IES FILE FOR THE PROPOSED ALTERNATE FIXTURE MUST BE SUBMITTED TO (SPECIFIER) FOR EVALUATION NO LESS THAN 10 DAYS PRIOR TO BID. ANY ACCEPTABLE ALTERNATE MUST BE APPROVED IN WRITING PRIOR TO BID DATE.
45. CONTRACTOR MUST BID PROJECT USING SPECIFIED LIGHTING FIXTURES AS BASE BID (NO EXCEPTIONS). IF ALTERNATE FIXTURES ARE PROPOSED, THEY MUST BE BID AS AN ALTERNATE BID MUST INCLUDE:
A) TOTAL DOLLAR CREDIT TO OWNER IF ALTERNATE IS ACCEPTED.
B) LINE ITEM CREDIT FOR EACH ALTERNATE FIXTURE PROPOSED.
C) CATALOG SUBMITTAL DATA FOR EACH ALTERNATE FIXTURE PROPOSED.
46. IF THERE IS A DISCREPANCY BETWEEN A FIXTURE DESCRIPTION AND GENERAL NOTES, AND THE CATALOG NUMBER LISTED, THE FIXTURE DESCRIPTION AND GENERAL NOTES SHALL GOVERN.
47. COORDINATE FIXTURE TYPES WITH ARCHITECTURAL DRAWINGS.
48. INTERNALLY ILLUMINATED EXIT SIGNS SHALL NOT EXCEED 5 WATTS PER SIDE.
49. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN INSTALLED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS MEETING ASTM E 283 WHEN TESTED AT 75 Pa PRESSURE DIFFERENTIAL WITH NO MORE THAN 2.0 CFM OF AIR PERMETER FROM THE UNCONDITIONED SPACE TO THE CEILING CAVITY. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.
50. ALL EXTERIOR PARKING LIGHTING SHALL MEET IES ILLUMINATION STANDARDS AND LOCAL CODE REQUIRED FOOTCANDLE LEVELS. ILLUMINATION LEVELS SHALL BE MEASURED WITH A FOOTCANDLE METER AT COMPLETION OF THE PROJECT BY A REGISTERED ELECTRICAL ENGINEER AND SAID ENGINEER SHALL ISSUE A LETTER ATTESTING TO COMPLIANCE WITH ALL CODE REQUIREMENTS.
51. PROVIDE WIND LOAD RATED LIGHT POLES WITH 170 MPH MINIMUM WIND SPEED (ASSE ?). EXPOSURE C WITH IMPORTANCE FACTOR OF 1.0, AND PROVIDE PHOTOMETRICS WITH ALL FIXTURE SUBMITTALS. CONTRACTOR TO VERIFY VOLTAGES OF ALL LIGHT FIXTURES PRIOR TO BIDDING.
52. PHOTOMETRICS ARE BASED ON MANUFACTURER'S INFORMATION AND CATALOG NUMBERS. ALTERNATIVE MANUFACTURERS MUST PROVIDE THE IESNA FORMAT ELECTRIC FILES OF THE INDEPENDENT TEST LAB REPORTS FOR THE PROPOSED FIXTURES ON CD OR USB DRIVE 10 WORKING DAYS PRIOR TO BID. (SPECIFIER) WILL CONFIRM THAT THE PHOTOMETRIC CRITERIA HAS BEEN MET, AND IF ALTERNATE IS APPROVED WILL ISSUE AN ADDENDUM. MANUFACTURERS NOT LISTED ON THE PLANS OR IN AN ADDENDUM WILL NOT BE ACCEPTED.
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B) LINE ITEM CREDIT FOR EACH ALTERNATE FIXTURE PROPOSED.
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56. COORDINATE FIXTURE TYPES WITH ARCHITECTURAL DRAWINGS.
57. INTERNALLY ILLUMINATED EXIT SIGNS SHALL NOT EXCEED 5 WATTS PER SIDE.
58. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN INSTALLED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS MEETING ASTM E 283 WHEN TESTED AT 75 Pa PRESSURE DIFFERENTIAL WITH NO MORE THAN 2.0 CFM OF AIR PERMETER FROM THE UNCONDITIONED SPACE TO THE CEILING CAVITY. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.
59. ALL EXTERIOR PARKING LIGHTING SHALL MEET IES ILLUMINATION STANDARDS AND LOCAL CODE REQUIRED FOOTCANDLE LEVELS. ILLUMINATION LEVELS SHALL BE MEASURED WITH A FOOTCANDLE METER AT COMPLETION OF THE PROJECT BY A REGISTERED ELECTRICAL ENGINEER AND SAID ENGINEER SHALL ISSUE A LETTER ATTESTING TO COMPLIANCE WITH ALL CODE REQUIREMENTS.

GENERAL LIGHTING NOTES:

- 1. CONTRACTOR SHALL COMPLY WITH 2014 FBC SECTION R404.1. MINIMUM OF 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.
2. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF LIGHT FIXTURES.
3. COORDINATE TYPE OF CEILING FOR EACH FIXTURE WITH ARCHITECTURAL REFLECTED CEILING PLANS AND PROVIDE FIXTURE TRIM AS REQUIRED.
4. ALL COMPACT FLUORESCENT DOWNLIGHTS SHALL USE LAMPS WITH 3500K TEMPERATURE, MINIMUM 10,000 HOUR LIFE, ELECTRONIC BALLAST, UNLESS OTHERWISE NOTED.
5. PROVIDE APPROVED FIRE RATED ENCLOSURES FOR ALL LIGHT FIXTURES LOCATED IN FIRE RATED CEILING.
6. FIXTURES IN AREAS WITHOUT CEILING, OR IN MECHANICAL AND ELECTRICAL ROOMS SHALL BE MOUNTED WITH CHANNEL SUPPORT SUSPENDED FROM ROOF STRUCTURE WITH THREAD RODS. FIXTURES SHALL BE MOUNTED 10"-0" A.F.F.
7. ALL ACRYLIC LENSED FIXTURES SHALL HAVE A LENS THICKNESS OF .125 INCHES MINIMUM.
8. HALF SHADED FIXTURES DENOTE EMERGENCY FIXTURES EITHER WITH 1100 LUMEN EMERGENCY BATTERY PACK OR ON LIFE SAFETY CIRCUIT.
9. LIGHTING FIXTURE SCHEDULE IS PREDICTED ON PERFORMANCE AND IS DESIGNED TO MEET CERTAIN AESTHETIC CRITERIA. ALL ALTERNATIVE SELECTIONS MUST BE SUBMITTED FOR PRIOR APPROVAL TEN (10) DAYS PRIOR TO BID DATE.
10. ALL BALLASTS SHALL HAVE MINIMUM POWER FACTOR OF 0.90. ALL BALLASTS FOR METAL HALIDE AND HIGH PRESSURE SODIUM FIXTURES SHALL BE CONSTANT WATTAGE TYPE WITH +/-5% LAMP WATTS FOR +/-10% NOMINAL LINE VOLTAGE VARIATION.
11. PROVIDE LAMPS WITH FIXTURES. VERIFY LAMP TYPE WITH MANUFACTURER.
12. FLUORESCENT LUMINAIRES THAT UTILIZE DOUBLE-ENDED LAMPS AND CONTAIN BALLAST(S) OR MULTIPLE BALLASTED LUMINAIRES SHALL CONTAIN AN INTEGRATED INTERNAL DISCONNECT AND BE COMPLIED WITH NEC 410.130(C).
13. ALL OPENINGS FOR LIGHT FIXTURES IN CEILING SHALL BE PROTECTED IN A MANNER (PER ALL GOVERNING CODES) THAT WILL PROVIDE THE SAME RATING AS THE CEILING. (THIS APPLIES TO ALL FIRE RATED CEILING).
14. FOR EMERGENCY EXIT SIGNS AND EMERGENCY BATTERY PACKS MAKE CONNECTION AHEAD OF ALL SWITCHES AND CONTROLS.
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16. PROVIDE WIND LOAD RATED LIGHT POLES WITH 170 MPH MINIMUM WIND SPEED (ASSE ?). EXPOSURE C WITH IMPORTANCE FACTOR OF 1.0, AND PROVIDE PHOTOMETRICS WITH ALL FIXTURE SUBMITTALS. CONTRACTOR TO VERIFY VOLTAGES OF ALL LIGHT FIXTURES PRIOR TO BIDDING.
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19. CONTRACTOR MUST BID PROJECT USING SPECIFIED LIGHTING FIXTURES AS BASE BID (NO EXCEPTIONS). IF ALTERNATE FIXTURES ARE PROPOSED, THEY MUST BE BID AS AN ALTERNATE BID MUST INCLUDE:
A) TOTAL DOLLAR CREDIT TO OWNER IF ALTERNATE IS ACCEPTED.
B) LINE ITEM CREDIT FOR EACH ALTERNATE FIXTURE PROPOSED.
C) CATALOG SUBMITTAL DATA FOR EACH ALTERNATE FIXTURE PROPOSED.
20. IF THERE IS A DISCREPANCY BETWEEN A FIXTURE DESCRIPTION AND GENERAL NOTES, AND THE CATALOG NUMBER LISTED, THE FIXTURE DESCRIPTION AND GENERAL NOTES SHALL GOVERN.
21. COORDINATE FIXTURE TYPES WITH ARCHITECTURAL DRAWINGS.
22. INTERNALLY ILLUMINATED EXIT SIGNS SHALL NOT EXCEED 5 WATTS PER SIDE.
23. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN INSTALLED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS MEETING ASTM E 283 WHEN TESTED AT 75 Pa PRESSURE DIFFERENTIAL WITH NO MORE THAN 2.0 CFM OF AIR PERMETER FROM THE UNCONDITIONED SPACE TO THE CEILING CAVITY. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.
24. ALL EXTERIOR PARKING LIGHTING SHALL MEET IES ILLUMINATION STANDARDS AND LOCAL CODE REQUIRED FOOTCANDLE LEVELS. ILLUMINATION LEVELS SHALL BE MEASURED WITH A FOOTCANDLE METER AT COMPLETION OF THE PROJECT BY A REGISTERED ELECTRICAL ENGINEER AND SAID ENGINEER SHALL ISSUE A LETTER ATTESTING TO COMPLIANCE WITH ALL CODE REQUIREMENTS.

ELECTRICAL SYMBOL LEGEND

Table with columns: SYMBOL, DESCRIPTION. Includes symbols for lighting fixtures, switches, outlets, and various electrical components with their corresponding descriptions.

SYSTEMS SYMBOL LEGEND

Table with columns: SYMBOL, DESCRIPTION. Includes symbols for call back push button, circuit breaker, security system keypad, clock, bell, air handling unit, transformer, automatic transfer switch, telephone/computer racyway system, security system camera, and various other system components.

ELECTRICAL INDEX

Table with columns: DRAWING, INDEX. Lists drawings and their corresponding index numbers for electrical components.

SHOP DRAWING REQUIREMENTS

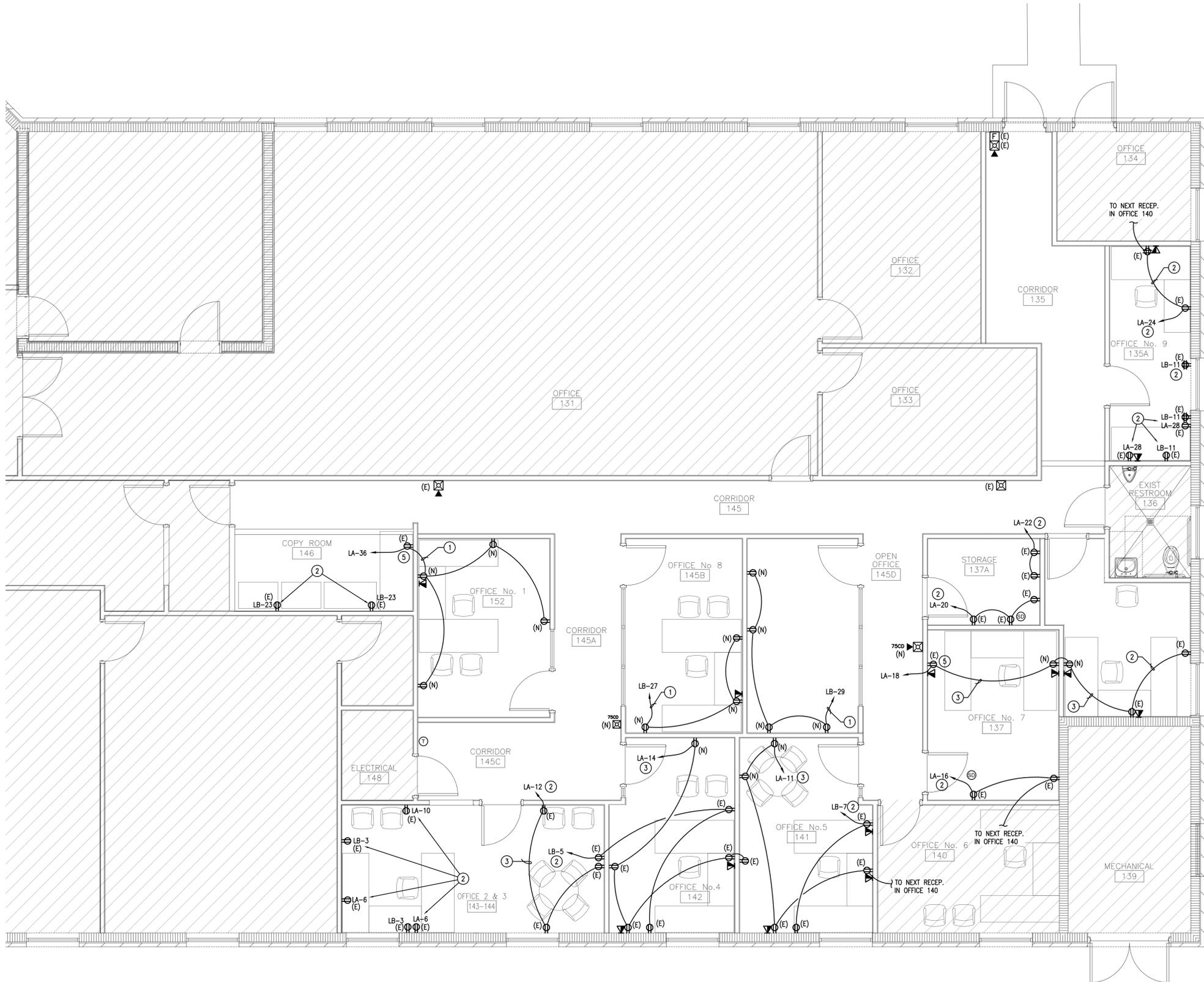
- 1. CONTRACTOR SHALL SUBMIT 6 COPIES OF COMPLETED SHOP DRAWINGS, TOGETHER WITH ONE TIME AND MUST COME THROUGH THE ARCHITECT. ALL SUBMITTALS SHALL BE MADE WITHIN 30 DAYS OF NOTICE TO PROCEED.
2. ALL SUBMITTALS MUST CLEARLY INDICATE EXACTLY WHICH ITEMS ARE BEING PROPOSED FOR USE, IF NOT, THE SUBMITTAL SHALL BE REJECTED.
3. SUBSTITUTIONS SHALL BE LIMITED TO ONE OF THE ALTERNATES LISTED IN THE CONSTRUCTION DOCUMENTS. PRODUCTS CONSIDERED TO BE EQUAL SHALL BE REVIEWED AND ACCEPTED BY THE ENGINEER, ARCHITECT AND OWNER (10) DAYS PRIOR TO BID DATE.
4. THE CONTRACTOR ASSUMES ALL DESIGN RESPONSIBILITY AND ALL FINANCIAL RISKS FOR CHANGES MANDATED BY THE AUTHORITY HAVING JURISDICTION WILL NOT BE MADE BY THIS OFFICE UNLESS ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR, AND RELEASED ON A C.O.D. BASIS.
5. SHOP DRAWINGS AND SUBMITTALS FOR EACH ITEM SHALL BE REVIEWED NO MORE THAN TWO. A THIRD SUBMITTAL ON AN ITEM MUST BE ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR OR IT SHALL BE REJECTED.
6. CIRCUMSTANCES NECESSITATING A REVISION TO THE PERMITTED DOCUMENTS MUST BE LEGIBLE, ACCURATE AND ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR. THE REVISION SHALL BE CHARGED TO THE CONTRACTOR AND DELIVERED TO THE ARCHITECT AND ENGINEER WITHIN 10 DAYS OF NOTICE TO PROCEED.
7. SUBSTITUTIONS FROM THE BASE DESIGN OR VARIATIONS TO THE PERMITTED CONTRACT DOCUMENTS, WHETHER RESULTING FROM PROCESSED SHOP DRAWINGS OR NOT, THAT RESULT IN REQUIREMENTS IN LETTERS OF AUTHORIZATION AND/OR PERMIT CONTRACT DOCUMENT CHANGES MANDATED BY THE AUTHORITY HAVING JURISDICTION WILL NOT BE MADE BY THIS OFFICE UNLESS ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR, AND RELEASED ON A C.O.D. BASIS.
8. CONTRACTOR SHALL SUBMIT 5 COPIES OF EQUIPMENT LAYOUTS OF ALL ELECTRICAL SPACES, ROOMS, ETC. TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING EQUIPMENT OR INSTALLING CONDUITS, ETC. THE LAYOUTS SHALL CONSIST OF PLAN VIEWS AT A SCALE OF 1/2" = 10" AND ELEVATIONS FOR EACH SUCH SPACE OR ROOM, ETC.

PARKLAND CITY HALL
MULTI-PURPOSE ROOM REMODEL
6600 UNIVERSITY DRIVE
PARKLAND, FL 33067
CPZ ARCHITECTS, INC.
4716 WEST BROWARD BOULEVARD
PLANTATION, FLORIDA 33317
PHONE: (954) 792-8823
FAX: (954) 337-0539
WWW.CPZARCHITECTS.COM



DRAWING TITLE:
INDEX, SYMBOL LEGEND AND NOTES
DRAWN RM/MO
CHECKED GSJ
DATE 01.31.20
SCALE AS NOTED
PROJECT NO. 1852B
SHEET:

DELTA G CONSULTING ENGINEERS, INC.
707 N.E. 3rd AVE., SUITE 200
PORT LAUDERDALE, FL 33304
(954) 527-1112
CA#00009181
GEORGE SANJUAN, P.E.
FLORIDA LICENSE #46100
PJT MGR: MARY KAY GONZALEZ
PROJECT #: 191108



- KEYNOTES**
- 1 INTERCEPT EXISTING CIRCUIT AND RECONNECT NEW RECEPTACLES AS INDICATED.
  - 2 EXISTING TO REMAIN: NO CHANGES NEEDED.
  - 3 INTERCEPT EXISTING CIRCUIT IN THE DEMOLISHED WALL, REROUTE AND RECONNECT AS INDICATED.
  - 4 EXISTING RECEPTACLE ON THIS WALL. RELOCATE IF NECESSARY WHEN OPEN THE DOORWAY.
  - 5 BEGINNING OF THE CIRCUIT. REROUTE WIRES TO NEW OUTLETS AS INDICATED. FIELD VERIFY.

 PROPOSED FLOOR PLAN - POWER

SCALE: 1/4" = 1'-0"

PARKLAND CITY HALL  
 MULTI-PURPOSE ROOM REMODEL  
 6600 UNIVERSITY DRIVE  
 PARKLAND, FL 33067

CPZ ARCHITECTS, INC.  
 4316 WEST BROWARD BOULEVARD  
 PLANTATION, FLORIDA 33317  
 PHONE: (954) 792-8525  
 FAX: (954) 337-0359  
 AA #25000685 WWW.CPZARCHITECTS.COM



DRAWING TITLE:  
 PROPOSED  
 FLOOR PLAN -  
 POWER

DRAWN	RM/MO
CHECKED	GSJ
DATE	01.31.20
SCALE	AS NOTED
PROJECT NO.	1852B
SHEET:	

**DELTA G CONSULTING ENGINEERS, INC.**  
 707 N.E. 3rd AVE., SUITE 200  
 FORT LAUDERDALE, FL 33304  
 (954) 527-1112  
 CA#0009181

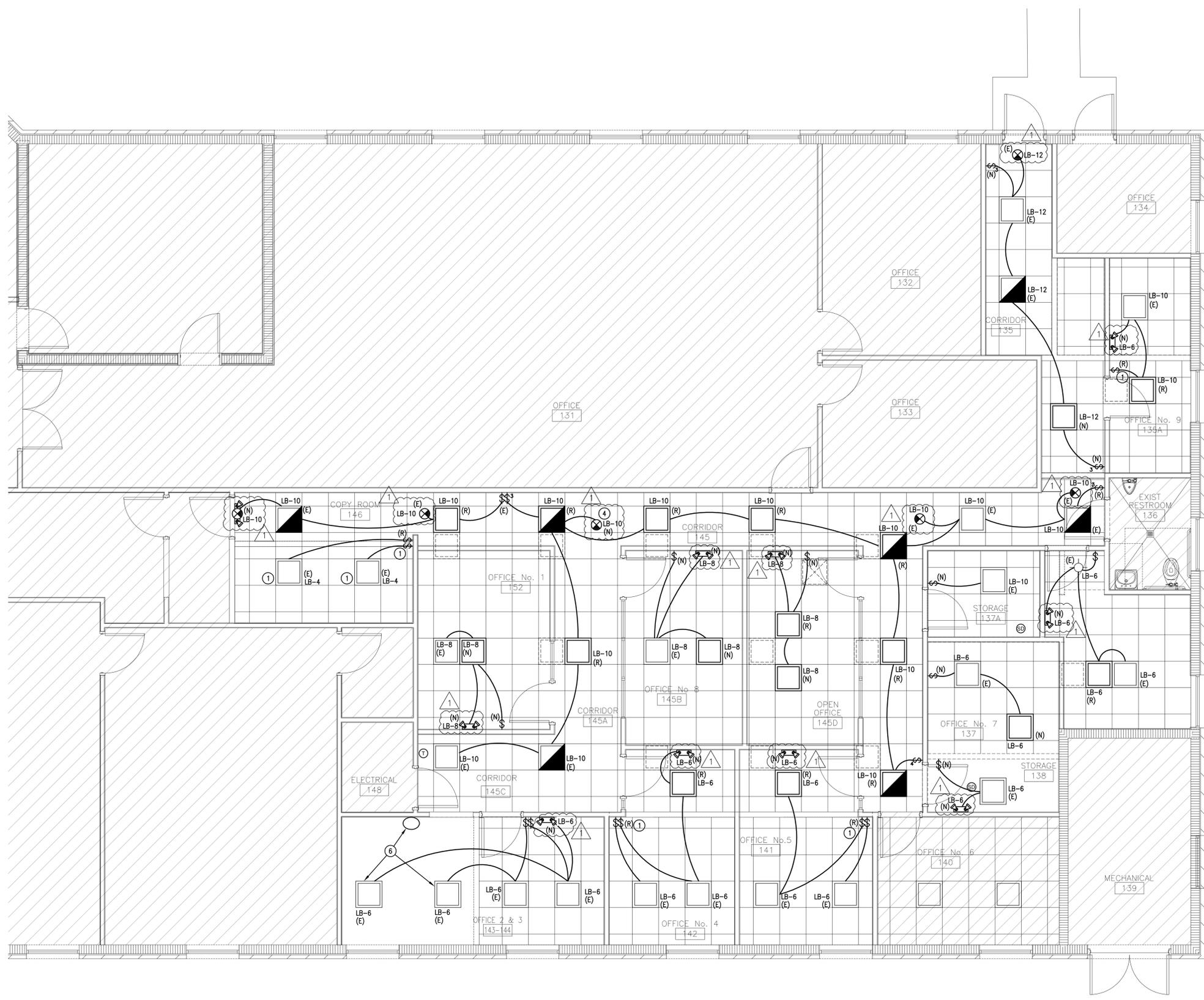
GEORGE SANJUAN, P.E.  
 FLORIDA LICENSE #46100

PJT. MGR: MARY KAY GONZALEZ  
 PROJECT #: 191108

CONSULTANT:

PARKLAND CITY HALL  
 MULTI-PURPOSE ROOM REMODEL  
 6600 UNIVERSITY DRIVE  
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- KEYNOTES**
- 1 RELOCATE EXISTING SWITCHES AS INDICATED. KEEP LIGHT FIXTURES CONNECTED TO EXISTING CIRCUIT AS THEY WERE.
  - 2 RECONNECT RELOCATED LIGHT FIXTURE TO EXISTING CIRCUIT LB-10 AS INDICATED.
  - 3 MOST OF THE LIGHT FIXTURES ARE EXISTING TO REMAIN. RELOCATE WHEN INDICATED. PROVIDE NEW FIXTURES SAME EXISTING TYPE WHEN INDICATED.
  - 4 CONNECT ALL EXIT SIGNS AND BATTERY PACKS IN EMERGENCY LIGHT FIXTURES AHEAD OF ANY LIGHTING CONTROL DEVICE FOR CONTINUOUS OPERATION OF THE BATTERY CHARGER (TYP.).
  - 5 NOTE: (E) EXISTING TO REMAIN; (R) EXISTING BUT RELOCATED; (N) NEW ITEM.
  - 6 DISCONNECT EXISTING LIGHT FIXTURES FROM THE SWITCHES IN THE OFFICE 144 AND RECONNECT THEM TO LIGHT FIXTURES IN OFFICE 145.



DRAWING TITLE:  
 PROPOSED  
 FLOOR PLAN -  
 LIGHTING

DRAWN	RM/MO
CHECKED	GSJ
DATE	01.31.20
SCALE	AS NOTED
PROJECT NO.	1852B
SHEET:	

 PROPOSED FLOOR PLAN - LIGHTING

SCALE: 1/4" = 1'-0"

**DELTA G CONSULTING ENGINEERS, INC.**  
 707 N.E. 3rd AVE., SUITE 200  
 FORT LAUDERDALE, FL 33304  
 (954) 527-1112  
 CA#0009181

GEORGE SANJUAN, P.E.  
 FLORIDA LICENSE #46100

PJT. MGR: MARY KAY GONZALEZ  
 PROJECT #: 191108

**PANEL "LA"**

TYPE: EXISTING  
 MOUNTING: SURFACE  
 ENCLOSURE: NEMA 1  
 SUPPLY FROM: MAIN DISTRIB. PANEL "MDP"

RATED VOLTAGE: 120/208V, 3Ph, 4W  
 BUS RATING: 250 AMPS  
 A.I.C. RATING: 10 KAIC  
 BRANCH POLES: 42 CIRCUITS

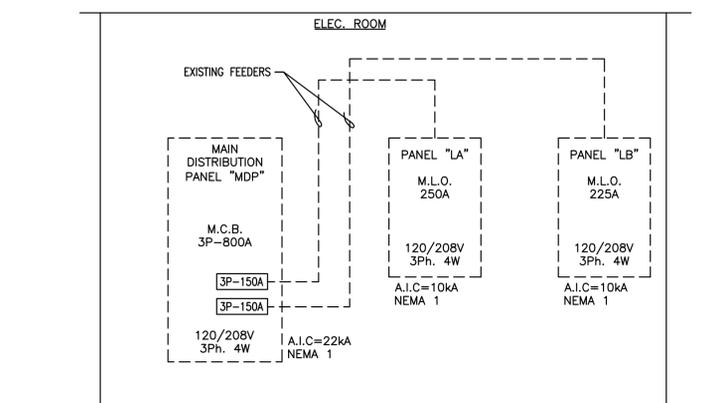
MAINS: M.L.O.  
 FEED LOCATION: TOP  
 SYSTEM: NORMAL  
 LOCATION: ELECTRICAL ROOM

ID	LOAD SERVED	COND.	EQ. GND.	WIRE AWG	TYPE	TRIP [A]	CKT	Phase A [kVA]	Phase B [kVA]	Phase C [kVA]	CKT	TRIP [A]	TYPE	WIRE AWG	EQ. GND.	COND.	LOAD SERVED	ID	
R	RECEP. RM. 130	-	-	-	-	20	1	-	0.9	-	2	20	-	EX.	EX.	EX.	RECEP. RM. 150-151	R	
R	RECEP. RM. 145	EX.	EX.	EX.	-	20	3	-	-	0.9	0.9	4	20	-	EX.	EX.	EX.	RECEP. RM. 150-151	R
R	RECEP. RM. 145	EX.	EX.	EX.	-	20	5	-	-	-	-	6	20	-	EX.	EX.	EX.	RECEP. RM. 144-149	R
R	RECEP. RM. 126	EX.	EX.	EX.	-	20	7	0.9	0.9	-	-	8	20	-	EX.	EX.	EX.	RECEP. RM. 144-149	R
R	RECEP. OUTSIDE	EX.	EX.	EX.	-	20	9	-	-	0.9	0.9	10	20	-	EX.	EX.	EX.	RECEP. RM. 144-149	R
R	RECEP. RM 140-141	1/2"	12	12	-	20	11	-	-	-	-	12	20	-	12	12	1/2"	RECEP. RM. 143	R
O	PNEUMATIC SYSTEM	EX.	EX.	EX.	-	20	13	1.0	0.9	-	-	14	20	-	12	12	1/2"	RECEP. RM. 142	R
O	VAC. SYSTEM	EX.	EX.	EX.	-	20	15	-	-	1.0	0.9	16	20	-	EX.	EX.	EX.	RECEP. RM. 140	R
R	RECEP. ELEC. ROOM	EX.	EX.	EX.	-	20	17	-	-	-	-	18	20	-	12	12	1/2"	RECEP. RM. 137	R
O	A/C DAMPERS	EX.	EX.	EX.	-	20	19	0.1	0.5	-	-	20	20	-	EX.	EX.	EX.	RECEP. RM 137A	R
O	SPACE	-	-	-	-	-	21	-	-	1.5	-	22	20	-	EX.	EX.	EX.	RECEP. RM 137A	R
O	EX. GEN. BLOCK HEATER	EX.	EX.	EX.	-	30/2	23	-	-	-	-	24	20	-	EX.	EX.	EX.	RECEP. 134-135	R
O	RECEP. PHONEBOARD	EX.	EX.	EX.	-	20	27	1.0	0.9	-	-	26	20	-	EX.	EX.	EX.	RECEP. 132	R
O	EX. PHOTOVOLT. SYSTEM	EX.	EX.	EX.	-	25/2	29	-	-	0.4	0.9	28	20	-	EX.	EX.	EX.	RECEP. 133	R
O	A/C DAMPERS	EX.	EX.	EX.	-	20	31	0.9	0.9	-	-	30	20	-	EX.	EX.	EX.	RECEP. 131	R
C	A/C - 6	EX.	EX.	EX.	-	45/2	35	-	-	0.9	0.9	32	20	-	EX.	EX.	EX.	RECEP. 131	R
O	EX. WATER HEATER	EX.	EX.	EX.	-	30/2	37	3.5	0.9	-	-	34	20	-	EX.	EX.	EX.	RECEP. COPY RM. & NEW RM. 152	R
O							39	-	-	2.3	0.9	38	20	-	EX.	EX.	EX.	RECEP. 128	R
O							41	-	-	-	-	40	20	-	EX.	EX.	EX.	RECEP. 129	R
O										2.2	0.9	42	20	-	EX.	EX.	EX.	RECEP. 127	R
								13.3		12.5									
																			17.0

**ID:**  
 (R) RECEPTACLE LOAD  
 (C) AIR CONDITIONING LOAD  
 (O) OTHER LOAD

**DEMAND LOAD CALCULATION:**

TOTAL CONNECTED LOAD: = 42.8 KVA  
 RECEPT. LOAD = 25.3 KVA  
 1ST 10 KVA @ 100% = 10.0 KVA  
 REMAIN @ 50% = 7.7 KVA  
 LIGHTING LOADS @ 125% = 0.0 KVA  
 OTHER LOADS @ 100% = 10.5 KVA  
 TOTAL DEMAND LOAD: = 35.2 KVA  
 DEMAND AMPERES: = 98 AMPS



**PARTIAL RISER DIAGRAM**  
 N.T.S.

**KEYNOTES**

(A) THE PANELS ARE EXISTING TO REMAIN.

(B) UPDATE PANELS "LA" AND "LB" AS INDICATED. NO NEW CIRCUIT BREAKERS SHALL BE ADDED. CONTRACTOR TO PROVIDE NEW DIRECTORIES FOR PANELS.

**PANEL "LB"**

TYPE: EXISTING  
 MOUNTING: SURFACE  
 ENCLOSURE: NEMA 1  
 SUPPLY FROM: MAIN DISTRIB. PANEL "MDP"

RATED VOLTAGE: 120/208V, 3Ph, 4W  
 BUS RATING: 225 AMPS  
 A.I.C. RATING: 10 KAIC  
 BRANCH POLES: 42 CIRCUITS

MAINS: M.L.O.  
 FEED LOCATION: TOP  
 SYSTEM: NORMAL  
 LOCATION: ELECTRICAL ROOM

ID	LOAD SERVED	COND.	EQ. GND.	WIRE AWG	TYPE	TRIP [A]	CKT	Phase A [kVA]	Phase B [kVA]	Phase C [kVA]	CKT	TRIP [A]	TYPE	WIRE AWG	EQ. GND.	COND.	LOAD SERVED	ID	
R	RECEP. RM. 150	EX.	EX.	EX.	-	20	1	0.6	1.2	-	-	2	20	-	EX.	EX.	EX.	LTG. RM. 150	L
R	RECEP. RM. 149	EX.	EX.	EX.	-	20	3	-	-	0.6	1.2	4	20	-	12	12	1/2"	LTG. RM. 146	L
R	RECEP. RM. 142	1/2"	12	12	-	20	5	-	-	-	-	6	20	-	12	12	1/2"	LTG. RM. 142	L
R	RECEP. RM. 141	1/2"	12	12	-	20	7	0.6	1.2	-	-	8	20	-	12	12	1/2"	LTG. RM. 145	L
R	RECEP. RM. 140	EX.	EX.	EX.	-	20	9	-	-	0.6	1.2	10	20	-	12	12	1/2"	LTG. RM. 145	L
R	RECEP. RM. 133	1/2"	12	12	-	20	11	-	-	-	-	12	20	-	12	12	1/2"	LTG. RM. 132	L
R	RECEP. RM. 131	EX.	EX.	EX.	-	20	13	0.6	1.2	-	-	14	20	-	EX.	EX.	EX.	LTG. RM. 131	L
R	RECEP. RM. 131	EX.	EX.	EX.	-	20	15	-	-	0.6	1.2	16	20	-	EX.	EX.	EX.	LTG. RM. 131	L
R	RECEP. RM. 129	EX.	EX.	EX.	-	20	17	-	-	-	-	18	20	-	EX.	EX.	EX.	LTG. RM. 128	L
R	RECEP. RM. 128	EX.	EX.	EX.	-	20	19	0.6	0.1	-	-	20	20	-	EX.	EX.	EX.	LTG. ATTIC	L
R	RECEP. RM. 131	EX.	EX.	EX.	-	20	21	-	-	0.6	-	22	20	-	EX.	EX.	EX.	SHUNT TRIP	L
R	RECEP. RM. 146	1/2"	12	12	-	20	23	-	-	-	-	24	20/2	-	EX.	EX.	EX.	LTG. PARKING AREA	L
O	SPARE	-	-	-	-	-	25	-	1.6	-	-	26	-	-	-	-	-	-	L
R	RECEP. RM. 145	1/2"	12	12	-	20	27	-	-	0.6	1.6	28	20/2	-	EX.	EX.	EX.	LTG. PARKING AREA	L
R	RECEP. RM. 145	1/2"	12	12	-	20	29	-	-	-	-	30	20	-	EX.	EX.	EX.	LTG. SIGN	L
O	SPARE	EX.	EX.	EX.	-	20	31	-	1.0	-	-	32	20	-	EX.	EX.	EX.	LTG. SIGN	L
L	LTG. SIDE	EX.	EX.	EX.	-	20	33	-	-	1.0	1.0	34	20	-	EX.	EX.	EX.	LTG. SIDE	L
O	SPACE	-	-	-	-	-	35	-	-	-	-	36	20/2	-	EX.	EX.	EX.	LTG. PARKING AREA	L
R	BATHROOM/STORAGE ROOM GFI	EX.	EX.	EX.	-	20	37	0.4	1.6	-	-	38	20/2	-	EX.	EX.	EX.	LTG. PARKING AREA	L
R	DATA RM. 133	EX.	EX.	EX.	-	20	39	-	-	1.5	1.6	40	20	-	EX.	EX.	EX.	LTG. PARKING AREA	L
O	PHOTOCELL	EX.	EX.	EX.	-	20	41	-	-	-	-	42	20/2	-	EX.	EX.	EX.	LTG. PARKING AREA	L
								10.7		13.3									
																			13.1

**ID:**  
 (R) RECEPTACLE LOAD  
 (L) LIGHTING LOAD  
 (O) OTHER LOAD

**DEMAND LOAD CALCULATION:**

TOTAL CONNECTED LOAD: = 37.1 KVA  
 RECEPT. LOAD = 10.3 KVA  
 1ST 10 KVA @ 100% = 10.0 KVA  
 REMAIN @ 50% = 0.1 KVA  
 LIGHTING LOADS @ 125% = 33.4 KVA  
 OTHER LOADS @ 100% = 0.1 KVA  
 TOTAL DEMAND LOAD: = 43.6 KVA  
 DEMAND AMPERES: = 121 AMPS

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 MULTI-PURPOSE ROOM REMODEL  
 6600 UNIVERSITY DRIVE  
 PARKLAND, FL 33067



DRAWING TITLE:  
 RISER DIAGRAM  
 AND  
 PANEL SCHEDULE

DRAWN	RM/MO
CHECKED	GSJ
DATE	01.31.20
SCALE	AS NOTED
PROJECT NO.	1852B
SHEET:	

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GEORGE SANJUAN, P.E.  
 P.T. MGR: MARY KAY GONZALEZ  
 FLORIDA LICENSE #46100  
 PROJECT #: 191108



**MECHANICAL INDEX**

DRAWING		△	
1	M-100 INDEX, SYMBOL LEGEND AND NOTES		
2	M-101 PROPOSED FLOOR PLAN - MECHANICAL		
3	M-102 DETAILS		

**MECHANICAL SYMBOL LEGEND**

SYMBOL	DESCRIPTION
(S)	CEILING MOUNTED REMOTER TEMPERATURE SENSOR
(SD)	SMOKE DETECTOR
(SP)	STATIC PRESSURE SENSOR
□	POINT OF DISCONNECT
○	POINT OF CONNECTION
××××	EXISTING PIPING (OR DUCTWORK) TO BE REMOVED
---	EXISTING PIPING (OR DUCTWORK) TO REMAIN
---	NEW PIPING (OR DUCTWORK).
→	SUPPLY AIR (DIRECTION OF THROW)
↵	RETURN AIR
--- OBD	OPPOSED BLADE DAMPER
--- BDD	BACK DRAFT DAMPER
--- MCD	MANUAL VOLUME DAMPER
--- MCD	MOTORIZED CONTROL DAMPER
■	SMOKE DAMPER
▼	FIRE DAMPER
FD	FIRE DAMPER
MD	MOTORIZED DAMPER INTERCONNECTED WITH AHU
VD	VOLUME DAMPER
FSD	FIRE SMOKE DAMPER W/ACCESS DOOR
SR	SIDEWALL REGISTER
CG	CEILING GRILLE
RAG	RETURN AIR GRILLE
RG	RELIEF AIR GRILLE
ATG	AIR TRANSFER GRILLE
EG	EXHAUST GRILLE
EF	EXHAUST FAN
AHU	AIR HANDLING UNIT
CU	CONDENSING UNIT
RTU	ROOFTOP UNIT
ACCU	AIR COOLED CONDENSER UNIT
WMS	WIRE MESH SCREEN
OAL	OUTSIDE AIR LOUVER
EAL	EXHAUST AIR LOUVER
A.F.F	ABOVE FINISHED FLOOR
CD1	DIFFUSER/GRILLE TYPE, REF. SCHEDULE
CFM	DESIGN CFM (WHERE APPLICABLE)
TEF	TOILET EXHAUST FAN
□	EXISTING RELOCATED CASSETTE MINSPLIT CEILING UNIT
□	4-WAY DIRECTIONAL FLOW CEILING DIFFUSER (CD)
□	RELOCATED EXISTING 4-WAY DIRECTIONAL FLOW CEILING DIFFUSER (CD)
□	3-WAY DIRECTIONAL FLOW CEILING DIFFUSER (CD)
□	EXHAUST GRILLE. (EG)
□	RETURN GRILLE. (RG)
□	RELOCATED EXISTING RETURN GRILLE. (RG)
○	EXISTING THERMOSTAT
○	RELOCATED EXISTING THERMOSTAT
---	FLEXIBLE DUCTWORK (FULLY STRETCHED)
---	ELBOW WITH "AIRFOIL" TURNING VANES
---	FULL RADIUS CURVED ELBOW R/W=1.5
---	SUPPLY/RETURN AIR DUCTWORK
---	DUCT TRANSITION
---	RELOCATION OF EQUIPMENT

NOTE: HVAC LEGEND IS PROVIDED AS A GENERAL REFERENCE. SOME SYMBOLS SHOWN MAY NOT PERTAIN TO THIS PROJECT.

**GENERAL MECHANICAL NOTES**

- ALL MECHANICAL SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE NFPA STANDARDS, ANSI STANDARDS, THE LOCAL BUILDING CODE, NOISE & HEIGHT ORDINANCES, PLANS AND SPECIFICATIONS.
- ALL MATERIALS SHALL BE NEW, AND QUALITY OF WORK AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE LOCAL CODES, PRODUCT APPROVAL, RULES AND ORDINANCES. ANY DAMAGED EQUIPMENT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, ACCESS PANELS, CONTROL SYSTEMS, DEVICES, PERMITS AND SERVICES NECESSARY FOR FURNISHING AND INSTALLING A COMPLETE OPERABLE MECHANICAL SYSTEM.
- ALL CUTTING, PATCHING, STRUCTURAL STEEL, WEATHER PROOFING, PAINTING, AND WALL OPENINGS SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.
- ALL OPENINGS IN BUILDING STRUCTURE, FOR DUCTWORK, PIPING, ETC. TO BE 1/2" LARGER (ON ALL SIDES) THAN THE OUTSIDE DIMENSIONS. FILL VOIDS WITH FIRE RETARDANT SILICONE FOAM (I.E. CHASE-FOAM CTC PR-855 BY CHASE TECHNOLOGY CORP.).
- THERMOSTAT LOCATIONS SHALL BE APPROVED BY OWNER AND ARCHITECT BEFORE RELOCATION.
- AIR QUALITY SHOULD BE TESTED BEFORE OCCUPANCY AND SHOULD BE INSTRUMENTED AND MONITORED THEREAFTER, OR AT LEAST AT REGULAR INTERVALS.
- ANY REPAIRS REQUIRING SYSTEM SHUT DOWN WILL BE DONE DURING NON OPERATIONAL PERIODS. HVAC CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES PRIOR TO BIDDING AND PURCHASING ANY EQUIPMENT.
- HVAC CONTRACTOR SHALL WARRANTY ALL COMPONENTS, PARTS AND LABOR UNDER THESE DRAWINGS AND SPECIFICATIONS FOR A PERIOD OF ONE (1) YEAR AFTER C.O. OF BUILDING.
- DRAWINGS/DETAILS ARE TO BE CONSIDERED DIAGRAMMATIC, NOT NECESSARILY SHOWING IN DETAIL OR TO SCALE ALL MINOR ITEMS. UNLESS SPECIFIC DIMENSIONS ARE SHOWN, THE STRUCTURAL, ARCHITECTURAL AND SITE CONDITIONS SHALL GOVERN EXACT LOCATIONS. CONTRACTOR SHALL FOLLOW DRAWINGS IN LAYING OUT WORK, AND CHECK/COORDINATE DRAWINGS OF ALL TRADES.

**MECHANICAL COORDINATION NOTES**

- A/C CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WORK FOR SIZE, LOCATION, CLEARANCE, ACCESS AND ELECTRICAL CHARACTERISTICS WITH ALL OTHER TRADES, AND TO PROVIDE SHOP DRAWINGS TO THE ENGINEER FOR REVIEW PRIOR TO INSTALLATION OF DUCTWORK OR EQUIPMENT. SHOP DRAWING WILL INCLUDE BEAM OR STRUCTURE ELEVATION AND REQUIRED EQUIPMENT ACCESS AREAS.
- WALL, ROOF, AND CEILING OPENINGS INDICATED ON CONTRACTOR DRAWINGS ARE NOMINAL DIMENSIONS ONLY, AND ALL DUCT, PIPE OR EQUIPMENT PENETRATIONS SHALL BE SLEEVED AND FIRE RATED AS REQUIRED.
- COORDINATE LOCATION OF CEILING DIFFUSERS, GRILLES AND REGISTERS IN THE FIELD WITH LIGHTS, SPRINKLERS AND ARCHITECTURAL ELEMENTS.
- COORDINATE LOCATION OF THERMOSTATS AND DUCTWORK WITH BUILDING STRUCTURE AND OTHER TRADES TO AVOID CONFLICTS.
- IN GENERAL, DUCT OFFSETS HAVE NOT BEEN SHOWN. MECHANICAL CONTRACTOR SHALL COORDINATE THESE AS REQUIRED.
- MECHANICAL PLANS IN GENERAL ARE DIAGRAMMATIC IN NATURE, AND ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, PLUMBING, ELECTRICAL AND STRUCTURAL PLANS, AND SHALL BE CONSIDERED AS ONE SET OF DOCUMENTS. DUCT AND PIPING OFFSETS, BENDS AND TRANSITIONS WILL BE REQUIRED TO PROVIDE AND INSTALL A COMPLETE FUNCTIONAL SYSTEM, AND SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BIDDING, ORDERING, FABRICATION OR INSTALLATION OF MATERIALS OR EQUIPMENT.

**SUBMITTAL REQUIREMENTS**

- CONTRACTOR SHALL SUBMIT (6) COPIES OF COMPLETED SHOP DRAWINGS, TOGETHER AT ONE TIME, THROUGH THE ARCHITECT. ALL SUBMITTALS SHALL BE MADE WITHIN (30) DAYS OF NOTICE TO PROCEED.
- ALL SUBMITTALS MUST CLEARLY INDICATE EXACTLY WHICH ITEMS ARE BEING PROPOSED FOR USE. IF NOT, THE SUBMITTAL SHALL BE REJECTED.
- THE CONTRACTOR ASSUMES ALL DESIGN RESPONSIBILITY AND ALL FINANCIAL RISKS FOR PROCEEDING PRIOR TO SHOP DRAWINGS PROCESSING, AND ON ANY ITEM OR WORK THAT IS AT VARIANCE TO THE CONSTRUCTION DOCUMENTS.
- SHOP DRAWINGS AND SUBMITTALS FOR EACH ITEM SHALL BE REVIEWED NO MORE THAN TWICE. A THIRD SUBMITTAL ON AN ITEM MUST BE ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR OR IT SHALL BE REJECTED. CIRCUMSTANCES NECESSITATING A REVISION TO THE PERMITTED DOCUMENTS NOT PROCESSED PRIOR TO INSTALLATION MAY NOT BE ACCEPTED. IF ACCEPTED, IT MUST BE LEGIBLE, ACCURATE AND ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR. THE REVISION SHALL BE CHARGED TO THE CONTRACTOR AND DELIVERED TO HIM ON A C.O.D. BASIS.
- SUBSTITUTIONS SHALL BE LIMITED TO ONE OF THE ALTERNATES LISTED IN THE CONSTRUCTION DOCUMENTS. PRODUCTS CONSIDERED TO BE EQUAL SHALL BE REVIEWED AND ACCEPTED BY THE ENGINEER, ARCHITECT AND OWNER (10) DAYS PRIOR TO BID DATE. SUBSTITUTIONS FROM THE BASE DESIGN OR VARIATIONS TO THE PERMITTED CONTRACT DOCUMENTS, WHETHER RESULTING FROM PROCESSED SHOP DRAWINGS OR NOT, WHICH RESULT IN REQUIREMENTS OF LETTERS OF AUTHORIZATION AND/OR PERMIT CONTRACT DOCUMENT CHANGES MANDATED BY THE AUTHORITY HAVING JURISDICTION, WILL NOT BE MADE BY THIS OFFICE UNLESS ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR, AND RELEASED ON A C.O.D. BASIS. IF CONTRACTOR SUBMITS A DIFFERENT EQUIPMENT MANUFACTURER-MODEL, THE CONTRACTOR SHALL ASSURE THAT THE SUBSTITUTION HAS EQUAL OR BETTER ENERGY AND INDOOR ENVIRONMENTAL PERFORMANCE WHEN COMPARED TO THE EQUIPMENT SPECIFIED ON THE ORIGINAL CONSTRUCTION DOCUMENT. THE PROPOSED SUBSTITUTION SHALL ALSO BE CONSISTENT WITH THE FOLLOWING REQUIREMENTS: CAPACITY, EFFICIENCY, REFRIGERANT, ELECTRICAL DATA, WEIGHT, AUTOMATIC CONTROL, ANY SPECIAL NOTE OR ACCESSORY LISTED ON SCHEDULES.

**TEST AND BALANCE NOTES**

- AIR DISTRIBUTION SYSTEM TESTING, ADJUSTING AND BALANCING SHALL BE PERFORMED IN ACCORDANCE WITH 2017 FLORIDA BUILDING CODE, ENERGY CONSERVATION, SECTION 503.2.9.
- TEST, ADJUSTMENT AND SYSTEM BALANCE SHALL BE PERFORMED BY AN ENGINEER LICENSED IN THE STATE, OR A COMPANY OR INDIVIDUAL HOLDING A CURRENT CERTIFICATION FROM A RECOGNIZED TESTING AND BALANCING ORGANIZATION. LICENSED MECHANICAL CONTRACTORS ARE ALLOWED TO TEST AND BALANCE SYSTEMS OF 15.0 TON OR LESS IN COOLING OR HEATING CAPACITY.
- AIR DEVICES FOR EXISTING VAV SYSTEMS 2-13 AND 2-17 SHALL BE BALANCED TO ACHIEVE REQUIRED PROPOSED PLAN DESIGN VALUES.
- NEW HVAC SYSTEM SHALL BE BALANCED IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING STANDARDS. A WRITTEN BALANCE REPORT SHALL BE PROVIDED TO THE OWNER.
- BALANCING PROCEDURES SHALL BE IN ACCORDANCE WITH THE NEBB PROCEDURAL STANDARDS, THE AABC NATIONAL STANDARDS, OR EQUIVALENT PROCEDURES.

**SCOPE OF WORK**

EXISTING VRF SYSTEM (AHU'S AND CU'S) SHALL REMAIN. EXISTING T-STATS SHALL REMAIN EXCEPT T-STAT FOR EXISTING AC-3-8. EXISTING DIFFUSERS AND GRILLES SHALL BE RELOCATED PER REFLECTED CEILING PLAN. OCCUPANCY OF SPACE SHALL NOT CHANGE (GENERAL OFFICE). EXISTING MAIN DUCTWORK FOR SUPPLY, OUTSIDE AIR, EXHAUST AIR, AND RETURN AIR SHALL REMAIN. DEPENDING OF RELOCATION OF GRILLE AND DIFFUSER, FLEXIBLE DUCTWORK MAYBE BE REPLACED. EXISTING/OLD FLEXIBLE DUCTWORK THAT IS NOT BEING USED SHALL BE REMOVE AND MAIN DUCTWORK SHALL BE PATCHED UP. FLEXIBLE DUCTWORK ROUTING SHALL BE COORDINATED WITH EXISTING "OPENINGS" IN EXISTING WOOD TRUSSES ABOVE THE CEILING. RELOCATION OF EXISTING THERMOSTATS SHALL BE COORDINATED WITH "LOW VOLTAGE" ELECTRICAL CONTRACTOR AND MECHANICAL CONTRACTOR AND SHALL BE REPROGRAM TO EXISTING AHU/CU VRF SYSTEM. CONTRACTOR SHALL COORDINATE PRE TEST AND BALANCE (PRIOR TO DEMOLITION) AND POST TEST AND BALANCE AFTER INSTALLATION AND TEST AND BALANCE REPORTS SHALL BE REVIEWED AND APPROVED BY OWNER/ARCHITECT/ENGINEER.

**AIR DISTRIBUTION/DUCTWORK NOTES**

- REFER TO ARCHITECTURAL PLANS FOR CEILING TYPE.
- PROVIDE OFF WHITE FINISH (SUBJECT TO ARCHITECT'S APPROVAL).
- FLEXIBLE AIR DUCTWORK SHALL BE UL 181 RATED. SUCH DUCTS SHALL BE LISTED AND LABELED AS CLASS 0 OR CLASS 1 FLEXIBLE DUCTS. FLEXIBLE DUCT INSULATION SHALL BE R-4.2 MINIMUM.
- PROVIDE FOIL-FACED INSULATION (MIN. R-5.6) ON TOP/BACK OF ALL AIR DEVICES. TAPE ALL JOINTS AND SEAMS TO PROVIDE CONTINUOUS VAPOR BARRIER OVER DEVICE AND FLEXIBLE CONNECTION.
- DUCT SYSTEM CONSTRUCTION AND SEALING REQUIREMENTS: DUCTWORK SHALL COMPLY WITH REQUIREMENTS AS PER TABLE C403.2.7.2. FBC (E) 2017 EDITION AND "SMACNA" STANDARDS.
- ALL DUCTWORK AND DIFFUSERS SHALL BE RATED FOR THE USE, PRESSURE AND TEMPERATURE SPECIFIED AND AS REQUIRED BY THE CEILING SYSTEM RATING.
- PROVIDE VANED ELBOWS IN ALL CASES, SPLITTER DAMPERS WHERE INDICATED ON DRAWINGS, AND VOLUME CONTROL DAMPERS IN ALL BRANCH DUCTS OR DIFFUSER CONNECTIONS.
- ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS.

**STANDARD DUCT SEALING REQUIREMENTS**

(BASED ON SMACNA)

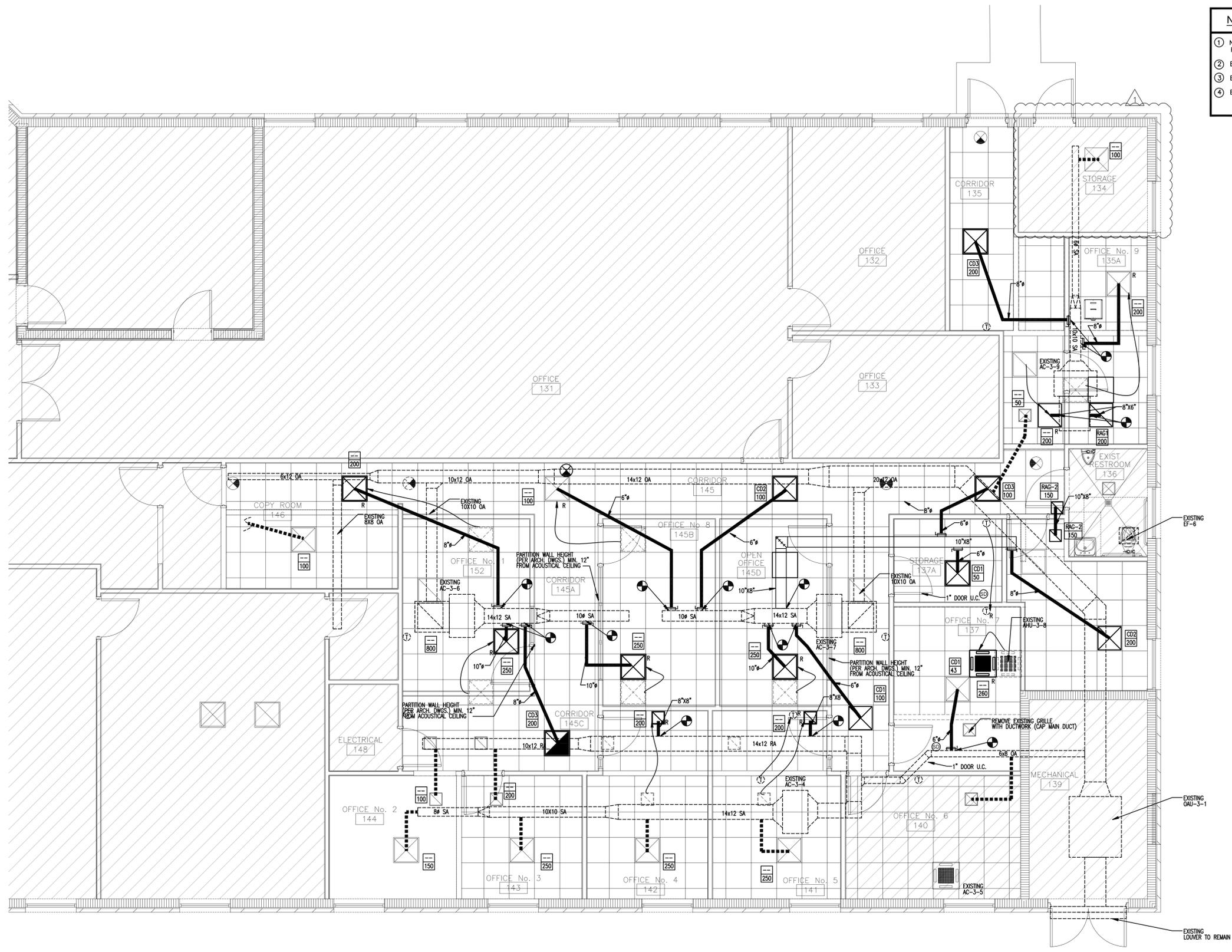
SEAL CLASS	SEALING REQUIREMENTS	APPLICABLE STATIC PRESSURE CONSTRUCTION STANDARD
A	ALL TRANSVERSE JOINTS, LONGITUDINAL SEAMS, AND DUCT WALL PENETRATIONS	4" WG AND UP (1000 PA)
B	ALL TRANSVERSE JOINTS AND LONGITUDINAL SEAMS ONLY	3" WG (750 PA)
C	TRANSVERSE JOINTS ONLY	2" WG (500 PA)

NOTE:  
IN ADDITION TO THE ABOVE, ANY VARIABLE AIR VOLUME SYSTEM DUCT OF 1" (250 PA) AND 1/2" WG (125 PA) CONSTRUCTION CLASS THAT IS UPSTREAM OF THE VAV BOXES SHALL MEET SEAL CLASS C.

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 FLORIDA LICENSE #46100  
 P.T. MGR: MARY KAY GONZALEZ  
 PROJECT #: 191108

NO.	REVISION	DATE
1	Bldg. Dept. Comm.	02.12.20
2	Bid Set	02.28.20

- NEW WORK NOTES**
- ① NEW FLEX DUCTWORK CONNECTED TO RELOCATED OR NEW GRILLE OR DIFFUSER.
  - ② EXISTING T-STAT SHALL REMAIN.
  - ③ EXISTING T-STAT SHALL BE RELOCATED.
  - ④ EXISTING GRILLE OR DIFFUSER RELOCATED.



**PARKLAND CITY HALL**  
**MULTI-PURPOSE ROOM REMODEL**  
 6600 UNIVERSITY DRIVE  
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DRAWING TITLE:  
 PROPOSED  
 FLOOR PLAN -  
 MECHANICAL

DRAWN	RM/MO
CHECKED	GSJ
DATE	01.31.20
SCALE	AS NOTED
PROJECT NO.	1852B
SHEET:	

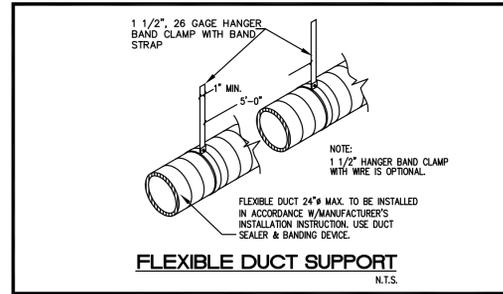
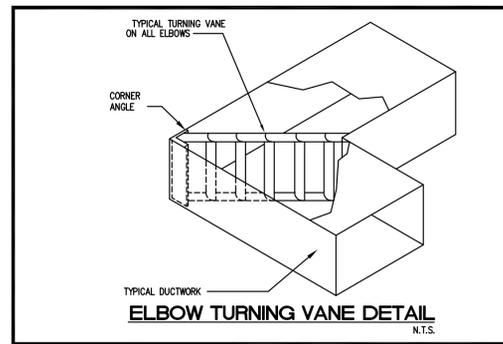
**PROPOSED FLOOR PLAN - MECHANICAL**

SCALE: 1/4" = 1'-0"

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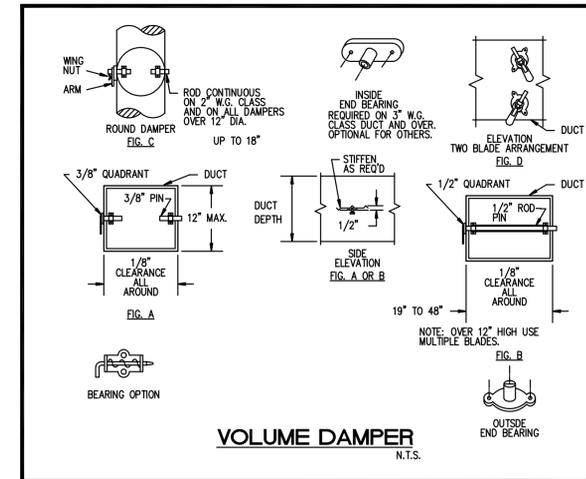
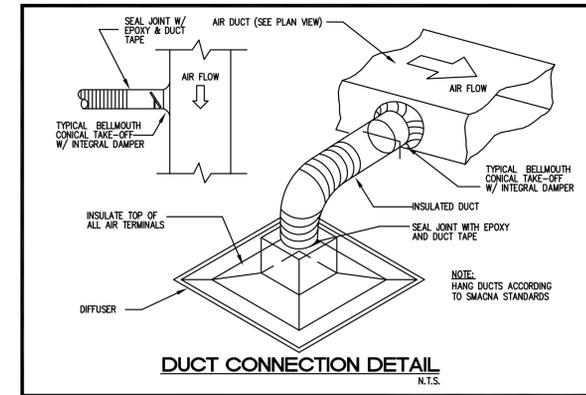
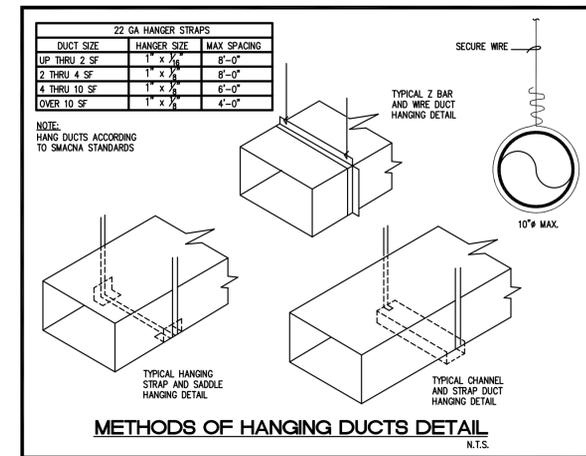
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 FLORIDA LICENSE #46100  
 PROJECT #: 191108

M101



AIR DISTRIBUTION SCHEDULE					
SYMBOL	USE	TYPE	MANUFACTURER & MODEL NO.	REMARKS	ACCESSORIES
CD1	SUPPLY AIR	DIFFUSERS	TITUS TDC-AA	24X24 FACE; 24X24 LAY-IN 4 WAY-ROUND NECK	----
CD2	SUPPLY AIR	DIFFUSERS	TITUS TDC-AA	24X24 FACE; 24X24 LAY-IN 3 WAY-ROUND NECK	----
CD3	SUPPLY AIR	DIFFUSERS	TITUS TDC-AA	24X24 FACE; 24X24 LAY-IN 2 WAY-ROUND NECK	----
CD4	SUPPLY AIR	DIFFUSERS	TITUS TDC-AA	12X12 SURFACE MOUNT 4 WAY-ROUND NECK	----
RAG1	RETURN AIR	GRILLES & REGISTERS	TITUS 350FL	22X22 LAY-IN	NOISE DAMPERS TO BAFFLES RETURN DUCTS
RAG2	RETURN AIR	GRILLES & REGISTERS	TITUS 350FL	12X12 SURFACE MOUNT	NOISE DAMPERS TO BAFFLES RETURN DUCTS

NOTES:  
 1. REFER TO ARCHITECT PLANS FOR CEILING TYPE.  
 2. CONTRACTOR TO COORDINATE BORDER TYPE, FINISH AND COLOR FOR ALL AIR DISTRIBUTION DEVICES BEFORE ORDERING.  
 3. PROVIDE DISCHARGE PATTERN AS REQUESTED.



NO.	REVISION	DATE
1	Bldg. Dept. Comm.	02.12.20
2	Bid Set	02.28.20

CONSULTANT:

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DRAWING TITLE:  
 DETAILS

DRAWN	RM/MO
CHECKED	GSJ
DATE	01.31.20
SCALE	AS NOTED
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M-102