

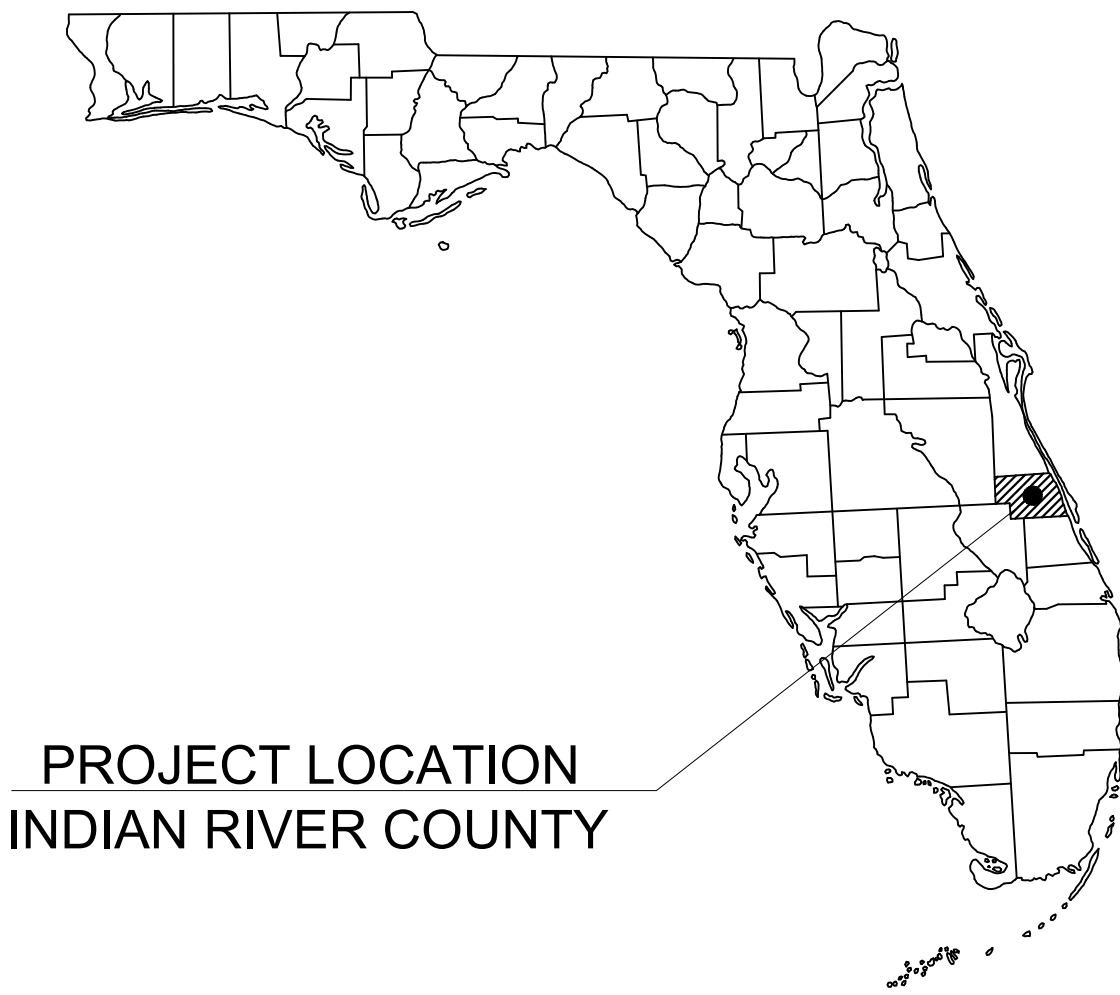
SITE DEVELOPMENT PLANS

FOR

DICK BIRD PARK PICKLEBALL COURTS

IRC PROJECT NO. 2204

LOCATED AT
PARCEL ID # 33-39-23-00001-01-000001.0
800 20TH AVE SW
VERO BEACH, FL 32960
SECTION 23 , TOWNSHIP 33S , RANGE 39E



PROJECT TEAM

OWNER/DEVELOPER
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 10250 SW VILLAGE PARKWAY-SUITE 101
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 MANAGEMENT DISTRICT
 PALM BAY OFFICE
 525 COMMUNITY COLLEGE PARKWAY S.E.
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 INDIAN RIVER COUNTY
 1801 27TH STREET
 VERO BEACH, 32960
 (772) 226-1715
 CONTACT: MARY JANE VREELAND

WATER AND SEWER
 INDIAN RIVER COUNTY UTILITIES
 LOCAL GOVERNMENT OFFICE
 8201 27TH STREET
 VERO BEACH, FL 32960
 (772) -770-5300
 CONTACT: JESSE ROLAND

ENGINEERING
 INDIAN RIVER COUNTY
 1801 27TH STREET
 VERO BEACH, 32960
 772-226-1596
 CONTACT: MATT SOYKA

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 INDIAN RIVER COUNTY FIRE RESCUE
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 (772)-562-2026
 FIRE CHIEF: JOHN KING

BUILDING DIVISION
 INDIAN RIVER COUNTY
 1801 27TH STREET A
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ELECTRIC PROVIDER
 FLORIDA POWER AND LIGHT
 9001 ELLIS RD.
 MELBOURNE, FL 32904
 (312) 723-7795

BOARD OF COUNTY COMMISSIONERS

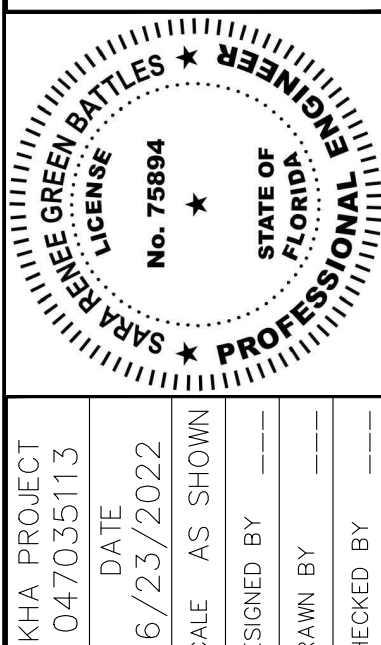
SUSAN ADAMS COMMISSIONER DISTRICT 1 (772) 226-1442	JOSEPH E. FLESCHER COMMISSIONER DISTRICT 2 (772) 226-1919	JOE EARMAN VICE-CHAIRMAN DISTRICT 3 (772) 226-1919	PETER D. O'BRYAN CHAIRMAN DISTRICT 4 (772) 226-1440	LAURA MOSS COMMISSIONER DISTRICT 5 (772) 226-1438
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PROJECT LOCATION

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C-001	GENERAL NOTES
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C-003	EROSION CONTROL AND DEMOLITION DETAILS
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C-007	PAVING, GRADING, AND DRAINAGE PLAN
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C-010	DRAINAGE DETAILS
C-011	UTILITY PLAN

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 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
 PHONE: 772-794-4100
 WWW.KIMLEY-HORN.COM CA 00000696



KHA PROJECT
047035113
DATE
6/23/2022
SCALE AS SHOWN
DESIGNED BY
DRAWN BY
CHECKED BY

COVER SHEET

**DICK BIRD PARK
 PICKLEBALL COURTS**
 PREPARED FOR
INDIAN RIVER COUNTY
 VERO BEACH, FL

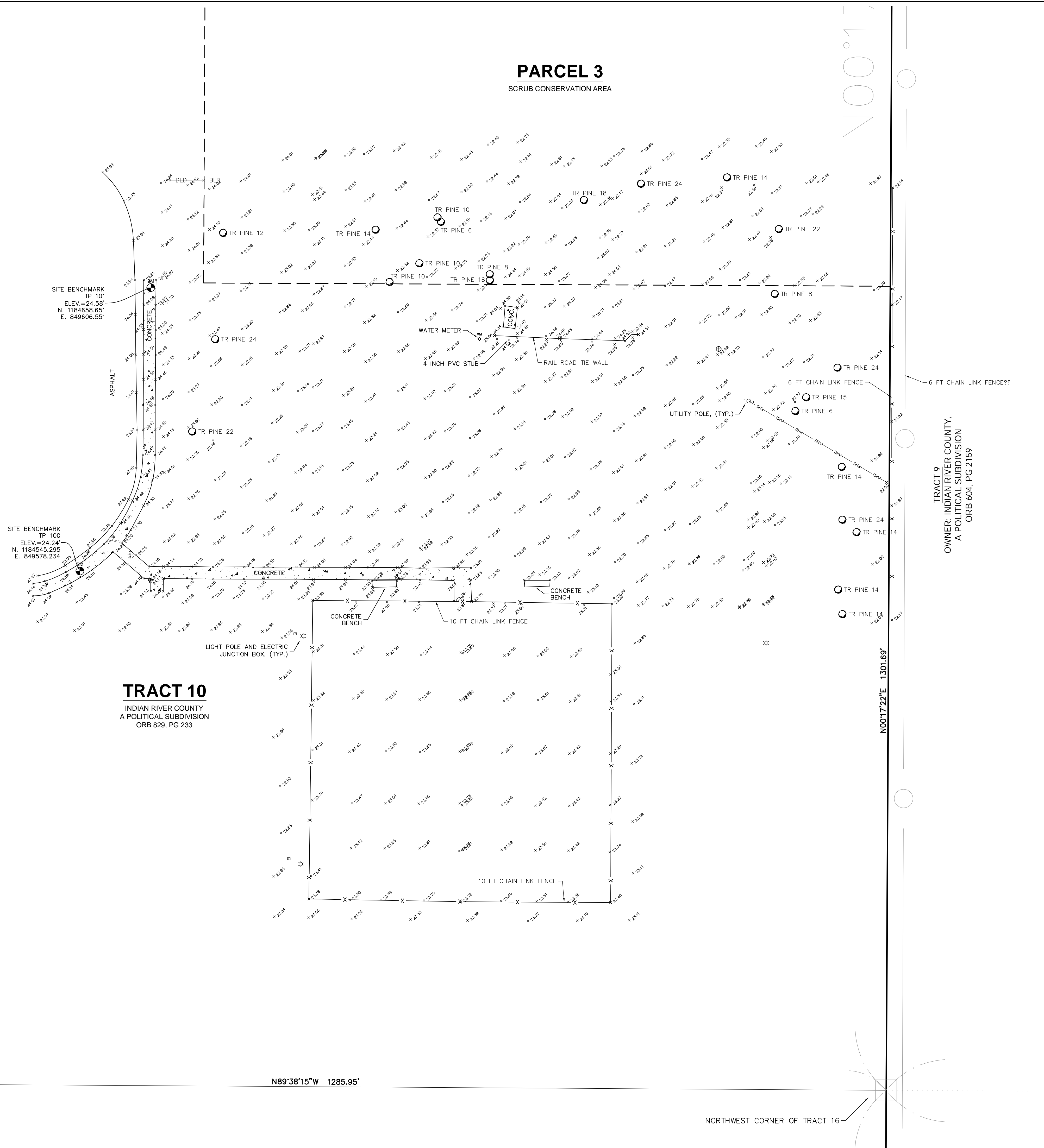
SHEET NUMBER
C-000

CALL 48 HOURS BEFORE YOU DIG
811
 IT'S THE LAW!
 DIAL 811
 Know what's below.
 Call before you dig.
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

PREPARED BY:
Kimley»Horn

Plotted By: Esposito, AJ. Sheet: Set: DICK BIRD PARK PICKLEBALL COURTS. Layout: C-000 COVER SHEET. June 23, 2022. 09:10:00am. K:\VRB-LDEVA\047035113 Dick Bird Park\CAD\PlanSheets\C-000 COVER SHEET.dwg. This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Drawing name: K:\VRB_Survey\047035113 DICK BIRD PARK\CADD\South County Dick Bird Park - Topographic Survey.dwg South County Dick Bird Park - Topographic Survey - 01 Apr 03, 2020 10:08am by: Domenico Durr



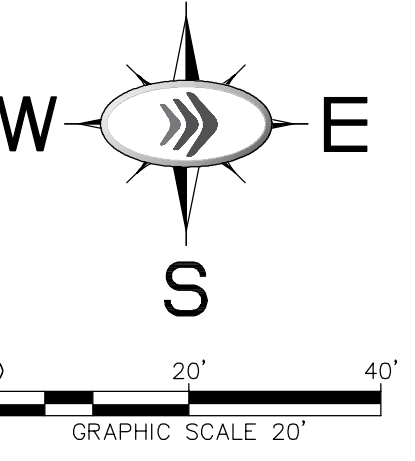
- ### SURVEYOR'S NOTES
- THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN THE STANDARDS OF PRACTICE (S.J.-17 F.A.C.), IS "COMMERCIAL/HIGH RISK." THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 10,000 FEET. THIS SURVEY EXCEEDS SAID ACCURACY.
 - HORIZONTAL DATUM: THIS 2016 ALTA/NSPS LAND TITLE SURVEY HAS BEEN REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM - EAST ZONE, ADJUSTED TO THE NORTH AMERICAN DATUM OF 1983/1990. THE EXISTING CONTROL UTILIZED TO ESTABLISH SAID REFERENCE WAS BREVARD GPS 5070 ARNOLD, PID # D68766.
 - THE BEARING BASE FOR THIS SURVEY IS STATE PLANE GRID NORTH - MORE SPECIFICALLY, THE NORTH LINE OF SECTION 29-27-37 HAVING A GRID BEARING OF S89°51'57"E.
 - VERTICAL DATUM: ALL ELEVATIONS SHOWN HEREON HAVE BEEN REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 - THE PROPERTY WHICH IS THE SUBJECT OF THIS SURVEY APPEARS TO BE SITUATE IN FLOOD ZONE X, AT THIS TIME AS SCALED FROM F.E.M.A. FIRM NO. 12061C0359H, DATED DECEMBER 4, 2012.
 - THIS SURVEY WAS PERFORMED IN THE FIELD FROM MARCH 30, 2020. KIMLEY-HORN AND ASSOCIATES FILE NO. 047035113, FIELD BOOK 489.
 - PROPERTY CORNER MONUMENTS WERE FOUND AS SHOWN HEREON ON JUNE 19, 2019. LEASE PARCEL MONUMENTS WILL NOT BE SET UNTIL LEASE PARCEL HAS BEEN APPROVED BY CLIENT.
 - NO TITLE OPINION IS HEREBY EXPRESSED OR IMPLIED.
 - THIS SURVEY IS NOT INTENDED TO LOCATE ANY UNDERGROUND FOUNDATIONS, UNDERGROUND ENCROACHMENTS OR UNDERGROUND UTILITIES, EXCEPT AS OTHERWISE SHOWN HEREON.
 - THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED ACCURATELY FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THEREFORE, ALL LOCATIONS SHOULD BE FIELD VERIFIED BEFORE ANY CONSTRUCTION.
 - INVERT ELEVATION INFORMATION SHOWN HEREON IS DERIVED FROM MEASUREMENTS OBTAINABLE, RELATIVE TO THE CONDITIONS AND PHYSICAL FEATURES EXISTING AT ANY GIVEN STRUCTURE LOCATION. THE ACCURACY OF SAID MEASUREMENTS MAY BE IMPAIRED BY ACCESSIBILITY AND VISIBILITY ISSUES; MOVING OR STANDING WATER; SILTATION OR DEBRIS, AND ETC. AS MAY BE NOTED HEREON. WHERE A VARIATION IN SUCH INFORMATION COULD HAVE SIGNIFICANT IMPACT TO THE USERS PURPOSE, THE INFORMATION SHOULD BE VERIFIED BY AN ALTERNATE METHOD APPROPRIATE TO THE CONDITION LIMITING THE SURVEYOR.
 - THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT AND USE OF THE PERSON OR PERSONS NAMED HEREON, AND IS NOT SUITABLE NOR INTENDED FOR ANY REUSE WITHOUT THE EXPRESS WRITTEN VERIFICATION OR ADAPTATION BY THIS SURVEYOR FOR THE SPECIFIC PURPOSE INTENDED. THIS SURVEY IS NOT VALID UNLESS SIGNED, DATED, AND STAMPED WITH THIS SURVEYOR'S EMBOSSED SEAL.
 - THE PREMISES SHOWN HEREON MAY BE SUBJECT TO ANY EXISTING EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, AND SETBACK LINES WHETHER OR NOT THEY MAY BE SHOWN HEREON OR WHETHER OR NOT RECORDED IN THE PUBLIC RECORDS.
 - SHOWN ANYWHERE ON THIS SURVEY, THE WORD "CERTIFY" IS UNDERSTOOD TO BE AN EXPRESSION OF A PROFESSIONAL OPINION BASED UPON THE SURVEYOR'S BEST KNOWLEDGE, INFORMATION AND BELIEF, AND THAT IT THUS CONSTITUTES NEITHER A GUARANTEE NOR A WARRANTY.
 - WETLAND AND SURFACE WATER LIMITS WERE REVIEWED AND APPROVED BY ST. JOHNS RIVER WATER MANAGEMENT DISTRICT ON JULY 29, 2019.

ABBREVIATIONS

CG	CURB AND GUTTER	(M)	MEASURED COURSE	RLS	REGISTERED LAND SURVEYOR
CBS	CONCRETE BLOCK STRUCTURE	MES	MITERED END SECTION	ROW	RIGHT-OF-WAY
CCR	CERTIFIED CORNER RECORD	N	NORTH	RNG	RANGE
CHD	CHORD DISTANCE	N/A	NOT APPLICABLE	RR	RAILROAD
CHB	CHORD BEARING	NOF	NO CORNER FOUND	S	SOUTH
CM	CONCRETE MONUMENT	NCS	NO CORNER SET	SBT	SOUTHERN BELL TELEPHONE
CMP	CORRUGATED METAL PIPE	NR	NON-RADIAL	SEC	SECTION
CPP	CORRUGATED PLASTIC PIPE	No	NUMBER	SQ FT	SQUARE FEET
Co	COMPANY	NTS	NOT TO SCALE	SR	STATE ROAD
CONC.	CONCRETE	OHW	OVERHEAD WIRE	SRD	STATE ROAD
CR	COUNTY ROAD	ORB	OFFICIAL RECORD BOOK	SS	SANITARY SEWER DEPARTMENT
(D)	DESCRIPTION COURSE	(P)	PLATTED COURSE	SV	SEWER VALVE
Δ	DELTA ANGLE	PB	PLAT BOOK	STA	STATION
DB	DEED BOOK	PG	PAGE	T	TANGENT
DIP	DUCTILE IRON PIPE	PKD	PARKER KALON	TBM	TEMPORARY BENCHMARK
DWG	DRAWING	PLS	PROFESSIONAL LAND SURVEYOR	TR	TREE
E	EAST	POB	POINT OF BEGINNING	TWP	TOWNSHIP
ELEV.	ELEVATION	POC	POINT OF COMMENCEMENT	TYP	TYPICAL
FFE	FINISHED FLOOR ELEVATION	PP	POWER POLE	UGF	UNDERGROUND ELECTRIC
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	PRM	PERMANENT REFERENCE MONUMENT as NOTED PREVIOUS SURVEY	UGT	UNDERGROUND TELEPHONE
FM	FORCE MAIN	(PS)	COURSE	UGC	UNDERGROUND CABLE
FPL	FLORIDA POWER & LIGHT COMPANY	PSM	PROFESSIONAL SURVEYOR AND MAPPER	UGG	UNDERGROUND GAS
ID	IDENTIFICATION	PT	POINT OF TANGENCY	US	UNITED STATES
INV	INVERT ELEVATION	PVC	POLYVINYLCHLORIDE	W	WEST
IP	IRON PIPE	R	RADIUS	W/	WITH
IPC	IRON PIPE AND CAP (AS NOTED)	RCP	REINFORCED CONCRETE PIPE	WV	WATER VALVE
IR	IRON ROD			VC	VERTICAL CURB
IRC	IRON ROD AND CAP (AS NOTED)				
L	LENGTH				
LB	LICENSED BUSINESS				
LF	LINEAR FEET				

LEGEND OF SYMBOLS

— X —	= PARCEL LINE	⊙	= BENCHMARK (AS NOTED)
—	= FENCE	⊕	= FIRE HYDRANT
⊕	= IRRIGATION CONTROL WATER VALVE	⊕	= WATER VALVE
⊕	= CATCH BASIN	⊕	= SIGN
⊕	= WATER METER	⊕	= UTILITY POLE
⊕	= SIGNAL LIGHT POLE/MASTARM	⊕	= RISER
⊕	= NAIL & DISK (AS NOTED)	⊕	= LIGHT POLE
⊕	= IRON ROD (AS NOTED)	⊕	= X CUT OR DRILL HOLE
		⊕	= CONCRETE MONUMENT



TO:
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and does not include any items in Table A thereof. The field work was completed on August 25, 2016.

E.C. DEMETER, P.S.M. No. 5179

DATE: _____

NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

Kimley»Horn

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KHA PROJECT 047035113

SCALE AS SHOWN

DESIGNED BY

DRAWN BY

CHECKED BY

DATE

DATE

DATE

DATE

DATE

NO.

REVISIONS

DATE

TOPOGRAPHIC SURVEY

SOUTH COUNTY DICK BIRD PARK

PREPARED FOR INDIAN RIVER COUNTY

INDIAN RIVER COUNTY FLORIDA

SHEET NUMBER

1

Plotted By: Esposito, AJ - Sheet - Set: DICK BIRD PARK PICKLEBALL COURTS - Layout: C-001 - GENERAL NOTES - June 23, 2022 05:10:07pm - K:\VRB-LDEV\0470235113 Dick Bird Park\CAD\Plan\Sheets\C-001 - GENERAL NOTES.dwg
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GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
3. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES. NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. A LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
8. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
11. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
12. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING GRADES AND PROVIDE CONSTRUCTION SURVEYING AND STAKE-OUT.
15. CONTRACTOR SHALL COORDINATE EXISTING ELECTRIC SERVICES WITH FPL.

PAVING, GRADING AND DRAINAGE NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN CITY'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CITY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY CITY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
3. TRAFFIC CONTROL ON ALL FDOT, CITY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
5. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
6. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
7. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
8. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
9. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
10. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
11. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
12. ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL) :1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
13. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
14. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
15. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
16. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

WATER AND SEWER UTILITY NOTES

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPE CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
5. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
8. UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
9. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

MAINTENANCE

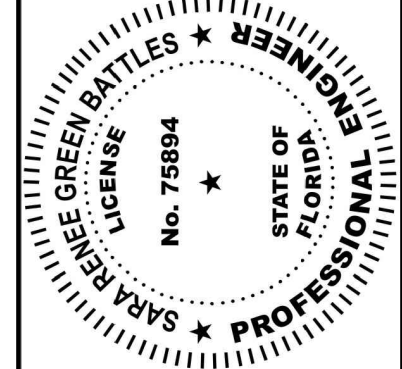
- ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
 2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION).
 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
 4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
 5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
 6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
 7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SARA BATTLES ON 6/23/2022 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

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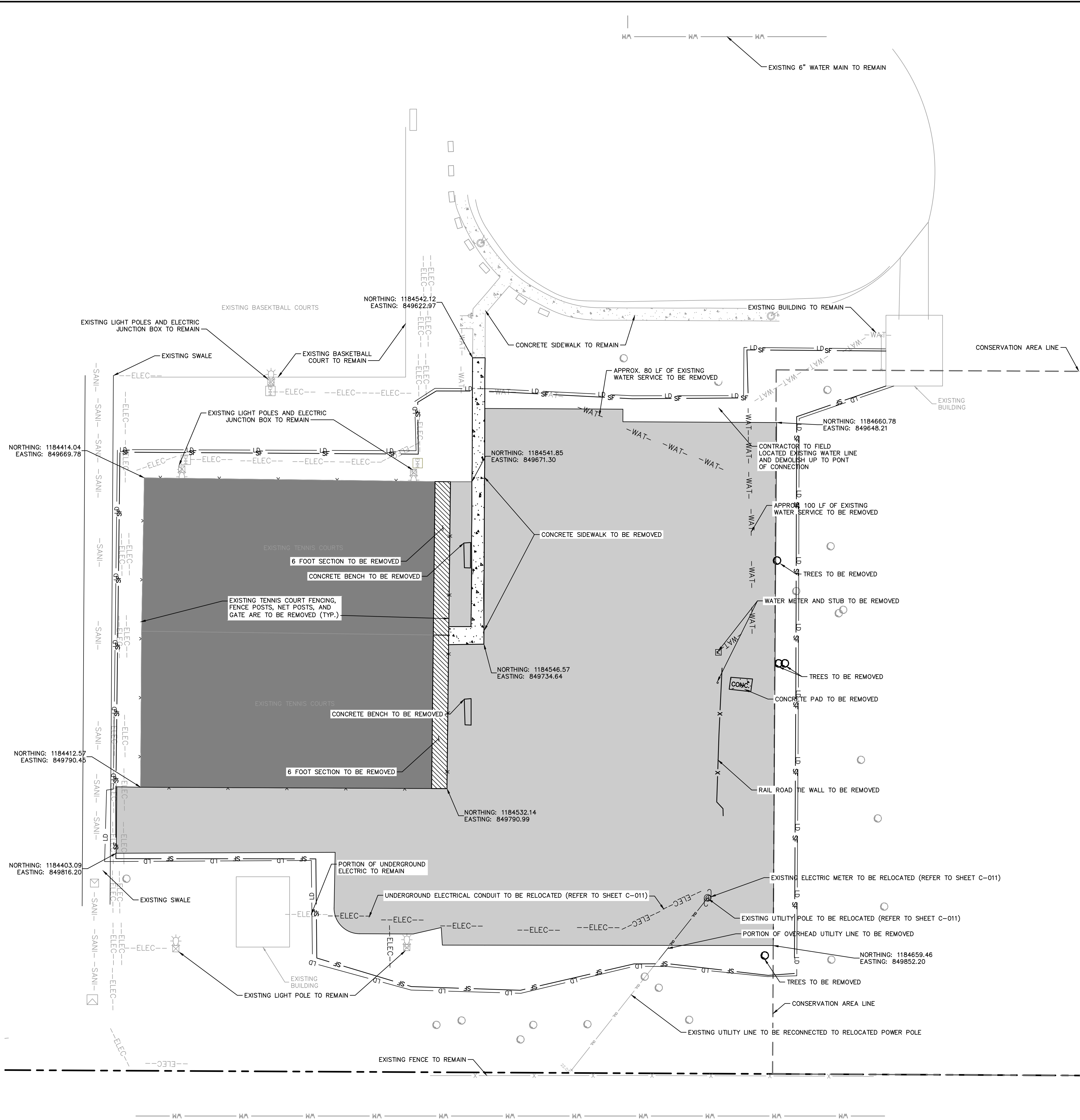


KHA PROJECT	047035113
DATE	6/23/2022
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GENERAL NOTES

**DICK BIRD PARK
 PICKLEBALL COURTS**
 PREPARED FOR
INDIAN RIVER COUNTY
 VERO BEACH, FL

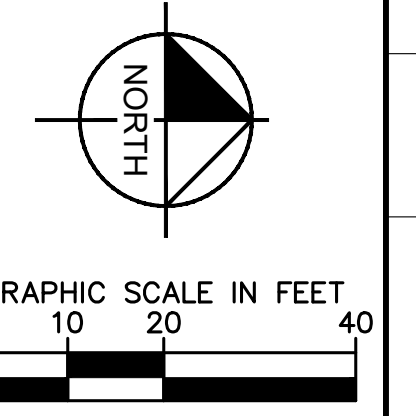
Plotted By: Esposito, A.J. Sheet: SCDICK BIRD PARK PICKLEBALL COURTS Layout: C-002 EROSION CONTROL AND DEMOLITION PLAN June 23, 2022 05:10:19pm K:\VBR-LOEVA\047035113 Dick Bird Park CAD\PlanSheets\C-002 EROSION CONTROL AND DEMOLITION PLAN.dwg
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- ### LEGEND
- EXISTING TREE TO BE REMOVED
 - EXISTING TREE TO REMAIN
 - ⊕ TREE PROTECTION
 - SF — PROPOSED SILT FENCE
 - LD — PROPOSED LIMIT OF DISTURBANCE
 - WM — EXISTING WATER MAIN TO BE REMOVED
 - — — CONSERVATION AREA LINE
 - X — EXISTING TENNIS COURT FENCE TO BE REMOVED
 - WAT — EXISTING WATER LINE TO BE REMOVED
 - WAT — EXISTING WATER LINE TO REMAIN
 - SANI — EXISTING WATER LINE TO REMAIN
 - ELEC — EXISTING ELECTRIC LINE TO BE REMOVED
 - ELEC — EXISTING ELECTRIC LINE TO REMAIN
 - OUL — EXISTING OVERHEAD ELECTRIC LINE TO REMAIN
 - OUL — EXISTING OVERHEAD ELECTRIC LINE TO BE REMOVED
 - PROPOSED GREEN SPACE TO BE REMOVED (29,687 SF)
 - TENNIS COURT SURFACE TO BE RESURFACED (REFER TO DETAIL ON SHEET C-005)
 - ▨ 6-FOOT SECTION OF TENNIS COURT TO BE REMOVED
 - ▨ 532 SF OF SIDEWALK TO BE REMOVED

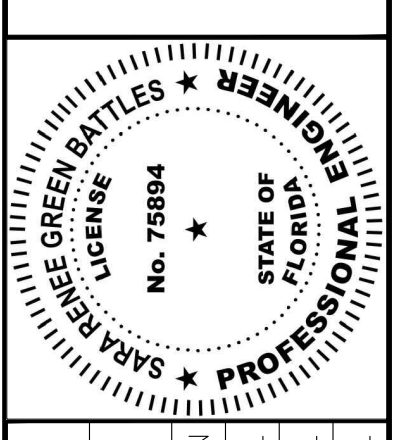
- ### GENERAL EROSION AND SEDIMENT CONTROL NOTES:
- A. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THE SITE MAP, THIS DRAWING ("THE STANDARD DETAILS"), THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
 - B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
 - C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
 - D. BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
 - E. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
 - F. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
 - G. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
 - H. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
 - I. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
 - J. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
 - K. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
 - L. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - M. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE, BUT IN NO CASE MORE THAN 7 DAYS, IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED.
 - N. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
 - O. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
 - P. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
 - Q. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
 - R. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
 - S. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
 - T. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
 - U. SEE SITE PLAN FOR PERMANENT AND TEMPORARY SIGNAGE.
 - V. GENERAL CONTRACTOR IS TO DESIGNATE/IDENTIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
 - W. REFER TO THE SWPPP FOR REPORTABLE SPILL QUANTITIES OF PETROLEUM PRODUCTS AND/OR HAZARDOUS WASTES.
 - X. REFER TO THE SPECIFICATIONS FOR RUN-OFF SAMPLING/MONITORING REQUIREMENTS IF APPLICABLE TO SITE DURING CONSTRUCTION.
 - Y. CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.

- ### DEMOLITION NOTES:
1. THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT ALL EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
 2. THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY.
 3. CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION PERMITS.
 4. ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR DEVELOPMENT.
 5. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY THE DEVELOPER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
 6. CONTRACTOR TO COORDINATE WITH ALL UTILITY OWNERS PRIOR TO DEMOLITION TO ENSURE SERVICES HAVE BEEN DISCONNECTED.
 7. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
 8. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJACENT ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
 9. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING SITE LIGHTING AND CONDUIT ROUTINGS AND FOR ASSURING THAT THE CIRCUITRY OF THE SITE LIGHTING TO REMAIN IS MAINTAINED AND THAT DEMOLITION DOES NOT IMPACT SITE LIGHTING OF THE REMAINDER OF THE DEVELOPMENT.
 10. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING UNSUITABLE SOILS AND REPLACING WITH APPROVED FILL.
 11. CONTRACTOR SHALL OBTAIN A PERMIT FROM HEALTH DEPARTMENT AND SHALL REMOVE THE SEPTIC TANK SYSTEM AND RESTORE THE AREA AS REQUIRED BY THE PERMIT.
 12. CONTRACTOR TO REPAIR THE TENNIS COURT ASPHALT SURFACE DAMAGED FROM REMOVAL OF THE EXISTING FENCE FOOTERS.
 13. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING GRADES AND PROVIDE CONSTRUCTION SURVEYING AND SHAKE-OUT.



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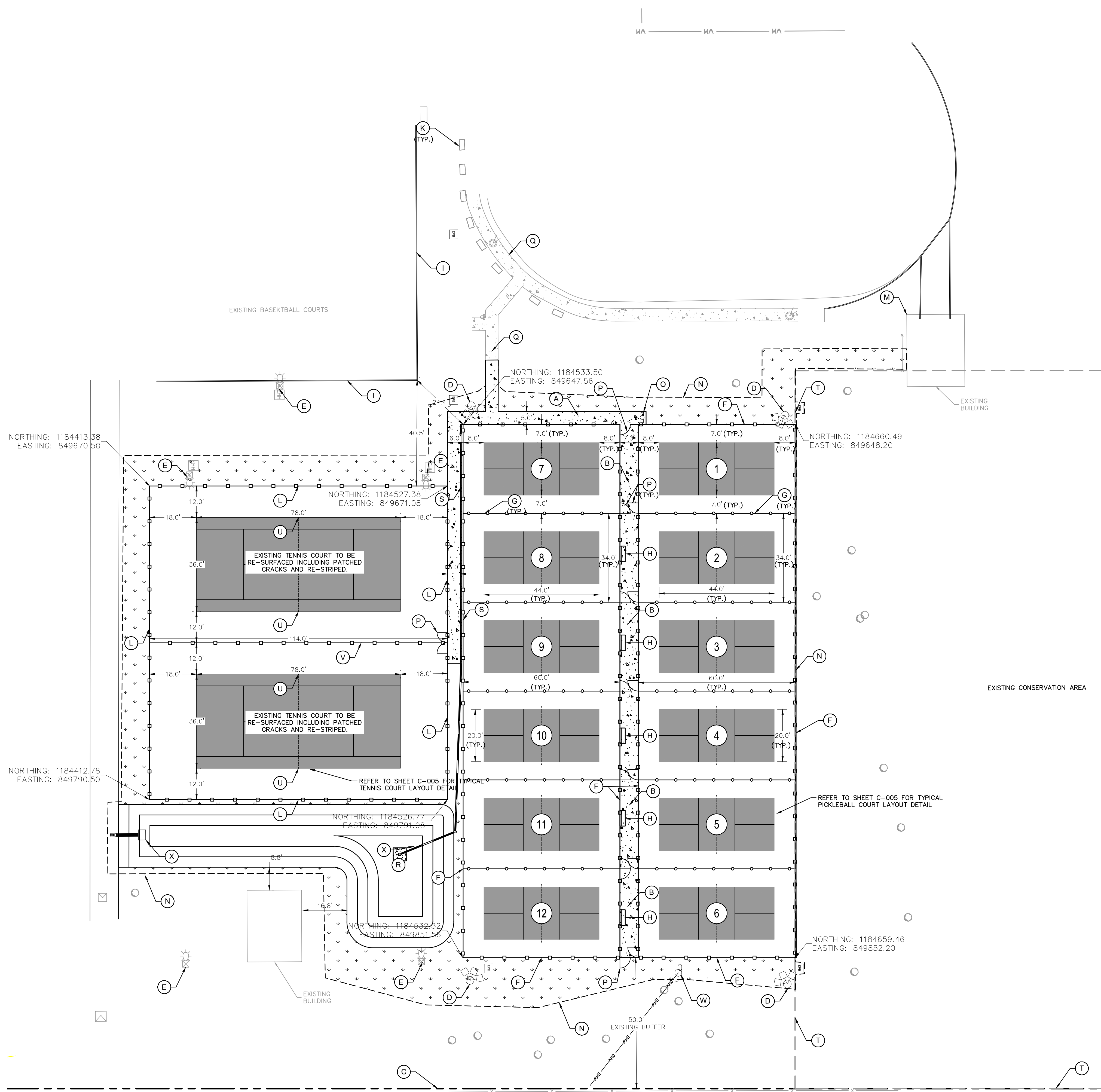
EROSION CONTROL AND DEMOLITION PLAN

DICK BIRD PARK PICKLEBALL COURTS
 PREPARED FOR INDIAN RIVER COUNTY
 VERO BEACH, FL

SHEET NUMBER
C-002

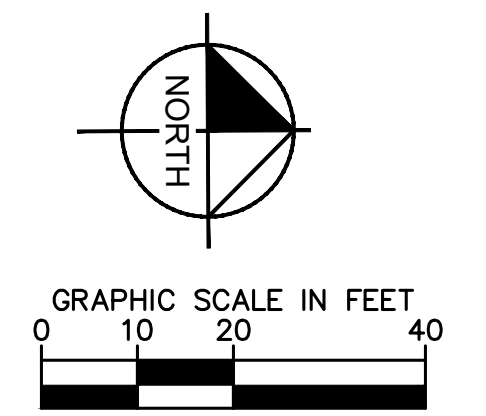
CALL 48 HOURS BEFORE YOU DIG
811
 IT'S THE LAW!
 DIAL 811
 Know what's below. Call before you dig.
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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LEGEND

- PROPERTY LINE
- CONSERVATION AREA LINE
- WORK AREA LINE
- CONCRETE SIDEWALK
- SOD AREA
- PROPOSED 4' FENCE
- PROPOSED 8' FENCE
- EXISTING FENCE TO REMAIN
- EXISTING TREE TO REMAIN
- BENCH
- GATE
- NUMBER OF PROPOSED PICKLEBALL COURT
- PERMANENT COURT



SITE DATA

LOCATION:	SECTION 23, TOWNSHIP 33S , RANGE 39E
PARCEL ID:	33-39-23-00001-01-000001.0
ADDRESS:	800 20TH AVENUE SW, VERO BEACH, FL 32960
ZONING:	RS-6
COMMERCIAL LAND USE:	8800 (COUNTY FORECLOSED/OWNED)
PROJECT AREA:	1.23 ACRES
IMPERVIOUS AREA:	0.935 ACRES
PERVIOUS AREA:	0.295 ACRES

LAND USE TABLE (PROJECT AREA):		
SIDEWALK AREA:	2,438 SF (0.056 AC)	4.55%
OPEN SPACE AREA:	8,549 SF (0.196 AC)	15.90%
DRY SWALE:	4,292 SF (0.099 AC)	8.04%
PROPOSED COURT AREA:	38,293 SF (0.879 AC)	71.46%
TOTAL PROJECT AREA:	53,572 SF (1.23 AC)	100%

KEYNOTES

- (A) PROPOSED 5'-0" WIDE SIDEWALK (REFER TO SHEET C-008 FOR DETAIL)
- (B) PROPOSED 7'-0" WIDE SIDEWALK (REFER TO SHEET C-008 FOR DETAIL)
- (C) PROPERTY LINE
- (D) PROPOSED LIGHT POLE
- (E) EXISTING LIGHT POLE
- (F) PROPOSED 8' FENCE (REFER TO SHEET C-006 FOR DETAIL)
- (G) PROPOSED 4' FENCE
- (H) PROPOSED 6' WIDE BENCH, MODEL B78-6 (REFER TO SHEET C-005 FOR DETAIL)
- (I) EXISTING BASKETBALL COURTS
- (J) EXISTING TENNIS COURTS
- (K) EXISTING TRAFFIC BARRIERS
- (L) PROPOSED 10' FENCE
- (M) EXISTING MAINTENANCE BUILDING
- (N) PROJECT AREA
- (O) PROPOSED WATER FOUNTAIN (REFER TO SHEET C-005 FOR DETAIL)
- (P) PROPOSED COURT GATES (REFER TO SHEET C-006 FOR DETAIL)
- (Q) EXISTING SIDEWALK
- (R) PROPOSED DRAINAGE SWALE
- (S) PROPOSED TRENCH DRAIN
- (T) UNRECORDED CONSERVATION LINE
- (U) PROPOSED TENNIS COURT NET AND POSTS (REFER TO DETAIL ON SHEET C-006)
- (V) PROPOSED 10' TENNIS COURT DIVIDER FENCE WITH FENCE MESH ON BOTH SIDES OF POSTS (REFER TO DETAIL ON SHEET C-006)
- (W) RELOCATED UTILITY POLE AND ELECTRIC METER
- (X) PROPOSED DRAINAGE STRUCTURE

SITE NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
2. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
3. NO WETLANDS ARE PRESENT.

VERTICAL DATUM
ALL ELEVATIONS SHOWN HEREON HAVE BEEN REFERENCED TO THE NATIONAL AMERICAN VERTICAL DATUM, 1988 (NAVD'88)

FLOOD ZONE
THE PROPERTY WHICH IS THE SUBJECT OF THIS SURVEY APPEARS TO BE SITUATED IN FLOOD ZONE X AT THIS TIME AS SCALED FROM F.E.M.A. FIRM NO. 12061C0359H, DATED DECEMBER 4, 2012.

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STATE OF FLORIDA
PROFESSIONAL ENGINEER
SARA BATTLES
LICENSE No. 78894
SCALE AS SHOWN
DATE 6/23/2022
KHA PROJECT 047035113

SITE PLAN

DICK BIRD PARK PICKLEBALL COURTS
PREPARED FOR
INDIAN RIVER COUNTY
VERO BEACH, FL

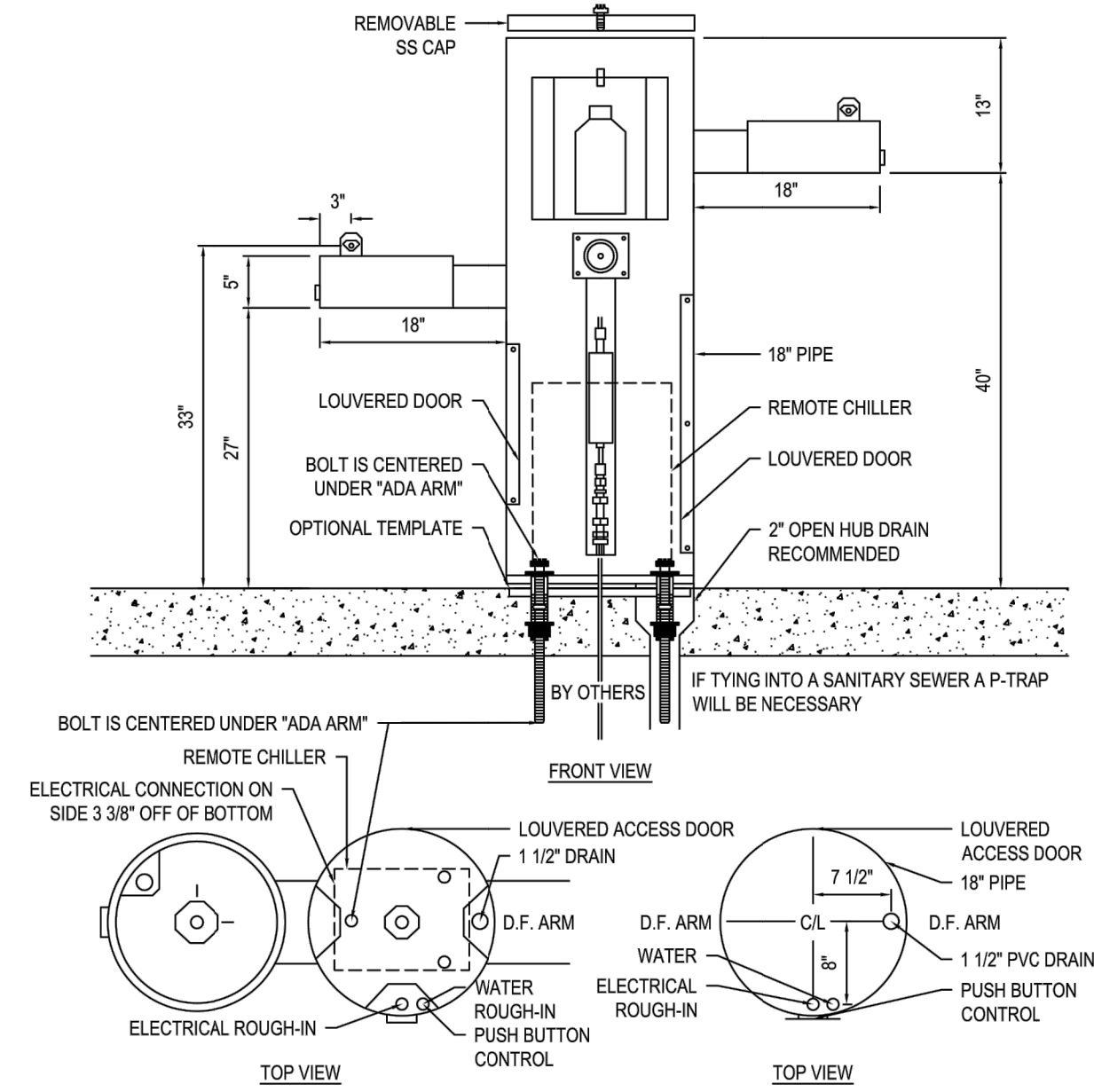
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 ARLINGTON, TN 38002-0587
 PHONE: (901) 867-0039
 www.mostdependable.com



- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. NOTE TO ARCHITECT: SCALE DRAWING IN AUTOCAD MODEL SPACE.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 3354-21.13

MODEL 10145-18 SM
 SHOWN W/ REMOTE CHILLER, SHOWN W/ OPTIONAL TEMPLATE

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WATER FOUNTAIN DETAIL
N.T.S.



Riverview Series Model B78 Surface Mount Bench with Steel Strap Contour Seat

SPECIFICATION BULLETIN #SPC-BC-158
 REV. 06-09



Model B78/CA-6SS Riverview surface mount bench with gray powder coat finish, 6 ft. long with contour steel strap seat.

- Comfortable contoured full back and seat design
- Wide frame curves form comfortable armrests
- Sturdy, formed and welded steel frame construction
- Powder Coat finish
- Comfortable welded contour seat design
- Bolt together assembly
- Quality construction throughout

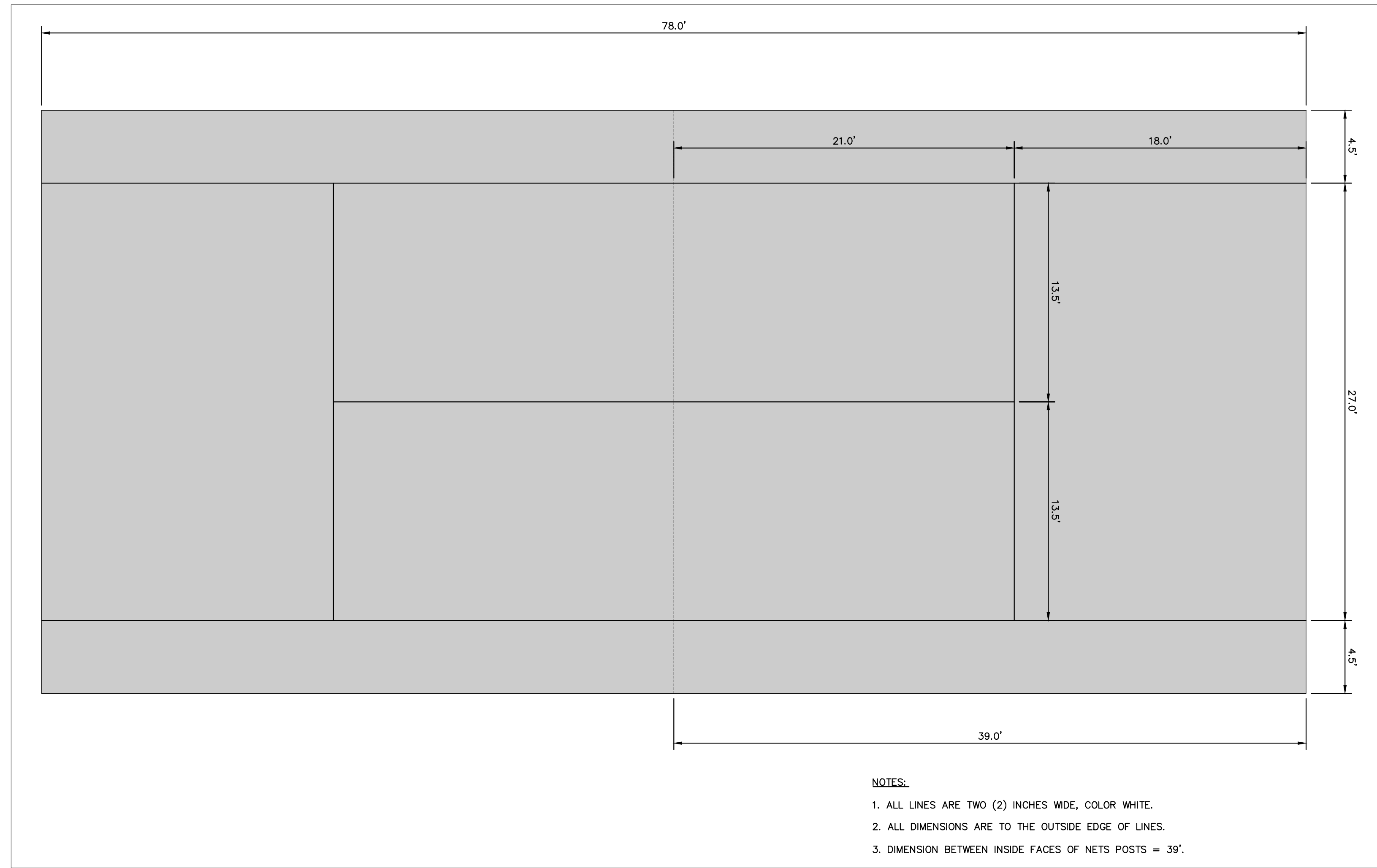
AVAILABLE OPTIONS

- 4', 6', or 8' models
- Choice of colors of Powder Coat Finish on steel frame components
- Custom plaques

RJThomas Mfg. Co., Inc.

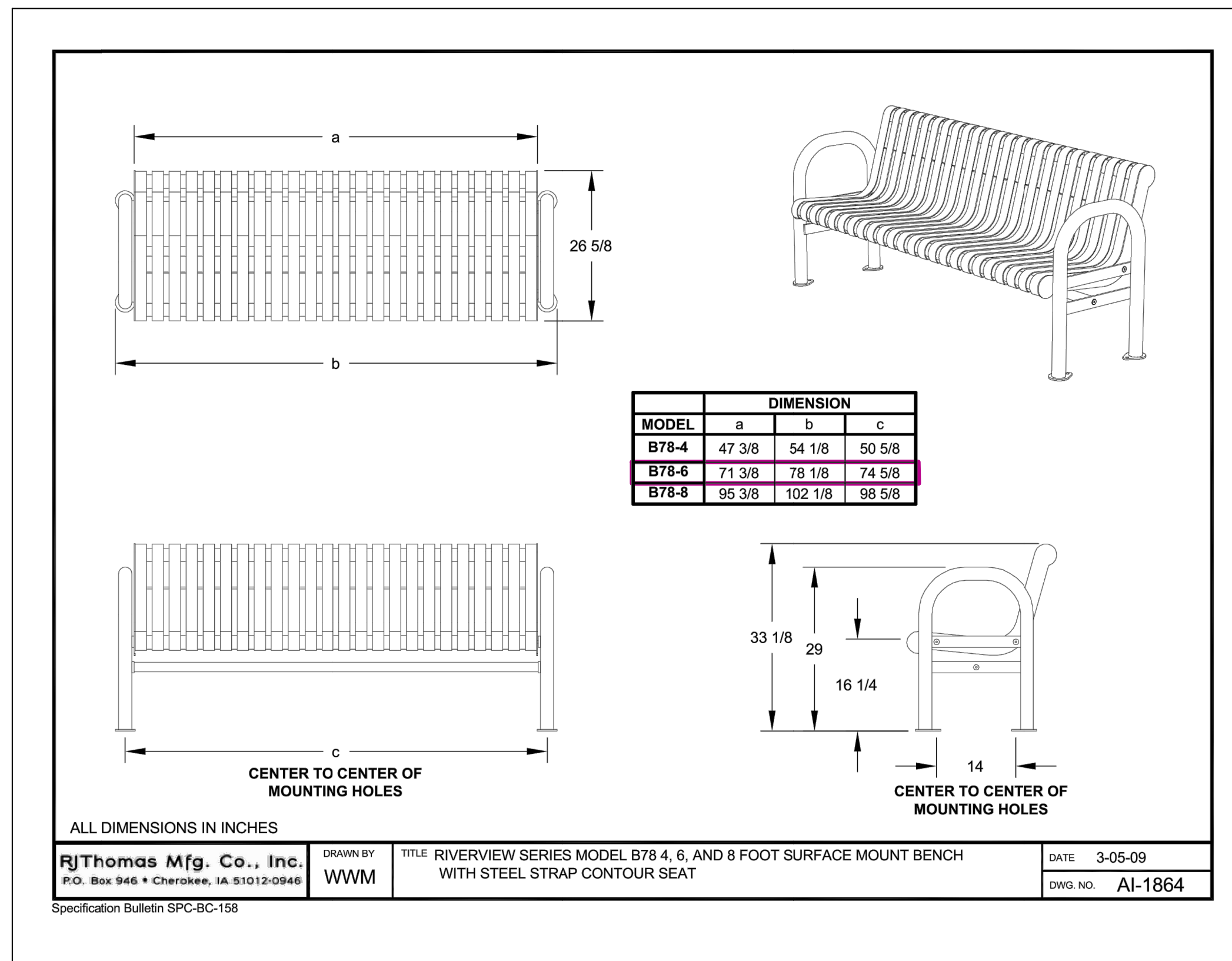
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BENCH DETAIL
N.T.S.



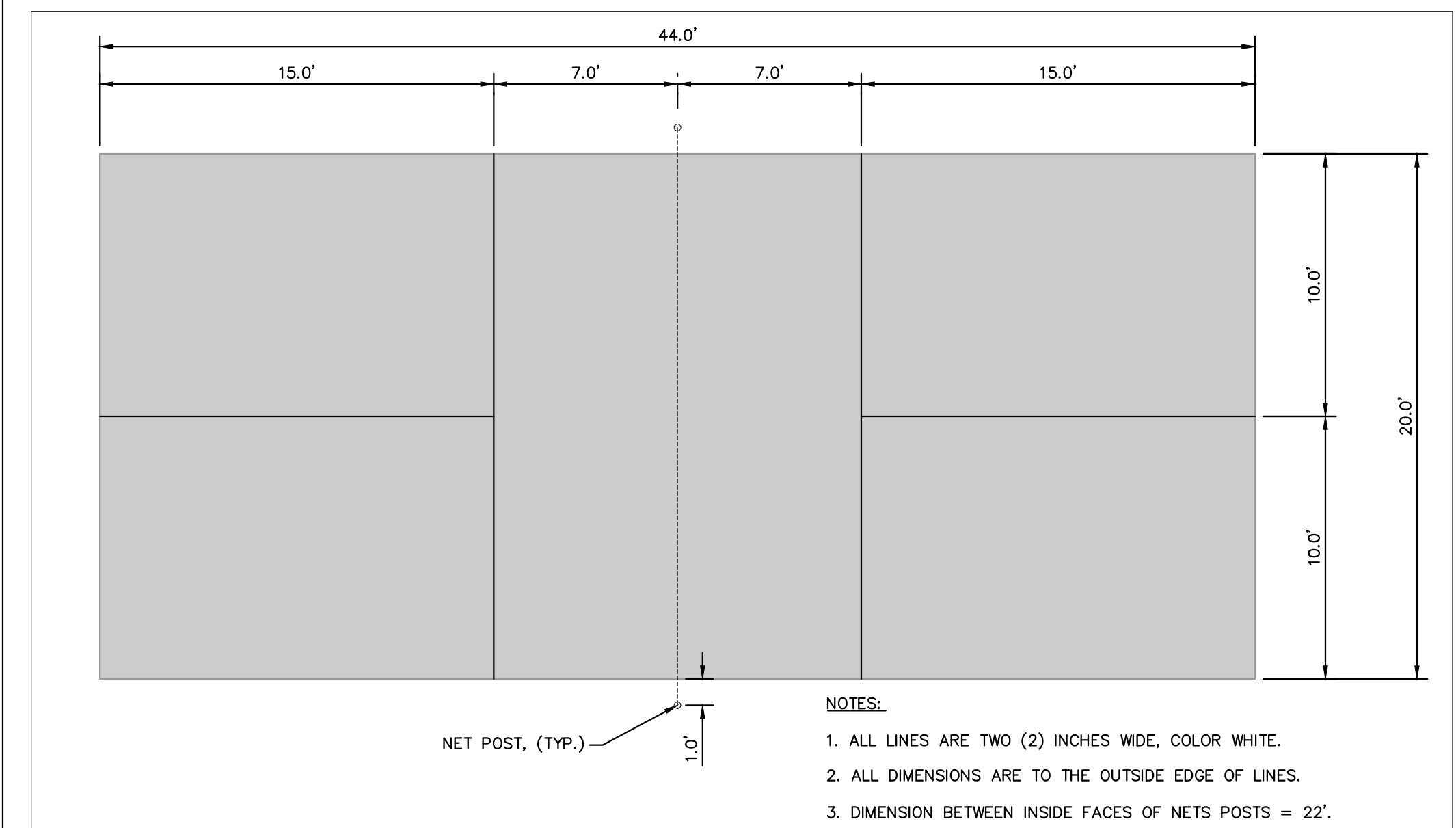
- NOTES:
1. ALL LINES ARE TWO (2) INCHES WIDE, COLOR WHITE.
 2. ALL DIMENSIONS ARE TO THE OUTSIDE EDGE OF LINES.
 3. DIMENSION BETWEEN INSIDE FACES OF NETS POSTS = 39'.

TYPICAL TENNIS COURT LAYOUT PLAN
N.T.S.



ALL DIMENSIONS IN INCHES
RJThomas Mfg. Co., Inc. DRAWN BY: WWM TITLE: RIVERVIEW SERIES MODEL B78 4, 6, AND 8 FOOT SURFACE MOUNT BENCH WITH STEEL STRAP CONTOUR SEAT DATE: 3-05-09
 P.O. Box 946 • Cherokee, IA 51012-0946 DWG. NO.: AI-1864

BENCH DETAIL
N.T.S.

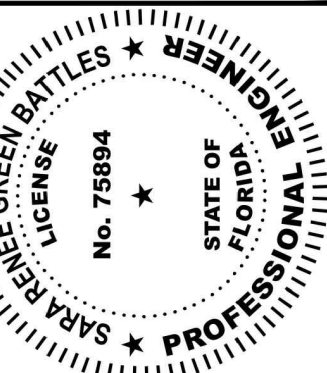


- NOTES:
1. ALL LINES ARE TWO (2) INCHES WIDE, COLOR WHITE.
 2. ALL DIMENSIONS ARE TO THE OUTSIDE EDGE OF LINES.
 3. DIMENSION BETWEEN INSIDE FACES OF NETS POSTS = 22'.

TYPICAL PICKLEBALL COURT LAYOUT PLAN
N.T.S.

No.	REVISIONS	DATE	BY

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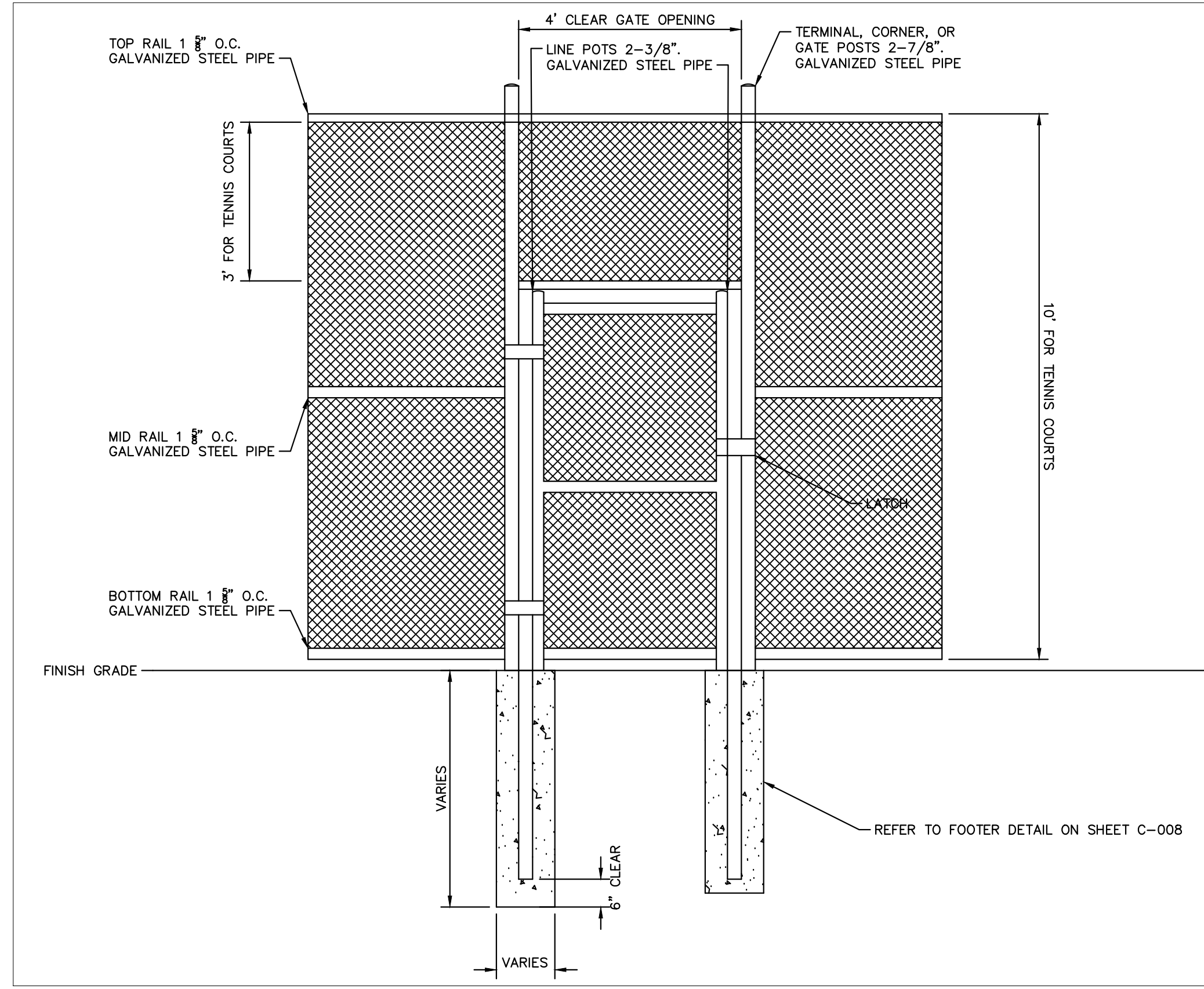
KHA PROJECT: 047035113
 DATE: 6/23/2022
 SCALE: AS SHOWN
 DESIGNED BY: [blank]
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SITE DETAILS

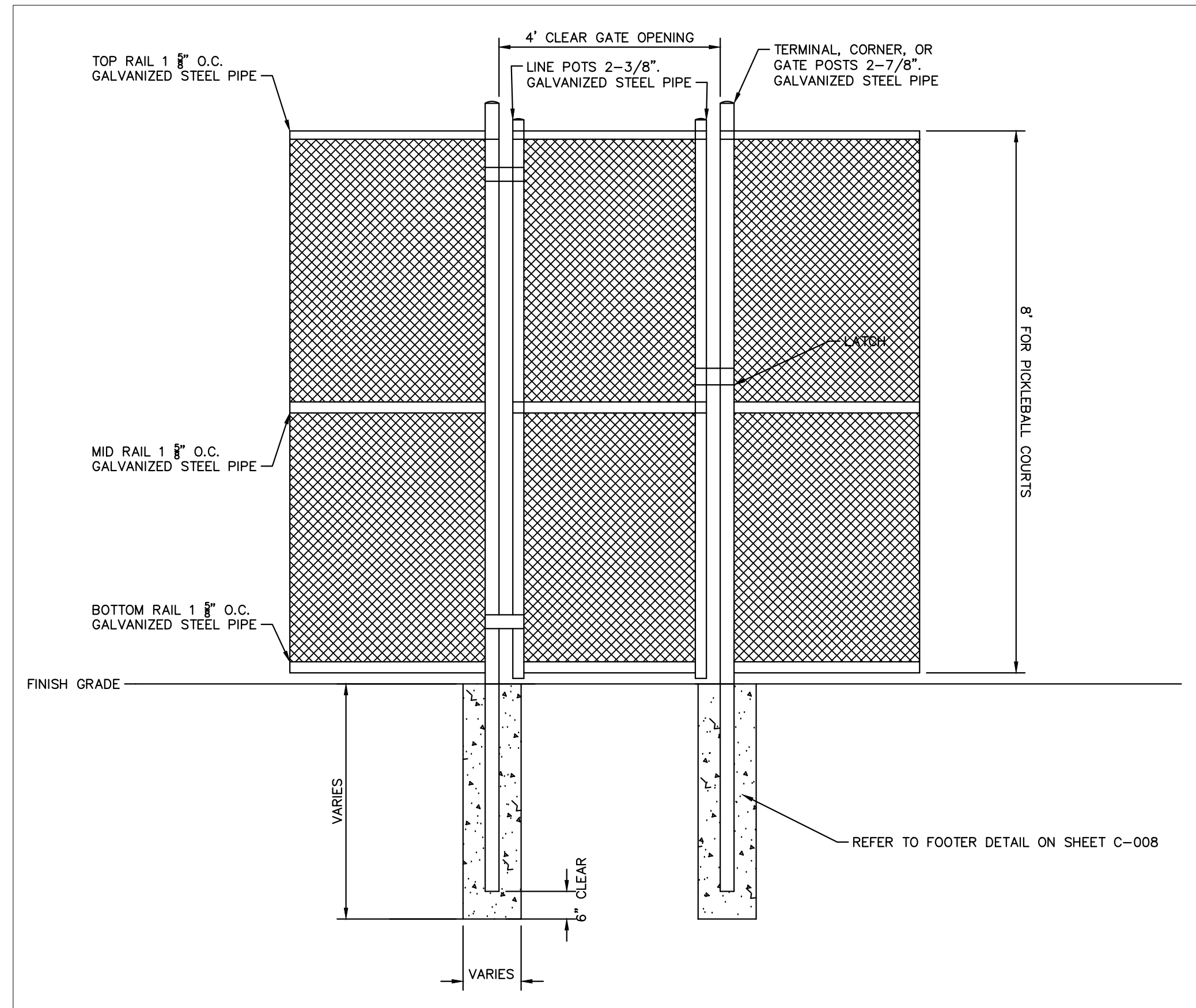
DICK BIRD PARK
 PICKLEBALL COURTS
 PREPARED FOR
 INDIAN RIVER COUNTY
 VERO BEACH, FL

SHEET NUMBER
C-005

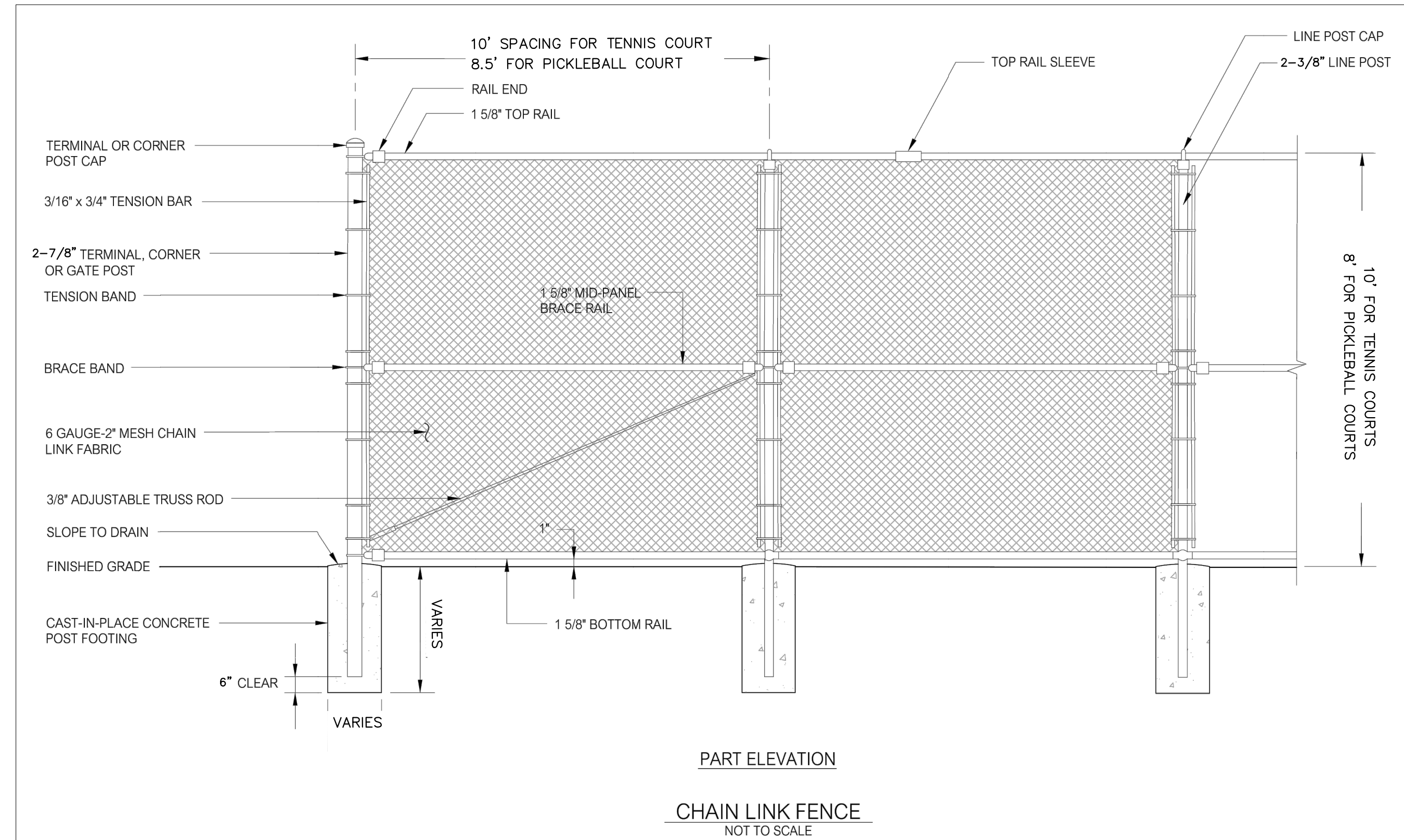
Plotted By: Esposito, AJ Sheet: Set: DICK BIRD PARK PICKLEBALL COURTS Layout: FENCE DETAILS Date: 23, 2022 05:10:49pm K:\VRB-LEVA\047035113-Dick Bird Park\CAD\FloorSheets\C-005-SITE-DETAILS.dwg
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TENNIS COURT SWING GATE
N.T.S.



PICKLEBALL COURT SWING GATE
N.T.S.



PART ELEVATION
CHAIN LINK FENCE
NOT TO SCALE

- NOTES:
- 1) CHAIN LINK FENCE POSTS, RAILS, FITTINGS, HOG RINGS, AND FASTENERS SHALL BE STEEL HOT DIPPED GALVANIZED COATED BLACK. FENCE FABRIC SHALL BE STEEL HOT DIPPED GALVANIZED, PVC COATED BLACK.
 - 2) CHAIN LINK FENCE INSTALLATION PER FLORIDA BUILDING CODE SECTION 2224, HIGH VELOCITY HURRICANE ZONES- CHAIN LINK FENCES, LATEST EDITION.

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KHA PROJECT	047035113
DATE	6/23/2022
SCALE	AS SHOWN
DESIGNED BY	AJF
DRAWN BY	AJF
CHECKED BY	SB

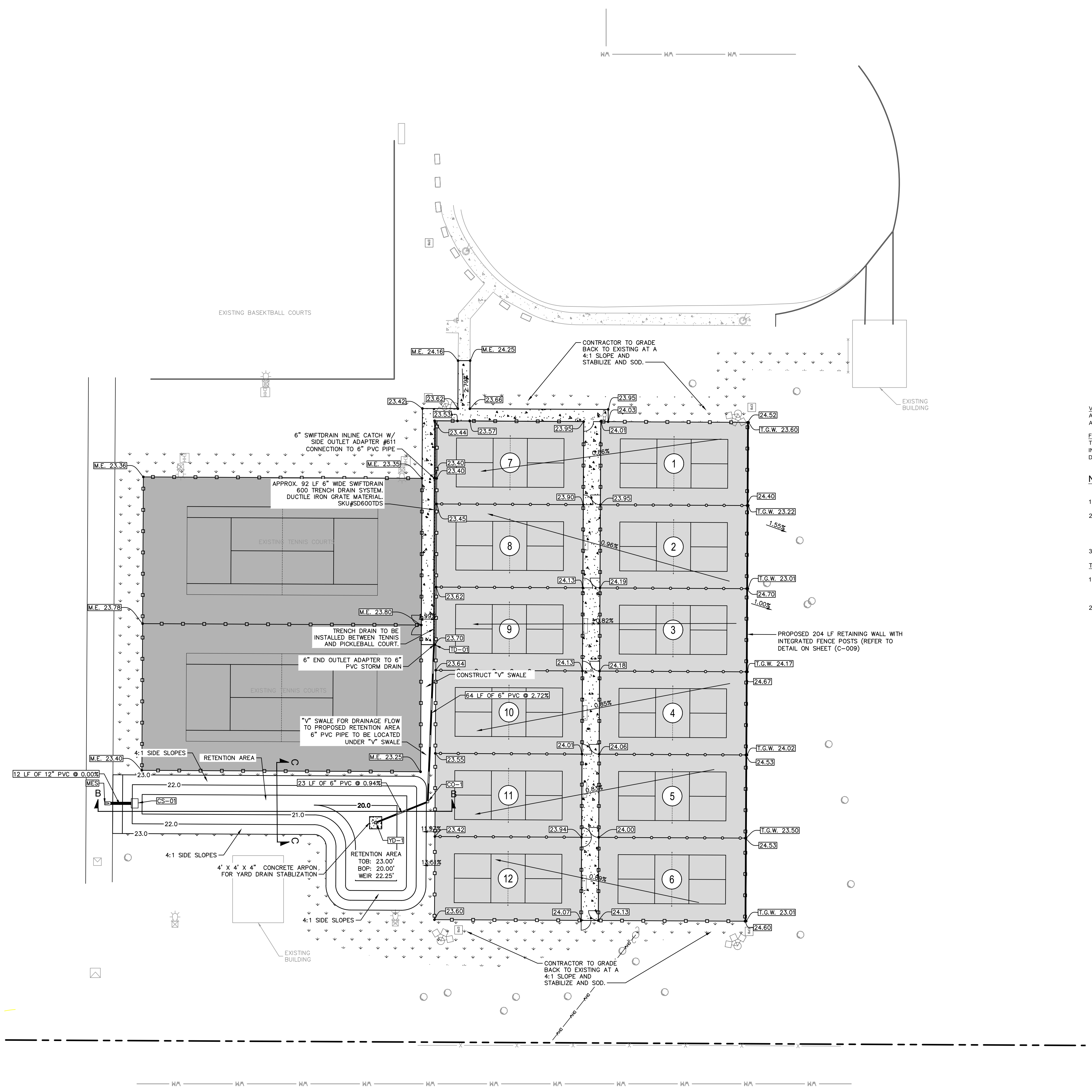
FENCE DETAILS

**DICK BIRD PARK
 PICKLEBALL COURTS**
 PREPARED FOR
INDIAN RIVER COUNTY
 VERO BEACH, FL

SHEET NUMBER
C-006

No.	REVISIONS	DATE	BY

Plotted By: Esposito, AJ - Sheet: SHELICK BIRD PARK PICKLEBALL COURTS - Layout: PAVING, GRADING, AND DRAINAGE PLAN - June 23, 2022 - 05:11:04pm - K:\V\B\LD\EA\047035113 Dick Bird Park CAD\PlanSheets\C-007 PAVING, GRADING, AND DRAINAGE PLAN.dwg
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GRADING LEGEND

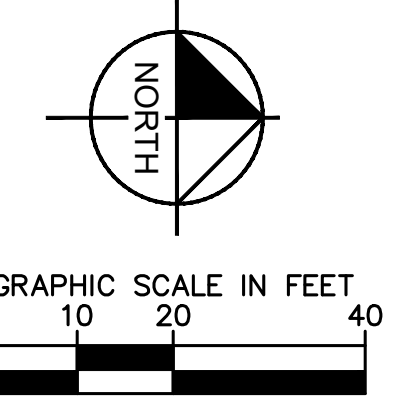
- 23.40 PROPOSED GRADE (EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED)
- M.E. 23.65 MATCH EXISTING GRADES
- ± 20.1 EXISTING GRADES (FROM SURVEY)
- TOS TOP OF SIDEWALK GRADE
- TOC TOP OF CURB GRADE
- HP DENOTES HIGH POINT
- T.G.W. TIE-IN GRADE ALONG WALL
- $\swarrow 0.3\%$ DRAINAGE FLOW DIRECTION

DRAINAGE LEGEND

- EX DENOTES EXISTING FEATURE
- SD STORM DRAIN PIPE

PAVING LEGEND

- PROPOSED CONCRETE SIDEWALK
- EXISTING CONCRETE SIDEWALK
- PICKLE BALL ASPHALT COURT SECTION (REFER TO DETAIL ON SHEET C-008)
- TENNIS COURT RESURFACE (REFER TO DETAIL ON SHEET C-008)



VERTICAL DATUM
 ALL ELEVATIONS SHOWN HEREON HAVE BEEN REFERENCED TO THE NATIONAL AMERICAN VERTICAL DATUM, 1988 (NAVD88)

FLOOD ZONE
 THE PROPERTY WHICH IS THE SUBJECT OF THIS SURVEY APPEARS TO BE SITUATED IN FLOOD ZONE X AT THIS TIME AS SCALED FROM F.E.M.A. FIRM NO. 12061C0359H, DATED DECEMBER 4, 2012.

NOTES:

1. ALL EXISTING PAVEMENT AND CONCRETE TO BE JOINED SHALL BE SAWCUT.
2. SIDEWALKS AND CROSSWALKS SHALL NOT EXCEED 2% CROSS SLOPE NOR 5% LONGITUDINALLY. GRADES IN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION. IN CASES OF SIDEWALK LANDINGS AT BUILDING ENTRANCES, GRADES SHALL NOT EXCEED 2% IN ANY DIRECTION. ACCESSIBLE CURB RAMPS SHALL NOT EXCEED 6" IN LENGTH AND 1:12 SLOPE. LANDINGS AT CHANGES IN DIRECTION SHALL BE MINIMUM 60"x60" AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
3. SPOT ELEVATIONS ARE AT EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

TESTING AND INSPECTION REQUIREMENTS

1. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. UPON COMPLETION OF THE WORK, THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
2. THE OWNER WILL RETAIN THE SERVICES OF A QUALIFIED TESTING LABORATORY TO PERFORM ALL TESTING NECESSARY AS REQUIRED BY THESE PLANS AND THE VARIOUS AGENCIES. THE OWNER SHALL PAY THE COSTS OF ALL INITIAL TESTING. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR SHALL BEAR ALL COSTS OF SAID RETESTING.

DRAINAGE STRUCTURE TABLE			
STRUCTURE	TYPE	RIM EL. (FT.)	INV. EL. (FT.)
CO-1	TRENCH DRAIN PIPE CLEANOUT	RIM: 23.08	6" PVC INV. 19.22(5) 6" PVC INV. 19.22(5)
CS-01	CONTROL STRUCTURE W/ 12" X 40.75" RECTANGULAR WEIR AT ELEV. 22.25' GALVANIZED STEEL REINFORCED GRATE (NON-TRAFFIC RATED) AT RIM ELEVATION 23.00'	RIM: 23.00	12" HDPE INV. 21.00(5)
MES	MITERED END SECTION FOR 12" PIPE	---	12" HDPE INV. 21.00(5)
TD-01	TRENCH DRAIN CONNECTION	---	6" PVC INV. 20.97(5)
TD-1	ASIS 12" INEOLASTIC CATCH BASIN W/ 12" CAST IRON W/ INE GRATE AND 6" SIDE OUTLET CONNECTION	RIM: 20.00	6" PVC INV. 19.00(0)

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DATE: _____

REVISIONS: _____

BY: _____

PAVING, GRADING, AND DRAINAGE PLAN

PREPARED FOR
INDIAN RIVER COUNTY
 VERO BEACH, FL

DICK BIRD PARK PICKLEBALL COURTS

SHEET NUMBER
C-007

KHA PROJECT
 047035113

DATE
 6/23/2022

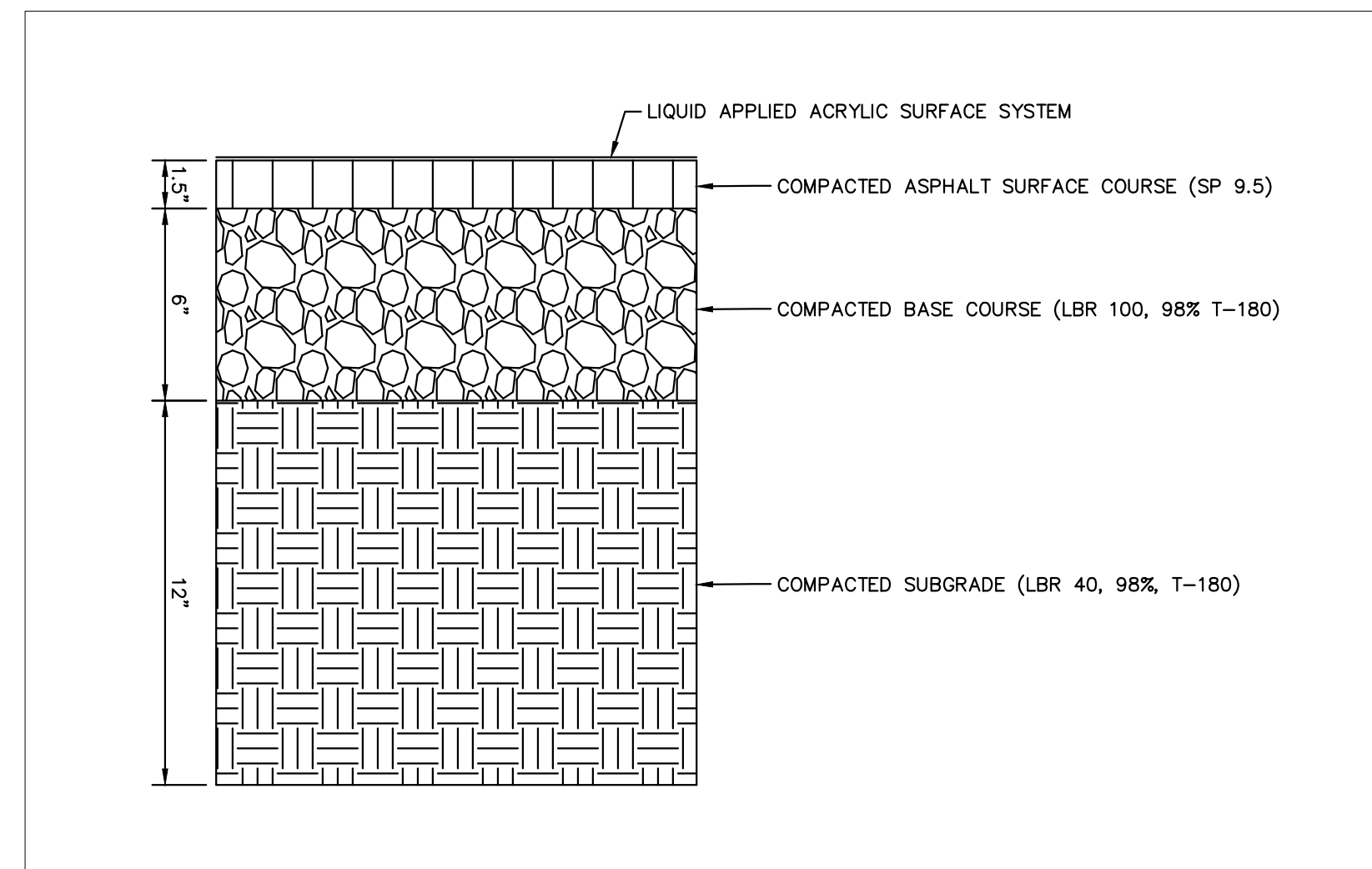
SCALE AS SHOWN

DESIGNED BY
 SARA BATTLES

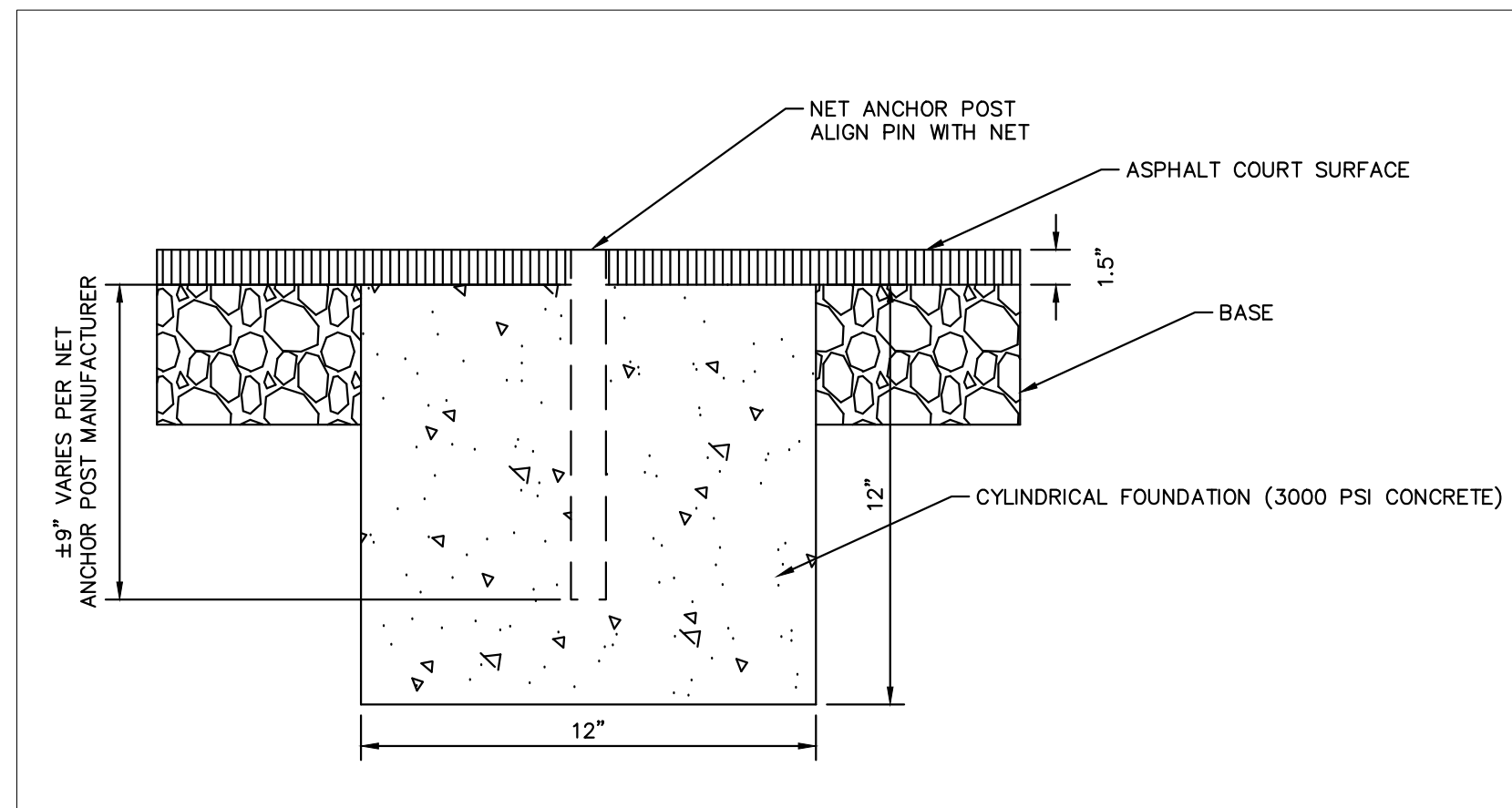
DRAWN BY
 SARA BATTLES

CHECKED BY
 SARA BATTLES

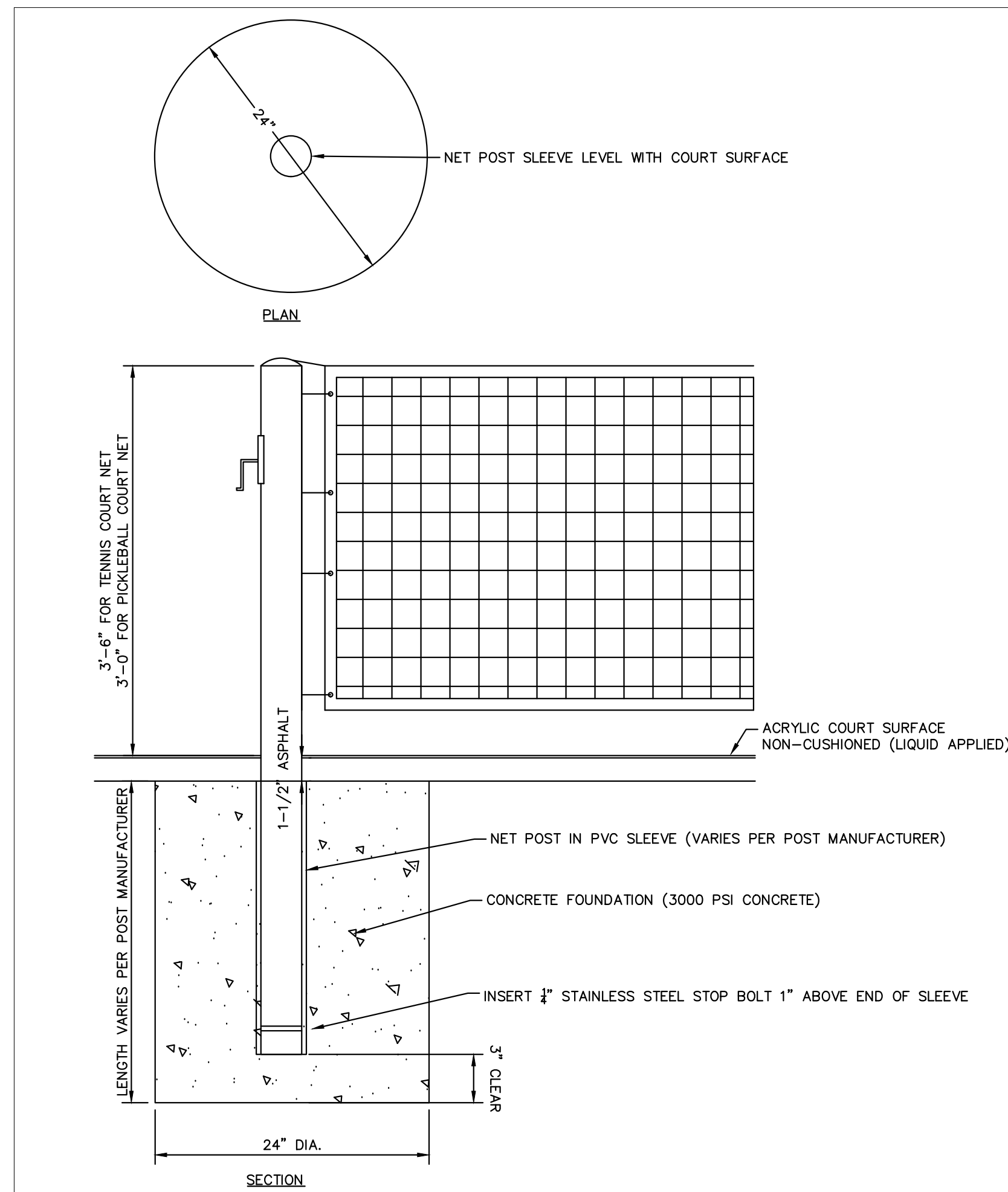
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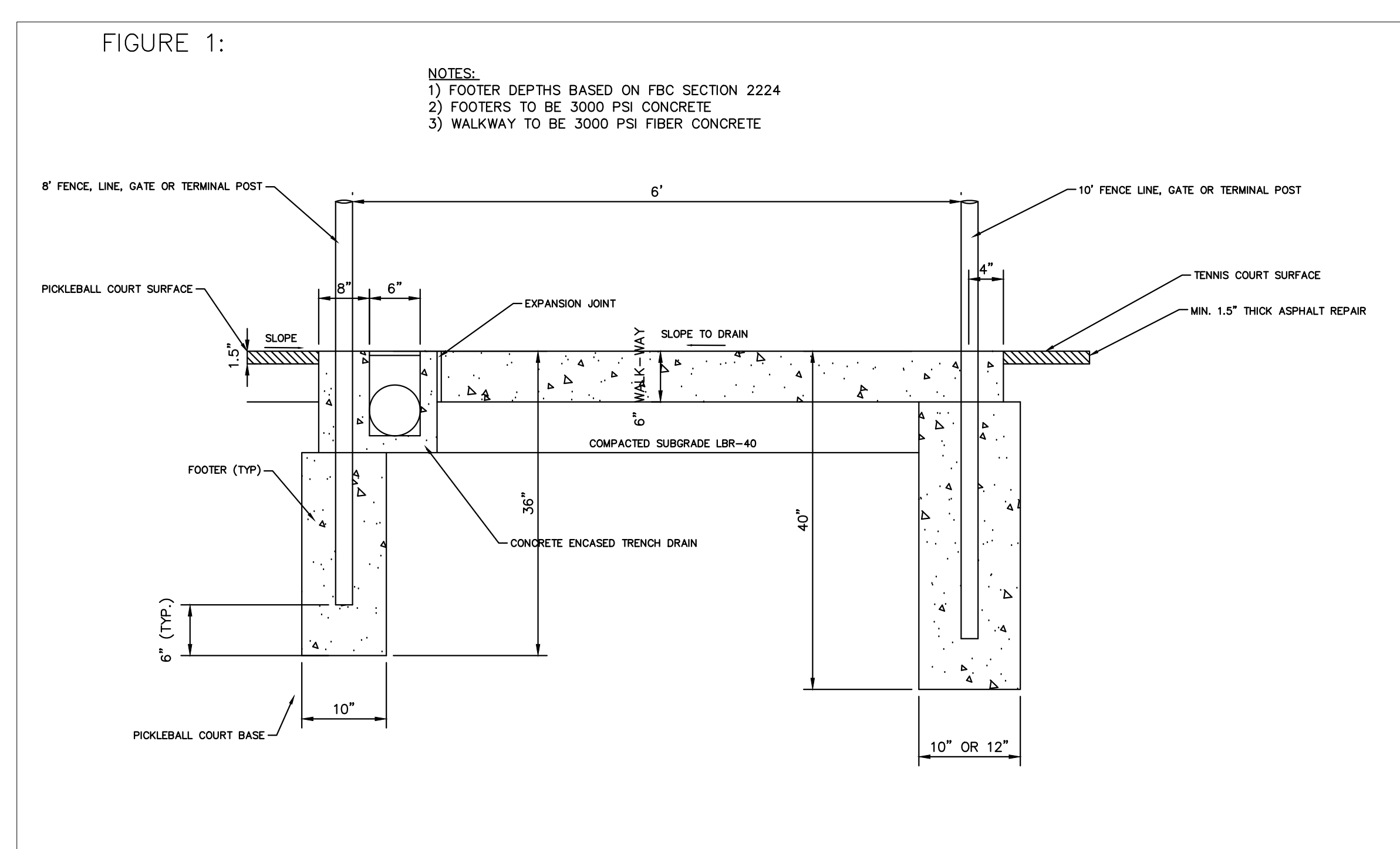
ASPHALT COURT SECTION
N.T.S.



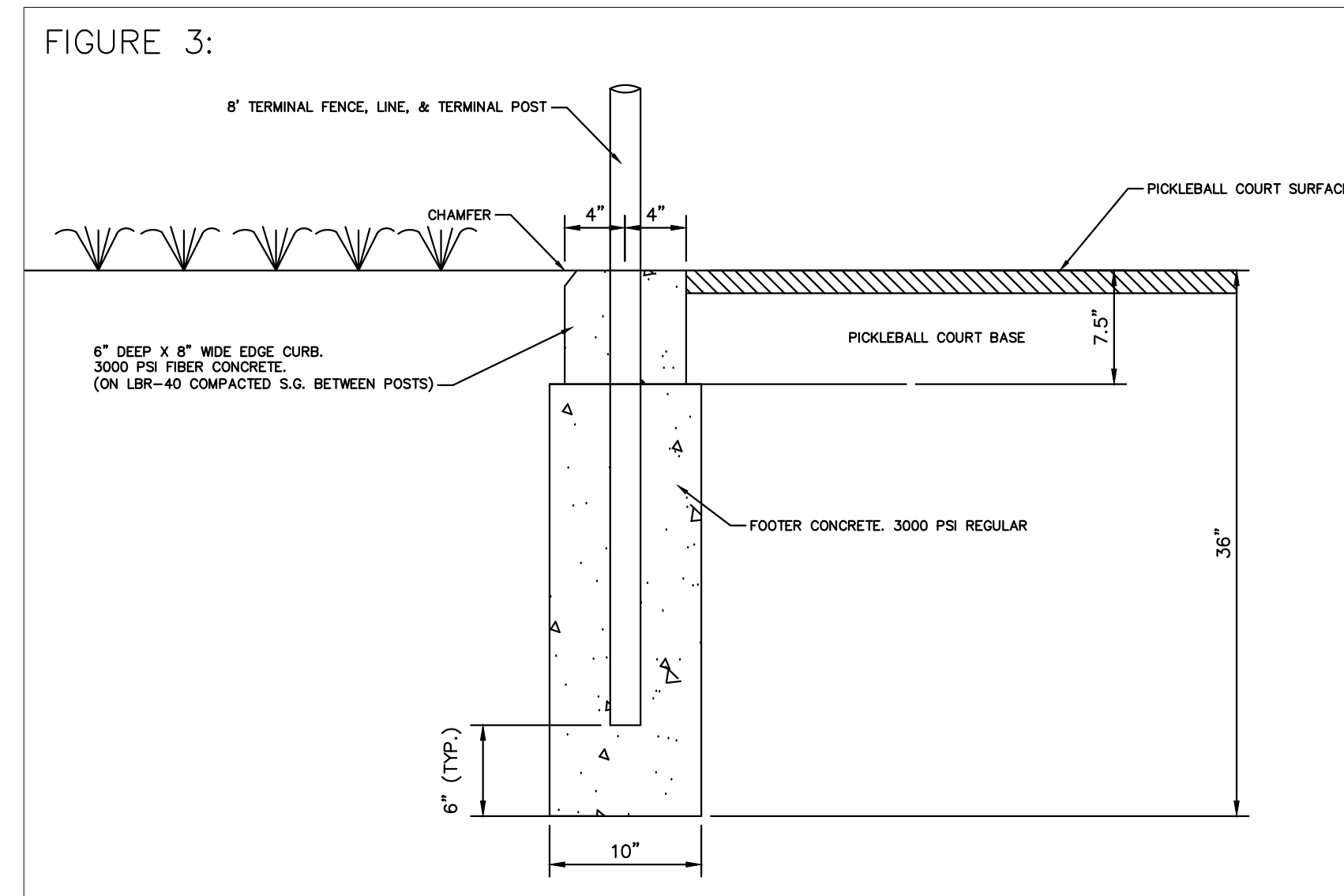
NET ANCHOR FOUNDATION DETAIL
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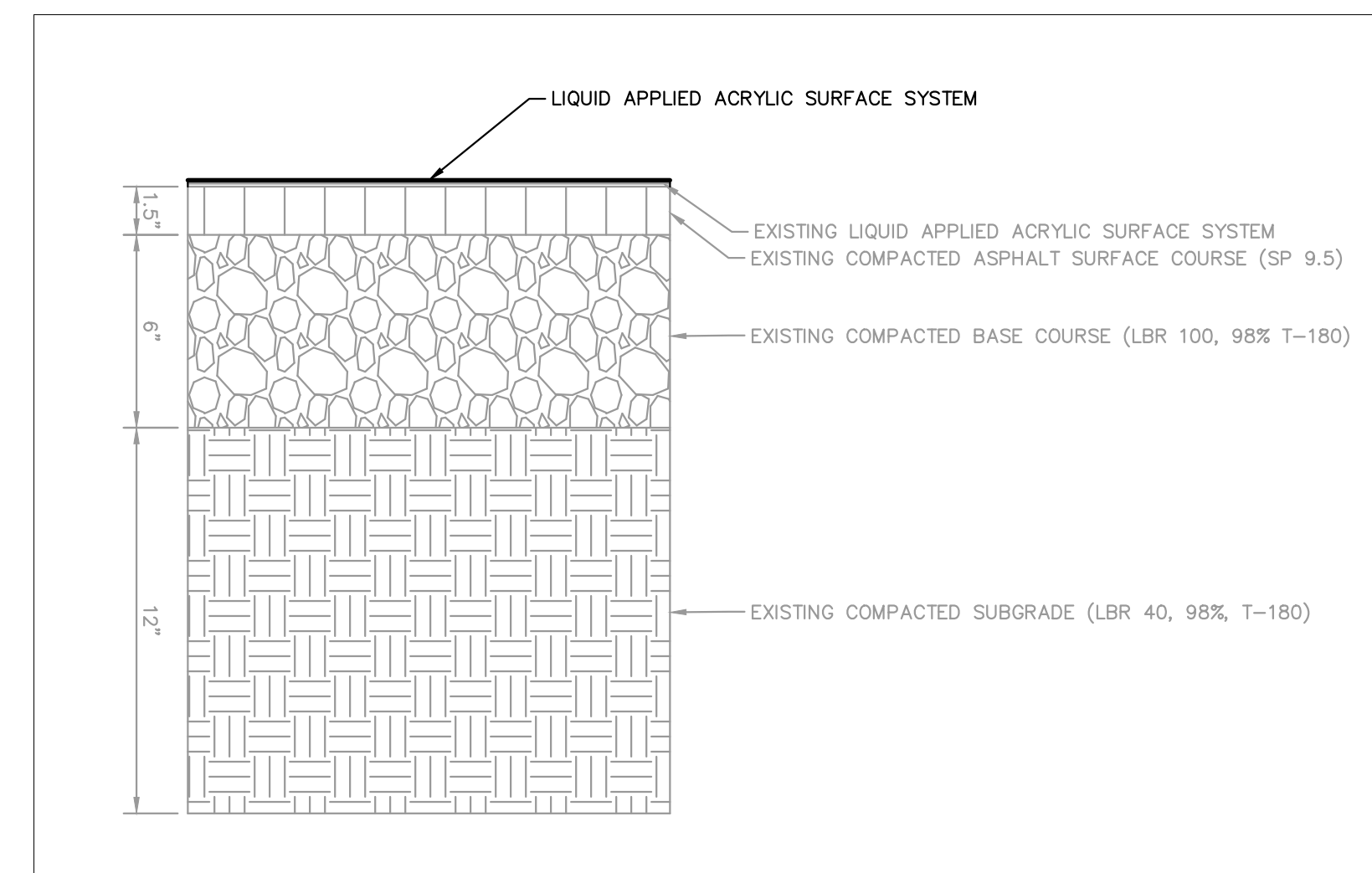
POST ANCHOR DETAIL
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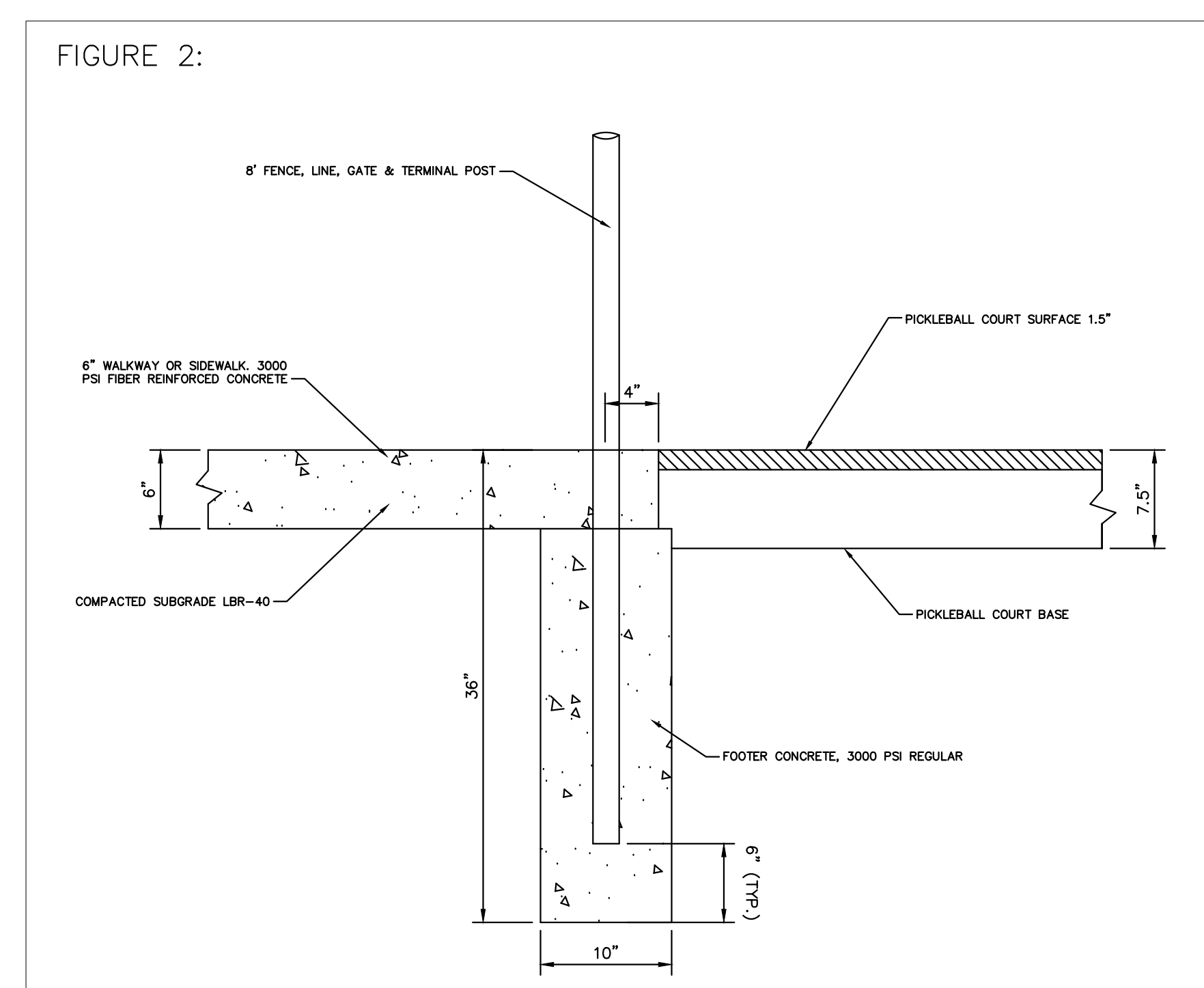
WALK SECTION BETWEEN
PICKLEBALL & TENNIS COURTS
N.T.S.



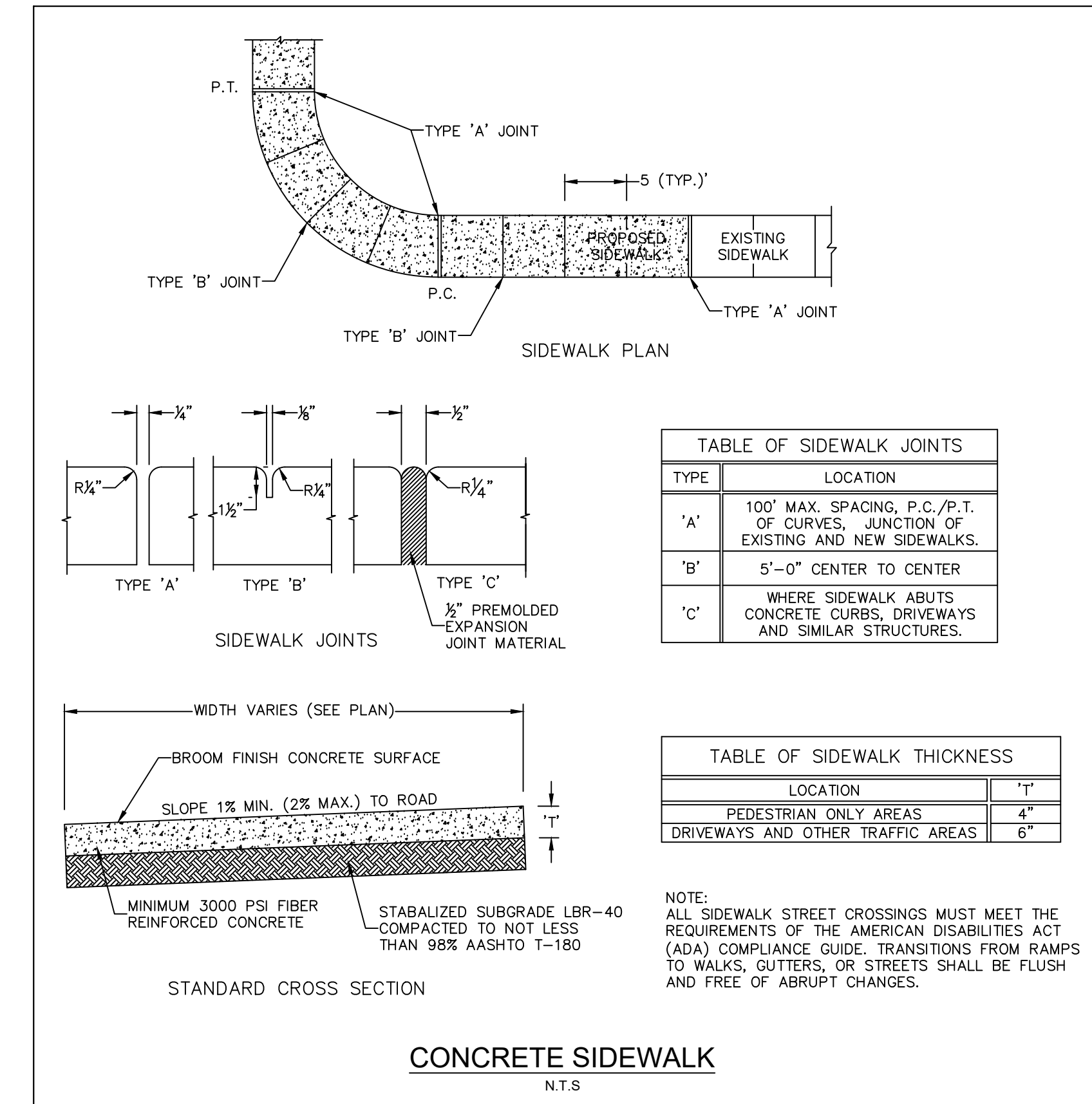
PICKLEBALL COURT
EDGE CURB DETAIL
N.T.S.



TENNIS COURT RESURFACE SECTION
N.T.S.



FENCE POST FOOTER DETAIL FOR
SIDEWALK OR WALKWAY
ADJACENT TO PICKLEBALL COURT
N.T.S.



CONCRETE SIDEWALK
N.T.S.

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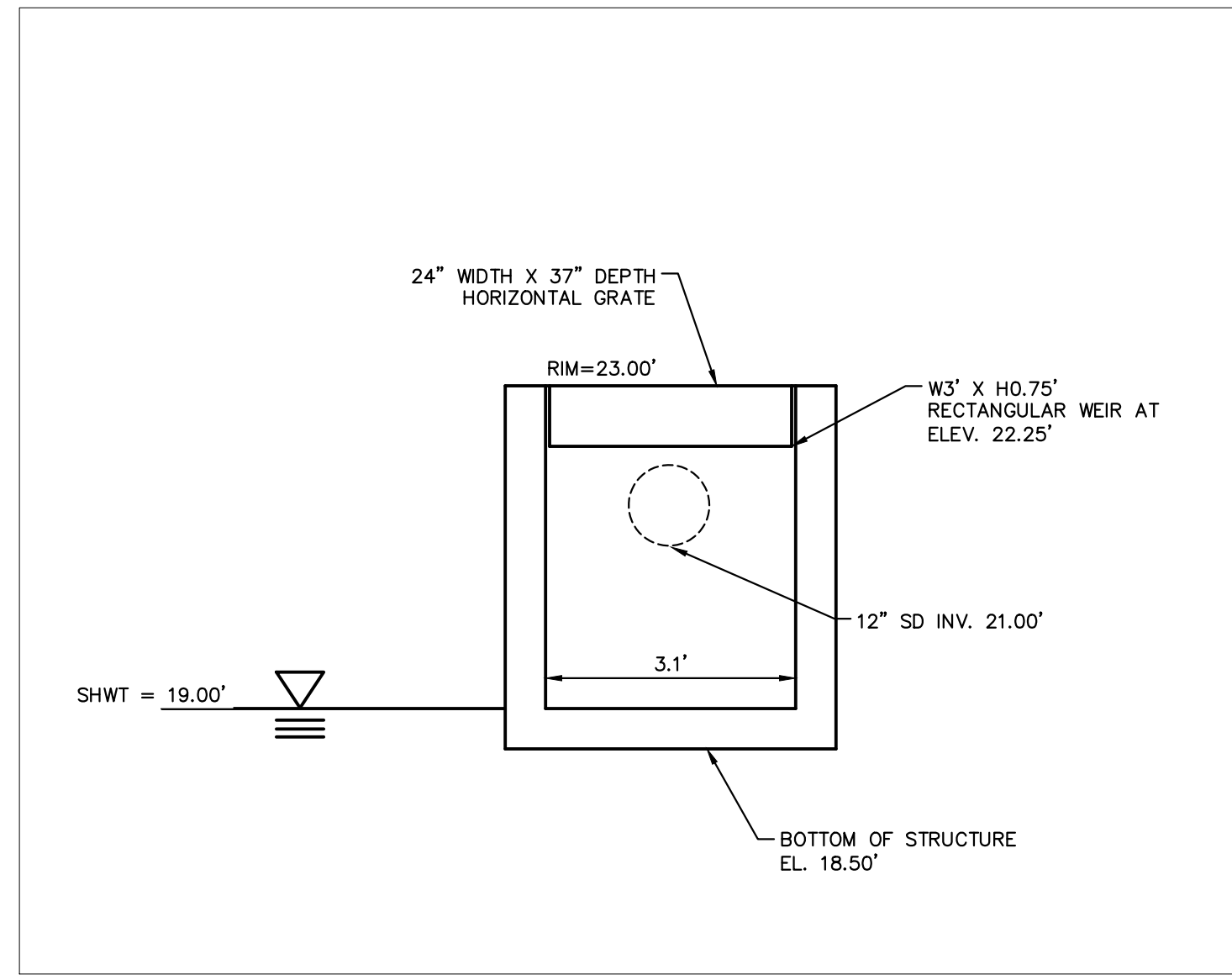
PROFESSIONAL ENGINEER
 SARA BATTLES
 LICENSE No. 78894
 STATE OF FLORIDA

PAVING AND SIDEWALK DETAILS

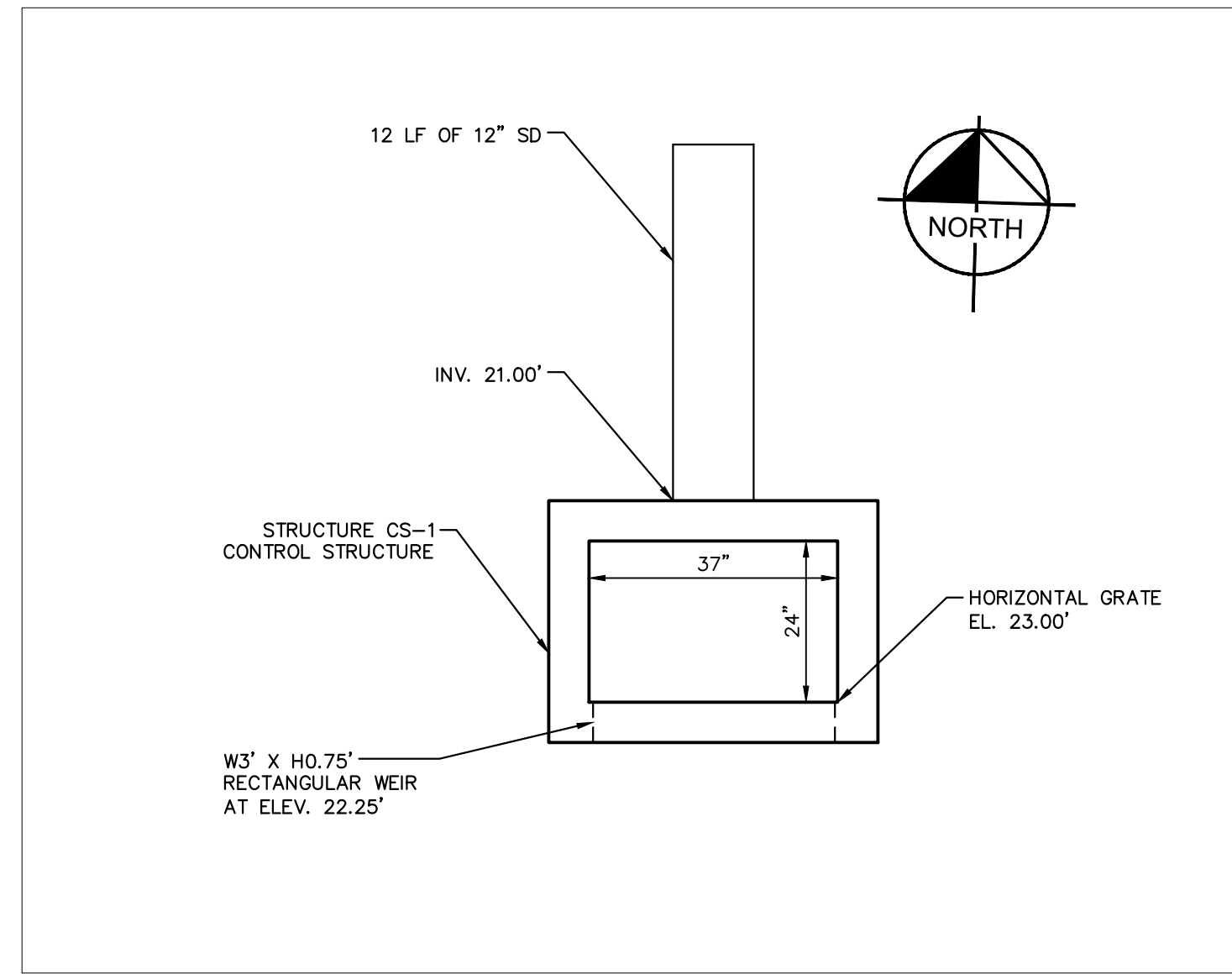
DICK BIRD PARK PICKLEBALL COURTS
 PREPARED FOR INDIAN RIVER COUNTY
 VERO BEACH, FL

SHEET NUMBER
C-008

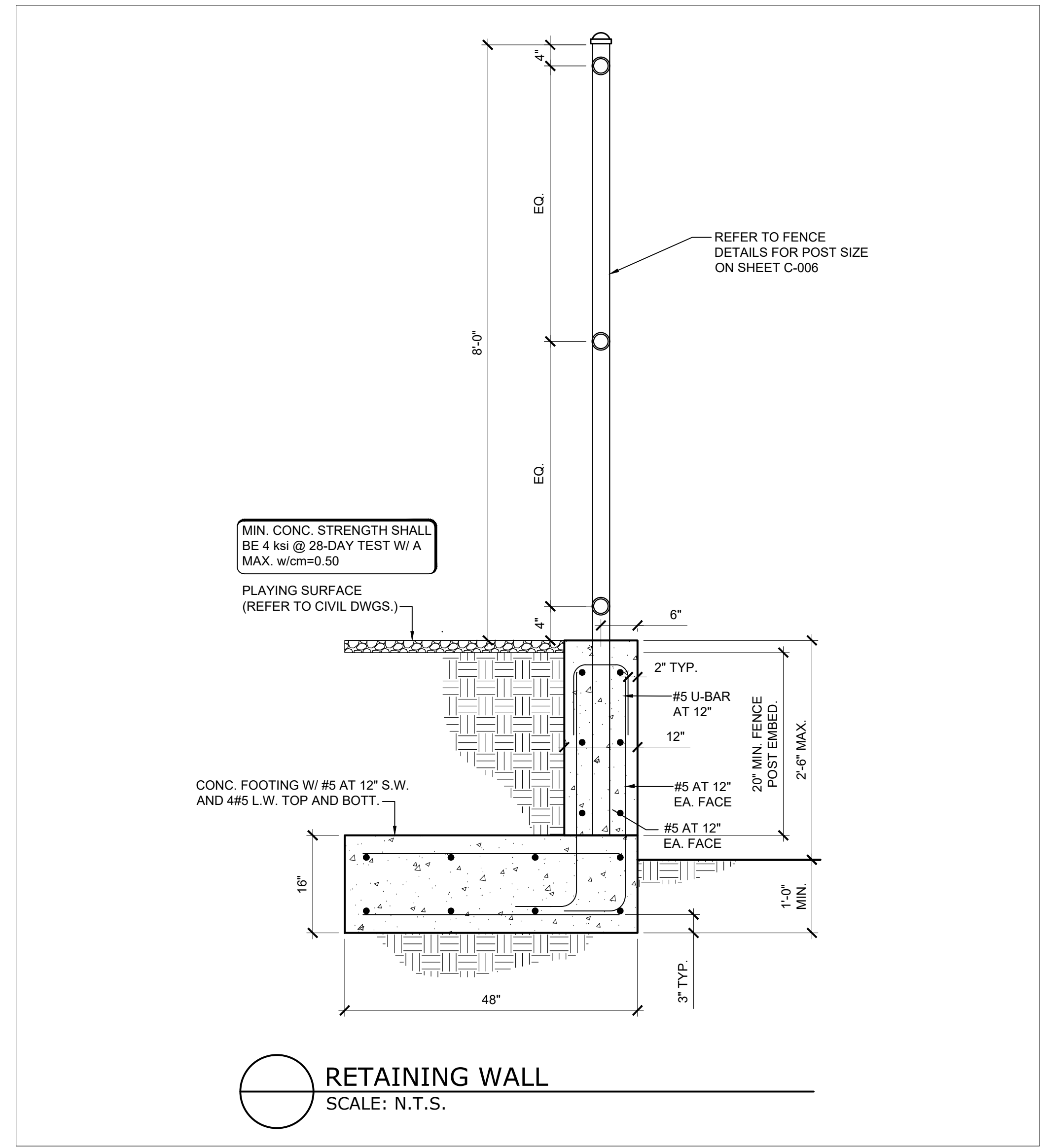
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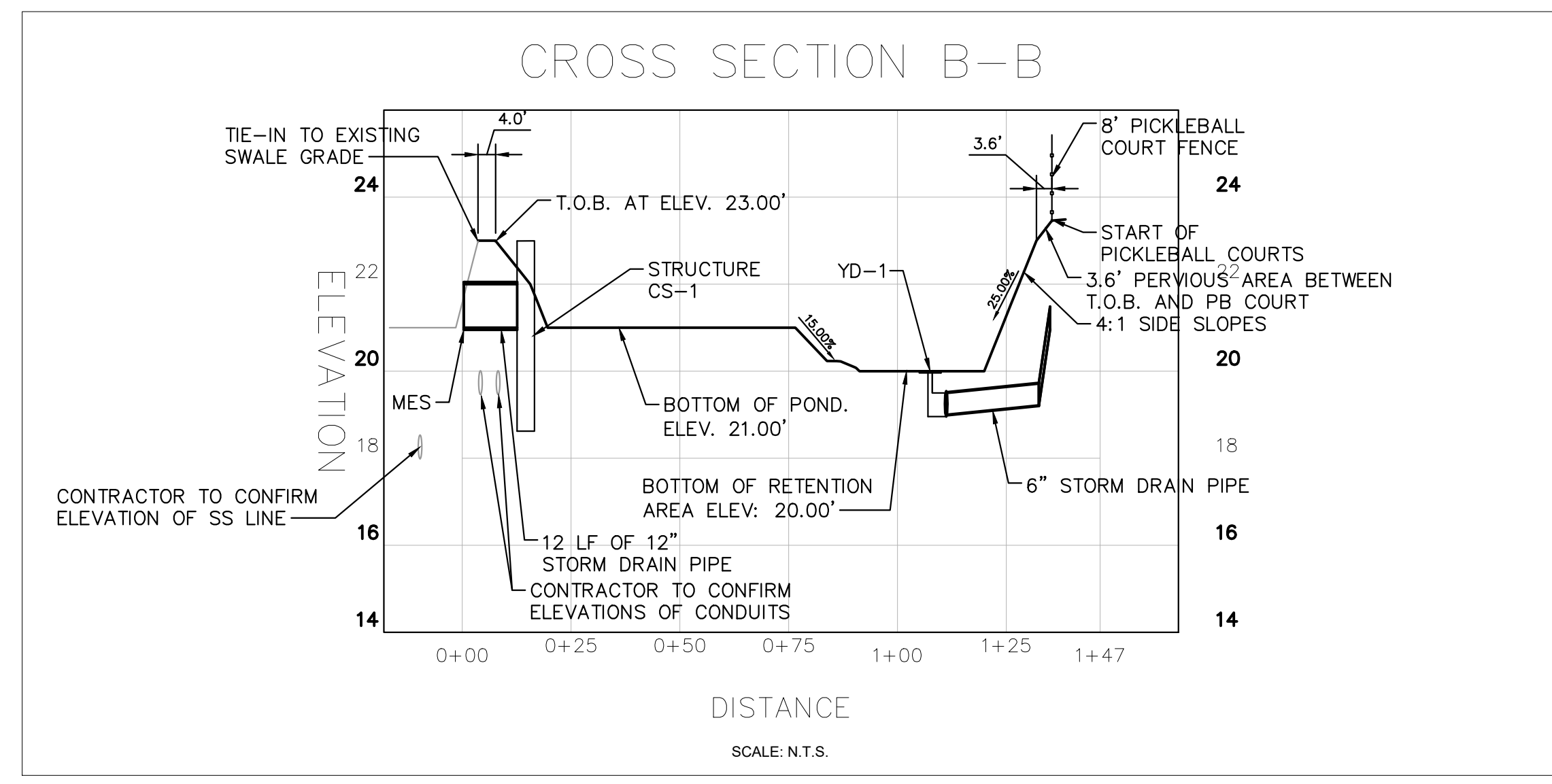
**STRUCTURE CS-1
 CROSS SECTION VIEW**
 SCALE: 1"=2'



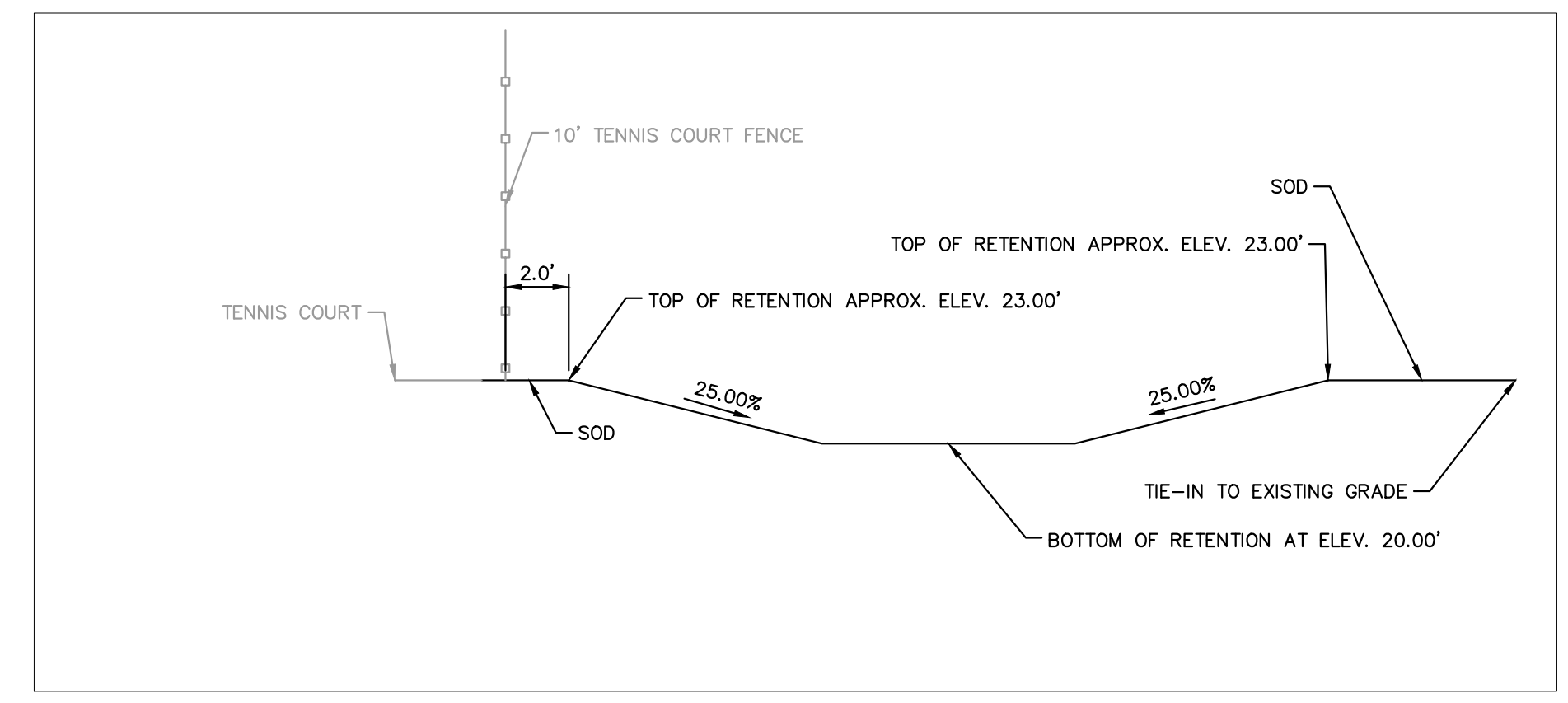
**STRUCTURE CS-1
 PLAN VIEW**
 SCALE: 1"=2'



RETAINING WALL
 SCALE: N.T.S.



CROSS SECTION B-B
 SCALE: N.T.S.



CROSS SECTION C-C
 1"=5'

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STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE No. 78894
 SARA BATTLES

KHA PROJECT	047035113
DATE	6/23/2022
SCALE	AS SHOWN
DESIGNED BY	AJF
DRAWN BY	AJF
CHECKED BY	SB

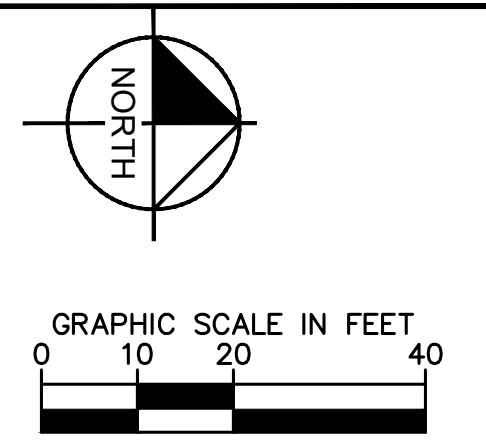
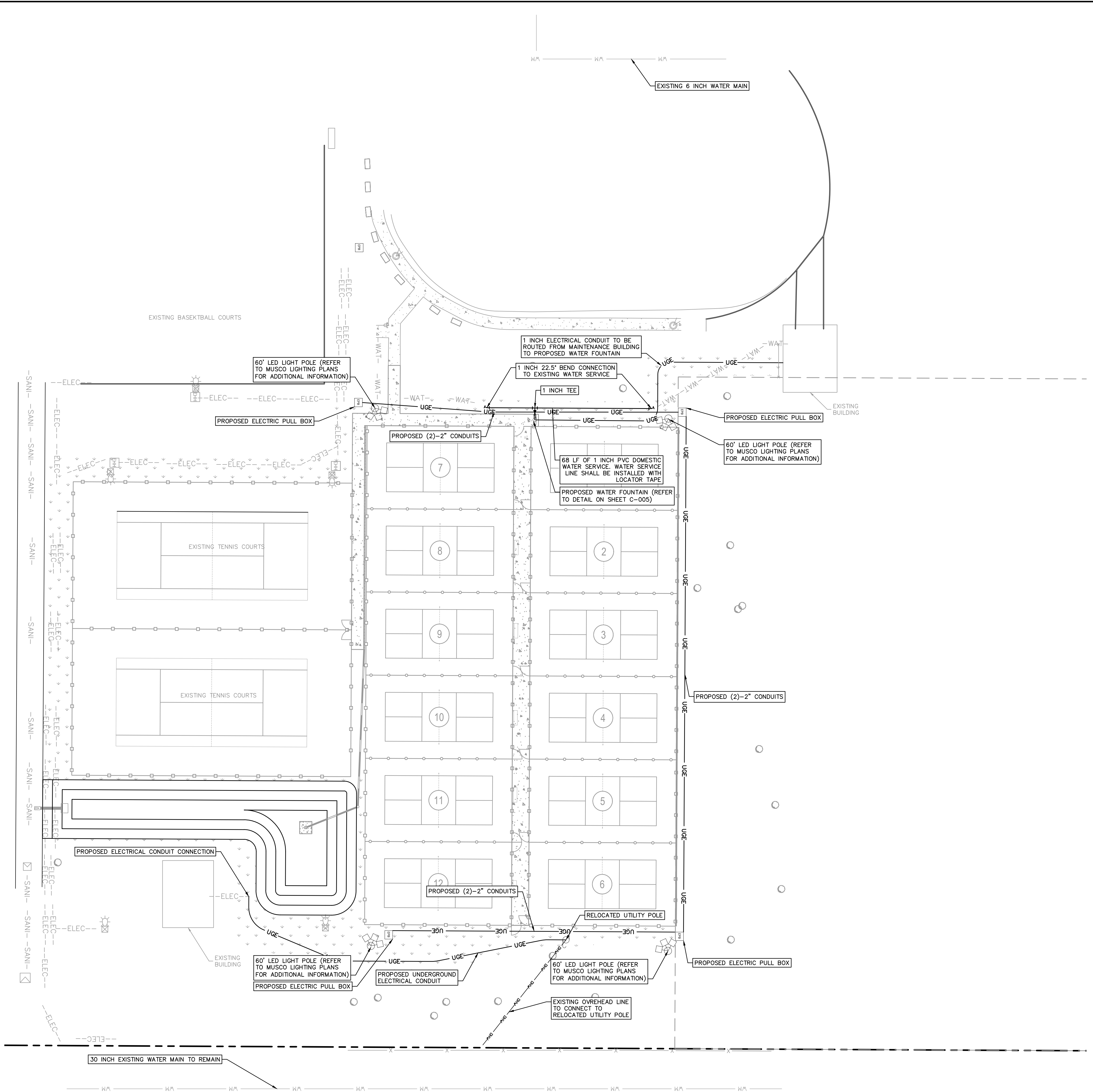
GRADING DETAILS

**DICK BIRD PARK
 PICKLEBALL COURTS**
 PREPARED FOR
INDIAN RIVER COUNTY
 VERO BEACH, FL

SHEET NUMBER
C-009

NO.	REVISIONS	DATE	BY

Plotted By: Esposito, AJ Sheet: Set: DICK BIRD PARK PICKLEBALL COURTS Layout: UTILITY PLAN Date: June 23, 2022 05:11:35pm K:\VRR_LDEV\A047035113 Dick Bird Park\CAD\PlanSheets\C-011 UTILITY PLAN.dwg
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LEGEND

---	PROPERTY LINE
---	EXISTING CONSERVATION AREA LINE
WM	EXISTING WATER LINE
-WAT-	EXISTING WATER LINE TO REMAIN
-SANI-	EXISTING WATER LINE TO REMAIN
--ELEC--	EXISTING ELECTRIC LINE TO REMAIN
UGC	PROPOSED UNDERGROUND ELECTRIC
OUL	OVERHEAD UTILITY LINE TO BE RECONNECTED

- UTILITY NOTES**
1. THE CONTRACTOR SHALL PROTECT EXISTING UNDERGROUND UTILITIES AND APPURTENANCES FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
 2. THE LOCATION OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES AND OTHER ABOVE AND BELOW-GRADE IMPROVEMENTS ARE APPROXIMATE AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE AND INVERT ELEVATIONS OF SUCH PRIOR TO THE START OF CONSTRUCTION.
 3. A MINIMUM OF 5' SEPARATION IS REQUIRED BETWEEN UTILITIES AND TREES.
 4. PIPE COLOR CODING REQUIREMENT SHALL BE IN CONFORMANCE WITH 62-555.320(21)(b)(3), F.A.C.
 5. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM PIPE COVER OF 24 INCHES FOR PVC AND 30 INCHES FOR DIP.
 6. ALL WATERMAIN, GRAVITY SEWER MAIN, AND STORM PIPE CROSSINGS SHALL HAVE AT LEAST 18" (MINIMUM) OF VERTICAL SEPARATION WITH OTHER PIPES, CABLES, AND GAS LINES.
 7. PERFORM DISINFECTION OF INSTALLED WATER PIPE PER AWWA C651 - 05 OR LATEST REVISION
 8. TEST PRESSURE (REF. TO AWWA C600-10) OR LATEST REVISION FOR DIP PIPE AND (REF. TO AWWA C605-13) OR LATEST REVISION FOR PVC PIPE FOLLOWING LEAKAGE FORMULA:
 9. WATER PIPES SHALL BE PRESSURE TESTED ACCORDING TO AWWA C600-10 OR LATEST REVISION. THE FORMULA IS AS FOLLOWS: $Q = LD \times \text{SQRT OF } P / 148,000$, WHERE Q = QUALITY OF MAKEUP WATER (IN GALLONS PER HOUR), L = LENGTH OF PIPE SECTION BEING TESTED (IN FEET), D = NOMINAL DIAMETER OF THE PIPE (IN INCHES), AND P = AVERAGE TEST PRESSURE DURING THE HYDROSTATIC TEST (IN POUNDS PER SQUARE INCH GAUGE).

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STATE OF FLORIDA
PROFESSIONAL ENGINEER
 SARA BATTLES
 LICENSE No. 78894
 EXPIRES 06/30/2025

KHA PROJECT	047035113
DATE	6/23/2022
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	

DICK BIRD PARK PICKLEBALL COURTS
 PREPARED FOR
INDIAN RIVER COUNTY
 VERO BEACH, FL

SHEET NUMBER
C-011