

HOBART PARK RESTROOM

5555 77th Street
Vero Beach, FL 32960

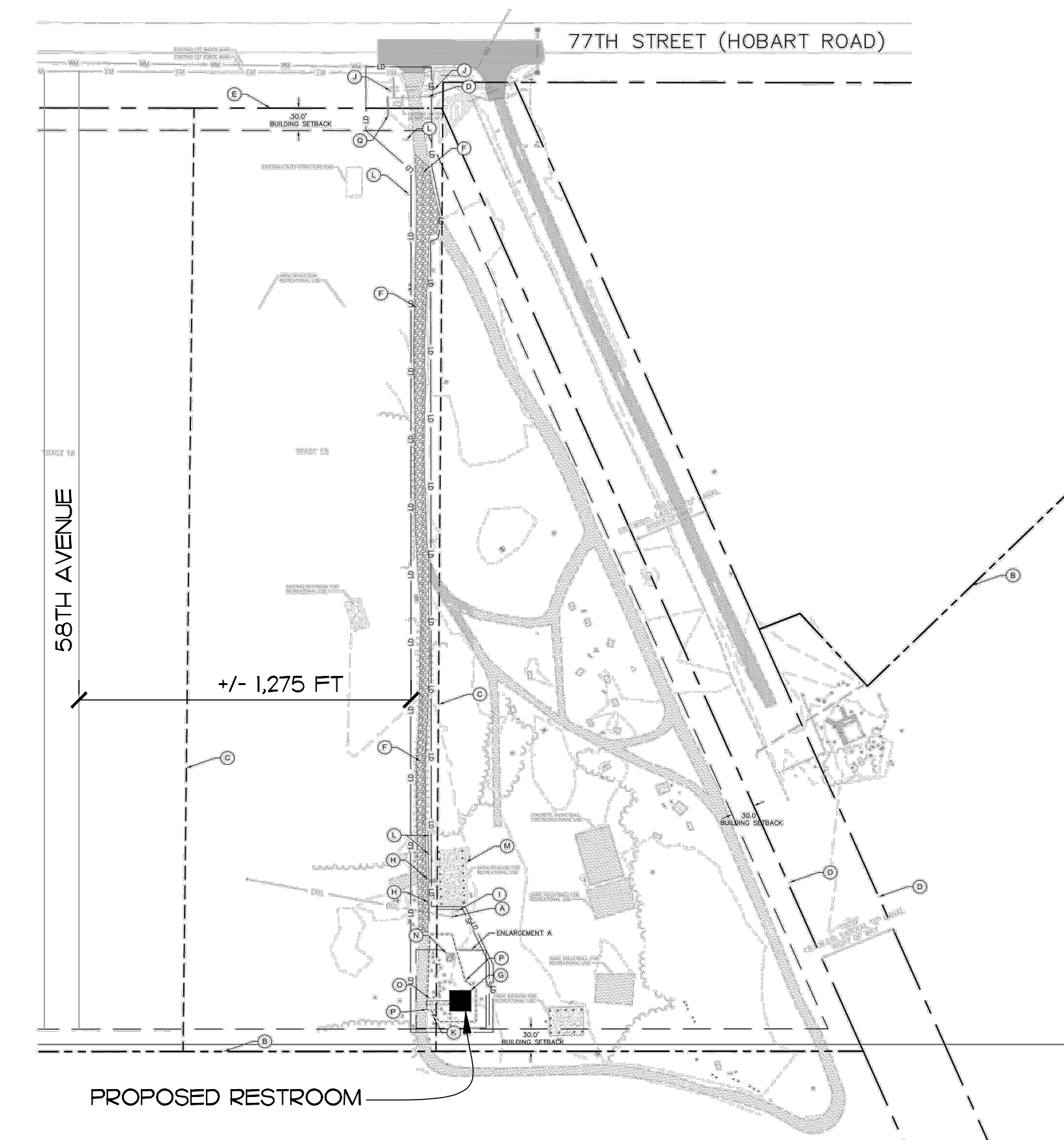
INDEX TO DRAWINGS

ARCHITECTURAL

- ACC ACCESSIBILITY DETAILS
- A-1 FLOOR PLAN/ELEVATIONS
- A-2 SECTION
- A-3 DETAILS
- S-1 STRUCTURAL PLANS
- MEP-1 MECHANICAL/ELECTRICAL/PLUMBING PLANS

CIVIL

- C-000 COVER SHEET
- C-100 SITE PLAN
- C-200 PAVING AND GRADING PLAN
- C-300 UTILITY PLAN
- C-350 DETAIL SHEETS
- C-351 DETAIL SHEET
- UCP-2422 AS BUILT
- LS-1 SCHEDULES



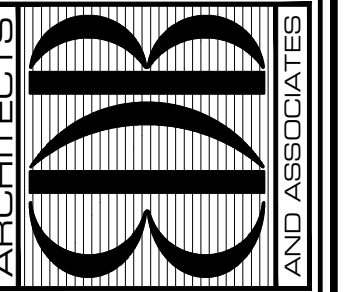
LOCATION MAP
SCALE: NTS

ARCHITECT



Kimley-Horn and Associates, Inc.
445 24th Street Suite 200
Vero Beach, FL 32960
PHONE (772) 794-4100
FAX (772) 794-4130

EDLUND · DRITENBAS · BINKLEY
ARCHITECTS AND ASSOCIATES, P.A.
AR-AA 0000886
65 ROYAL PALM POINTE, SUITE "D"
VERO BEACH, FLORIDA 32960
PHONE: (772) 569-4320



SEAL:

PROJECT: HOBART PARK RESTROOM

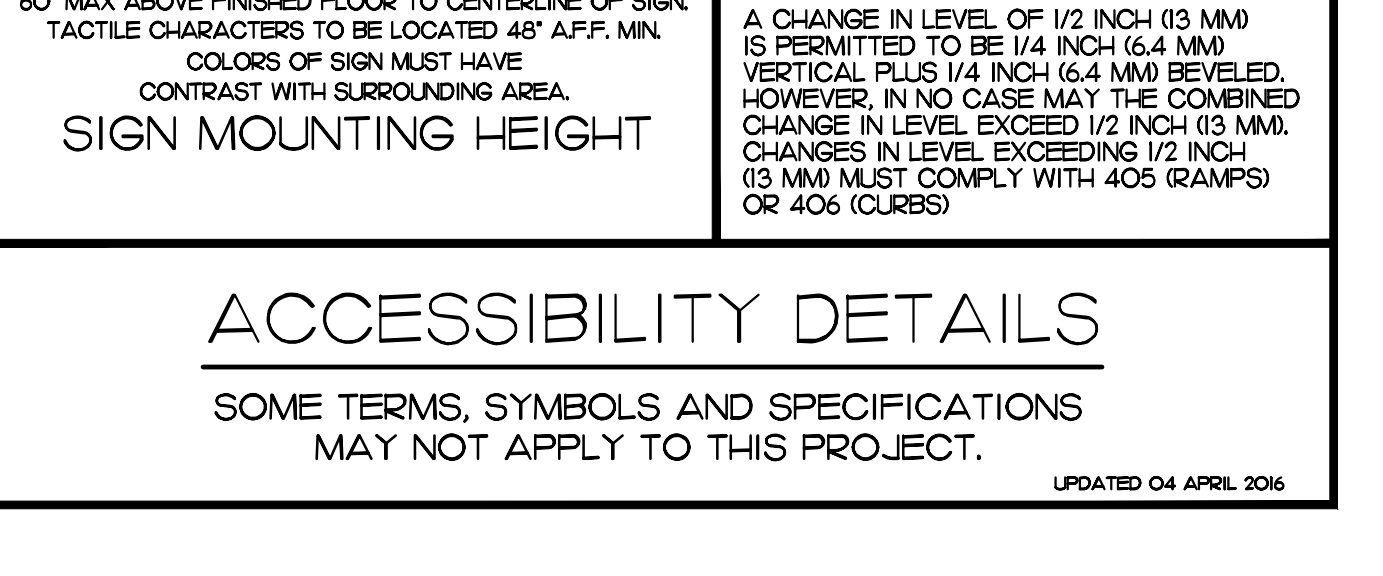
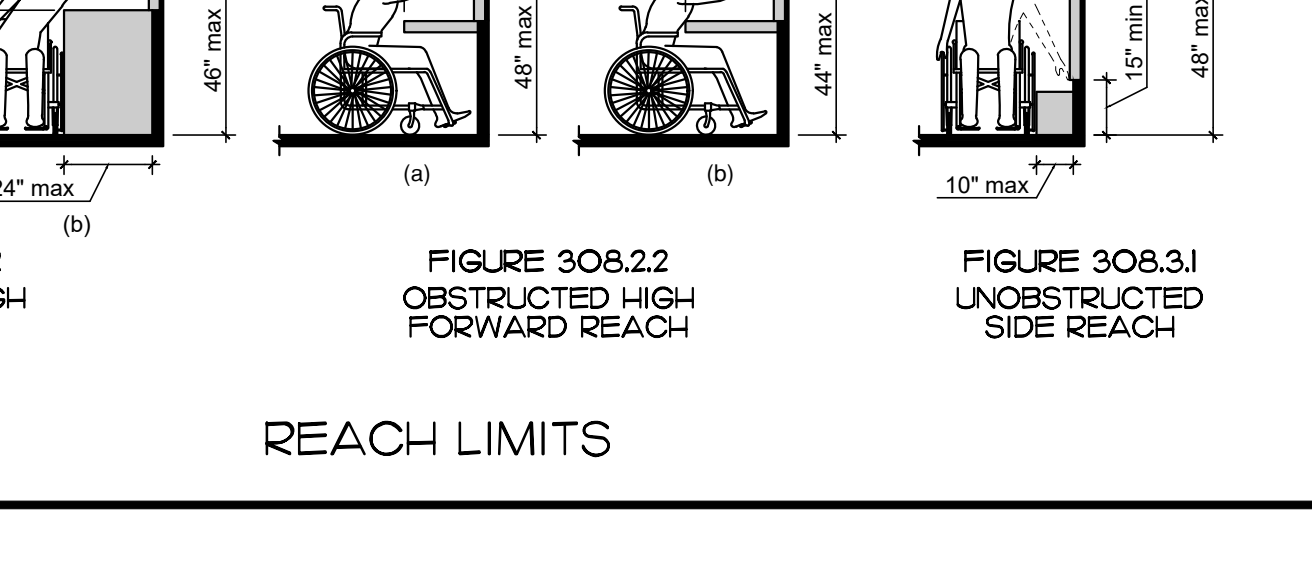
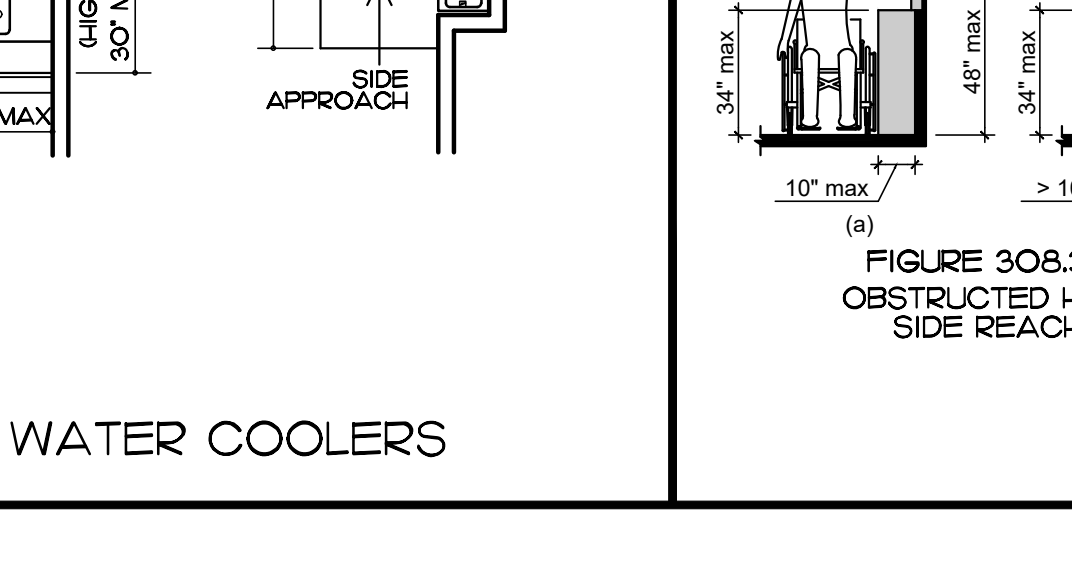
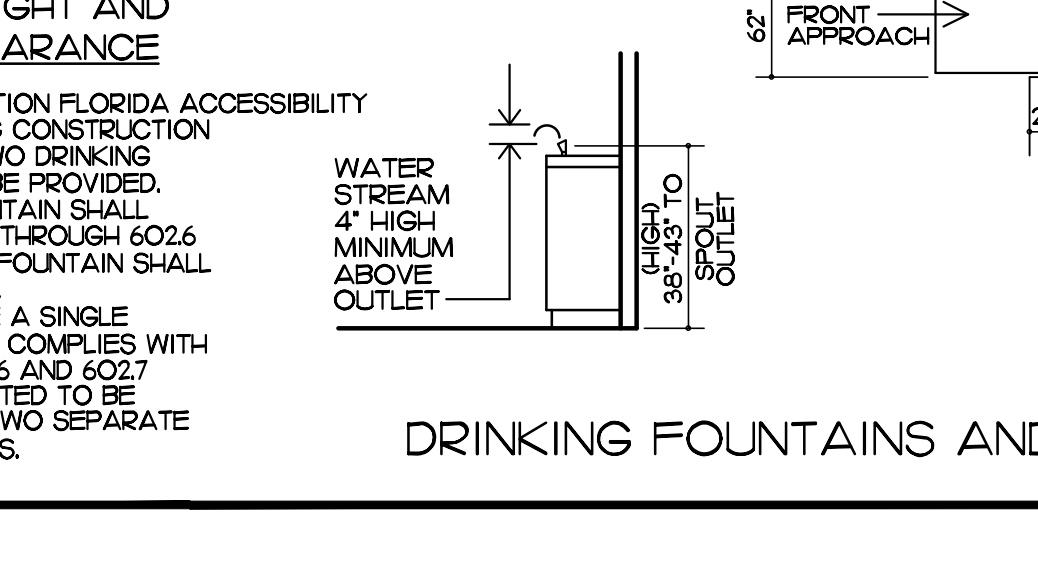
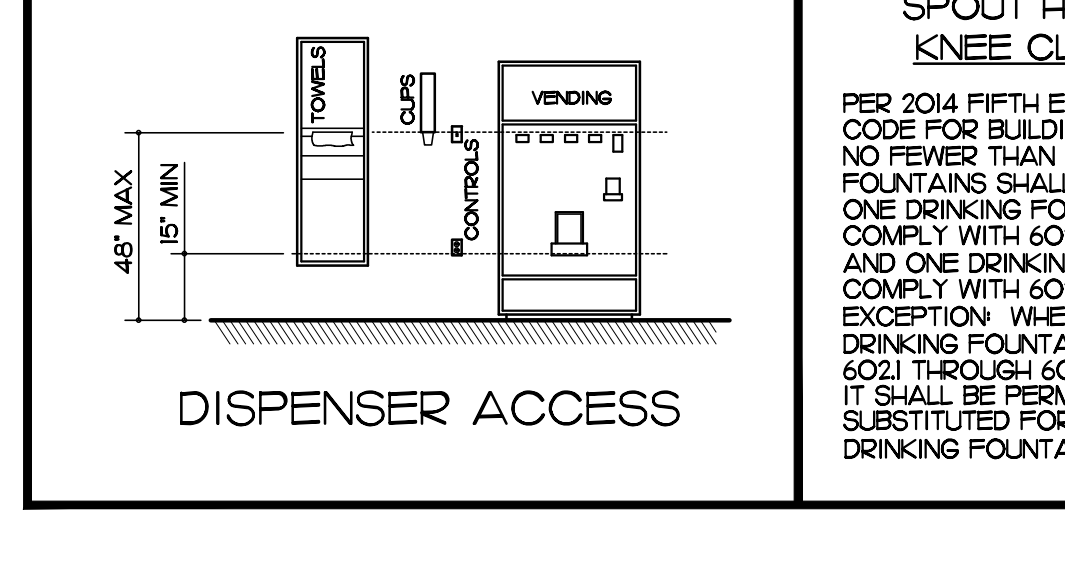
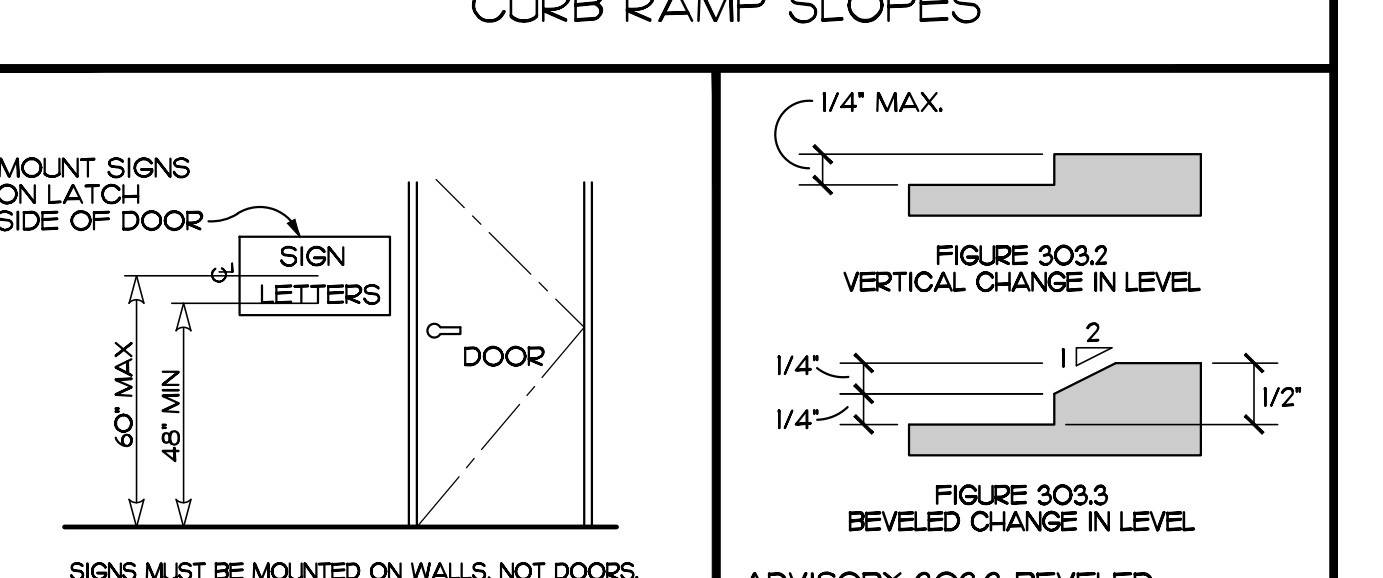
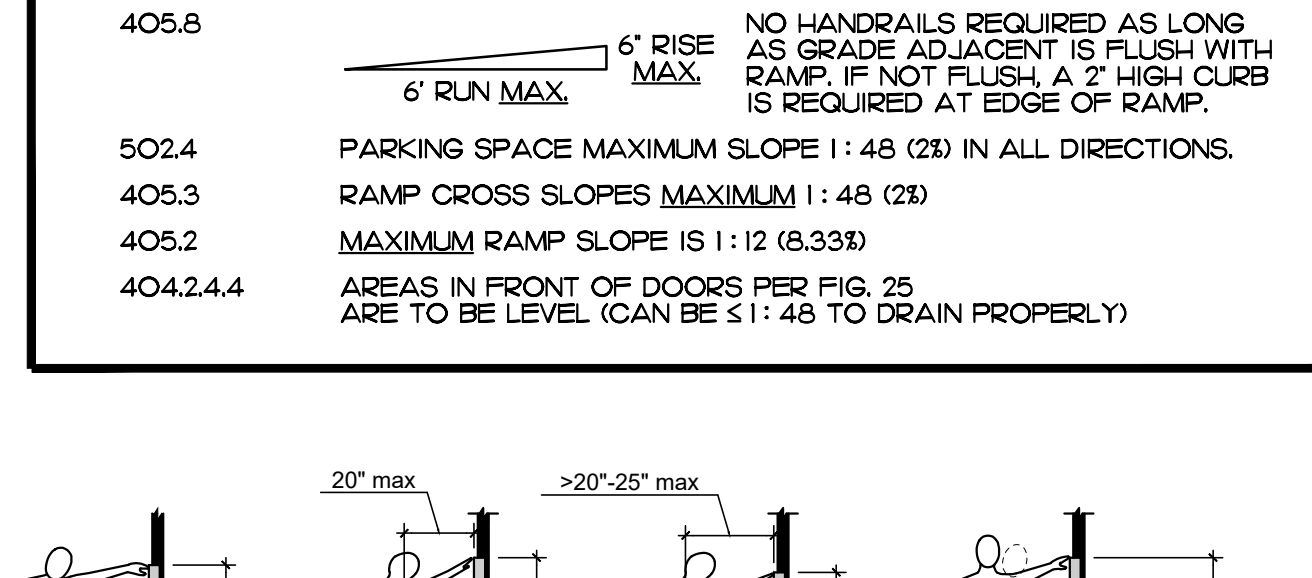
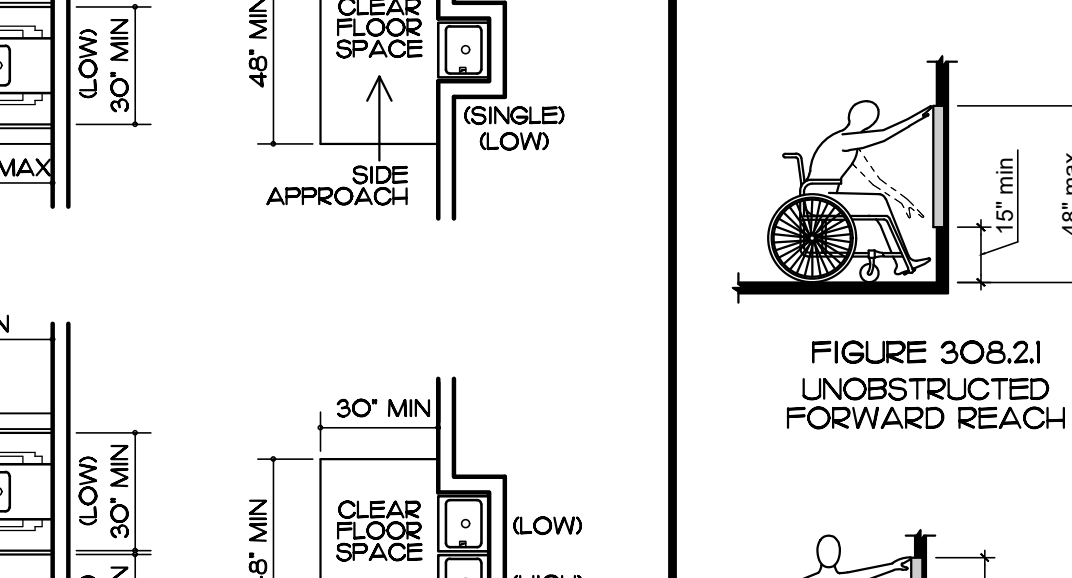
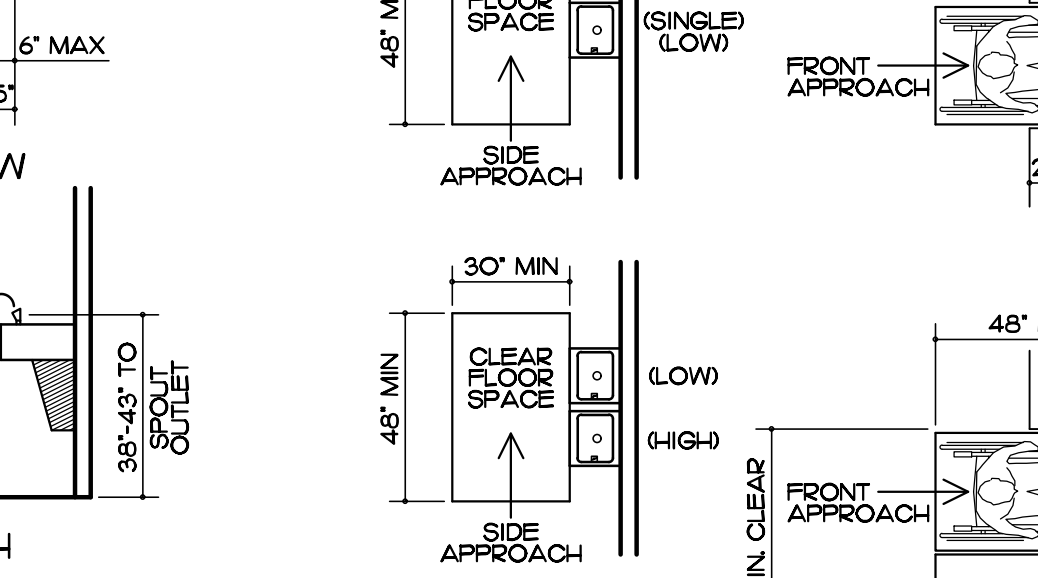
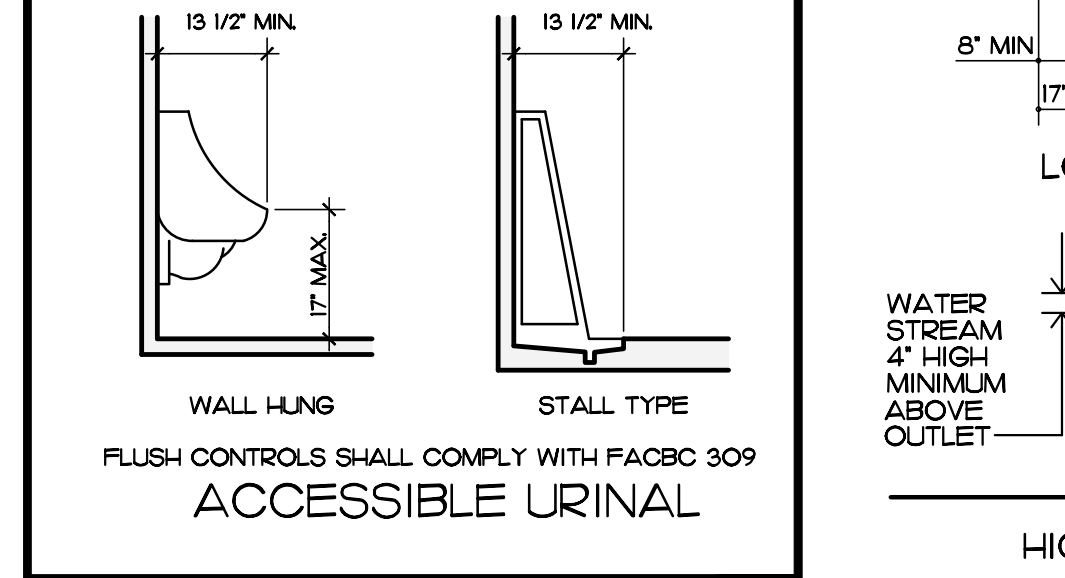
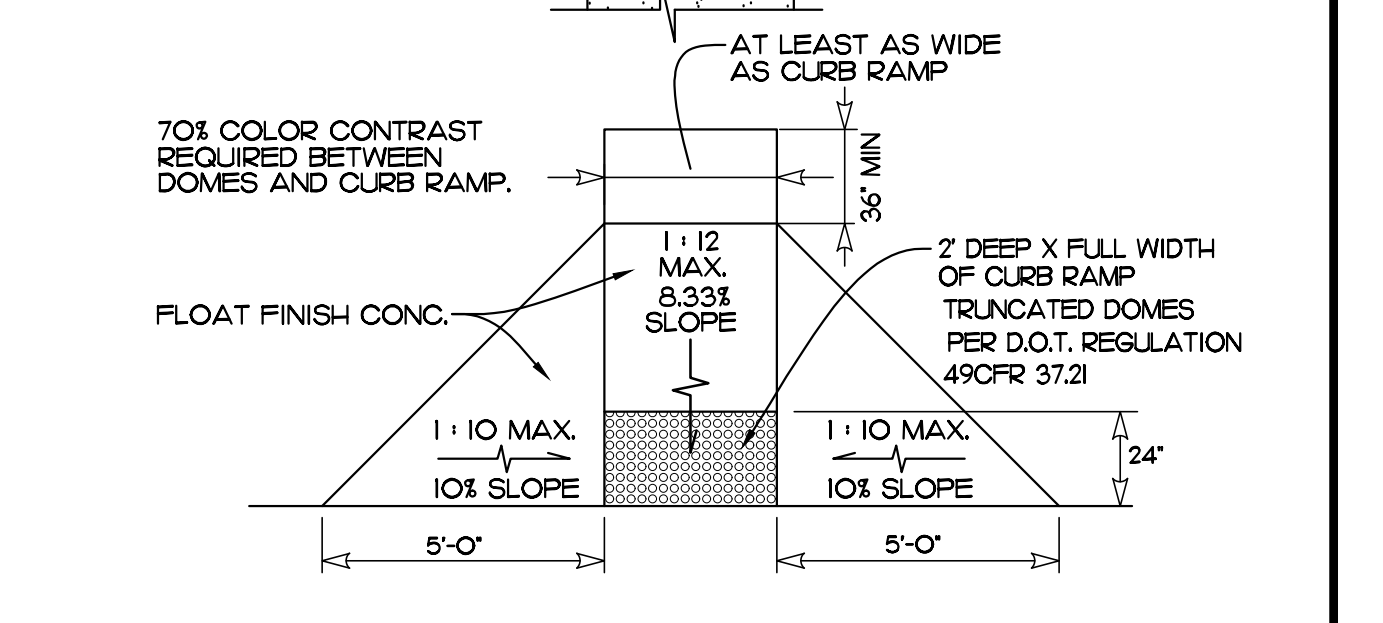
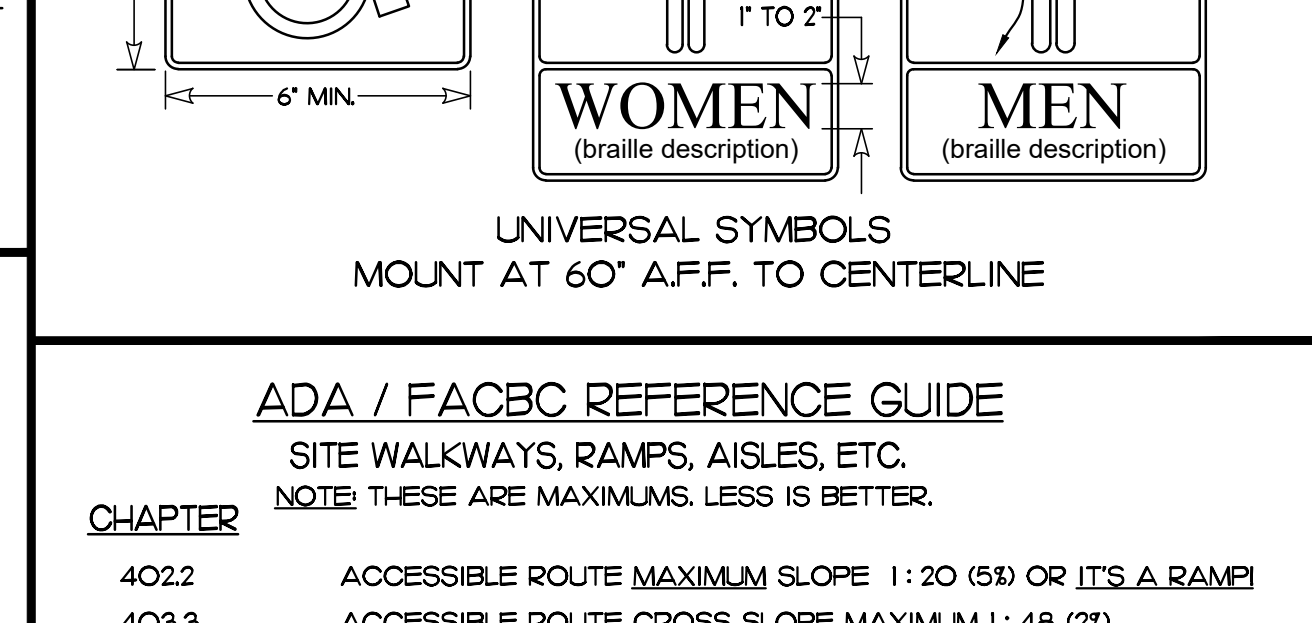
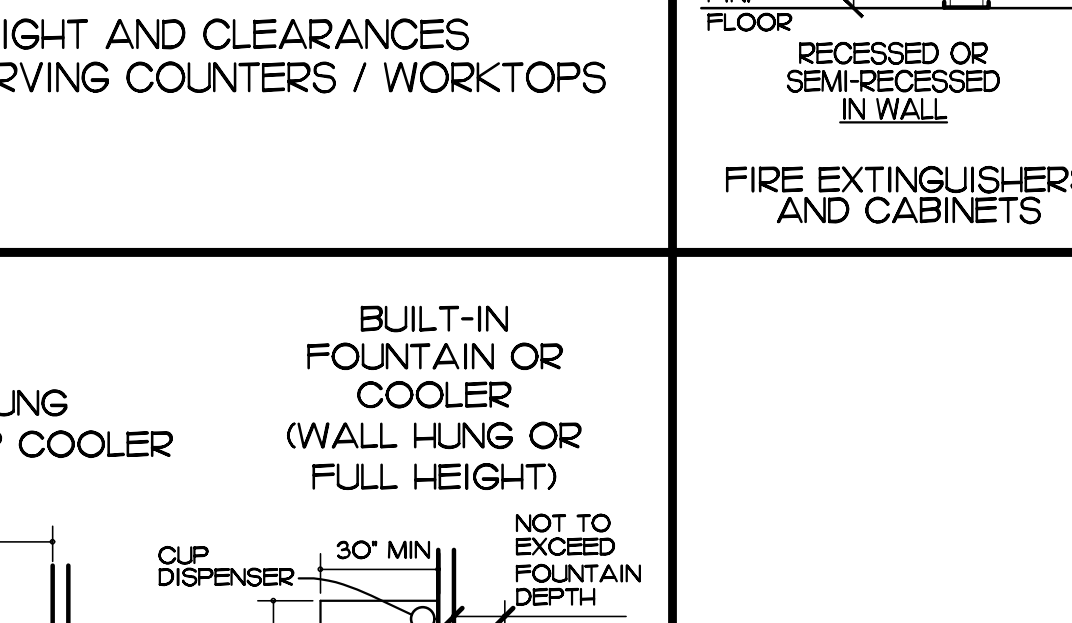
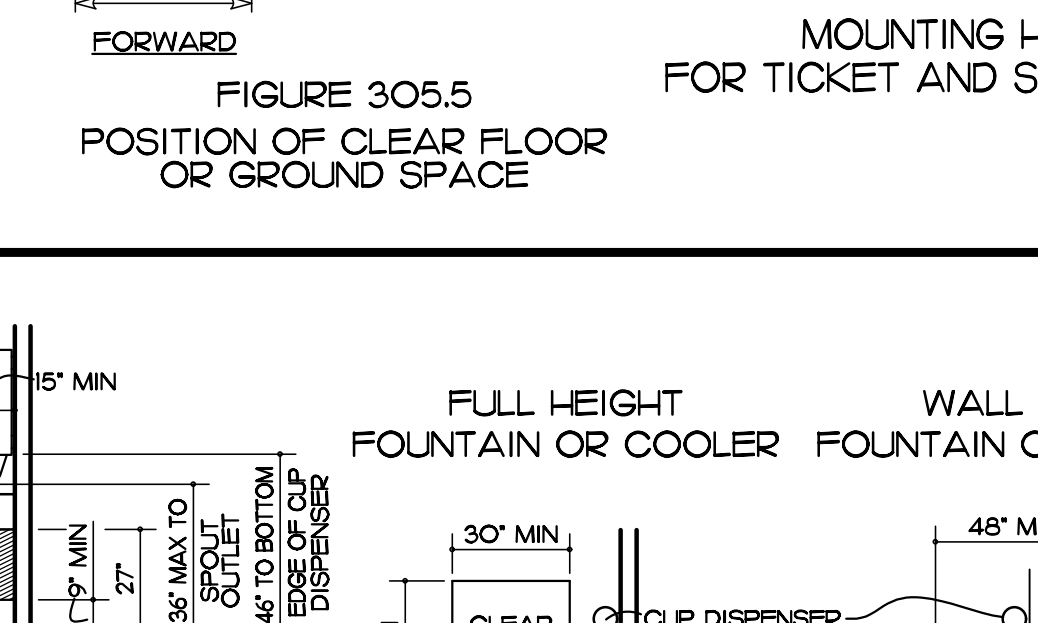
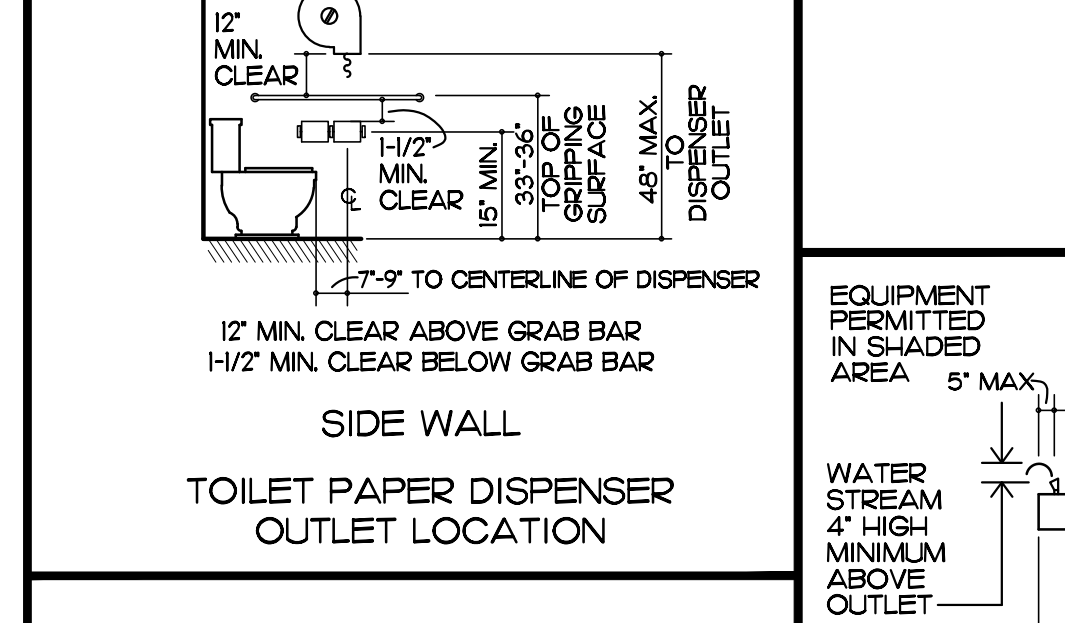
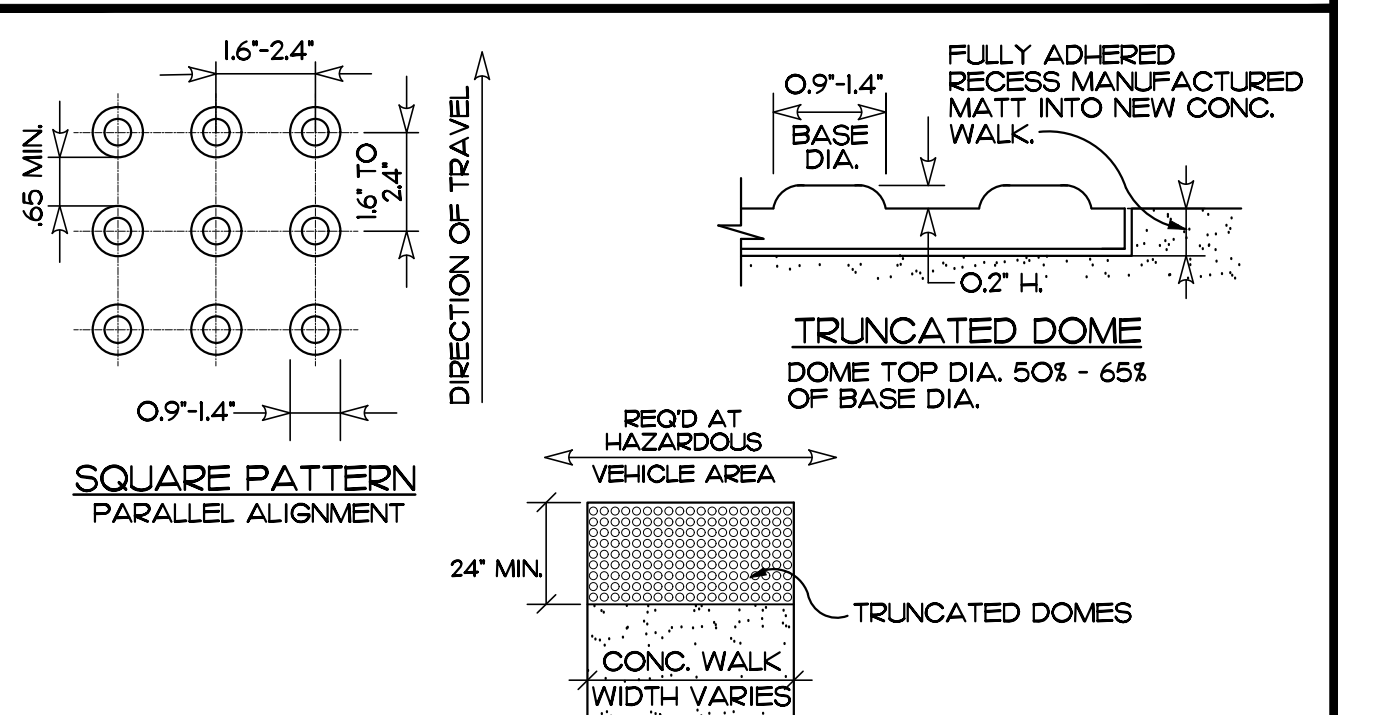
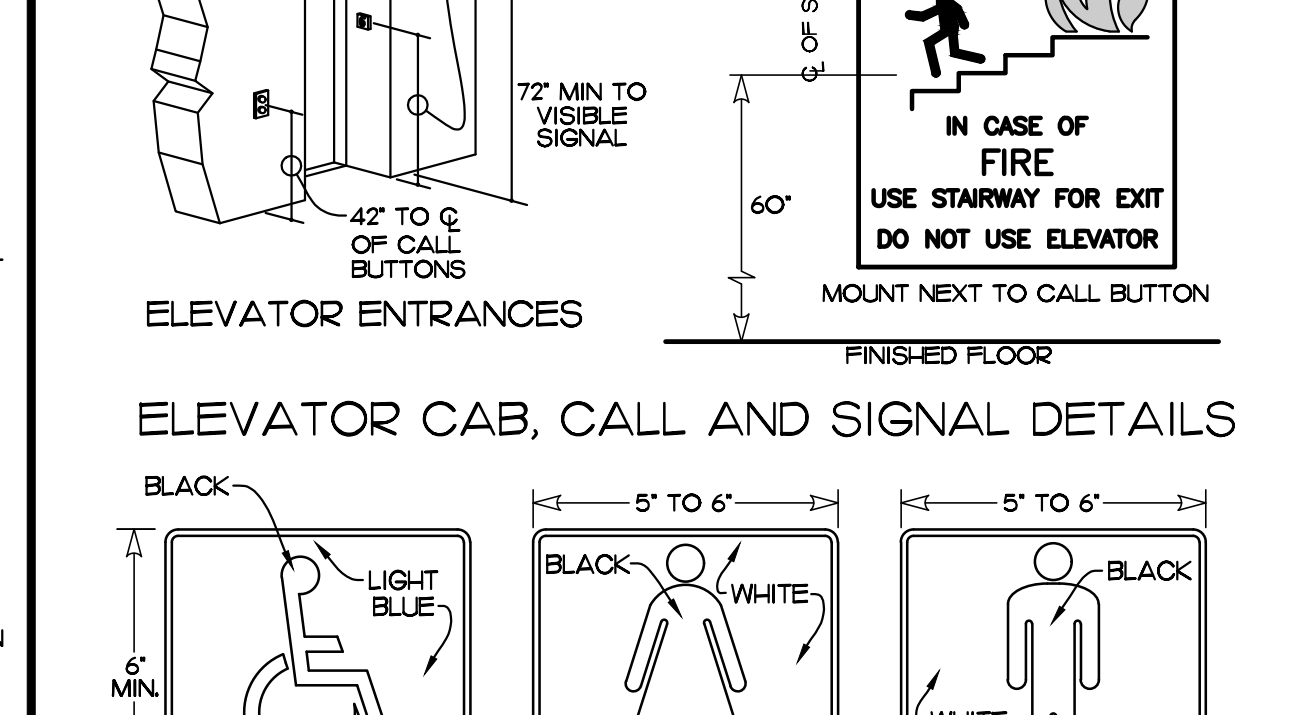
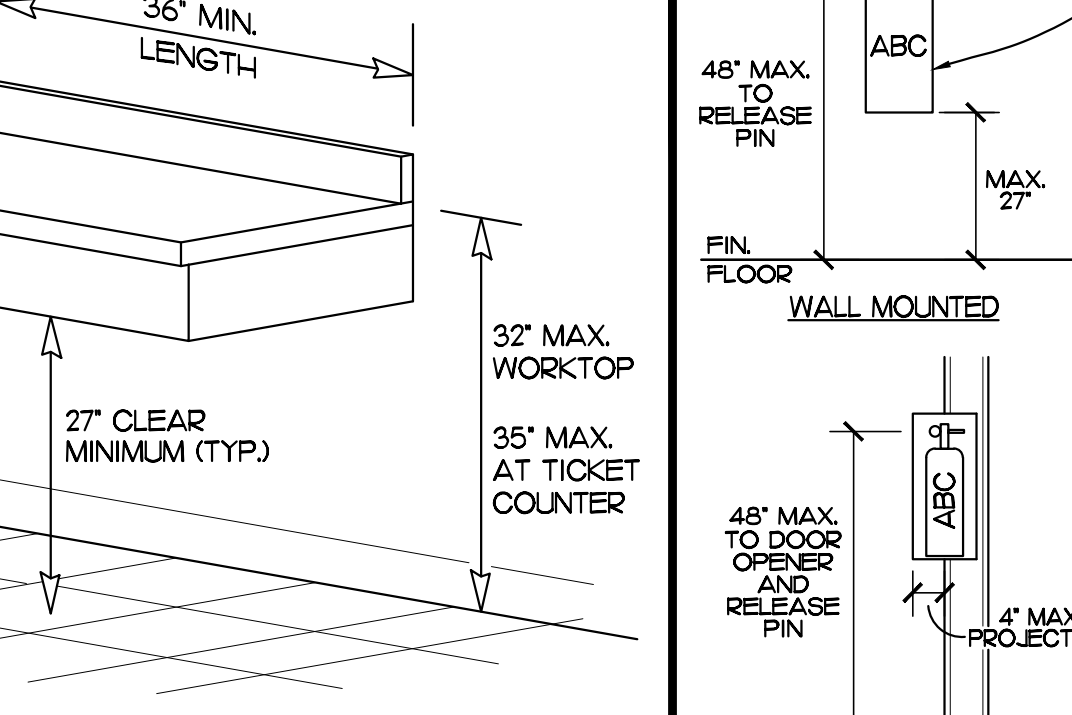
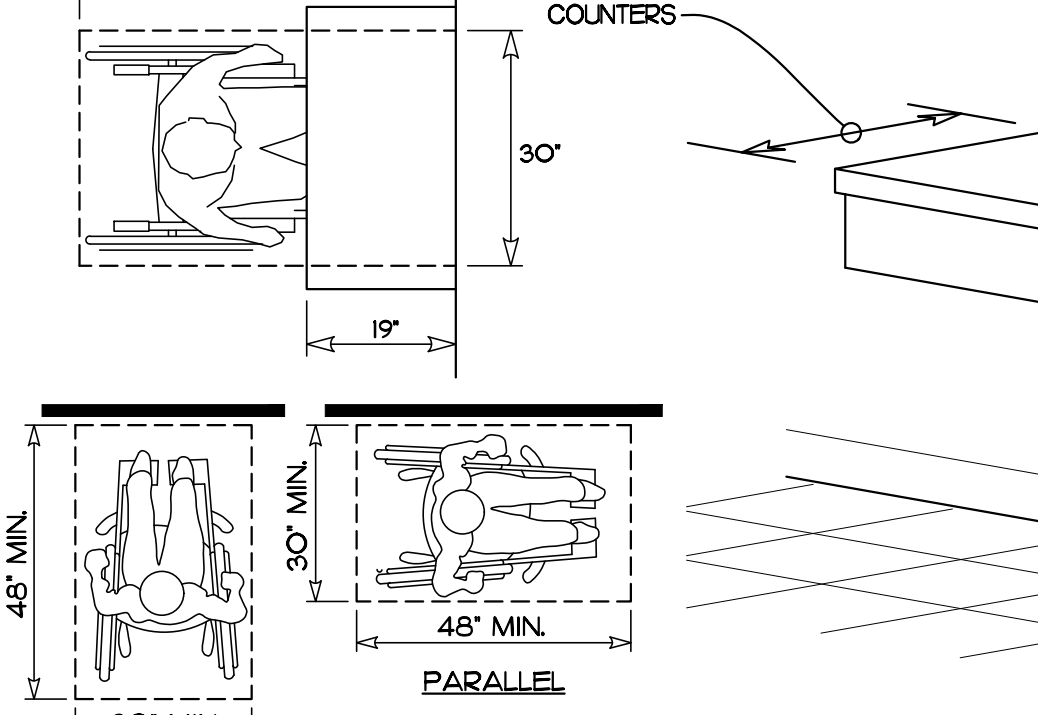
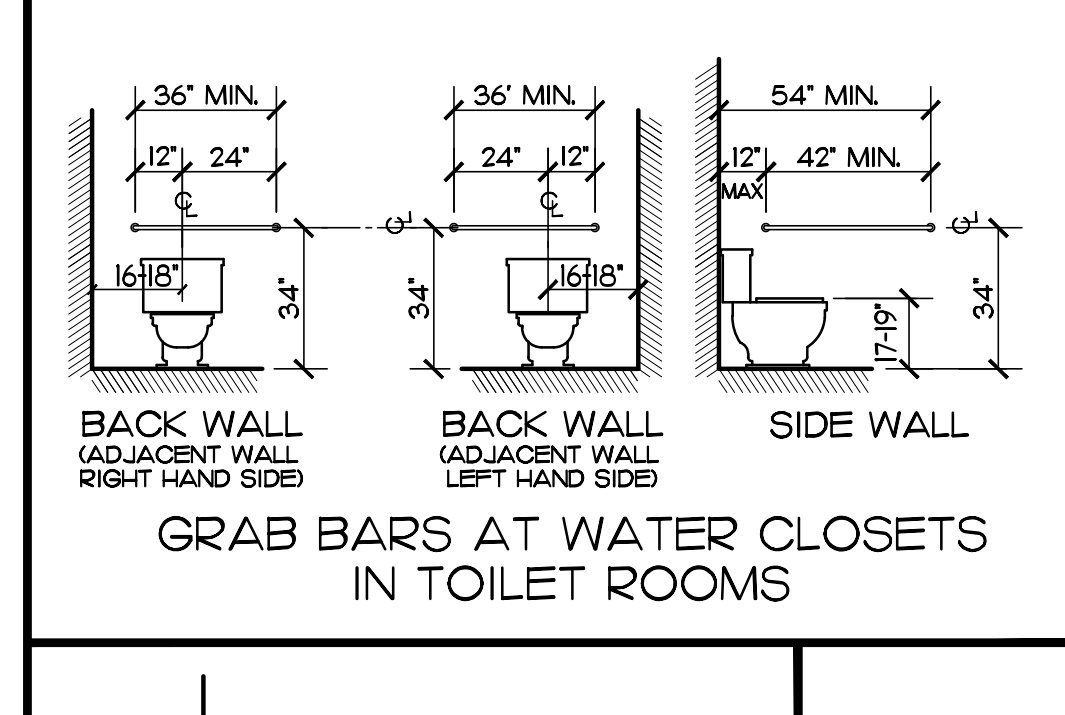
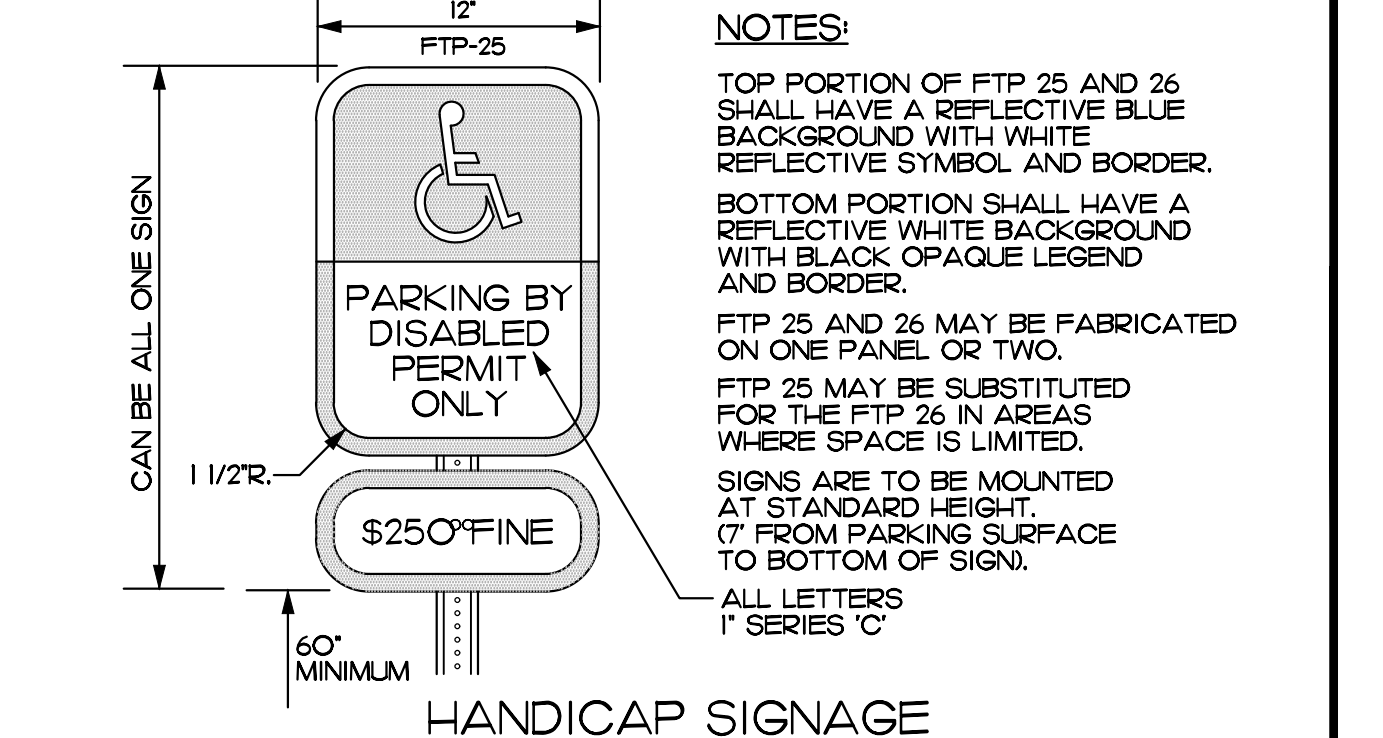
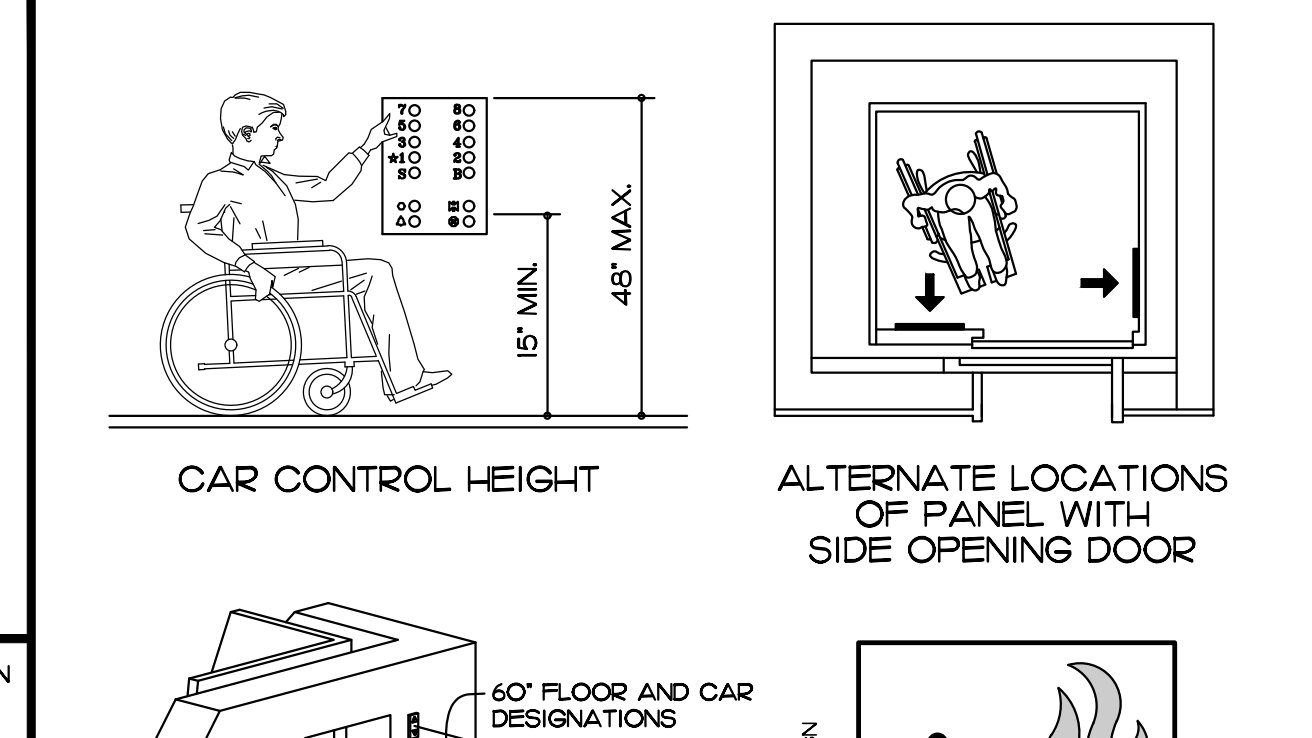
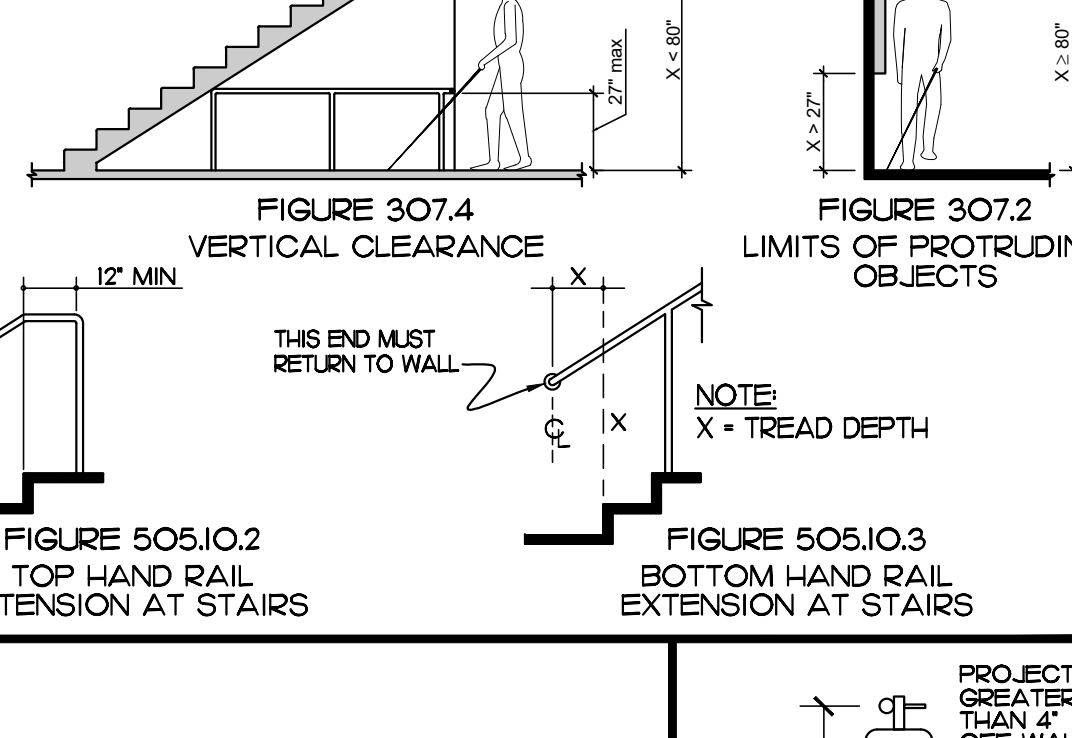
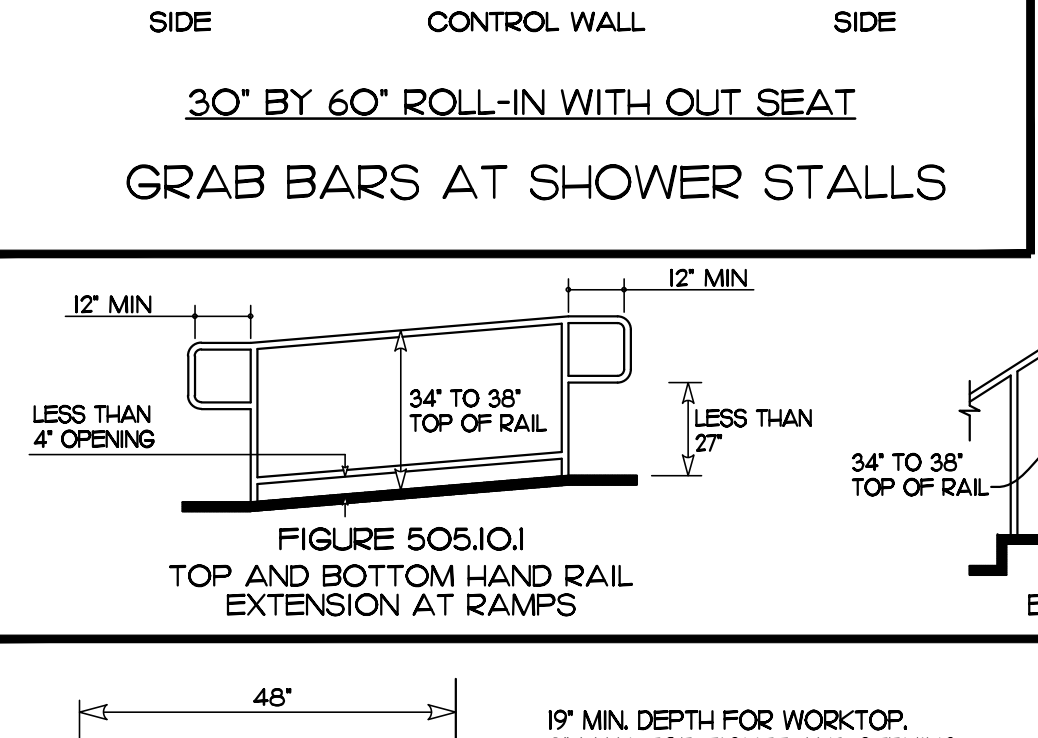
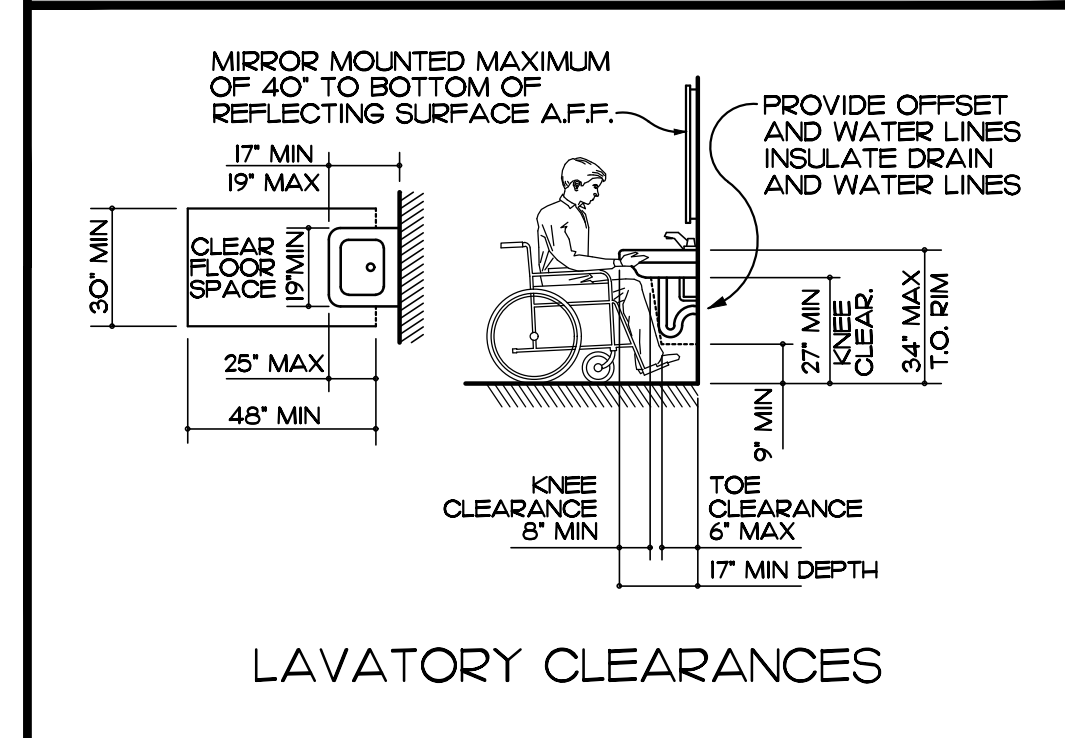
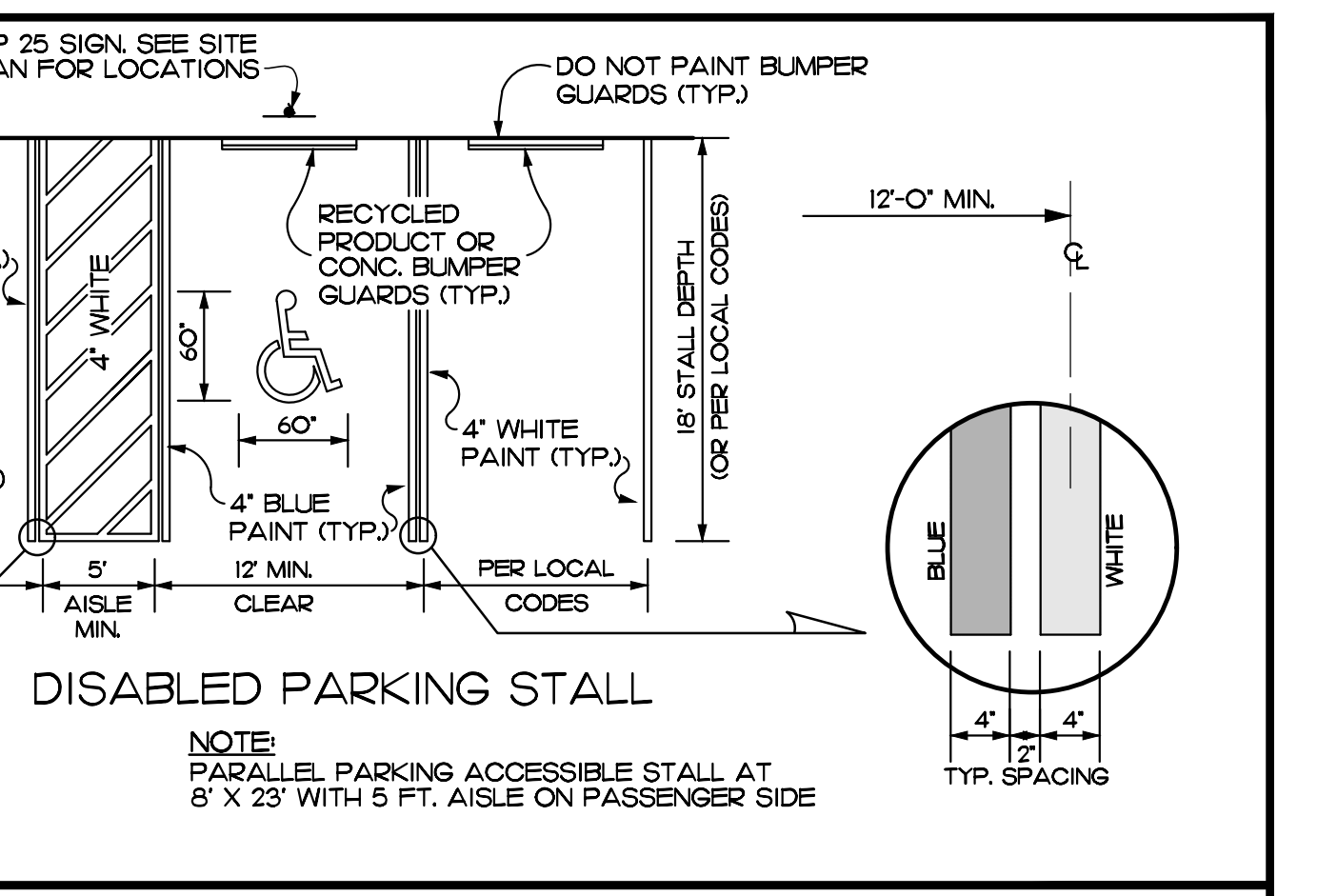
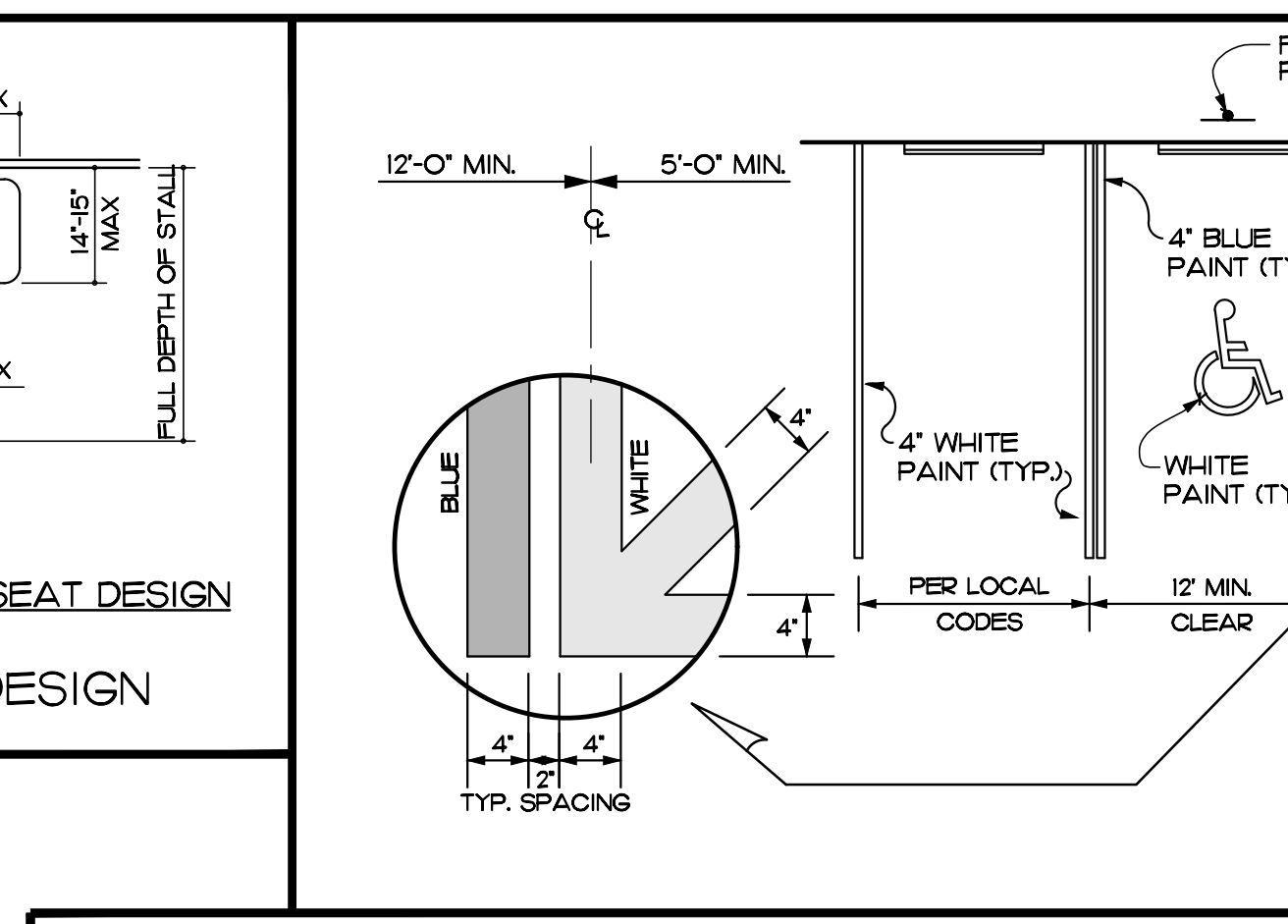
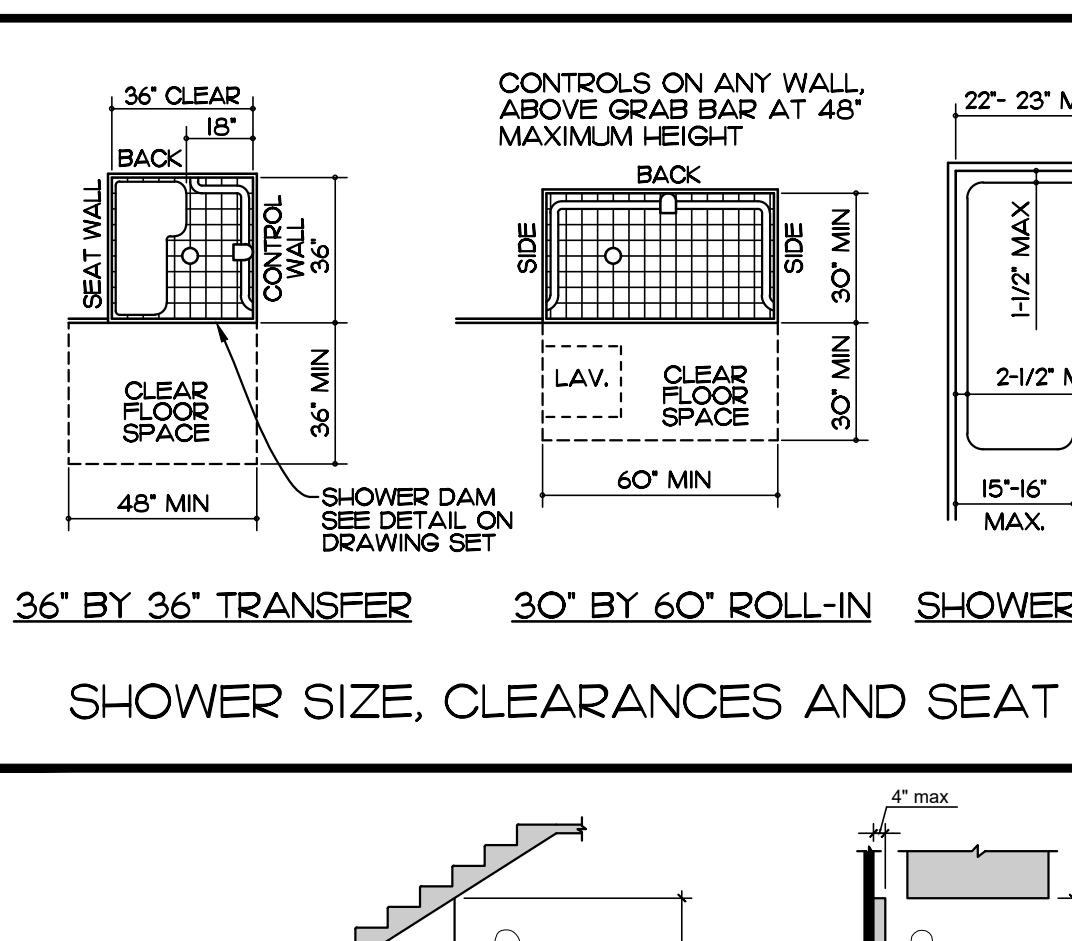
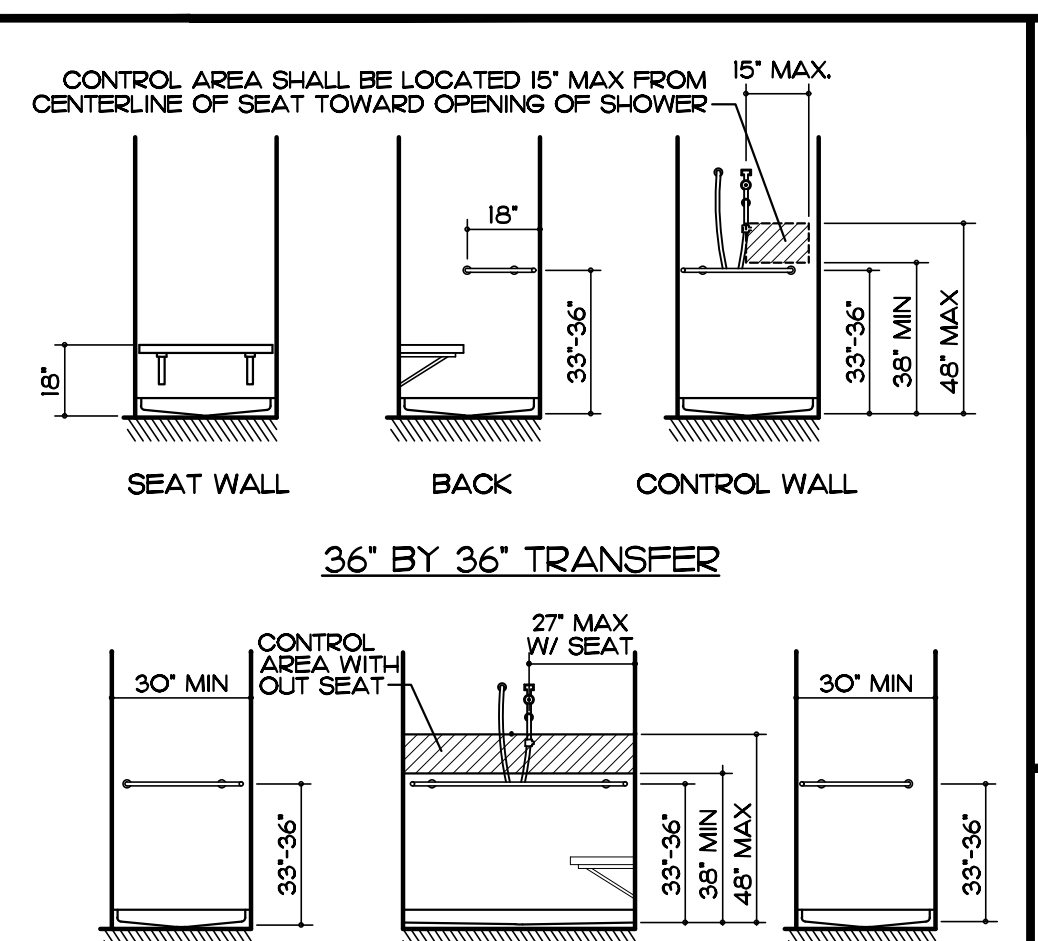
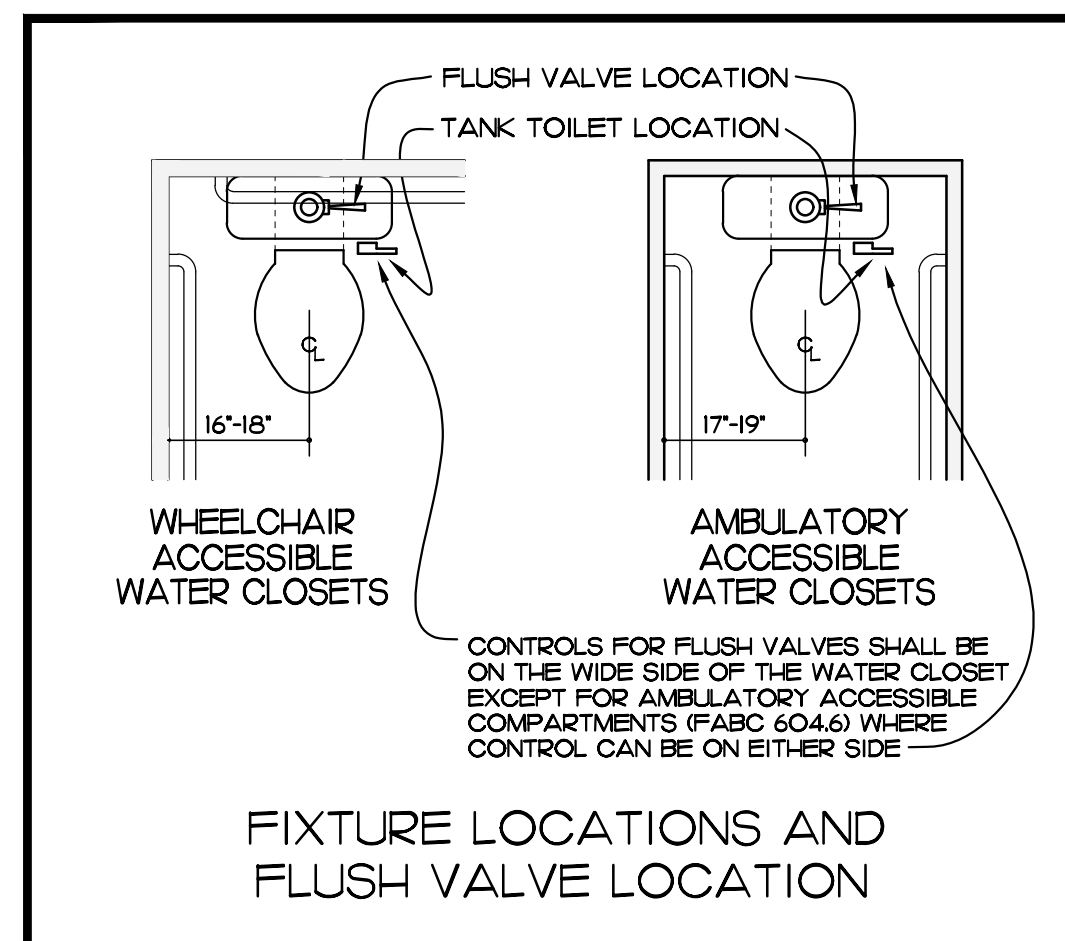
FOR: INDIAN RIVER COUNTY
5555 77TH STREET
VERO BEACH, FL, 32960

NO.	DATE	REVISIONS

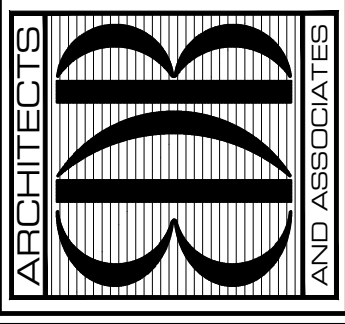
© SEPT '22. THESE PLANS AND THE INFORMATION SHOWN HEREON ARE THE PROPERTY OF EDLUND DRITENBAS BINKLEY ARCHITECTS, P.A. AND REPRODUCTION, DISSEMINATION OR USE THEREOF IN WHOLE OR IN PART IS EXPRESSLY PROHIBITED WITHOUT WRITTEN PERMISSION.

COMM. NO: 050622VB
DATE: 7 SEPTEMBER 2022
BY: LJD
CHKD: JFB

SHEET NO.
COVER
OF ONE



EDLUND · DRITENBAS · BINKLEY ARCHITECTS AND ASSOCIATES, P.A.
AR-1A 000088
65 ROYAL PALM POINTE, SUITE "D"
VERO BEACH, FLORIDA 32986
PHONE: (772) 569-4320



PROJECT: HOBART PARK RESTROOM

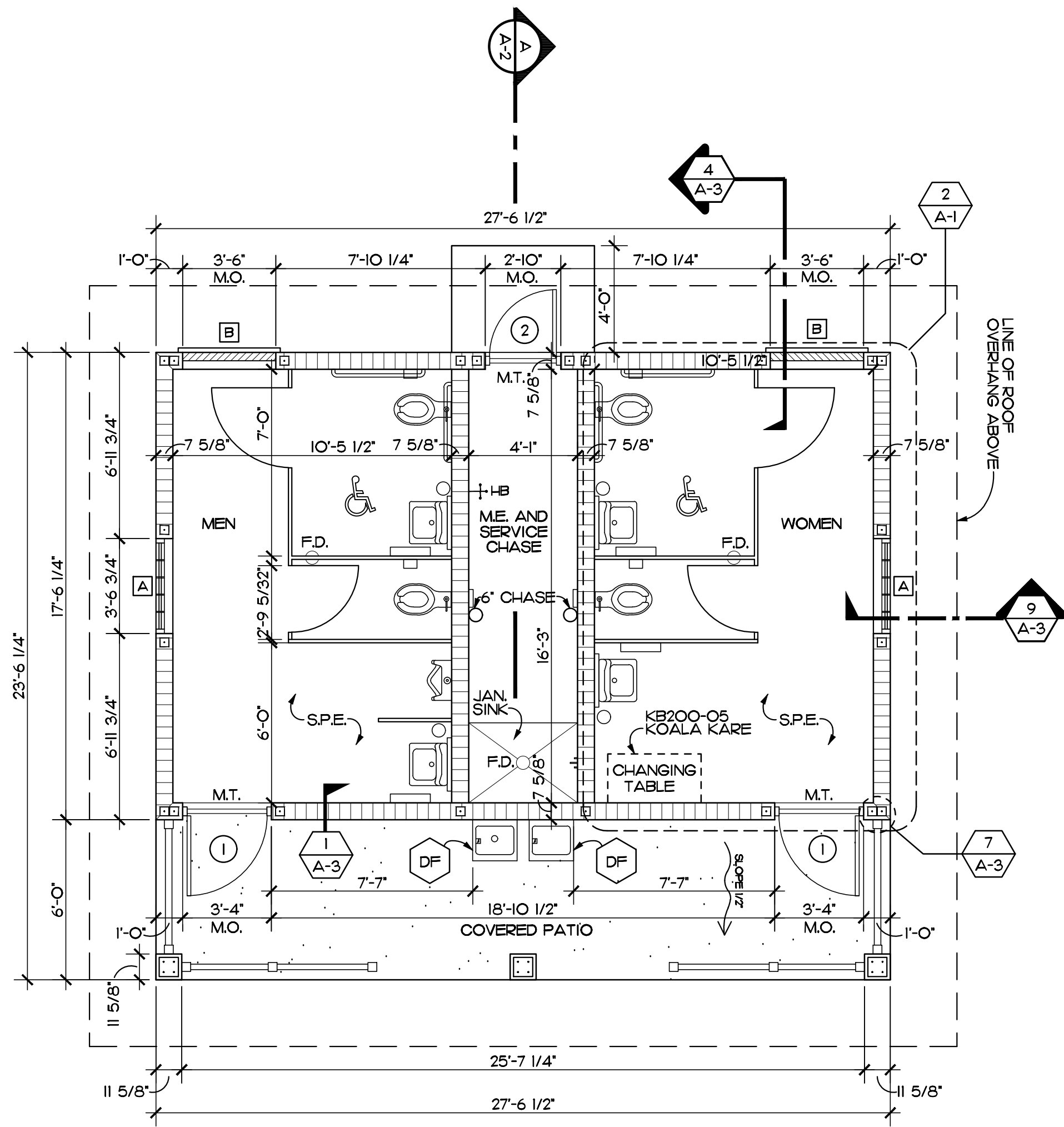
INDIAN RIVER COUNTY
5855 7TH STREET
VERO BEACH FL 32960

NO.	DATE	REVISIONS

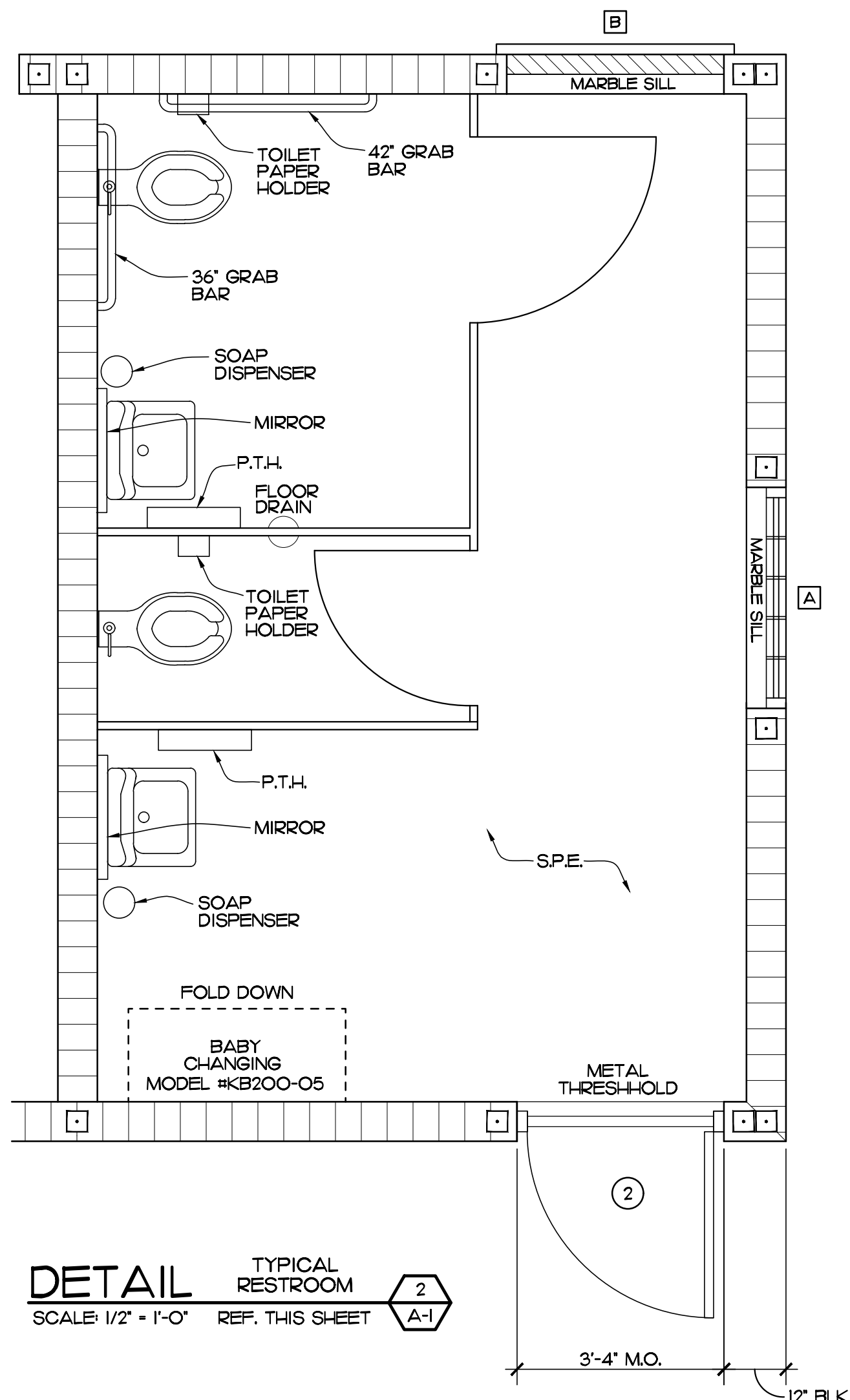
COMM. NO: 050622VB
DATE: 7 SEPTEMBER 2022
BY: LJD
CHKD: JFB

SHEET NO.
ACC
OF ONE

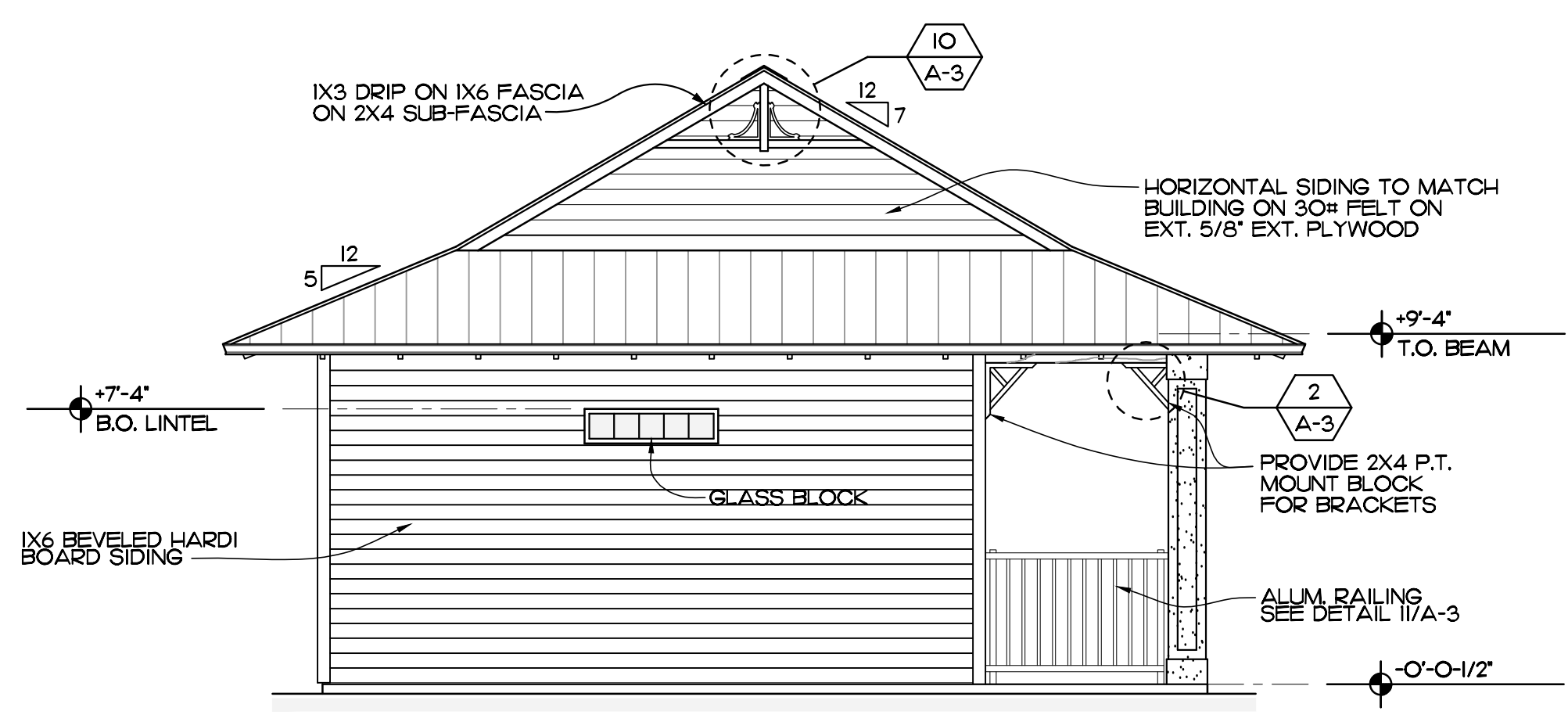
UPDATED 04 APRIL 2016



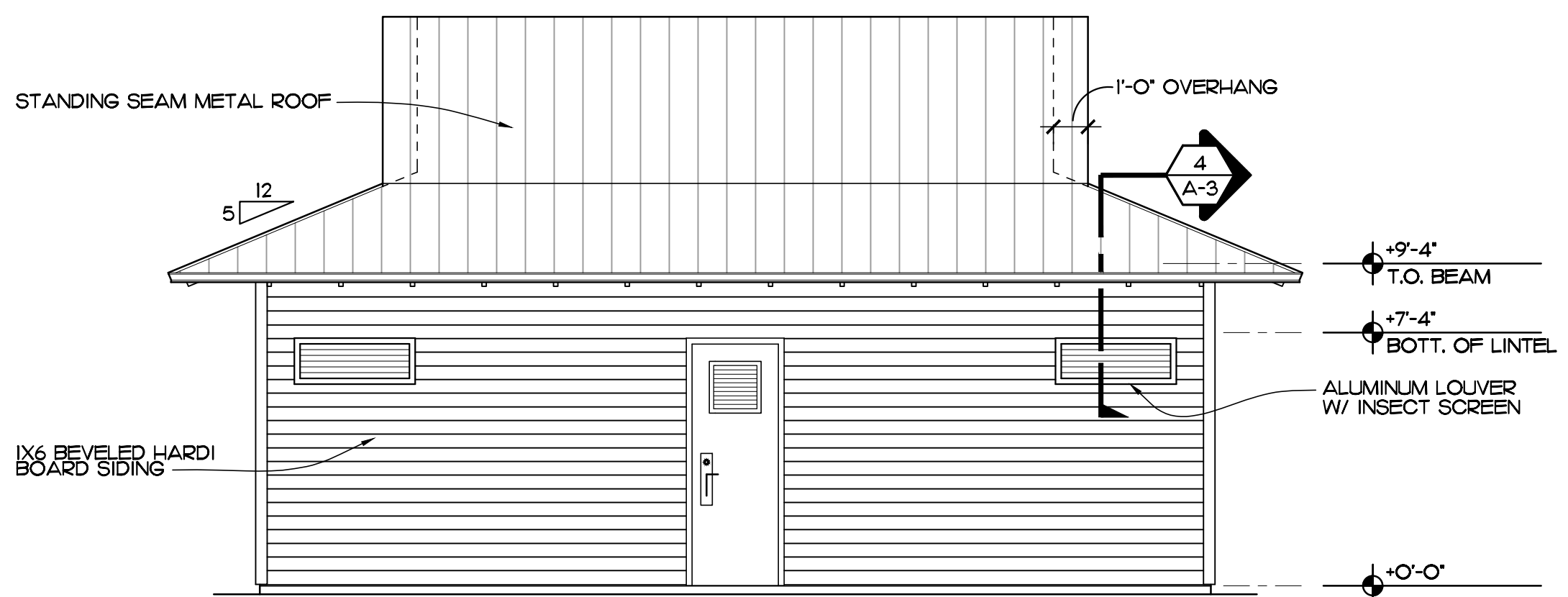
FLOOR PLAN
SCALE: 1/4" = 1'-0"



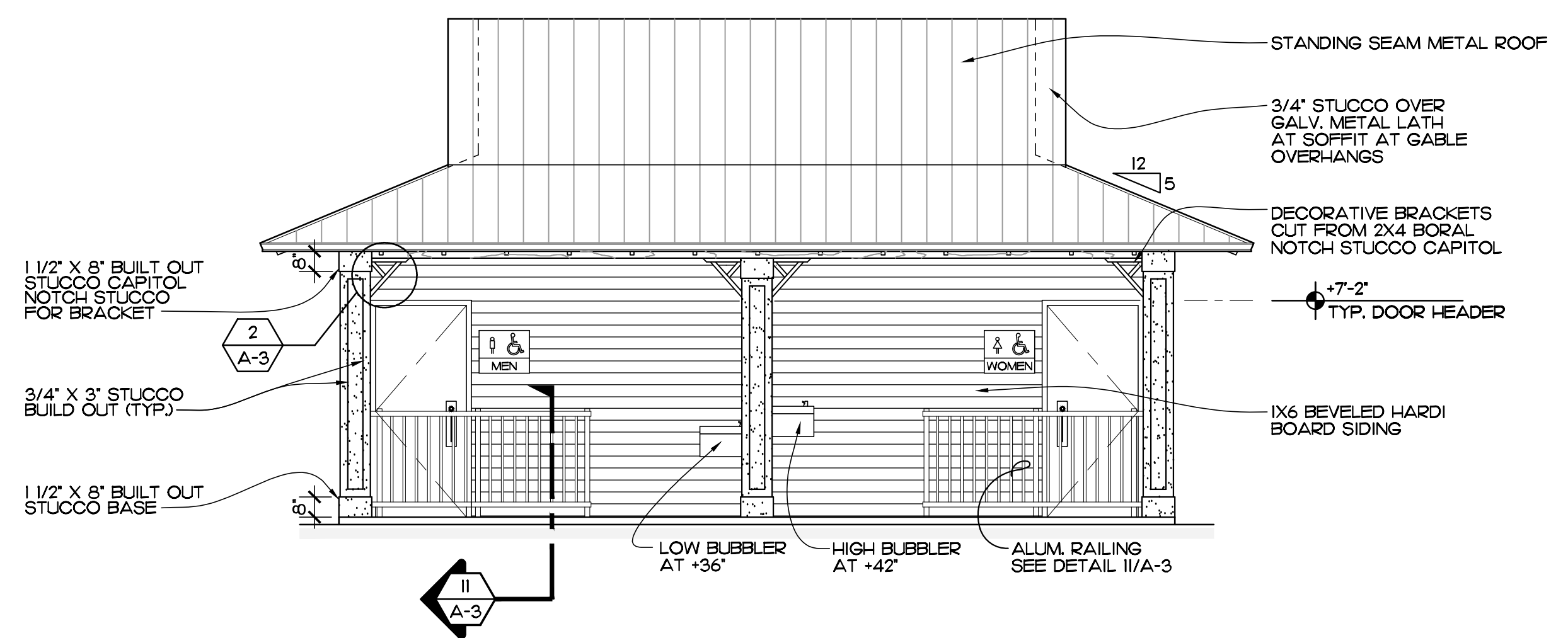
DETAIL TYPICAL RESTROOM
SCALE: 1/2" = 1'-0" REF. THIS SHEET



LEFT SIDE ELEVATION (RIGHT SIDE SIMILAR)
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



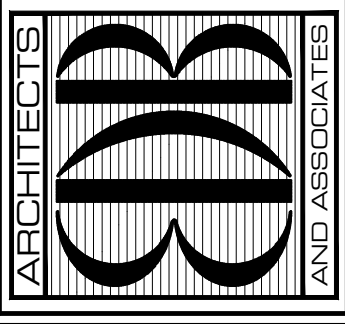
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

LEGEND

[Symbol]	NEW MASONRY WALL	(1)	3'-0" W. X 7'-0" H. X 1-3/4" 16 GA. GALV. STEEL DOOR IN 16 GA. STEEL FRAME
[Symbol]	CONCRETE FILLED CELL	(2)	2'-6" W. X 7'-0" H. X 1-3/4" 16 GA. GALV. STEEL DOOR IN 16 GA. STEEL FRAME WITH FIXED LOUVER W/ BUG SCREEN ON TOP THIRD FOR VENTILATION
[Symbol]	CONC. FILLED CELL W/1#5 VERT.	[DF]	ELKAY DRINKING FOUNTAIN MODEL EDPP-14-C W/ PUSH BAR BUBBLER CONTROL. COLOR: STAINLESS STEEL
[A]	8" X 8" GLASS BLOCK	P.T.H.	PAPER TOWEL HOLDER
[B]	GREEN-ECK E-44-601D ALUMINUM LOUVER 4'-0" W. X 1'-4" H. INSTALL PER NOA NO. 16-020103	H-B	HOSE BIBB
S.P.E.	SINGLE PLY EPOXY FLOORING AND BASE	F.D.	FLOOR DRAIN
M.T.	METAL THRESHOLD		

- PAINTING AND FINISHING NOTES:**
- ALL INTERIOR AND EXTERIOR WALLS/CEILINGS TO RECEIVE EPOXY PAINT OVER PROPER PRIMERS. REFER TO SPECIFICATIONS.
 - ALL INTERIOR AND EXTERIOR BORAL, RAFTER TAILS, FASCIA, PLYWOOD SOFFITS AND TRIM BOARDS TO BE PRIMED ON ALL FACES AND FINISH PAINTED WITH TWO COATS APPROVED PAINTS PER PLANS AND SPECIFICATIONS.
 - DO NOT APPLY PAINTS TO EXPOSED OR CONCEALED P.T. WOOD PRODUCTS.
 - DO NOT PAINT ANY FLOORS. COVERED PATIO FLOOR CONCRETE TO BE FINISHED WITH A CLEAR CONCRETE SEALER.
 - COLORS TO BE SELECTED BY OWNER.
 - RESTROOM FLOORS TO BE SINGLE PLY EPOXY WITH BASE TURNED UP 4". COVERED PATIO FLOOR TO BE FLOAT/SPONGE FINISHED CONCRETE.

EDLUND · DRITENBAS · BINKLEY
ARCHITECTS AND ASSOCIATES, P.A.
AR-AA 000086
65 ROYAL PALM POINTE, SUITE "D"
VERO BEACH, FLORIDA 32960
PHONE: (772) 569-4320



SEAL:

PROJECT: **HOBART PARK RESTROOM**

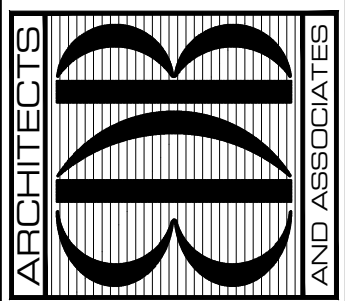
FOR: INDIAN RIVER COUNTY
5555 77TH STREET
VERO BEACH, FL, 32960

NO.	DATE	REVISIONS

© SEPT '22. THESE PLANS AND THE INFORMATION SHOWN HEREIN ARE THE PROPERTY OF EDLUND DRITENBAS BINKLEY ARCHITECTS AND ASSOCIATES, P.A. AND REPRODUCTION, DISSEMINATION OR USE THEREOF IN WHOLE OR IN PART IS EXPRESSLY PROHIBITED WITHOUT WRITTEN PERMISSION.

COMM. NO: 050622VB
DATE: 7 SEPTEMBER 2022
BY: LJD
CHKD: NAME

SHEET NO.
A-1
OF THREE



SEAL:

PROJECT: HOBART PARK RESTROOM

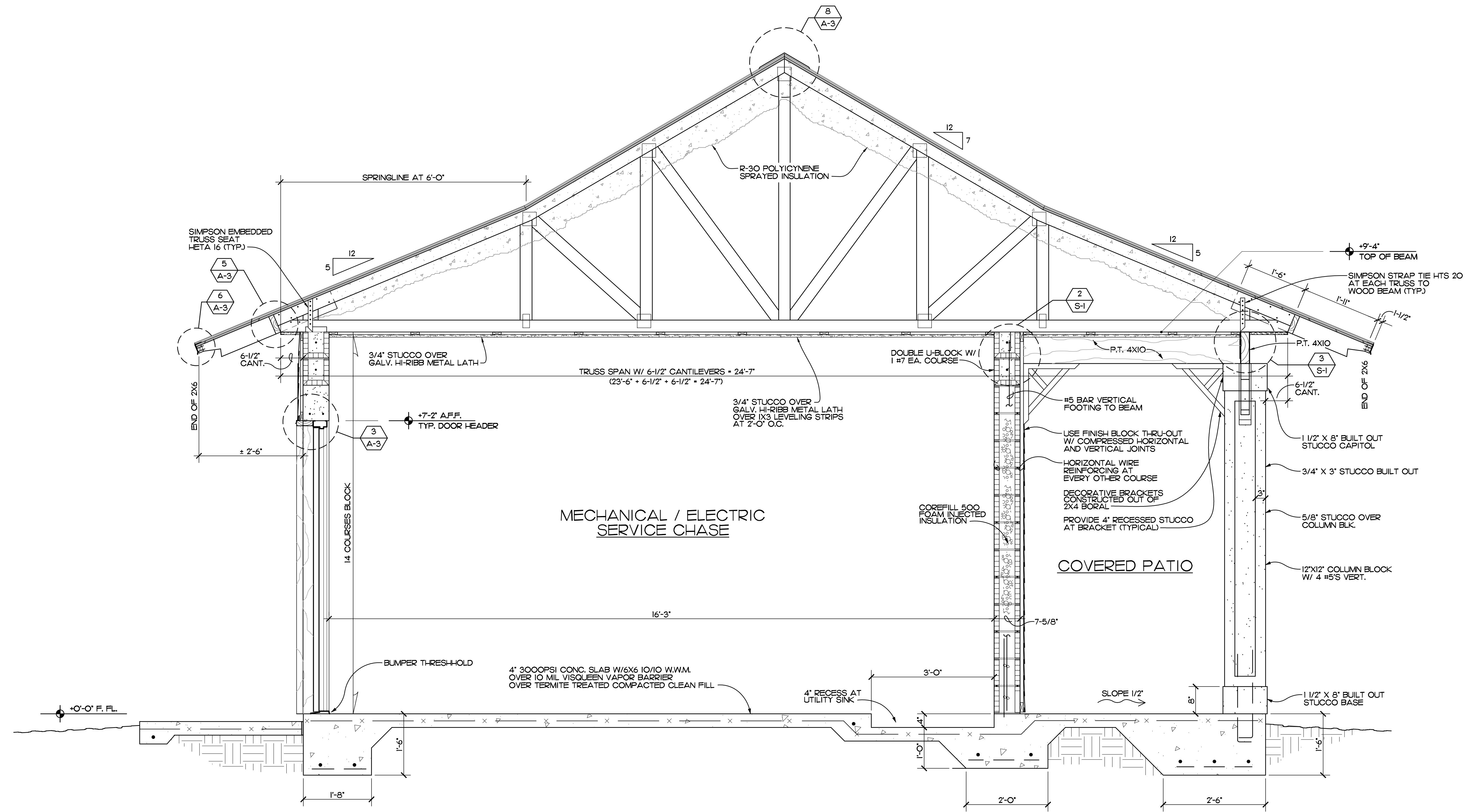
FOR: INDIAN RIVER COUNTY
 5555 77TH STREET
 VERO BEACH, FL, 32960

NO.	DATE	REVISIONS

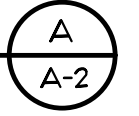
© SEPT '22. THESE PLANS AND THE INFORMATION SHOWN HEREIN ARE THE PROPERTY OF EDLUND DRITENBAS BINKLEY ARCHITECTS AND ASSOCIATES, P.A. AND REPRODUCTION, DISSEMINATION OR USE THEREOF IN WHOLE OR IN PART IS EXPRESSLY PROHIBITED WITHOUT WRITTEN PERMISSION.

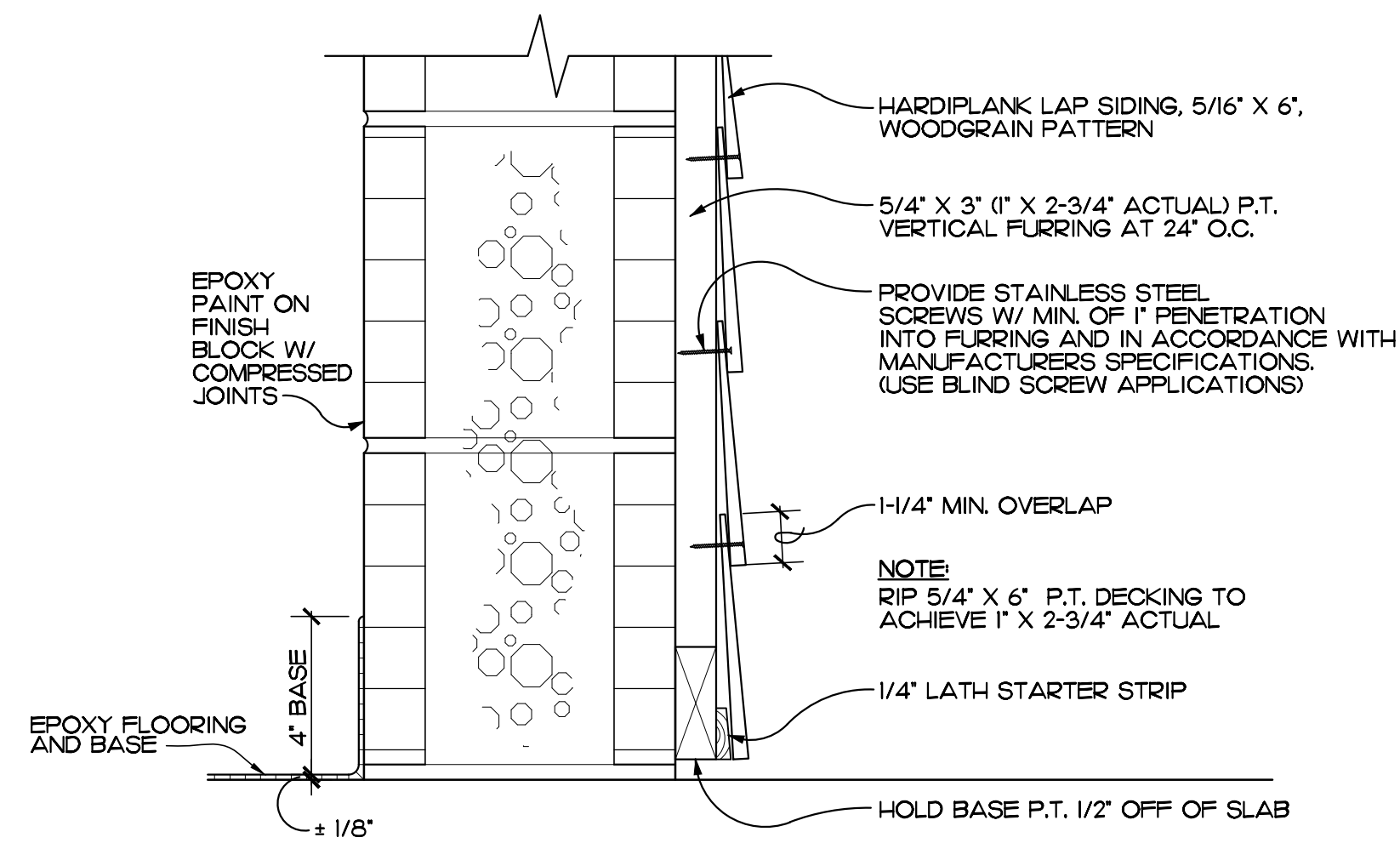
COMM. NO: 050622VB
 DATE: 7 SEPTEMBER 2022
 BY: LJD
 CH'KD: JFB

SHEET NO.
A-2
 OF THREE

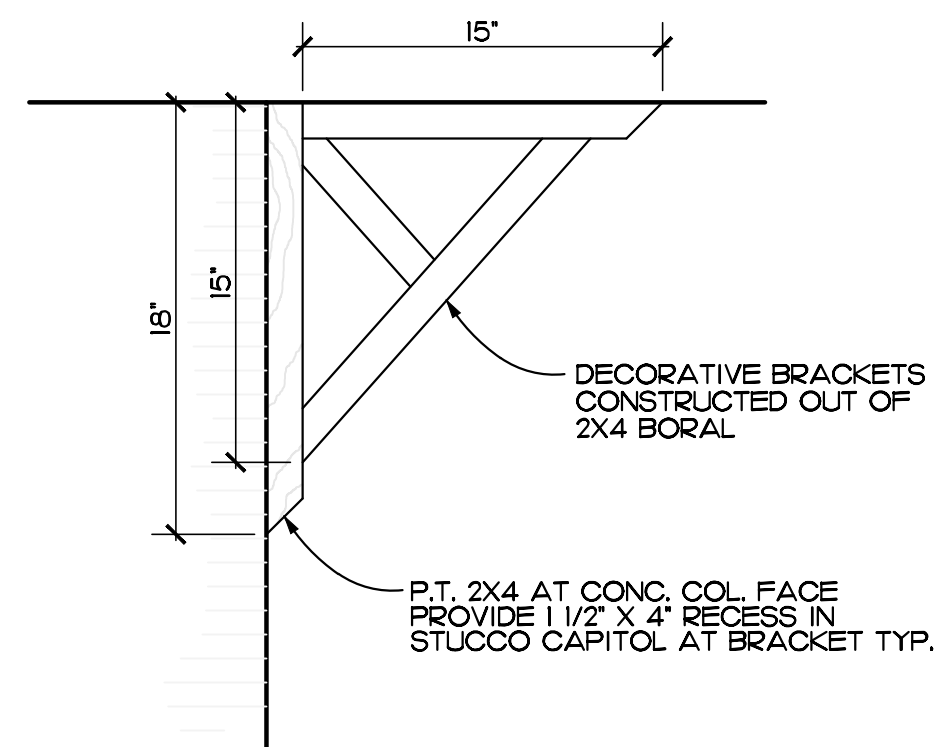


SECTION
 SCALE: 3/4" = 1'-0" REF: SHEETS A-2, S-1

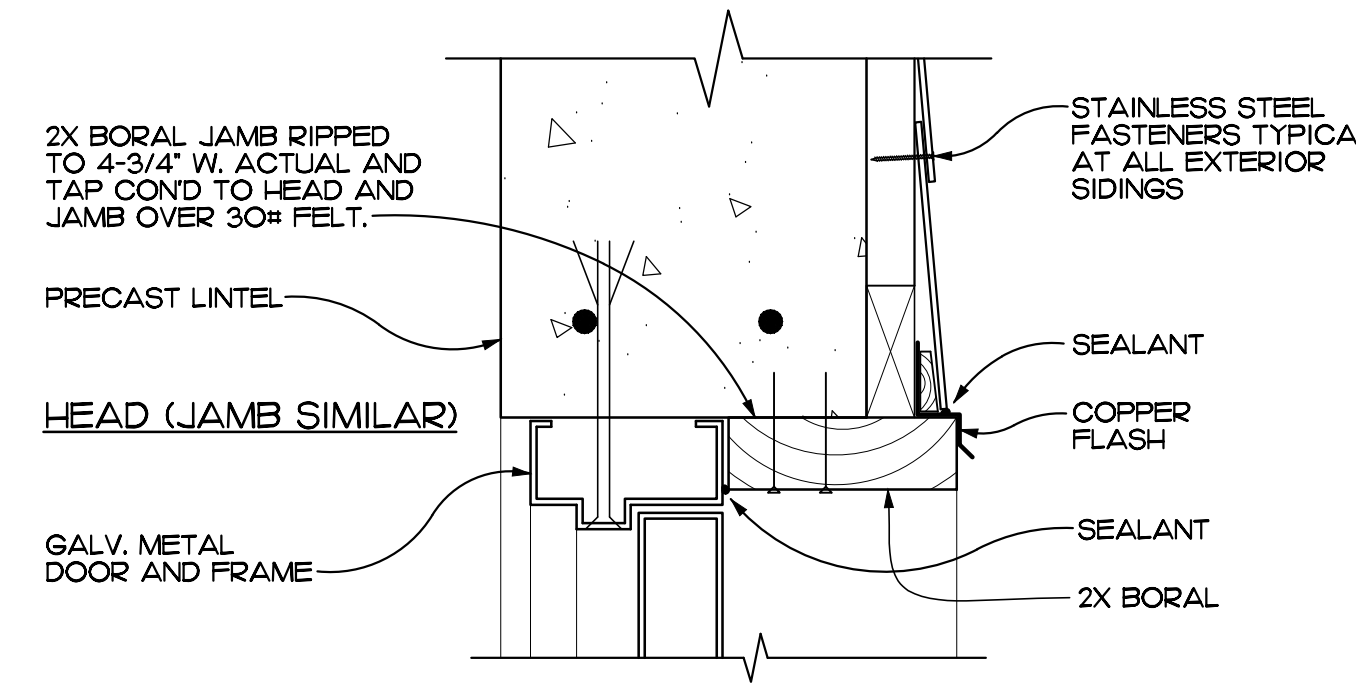




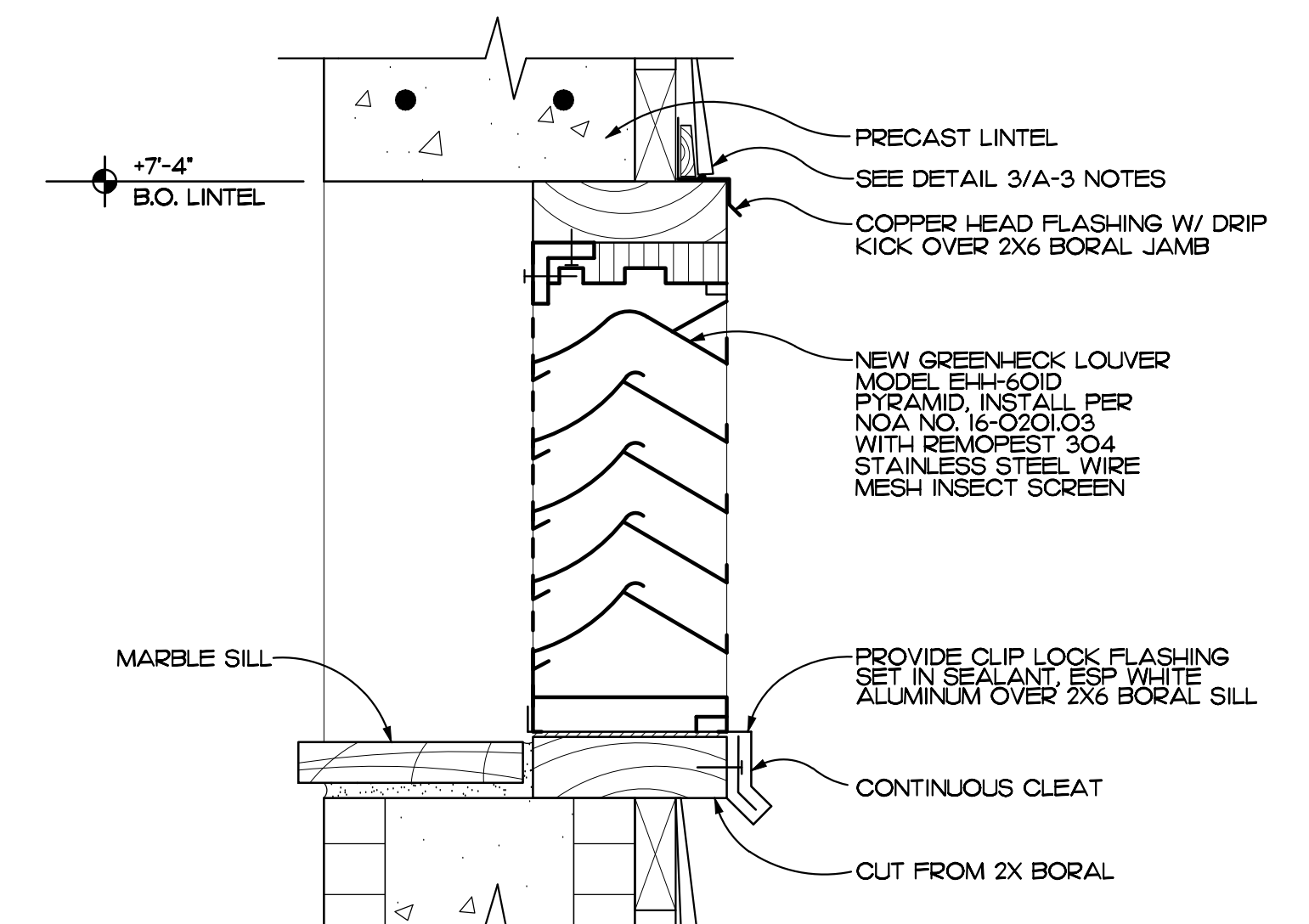
DETAIL 1
SCALE: 3" = 1'-0" REF. SHEET A-1



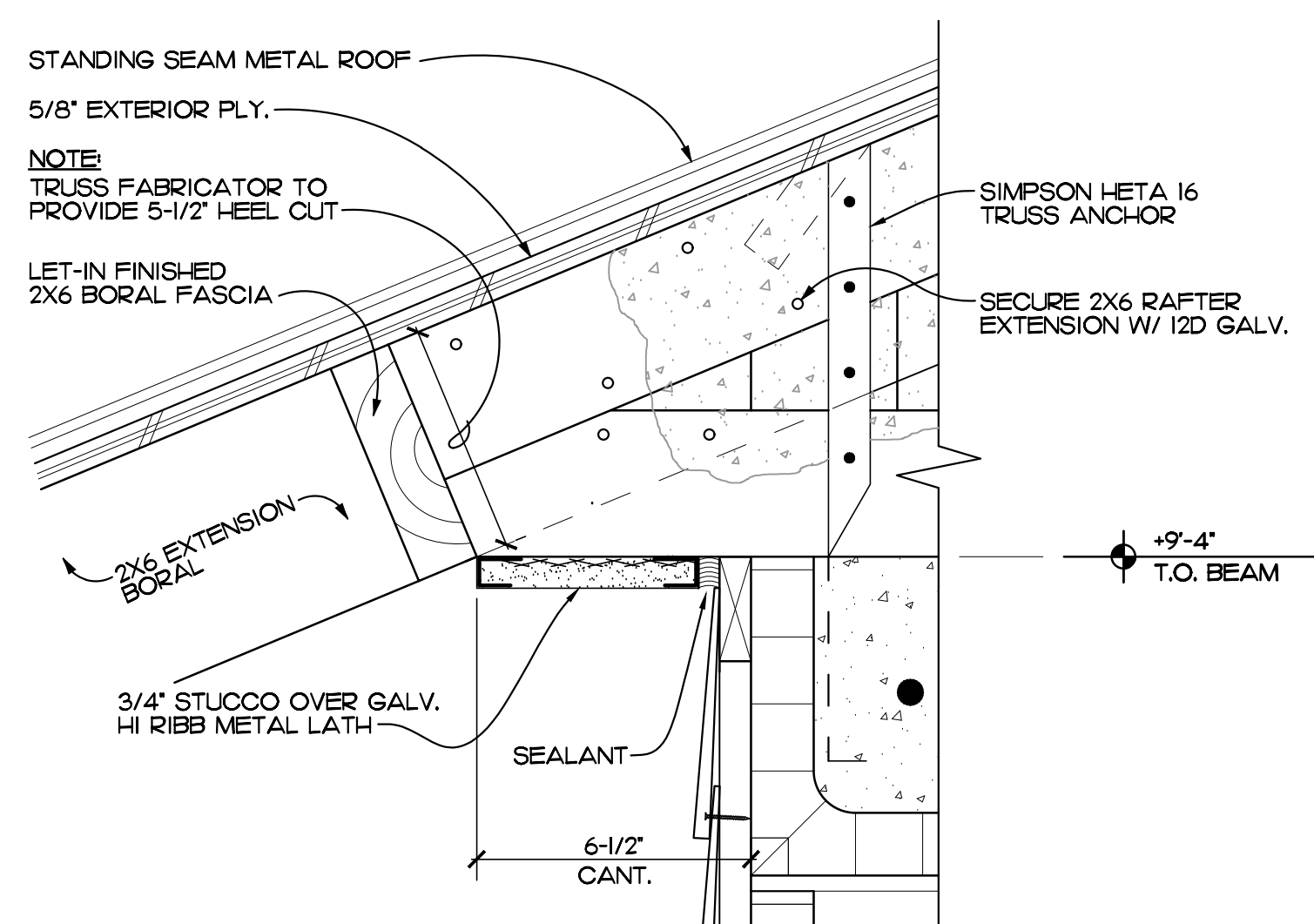
DETAIL 2 (AT BRACKET)
SCALE: 1 1/2" = 1'-0" REF. THIS SHEET



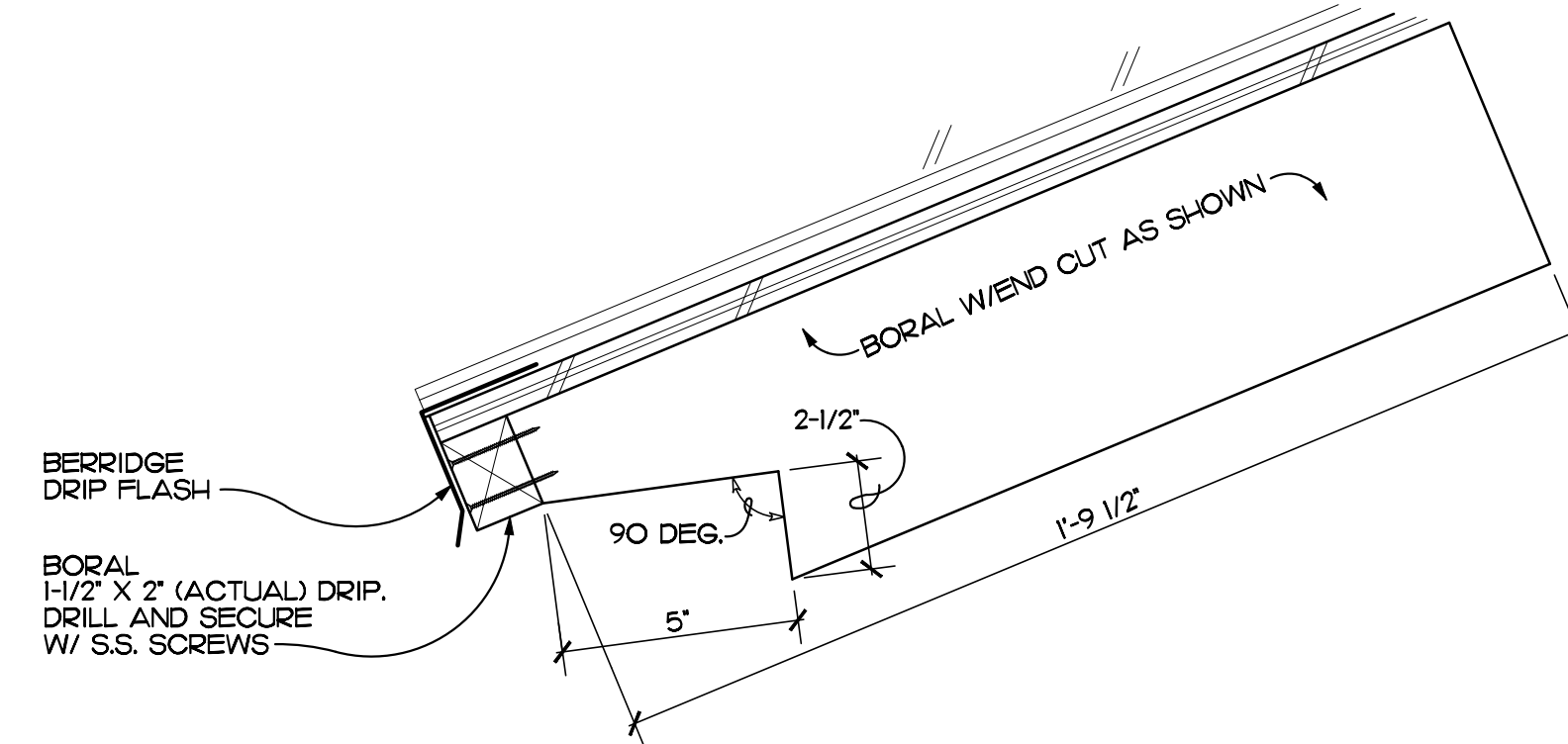
DETAIL 3
SCALE: 3" = 1'-0" REF. THIS SHEET



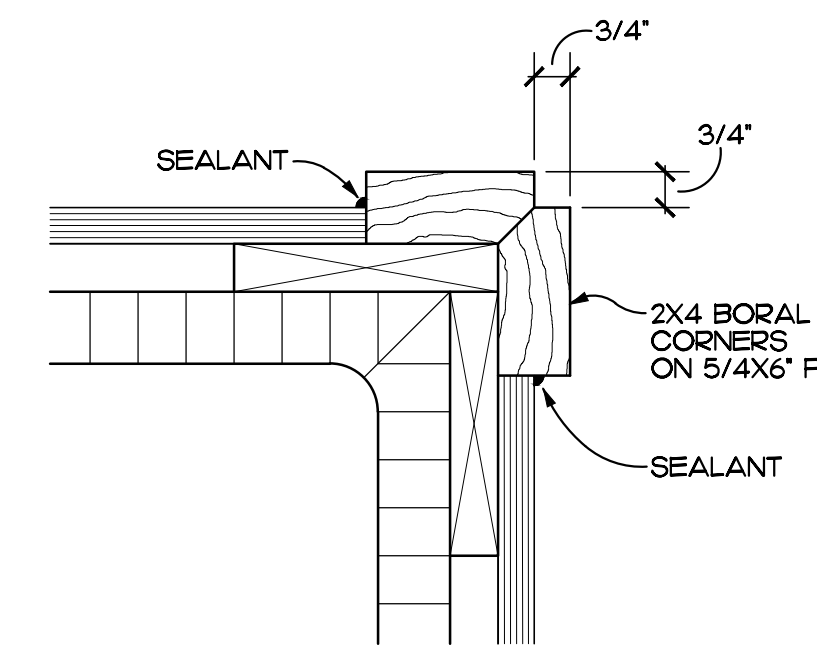
DETAIL 4
SCALE: 3" = 1'-0" REF. THIS SHEET



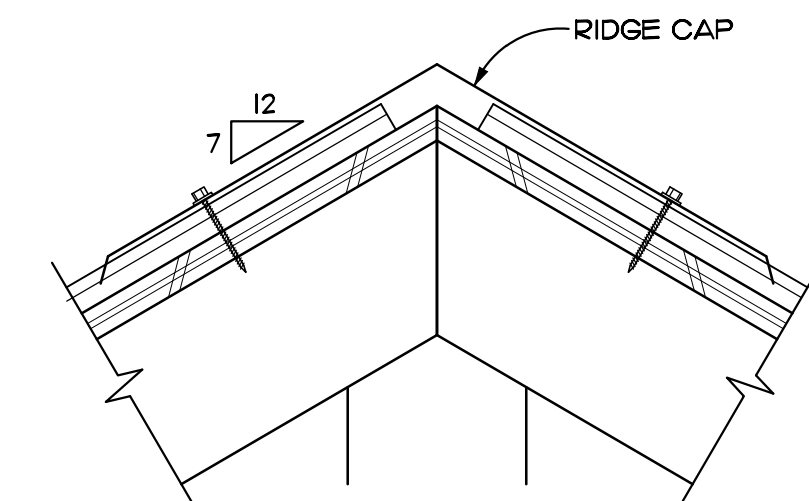
DETAIL 5
SCALE: 3" = 1'-0" REF. THIS SHEET



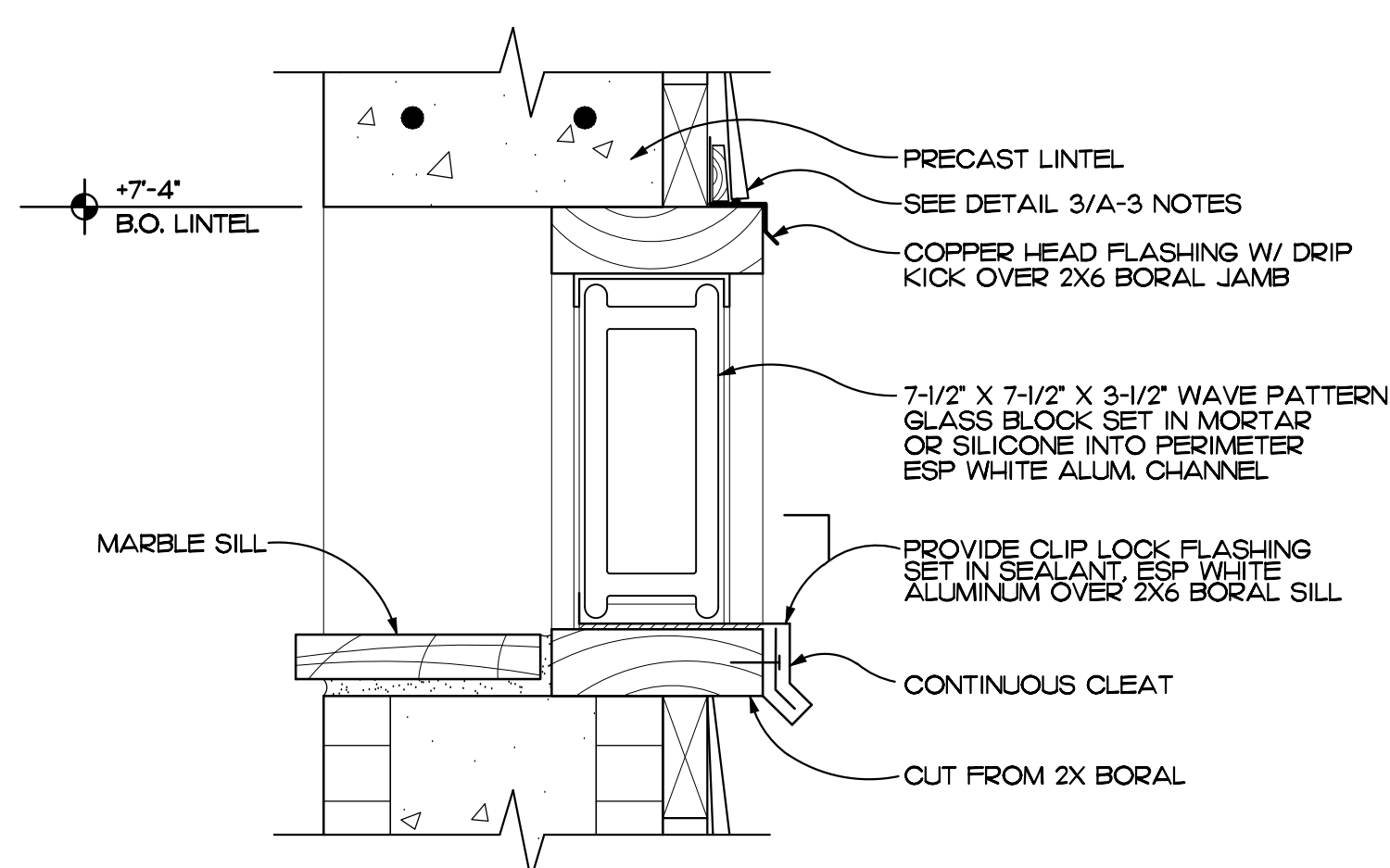
DETAIL 6
SCALE: 3" = 1'-0" REF. THIS SHEET



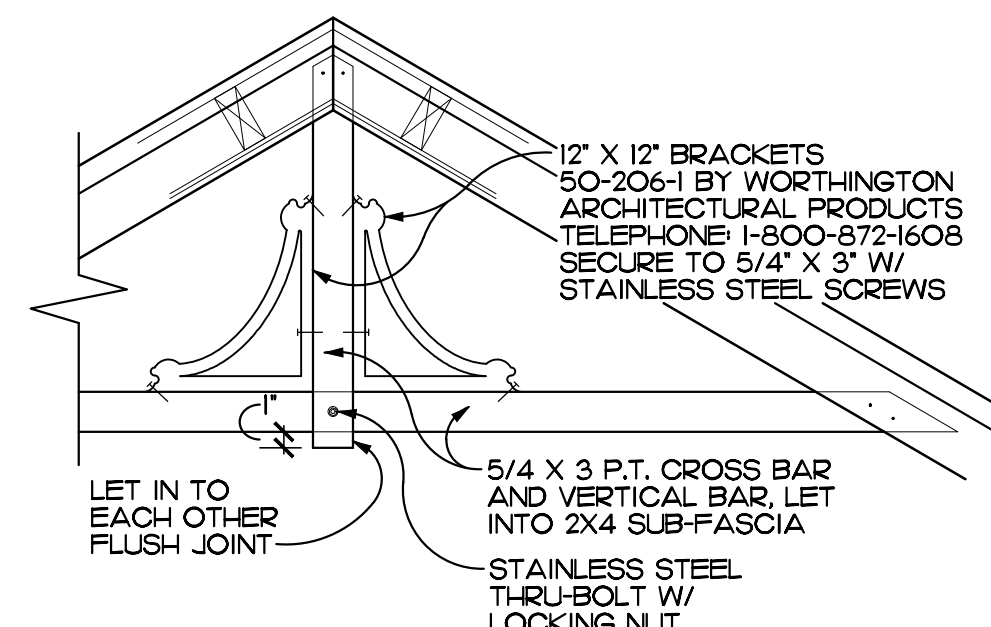
DETAIL 7
SCALE: 3" = 1'-0" REF. SHEET A-1



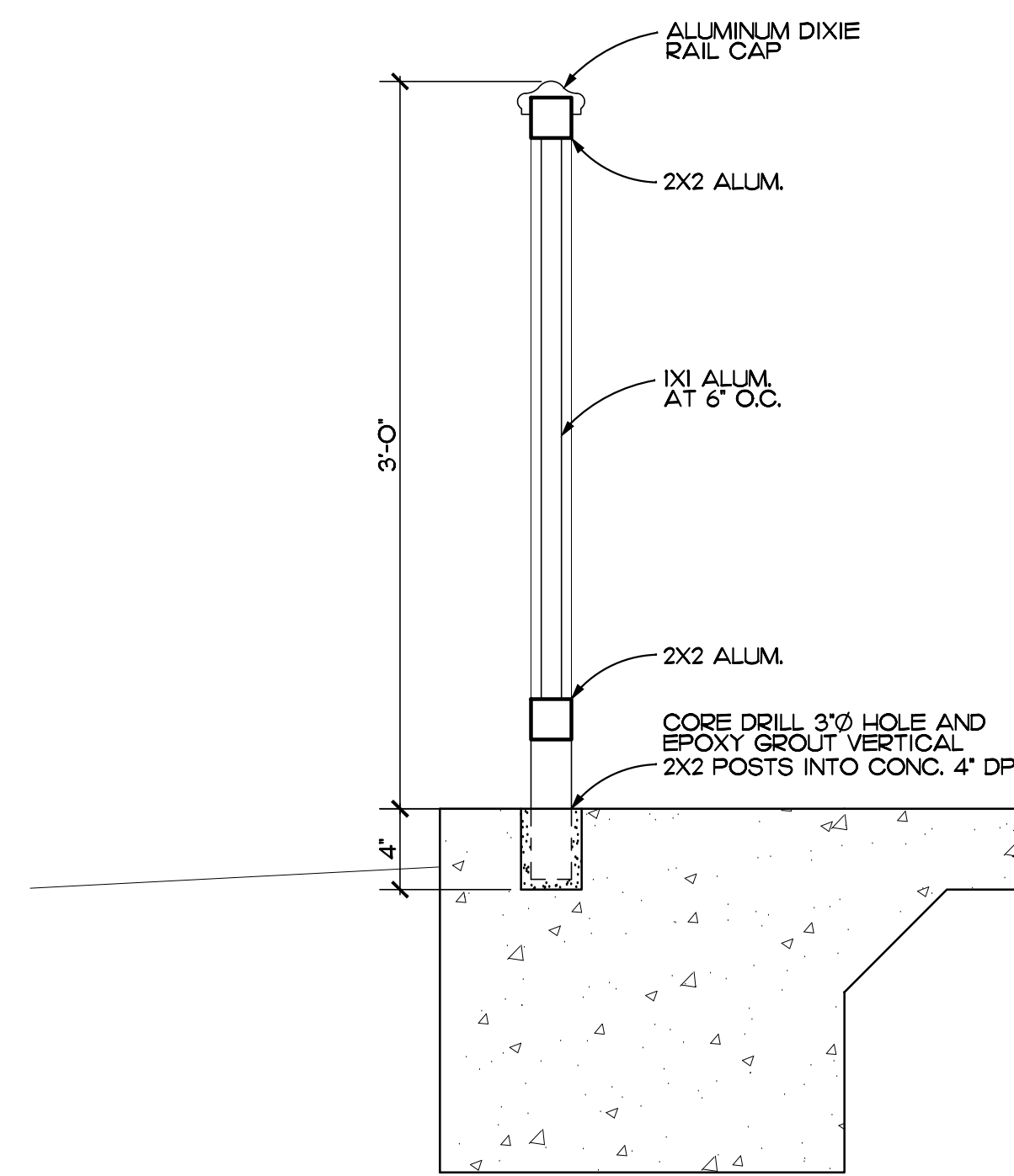
DETAIL 8
SCALE: 3" = 1'-0" REF. THIS SHEET



DETAIL 9
SCALE: 3" = 1'-0" REF. SHEET A-1

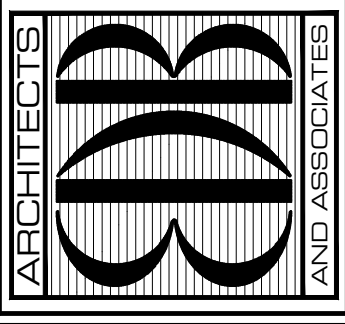


DETAIL 10
SCALE: 1" = 1'-0" REF. THIS SHEET



DETAIL 11
SCALE: 1 1/2" = 1'-0" REF. THIS SHEET

EDLUND · DRITENBAS · BINKLEY
ARCHITECTS AND ASSOCIATES, P.A.
AR-AA 000086
65 ROYAL PALM POINTE, SUITE "D"
VERO BEACH, FLORIDA 32960
PHONE: (772) 569-4320



SEAL:

PROJECT: HOBART PARK RESTROOM

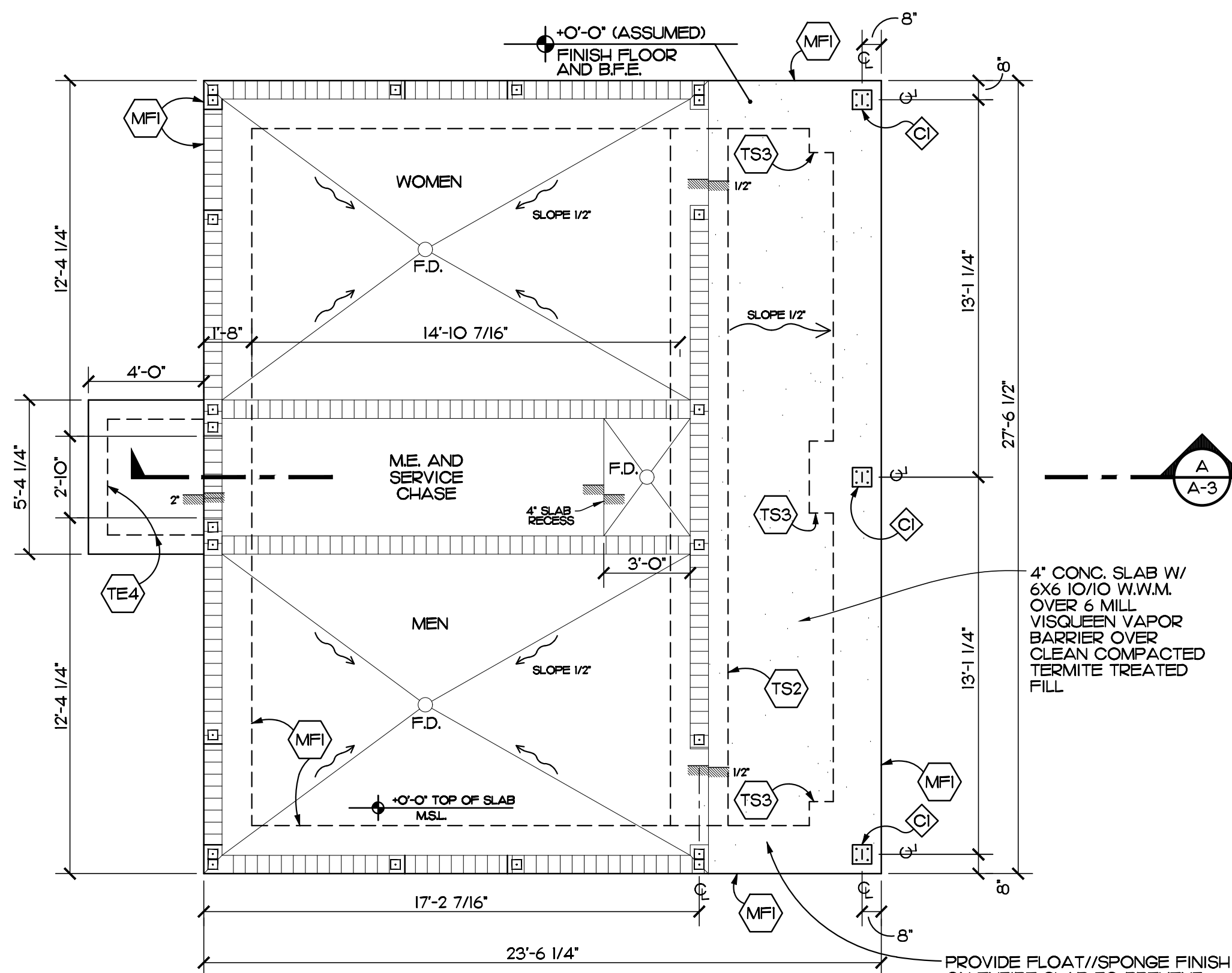
FOR: INDIAN RIVER COUNTY
5555 77TH STREET
VERO BEACH, FL, 32960

NO.	DATE	REVISIONS

© SEPT '22. THESE PLANS AND THE INFORMATION SHOWN HEREIN ARE THE PROPERTY OF EDLUND DRITENBAS BINKLEY ARCHITECTS AND ASSOCIATES, P.A. AND REPRODUCTION, DISSEMINATION OR USE THEREOF IN WHOLE OR IN PART IS EXPRESSLY PROHIBITED WITHOUT WRITTEN PERMISSION.

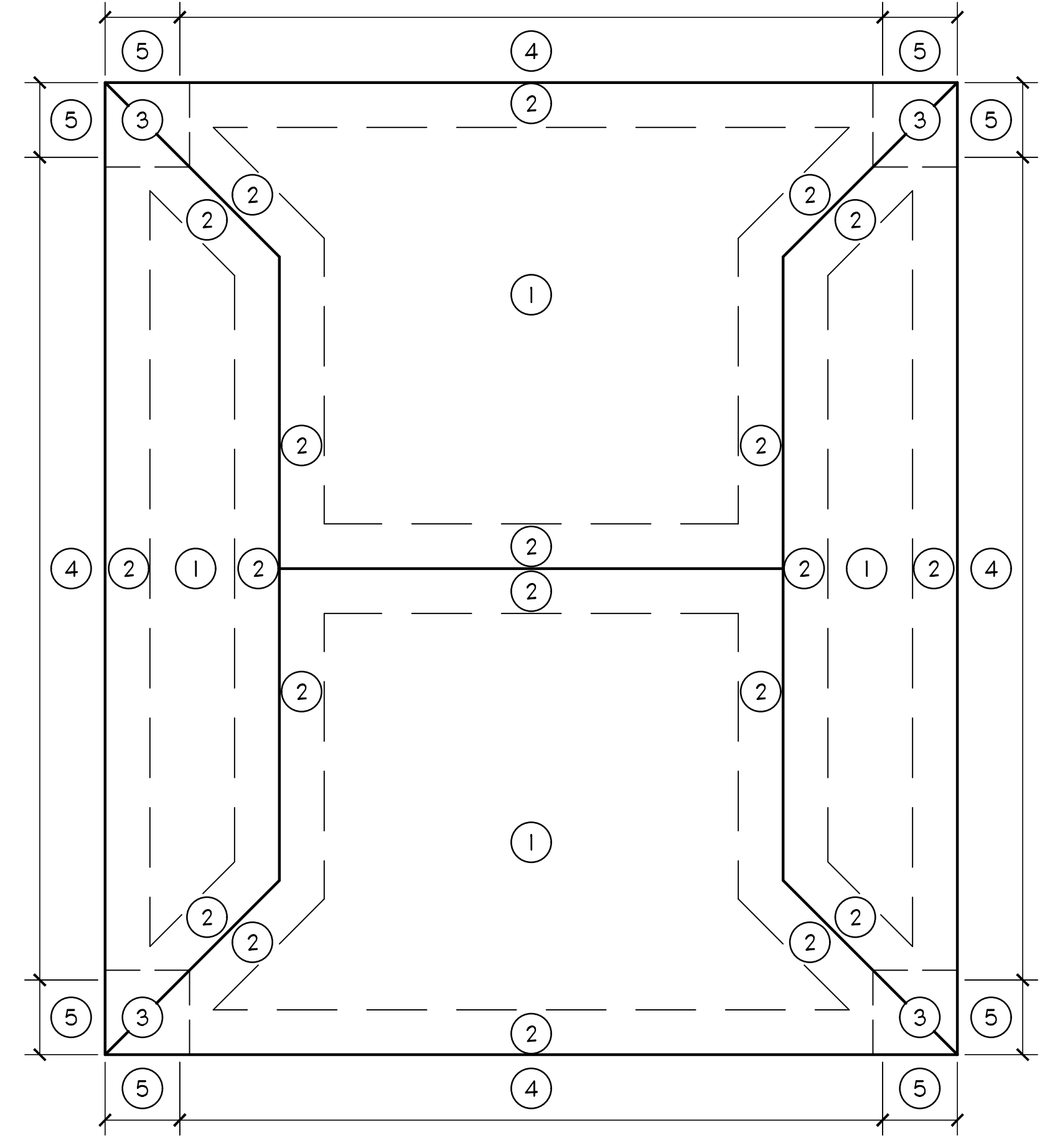
COMM. NO: 050622VB
DATE: 7 SEPTEMBER 2022
BY: LJD
CHKD: JFB

SHEET NO.
A-3
OF THREE



FOOTING SCHEDULE			
MARK	SIZE	TYPE	REINFORCING
MF-1	20' W. X 18' DP.	MONOLITHIC FOOTING	2 #5'S CONT. BOTTOM
TS-2	24' W. X 12' DP.	THICKENED SLAB	2 #5'S CONT. BOTTOM
TS-3	2'-6" SQ. X 18" DP.	MONOLITHIC PAD FOOTING	3 #5'S EACH WAY BOTTOM
TE-4	8' X 8' DP.	AT CONC STOOP	1 #5 CONTINUOUS

COLUMN SCHEDULE			
MARK	SIZE	VERTICAL REINFORCING OR CAP R. AND BOLTS	COLUMN TIES OR BASE R. AND ANCHOR BOLTS
C-1	12' X 12'	4 #6'S VERT.	#3 TIES AT 8" O.C. VERTICAL



WIND PRESSURE ZONE DIAGRAM
SCALE: NTS

DESIGN CRITERIA
FLORIDA BUILDING CODE, 6TH EDITION (2017) BUILDING

ROOF LOADS

DEAD	20 PSF (METAL ROOF)
LIVE	
TRUSS TOP CHORD	20 PSF
TRUSS BOTTOM CHORD / STORAGE	20 PSF
TRUSS BOTTOM CHORD W/O STORAGE	10 PSF

WIND LOADS

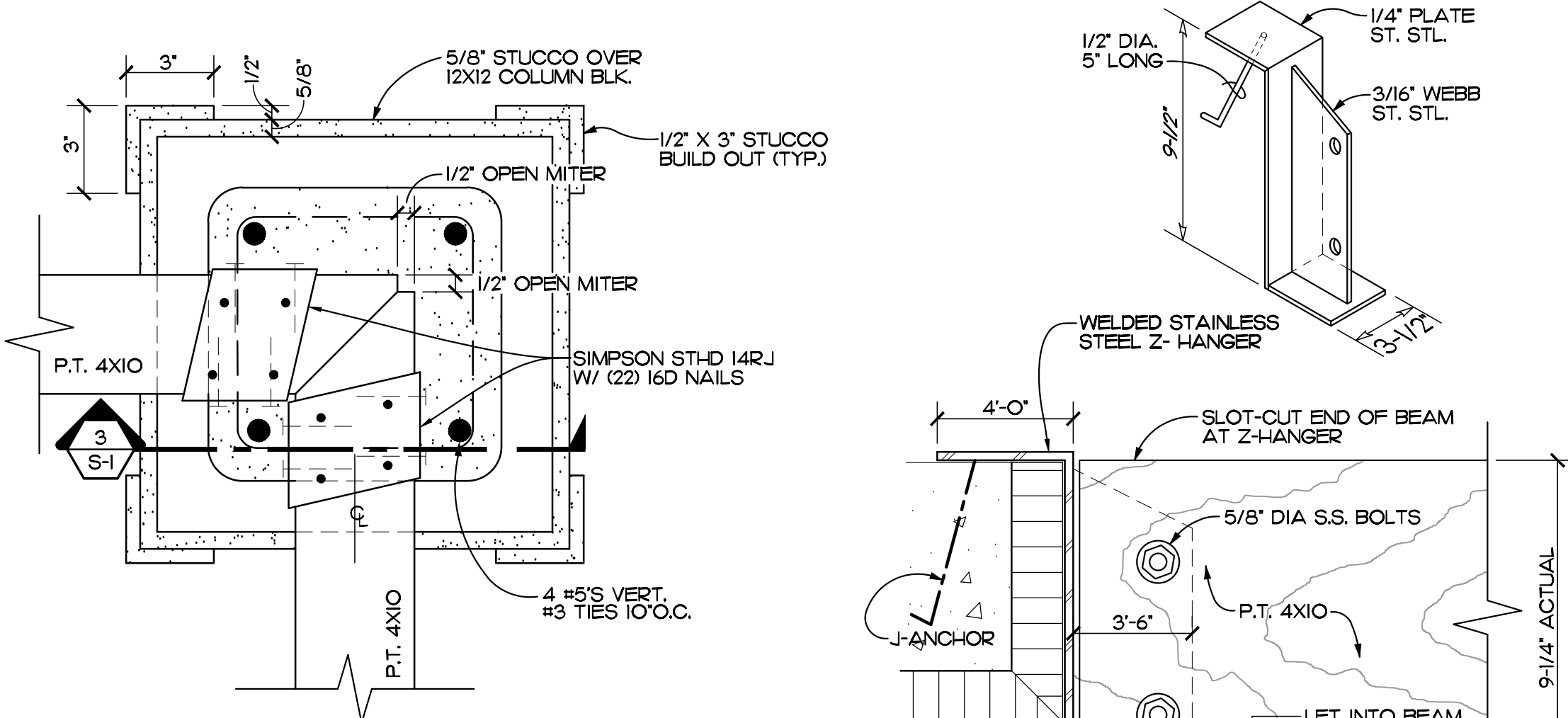
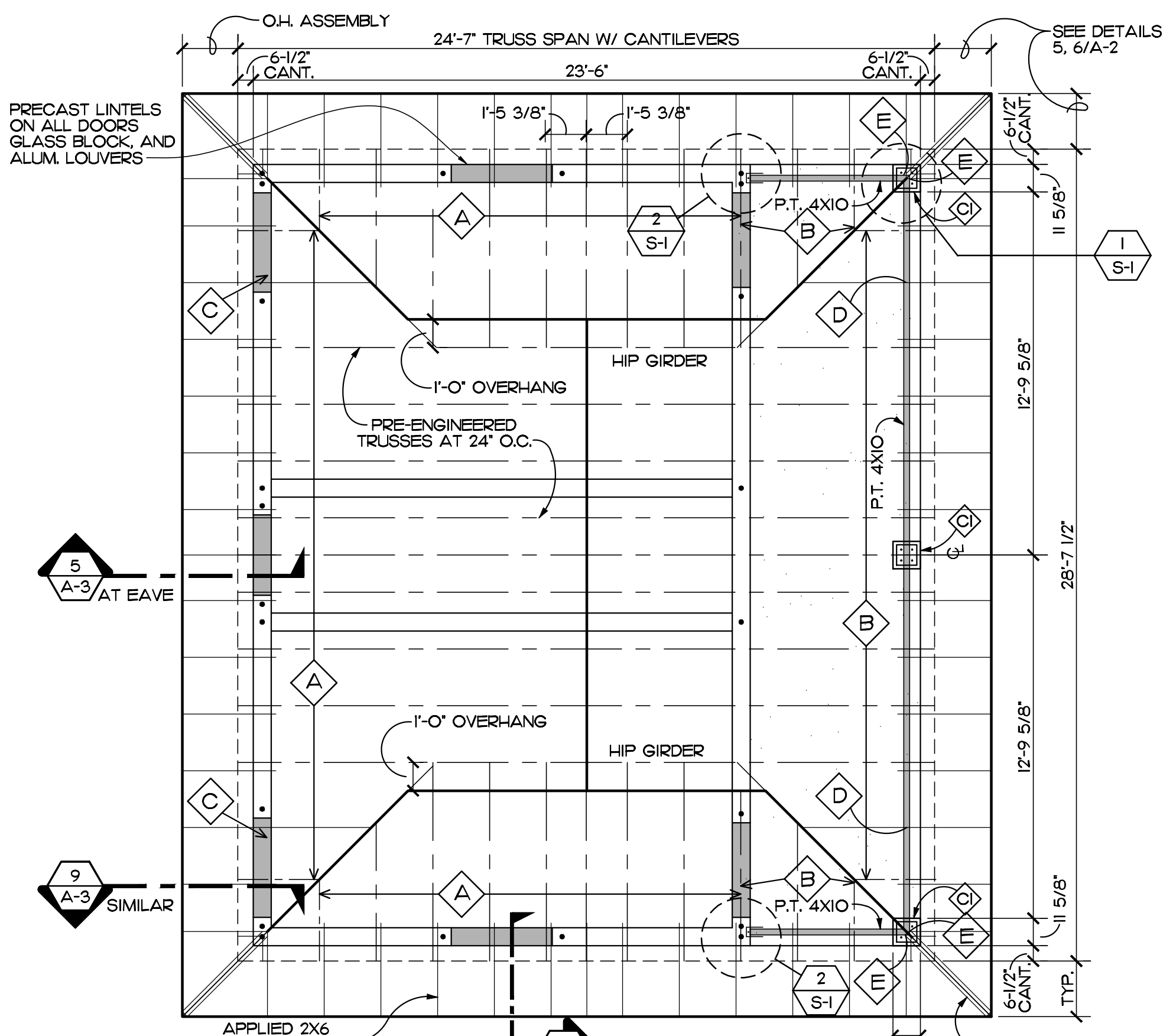
DESIGN CRITERIA PER ASCE-7	
ULTIMATE WIND SPEED REGION, V(U)LT	170 MPH
NOMINAL WIND SPEED REGION, V(S)D	132 MPH
WIND BORNE DEBRIS REGION	
ENCLOSED STRUCTURE	
BUILDING HEIGHT	1-20 FT.
ROOF PITCH	7/12
RISK CATEGORY	III
INTERNAL PRESSURE COEFFICIENT	±0.18
EXPOSURE	C
HEIGHT AND EXPOSURE COEFFICIENT	1.29

ZONE	EFFECTIVE AREA (IN SQ. FT.)							
	0 < 10	11 < 20	21 < 30	31 < 40	41 < 50	51 < 60	61 < 70	71 < 80
1	+23	-37	+21	-36	+19	-35	+15	-34
2	+23	-64	+21	-59	+19	-52	+15	-47
3	+23	-95	+21	-89	+19	-81	+15	-75
4	+40	-44	+39	-42	+36	-40	+34	-38
5	+40	-54	+39	-50	+36	-46	+34	-42
4	-44	-42	-40	-38				
5	-54	-50	-46	-42				

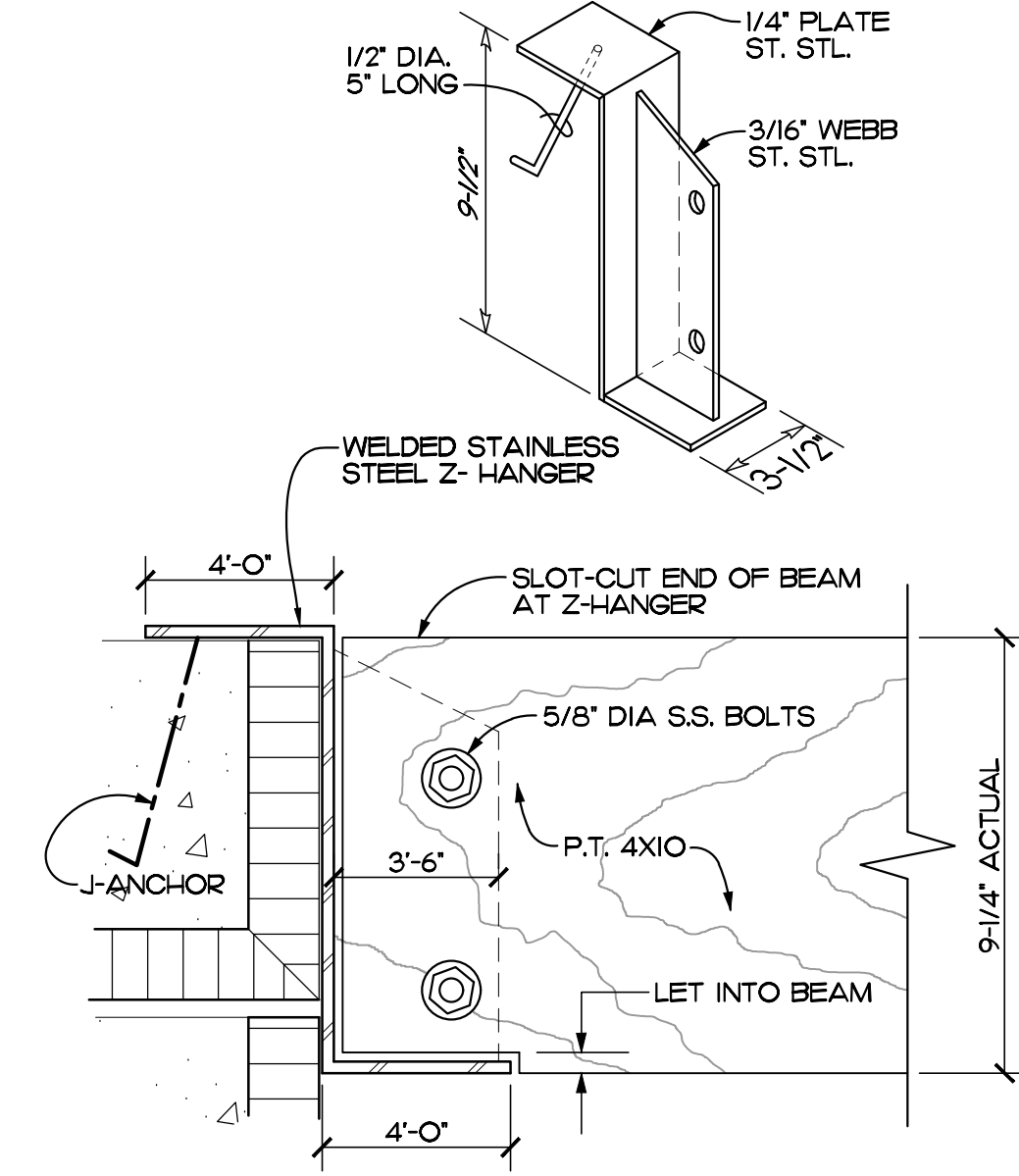
NOTES:
1) END ZONE 5 IS WITHIN A DISTANCE (A) = 6'-6" FROM BUILDING CORNERS
2) THE PROPOSED STRUCTURE IS LOCATED WITHIN A WINDBORNE DEBRIS AREA.

WOOD TRUSS CONNECTOR SCHEDULE					
MARK	CONNECTORS	FASTENERS	ALLOWABLE UPLIFT	MAX. CALC. UPLIFT	REMARKS
A	HETA 16	(9) 10D X 1-1/2"	1810 LBS	580 LBS	TYPICAL TRUSS TO CMU UNLESS NOTED OTHERWISE
B	HTS 20	(24) 10D X 1-1/2"	1450 LBS	580 LBS	
C	(2) HETA 16	(18) 10D X 1-1/2" NAILS	3620 LBS	770 LBS	
D	(2) HTS 20	(2) 24 16D X 1-1/2"	2900 LBS	770 LBS	
E	(2) STD 14FJ	(2) 22 16D X 1-1/2"	2 X 3695 LBS	2900 LBS	

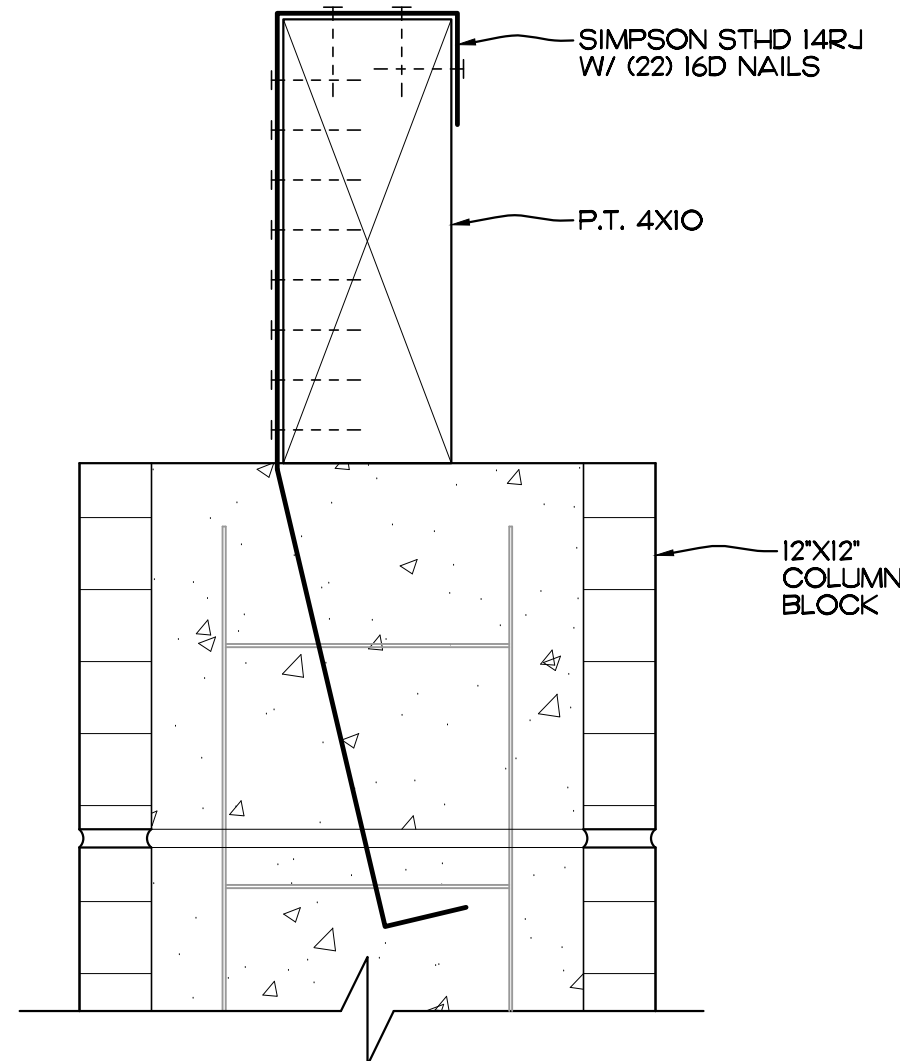
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



DETAIL 1
SCALE: 3" = 1'-0" REF. THIS SHEET S-1



DETAIL 2
SCALE: 3" = 1'-0" REF. THIS SHEET S-1

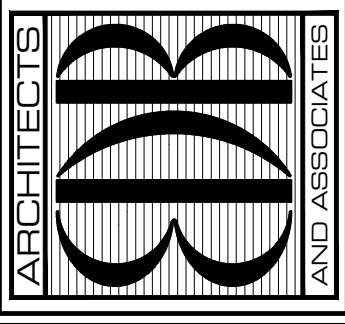


DETAIL 3
SCALE: 3" = 1'-0" REF. THIS SHEET S-1

NOTE: TRUSS MANUFACTURER TO PROVIDE 5-1/2" HEEL CUTS ON ALL TRUSSES PER DETAIL 5/A-2

ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

EDLUND · DRITENBAS · BINKLEY
ARCHITECTS AND ASSOCIATES, P.A.
AR-AA 000086
65 ROYAL PALM POINTE, SUITE "D"
VERO BEACH, FLORIDA 32960
PHONE: (772) 569-4320



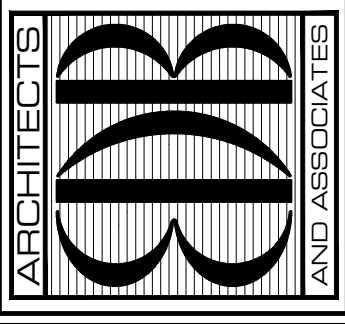
PROJECT: **HOBART PARK RESTROOM**

FOR: INDIAN RIVER COUNTY
5585 77TH STREET
VERO BEACH, FL, 32960

NO.	DATE	REVISIONS

© SEPT '22. THESE PLANS AND THE INFORMATION SHOWN HEREIN ARE THE PROPERTY OF EDLUND DRITENBAS BINKLEY ARCHITECTS, P.A. AND REPRODUCTION, STORAGE OR USE THEREOF IN WHOLE OR IN PART IS EXPRESSLY PROHIBITED WITHOUT WRITTEN PERMISSION.
COMM. NO: 050622VB
DATE: 7 SEPTEMBER 2022
BY: LJD
CHK'D: JFB

SHEET NO.
S-1
OF ONE



SEAL:

PROJECT: HOBART PARK RESTROOM

INDIAN RIVER COUNTY
5555 77TH STREET
VERO BEACH, FL, 32960

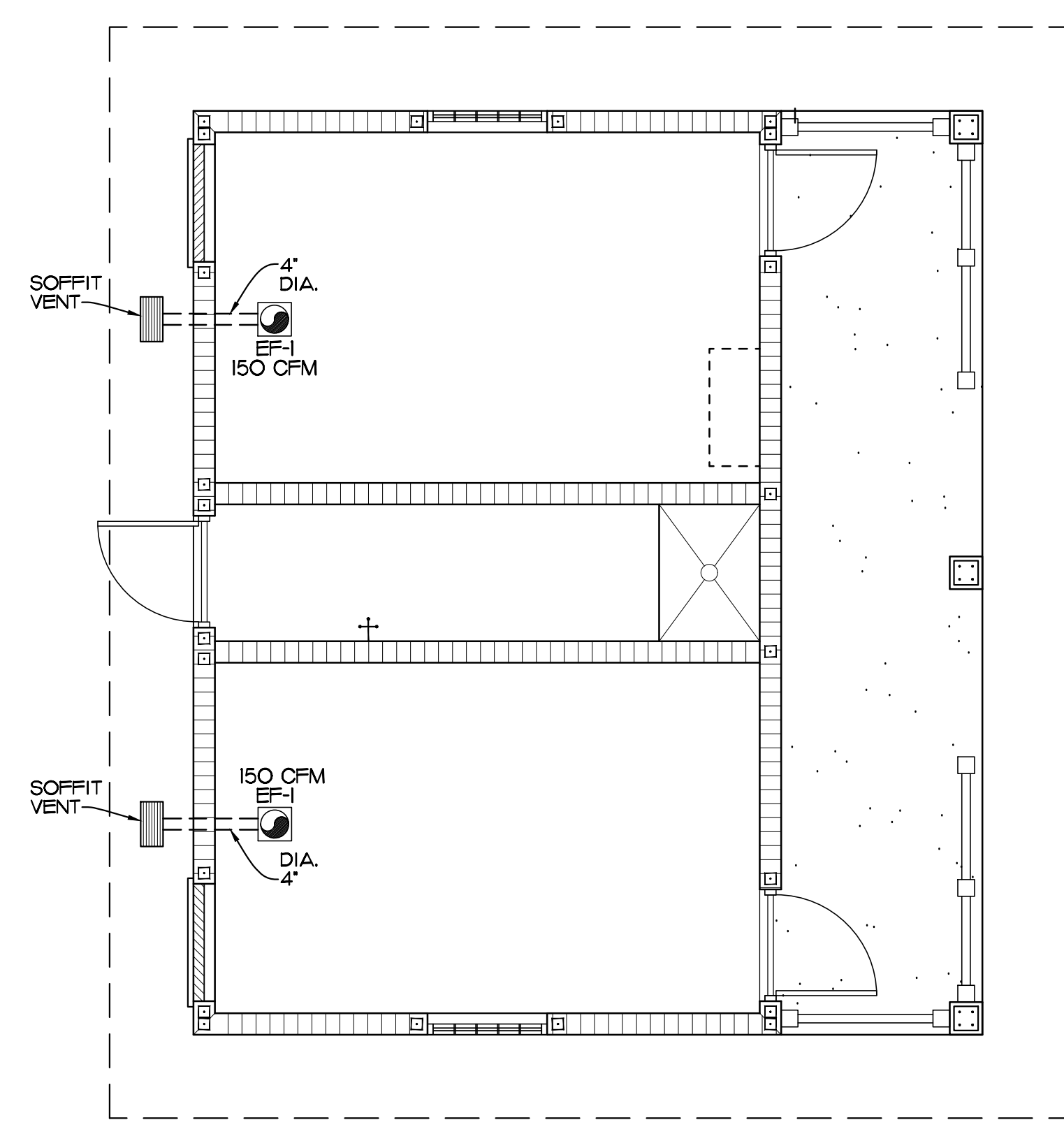
FOR:

NO.	DATE	REVISIONS
1	180322	REVISIONS PER BLDG REVIEW COMMENTS

© SEPT '22. THESE PLANS AND THE INFORMATION SHOWN HEREIN ARE THE PROPERTY OF EDLUND DRITENBAS BINKLEY ARCHITECTS AND ASSOCIATES, P.A. AND REPRODUCTION, DISSEMINATION OR USE THEREOF IN WHOLE OR IN PART IS EXPRESSLY PROHIBITED WITHOUT WRITTEN PERMISSION.

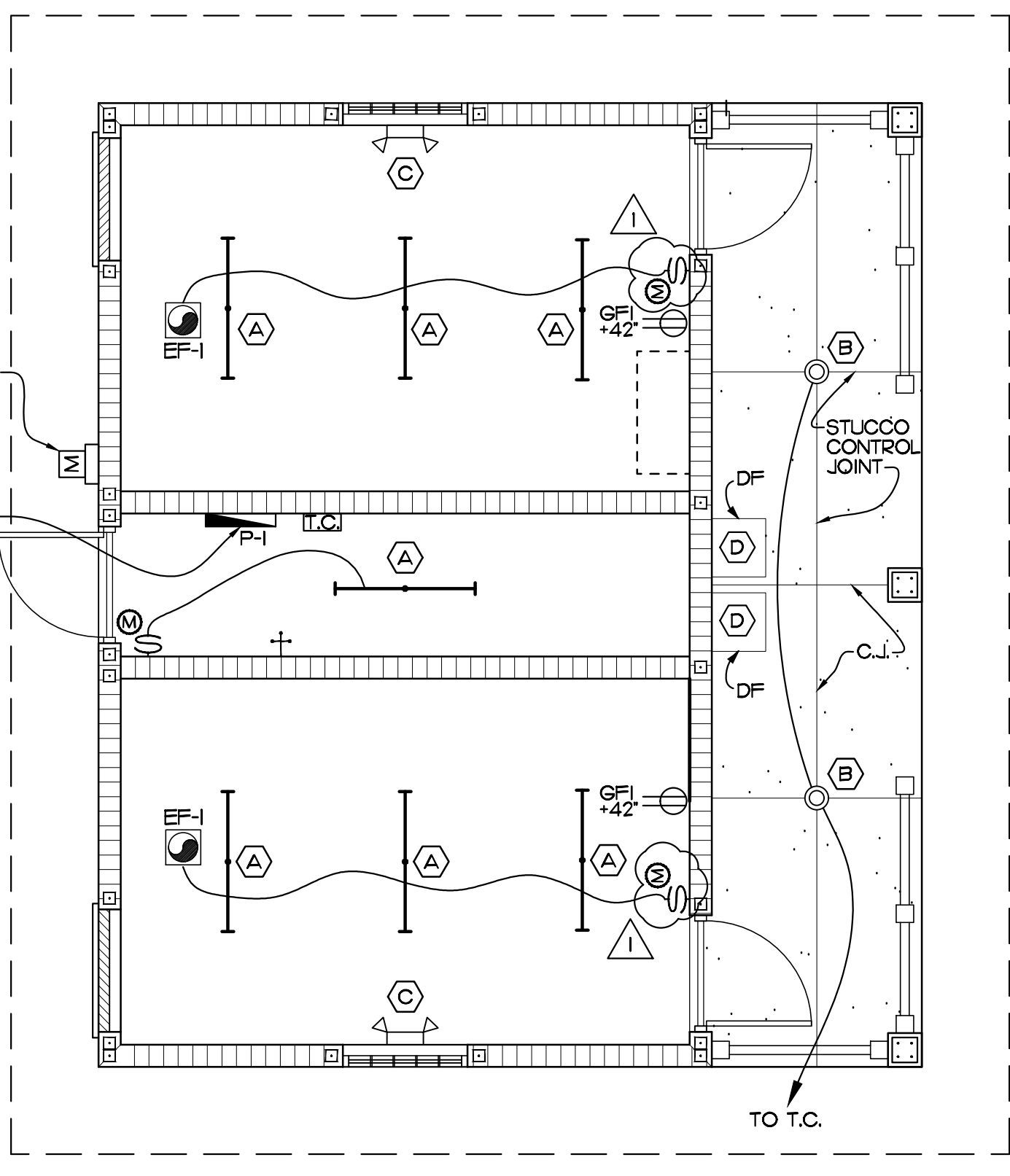
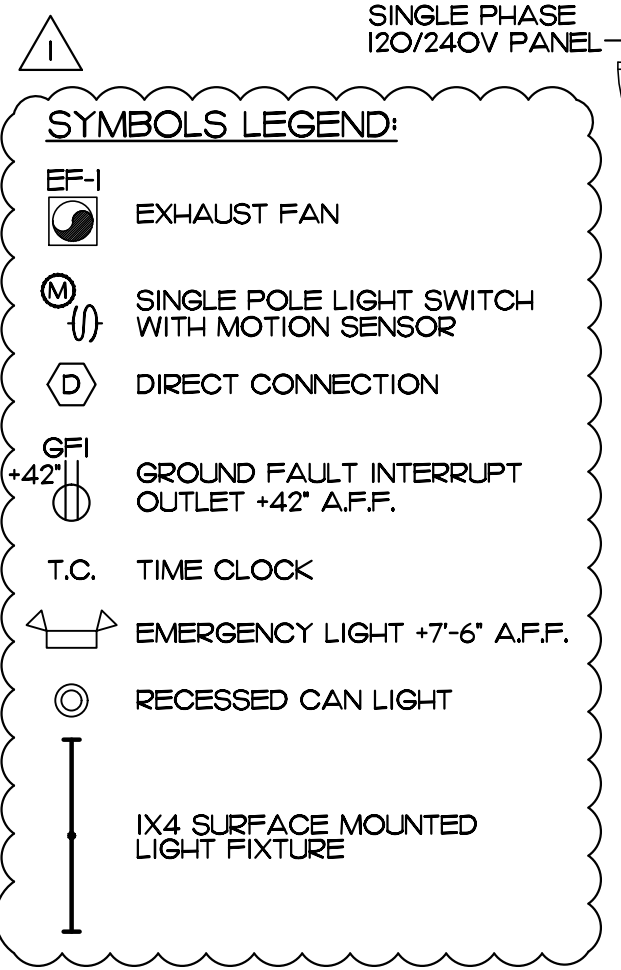
COMM. NO: 050622VB
DATE: 7 SEPTEMBER 2022
BY: LJD
CHKD: JFB

SHEET NO.
MEP-1
OF ONE



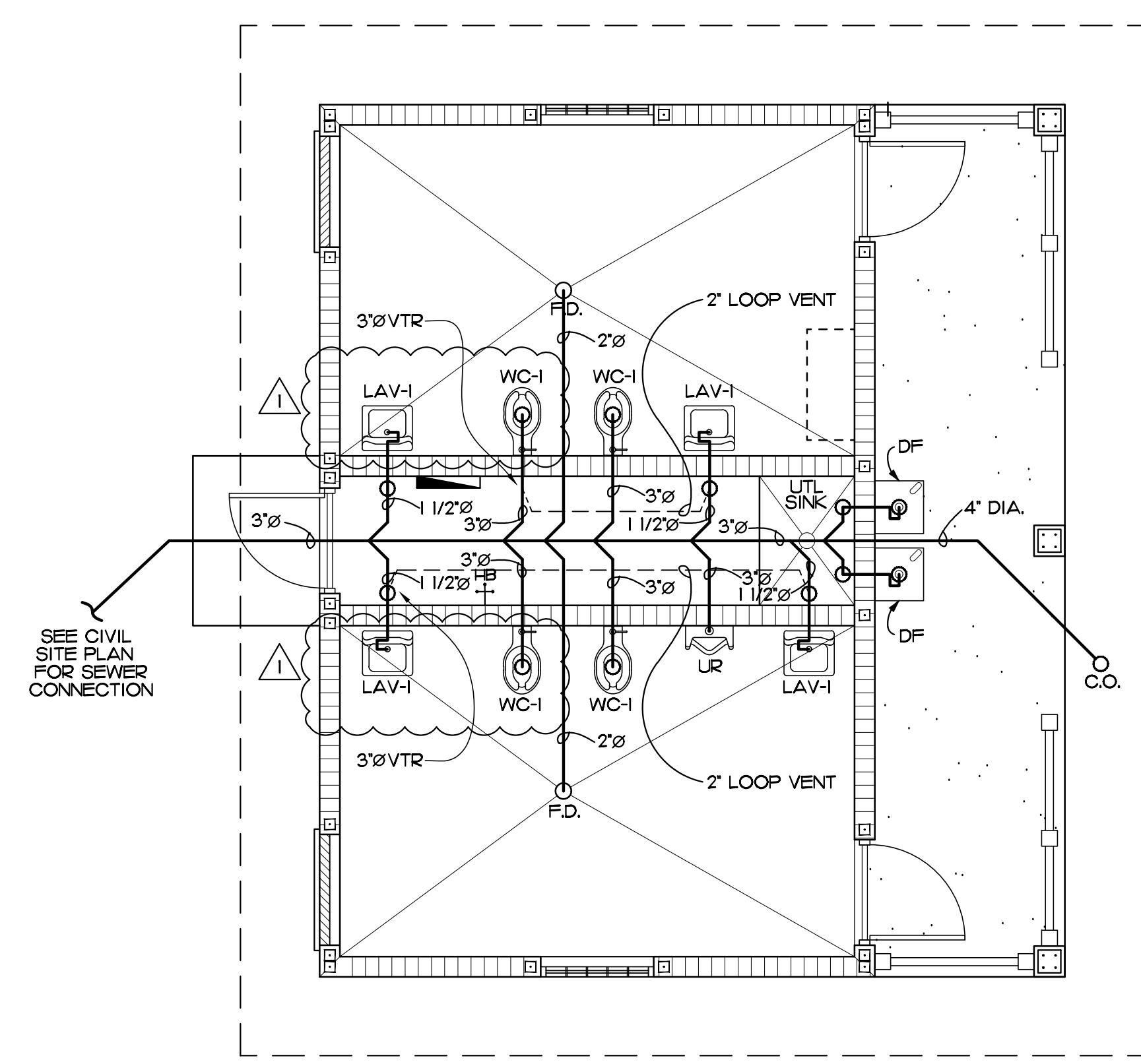
MECHANICAL PLAN

SCALE: 1/4" = 1'-0"
EF-1 150 CFM EXHAUST FAN - NUTONE OR EQUAL



ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



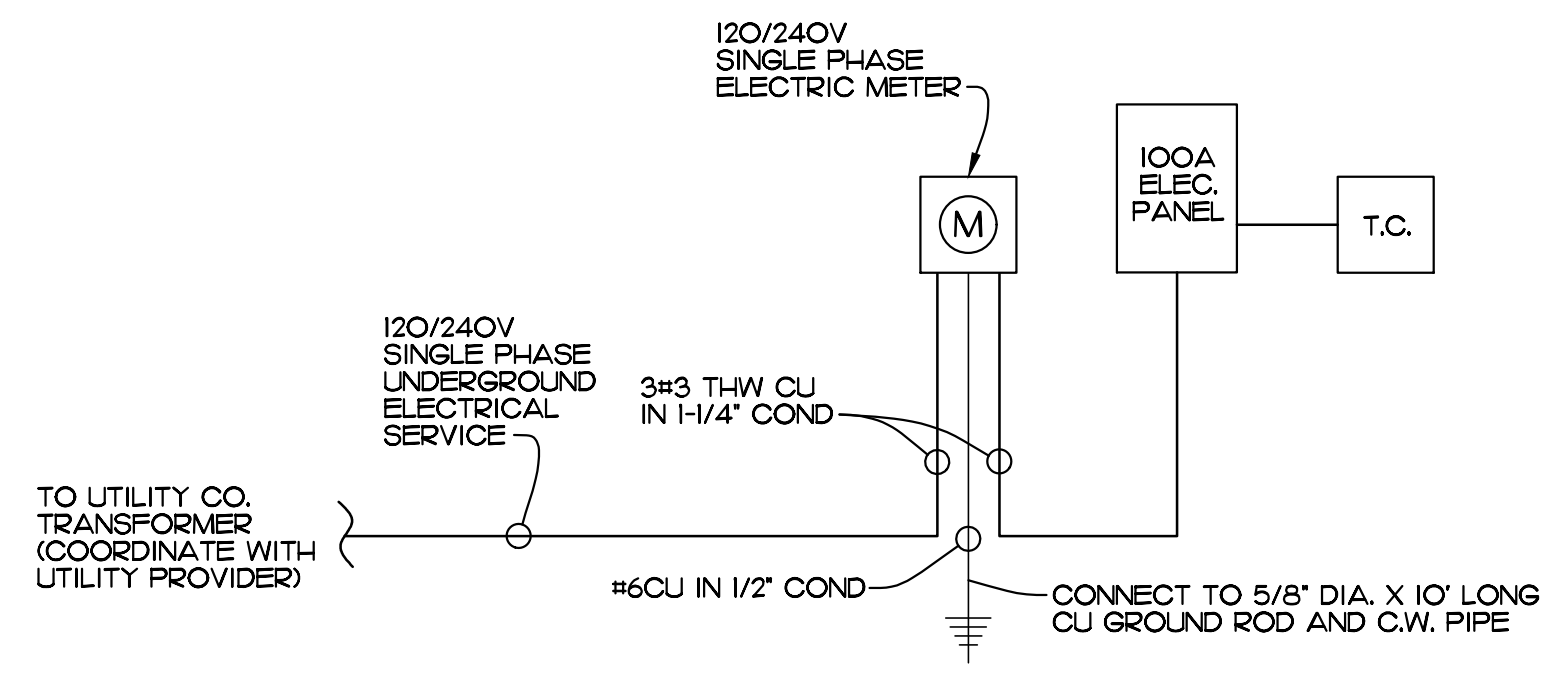
PLUMBING PLAN

SCALE: 1/4" = 1'-0"

PANEL:	VOLTAGE: 120/240V 1Ø LOCATION SERVICE CHASE				BUS/BREAKER AIC RATING: 22KA/10KA MOUNTING SURFACE-NEMA 3R				RATING: 100A MAIN CONNECTION SIEMENS/SQUARE D					
	NO	SIZE	TYPE	P	A	C	NO	NO	A	C	P	TYPE	DESCRIPTION	
'P1'	L-LIGHTING	12	20	1	1.0		1	2	1.0		1	20	12	EXHAUST FANS
	L-LIGHTING	12	20	1	1.0		3	4		1.0	1	20	12	WATER COOLERS
	L-LIGHTING	12	20	1	1.0		5	6			1	20		SPARE
	L-LIGHTING	12	20	1			7	8			1	20		SPARE
	SPARE		20	1			9	10			1	20		SPARE
	R-RECEPTACLES	12	20	1	1.0		11	12			1	20		SPARE
	R-RECEPTACLES	12	20	1	1.0		13	14			1	20		SPARE
	R-RECEPTACLES	12	20	1	1.0		15	16			1	20		SPARE
	R-RECEPTACLES	12	20	1	1.0		17	18			1	20		SPARE
	SPARE		20	1			19	20			1	20		SPARE
	SPARE		20	1			21	22			1	20		SPARE
	SPARE		20	1			23	24			1	20		SPARE
	SPARE		20	1			25	26			1	20		SPARE
	SPARE		20	1			27	28			1	20		SPARE
	SPARE		20	1			29	30			1	20		SPARE
SERVES				4.0	4.0	1.0	1.0	TOTAL CONNECTED KVA 10.0				TOTAL CONNECTED KVA 10.0		
LIGHTING				CONNECTED LOAD KVA				DF	CALCULATED DEMAND KVA				2.5	
RECEPTACLES (FIRST 10KVA)				2.0									2.0	
RECEPTACLES (FIRST 10KVA)				0.00					0.5				0.00	
LARGEST MOTOR				0.00					1.25				0.00	
OTHER MOTORS				2.0					1				2.0	
EQUIPMENT/HEAT				0.00					1				0.00	
KITCHEN EQUIPMENT				0.00					1				0.00	
TOTAL DEMAND KVA													6.5	
TOTAL AMPERAGE													54.2	

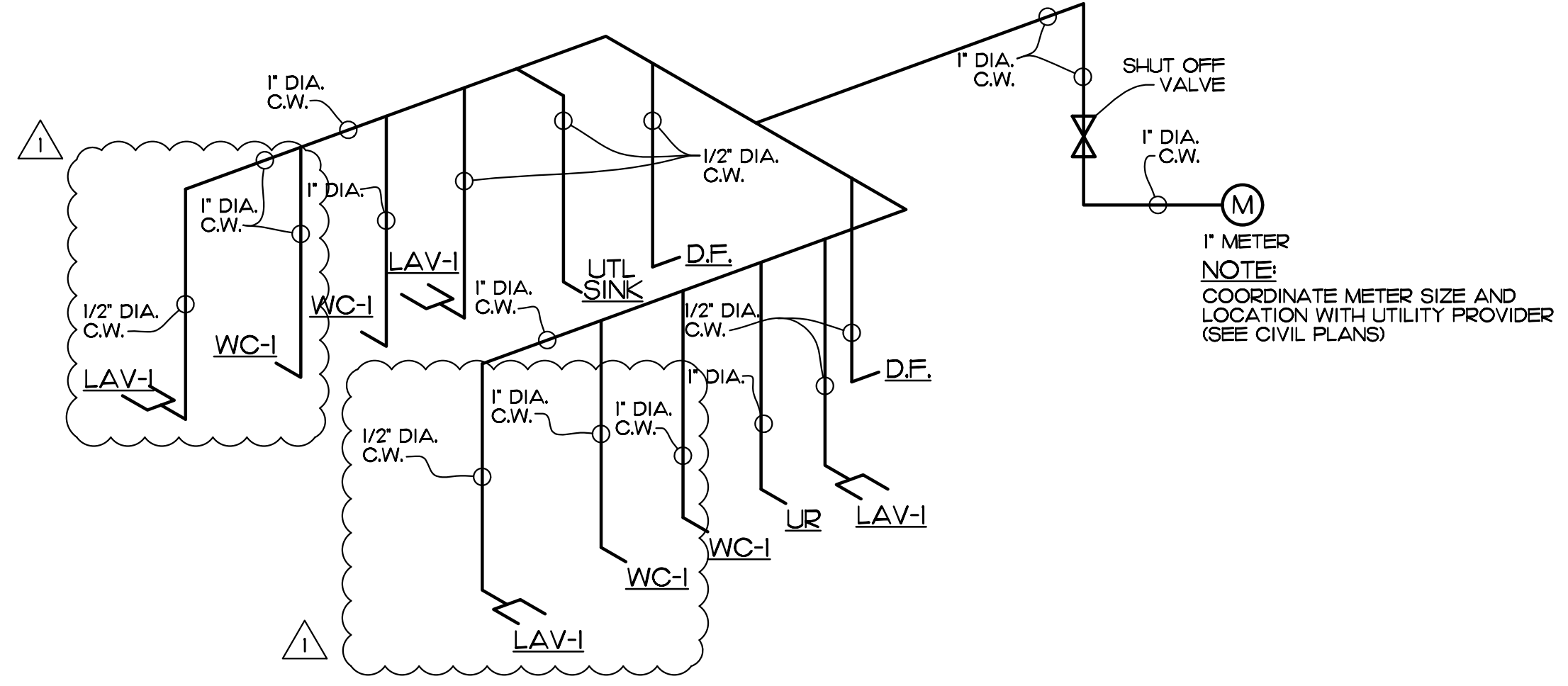
NOTES:
1. VERIFY ELECTRICAL REQUIREMENTS FOR ALL EQUIPMENT WITH MANUFACTURERS MANUAL PRIOR TO BIDDING AND INSTALLATION.
2. PROVIDE TYPE WRITTEN DIRECTORY ON INSIDE OF PANEL COVER.

MARK	TYPE	MANUFACTURER
A	4 FT. LONG SURFACE MOUNTED LED FIXTURE WITH WEATHER PROOF COVER	H.E. WILLIAMS 75L-4L-38-840 -A 12125-DRV-UNV OR EQUAL
B	RECESSED LED CAN WEATHERPROOF	H.E. WILLIAMS 4DR-TL-120-835 -DIM-UNV-O-W-OF-WETCC OR EQUAL
C	EMERGENCY LIGHT DUAL HEAD	BEGHELLI - PEH-1 TWO LAMP EMERGENCY LIGHTING FIXTURE OR EQUAL



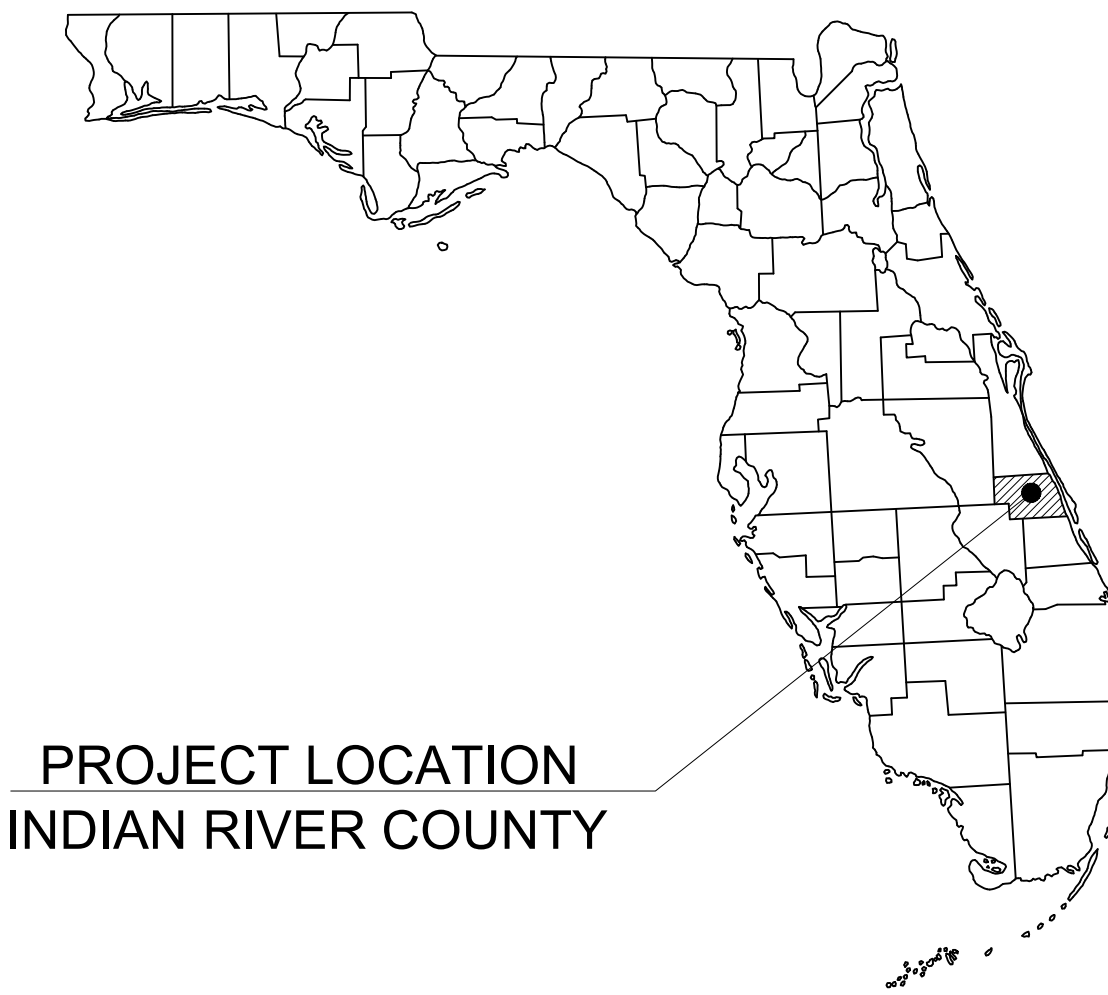
POWER RISER DIAGRAM

PLUMBING FIXTURE SCHEDULE	
LAV-1	HANDICAP LAVATORY, AMERICAN STANDARD, LUCERNE, LUCERNE WALL HUNG LAVATORY MODEL NO. 0356.028, WHITE WITH TSS BRASS FALCET BS-2701-VF05. CONTRACTOR TO SUPPLY CONCEALED ARM SUPPORTCARRIER FOR MOUNTING OF LAV. WADE MODEL 520-M36. SUPPLY PLUMBEREX MODEL 4333 INSULATION KIT. MUST MEET ADA CODE.
DF.	ELKAY WALL MOUNTED DRINKING FOUNTAIN W/ MECHANICAL FRONT BUBBLER BUTTON MODEL ELKAY #8751080083 ZORO # G8372730 COLOR: STAINLESS STEEL
WC-1	HANDICAP WATER CLOSET - FLUSH VALVE BOWL, FLOOR MOUNTED, SIPHON JET VITREOUS CHINA WITH ELONGATED RIM AND 1/12\"/>
F.D.	FLOOR DRAIN, JOSAM SERIES 3000QA, C.I. BODY, POLISHED BRONZE STRAINER, INTEGRAL TRAP, WITH PRIMER CONNECTION AND TRAP GUARD INSERT BY PROSET.
C.O.	EXTERIOR CLEAN OUT, ADJUSTABLE TOP, INTERNAL CLOSURE PLUG, HEAVY DUTY COVER PLATE.
UR	URINAL AMERICAN STANDARD, WASH-BROOK #6501010, FLUSH VALVE SLOAN ROYAL #185-1, WALL MOUNTED WHITE URINAL, WALL CARRIER, WADE #400AMI-M36. MUST MEET A.D.A. CODE.



WATER RISER DIAGRAM

Plotted By: Fasano, AJ - Sheet: Sct:HOBART PARK - Layout: C-000 COVER SHEET - August 07, 2023 - 02:17:34pm - K:\VRB\LDE\VRB_CIP_Hobart\CAD\PlanSheets\C-000 COVER SHEET.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PROJECT LOCATION
INDIAN RIVER COUNTY

SITE DEVELOPMENT PLANS

FOR

HOBART PARK

LOCATED AT

PARCEL ID # 32-39-04-00000-3000-00001.0

OVERALL SITE ADDRESS: 5555 77TH STREET, VERO BEACH, FL 32967

LIFT STATION ADDRESS: 5555 77TH STREET, VERO BEACH, FL 32967

SECTION 4, TOWNSHIP 32S, RANGE 39E

PROJECT TEAM

OWNER/DEVELOPER

INDIAN RIVER COUNTY-PARKS AND CONSERVATION
5500 77TH STREET
VERO BEACH, FL 32967
(772)-589-9223

CIVIL ENGINEER

SARA BATTLES, P.E.
KIMLEY-HORN AND ASSOCIATES, INC.
445 24TH STREET, SUITE 200
VERO BEACH, FLORIDA 32960
(772) 794-4100

ARCHITECT

JEFF CHAMBERS
LBFOSTER CXT PRODUCTS
415 HOLIDAY DRIVE
PITTSBURG, PA 15220
(678)-206-6426

LANDSCAPE ARCHITECT

KEVIN BARRETT, FCLD
KIMLEY-HORN AND ASSOCIATES, INC.
445 24TH STREET, SUITE 200
VERO BEACH, FL 32963
(772) 794-4095

SURVEYOR

DEPARTMENT OF PUBLIC WORKS
INDIAN RIVER COUNTY
1801 27TH STREET
VERO BEACH, FL 32960
9772-567-8000



VICINITY
N.T.S.

PROJECT LOCATION

INDEX OF SHEETS	
SHEET NO.	DESCRIPTION
C-000	COVER SHEET
S-1	SURVEY
S-2	SURVEY
S-3	SURVEY
S-4	SURVEY
S-5	SURVEY
C-100	SITE PLAN
C-200	PAVING AND GRADING PLAN
C-300	UTILITY PLAN
C-350	DETAIL SHEETS
C-351	DETAIL SHEETS
A-1	BUILDING ELEVATIONS AND FLOOR PLAN
UCP 2422	AS-BUILT
LS-1	LIFT STATION DESIGN

LIST OF CONTACTS

STORMWATER

SOUTH FLORIDA WATER
MANAGEMENT DISTRICT
3301 GUN CLUB ROAD
WEST PALM BEACH, FL 33406
(561) 686-8800

PLANNING AND ZONING

INDIAN RIVER COUNTY
1801 27TH STREET
VERO BEACH, 32960
(772) 226-1237
CONTACT:

ELECTRIC PROVIDER

INDIAN RIVER COUNTY UTILITIES
LOCAL GOVERNMENT OFFICE
1801 27TH STREET
VERO BEACH, FL 32960
(772) 770-5300

WATER AND SEWER

INDIAN RIVER COUNTY UTILITIES
LOCAL GOVERNMENT OFFICE
1801 27TH STREET
VERO BEACH, FL 32960
(772) -770-5300

ENGINEERING

INDIAN RIVER COUNTY UTILITIES
1801 27TH STREET
VERO BEACH, 32960
772-226-1380

FIRE PREVENTION

INDIAN RIVER COUNTY FIRE RESCUE
1500 OLD DIXIE HWY
(772)-562-2028
FIRE CHIEF: JOHN KING

BUILDING DIVISION

INDIAN RIVER COUNTY
1801 27TH STREET A
VERO BEACH, 32960
(772) 226-1260
CONTACT:

LEGAL DESCRIPTION

PBS 2-25 PART OF SEC 4-32-39 MORE PART DESC AS FOLL: BEG AT N 1/4 COR SEC 4 & RUN S 00 DEG 15 MIN 49 SEC W 258.76 FT TO A PT; TH S 89 DEG 44 MIN 11 SEC W 116.48 FT TO SHORE OF A LAKE; TH RUN ALONG THE SHORE ITS VARIOUS COURSES TO A PT N 67 DEG 33 MIN 35 SEC E 56.66 FT FROM E LINE LAT "G" CANAL; TH S 67 DEG 33 MIN 35 SEC C W 56.66 FT TO E LINE LAT "G" CANAL; TH RUN NWLY ALONG E LINE CANAL TO PT ON N LINE SEC 4; TH RUN ELY ALONG SEC LINE TO POB: LESS RW FOR 77TH ST & INC: NE 1/4 OF NW 1/4 LYING S OF G-6 CANAL & W OF LAT "G" CANAL & ALSO INC TRS 13 & 14 IND RIV FARMS CO SUB PBS 2-12"

PREPARED BY:
Kimley»Horn

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

CALL 48 HOURS BEFORE YOU DIG

811

IT'S THE LAW!
DIAL 811

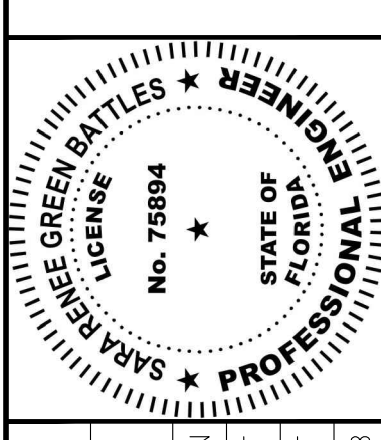
Know what's below.
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

No.	REVISIONS	DATE	BY

Kimley»Horn

© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM CA 00000696



KHA PROJECT	047035111	DATE	8/7/2023	SCALE	AS SHOWN	DESIGNED BY	AJF	DRAWN BY	AJF	CHECKED BY	SRB
-------------	-----------	------	----------	-------	----------	-------------	-----	----------	-----	------------	-----

COVER SHEET

HOBART PARK
 PREPARED FOR
 INDIAN RIVER COUNTY
 VERO BEACH, FL
 SHEET NUMBER
C-000



TOPOGRAPHIC SURVEY FOR: INDIAN RIVER COUNTY ENGINEERING DIVISION

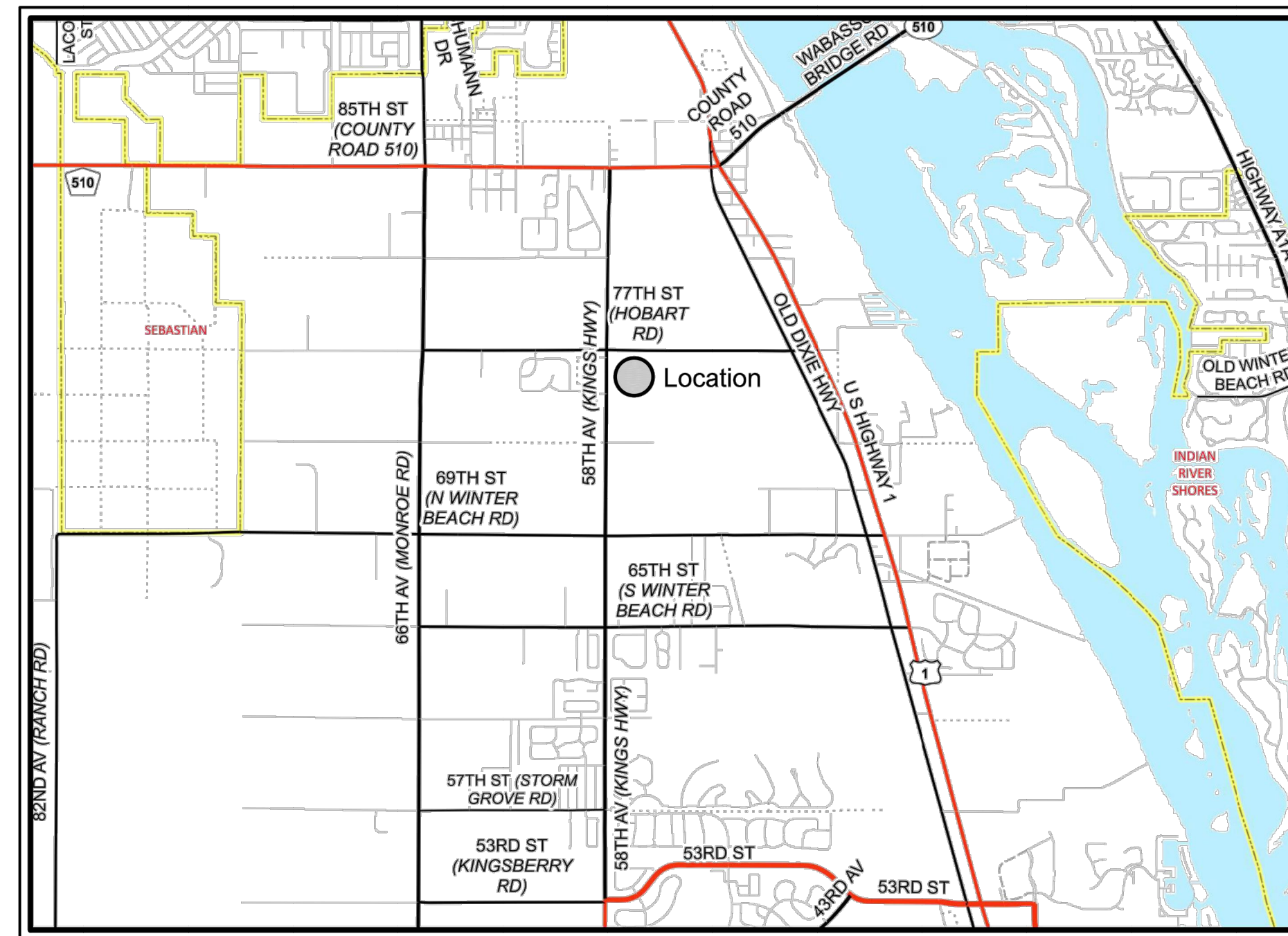
Hobart / Kiwanis Park - Lakeside Restroom Area, Pavilion 1 Area, Game and Picnic Area

Project No. 2010

Indian River County, Florida



Symbols and Abbreviations:	
A/C	= AIR CONDITIONER
A OF E	= AFFIDAVIT OF EXEMPTION
ATT	= AMERICAN TELEPHONE AND TELEGRAPH
C.B.S.	= CONCRETE BLOCK STRUCTURE
C	= CALCULATED
CL	= CERTIFIED CORNER RECORD
CL	= CENTERLINE
C.M.	= CONCRETE MONUMENT
C.M.P.	= CORRUGATED METAL PIPE
CONC	= CONCRETE
COR.	= CORNER
(D)	= COURSE PER DEED
D.B.S.	= ST. LUCIE COUNTY DEED BOOK
D.I.P.	= DUCTILE IRON PIPE
DWY	= DRIVEWAY
EL OR ELEV.	= ELEVATION
EIP	= EDGE OF PAVEMENT
ESMT	= EASEMENT
(F)	= FIELD MEASURED COURSE
F.D.O.T.	= FLORIDA DEPARTMENT OF TRANSPORTATION
FNC	= FENCE
FND	= FOUND
HW	= HEADWALL
I.D.	= IDENTIFICATION
I.P.	= IRON PIPE
INC	= INCORPORATED
INV.	= INVERT
IR	= IRON ROD
IR.&C.	= IRON ROD AND CAP
X 19.2	= SPOT ELEVATION
○	= TREE LINE & HEDGE
○	= MISCELLANEOUS TREE TYPE
○	= OAK TREE
○	= PALM TREE
○	= PINE TREE
I.R.F.W.C.D.	= INDIAN RIVER FARMS WATER CONTROL DISTRICT
L	= ARC LENGTH
L.F.	= LENGTH FEET
LLC	= LIMITED LIABILITY CORPORATION
(M)	= FIELD MEASURED
MAG	= MAGNETIC
N/A	= NON APPLICABLE
N.G.S.	= NATIONAL GEODETTIC SURVEY
O.R.B.	= OFFICIAL RECORDS BOOK
O/S	= OFFSET
(P)	= PLATTED COURSE
P.B.	= PLAT BOOK
P.B.S.	= ST. LUCIE COUNTY PLAT BOOK
P.L.S.	= PROFESSIONAL LAND SURVEYOR
P.O.B.	= POINT OF BEGINNING
P.O.C.	= POINT OF COMMENCEMENT
P.S.M.	= PROFESSIONAL SURVEYOR AND MAPPER
P.U.	= PUBLIC UTILITY
P.V.C.	= POLYVINYL CHLORIDE
R	= RANGE
R.C.P.	= REINFORCED CONCRETE PIPE
R/W	= RIGHT OF WAY
SEC.	= SECTION
S.R.	= STATE ROAD
T	= TOWNSHIP
T.I.I.F.	= TRUSTEES OF THE INTERNAL IMPROVEMENT FUND
⊕	= BENCHMARK
▭	= ASPHALT SURFACE
▭	= CONCRETE
▭	= DIRT SURFACE



Surveyors Notes

1. THIS IS NOT A BOUNDARY SURVEY. THE POSITION OF THE PROPERTY LINES SHOWN HEREON WERE BASED UPON A BOUNDARY SURVEY BY INDIAN RIVER COUNTY, JOB No. 9105, DATED 10/29/1996.
2. ONLY ABOVE GROUND APPURTENANCES AND VISIBLE UTILITIES HAVE BEEN LOCATED, THERE MAY BE ADDITIONAL SUB-SURFACE UTILITIES OR IMPROVEMENTS THAT HAVE NOT BEEN LOCATED.
3. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE POLICY. THEREFORE THERE MAY BE EASEMENTS, RESTRICTIONS AND/OR OTHER ENCUMBRANCES NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF INDIAN RIVER COUNTY, FLORIDA.
4. THE ELEVATIONS SHOWN HEREON ARE BASED UPON THE INDIAN RIVER COUNTY VERTICAL CONTROL NETWORK (I.R.C.V.C.N.) AND ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88). ALL BENCHMARKS IN THE I.R.C.V.C.N. ARE ESTABLISHED FROM 3-WIRE OF DIGITAL LEVEL BENCH RUN. THIS SURVEY WAS TIED TO INDIAN RIVER COUNTY BENCHMARKS "BM541002" (ELEVATION=20.68') AND BENCHMARK "BM541004" (ELEVATION=21.10').
5. THE TOPOGRAPHY SHOWN HEREON WAS SURVEYED AND COMPLETED BY INDIAN RIVER COUNTY PERSONNEL ON THE DATE OF APRIL 7, 2020.
6. THIS SURVEY MEETS OR EXCEEDS THE ACCURACY REQUIRED FOR A TOPOGRAPHIC SURVEY PER CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE. THE HORIZONTAL CONTROL POINTS USED FOR THE PREPARATION OF THIS SURVEY WERE VERIFIED BY MULTIPLE MEASUREMENTS.
7. SYMBOLS SHOWN HEREON DEPICT THE HORIZONTAL POSITION OF THAT SPECIFIC IMPROVEMENT. THE SYMBOLS (FOR GRAPHICAL PURPOSES) ARE NOT DRAWN TO SCALE.
8. THE MEASUREMENTS FOR THIS SURVEY WERE MADE UTILIZING CONVENTIONAL AND REAL TIME KINEMATIC SURVEYING METHODS WITH THE FOLLOWING EQUIPMENT: LEICA VIVA GLOBAL POSITIONING SYSTEM, A TOPCON GTS-500 ROBOTIC TOTAL STATION WITH MAGNET SOFTWARE AND A LEICA NA AUTOMATIC LEVEL.
9. ALL MEASUREMENTS SHOWN HEREON AND TAKEN FOR THE PREPARATION OF THIS SURVEY ARE IN U.S. SURVEY FEET.
10. SHEET 2 OF 5 AND THE PAVILION AREA SHOWN ON THE BOTTOM HALF OF SHEET 3 OF 5 ARE INTENDED TO BE DISPLAYED AT A SCALE OF 1"= 20' OR SMALLER. THE ENTRANCE ROAD ON SHEET 3 OF 5 AT TOP HALF OF SHEET AND ALL OF SHEETS 4 OF 5 AND 5 OF 5 ARE INTENDED TO BE DISPLAYED AT A SCALE OF 1"= 30' OR SMALLER.
11. THE POSITION OF ALL MAPPED FEATURES SHOWN HEREON ARE BASED ON THE NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT, AND PROJECTED IN THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE. THIS SURVEY WAS TIED TO THE FLORIDA PERMANENT REFERENCE NETWORK (MAINTAINED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION'S SURVEY DEPARTMENT). ALL FEATURES AND LINE WORK HAVE A HORIZONTAL AND VERTICAL POSITIONAL ACCURACY OF 0.1 FEET, MORE OR LESS.
12. THE PURPOSE OF THIS TOPOGRAPHIC SURVEY IS SO THE INDIAN RIVER COUNTY CAN RE-BUILD THE EXISTING RESTROOM AND INSTALL A NEW RESTROOM NEAR THE PAVILION AREA.

Reference's

1. BOUNDARY SURVEY OF THE SANDRIDGE GOLF COURSE BY DAVID M. JONES, P.L.S. DATED JANUARY 1, 1986.
2. BOUNDARY SURVEY OF ADDITION TO SANDRIDGE GOLF COURSE BY THE INDIAN RIVER COUNTY PUBLIC WORKS DEPARTMENT, SURVEY SECTION, JOB No. 9105, DATED OCTOBER 29, 1996.
3. TOPOGRAPHIC SURVEY OF HOBART PARK IN SECTION 33, TOWNSHIP 31 SOUTH, RANGE 39 EAST, BY THE INDIAN RIVER COUNTY PUBLIC WORKS DEPARTMENT, SURVEY SECTION, JOB No. 1759, DATED DECEMBER 15, 2017.
4. BOUNDARY AND TOPOGRAPHIC SURVEY OF HOBART PARK IN SECTION 33, TOWNSHIP 31 SOUTH, RANGE 39 EAST, BY CARTER ASSOCIATES INC., PROJECT No. 06-408S, DATED JUNE 6, 2006.

Sheet Index

- SHEET 1 OF 5 - COVER SHEET
- SHEET 2 OF 5 - LAKESIDE RESTROOM AREA
- SHEET 3 OF 5 - PAVILION No. 1 AREA
- SHEET'S 4 OF 5 AND 5 OF 5 - GAME AND PICNIC AREA

Certification

(NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER)

I HEREBY CERTIFY THAT THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS COMPLETED UNDER MY DIRECTION AND SAID TOPOGRAPHIC SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

I FURTHER CERTIFY THAT THIS TOPOGRAPHIC SURVEY MEETS THE REQUIREMENTS FOR THE STANDARDS OF PRACTICE, AS ESTABLISHED IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE. PURSUANT TO SECTION 472.027 FLORIDA STATE STATUTES.

DATE OF SIGNATURE

DAVID M. SILON, P.S.M.
INDIAN RIVER ASSISTANT COUNTY SURVEYOR
FLORIDA CERTIFICATE NO. 6139

NO.	REVISION	DATE	BY	INDIAN RIVER COUNTY	DESIGNED BY:	SECTION:	FIELD BOOK:	DATE:	Topographic Survey - Hobart / Kiwanis Park	SHEET
1.	ADDED ADDITIONAL TOPO AND SHEETS 4 AND 5	4/28/2020	RLI	1801 27TH STREET VERO BEACH, FL 32960 (772) 567-8000	R. INGLETT	4	Blanchard 162	04/14/2020	Lakeside Restroom Area, Pavilion 1 Area, Game and Picnic Area	1
					APPROVED BY: D. SILON	TOWNSHIP: 32S	PAGE: 16-37	PROJECT NUMBER: 2010	Section 4, Township 32 South, Range 39 East	OF 5

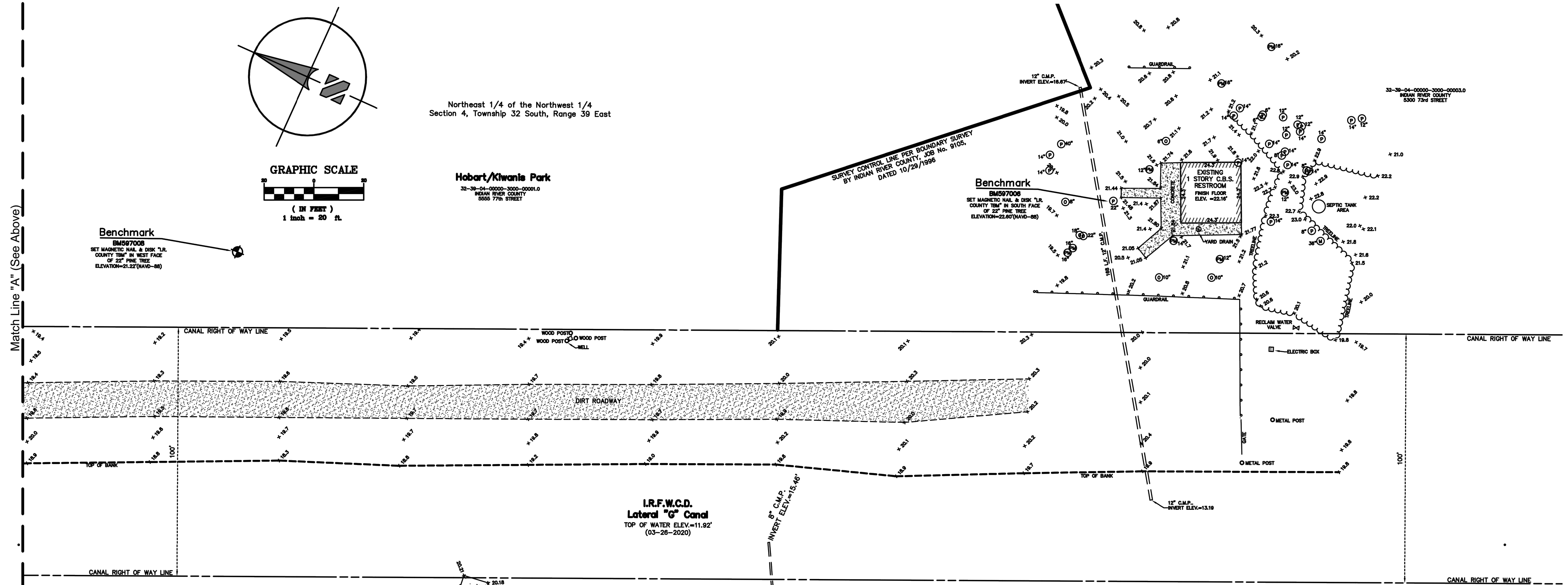
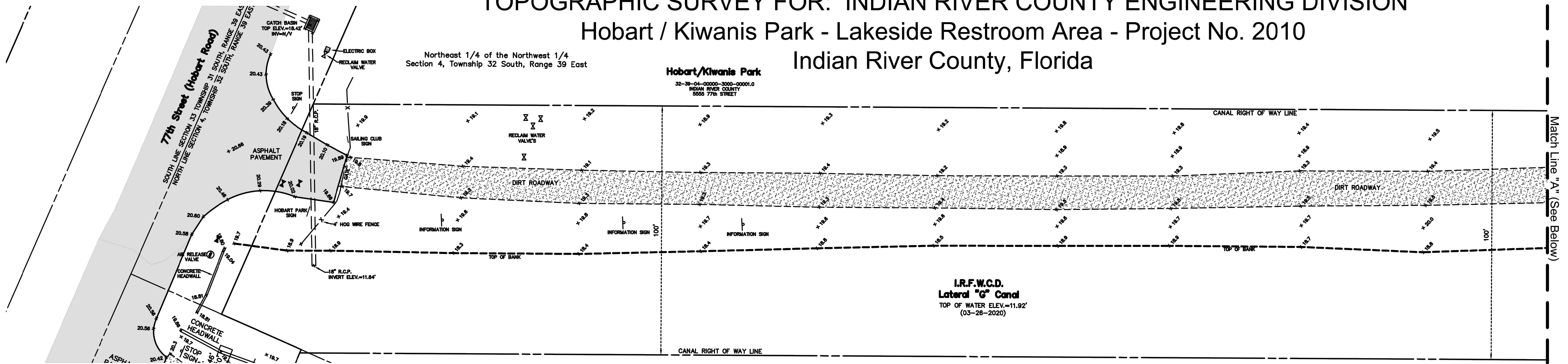


DEPARTMENT OF PUBLIC WORKS
ENGINEERING DIVISION

TOPOGRAPHIC SURVEY FOR: INDIAN RIVER COUNTY ENGINEERING DIVISION

Hobart / Kiwanis Park - Lakeside Restroom Area - Project No. 2010

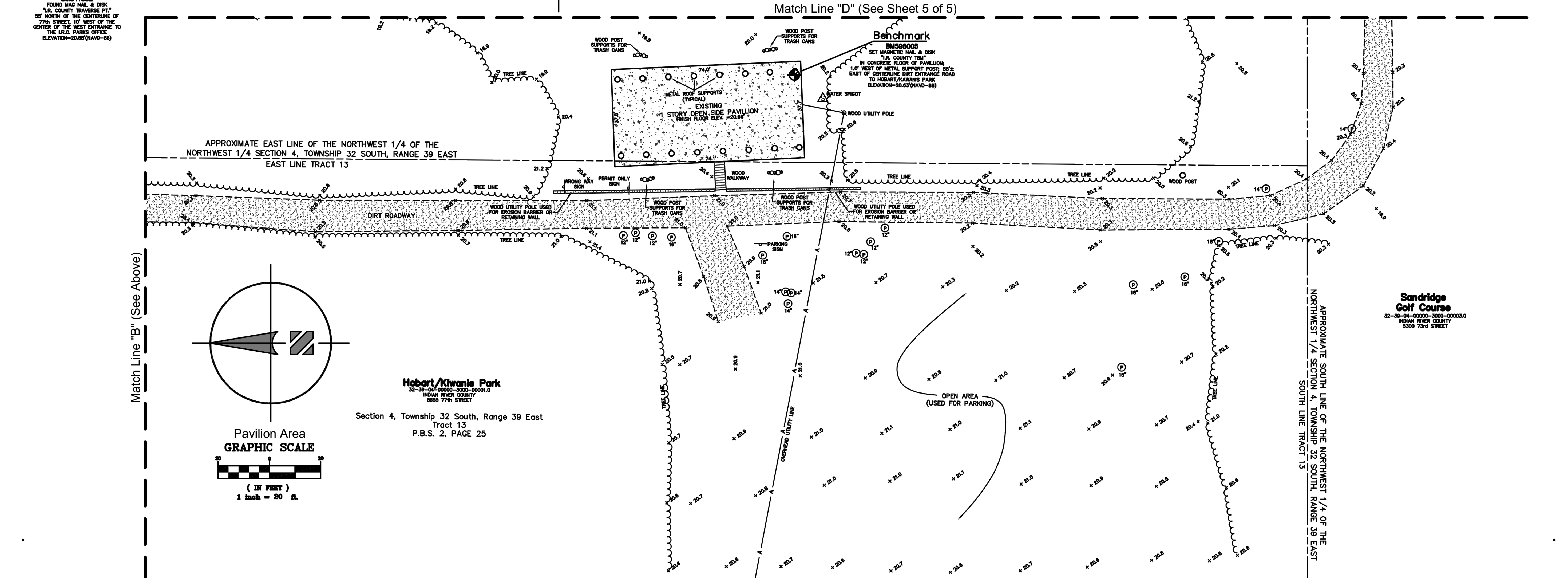
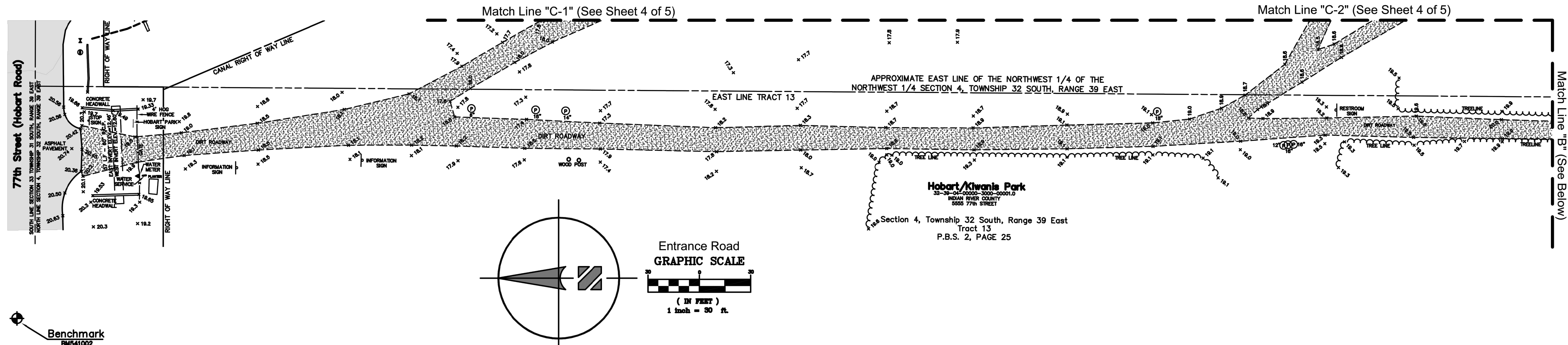
Indian River County, Florida



NO.	REVISION	DATE	BY	INDIAN RIVER COUNTY 1801 27TH STREET VERO BEACH, FL 32960 (772) 567-8000	DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION	DESIGNED BY: DRAWN BY: R. INGLETT APPROVED BY: D. SILON	SECTION: 4 TOWNSHIP: 32S RANGE: 39E	FIELD BOOK: Blanchard 162 PAGE: 16-37	DATE: 04/14/2020 PROJECT NUMBER: 2010	Topographic Survey - Hobart / Kiwanis Park Lakeside Restroom Area Section 4, Township 32 South, Range 39 East	SHEET OF 2 OF 5
-----	----------	------	----	---	---	---	---	--	---	--	---

TOPOGRAPHIC SURVEY FOR: INDIAN RIVER COUNTY ENGINEERING DIVISION

Hobart / Kiwanis Park - Pavilion No. 1 Area - Project No. 2010 Indian River County, Florida

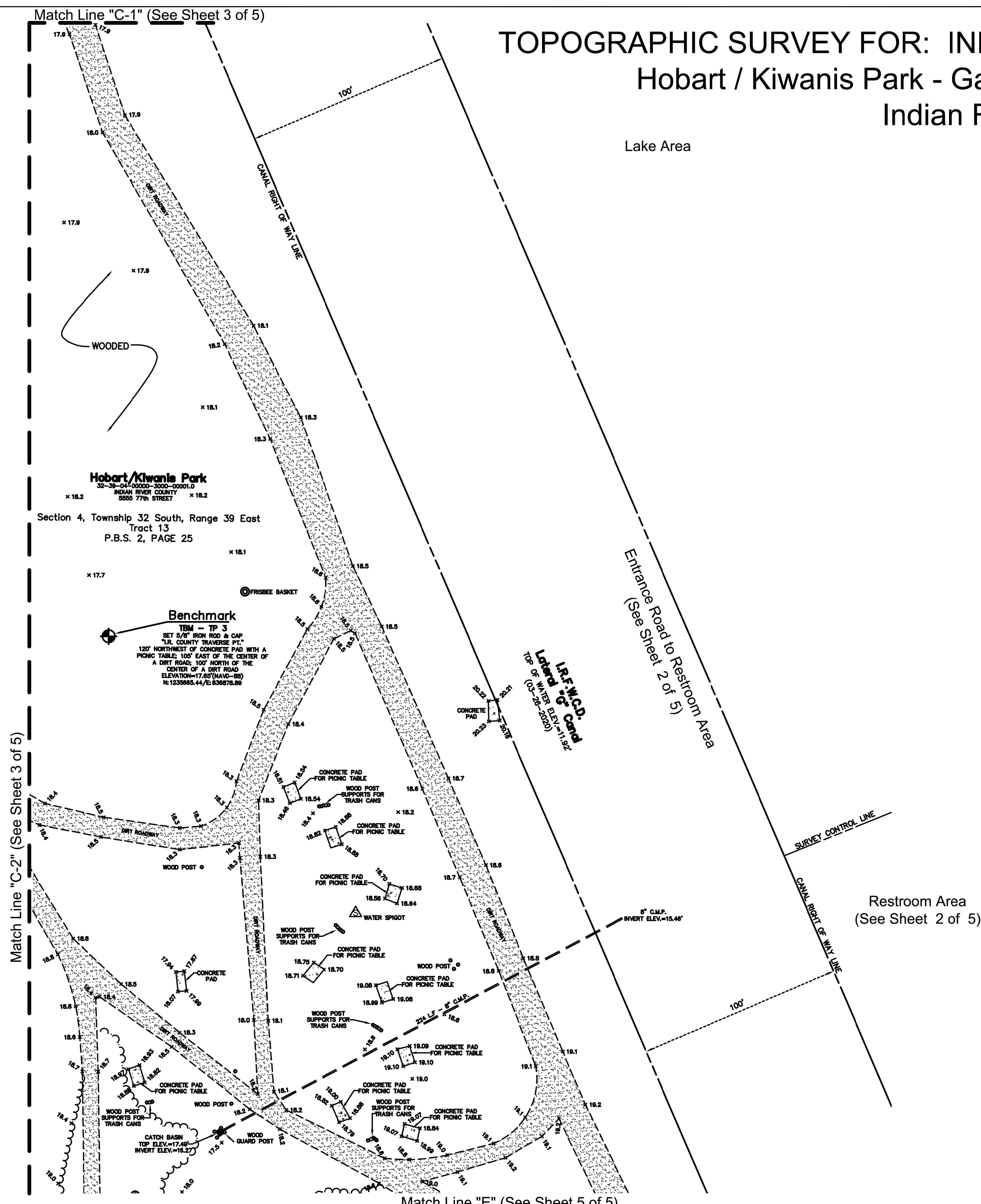
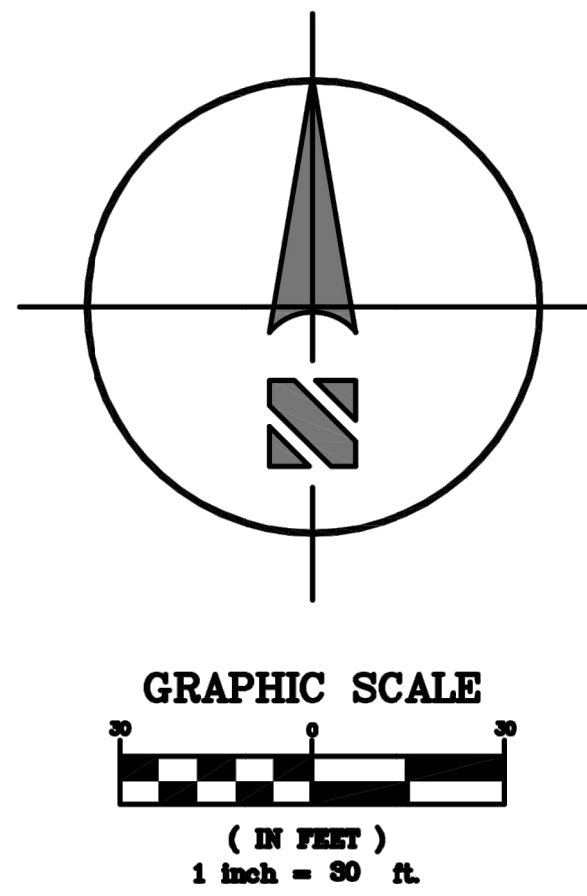


NO.	REVISION	DATE	BY	INDIAN RIVER COUNTY 1801 27TH STREET VERO BEACH, FL 32960 (772) 567-8000	 DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION	DESIGNED BY: DRAWN BY: R. INGLETT APPROVED BY: D. SILON	SECTION: 4 TOWNSHIP: 32S RANGE: 39E	FIELD BOOK: Blanchard 162 PAGE: 16-37	DATE: 04/14/2020 PROJECT NUMBER: 2010	Topographic Survey - Hobart / Kiwanis Park Pavilion No. 1 Area Section 4, Township 32 South, Range 39 East	SHEET OF 3 OF 5
-----	----------	------	----	---	---	---	---	--	---	---	---

TOPOGRAPHIC SURVEY FOR: INDIAN RIVER COUNTY ENGINEERING DIVISION

Hobart / Kiwanis Park - Game and Picnic Area - Project No. 2010

Indian River County, Florida



Symbols and Abbreviations:

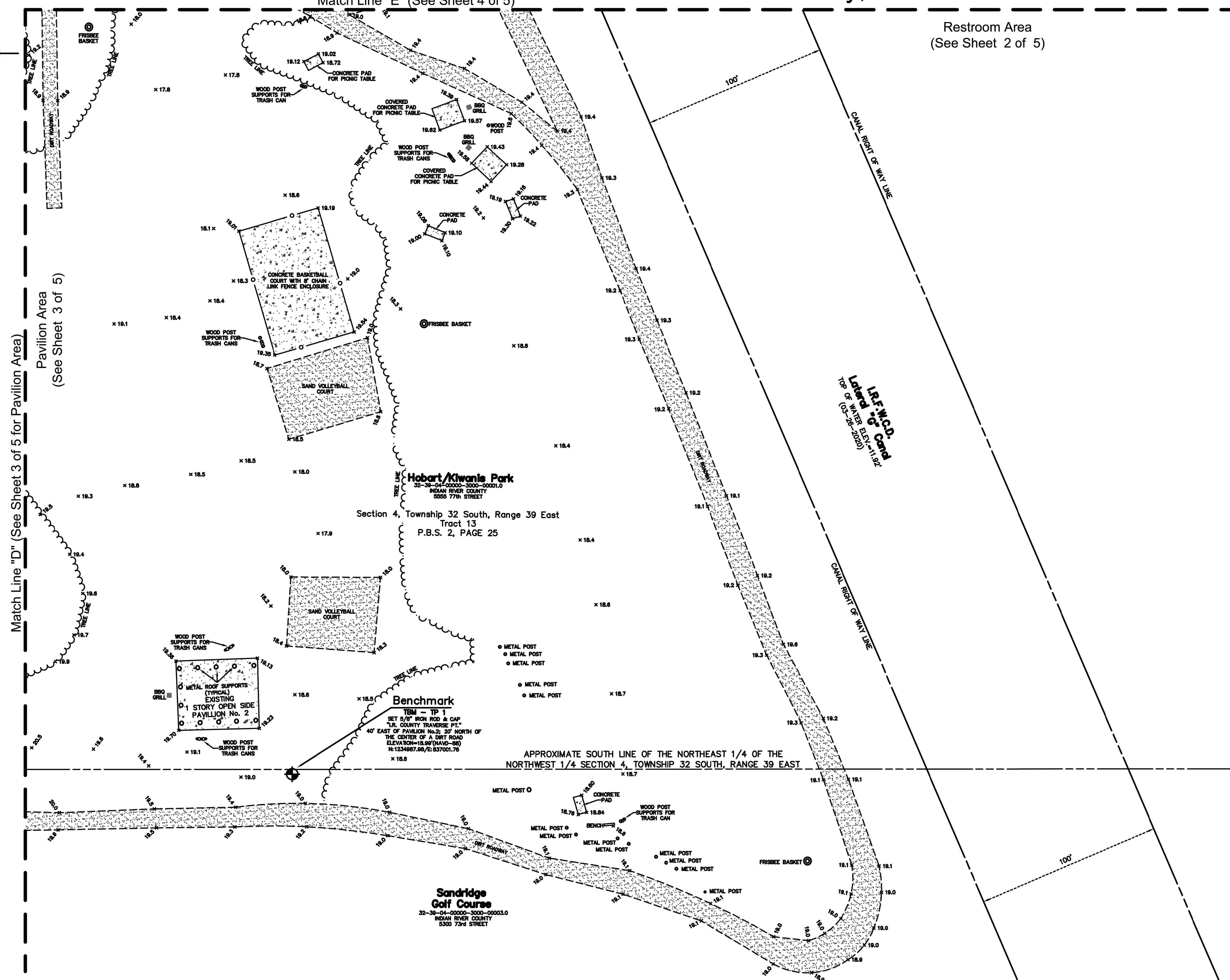
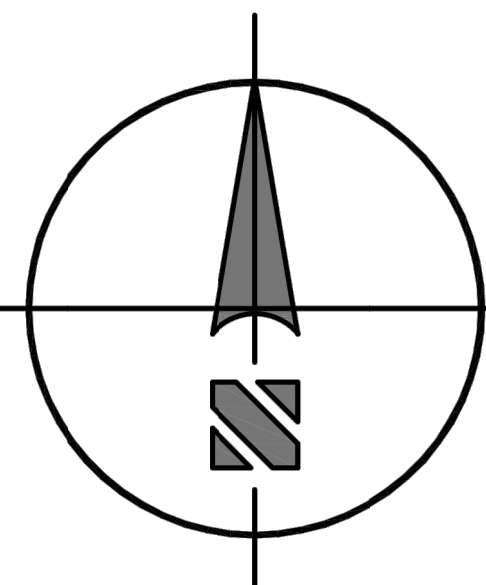
A/C = AIR CONDITIONER	I.R.F.W.C.D. = INDIAN RIVER FARMS WATER CONTROL DISTRICT
A OF E = AFFIDAVIT OF EXEMPTION	L = ARC LENGTH
ATT = AMERICAN TELEPHONE AND TELEGRAPH	L.F. = LENGTH FEET
C.B.S. = CONCRETE BLOCK STRUCTURE	LLC = LIMITED LIABILITY CORPORATION
C = CALCULATED	(M) = FIELD MEASURED
CCR = CERTIFIED CORNER RECORD	MAG = MAGNETIC
CL = CENTERLINE	N/A = NON APPLICABLE
C.M. = CONCRETE MONUMENT	N.G.S. = NATIONAL GEODETIC SURVEY
C.M.P. = CORRUGATED METAL PIPE	O.R.B. = OFFICIAL RECORDS BOOK
CONC = CONCRETE	OS = OFFSET
COR = CORNER	(P) = PLATTED COURSE
(D) = COURSE PER DEED	P.B. = PLAT BOOK
D.B.S. = ST. LUCIE COUNTY DEED BOOK	P.B.S. = ST. LUCIE COUNTY PLAT BOOK
D.I.P. = DUCTILE IRON PIPE	P.L.S. = PROFESSIONAL LAND SURVEYOR
D.W.Y. = DRIVEWAY	P.O.B. = POINT OF BEGINNING
EL OR ELEV. = ELEVATION	P.O.C. = POINT OF COMMENCEMENT
E/P = EDGE OF PAVEMENT	P.S.M. = PROFESSIONAL SURVEYOR AND MAPPER
ESMT = EASEMENT	P.U. = PUBLIC UTILITY
(F) = FIELD MEASURED COURSE	P.V.C. = POLYVINYL CHLORIDE
F.D.O.T. = FLORIDA DEPARTMENT OF TRANSPORTATION	R = RANGE
FNC = FENCE	R.C.P. = REINFORCED CONCRETE PIPE
FND = FOUND	R/W = RIGHT OF WAY
HW = HEADWALL	SEC. = SECTION
I.D. = IDENTIFICATION	S.R. = STATE ROAD
I.P. = IRON PIPE	T = TOWNSHIP
INC = INCORPORATED	T.I.F. = TRUSTEES OF THE INTERNAL IMPROVEMENT FUND
INV. = INVERT	
I.R. = IRON ROD	
I.R.&C. = IRON ROD AND CAP	
X 19.2 = SPOT ELEVATION	
(---) = TREE LINE & HEDGE	
(O) = MISCELLANEOUS TREE TYPE	
(O) = OAK TREE	
(P) = PALM TREE	
(P) = PINE TREE	
(---) = ASPHALT SURFACE	
(---) = CONCRETE	
(---) = DIRT SURFACE	

NO.	REVISION	DATE	BY	INDIAN RIVER COUNTY 1801 27TH STREET VERO BEACH, FL 32960 (772) 567-8000	DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION	DESIGNED BY: DRAWN BY: R. INGLETT APPROVED BY: D. SILON	SECTION: 4 TOWNSHIP: 32S RANGE: 39E	FIELD BOOK: Blanchard 162 PAGE: 16-37	DATE: 04/28/2020 PROJECT NUMBER: 2010	Topographic Survey - Hobart / Kiwanis Park Game and Picnic Area Section 4, Township 32 South, Range 39 East	SHEET OF 4 5
-----	----------	------	----	---	--	---	---	---	--	---	-----------------------

TOPOGRAPHIC SURVEY FOR: INDIAN RIVER COUNTY ENGINEERING DIVISION

Hobart / Kiwanis Park - Game and Picnic Area - Project No. 2010

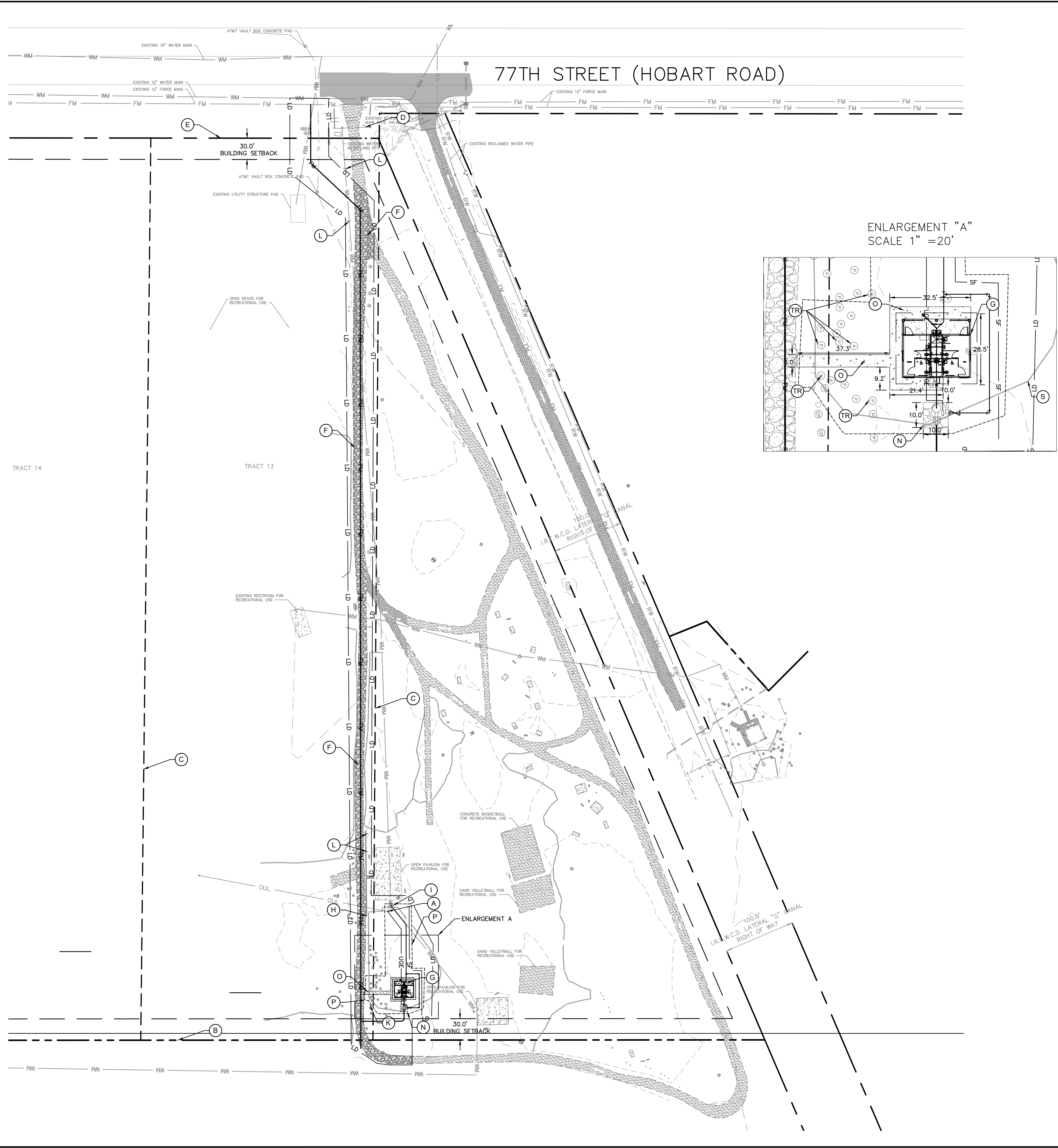
Indian River County, Florida



Symbols and Abbreviations:	
A/C	= AIR CONDITIONER
A.O.F.E.	= AFFIDAVIT OF EXEMPTION
ATT	= AMERICAN TELEPHONE AND TELEGRAPH
C.B.S.	= CONCRETE BLOCK STRUCTURE
C	= CALCULATED
CCR	= CERTIFIED CORNER RECORD
C/L	= CENTERLINE
C.M.	= CONCRETE MONUMENT
C.M.P.	= CORRUGATED METAL PIPE
CONC	= CONCRETE
COR.	= CORNER
(D)	= COURSE PER DEED
D.B.S.	= ST. LUCIE COUNTY DEED BOOK
D.I.P.	= DUCTILE IRON PIPE
EL OR ELEV.	= ELEVATION
ESP	= EDGE OF PAVEMENT
ESMT	= EASEMENT
(F)	= FIELD MEASURED COURSE
F.D.O.T.	= FLORIDA DEPARTMENT OF TRANSPORTATION
FNC	= FENCE
FND	= FOUND
HW	= HEADWALL
I.D.	= IDENTIFICATION
I.P.	= IRON PIPE
INC	= INCORPORATED
INV.	= INVERT
I.R.	= IRON ROD
I.R.&C.	= IRON ROD AND CAP
X 19.2	= SPOT ELEVATION
(T)	= TREE LINE & HEDGE
(M)	= MISCELLANEOUS TREE TYPE
(O)	= OAK TREE
(P)	= PALM TREE
(C)	= PINE TREE
I.R.F.W.C.D.	= INDIAN RIVER FARMS WATER CONTROL DISTRICT
L	= ARC LENGTH
L.F.	= LENGTH FEET
LLC	= LIMITED LIABILITY CORPORATION
(M)	= FIELD MEASURED
MAG	= MAGNETIC
NA	= NON APPLICABLE
N.G.S.	= NATIONAL GEODETIC SURVEY
O.R.B.	= OFFICIAL RECORDS BOOK
OS	= OFFSET
(P)	= PLATTED COURSE
P.B.	= PLAT BOOK
P.B.S.	= ST. LUCIE COUNTY PLAT BOOK
P.L.S.	= PROFESSIONAL LAND SURVEYOR
P.O.B.	= POINT OF BEGINNING
P.O.C.	= POINT OF COMMENCEMENT
P.S.M.	= PROFESSIONAL SURVEYOR AND MAPPER
P.U.	= PUBLIC UTILITY
PVC	= POLYVINYL CHLORIDE
R	= RANGE
R.C.P.	= REINFORCED CONCRETE PIPE
R/W	= RIGHT OF WAY
SEC.	= SECTION
S.R.	= STATE ROAD
T	= TOWNSHIP
T.I.I.F.	= TRUSTEES OF THE INTERNAL IMPROVEMENT FUND
(B)	= BENCHMARK
(A)	= ASPHALT SURFACE
(C)	= CONCRETE
(D)	= DIRT SURFACE

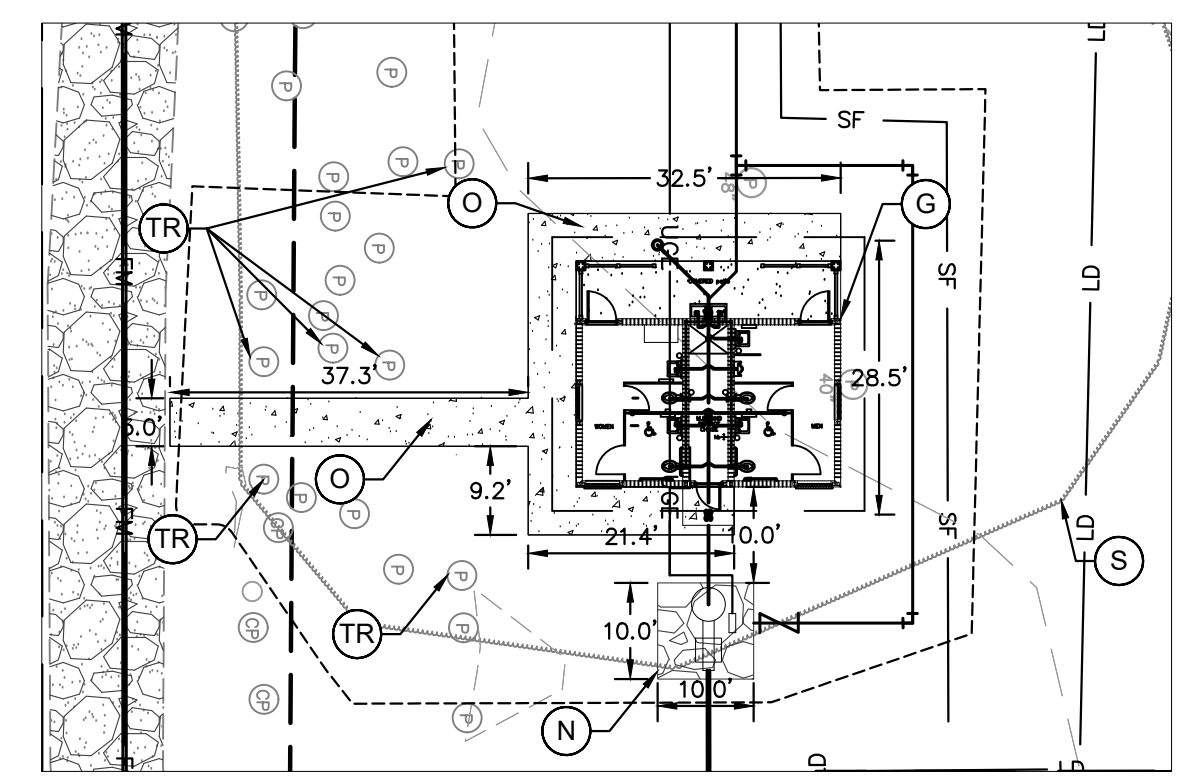
NO.	REVISION	DATE	BY	INDIAN RIVER COUNTY 1801 27TH STREET VERO BEACH, FL 32960 (772) 567-8000	DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION	DESIGNED BY: DRAWN BY: R. INGLETT APPROVED BY: D. SILON	SECTION: 4 TOWNSHIP: 32S RANGE: 39E	FIELD BOOK: Blanchard 162 PAGE: 16-37	DATE: 04/28/2020 PROJECT NUMBER: 2010	Topographic Survey - Hobart / Kiwanis Park Game and Picnic Area Section 4, Township 32 South, Range 39 East	SHEET OF 5
-----	----------	------	----	---	--	---	---	---	--	---	------------------

Plotted By: Esposito, AJ - Sheet: Hobart Park - Layout: C-100 - SITE PLAN - August 07, 2023 - 02:18:25pm - K:\VRB-LDE\VRB-CIP\Hobart\CAD\PlanSheets\C-100 SITE PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



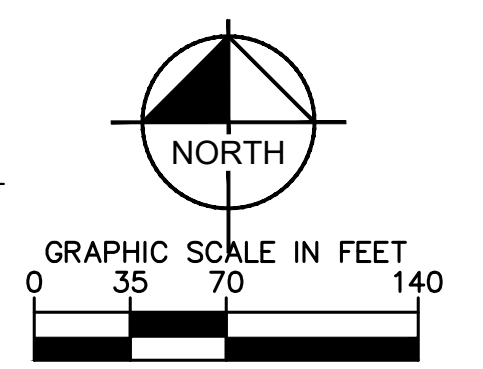
77TH STREET (HOBART ROAD)

ENLARGEMENT "A"
SCALE 1" = 20'



LEGEND

- PROPERTY LINE
- TRACT LINE
- RIGHT OF WAY
- ROADWAY
- LD --- LIMIT OF DISTURBANCE (1.22 AC)
- UGE --- PROPOSED UNDERGROUND ELECTRIC UTILITIES
- WM --- PROPOSED WATER PIPE
- SS --- PROPOSED SANITARY SEWER PIPE
- FM --- PROPOSED FORCE MAIN PIPE
- [Pattern] EXISTING PAVEMENT
- [Pattern] EXISTING CIRCULATION PATH
- [Pattern] CONTRACTOR TO REPLACE EXISTING GRAVEL ROADWAY IN THIS AREA IN ORDER TO INSTALL UTILITY (REFER TO DETAIL SHEET C-350)
- [Pattern] PROPOSED CONCRETE SIDEWALK
- [Symbol] TREE LINE TO REMAIN
- [Symbol] EXISTING TREES TO REMAIN
- [Symbol] TREE PROTECTION



SITE DATA

LOCATION: SECTION 4, TOWNSHIP 32S, RANGE 39 E
 ADDRESS: 5555 77TH STREET, VERO BEACH, FL 32962
 ZONING: A-1 AGRICULTURAL DISTRICT
 LAND USE: 8600 (COUNTY FORECLOSED/OWNED)
 HOBART PARK SITE AREA: 41.43 ACRES
 LIMIT OF DISTURBANCE: 1.22 ACRES

FINISHED FLOOR ELEVATION
 THE PROPOSED FINISHED FLOOR ELEVATION 22.00' NAVD '88 IS ONE FOOT ABOVE THE FEMA BFE OF 20.6 FEET.

FLOOD ZONE
 THE PROPOSED PROPERTY IS SPLIT BETWEEN ZONE X (AREA OF MINIMAL FLOOD HAZARD) AND ZONE AE FEMA FLOOD HAZARD AREA NO. 1206100227J EFF. 1/26/2023. ZONE AE IS LOCATED ON THE EAST SIDE OF THE SITE WHILE ZONE X IS LOCATED ON THE WEST SIDE OF THE PROPERTY. THE BASE FLOOD ELEVATION WITHIN ZONE AE IS 20.6 FEET.

KEYNOTES

- (A) EXISTING UTILITY POLE TO REMAIN
- (B) PROPERTY LINE
- (C) TRACT LINE
- (D) CANAL RIGHT OF WAY LINE
- (E) RIGHT OF WAY
- (F) REPLACE OR REPAIR THE EXISTING CIRCULATION PATH AS NEEDED TO CONSTRUCT FORCE MAIN
- (G) PROPOSED RESTROOM BUILDING (REFER TO SHEET A-1)
- (H) EXISTING WOODEN BARRIER TO REMAIN
- (I) EXISTING WATER SPIGOT TO REMAIN
- (J) DRAINAGE STRUCTURES TO REMAIN
- (K) WOOD POST TO BE REMOVED
- (L) EXISTING SIGNS TO REMAIN
- (M) EXISTING WOODEN BUILDING TO REMAIN
- (N) PROPOSED LIFT STATION
- (O) PROPOSED SIDEWALK
- (P) CONTRACTOR TO CLEAR SAW PALMETTOS IN THIS AREA AND SEED AREA AFTER PERMANENT GRADES ARE ESTABLISHED.
- (Q) 12" PVC TEMPORARY STORM DRAIN TO REMAIN
- (R) EXISTING RESTROOM
- (S) EXISTING TREE LINE

SITENOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
2. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY COUNTY, DATED: 04/28/2020
3. TOTAL SITE WORK AREA IS 1.22 ACRES.
4. NO WETLANDS ARE PRESENT.
5. EXISTING CIRCULATION PATH TO BE REMOVED AS NEEDED FOR INSTALLATION OF UTILITY, AND REPLACED WITH PROPOSED GRAVEL ROAD DETAIL.
6. FULL SITE INSPECTIONS AND SITE COMPLIANCE WILL BE REQUIRED PRIOR TO BUILDING CO.

DEVELOPMENT STATEMENT

THE PROPOSED DEVELOPMENT WILL CONSIST OF THE CONSTRUCTION OF APPROXIMATELY 1,221 SF OF PUBLIC RESTROOMS, CONCRETE ENTRANCE AND SIDEWALKS. THE RESTROOM BUILDING ALONE IS APPROXIMATELY 483 SF AND THE CONCRETE ENTRANCE IS APPROXIMATELY 165 SF. THE DEVELOPMENT WILL ALSO INCLUDE UTILITY CONNECTIONS AND A PROPOSED LIFT STATION FOR THE EXISTING PUBLIC PARK.

CRITERIA RESPONSE:

1. THE EXISTING BATHROOMS ON SITE WILL REMAIN THE SAME USE FROM THE PROPOSED DEVELOPMENT ON-SITE.
2. THE EXISTING PAVILIONS ON-SITE WILL REMAIN THE SAME USE FROM THE PROPOSED DEVELOPMENT ON-SITE.
3. THE EXISTING BASKETBALL COURTS, VOLLEYBALL COURTS, AND OTHER PUBLIC ACTIVITIES WILL REMAIN THE SAME FROM THE PROPOSED DEVELOPMENT ON-SITE.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

CALL 48 HOURS BEFORE YOU DIG

811

IT'S THE LAW!
DIAL 811

Know what's below.
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

No.	REVISIONS	DATE	BY

Kimley-Horn

© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
 PHONE: 772-794-4100
 WWW.KIMLEY-HORN.COM CA 00000696

PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE No. 78894
 KHA PROJECT 047035111
 DATE 8/7/2023
 SCALE AS SHOWN
 DESIGNED BY AJF
 DRAWN BY AJF
 CHECKED BY SRB

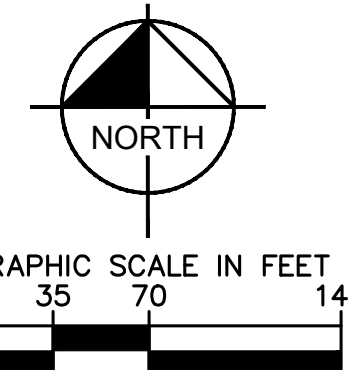
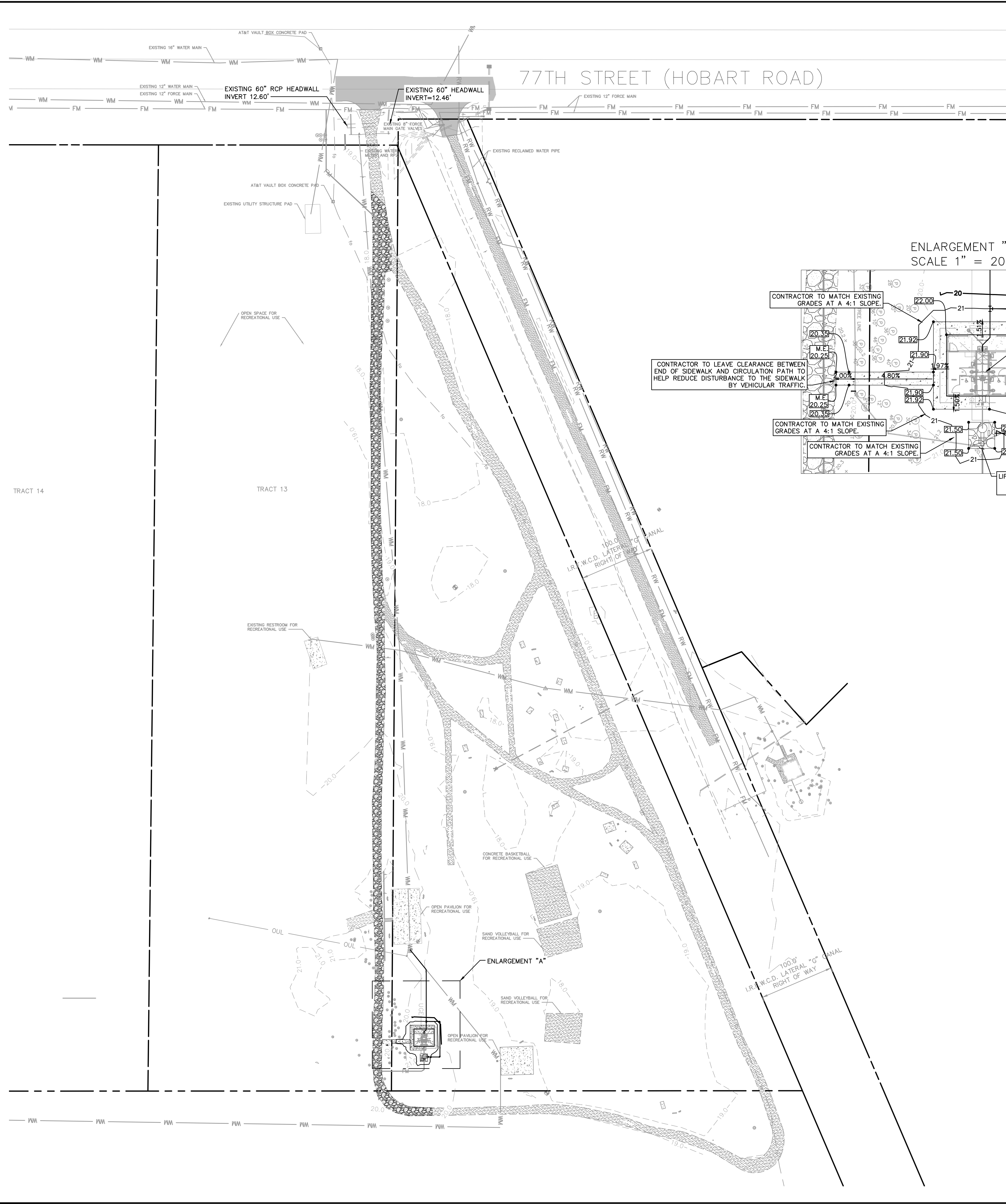
SITE PLAN

HOBART PARK
 PREPARED FOR
INDIAN RIVER COUNTY

VERO BEACH

SHEET NUMBER
C-100

Plotted By: Fasano, AJ - Sheet: Hobart Park - PAVING AND GRADING PLAN - August 07, 2023 - 02:18:43pm - K:\VRB_LDEV\VRB_OIP\Hobart_VAD_PlanSheets\C-200_PAVING AND GRADING PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

- PROPERTY LINE
- - - TRACT LINE
- - - RIGHT OF WAY
- ROADWAY

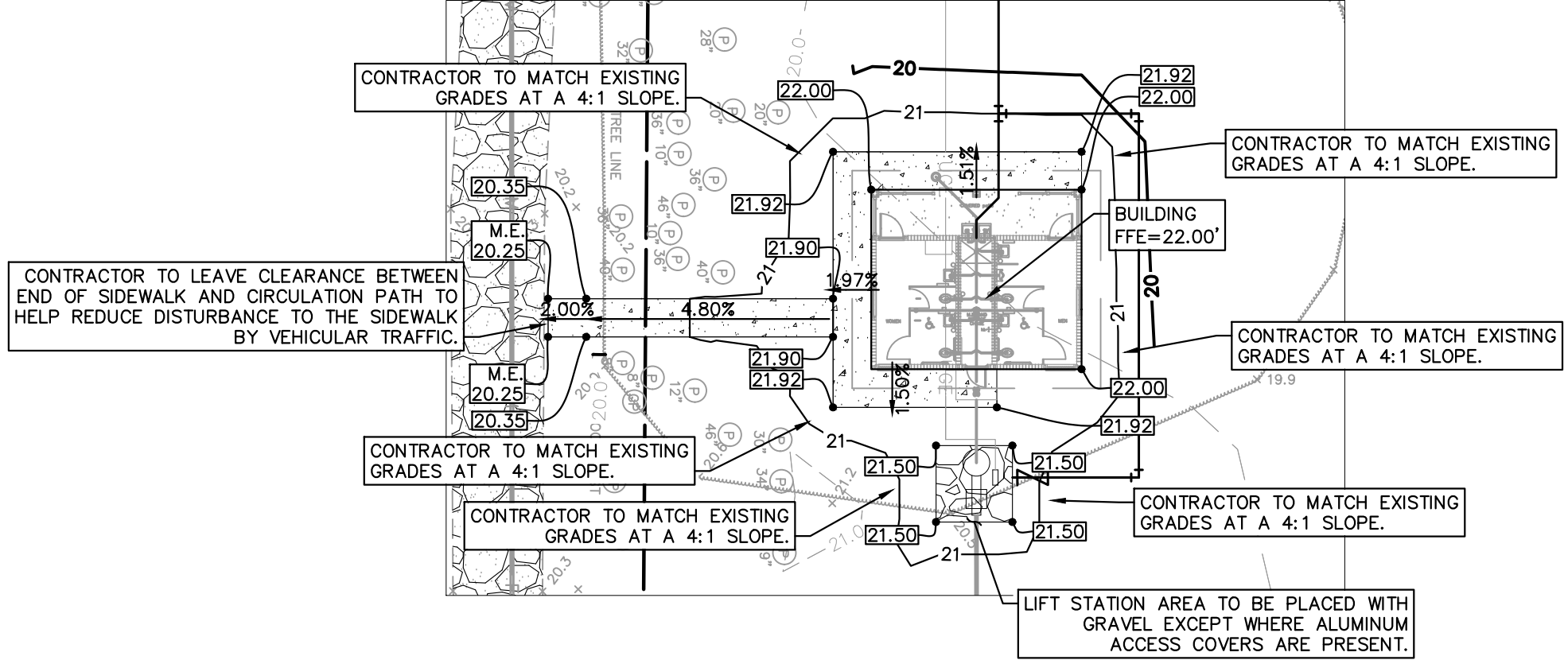
GRADING LEGEND

- XX.XX PROPOSED GRADE (EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED)
- M.E. MATCH EXISTING GRADES
- x 20.1 EXISTING GRADES (FROM SURVEY)
- HP DENOTES HIGH POINT
- XXXXX DRAINAGE FLOW DIRECTION

PAVING LEGEND

- [Pattern] PROPOSED CONCRETE SIDEWALK
- [Pattern] CONTRACTOR TO REPLACE OR REPAIR EXISTING CIRCULATION PATH SURFACE IN THIS AREA DUE TO PROPOSED UTILITY INSTALLATION (REFER TO DETAIL SHEET C-350)
- [Pattern] EXISTING CIRCULATION PATH
- [Pattern] EXISTING PAVEMENT

ENLARGEMENT "A"
SCALE 1" = 20'



FINISHED FLOOD ELEVATION
 THE PROPOSED FINISHED FLOOR ELEVATION 22.00' NAVD '88 IS ONE FOOT ABOVE THE FEMA BFE OF 20.6 FEET.

FLOOD ZONE
 THE PROPOSED PROPERTY IS SPLIT BETWEEN ZONE X (AREA OF MINIMAL FLOOD HAZARD) AND ZONE AE (FEMA FLOOD HAZARD AREA NO. 12061C0227J EFF. 1/26/2023, ZONE AE IS LOCATED ON THE EAST SIDE OF THE SITE WHILE ZONE X IS LOCATED ON THE WEST SIDE OF THE PROPERTY, THE BASE FLOOD ELEVATION WITHIN ZONE AE IS 20.6 FEET.

VERTICAL DATUM
 THE ELEVATIONS SHOWN HEREON ARE BASED UPON THE INDIAN RIVER COUNTY VERTICAL CONTROL NETWORK (I.R.C.V.C.N.) AND ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88). ALL BENCHMARKS IN THE I.R.C.V.C.N. ARE ESTABLISHED FROM 3-WIRE OF DIGITAL LEVEL BENCH RUN. THIS SURVEY WAS TIED TO INDIAN RIVER COUNTY BENCHMARKS "BM541002" (ELEVATION = 20.68') AND BENCHMARK "BM541004" (ELEVATION = 21.10')

TESTING AND INSPECTION REQUIREMENTS

1. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. UPON COMPLETION OF THE WORK, THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
2. THE OWNER WILL RETAIN THE SERVICES OF A QUALIFIED TESTING LABORATORY TO PERFORM ALL TESTING NECESSARY AS REQUIRED BY THESE PLANS AND THE VARIOUS AGENCIES. THE OWNER SHALL PAY THE COSTS OF ALL INITIAL TESTING, SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR SHALL BEAR ALL COSTS OF SAID RETESTING.

PAVING AND GRADING NOTES:

1. CONTRACTOR TO REPLACE AND RESTORE AREAS TO EXISTING CONDITIONS THAT WILL BE DISTURBED FROM UTILITY INSTALLATIONS.
2. ALL ORGANIC SOILS BELOW UTILITY TRENCHES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL AND COMPACTED TO NO LESS THAN 98% OF THE MODIFIED PROCTOR MAXIMUM DENSITY (AASHTO T-180).
3. ALL CONCRETE FLUMES, WALKS, AND CURBS SHALL BE CONSTRUCTED WITH 4,000-PSI (AT 28 DAYS) CONCRETE UNLESS OTHERWISE NOTED.
4. ALL AREAS WITHIN THE R.O.W. SHALL BE FINISHED GRADE WITH A SMOOTH TRANSITION INTO EXISTING GROUND. ALL SWALES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING. ALL DISTURBED AREAS SHALL BE SODDED AFTER FINAL GRADING. IN ACCORDANCE WITH THE CONSTRUCTION PLANS PRIOR TO FINAL INSPECTION. ALL GRASSING (SOD) SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE BY THE OWNER/OPERATOR. ANY SOD INSTALLED ADJACENT TO CURBS AND SIDEWALKS SHALL BE FLUSH WITH THE TOP OF SAID CURB/SIDEWALK, IN ORDER TO PROVIDE A SMOOTH GRADE TRANSITION AND ALLEVIATE TRIPPING HAZARDS.
5. THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF EVERY KIND, INCLUDING SPRINKLERS, SHALL BE PLACED BENEATH THE PAVEMENT AND ITS EDGES AND TESTED OR INSPECTED PRIOR TO THE CONSTRUCTION OF THE PAVEMENT. THE PAVEMENT SHALL NOT BE CUT WITHOUT PRIOR APPROVAL OF THE ENGINEER AND OWNER.
6. ALL FILL MATERIALS SHALL BE FREE OF MUCK, STUMPS, ROOTS, BRUSH, VEGETATIVE MATTER, RUBBISH, OR OTHER UNSUITABLE MATTER.
7. ALL EXCESS USEABLE MATERIALS EXCAVATED SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE STOCKPILED AT ON-SITE LOCATIONS AS SPECIFIED BY THE OWNER. EXCESS MATERIALS SHALL BE STOCKPILED SEPARATELY AS TO USEABLE (NONORGANIC) FILL STOCKPILES AND ORGANIC(MUCK) STOCKPILES IF MUCK IS ENCOUNTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL UNSUITABLE FILL MATERIALS FROM THE SITE. THE OWNER MAT, AT HIS SOLE DISCRETION, REQUIRE THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER, TO PROPERLY REMOVE AND DISPOSE OF ANY EXCESS MATERIAL, WHETHER USEABLE OR ORGANIC. FILL MATERIALS PLACED UNDER ROADWAYS SHALL BE COMPACTED TO AT LEAST 98% MAXIMUM DENSITY AS SPECIFIED IN AASHTO T-180. ALL OTHER AREAS ARE TO BE COMPACTED TO AT LEAST 95% MAXIMUM DENSITY AS SPECIFIED IN AASHTO T-180. FILL MATERIALS SHALL BE PLACED AND COMPACTED IN A MAXIMUM OF 12-IN LIFTS. REFER TO SOILS REPORT FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL PROVIDE THE ENGINEER AND THE OWNER WITH ALL (PASSING AND FAILING) TESTING RESULTS. RESULTS SHALL BE PROVIDED ON A TIMELY AND REGULAR BASIS PRIOR TO CONTRACTOR'S PAY REQUEST SUBMITTAL.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.
9. ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOIL TESTING COMPANY OR ENGINEER AND BE PLACED COMPACTED ACCORDING TO THESE PLANS OR THE REFERENCED SOILS REPORT.
10. CONTRACTOR SHALL TRIM, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
11. CONTRACTOR TO PROVIDE A 1/2-IN TO 1-IN BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT ABUTMENTS OF CONCRETE AND OTHER MATERIALS (BUILDING, OTHER POURED CONCRETE, ETC.)
12. ALL DISTURBED AREAS IN CITY AND COUNTY RIGHT OF WAY WILL BE SODDED.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

CALL 48 HOURS BEFORE YOU DIG

811

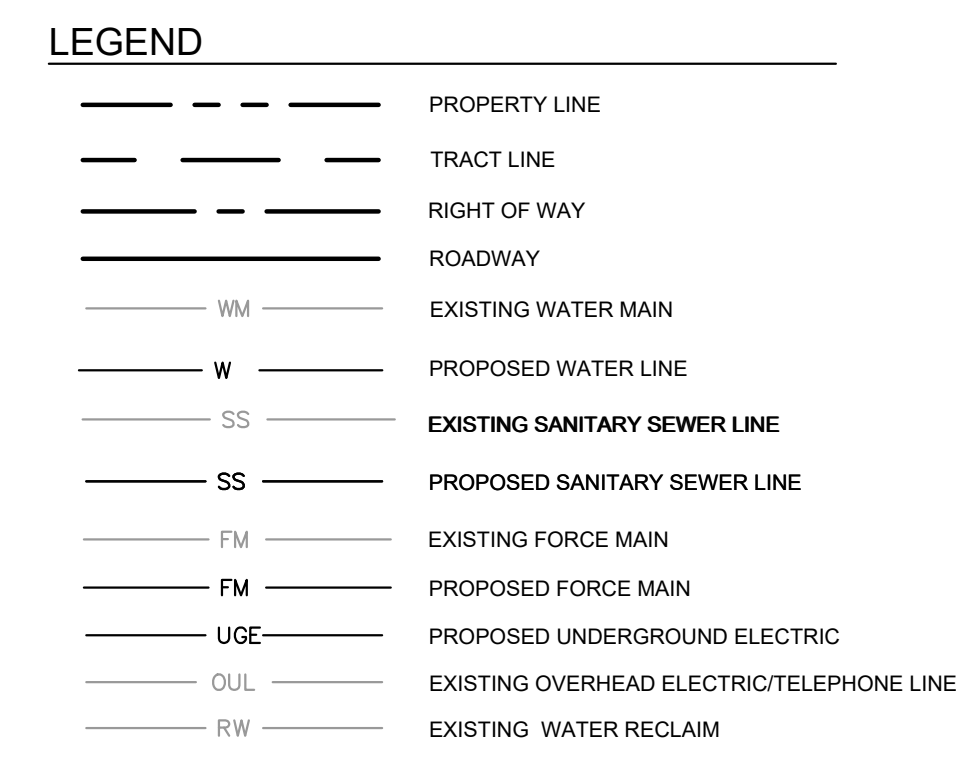
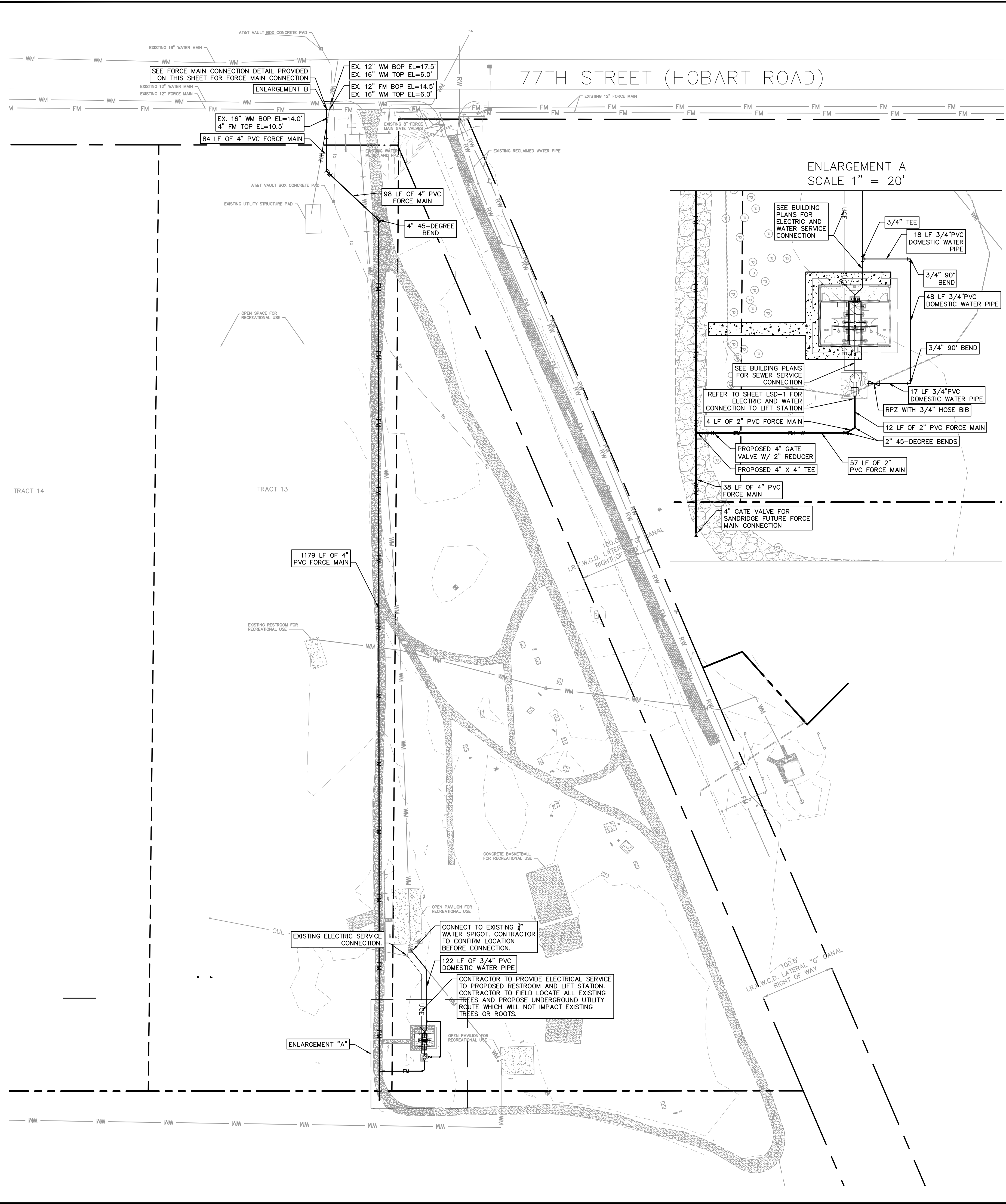
IT'S THE LAW!
DIAL 811

Know what's below.
Call before you dig.

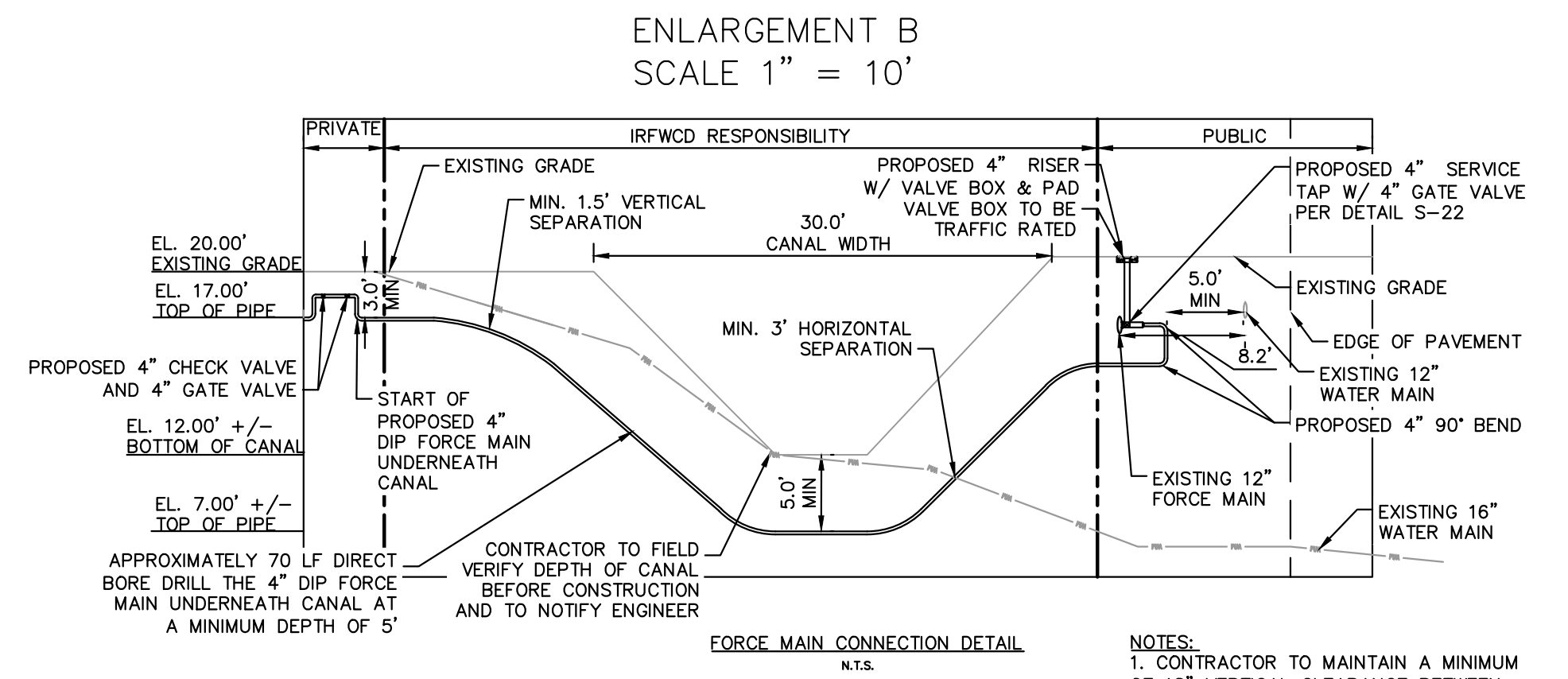
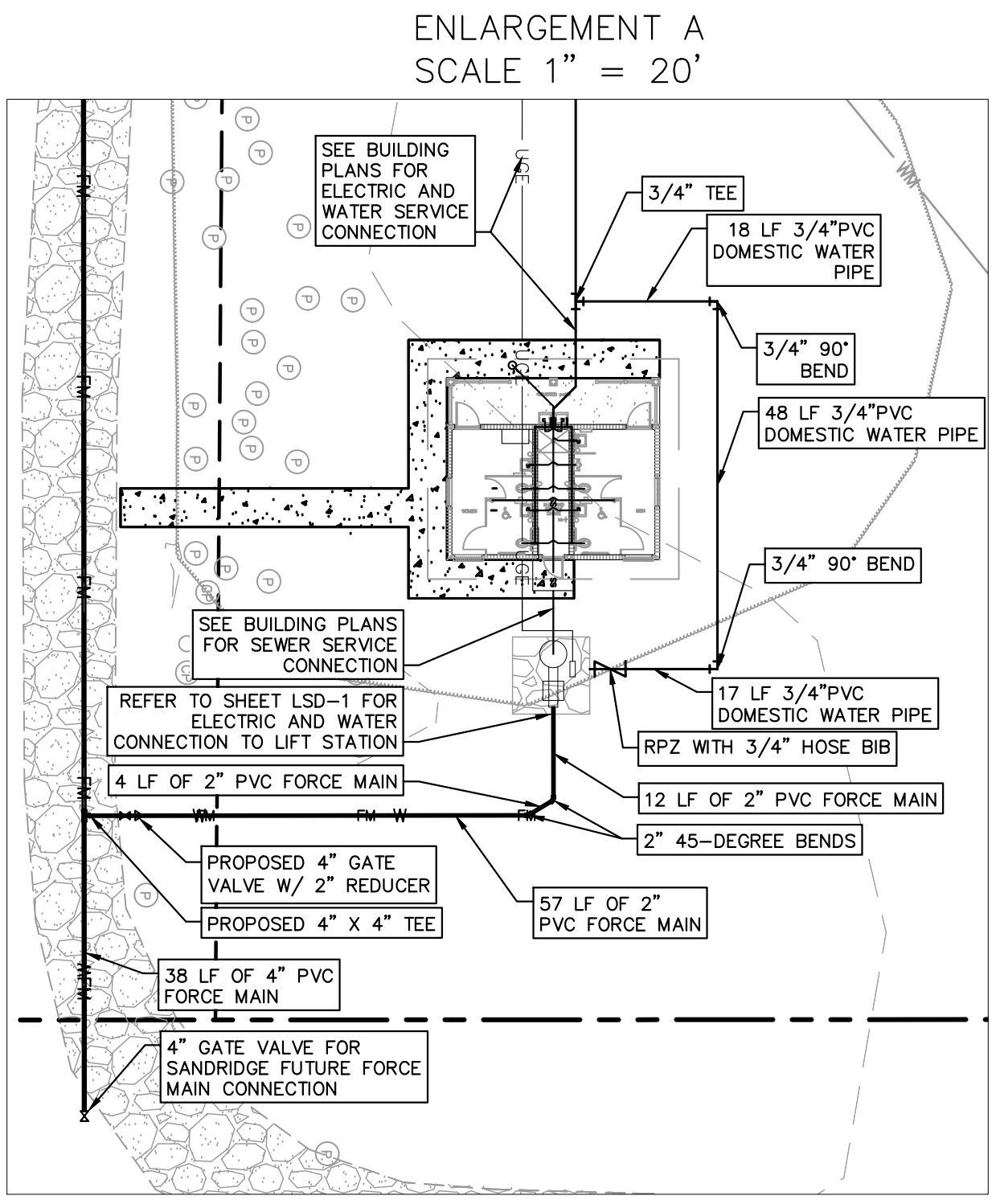
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

<p>© 2022 KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960 PHONE: 772-794-4100 WWW.KIMLEY-HORN.COM CA 00000696</p>	
KHA PROJECT 047035111	DATE 8/7/2023
SCALE AS SHOWN	DESIGNED BY AJF
DRAWN BY AJF	CHECKED BY SRB
HOBART PARK PREPARED FOR INDIAN RIVER COUNTY	
PAVING AND GRADING PLAN	
SHEET NUMBER C-200	
VERO BEACH	
REVISIONS	
No.	DATE

Plotted By: Fasano, AJ - Sheet Set: HOBART PARK - Layout: C-300 UTILITY PLAN - August 07, 2023 - 02:18:55pm - K:\VRB-LOE\VRB-CIP\Hobart\CAD\Plan\Sheets\C-300 UTILITY PLAN.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



- UTILITY NOTES**
- THE CONTRACTOR SHALL PROTECT EXISTING UNDERGROUND UTILITIES AND APPURTENANCES FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
 - THE LOCATION OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES AND OTHER ABOVE AND BELOW-GRADE IMPROVEMENTS ARE APPROXIMATE AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE AND INVERT ELEVATIONS OF SUCH PRIOR TO THE START OF CONSTRUCTION.
 - A MINIMUM OF 5' SEPARATION IS REQUIRED BETWEEN UTILITIES AND TREES.
 - GAS, PHONE AND ELECTRIC SERVICES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DRY UTILITY COMPANIES MAY ALTER THE DESIGN LAYOUT DURING THEIR REVIEW.
 - 4" AND 6" SANITARY LATERALS MUST MAINTAIN A 1.04% MINIMUM SLOPE TO ENSURE PROPER FLOW.
 - CONTRACTOR SHALL ADJUST EXISTING VALVES AND OTHER APPURTENANCES TO FINAL GRADE. ALL SURFACE UTILITIES TO REMAIN SHALL HAVE TRAFFIC-RATED LIDS IN PAVEMENT AREAS.
 - ALL WATER SERVICE CONNECTION SHALL HAVE PROPER BACKFLOWS AND SHALL BE CERTIFIED PRIOR TO BUILDING CERTIFICATE OF OCCUPANCY.
 - PIPE SPECIFICATIONS [C151(CLASS)/C900 (SDR)]
 - PIPE COLOR CODING REQUIREMENT SHALL BE IN CONFORMANCE WITH 62-555.320(21)(b)(3), F.A.C.
 - ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM PIPE COVER OF 36 INCHES FOR PVC AND 30 INCHES FOR DIP.
 - ALL WATERMAIN, GRAVITY SEWER MAIN, AND STORM PIPE CROSSINGS SHALL HAVE AT LEAST 18" (MINIMUM) OF VERTICAL SEPARATION WITH OTHER PIPES, CABLES, AND GAS LINES.
 - PERFORM DISINFECTION OF INSTALLED WATER PIPE PER AWWA C651 - 05 OR LATEST REVISION
 - TEST PRESSURE (REF. TO AWWA C600-10) OR LATEST REVISION FOR DIP PIPE AND (REF. TO AWWA C605-13) OR LATEST REVISION FOR PVC PIPE FOLLOWING LEAKAGE FORMULA:
 - WATER PIPES SHALL BE PRESSURE TESTED ACCORDING TO AWWA C600-10 OR LATEST REVISION. THE FORMULA IS AS FOLLOWS: $Q = LD \times \text{SQRT} \text{ OF } P / 148,000$. WHERE Q = QUALITY OF MAKEUP WATER (IN GALLONS PER HOUR), L = LENGTH OF PIPE SECTION BEING TESTED (IN FEET), D = NOMINAL DIAMETER OF THE PIPE (IN INCHES), AND P = AVERAGE TEST PRESSURE DURING THE HYDROSTATIC TEST (IN POUNDS PER SQUARE INCH GAUGE).



THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

CALL 48 HOURS BEFORE YOU DIG

811

IT'S THE LAW!
DIAL 811

Know what's below.
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

UTILITY PLAN

HOBART PARK
PREPARED FOR
INDIAN RIVER COUNTY

VERO BEACH

SHEET NUMBER
C-300

DATE: _____

BY: _____

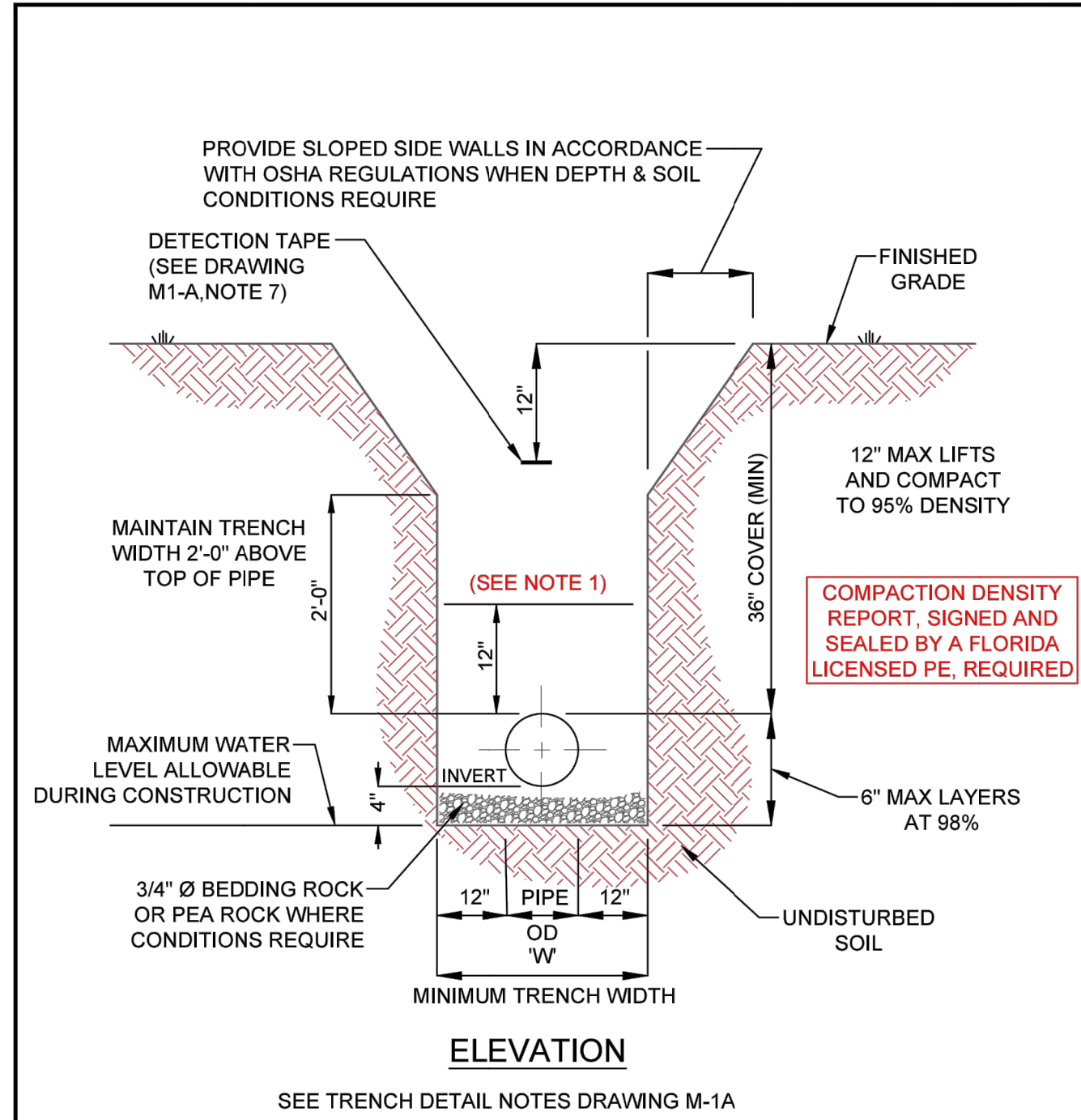
REVISIONS

No.	DATE	BY

Kimley-Horn

© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM CA 0000696

Plotted By: Esposito, AJ - Sheet: Hobart Park - Layout: C-350 DETAIL SHEETS - August 07, 2023 02:19:03pm - K:\VRB-LDEV\RC-CIP-Hobart\CAD\Plan\Sheets\C-350 DETAIL SHEETS.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



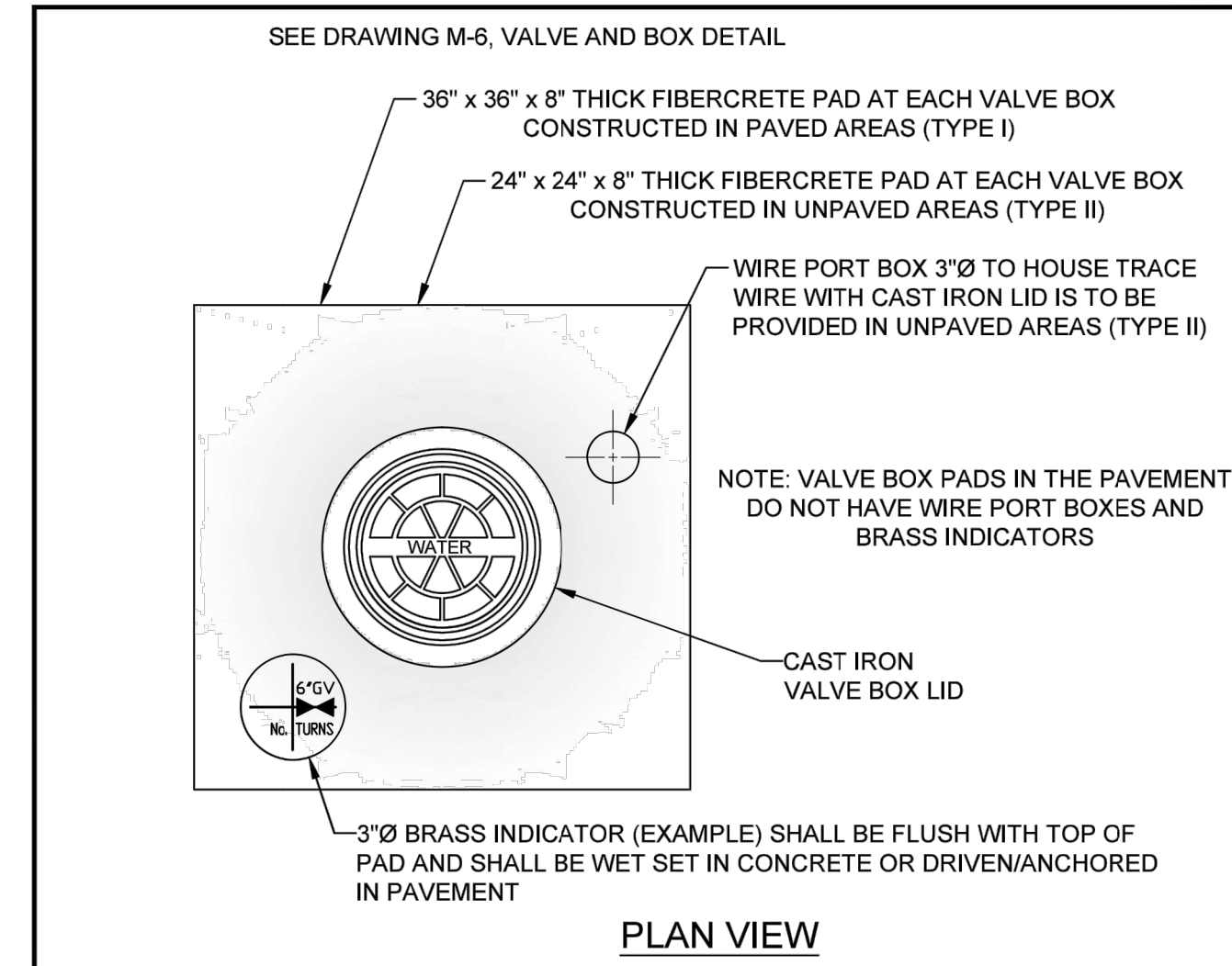
- NOTES:**
- MECHANICAL COMPACTION NOT ALLOWED BELOW THIS LEVEL OTHER THAN HAND VIBRATORY MEANS.
 - ALL RESTORATION IN EASEMENTS OR RIGHT-OF-WAYS OR WHEN REQUIRED BY OTHER JURISDICTIONAL AGENCIES SHALL CONFORM TO IRCUDS SPECIFICATIONS OR THE OTHER JURISDICTIONAL AGENCY SPECIFICATION, WHICHEVER IS MORE STRINGENT.

INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES	TRENCH DETAIL (UNPAVED EASEMENT)	DRAWING NO. M-1
--	-------------------------------------	------------------------------

NOTES:

- WHERE SOIL CONDITIONS CANNOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE METHOD OF CONSTRUCTION TO IRCUDS FOR APPROVAL.
- SHEETING WILL BE REQUIRED AS DETERMINED IN THE FIELD IN ACCORDANCE WITH OSHA REGULATIONS.
- COMPACTION PERCENTAGES SHOWN REFER TO AASHTO T-180 MODIFIED PROCTOR METHOD.
- MECHANICAL COMPACTION NOT ALLOWED BELOW THIS LEVEL OTHER THAN HAND VIBRATORY MEANS.
- COMPACTION REPORTS REQUIRED.
- MINIMUM TRENCH WIDTH "W" = PIPE O.D. PLUS 2'-0".
- 2" DETECTION TAPE WITH METALLIC BACKING TO BE INSTALLED OVER MAIN 6" BELOW BOTTOM OF BASE COURSE. TAPE TO BE MARKED "CAUTION-WATER LINE BELOW", "CAUTION-FORCE MAIN BELOW", OR "CAUTION-REUSE MAIN BELOW". TRACE WIRE SHALL BE USED CONTINUOUSLY ON ALL PIPE. SEE DRAWING, No. M-14, TRACE WIRE DETAIL.
- ALL RESTORATION IN EASEMENTS OR RIGHT-OF-WAYS OR WHEN REQUIRED BY OTHER JURISDICTIONAL AGENCIES SHALL CONFORM TO IRCUDS SPECIFICATIONS OR THE OTHER JURISDICTIONAL AGENCY SPECIFICATION, WHICHEVER IS MORE STRINGENT.
- ALL PIPE TO BE LOCATED A MINIMUM OF 5' O.C. (TYPICAL) FROM EDGE OF PAVEMENT.
- EXCAVATABLE FLOWABLE FILL IS ALLOWED WITH PRIOR APPROVAL OF PROPOSED MATERIAL STRENGTH BY COUNTY PUBLIC WORKS ENGINEER OR DESIGNER.

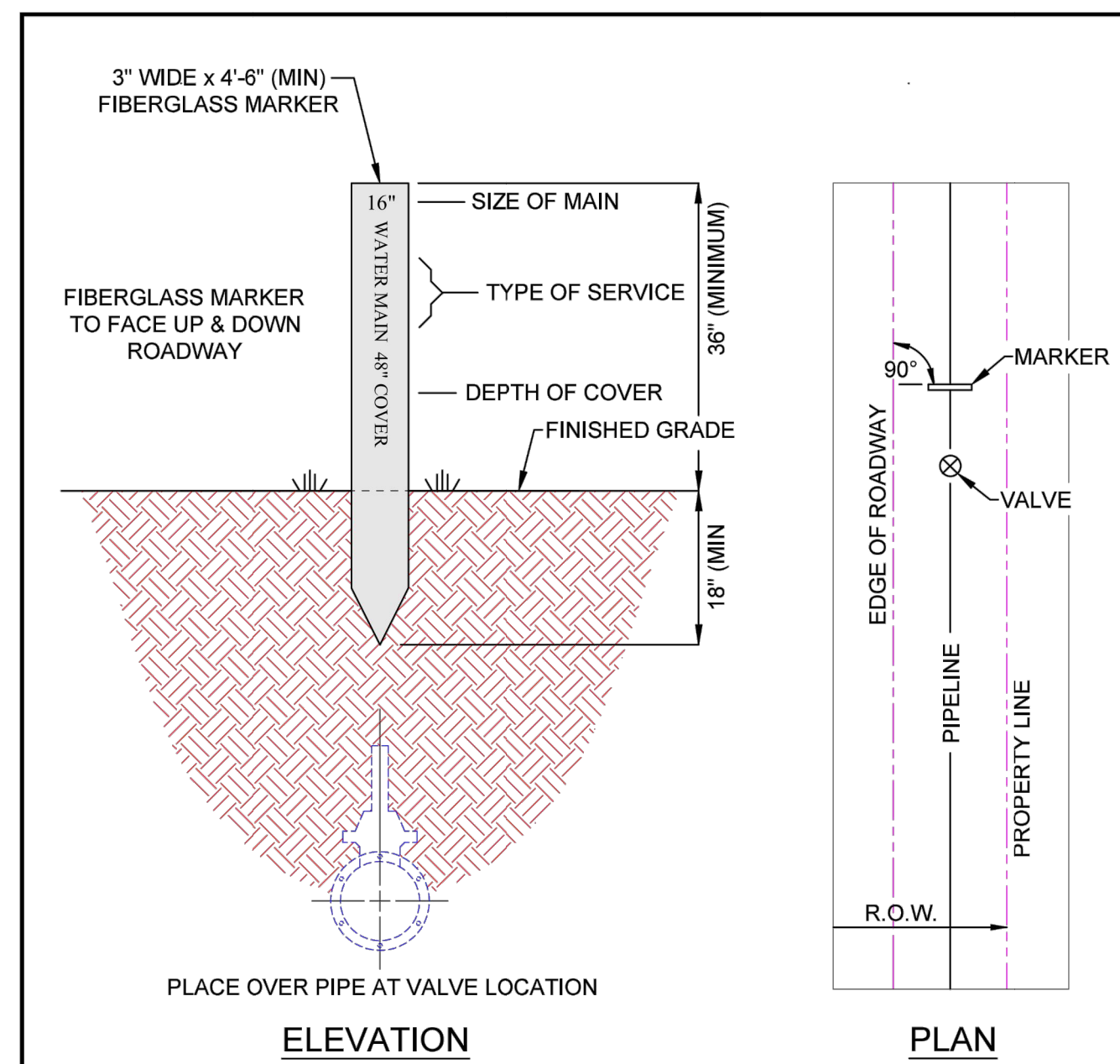
INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES	TRENCH DETAIL NOTES	DRAWING NO. M-1 A
--	------------------------	------------------------------------



NOTES:

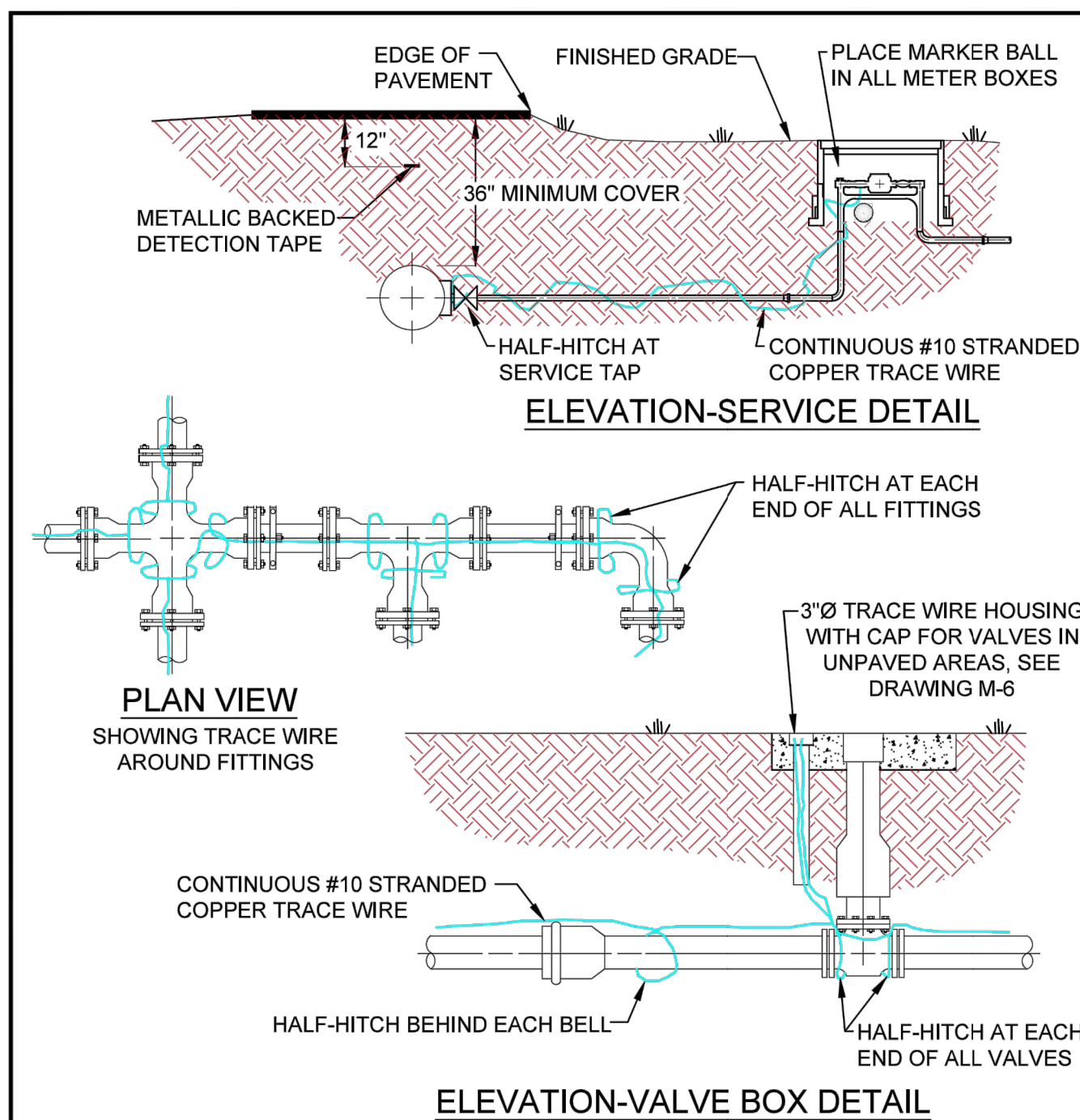
- VALVE BOX LIDS SHALL BE PAINTED:
 BLUE - WATER
 FIRE HYDRANTS - RED
 FORCE MAINS - GREEN
 REUSE MAINS - PURPLE
 BRINE - BROWN
- IN UNPAVED AREAS (SEE DRAWING, No. M-6, TYPE II) A BRASS VALVE INDICATOR IS TO BE PROVIDED, WITH ENGRAVED DIAGRAM OF VALVE LOCATION AND DESCRIPTION. (SEE EXAMPLE ABOVE) INDICATOR SHALL BE FLUSH WITH VALVE PAD.
- VALVE BOX LID LOCATED IN PAVEMENT SHALL BE A CAST IRON, STAY-PUT COVER, MINIMUM 24 LBS. WITH A MINIMUM 6" LONG THROAT AND SHALL BE MARKED WITH RAISED LETTERS: "WATER", "SEWER", "BRINE", OR "REUSE WATER" AS APPLICABLE.
- VALVE BOX SHALL COMPLY WITH FDOT STANDARDS AS APPLICABLE.
- NO VALVE RINGS ARE TO BE USED.
- IN TYPE I, PAVED AREAS, THE VALVE BOX PAD TOP ELEVATION SHALL BE EVEN WITH THE ROCK GRADE TO ALLOW BOTH LAYERS OF ASPHALT TO COVER THE VALVE BOX PAD WITH THE FINAL ASPHALT LAYER FLUSH WITH THE TOP OF THE VALVE BOX. (SEE DRAWING, No. M-6, VALVE AND BOX DETAIL).

INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES	VALVE BOX PAD	DRAWING NO. M-7
--	---------------	------------------------------



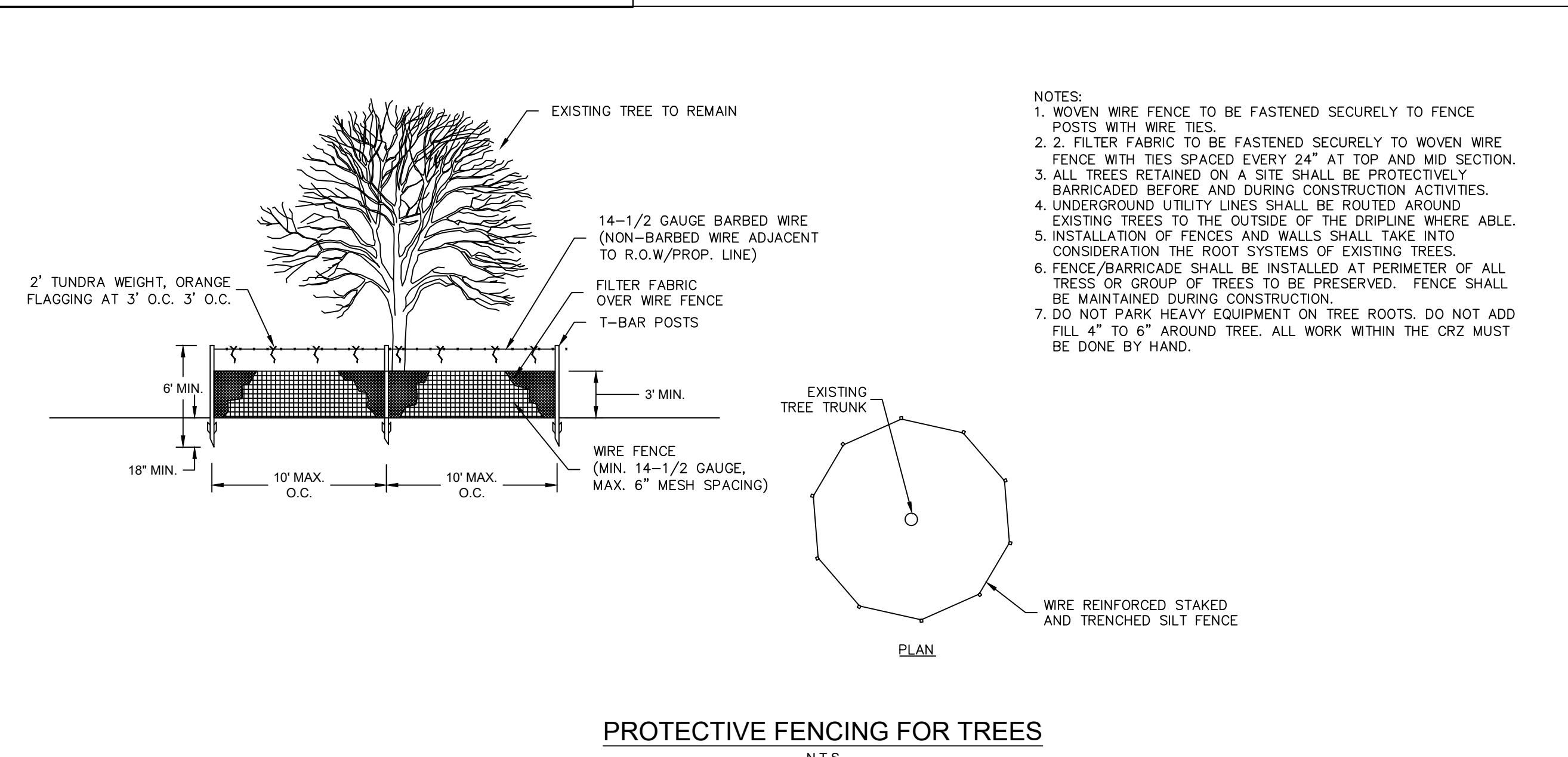
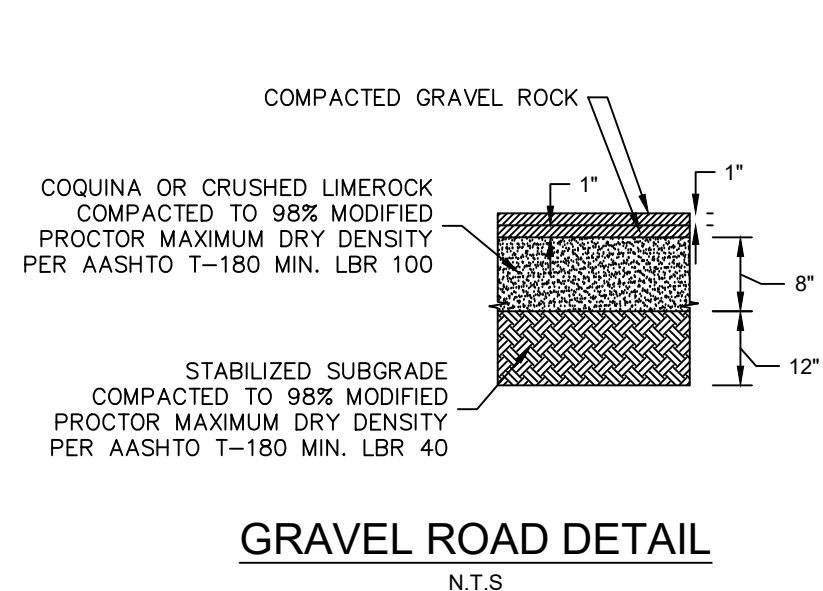
- NOTES:**
- MARKER TO BE PLACED PERPENDICULAR, AT A 90° ANGLE, TO ROADWAY AND DIRECTLY OVER PIPE, ADJACENT TO VALVE, AS DIRECTED BY IRCUDS.
 - MARKER TO BE USED AT ALL CANAL CROSSINGS AND AS DIRECTED BY IRCUDS.
 - MARKER TO BE PLACED ADJACENT TO WATER MAIN VALVES, FORCE MAIN VALVES RE-USE MAIN VALVES AND BRINE VALVES AS DIRECTED BY IRCUDS.
 - ALL MATERIAL TO BE PER IRCUDS APPROVED MANUFACTURERS' PRODUCT LIST.
 - MARKERS SHALL BE PAINTED:
 BLUE - WATER
 RED - FIRE HYDRANTS
 GREEN - FORCE MAINS
 PURPLE - REUSE MAINS
 BROWN - BRINE

INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES	VALVE MARKER	DRAWING NO. M-10
--	--------------	-------------------------------



- NOTES:**
- TRACE WIRE IS REQUIRED ON ALL PIPES REGARDLESS OF MATERIAL.
 - INCLUDE ALL COST OF MATERIAL AND LABOR TO INSTALL TRACE WIRE IN PRICE OF PIPE.
 - CONTRACTOR IS RESPONSIBLE FOR CONTINUITY THROUGHOUT ENTIRE PROJECT OF ALL TRACE WIRE.
 - ALL CONNECTIONS SHALL BE MADE WITH DIRECT BURY CONNECTORS.
 - ALL MATERIALS ARE TO BE PER IRCUDS APPROVED MANUFACTURERS' PRODUCT LIST.
 - COLOR OF TRACE WIRE SHALL BE: BLUE FOR WATER, GREEN FOR SEWER, AND PURPLE FOR RECLAIMED WATER.

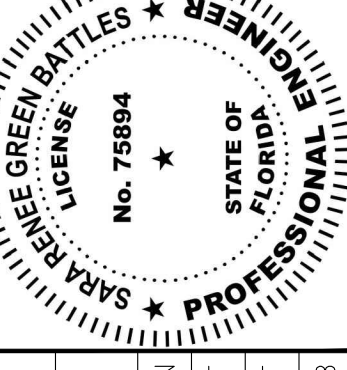
INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES	TRACE WIRE DETAILS	DRAWING NO. M-14
--	--------------------	-------------------------------



PROTECTIVE FENCING FOR TREES
N.T.S.

NO.	REVISIONS	DATE	BY

Kimley & Horn
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
 PHONE: 772-794-4100
 WWW.KIMLEY-HORN.COM CA 00000696



KHA PROJECT 047035111	DATE 8/7/2023	SCALE AS SHOWN	DESIGNED BY AJF	DRAWN BY AJF	CHECKED BY SRB
--------------------------	------------------	----------------	--------------------	-----------------	-------------------

DETAIL SHEETS

HOBART PARK
 PREPARED FOR
INDIAN RIVER COUNTY
 VERO BEACH

SHEET NUMBER
C-350

Plotted By: Esposito, A.J. Sheet: Set: HOBART PARK. Layout: C-351 DETAIL SHEETS. August 07, 2023 02:19:05pm. K:\V\B-L\DEV\AIRC-GIP\Hobart\CAD\PlanSheets\C-351 DETAIL SHEETS.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

GENERAL NOTES

- ALL AS-BUILT RECORD DRAWINGS SHALL MEET THE MINIMUM REQUIREMENTS OF THE CHAPTER AJ-17, FLORIDA ADMINISTRATION CODE PURSUANT TO SECTION 472 OF THE FLORIDA STATUTES.
- ALL AS-BUILT RECORD DRAWINGS SHALL BE IN STATE PLANE COORDINATES. STATE PLANE COORDINATES SHALL BE BASED ON THE FLORIDA STATE PLANE HORIZONTAL DATA (EAST ZONE), OR FLORIDA HIGH PRECISION GEODETIC NETWORK (SUPERSTATION) AND NAD 83/1999 - FINAL ADJUSTMENT, OR THE MOST CURRENT DATUM ADOPTED BY INDIAN RIVER COUNTY.
- FLORIDA STATE PLANE HORIZONTAL DATA AND STATION OFF-SET SHALL BE TIED TO VALVES, METERS, FITTINGS, MANHOLES, BLOW-OFFS, WATER SERVICES, FIRE HYDRANTS, SERVICE SADDLES, CORP STOPS AND PIPE (PIPE AT 200' INTERVALS).
- ALL ELEVATIONS SHOWN SHALL BE BASED ON 1988 NAVD (NORTH AMERICAN VERTICAL DATUM).
- ALL AS-BUILT RECORD DRAWINGS SHALL BE TIED TO A MINIMUM OF ONE (1) PERMANENT REFERENCE MONUMENT (P.R.M.) AT THE END OF EACH PROJECT. ONE P.R.M. SHALL BE TIED TO A MINIMUM OF ONE (1) SECTION CORNER OR ONE-QUARTER (1/4) SECTION CORNER WHICHEVER IS CLOSEST TO THE PROJECT. STATE PLANE COORDINATES SHALL BE PHYSICALLY SHOWN ON THE DRAWING NEXT TO THE P.R.M. USED.
- HORIZONTAL CONTROL MONUMENTATION FOR UTILITY LINES SHALL BE A MINIMUM OF TWO (2) POINTS AT A MAXIMUM OF 1,400 FEET BETWEEN POINTS AND SHOWN ON ALL PLANS.
- VERTICAL CONTROL (WHEN REQUIRED) FOR LINEAR UTILITY LINES, SUCH AS WATER AND SEWER, SHALL HAVE A MAXIMUM OF 1,100 FEET BETWEEN EXISTING CONSTRUCTION OR ESTABLISHED BENCHMARKS.

NOTE: PRIOR TO SUBMITTING THE ELECTRONIC COPY, ONE (1) COPY OF EACH AS-BUILT SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.

- AFTER ALL APPROVALS, ALL INCOMING RECORD DRAWINGS SHALL BE RECEIVED ON A CD AS AN ELECTRONIC COPY, AUTOCAD 2015 OR LATEST VERSION, WITH A TIE TO A MINIMUM OF TWO (2) STATE PLANE COORDINATES. (1) ONE (24"x36") SIGNED AND SEALED COPY OF EACH AS-BUILT SHALL BE SUBMITTED. ALL RECORD DRAWINGS SHALL STATE IN 1/2" LETTERING "RECORD DRAWING" AND THE DATUM USED (1/2" LETTERING) IN THE LOWER RIGHT HAND SIDE OF THE ORIGINAL DRAWING OR COPY ALONG WITH THE AS-BUILT DATE. ALL RECORD DRAWINGS SHALL BE IN A MINIMUM SCALE OF 1"=40'. MINIMUM TEXT SHALL BE 1/8".
- ELECTRONIC COPY OF RECORD DRAWINGS SHALL BE FORMATTED WITH ALL NEWLY CONSTRUCTED IRCDDUS UTILITIES IN THE FOLLOWING LAYER STATES:

AUTOCAD LAYER NAME	DATA TO BE CONTAINED IN LAYER
WATER MAIN	WATER MAIN ONLY
WATER FITTINGS	WATER FITTINGS, METERS, VALVES, SERVICES, LATERALS, ETC.
GRAVITY SEWER	GRAVITY SEWER MAIN ONLY
SEWER FORCE MAINS	SEWER FORCE MAIN ONLY
SEWER FITTINGS	SEWER FITTINGS, MANHOLES, SERVICE LATERALS, VALVES, ETC.
R/O CONCENTRATE	MAINS, FITTINGS, VALVES, ETC.
RECLAIMED WATER	MAINS, FITTINGS, VALVES, ETC.

INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES	AS-BUILT RECORD DRAWING GENERAL NOTES	DRAWING NO. M-16 MAY 2019
--	--	--

GENERAL NOTES
(continued)

- A MINIMUM TEXT SIZE OF 1/8" IS REQUIRED ON ALL CONSTRUCTION/ROUTE SURVEY AND RECORD DRAWINGS.
- ALL AS-BUILT RECORD DRAWINGS SHALL BE CERTIFIED BY THE PROJECT ENGINEER OR CONTRACTING SURVEYOR.
- ALL AS-BUILT RECORD DRAWINGS SHALL CLEARLY DEPICT UTILITY LINES THAT WERE CONSTRUCTED ALONG THEIR RESPECTIVE EASEMENT (IF REQUIRED). AS-BUILT RECORD DRAWINGS WILL NOT BE ACCEPTED UNLESS THE VERBIAGE "PROPOSED" AND/OR "TO BE CONSTRUCTED" HAVE BEEN DELETED ON THE DRAWING. AS-BUILT RECORD DRAWINGS WITH "PROPOSED" OR "TO BE CONSTRUCTED" TERMINOLOGY WILL NOT BE ACCEPTED.
- ALL NEW UTILITY CONSTRUCTION LOCATED WITHIN THE RIGHTS-OF-WAY, EASEMENTS AND ALIKE SHALL BE TIED TO THE RESPECTIVE RIGHTS-OF-WAY, EASEMENTS, ETC. EVERY 1,000 FEET AND CHANGE OF DIRECTION.
- ALL AS-BUILT RECORD DRAWINGS SHALL BE COMPLETE AND APPROVED BEFORE COMMENCEMENT OF FIELD TEST.
- BASELINE OF CONSTRUCTION AND STATION OF ITEMS TO BE LOCATED ON THE CENTER OF THE ROADWAY, UNLESS CONDITIONS WARRANT AND APPROVED BY IRCDDUS. BASELINE STATIONING SHALL BE EVERY 100', CONTROL POINTS SET AT EVERY 500' AND ANGLE CHANGE OF DIRECTION.
- ALL NEW UTILITY CONSTRUCTION LINES ON ALL AS-BUILT RECORD DRAWINGS SHALL BE SHOWN WITH A WIDER, SOLID LINE. EXISTING UTILITY LINES SHALL BE SHOWN WITH A THINNER, DASHED LINE.
- TOP OF PIPE ELEVATIONS & STATIONING TO BE TYPED, LISTED, SEALED & SUBMITTED BY THE ENGINEER FOR LOCATING THE AIR RELEASE VALVES AS CONSTRUCTION PROCEEDS.
- SHOW TOP ELEVATION OF THE UTILITY LINES THAT WERE CONSTRUCTED AND SHOW EXISTING UTILITY LINES FOR ALL UTILITY CROSSINGS.
- PUMP STATION POWER SUPPLY FROM FP&L OR COVB ELECTRIC POWER POLE OR TRANSFORMER TO THE PUMP STATION ELECTRIC PANEL SHALL BE INCLUDED ON THE AS-BUILT RECORD DRAWING.
- ALL FIRE HYDRANTS AND FIRE HYDRANT VALVES SHALL BE LOCATED BY STATE PLANE COORDINATES, STATION NUMBER AND OFFSET AND SHALL BE CLEARLY IDENTIFIED ON AS-BUILT RECORD DRAWING.
- ALL NEWLY CONSTRUCTED VALVES SHALL BE CLEARLY IDENTIFIED BY SIZE, TYPE, TOP ELEVATION AND DIRECTION/NUMBER OF TURNS TO OPEN OR CLOSE VALVE.

INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES	AS-BUILT RECORD DRAWING GENERAL NOTES CONTINUED MAY 2019	DRAWING NO. M-16 A
--	---	---------------------------------

ELEVATION

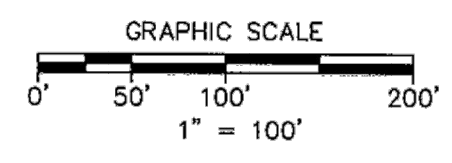
NOTES:

- PRIVATE PUMPING STATIONS SHALL BE APPROVED BY IRCDDUS.
- PRIVATE PUMPING STATION, INCLUDING PUMP, ALL PIPING TO THE SEWER METER BOX, CONTROLS AND ELECTRICAL CONTROL PANEL SHALL BE CONSTRUCTED BY THE OWNER AT NO EXPENSE TO IRCDDUS.
- OWNER SHALL BE RESPONSIBLE FOR ALL COST ASSOCIATED WITH THE OPERATION AND MAINTENANCE OF A PRIVATE PUMPING STATION.
- OWNER OF PROPOSED PRIVATE PUMPING STATION SHALL SIGN AN AGREEMENT ACKNOWLEDGING PUMPING STATION IS TO REMAIN PRIVATE.
- ALL PRIVATE PUMPING STATION EQUIPMENT SHALL BE PER IRCDDUS APPROVED MANUFACTURERS' PRODUCT LIST.
- COMMERCIAL PRIVATE PUMPING STATIONS SHALL HAVE A 4" SERVICE TAP CONNECTION TO THE FORCE MAIN WITH A 4" GATE VALVE. RESIDENTIAL PRIVATE PUMPING STATIONS SHALL HAVE A 2" SERVICE TAP CONNECTION WITH A 2" CORP STOP.

INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES	FORCE MAIN SERVICE FOR TYPICAL PRIVATE PUMPING STATION MAY 2019	DRAWING NO. S-22
--	--	----------------------------

<p style="font-size: 8px;">© 2022 KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960 PHONE: 772-794-4100 WWW.KIMLEY-HORN.COM CA 00000696</p>	
KHA PROJECT 047035111 DATE 8/7/2023 SCALE AS SHOWN DESIGNED BY AJF DRAWN BY AJF CHECKED BY SRB	DETAIL SHEETS
HOBART PARK PREPARED FOR INDIAN RIVER COUNTY VERO BEACH	SHEET NUMBER C-351
	REVISIONS No. _____ DATE _____ BY _____

SCALE: 1"=100'



LEGEND

IP = IRON PIPE	F.F.E. = FINISH FLOOR ELEVATION
CM = CONCRETE MONUMENT	R/W = RIGHT OF WAY
IRWC = IRON ROD WITH CAP	BL = BASELINE
IRPC = IRON PIPE WITH CAP	PRM = PERMANENT REFERENCE MONUMENT
N&D = NAIL & DISK	PSM = PROFESSIONAL SURVEYOR AND MAPPER
D = IDENTIFICATION	C = CENTERLINE
FO = FOUND	W = WOOD FENCE
CO = CALCULATED	M = METAL FENCE
PL = PLAT	OW = OVERHEAD WIRES
M = MEASURED	WM2 = WATER METER
D.R.B. = OFFICIAL RECORD BOOK	WV = WATER VALVE
PC = PAGE	WPP = WOODEN POWER POLE
P.B. = PLAT BOOK	
POC = POINT OF COMMENCEMENT	
POB = POINT OF BEGINNING	

PLAT OF RED STICK GOLF CLUB
A PLANNED DEVELOPMENT
PB 16, PG 41

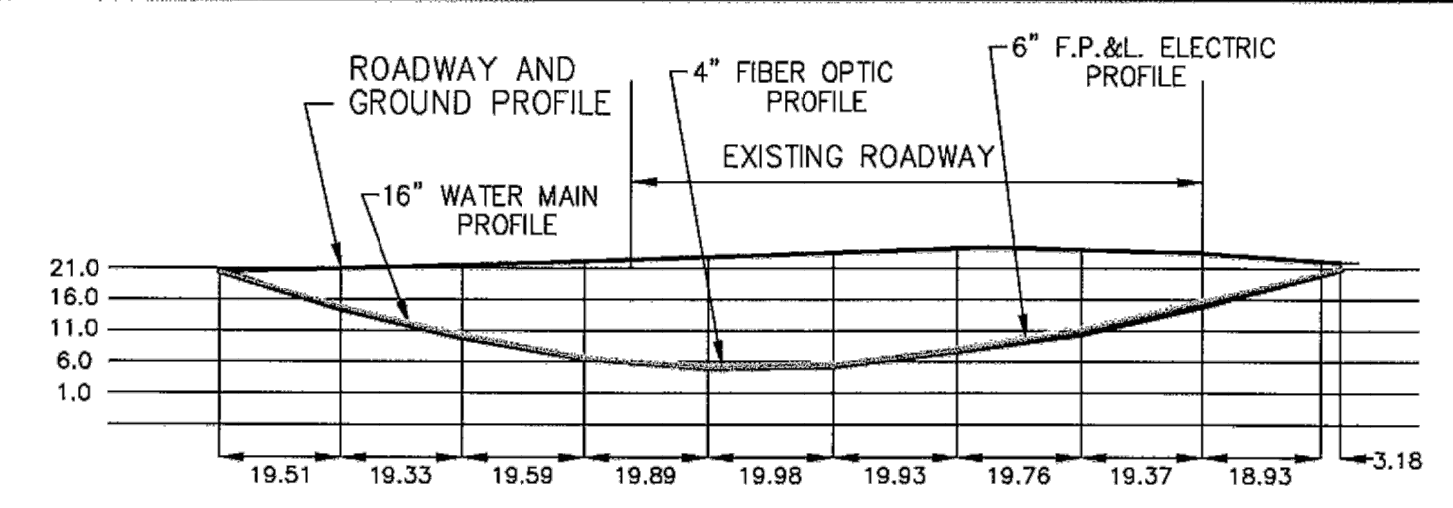
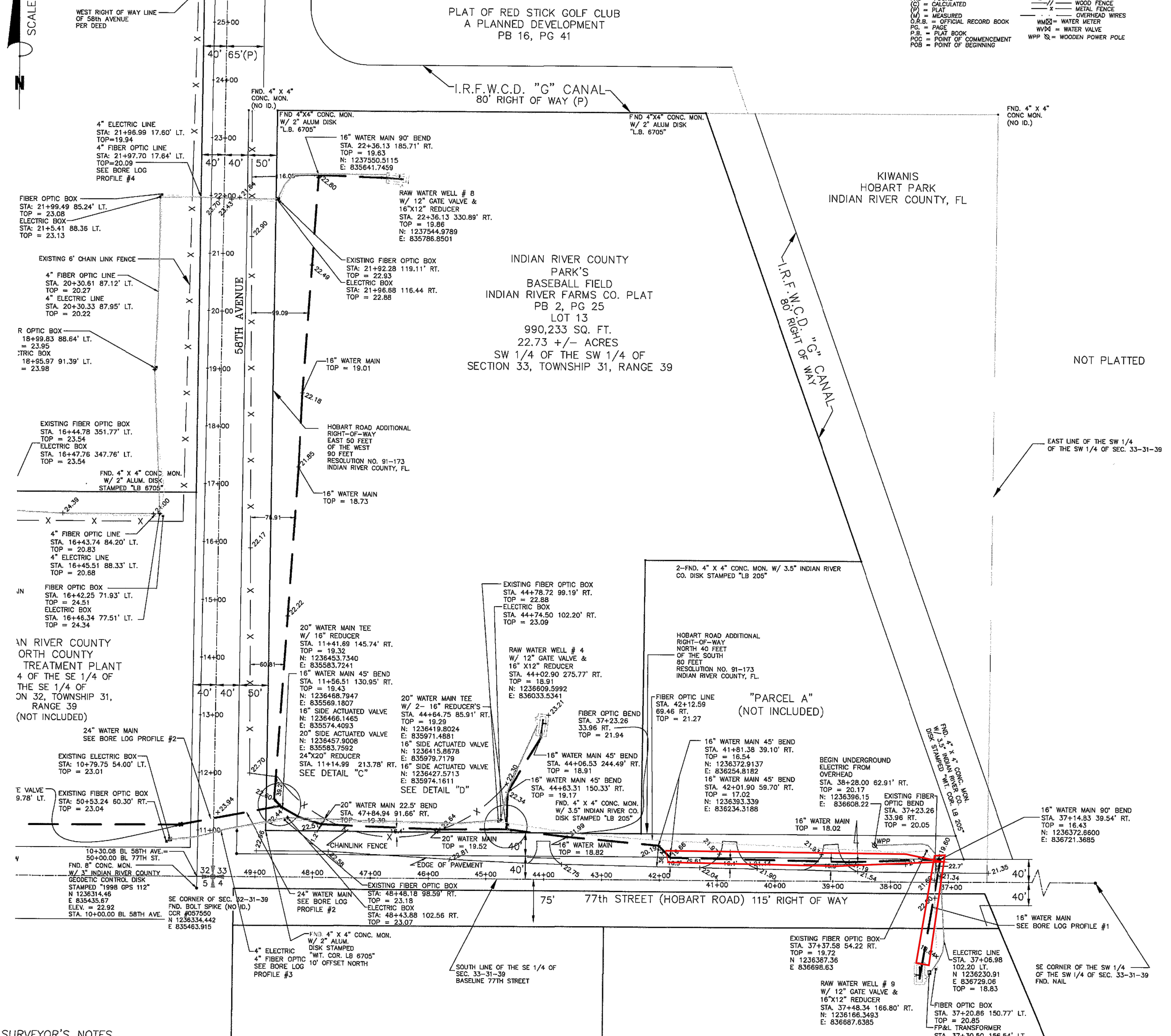
I.R.F.W.C.D. "G" CANAL
80' RIGHT OF WAY (P)

KIWANIS
HOBART PARK
INDIAN RIVER COUNTY, FL

INDIAN RIVER COUNTY
PARK'S
BASEBALL FIELD
INDIAN RIVER FARMS CO. PLAT
PB 2, PG 25
LOT 13
990,233 SQ. FT.
22.73 +/- ACRES
SW 1/4 OF THE SW 1/4 OF
SECTION 33, TOWNSHIP 31, RANGE 39

NOT PLATTED

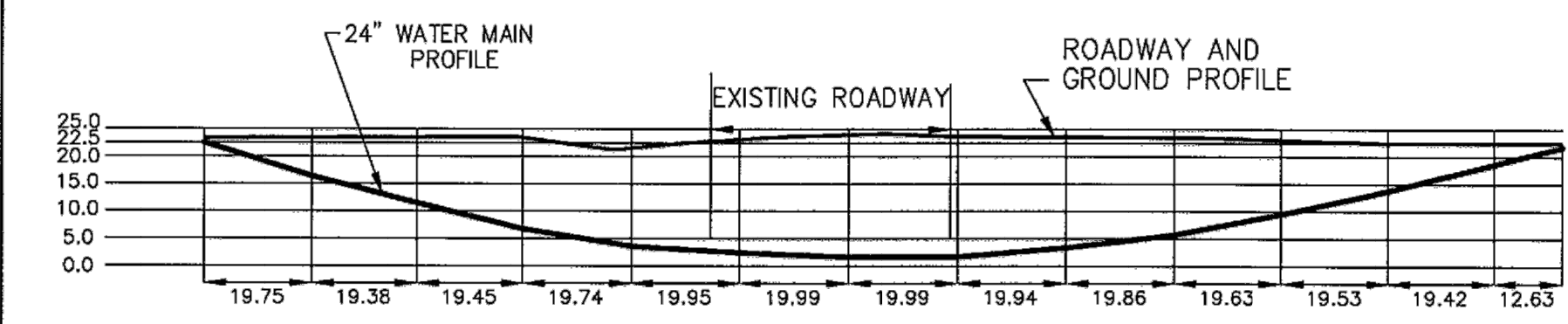
EAST LINE OF THE SW 1/4
OF THE SW 1/4 OF SEC. 33-31-39



BORE LOG PROFILE#1

SCALE: 1"=30'

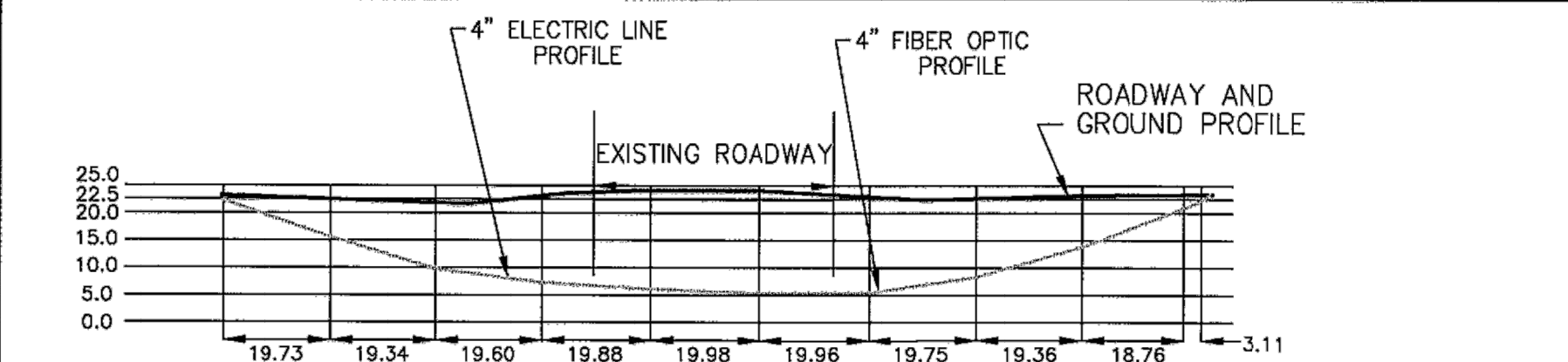
BORE LOG PROVIDED BY UTILITY SERVICES AUTHORITY



BORE LOG PROFILE#2

SCALE: 1"=30'

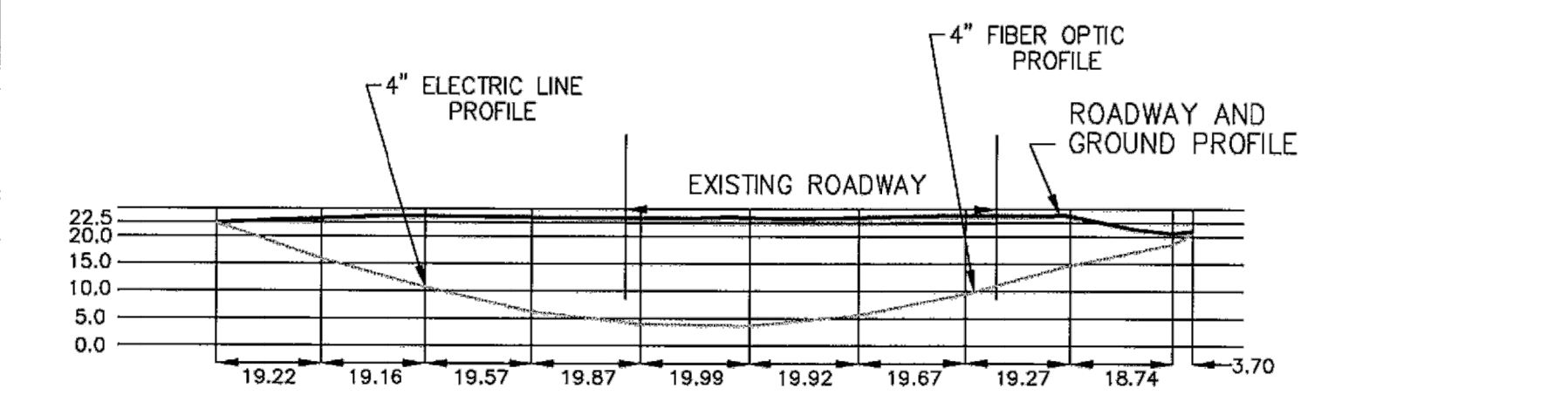
BORE LOG PROVIDED BY UTILITY SERVICES AUTHORITY



BORE LOG PROFILE#3

SCALE: 1"=30'

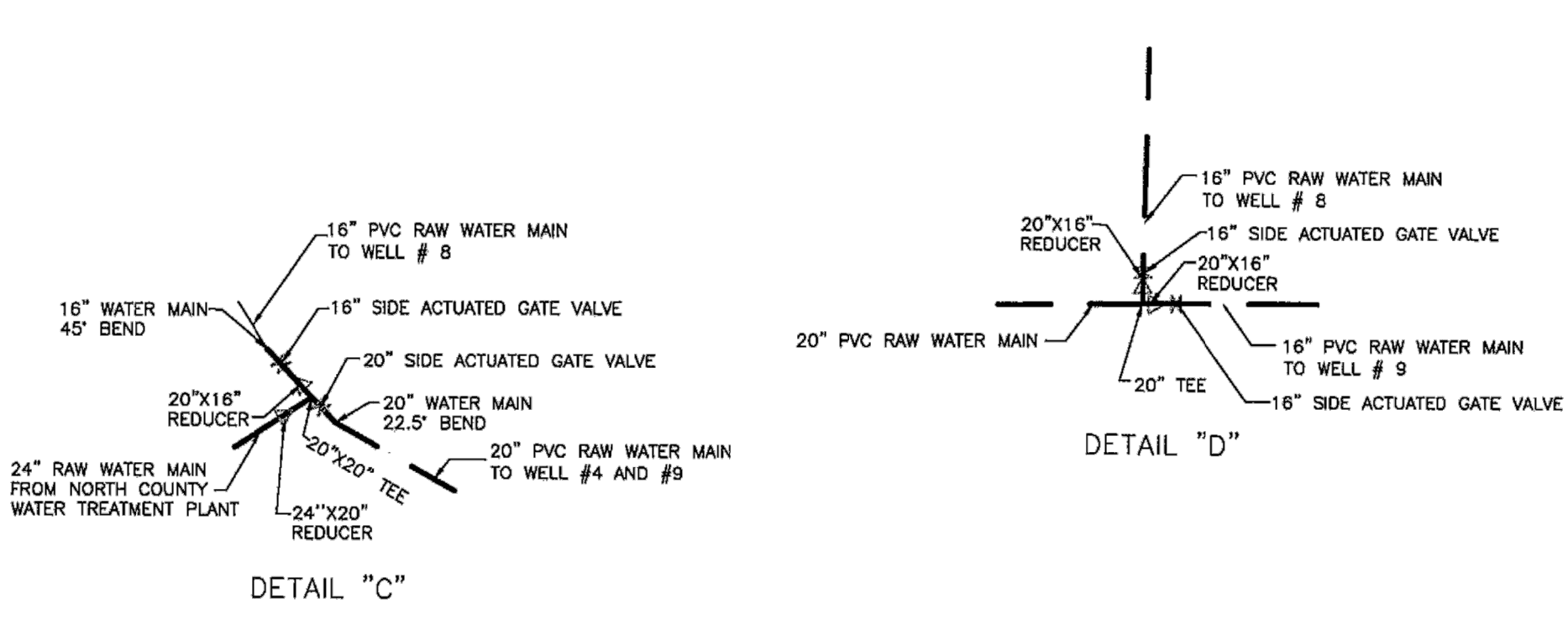
BORE LOG PROVIDED BY UTILITY SERVICES AUTHORITY



BORE LOG PROFILE#4

SCALE: 1"=30'

BORE LOG PROVIDED BY UTILITY SERVICES AUTHORITY



SURVEYOR'S NOTES

- This survey does not determine or indicate land ownership.
- The surveyor did not research or abstract the land records for rights-of-way, easements, reservations, deed restrictions, zoning regulations, setbacks, land use plan designations, adjoining deeds, liens, Murphy Act rights-of-way, areas of local concern, or other similar jurisdictional determinations. To the extent that this type of information is shown, it is shown solely on the basis of information provided by the client or information otherwise known to the surveyor and may not be complete.
- Underground utilities, building foundations, and other underground fixed improvements were not located, unless otherwise indicated. To the extent that this type of information is shown, it is shown solely on the basis of surface indications observed by the surveyor and may not be complete.
- Jurisdictional wetlands and endangered or threatened species habitat, if any, that may exist on or around the survey site were not determined or located.
- The survey date is the field date shown in the title block, not the signature date.
- This survey map or the copies thereof are not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
- The survey site appears to lie in flood zone X & "AE-22.00", according to the Federal Emergency Management Agency flood insurance rate map number 120061C0087E, dated May 4, 1989.
- Bearings are based upon grid bearing (Florida East Zone) see monument table.

GPS CONTROL MONUMENT DATA TABLE DATUM = NAD83 (1999)

STATION ID	PUBLISHED NORTHING (Y)	PUBLISHED EASTING (X)	SCALE FACTOR	CONVERGENCE	LATITUDE (N)	LONGITUDE (W)
GPS 111	1238310.49	835468.51	0.99997803	+ 0 15 28.8	27 44 21.28992	080 26 44.46930
GPS 112	1236314.46	835435.67	0.99997802	+ 0 15 28.5	27 44 01.52667	080 26 44.93475

ABBREVIATED DESCRIPTION OF MONUMENT LOCATION

GPS 111	CONCRETE MONUMENT LOCATED 23.5 FEET WEST OF THE CENTERLINE OF 58TH STREET AT THE INTERSECTION OF NORTH FAIRGROUND ENTRANCE, STAMPED "GPS 111"
GPS 112	CONCRETE MONUMENT LOCATED 37.0 FEET SOUTH OF THE CENTERLINE OF 77TH STREET AND 22.2 FEET WEST OF 58TH AVENUE, STAMPED "GPS 112"

SURVEYOR'S SIGNATURE

[Signature]

MATTHEW CROWLEY
PROFESSIONAL SURVEYOR AND MAPPER #6598
STATE OF FLORIDA

AS-BUILT

REVISED: IRC COMMENTS - 9/13/11
REVISED: BORE LOGS (WATER) - 5/9/11

MAP OF RECORD SURVEY

SHEET 2 OF 2

SEMINOLE LAND SURVEYING, INC.
PROFESSIONAL SURVEYING AND MAPPING
LB #7579

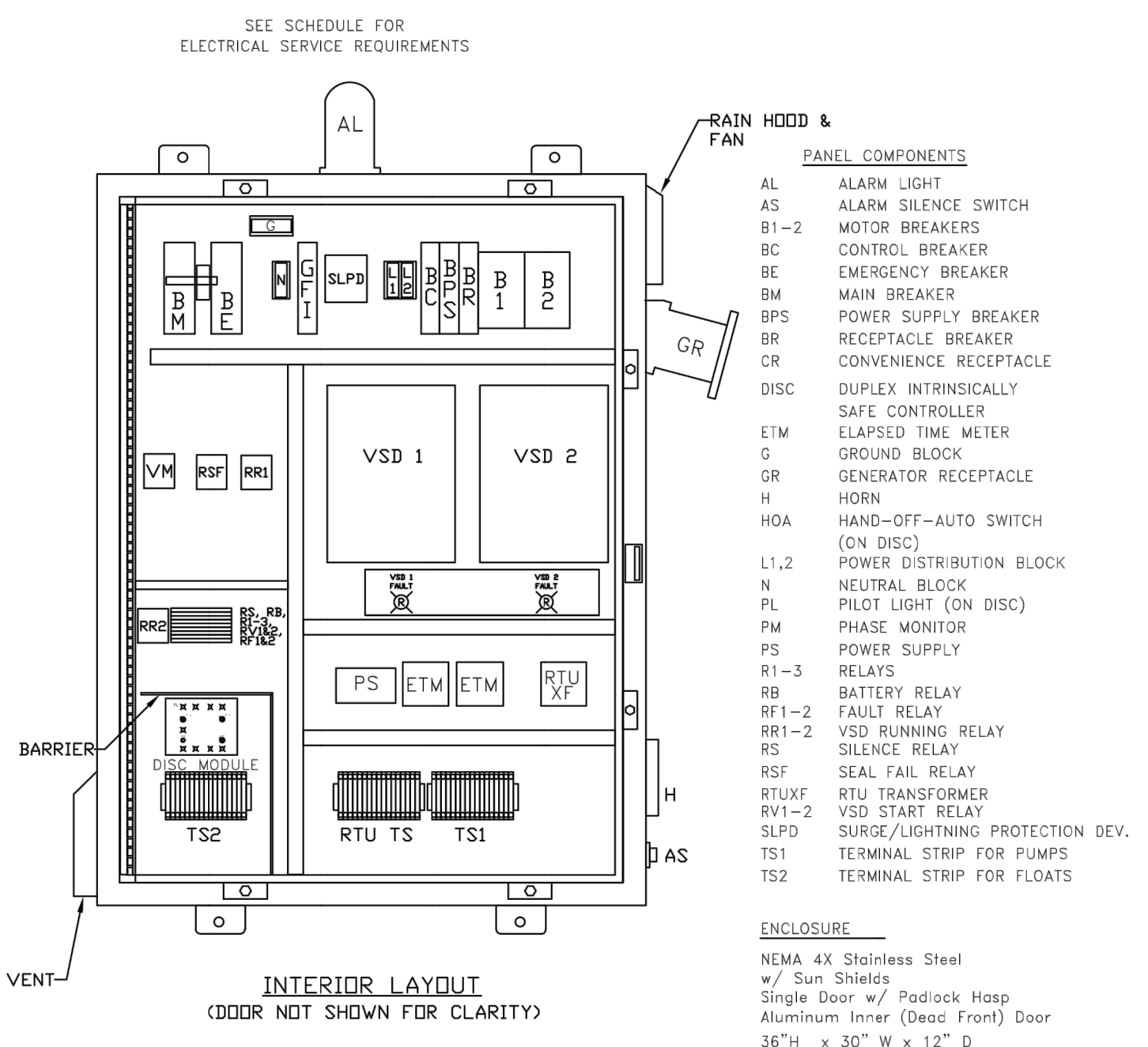
7803 North Blvd., Fort Pierce, FL 34951
Phone (772) 567-5775
Fax (772) 567-5785

JOB # TR-101
DRAWN D.W.T.
SCALE 1"=100'
FIELD BOOK SLS 2
PAGE(S) 20
FIELD DATE 12/2/10

UCP 2422

CONTROL CENTER DESIGNED & MANUFACTURED TO MEET ALL D.E.P. REQUIREMENTS

MOPS CONTROL CENTER



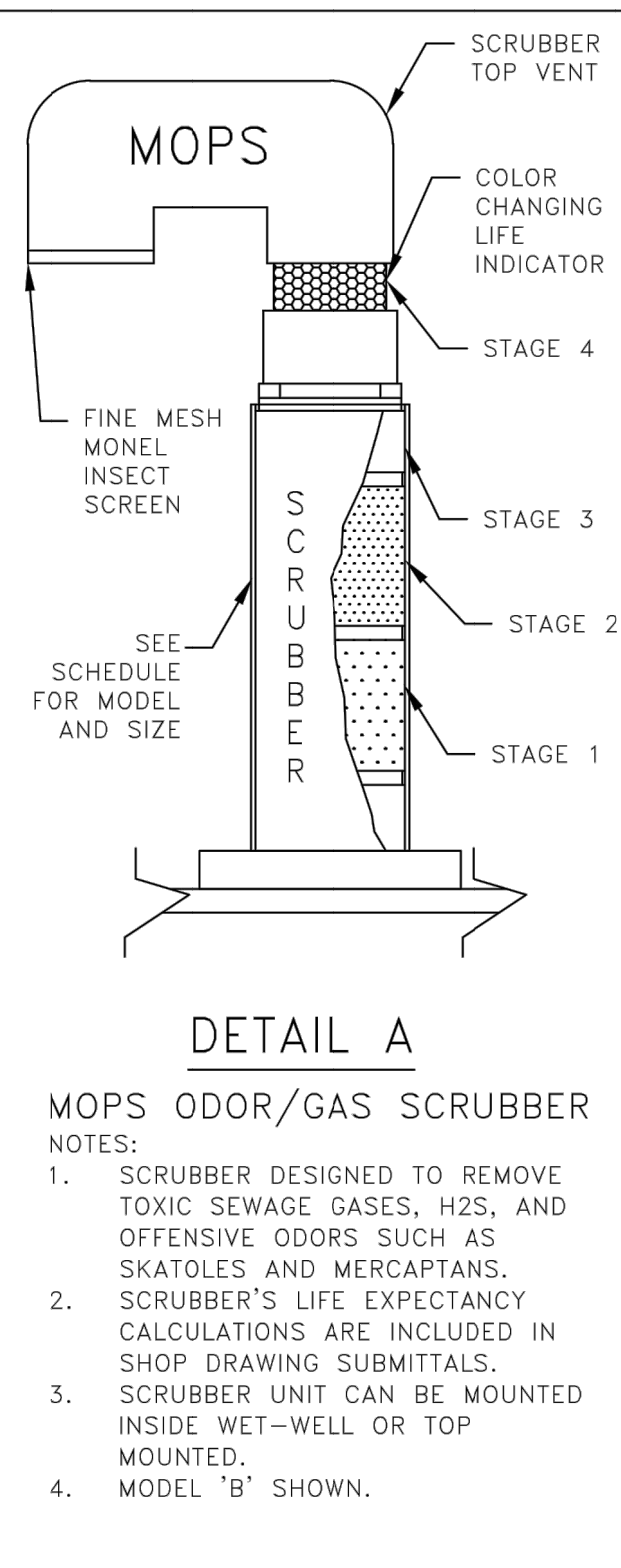
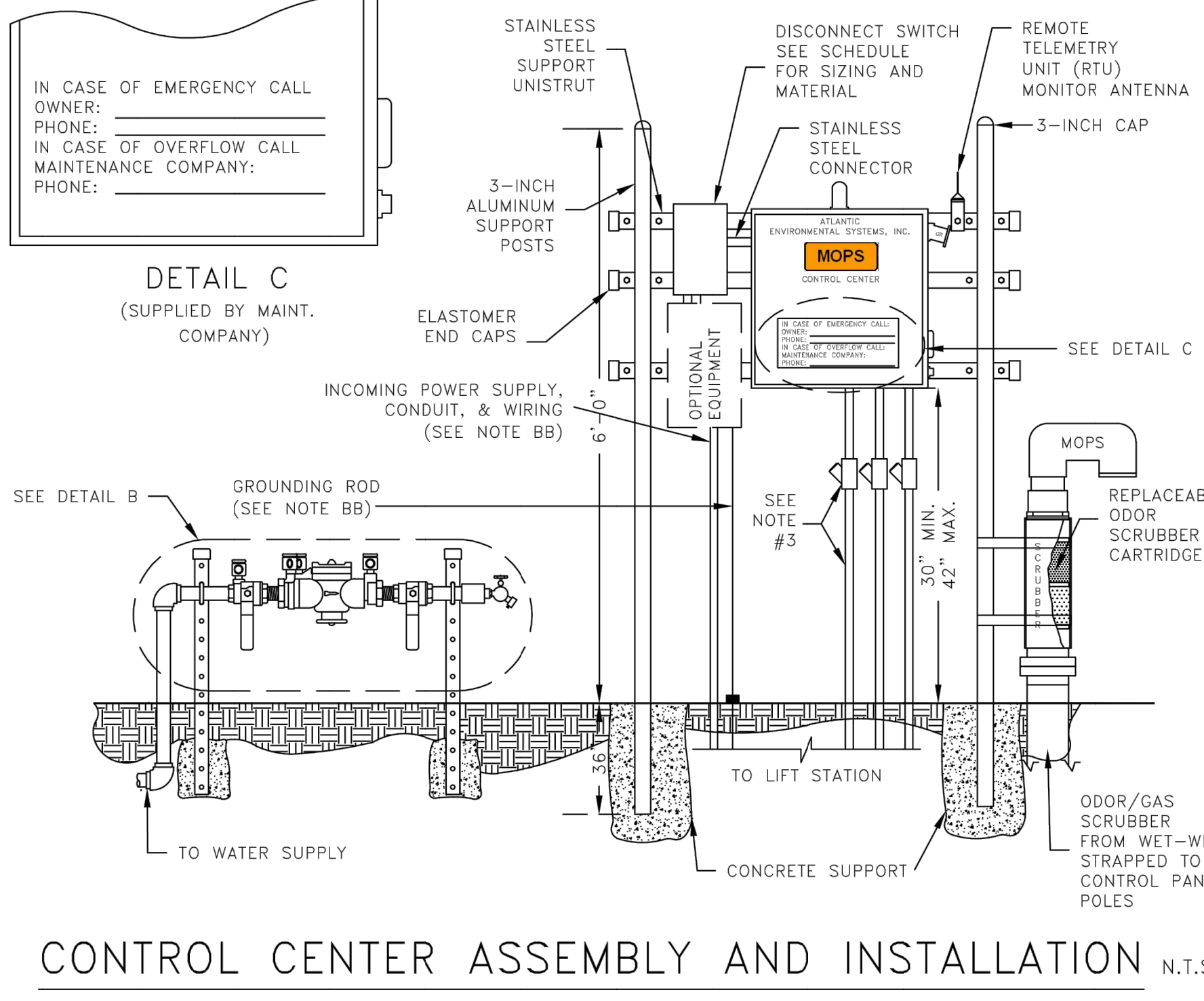
TS1 TERMINAL SCHEDULE

RTU TERMINALS (IF USED)	PUMP SEAL FAIL	MOTOR LEADS	MT1 MOTOR 1	C N D	MOTOR 2 LEADS	MT2 MOTOR 2	C N D
1	2	3	4	5	6	7	8

JUMPERS

1	2	3	4	5	6	7	8
ALL OFF	CALL LEAD	CALL LAG	CALL ALARM	CALL HIGH	CALL ALARM	CALL HIGH	CALL ALARM

TS2 TERMINAL SCHEDULE



MOPS PRIVATE SERIES

MANUFACTURED ODORLESS PUMP STATION
ATLANTIC ENVIRONMENTAL SYSTEMS, INC.
LAKE WORTH, FL 33461
PH: (561) 547-8080 FAX: (561) 547-3999 © 2000

THIS DRAWING AND THE DESIGN CONTAINED HEREIN IS PROPRIETARY AND IS AND SHALL REMAIN THE PROPERTY OF ATLANTIC ENVIRONMENTAL SYSTEMS, INC. THIS DRAWING AND DESIGN SHOULD BE USED ONLY FOR THE PURPOSE FOR WHICH IT IS INTENDED, AND ONLY WITH WRITTEN AUTHORIZATION FROM ATLANTIC ENVIRONMENTAL SYSTEMS, INC. ANY REPRODUCTION, IN WHOLE OR IN PART, MUST CLEARLY SHOW THE ATLANTIC ENVIRONMENTAL NAME AND ADDRESS IN THE REPRODUCTION.

MOPS PUMP STATION SCHEDULE

MOPS SERIES	ITEM DESCRIPTION	QTY.	MODEL DESIGNATION
INITIAL DESIGN FLOW (G.P.M.)	100 YEAR FLOOD ELEVATION	24	21.00'
INITIAL DESIGN HEAD (T.D.H.)	25 YEAR FLOOD ELEVATION	55'	<21.00'
SECONDARY DESIGN FLOW (G.P.M.)	A GRADE ELEVATION	35	22.00'
SECONDARY DESIGN HEAD (T.D.H.)	B TOP ELEVATION OF WET WELL	20'	22.00'
RATED PERFORMANCE SPEED	C BOTTOM ELEVATION OF WET WELL	3450 RPM	12.00'
RATED MOTOR HORSEPOWER	D ALL PUMPS OFF ELEVATION	4.0	14.00'
SUBMERSIBLE PUMP TYPE (P-1,P-2)	E LEAD PUMP ON ELEVATION	GRINDER	15.00'
PUMP MODEL NUMBER	F LAG PUMP ON ELEVATION	MOPS	15.50'
SERVICE ENTRANCE VOLTAGE	G HIGH ALARM ELEVATION	230	16.00'
SERVICE ENTRANCE PHASE	H INSIDE DIAMETER OF WET-WELL	1	48"
CONTROL CENTER FULL LOAD AMPS	I OUTSIDE DIAMETER OF ANTI-FLOATATION RING	53	84"
NEMA 3R PAINTED STEEL DISCONNECT SWITCH, RATED AMPS	J MINIMUM CUBIC FEET OF CONCRETE BALLAST (CU YDS)	60	000/(0)
WET WELL SCOURER SYSTEM	K INVERT PIPE DIAMETER	N/A	4"
REMOTE STATION MONITOR (TELEMETRY)	L FORCE MAIN DIAMETER	N/A	2"
ON-SITE GENERATOR SYSTEM	M PRIMARY INVERT ELEVATION	N/A	16.94'
	N SECONDARY INVERT ELEVATION	N/A	N/A

MOPS EQUIPMENT IDENTIFICATION	QTY.	MODEL DESIGNATION
MOPS PUMP STATION	1	B22-48120-B-4.0
MOPS VALVE BOX ASSEMBLY (VBA)	1	VBA-22
MOPS ODOR/GAS SCRUBBER (OGS)	1	OGS-B
MOPS R.P.Z. ASSEMBLY	1	75
MOPS CONTROL CENTER	1	PSC-221-4-0-1
MOPS DISCONNECT SWITCH	1	FDS-60-1-2-PS
MOPS CONTROL CENTER MOUNTING ASSEMBLY	1	CCMA-32AL
MOPS WET WELL SCOURER SYSTEM	0	N/A
MOPS REMOTE STATION MONITOR	0	N/A
1st YEAR SERVICE/MAINTENANCE CONTRACT	0	N/A
MOPS ON-SITE GENERATOR SYSTEM	0	N/A
MOPS FIELD SERVICE WORK	1	CONTROL INSTALLATION & START-UP

MOPS PUMP STATION COMPLIANCE NOTES:

- THIS PUMP STATION DESIGN COMPLIES WITH THE FOLLOWING REQUIRED STANDARDS:
- STATE OF FLORIDA ENVIRONMENTAL PROTECTION STANDARDS
 - FLORIDA ADMINISTRATIVE CODE (F.A.C.): 62-640.400- COLLECTION AND TRANSMISSION SYSTEMS
 - NATIONAL ELECTRIC CODE (NEC) CLASS 1, DIVISION 1, GROUP D- HAZARDOUS LOCATIONS
 - UNDERWRITER'S LABORATORIES (U.L.) 508A-MOTOR CONTROL CENTERS AND U.L. 698A-INSTRINSICALLY SAFE CONTROL CENTERS
 - RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES (2014 EDITION).
- PUMPS ARE RATED BY FACTORY MUTUAL FOR CLASS 1, DIVISION 1, GROUP D ATMOSPHERES AS REQUIRED BY NEC.
 - THE CONTROL CENTER INCORPORATES INTRINSICALLY SAFE RELAYS AND IS LISTED TO UL 698A INTRINSICALLY SAFE FOR CLASS 1, DIVISION 1 ATMOSPHERES.
 - THE CONDUIT PROVIDED, ALONG WITH CONDUIT GAS-SEAL-OFFS, ARE RATED FOR CLASS 1, DIVISION 1 LOCATIONS.
 - THE WASTEWATER PUMPS AND THE CONTROL CENTER INCORPORATE A MECHANICAL SEAL FAILURE DETECTION AND NOTIFICATION SYSTEM.
 - THE CONTROL CENTER INCLUDES EITHER A REMOTE TELEMETRY UNIT (RTU) OR A SELF-CHARGING, BACK-UP ALARM SYSTEM TO OPERATE ON POWER FAILURE.
 - THE PUMP STATION INCORPORATES AN ODORLESS DESIGN WITH A SCRUBBER SYSTEM TO CONTROL TOXIC GASES AND ODORS FOR COMPLIANCE TO F.A.C. 62-604.400.
 - THE BOTTOM OF THE TOP RIM ELEVATION OF PUMP STATION MUST BE LOCATED AT A HIGHER ELEVATION THAN THE 25 YEAR FLOOD ELEVATION. THE LISTED 25 YEAR FLOOD ELEVATION PROVIDED BY SITE CIVIL ENGINEER.
 - THE BOTTOM ELEVATION OF THE MOPS CONTROL CENTER MUST BE LOCATED AT A HIGHER ELEVATION THAN THE 100 YEAR FLOOD ELEVATION. THE LISTED 100 YEAR FLOOD ELEVATION PROVIDED BY THE SITE CIVIL ENGINEER.

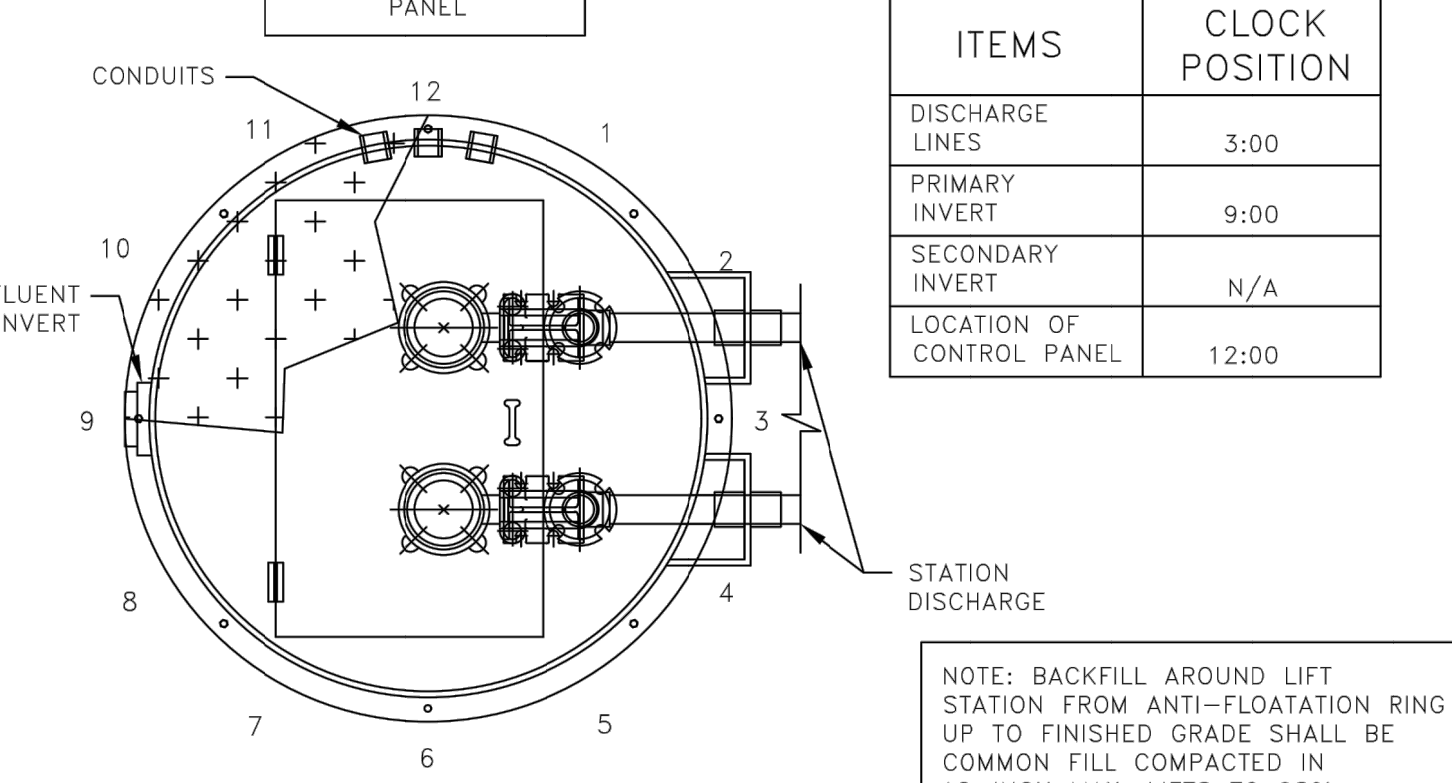
MOPS ENGINEERING NOTES:

- THE HORSEPOWER SHOWN ON THE SCHEDULE IS A MINIMUM HORSEPOWER REQUIREMENT BASED ON THE STATION'S DESIGN CRITERIA AND THE REQUIRE TORQUE. (LOWER RATED HORSEPOWER EQUIPMENT WILL NOT BE ACCEPTABLE.)
 - THESE ITEMS ARE NOT SUPPLIED BY A.E.S. WITH THE MOPS STATION.
 - INVERT ELEVATIONS BASED ON INSIDE BOTTOM OF PIPE.
 - THE MOPS CONTROL ASSEMBLY CONSISTS OF THE FOLLOWING: CONTROL CENTER DISCONNECT SWITCH, MOUNTING ASSEMBLY, ELECTRICAL CONDUITS, AND SEAL-OFF. THESE ITEMS MUST BE SUPPLIED AND INSTALLED BY THE MOPS PUMP STATION MANUFACTURER TO VALIDATE MOPS WARRANTY PROGRAM.
 - FOR STATIONS IN MIAMI-DADE COUNTY, THE MOPS PUMP STATION IS SUPPLIED WITH A REMOTE TELEMETRY MONITORING UNIT AND A.E.S. MAINTENANCE SERVICE. THE R.T.U. ALLOWS FOR MONITORING OF LAG ALARM, HIGH ALARM, AND POWER FAILURE PER CHAPTER 24.42.2(5). THE R.T.U. IS EQUIPPED WITH A BATTERY BACK UP AND IS INSTALLED ABOVE THE 100 YEAR FLOOD ELEVATION.
- THE MOPS WASTEWATER PUMP STATION DESIGN AND EQUIPMENT SHOWN ON THIS DRAWING HAS BEEN REVIEWED, PERMITTED, AND CERTIFIED AS COMPLYING WITH ALL THE STATE OF FLORIDA D.E.P. AND LOCAL REQUIREMENTS. ANY SUBSTITUTION FROM THIS DESIGN MAY REQUIRE NEW PERMITS, APPLICATION FEES, AND ENGINEERING SERVICES FOR RE-CERTIFICATION AND DESIGN REVIEW.

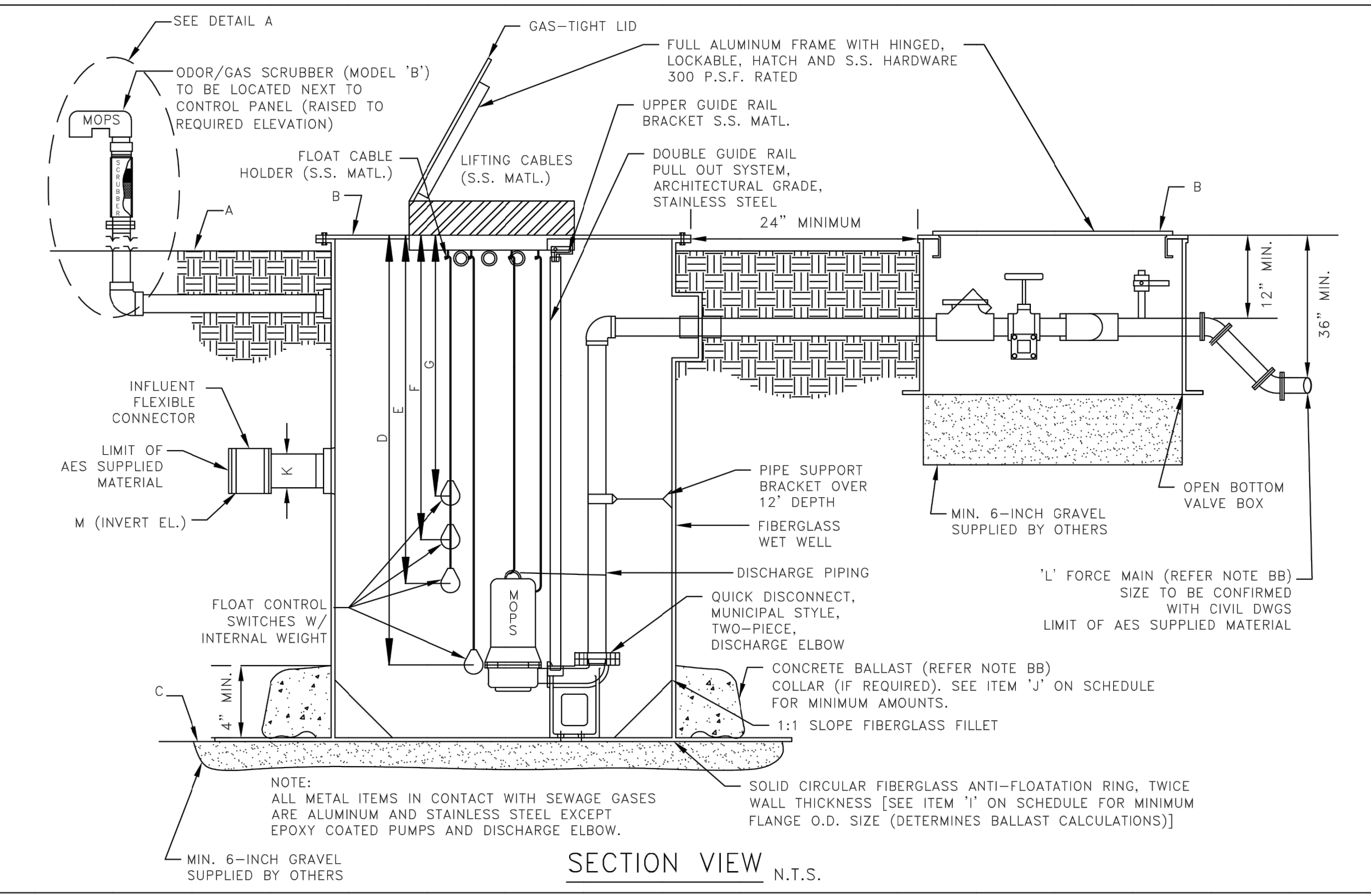
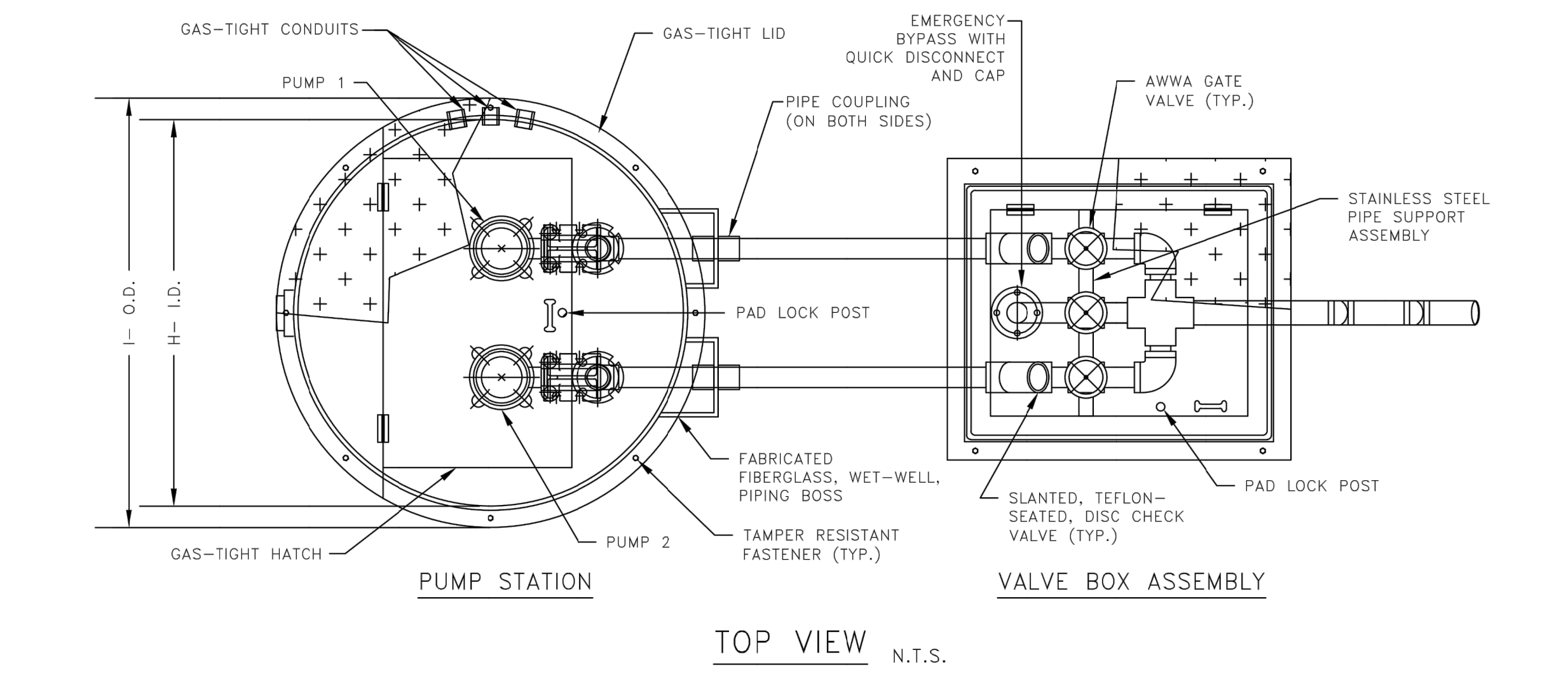
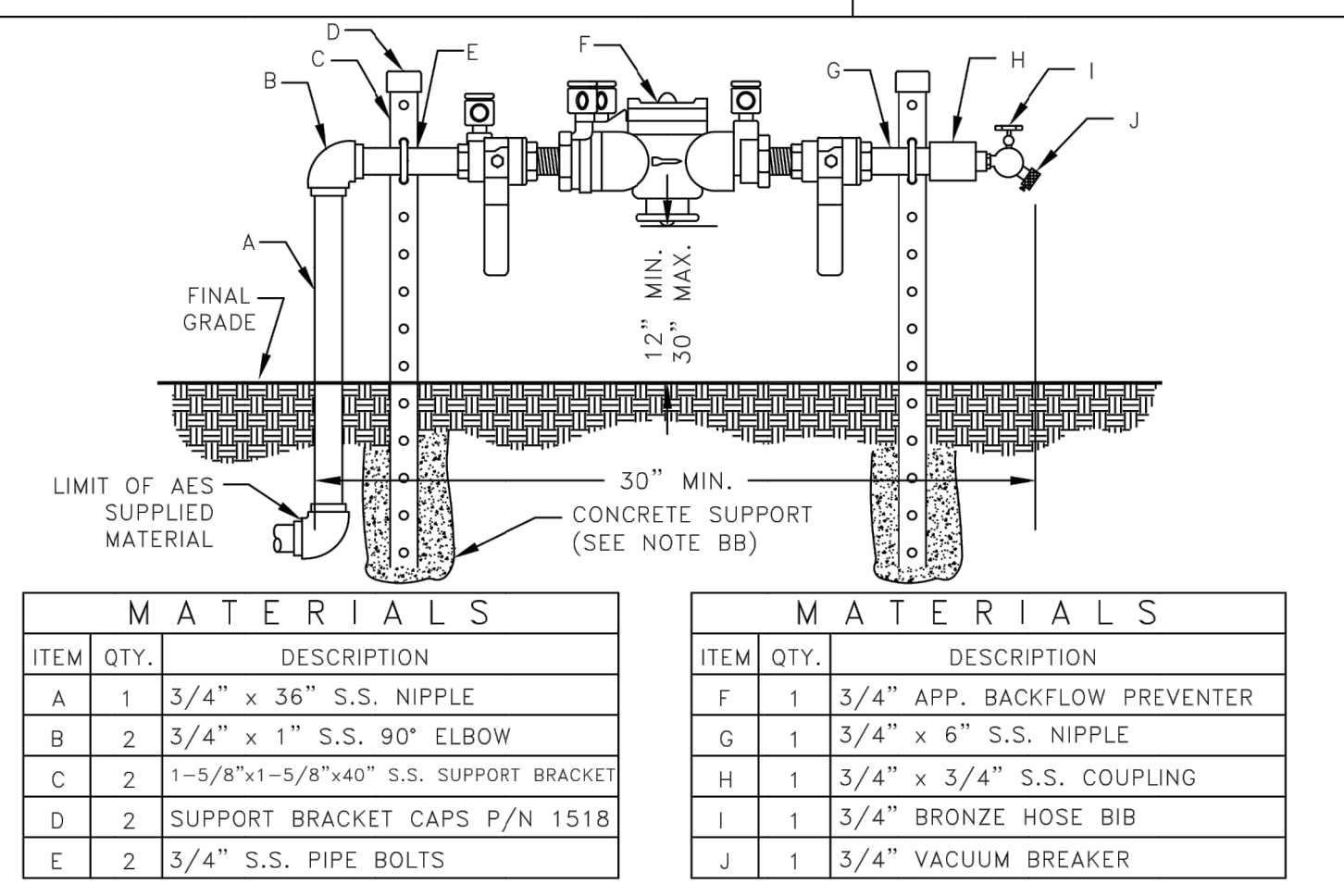
P.E. CERTIFICATION:

Bonnie McLeod, P.E., Lic # 70797 V.P. of Engineering
Atlantic Environmental Systems, Inc., Certificate # 26398
2244 4th Ave. North, Lake Worth, Florida 33461
Ph: 561-547-8080 Fax: 561-547-3999

HUB AND INVERT LOCATION



SCHEMATIC BASED ON THE STATION'S DISCHARGE BEING LOCATED AT THE #3 CLOCK POSITION. SEE SCHEDULE FOR LOCATION OF INVERTS AND CONTROL PANEL. LOCATIONS SUBJECT TO CHANGE.



DATE	---/---/---
REVISION	---/---/---

HOBART PARK
KIMLEY-HORN AND ASSOCIATES
445 24TH STREET, SUITE 200, VERO BEACH, FL 32960

Project: _____
Prepared For: _____

Project No: 1518
Date: 11/30/2022

Page No: LS-1