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SECTION 01000 - GENERAL REQUIREMENTS

- Bidding and Contract Requirements:
 - Refer to AIA Document A201, General Conditions of the Contract for Construction, 2017 Edition.
 - All Construction is to comply with the minimum standards of most current edition of the International Building and Energy Code and the Texas Department of Licensing & Regulation and any other codes adopted within a jurisdiction of the project.
 - Existing Conditions: The Subcontractor is responsible for verifying all existing conditions on the site or associated with the site and any existing construction on the site. No adjustments in the Contract will be allowed for discrepancies between the Contract Documents and actual conditions which could have been readily verified by the Subcontractor.

1.2 WORK UNDER OTHER CONTRACTS

- Separate Contract: Cooperate fully with separate Contractors hired for work by Owner. Work contracted by Owner includes:
 - Communications/Data/Cabling/TV/Telephone
 - Security System
 - Kitchen Appliances
 - Fire Extinguishers: Fire extinguisher cabinets are included in this contract
 - Refinish and installation of benches

2.1 INSURANCE REQUIREMENTS

- INSURANCE: The insurance requirements are available for review at the Office of the Architect and General Contractor. Liability: REVIEW this to be true
 - \$1,000,000 each occurrence
 - \$100,000 Damage to Rented Premises (each occurrence)
 - \$10,000 Med Expenses (Any one person)
 - \$1,000,000 Personal & Adv Injury
 - \$2,000,000 General Aggregate
 - \$2,000,000 Products-Completed Operations Aggregate
 - Automobile Liability:

- \$1,000,000 Combined Single Limit (each accident)
- \$1,000,000 Uninsured motorist combined
- Worker's Compensation:
 - \$1,000,000 E.L. Each Accident
 - \$1,000,000 E.L. Disease - Each Employee
 - \$1,000,000 E.L. Disease - Policy Limit
- The Owner, Architect and General Contractor shall be listed as "Addition Insured" to all policies.
 - Subcontractor waives all rights against Contractor, Owner and their agents, officers, directors and employees for recovery of damages to the extent these damages are covered by the CGL insurance obtained by Subcontractor pursuant to this paragraph.
 - Contractor and Owner shall be included as insureds under the CGL policy for liability arising out of Subcontractor's work performed under this Subcontract, including products-completed operations coverage for a period of ten years following substantial completion. Such coverage shall be written on forms CG 20 10 10 01 and CG 20 37 10 01, or a substitute endorsement providing "equivalent" coverage. For purposes of this additional insured requirement, "equivalent" coverage means coverage for liability arising out of Subcontractor's work performed for Contractor. The insurance shall apply as primary and non-contributory insurance with respect to any other insurance or self-insurance programs maintained by Contractor and Owner. Subcontractor shall provide waiver of subrogation on CGL. A copy of the Additional Insured Endorsement shall be attached to the certificate of insurance provided to the Contractor for approval.

3.1 SUBMITTAL PROCEDURES

- Refer Section 01330 - Submittals are required on ALL products.

END OF SECTION 01000

SECTION 01230 - ALTERNATES

1.1 DEFINITIONS

- Alternate: An amount proposed by Contractor or Subcontractor for certain work that may be added to or deducted from the Base Bid amount if Owner decides to accept the corresponding change.

1.2 PROCEDURES

- Coordination: Modify or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation.
- ALTERNATES Describe in detail here each Alternate - coordinate carefully with Drawings.
 - Alternate #1: Provide Merazzi San Savino tile in the Party Room. Base bid includes painted concrete.
 - Alternate #2: Exterior free-standing column shower. Base bid includes two (2) exterior wall mounted showers.
 - Alternate #3: Additional site concrete between the pool deck and the base concrete. Base bid includes grass at this location.

END OF SECTION 01230 **Plan Sheet A2.1 - Concrete Demo Plan - should be bid as Alternate #4**

SECTION 01310 - PROJECT MANAGEMENT AND COORDINATION

1.1 SUMMARY

- General Project coordination procedures.
 - Project meetings.
 - Request for Information (RFI's)
 - Applications for Payment
- ##### 1.2 COORDINATION
- Schedule construction operations in sequence required to obtain the best results where installation of one part of the Work depends on installation of other components, before or after its own installation.
 - Coordinate installation of different components with other contractors to ensure maximum accessibility for required maintenance, service, and repair.
 - Make adequate provisions to accommodate items scheduled for later installation.

1.3 PROJECT MEETINGS

- General Contractor: Schedule and conduct monthly progress meetings and conferences at Project site, unless otherwise indicated, with the architect, owner and any pertinent subcontractors.
- Preconstruction Conference: Schedule an on-site preconstruction conference before starting construction, at a time convenient to Owner and Architect.
 - Agenda: Discuss all items of significance that could affect progress, including the following:
 - Tentative construction schedule, phasing, critical work sequencing, procedures for processing field decisions and change Orders, procedures for processing Applications for Payment, submittal procedures, preparation of Record Documents, use of the premises, responsibility for temporary facilities and controls, parking availability, progress cleaning, working hours.

1.4 REQUESTS FOR INFORMATION (RFIs)

- Procedure: RFIs shall originate with the General Contractor.
- Content of the RFI: Include a detailed, legible description of item needing interpretation and the following: Project name, date and name of Contractor, RFI number, numbered sequentially, specification Section number and title and related paragraphs, as appropriate, drawing number and detail references, as appropriate, field dimensions and conditions, as appropriate, contractor's suggested solution(s). If Contractor's solution(s) impact the Contract Time or the Contract Sum, Contractor shall state impact in the RFI, contractor's signature, attachments: Include drawings, descriptions, measurements, photos, Product Data, Shop Drawings, and other information necessary to fully describe items needing information.

- Architect's Action: Architect will review each RFI, determine action required, and return it. Allow seven working days for Architect's response for each RFI.

1.5 APPLICATIONS FOR PAYMENT

A.Payment Application Times: Progress payments shall be submitted to Architect by the 25th day of the month. The period covered by each Application for Payment is one month, ending on the last day of the month.

B.Payment Application Forms: Use AIA Document G702 and AIA Document G703 Continuation Sheets as form for Applications for Payment.

C.Application Preparation: Complete every entry on form. Notarize and execute by a person authorized to sign legal documents on behalf of Contractor. Architect will return incomplete applications without action. Include amounts of Change Orders and Construction Change Directives issued before last day of construction period covered by application.

D.Transmittal: Submit three (3) signed and notarized original copies of each Application for Payment to Architect.

E.Final Payment Application: Submit final Application for Payment with releases and supporting documentation not previously submitted and accepted. Include AIA Document G706, "Contractor's Affidavit of Payment of Debts and Claims," G706A, "Contractor's Affidavit of Release of Liens" and G707, "Consent of Surety to Final Payment."

END OF SECTION 01310

SECTION 01330 - SUBMITTAL PROCEDURES AND REQUIRED SUBMITTALS

- SHOP DRAWINGS AND PRODUCT DATA
 - Submit the number of reproductions Contractor requires. Additionally, provide the complete shop drawing in electronic form for review and mark-up.
 - Mark each copy to identify applicable products, models, options, and other data. Supplement manufacturer's standard data to provide information unique to this Project.
 - Identify variations from Contract Documents and Product or system limitations which may be detrimental to successful performance of the completed Work.
 - Submit samples to illustrate functional and aesthetic characteristics of the Product, with integral parts and attachment devices. Coordinate sample submittals for interfacing work.
 - Submit manufacturers' printed instructions for delivery, storage, assembly, installation, start-up, adjusting, and finishing, in quantities specified for Product Data.
 - Submit MSDS Sheets and Product Data Sheets for closeout documents.
- REQUIRED SUBMITTALS
 - Submittals are required for each product type, accessory item and component specified.

END OF SECTION 01330

SECTION 01400 - QUALITY REQUIREMENTS

- QUALITY ASSURANCE - CONTROL OF INSTALLATION
 - Comply with manufacturers' instructions, including each step in the sequence.
 - Should manufacturers' instructions conflict with Contract Documents, request clarification from Architect before proceeding.
- REFERENCES
 - For Products or workmanship specified by association, trade, or other consensus standards, comply with requirements of the standard, except when more rigid requirements are specified or are required by applicable code.
 - Refer to manufacturer's recommendations on cleaning, installation and all other aspects for each product used.

END OF SECTION 01400

SECTION 01500 - TEMPORARY FACILITIES AND CONTROLS

1.1 SECTION INCLUDES

- Temporary Utilities: Electricity, lighting, heat, ventilation, telephone service, water, and sanitary facilities.
- Temporary Controls: Barriers, enclosures and fencing, protection of the Work, and water control.
- Construction Facilities: Access roads, parking, progress cleaning, project signage, and temporary buildings.

1.2 TEMPORARY SERVICES

- Owner to provide and pay for power service required for construction, system start up and to operate the building until time of Substantial Completion.
- Provide and maintain lighting for construction operations.
- Provide and pay for heating devices and heat as needed to maintain specified conditions for construction operations.
- Ventilate enclosed areas to assist cure of materials, to dissipate humidity, and to prevent accumulation of dust, fumes, vapors, or gases.
- Owner to provide water for all construction activities.
- Provide and maintain temporary toilets, wash facilities and drinking water for the use of construction personnel.

1.3 PARKING

- Arrange for temporary parking areas to accommodate construction personnel.
- Do not allow vehicle parking under existing tree drip lines.
- Protect paving from damage and staining.
- PROGRESS CLEANING AND WASTE REMOVAL
 - Maintain areas free of waste materials, debris, and rubbish. Maintain site in a clean and orderly condition.
 - Remove debris and rubbish from pipe chases, plenums, attics, crawl spaces, and other closed or remote spaces, prior to enclosing the space.
 - Broom, mop and vacuum clean interior areas prior to start of surface finishing and continue cleaning to eliminate dust.
 - Collect and remove waste materials, debris, and rubbish from site daily and dispose in a timely manner.

END OF SECTION 01500

SECTION 01700 - EXECUTION REQUIREMENTS

- SUMMARY - GENERAL PROCEDURAL REQUIREMENTS
 - Construction layout.
 - Field engineering and surveying.
 - General installation of products.

- Starting and adjusting.
- Protection of installed construction.
- Correction of the Work.

2.1 EXAMINATION

A.Existing Conditions & Utilities: The existence and location of site improvements, utilities, and other construction indicated as existing are not guaranteed. Before construction, verify the location and points of connection of utility services.

2.2 CONSTRUCTION LAYOUT

A.Verification: Before proceeding to lay out the Work, verify layout information shown on Drawings, in relation to the property survey and existing benchmarks. If discrepancies are discovered, notify Architect promptly.

2.3 FIELD ENGINEERING

A.Reference Points: Locate existing permanent benchmarks, control points, and similar reference points before beginning the Work. Preserve and protect permanent benchmarks and control points during construction operations.

1. RECORD BENCHMARK LOCATIONS, WITH HORIZONTAL AND VERTICAL DATA, ON PROJECT RECORD DOCUMENTS.

3.1 INSTALLATION

A.Comply with manufacturer's written instructions and recommendations for installing products in applications indicated.

3.2 STARTING AND ADJUSTING

- Start equipment and operating components to confirm proper operation. Remove malfunctioning units, replace with new units, and retest.
- Adjust operating components for proper operation.
- Test each piece of equipment to verify proper operation. Test and adjust controls and safeties. Replace damaged and malfunctioning controls and equipment.

3.3 PROTECTION OF INSTALLED CONSTRUCTION

- Provide final protection and maintain conditions that ensure installed Work is without damage or deterioration at time of Substantial Completion.
- Comply with manufacturer's written instructions for temperature and relative humidity.
- Repair or remove and replace defective construction. Restore damaged substrates and finishes.

END OF SECTION 01700

SECTION 01770 - CLOSEOUT PROCEDURES

1.1 SUMMARY

- This Section includes administrative and procedural requirements for contract closeout, including, but not limited to, the following:
 - Inspection procedures, Project Record Documents, Operation and Maintenance Manuals, MSDS Sheets, Product Data, Warranties, Instructions to Owner, Final cleaning.
- SUBSTANTIAL COMPLETION
 - Preliminary Procedures: Before requesting inspection for determining date of Substantial Completion, complete the following.
 - Prepare a list of items to be completed and corrected (punch list), the value of items on the list, and reasons why the Work is not complete.
 - PROJECT RECORD DOCUMENTS
 - Mark Record Prints to show the actual installation of all items. Give particular attention to information on concealed elements that cannot be readily identified and recorded later.

1.4 OPERATION AND MAINTENANCE MANUALS

A.Assemble a complete set of operation and maintenance data indicating the operation and maintenance of each system. Include manufacturer's information, list of spare parts, maintenance procedures, maintenance and service schedules for preventive and routine maintenance, and copies of warranties and bonds. Place all materials in a notebook and provide a PDF copy of all the notebook contents.

3.1 FINAL CLEANING

- General: Provide final cleaning. Broom, mop and vacuum clean interior areas.
- Clean all surfaces.
- Remove all tape, labels, markings and grime.
- Clean the exterior of the building. Clean the roof, gutters, walls, glass, paving and other surfaces.
- Collect and remove waste materials, debris, and rubbish from site daily and dispose in a timely manner.
- Conduct cleaning and waste-removal operations to comply with local laws and ordinances and Federal and local environmental and antipollution regulations.

3.2 PROJECT CLOSEOUT

A.Provide record drawings, maintenance instructions and all warranty materials, proof of payment of suppliers and subcontractors and that certification that no asbestos containing materials were used in the work including MSDS sheets for all products used. **Provide one bound copy and one electronic copy of the entire close out documents listed.**

END OF SECTION 01770

DIVISION 2 - DEMOLITION & SITE WORK

SECTION 02070 - SELECTIVE DEMOLITION

1.1 SECTION INCLUDES

- Project Record Documents: Accurately record actual locations of capped utilities, subsurface obstructions, and other underground/concealed information.
- Conduct demolition to minimize interference with adjacent and occupied building areas.

2.1 EXECUTION

- Coordinate demolition activities to least disturb the occupants of the building.
- Erect and maintain temporary partitions to prevent spread of dust, odors, and noise.
- Protect existing materials and equipment which are not to be demolished.
- Carefully cut all materials to be removed. Breaking or busting materials, without careful delineation is not acceptable.

- Prevent movement of structure; provide bracing and shoring.
- Disconnect, remove, cap, and identify designated utilities within demolition areas.

END OF SECTION 02070

SECTION 02110 - SITE CLEARING

3.1 GENERAL

A.The Contractor shall make every effort to protect all lawns, trees, plants, and shrubs encountered during construction outside of the limits of construction. In all cases where questions arise, the Contractor shall request clarification from the Architect and Owner.

B.Power poles and guys, which interfere with construction, shall be braced and, if necessary, relocated by the utility company. The Contractor shall be responsible for coordinating all work with the utility companies.

C.Protect all property lines, monuments and stakes encountered in his work.

D.Exact locations and elevation of all utilities are not guaranteed and shall be determined in the field by the Contractor prior to construction.

3.2 SITE CLEARING

- General: Remove trees, shrubs, grass and other vegetation, improvements, or obstructions interfering with installation of new construction. Removal includes digging out stumps and roots.
- Strip topsoil to whatever depths encountered in a manner to prevent intermingling with underlying subsoil or other objectionable material. Stockpile topsoil in storage piles in areas shown, or where directed. Construct storage piles to freely drain surface water. Cover storage piles to prevent wind-blown dust.
- Protect all existing utilities or service lines crossed or exposed by construction operations.
- Remove all above grade and below grade utilities that are to be abandoned.
- Saw cutting of existing pavement and curbs and gutters as required for construction.

3.3 DISPOSAL

- Legally dispose of all material at a licensed site or with written and notarized permission from the property owner for a private disposal site.
- Burning of debris shall not be permitted.

END OF SECTION 02110

SECTION 02300 - EARTHWORK

1.1 SECTION INCLUDES

- Geotechnical recommendations supersede these designs if the requirements are greater.
- Backfilling and compaction to specified grades as per Plans and Specifications. Rock or Unforeseen Buried Material Excavation: MATERIALS - REFER TO SOILS REPORT
 - Select Fill: Select fill shall consist of homogenous sandy clay soils free of organic or other deleterious matter, have a maximum clod size less than 2 inches, have a liquid limit less than 35 and plasticity index between 4 and 15.
 - Prepare the subgrade in accordance with the recommendations discussed in the Soils Report entitled BUILDING SUBGRADE PREPARATION. Sites that slope more than about 15% should be benched with 5-foot wide benches prior to placing fill.
 - Place subsequent lifts of select fill in thin, loose layers not exceeding nine inches in thickness to the desired rough grade and compact to a minimum Standard Proctor Density of 95% of the maximum density defined by ASTM D698. Maintain moisture within range of optimum -1% to optimum +3%.
 - Prevent excessive loss of moisture during construction.
 - Top Soil: Fertile, natural topsoil, free from debris, clay and weeds. On-Site topsoil shall be spread and raked smooth to a minimum thickness of 2" in all areas requiring supplemental topsoil and within 30' of the building. Topsoil shall be minimum 7" below finish floor and shall slope away minimum 6" in first 5'. Any additional topsoil to be provided and spread by the Owner.
 - Grading: Grade earthwork to compliment the finish grades indicated.
 - Storm and Sanitary Piping, other mechanical/electrical trenching:
 - Cover pipe and bedding with Select Fill in 8-inch lifts, compacted to 95 percent.

END OF SECTION 02300

SECTION 02361 - TERMITE CONTROL

1.1 SECTION INCLUDES

- Soil treatment for termite control at interior and exterior foundation perimeter. Apply per manufacturer's instructions and recommended concentration.
 - Applicator: Company specializing in performing the work of this Section with minimum three years' experience and licensed by the State of Texas.
- WARRANTY
 - Provide five-year warranty in Owner's name signed by Applicator. Include coverage for damage and repairs to building and building contents caused by termites.

1.3 SUBMITTALS

- Data Sheets on proposed product and application instructions.
- Sample Warranty Form for review.

2.1 MATERIALS

- Manufacturers:
 - Control Solutions, Inc. - Bifen I/T
 - Ensyslex II, Inc. - Maxthor

DIVISION 8 - DOORS AND WINDOWS

SECTION 08110 - STEEL DOORS AND FRAMES

1.1 SECTION INCLUDES

A.Non-rated and fire rated thermally insulated steel doors and steel frames.

1.2 SUBMITTALS

A.Product Data: Indicate door configurations, location of cutouts for hardware reinforcement.
B.Shop Drawings: Indicate door elevations, internal reinforcement, closure method, and cutouts for glazing, louvers and finish.
C.Manufacturer's Installation Instructions: Indicate special installation instructions.
D.Manufacturer's Certificate: Certify that products meet or exceed specified requirements.

2.1 DOOR/FRAME MANUFACTURERS

A.Ceco Door Division of the Ceco Corporation, Regent - Longview supplier: E.T. Associates. MESKER Opening Approved.
B.Steelcraft, F-Series Flush Frames and L-Series Flush Doors - Felix Thomson.

2.2 DOOR CONSTRUCTION

A.Face: Steel sheet in accordance with ANS/SDI-100. 18 gauge at exterior, 20 gauge at interior, primed, full flush or with glass light options. "U" Factor of 0.50 or less. Refer Door Schedule. Exterior doors to be galvanized.
B.Steelcraft, F-Series Flush Frames and L-Series Flush Doors - Felix Thomson.

2.3 FRAME CONSTRUCTION

A.16 gauge, primed, welded and ground smooth. Frames to be manufactured to meet UL procedures and labeled with UL rating as required/scheduled. Provide 1/4" glass closure reinforcement at all doors with closures. Exterior doors to be galvanized.

2.4 ACCESSORIES

A.Door Stops: Type as recommended by manufacturer.
B.Door Silencers: Except on weather stripped frames, shop drill stops to receive 2 silencers on strike jambs of single-swing frames and 2 silencers on heads of double-swing frames.

C.Anchors: Provide the following anchors for conditions listed - coordinate for rated conditions:
1.Stud: Closed stud anchor - minimum 3 per jamb.
2.Masonry: Adjustable wire anchors in mortar filled frames - minimum 3 per jamb.
3.All conditions: Provide adjustable base anchor in all installations in addition to the jamb anchors listed above.

2.5 FINISH

A.Factory Finish: Primer - for field paint.
END OF SECTION 08110

SECTION 08259 - PRE-HUNG DOORS IN WOOD OR COMPOSITE FRAMES

1.1 SECTION INCLUDES

A.Interior Fiberglass doors with no-rot frames and hinges per the Door Schedule.

1.2 SUBMITTALS

A.Product Data: Indicate door configurations, location of cutouts for hardware reinforcement.
B.Shop Drawings: Indicate door elevations, internal reinforcement, closure method and cutouts for glazing, louvers and finish.
C.Manufacturer's Installation Instructions: Indicate special installation instructions.
D.Manufacturer's Certificate: Certify that products meet or exceed specified requirements.

2.1 DOOR TYPES

A.Smooth fiberglass exterior door for paint. Foam filled insulation. 1 3/4" thickness. Drill for lockset and deadbolt with no-rot frames.

2.2 ACCESSORIES

A.Note: Doors shall have air infiltration rates not to exceed 0.5 cubic feet per minute per square foot of door area. Provide lite pattern as per Exterior Elevations and Door Schedule.
B.Exterior doors to have weather-stripping all sides. Refer Door Schedule.

2.3 RUBBER TIPPED DOOR STOPS - INSTALLED.

END OF SECTION 08259

SECTION 08360 - SECTIONAL OVERHEAD DOORS - COMMERCIAL

1.1 SECTION INCLUDES

A.Sectional and coiling type overhead doors for general installation.

1.2 SUBMITTALS

A.Product Data: Manufacturer's product data and installation instructions. Provide complete operating door assemblies including frames, sections, brackets, guides, tracks, counterbalance, hardware, operators and installation accessories.
B.Engineering of the storefront system

2.1 MANUFACTURERS

A.Overhead Door Co. or approved equal.
B.Door Types - Rolling counter door #652, face of wall mounted, manual operation, slide bolt.

END OF SECTION 08360

SECTION 08400 - ALUMINUM ENTRANCES, WINDOWS AND STOREFRONTS

1.1 SECTION INCLUDES

A.Aluminum Doors and Frames, Storefront and Miscellaneous Components.
B.Engineering of the storefront system

1.2 SUBMITTALS

A.Product Data: Include construction details, material descriptions, dimensions of individual components and profiles, hardware, finishes and installation instructions for each type of aluminum frame storefront system indicated.
B.Shop Drawings: Include plans, elevations, sections, details, hardware, attachments to other work, operational clearances and installation details.
C.Provide a calculated overall U value for the system assembly.

2.1 MANUFACTURERS

A.Basis of Design: Kawneer Company, Inc.
1.Exterior: Tri-Fab® 451T (thermal) Storefront System, 2" x 4-1/2" Dimensions. Substitute the Kawneer Tri-Fab 601T Storefront System 2" x 6" members as required by the Storefront System engineer.

2. Interior: Tri-Fab® 450 Storefront System, 1 3/4" x 4 1/2".

B.Allowable Manufacturers include: United States Aluminum, Inc., Tubelite and Coral Architectural.

2.2 MATERIALS

A.Framing Systems: 2" x 4 1/2", supplier to verify that the size and spacing of framing will meet structural load requirements.

1.Finish: As selected by Architect for all system components - refer to drawings.
2.Provide 4" tall heads where required for mounting of closers. Drop plates are not allowed. Do not mount closure on doors!

3.Provide at exterior wall cavity units, plate closure at all heads, jambs and/or intermediate member ends. Provide any glazing infill options required to receive scheduled/specified glazing units and window system.

B.Entrance Door System: Kawneer 350 Medium Entrance Door, 10" bottom rail, Finish to match framing system. Entrance Hardware & options: VERIFY ALL WITH THE OWNER PRIOR TO SPECIFYING! Provide concealed bottom rail EPDM blade gasket sweep. Kawneer CO-9 Pull and CP-11 Push Bar, LCN 4040 surface Closer with adjustable hold-open, Thumb turn single cylinder deadbolt. Flush bolts on pairs of doors.

C.Flashing and Breakmetal: Provide pre-finished metal (4040 aluminum) as indicated on drawings and as required to match adjacent units.

D.Vision glass and infill panels shall be equal to PPG SolarCool (2) Solexia + Low E. PPG Solexia/Solarban 60 or equal.

1.Minimum Performance Characteristics of New Glass:
a. Summer/Winter U-Factor: 0.29 / 0.27 maximum.
b. Solar Heat Gain Coefficient: (SHGC) 0.19 maximum. This is to meet the requirements of IECC 2015.
c. Doors: Insulated tempered safety glass, to match vision glass.

2.3 SEALANT MATERIALS

A.Sealant and Backing Materials:
1.Perimeter Sealant: Type as recommended by manufacturer.

END OF SECTION 08400

SECTION 08560 - VINYL WINDOWS

1.1 SECTION INCLUDES

A.Install windows as per Plans and the Window Schedule.
B.Submittals: Submit all pertinent product literature on windows to be used on this product including installation instructions and air filtration test data.

C.Guarantee: Provide the Lifetime Limited Warranty from the manufacturer covering all defects on the hardware for one year and on the glass for a ten-year period starting at the time of Final Acceptance.

2.1 MATERIALS

A.Manufacturer: Windows to be Series 200 as manufactured by KRESTMARK or by an Architect approved window manufacturer of equal quality. Windows to have Energy Star Rating.

END OF SECTION 08560

SECTION 08700 - DOOR HARDWARE

1.1 SECTION INCLUDES

A.Refer to Door and Hardware Schedules located on the Plans for all hardware.
B.Weather stripping, seals and door gaskets.

1.2 SUBMITTALS

A.Product Data: Manufacturer's product data sheets including installation instruction details, material descriptions, dimensions of individual components and profiles, operational descriptions and finishes.

B.Door Hardware Schedule: Detail fabrication and assembly of door hardware, as well as procedures and diagrams. Coordinate with doors, frames and related work to ensure proper size, thickness, hand function and finish of door hardware.

C.Shop Drawings: Provide keying schedule, location of each hardware set cross referenced to drawings. Explanation of codes and abbreviations, mounting locations, door and frame sizes and materials.

2.1 SUPPLIERS

A.Manufacturer: Schlage, Russwin, Falcon, PDQ, Trimco or an Architect approved equal.

2.2 KEYING

A.Door Locks: Keyed as per Owner. Allow for 3 key levels - CHECK WITH OWNER!
B.Keep key system secure. Exterior locks are to be keyed for construction access and re-keyed for final system once all work is complete.

2.3 FINISHES

A.Finishes: US 26D Satin Chrome.
END OF SECTION 08700

SECTION 08800 - GLASS AND GLAZING

1.1 SECTION INCLUDES

A.Interior Fixed Glass and Mirrors.
1.2 SUBMITTALS

A.Product Data: Submit manufacturer's product data, including performance characteristics and installation instructions.
B.Shop Drawings: Submit plans, elevations, sections and details indicating glass dimensions, tolerances, types, thickness and coatings.
C.Samples: Submit manufacturer's samples of each type, thickness and coating.

2.1 GLASS MATERIALS

A.Interior Fixed Glass: 1/4" Clear, tempered safety glass as required by code or noted on plans.
B.Mirrors: 1/4" float plate, federal standard test 151, method 811-1, shall conform to U.S. Department of Commerce Commercial Standard DDM 411 grade 1.

2.2 GLAZING ACCESSORIES

A.Mirror Trim: J mold, chrome finish. Continuous top, bottom and sides.
B.Mirror Adhesive: Palmer Mirror Mastic.

END OF SECTION 08800

DIVISION 9 - FINISHES

SECTION 09250 - GYPSUM BOARD SYSTEM AND EXTERIOR SHEATHING

1.1 SECTION INCLUDES

A.Gypsum board (regular and fire rated) and sheathing.

2.1 GYPSUM BOARD AND EXTERIOR SHEATHING MATERIALS

A.Standard Gypsum Board: ASTM C1396; maximum permissible length; ends square cut, tapered edges. Thickness 5/8" Refer Drawings.

B.Fire Rated Gypsum Board: ASTM C1396; fire resistive type, UL rated; maximum permissible length; ends square cut, tapered edges. Thickness 5/8".

C.Moisture Resistant Gypsum Board: GP Dens Armor Plus Paperless Drywall, USG Securock or CertainTeed ProRoc M2Tech Gypsum Board, ASTM C1396; maximum permissible length; ends square cut, tapered edges - in wet areas and at window sills/jambs. Thickness 5/8". Green Board not acceptable. Wet areas are walls within 4' of a shower and walls behind toilets and urinals that do not receive porcelain tile.

D.Shower Walls: GP DensShield Tile Backer or CertainTeed Gypsum's GlasRoc Tile Backer or Diamondback Tile Backer, ASTM C1178 - glass mat gypsum tile substrate, Silicone corners when used for shower or tub enclosure. See manufacturer's specific instructions. Thickness 5/8". Provide at all walls to receive tile - typical.

E.Exterior Wall Sheathing:
1.Wood Frame Sheathing: Sheath exterior walls with 5/8" APA rated sheathing, Exposure I. Stagger joints.

2.2 ACCESSORIES

A.Acoustical Insulation: Refer to Section 07210. Coordinate installation.
B.Acoustical Sealant: Non-hardening, non-skinning, for use in conjunction with gypsum board; AC-200 manufactured by Pecora Corporation, Sound Control Sealant by Miracle, Tremco, Acoustical Sealant or SCS-100 or GreenGlue by Saint-Gobain Performance Plastics. Apply sealant at the bottom of all wall tracks, interior and exterior, both sides, typical.

C.Vinyl Edge Trim: Metal Edge Trim may be substituted with a submittal and approval by Architect prior to use. Metal trim is to be used in all fire rated assemblies.
1.Corner Beads: Trim-Tex IO10 Jumbo Vinyl corner bead 1 3/4" x 1 3/4".
2."L" Trim: Trim-Tex #3210 Vinyl L-type trim beads
3.Tear Away "L" Bead Trim-Tex 9010 at all terminations next to prefinished materials.

4.Mud on Ceiling Grid: Trim-Tex 5010 where indicated.
5.Mud on "I" Mold: Trim-Tex 1810 at all showers, tub enclosures and skylights.
6.Other Trim-Tex specialty moldings as required or detailed.

D.Vinyl Edge Trim Adhesive: Trim-Tex 847 Spray Adhesive
E.Expansion/Control Joint Materials: Trim-Tex Vinyl 093V Expansion Joint. In rated walls provide rated control joints, refer details on drawings.

F.Reveal Joint Trim-Tex Vinyl 5110 Reveal Bead
G. Steel Screw Fasteners:
1.All fasteners are to be rust resistant and meet ASTM C1002-83 and ASTM C514-84.
2.Install number of screws required for the connection.
3.Framing Screws:
a.#6 x 7/16" pan head, one each side top and bottom minimum.
a.#8 x 1 3/4" Phillips head, one layer of gypsum board.
b.#8 x 1 5/8" Phillips head, two layers of gypsum board
5.Use Type "S" screws for attaching gypsum to metal studs and Type "W" when attaching to wood studs.
6.Metal Edge Trim to Gypsum wallboard:
a.#8 x 1 3/4" Phillips head, 5/8" minimum penetration into metal back up. Maximum spacing is 12" on center.

3.1 INSTALLATION OF GYPSUM BOARD AND ACCESSORIES:
1.NOTE: Refer to the UL Fire Resistance Directory and the product manufacturer's instructions for additional requirements for all fire rated assemblies

A. Gypsum Board Installation for assemblies rated 1 Hour or less.
1. Gypsum panels shall be installed vertically on all walls under 10'. Submit joint layout for all walls over 10'-0" for approval.
B. Gypsum panels applied vertically or horizontally. The gypsum board is to be installed on each side of the studs with coated steel screws spaced 8" O.C. starting 4" from the edge of the board at the edges and 12" O.C. starting 6 in. from the edge of the board in the field of the board.

C. Gypsum board attached to wood framing shall have perimeter fastener spacing of 7" maximum.
D. All fasteners along joints shall be staggered 4" from the fasteners on the adjacent panel. Gypsum boards are to be secured to the top and bottom track with screws spaced 8" O.C. starting 4" from the board edge. Vertical joints are to be centered over studs and staggered one stud cavity on opposite sides of studs.

E. Carefully cut gypsum panels to tightly fit around electrical boxes, conduits, pipes, ducts and other items which may be part of the finished assembly. Maximum allowable space is 3/4"

F. Gypsum panels are to be spaced a maximum of 3/4" off the floor and all spacers are to be removed by the gypsum board installer.
G. Install gypsum wallboard continuous from the bottom track to the top track of all walls. Carefully "V" notch gypsum board around conduits at top track.

3.2 JOINT TREATMENT & SMOOTHING - Refer Section 09260
END OF SECTION 09250

SECTION 09260 - GYPSUM BOARD FINISHING

1.1 SECTION INCLUDES

A.Gypsum board finishing for all surfaces to receive paint or wallcovering (regular and fire rated).

2.1 ACCESSORIES

A.Joint Compound: USG SHEETROCK Brand All-Purpose Joint Compound (green box).
B.Drywall Joint Tape: ProRoc, Spark-Perf, Marco Brand, perforated tape.

2.2 JOINT TREATMENT & SMOOTHING
A.Tape, fill, and sand exposed joints, edges, and corners to produce smooth surface for finishes.
B.Taping, filling, and sanding is required at surfaces behind adhesive applied ceramic tile.

C.Tape joints and corners of cementitious backing board.
D.Gypsum board shall be taped where it occurs above the ceiling line. In multi-layer installations, tape each layer.

3.1 GYPSUM BOARD FINISHING

A.All walls shall be finished flat to within 1/8" in 4'.
B.All surfaces for paint and wallcovering shall be finished to Level 4 as per GA-214-10, Levels of Gypsum Board Finish.

1.Level 4: All joints and interior angles shall have tape embedded in joint compound and two separate coats of joint compound applied over all flat joints and one separate coat of joint compound applied over interior angles. Fastener heads and accessories shall be covered with three separate coats of joint compound. All joint compound shall be smooth and free of tool marks and ridges. Note: It is recommended that the prepared surface be coated with a drywall primer prior to the application of final finishes. See painting/wallcovering specification in this regard.

C.Control joints need to be rated in rated walls - refer detail. Float a minimum of 36" each side of joint.

3.2 GYPSUM BOARD FINISHING FOR AREAS BEHIND FRP AND VINYL WALL PANELS
A.Do NOT apply texture to walls scheduled to receive these products. Tape, Bed and Smooth finish the Gypsum Wall Board and seal with Sherwin Williams Classic Primer or equal.

3.3 TEXTURE FINISH
A.Seal gypsum wallboard before texturing, Sherwin Williams Classic Primer.
B.Spray apply finish texture coating in accordance with manufacturer's instructions.
C.Prepare and prime drywall and other surfaces in strict accordance with texture finish manufacturer's instructions. Apply primer to all surfaces to achieve texture finish.

D.Finish Application: Mix and apply finish to drywall and other surfaces indicated to receive finish in strict accordance with manufacturer's instructions to produce a uniform texture without starved spots or other evidence of thin application.
E.Sample of texture to be reviewed/approved by Architect. Refer Finish Schedule for texture.

F.Remove any texture drippings or overspray from door frames, windows, floors, conduits, ducts, light fixtures and adjoining work.
END OF SECTION 09260

SECTION 09300 - TILE - ALTERNATE

1.1 SECTION INCLUDES

A.Including
1. Floor Tile
1.2 SUBMITTALS

A.Product Data: Manufacturer's data sheets on each product to be used, including: preparation instructions storage and handling requirements and installation methods.
B.Shop Drawings: Indicate tile layout, patterns, color arrangement, perimeter conditions, junctions with dissimilar materials, control and expansion joints, thresholds, ceramic accessories and setting details.

C.Selection and samples of actual tiles for selection: Color charts illustrating full range of colors and patterns.
D.Maintenance Data: Include recommended cleaning methods, cleaning materials and maintenance coatings.

E.GROUT Samples for Selection: Manufacturer's color charts consisting of actual sections of epoxy grout showing full range of colors available for each type of grout indicated.
2.1 MATERIALS

A.Tile: See Finish Schedule. Provide complimentary trim pieces for a complete job. Manufacturer: American Olean or approved equal.
B.Slip Resistance is to be measured using the DCOF AcuTestSM and the tested resistance shall be in the .30-0.30-0.42 range.
C.Abrasion Resistance of 3, 4 or 5.
D.Trim all exposed edges and transitions to other materials with appropriate Schluter trim. Architect to select color from full range of available manufacturer's colors.

2.2 INSTALLATION
A.Level the underlying floor to a tolerance of 1/8" in 4' or flatter if required by manufacturer.
B.Layout and install control joints at 30' maximum on the floor and 20' maximum on the walls. Fill joints with flexible sealant to match the grout.

C.Install tile per the manufacturer's instructions.
2.3 INSTALLATION MATERIALS

A.Anti-Fracture Membrane/Cleavage Membrane: Where indicated on the drawings, and elsewhere as required for isolating the installation from cracking due to minor substrate movement and normal structural deflections.

1. Custom Building Products Semco™ Anti-Fracture Membrane:
B.Self-Leveling Underlayment: Interior installations.
1. Custom Building Products LevelQuik.
2. Custom Building Products LevelQuik™ Concentrated Latex Primer for surface preparation.

C.Tile Adhesives: Floors & Base:
1. Concrete Substrate: Custom Building Products FlexBond®.
2. Plywood Substrate: Custom Building Products FlexBond®.
3. Dry Walls: Custom Building Products FlexBond®.
4. Wet Walls: Custom Building Products FlexBond®.

D.GROUT: ANSI A118.6: Where indicated on the drawings, and elsewhere as required for filling the joints between tiles.
1. Polymer-Modified Portland Cement Grout
a. Custom Building Products Polyblend® Sanded Colored Tile Grout - for joints 1/8" - 1/2".
b. Custom Building Products Polyblend®Non-Sanded Colored Tile Grout for joints up to 1/8".

2. Chemical Resistant, Water-Cleanable Tile Setting and Grouting Epoxy; ANSI A118.3
a. Custom Building Products 100% Solids Epoxy Grout. Available in all 38 Polyblend grout colors.
3. Prism Color Consistent Grout: Custom Building Products. Use a pH-neutral, water-based sealer such as AquaMik Sealer's Choice Gold or TileLab Surface Guard. Read Limitations of the Product!

E.Elastomeric Joint Caulk: Where indicated on the drawings, and elsewhere as required provide:

1.All joints between floors and walls and at joints between tile and dissimilar materials.

a. Custom Building Products Polyblend® Ceramic Tile Caulk.
F. Tile Sealer for Natural Stone and porous tile: TileLab® SurfaceGuard
G. Grout Sealer: TileLab® Grout Sealer or as recommended by the manufacturer for each application.

END OF SECTION 09300

SECTION 09510 - ACOUSTICAL CEILING

1.1 SECTION INCLUDES

A.Suspended metal grid ceiling system and perimeter trim, ceiling tile and sound insulation

1.2 SUBMITTALS

A.Product Data: Provide data on metal grid system components and acoustical units.
B.Samples: Submit one sample of each product specified illustrating material and finish of ceiling units.

2.1 MANUFACTURERS - SUSPENSION SYSTEM
A.Armstrong Company.
B.CertainTeed.
C.USG

2.2 SUSPENSION SYSTEM MATERIALS

A.Non-fire Rated Grid: Armstrong, Prelude 7300, CertainTeed
B.Exposed Grid Surface Width: 15/16 inch.
C.Grid Finish: Manufacturer's standard baked enamel finish,
D.Accessories: Stabilizer bars, clips, splices, edge moldings and miscellaneous accessories required for suspended grid system.

E. Support Channels and Hangers: Galvanized carbon steel; size and type to suit application and ceiling system flatness requirement specified. ASTM C 641, yield-stress load of at least 3 times design load, but not less than 12 gauge.

F. Edge Moldings: Manufacturer's standard channel molding for edges and penetrations of ceiling, with single flange of molding exposed, white baked enamel finish for Type 1 and aluminum with white finish for Type 2 ceilings and exterior installations.

G. Tile Joint Spines: Type recommended by tile manufacturer to coordinate with tile installation support system and installation procedure.

H.Wind Uplift Bracing: 1/2" ID diameter EMT (electro metallic tubing) with plated exterior.

2.3 MANUFACTURERS - ACOUSTICAL UNITS
A.Armstrong World Industries, Inc.
B.CertainTeed
C.USG

2.4 ACOUSTICAL UNIT MATERIALS

A.Acoustical Tile: Refer to the Reflected Ceiling Plan for location of Types.
2.5 ACCESSORIES

A.Touch-up Paint: Type and color to match acoustical and grid units.
B.Tile Hold Down Clips: Provide hold down clips at exterior installations.

END OF SECTION 09510

SECTION 09650 - RESILIENT BASE

1.1 SECTION INCLUDES

A.Resilient base.
1.2 SUBMITTALS

A.Product Data: Provide data on specified products, describing physical and performance characteristics, sizes, patterns and colors available.
B.Samples: Submit samples illustrating color and pattern for each floor material in full color range for selection by Architect. Include samples for base, stair material and all accessories.

C.Manufacturer's Installation Instructions: Indicate special procedures, perimeter conditions requiring special attention.
2.1 MATERIALS - BASE

A.Base: Rubber:
1. Johnsonite Recess Wall Base, Height: 4 inches
2. Thickness: 1/8 inch thick
3.Color: Refer Finish Plan.
4.Length: Continuous roll when available. Use the longest pieces possible, 4' minimum.
5.Manufacturers: Roppe or Johnsonite. Refer Drawings.

B.Base Accessories: All accessories to be of same material, size, and color matched to the base.
3.1 INSTALLATION

A.Install base per the manufacturer's instructions using largest pieces possible.
END OF SECTION 09650

SECTION 09772 - RIGID SHEET WALL PANELS

1.1 SECTION INCLUDES

A.Prefinished reinforced plastic sheets adhered to unfinished gypsum or plywood wallboard.
B.Installation of sheets and accessories.

1.2 WARRANTY

A.Furnish one-year guarantee against defects in material and workmanship.
2.1 SUBMITTALS: Refer Finish Drawings for Selections.
A.Product Data: Provide samples of product, storage, handling and installation methods.
B.Submit appropriate section of panel for each finish selected indicating the thickness, color, texture and pattern required.

2.2 MANUFACTURER:
A.Basis of Design: InPro or approved equal.
A.Provide base, top caps, inset corners, divider bars and outside corners and all accessories to match the panel colors in lengths to suit project conditions.

3.1 INSTALLATION
A.Examine backup surfaces to determine corners are plumb and straight and surfaces are smooth. Level wall surfaces, remove protrusions and fill indentations. DO NOT TEXTURE WALLS TO RECEIVE THIS PRODUCT! Refer Section 09260.

B.Install products in accordance with manufacture's written instructions and in proper relationship with adjacent construction, including the following:

1.For adhesive installation to substrate, provide temporary support to prevent panel slippage.
C.Touch-up, repair or replace damaged units until satisfactory results are obtained. Remove excess sealant from panels and molding. Wipe panel down using damp cloth and mild cleaner.

END OF SECTION 09772.

SECTION 09900 - PAINTING

1.1 SECTION INCLUDES

A.Surface preparation and field application of paints and coatings.
1. Verify the type of paint that was previously used on existing conditions. Prepare surfaces and proceed accordingly to get the best bond and most durable final application.

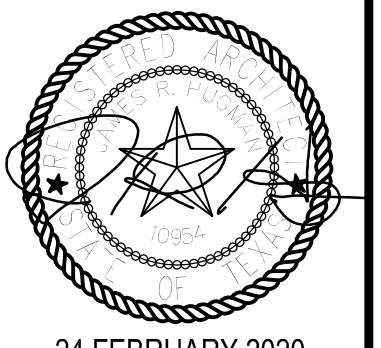
B.Work Items:

1. Section 09260 Gypsum Board Finishing
2.Paint handrails and guardrails
3.Paint interior wood trim
4.Finish cabinets as designated
5.Paint Interior doors
6.Paint Exterior doors
7.Paint unfinished louvers and covers
8.Paint all exterior exposed PVC, steel and copper piping and conduits. This includes items on the roof.
9.Paint all steel roof jacks and mechanical hoods unless prefinished.

10. PVC Pipes - Acrylic Latex Paint - 2 Coats
11. Touch up all work at the end of construction.

1.2 SUBMITTALS

A.Product Data: Provide data on all finishing products.
B.Samples: Submit manufacturer's color charts illustrating full range of colors and textures available for each surface finishing product scheduled.



24 FEBRUARY 2020

PROJECT: Kilgore Swimming Pool Building Renovation
OWNER: City of Kilgore
ADDRESS: 313 N. Henderson Boulevard, Kilgore, TX 75662

| DATE | REVISIONS |
|------|-----------|
| | |

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SITE PLAN
A1.0
BY: MCS
DATE: 24 FEBRUARY 2020
Drawing not to be scaled

GENERAL NOTES:

- UTILITIES ARE AS PER THE CITY OF KILGORE, TEXAS.
- OWNER TO PROVIDE FENCE GATES AND BUILDING KEYS AND KNOX BOX.

SITE NOTES:

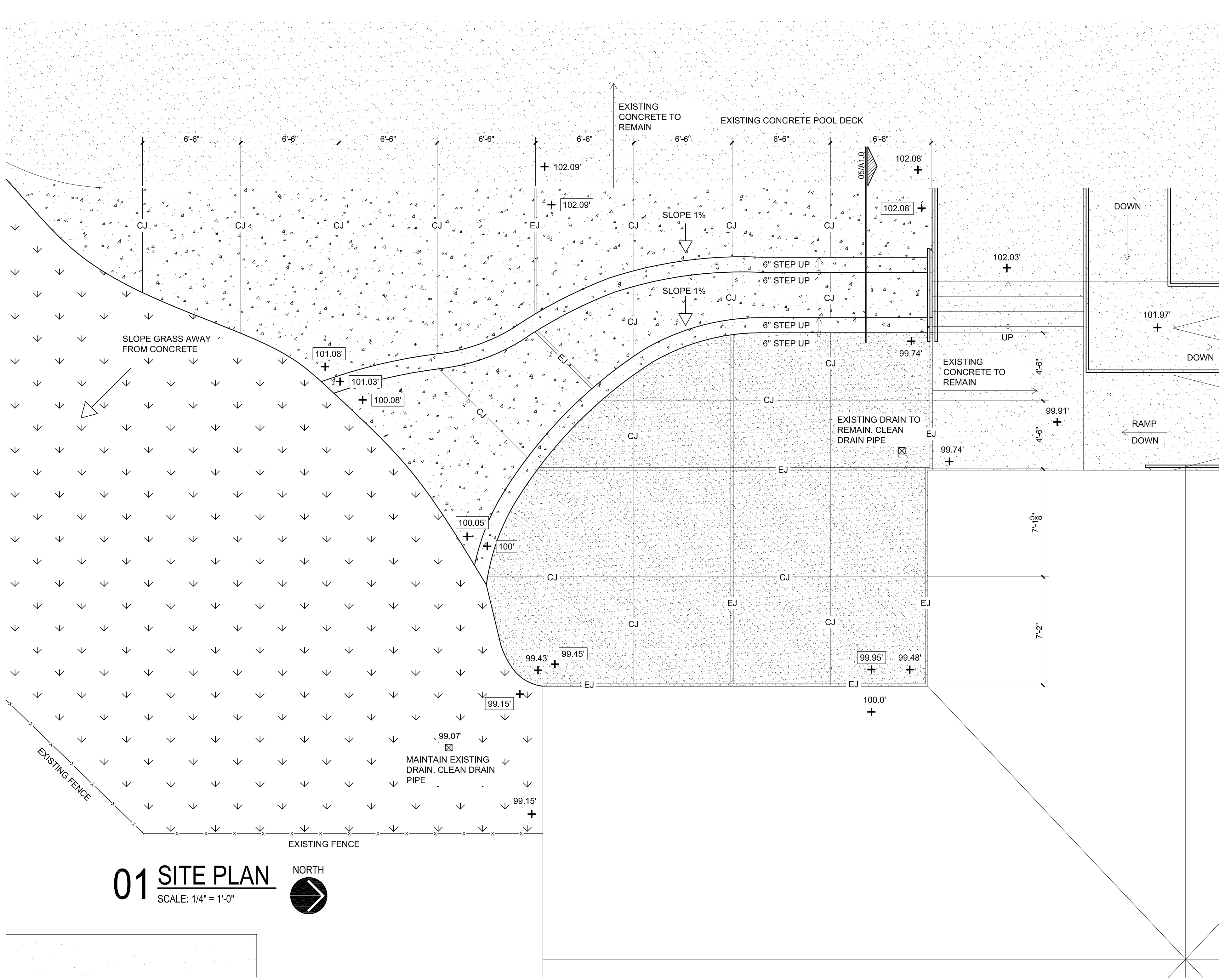
- REFER TO FLOOR PLAN FOR ADDITIONAL INFORMATION.
- RETAIN ALL EXISTING TREES AS SHOWN ON SITE PLAN. REMOVE TREES ONLY AS REQUIRED FOR NEW GRADES INDICATED AND NEW CONSTRUCTION. VERIFY WITH OWNER PRIOR TO REMOVAL.
- COORDINATE GRADES AT EXISTING TREES SO TO PROVIDE NO SOIL DISRUPTION WITHIN A 10 FOOT RADIUS (AS POSSIBLE). DO NOT UNDER ANY CIRCUMSTANCES PROVIDE CONSTRUCTION, STORAGE OR VEHICULAR TRAFFIC WITHIN AN 8 FOOT RADIUS OF ANY TREES WITHOUT WRITTEN PERMISSION FROM THE OWNER. NOTE THAT ANY TREE DAMAGED BEYOND REPAIR DURING CONSTRUCTION SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL FIELD VERIFY ALL CONTROL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION AND REPORT DISCREPANCIES TO THE ARCHITECT.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING DURING CONSTRUCTION AND AFTER INSTALLATION OF DOWNSPOUTS.
- BUILDING SITE TO BE KEPT CLEAN. CONTRACTOR TO PROVIDE AN ON-SITE DUMPSTER AND PORTABLE TOILET. ANY EXCESS MUD OR DEBRIS IN THE STREET MUST BE CLEANED IMMEDIATELY. PROVIDE SILT FENCING AS REQUIRED.
- WATER, SEWER, ELECTRICAL, TELEPHONE AND CABLE TV SERVICE TO BE LOCATED AND COORDINATED BY THE OWNER AND CONTRACTOR.
- ALL GRADES ARE APPROXIMATE AND ARE TO BE VERIFIED BY THE CONTRACTOR. COORDINATE GRADING, PAVING AND OTHER SITEWORK WITH OWNER AND UTILITY COMPANIES.
- ALL CONCRETE WALKS TO BE 4" THICK 3000 P.S.I. CONCRETE REINFORCED WITH #3 BARS AT 16" O.C.E.W. EXPANSION JOINTS ARE TO HAVE #4 SMOOTH DOWELS 18" LONG, 24" O.C. THICKEN ALL CONCRETE EDGES TO A MINIMUM 6" FOR A WIDTH OF 6".
- CONTRACTOR TO CONFINE ALL CONSTRUCTION AND STORAGE OF MATERIALS TO AREAS DESIGNATED BY OWNER.
- NOTE: PLACE EXPANSION JOINTS AND CONTROL JOINTS AS PER LAYOUT. TYPICAL LAYOUT IS CONTROL JOINT EVERY 12' O.C. AND EXPANSION JOINTS EVERY 36' O.C. C.J. & E.J. TO EXTEND THROUGH ADJACENT CONCRETE CURB.

EMERGENCY AND UTILITY TELEPHONE NUMBERS

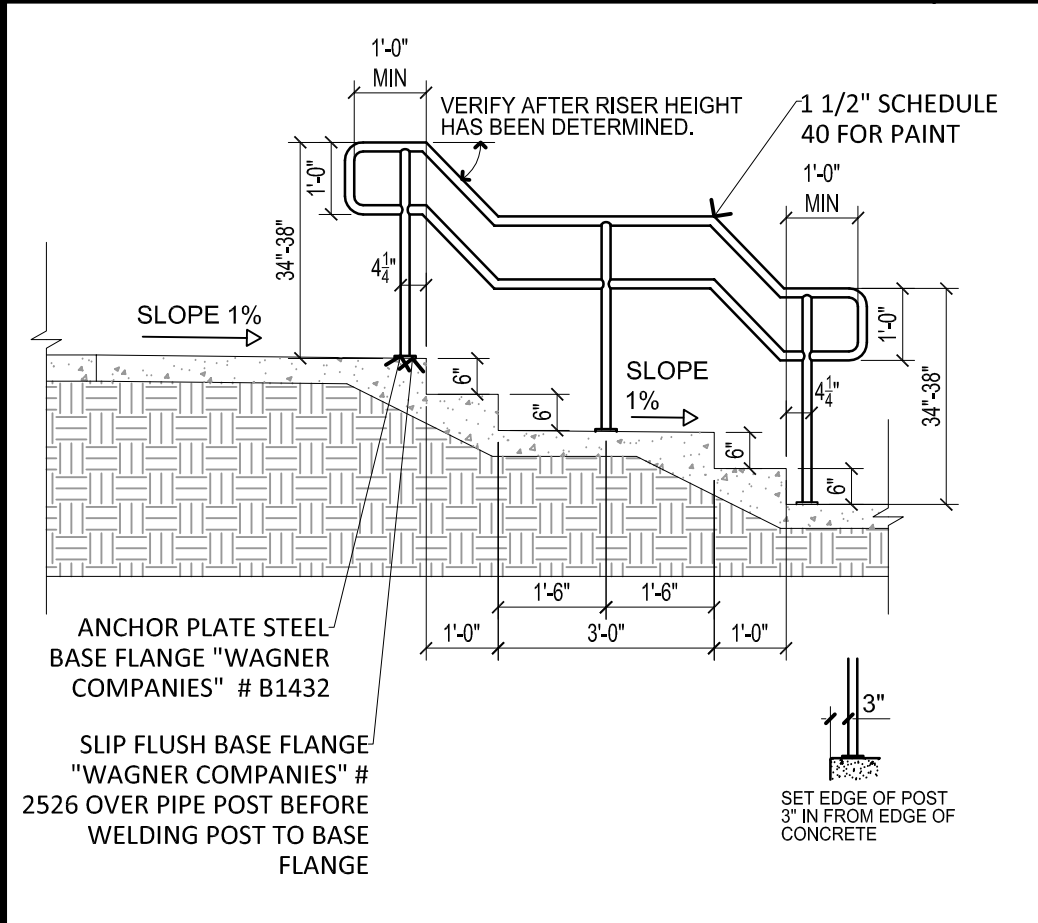
- UTILITY LOCATE 811 / 1-800-DIG-TESS
- CITY OF KILGORE
PUBLIC WORKS 903-984-8081
DISPATCH NON-EMERGENCY 903-983-1559

SITE LEGEND:

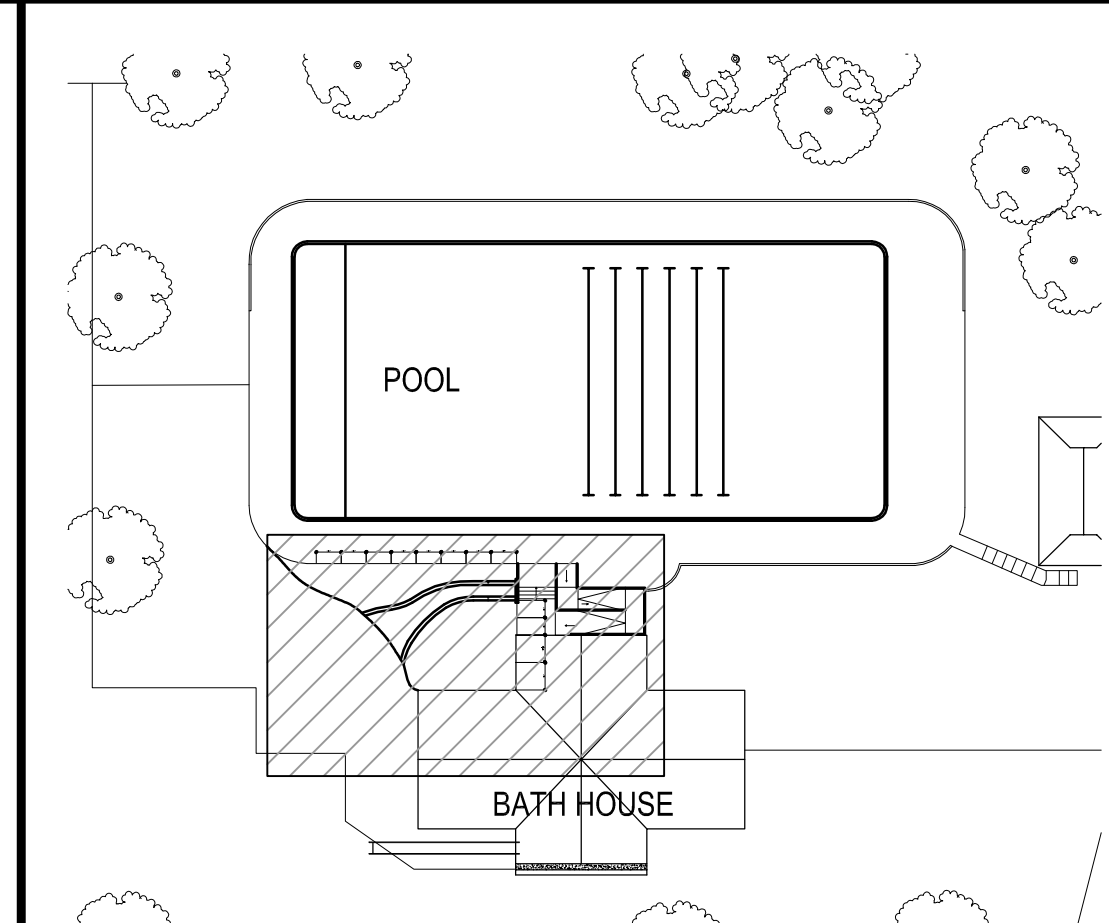
- ACCESSIBLE ROUTE TO BUILDING
- EXISTING TOPOGRAPHIC CONTOURS
- NEW OR REQUIRED POINT GRADES +100.00'
- EXISTING POINT GRADES +100.00'
- BENCHMARK B.M.
- ALTERNATE CONCRETE
- LANDSCAPE AREAS
- EXISTING CONCRETE
- NEW CONCRETE-BASE PRICE
- NEW CONC. CURBING
- CONTROL JOINT RE: 00/A1.1
- EXPANSION JOINT RE: 00/A1.1
- NEW ASPHALT
- GRAVEL
- SILT FENCE
- FENCE
- POWERLINE / ELECTRICAL
- WATER LINE
- WATER METER
- SEWER LINE
- GAS LINE
- TELEPHONE POLE
- TELEPHONE PEDESTAL
- POWER POLE
- HOSE BIB
- PROPERTY LINE
- SETBACK LINE
- R.O.W. / EASEMENTS
- STREET CENTERLINE
- ITEMS TO BE DEMOLISHED
- PARKING STRIPES
- FIRE LANE STRIPING
- FIRE HYDRANT
- DRAIN



01 SITE PLAN
SCALE: 1/4" = 1'-0"
NORTH



05 HANDRAIL SECTION
SCALE: 3/8" = 1'-0"

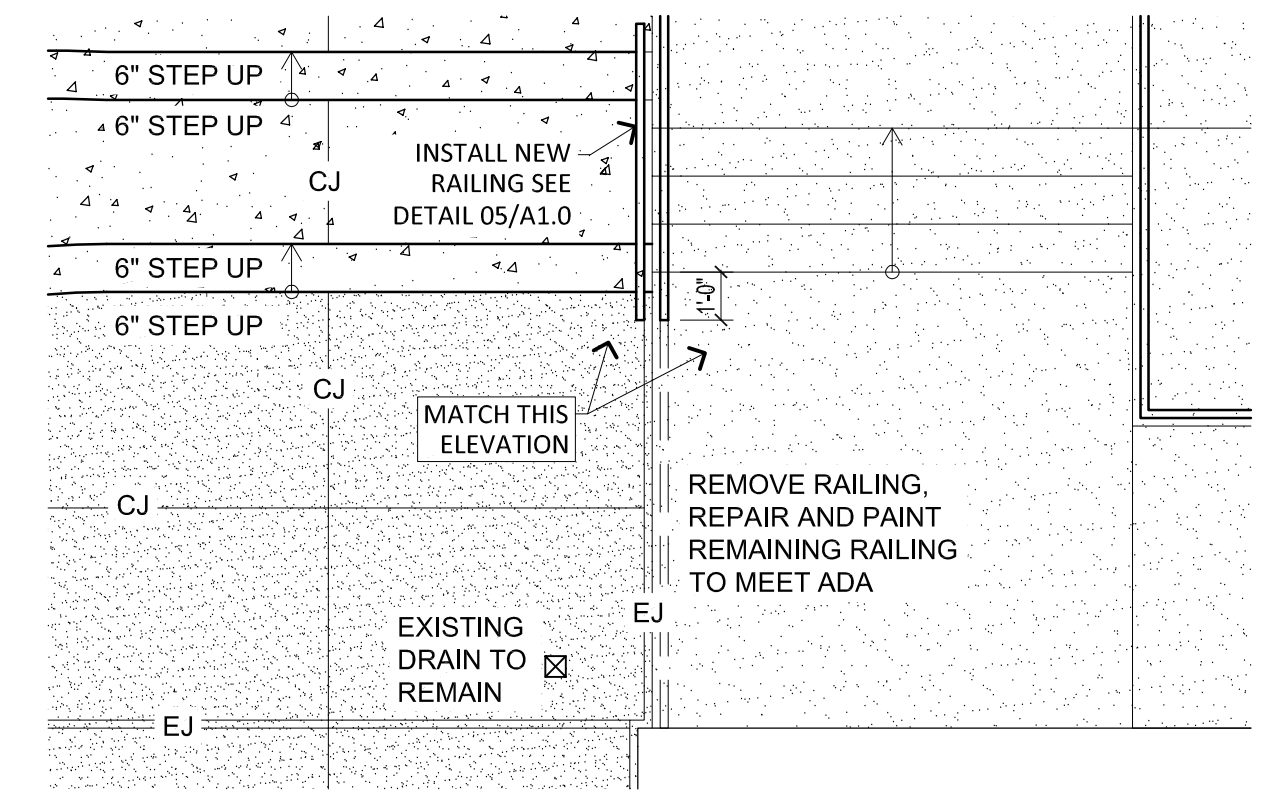


06 VICINITY MAP
NTS

BASE PRICE

- GRASS AT ALT. CONCRETE LOCATION.
- REMOVE GUARDRAIL TO BUILDING. STOP HANDRAIL FOR STEPS 12" PAST END OF TREAD, REPAIR TO CODE AND PAINT
- 596 SQUARE FEET OF CONCRETE
- RESEED OR SOD GRASS BY OWNER

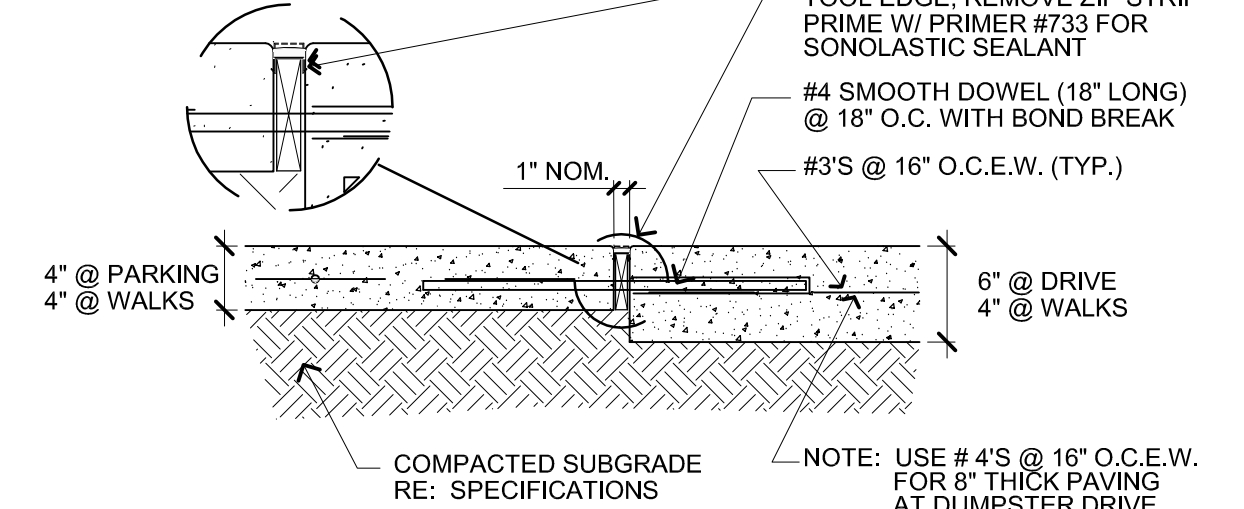
- ALT.3:
- 721 SQUARE FEET OF ADDITIONAL CONCRETE
 - 4 STEPS, HANDRAIL ALONG GUARDRAIL FOR NEW STEPS ONLY



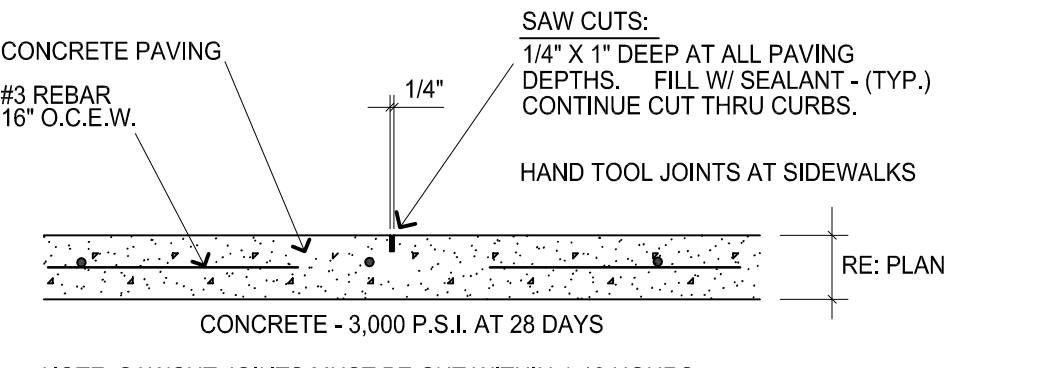
01 HANDRAIL DETAIL
SCALE: 1/4" = 1'-0"

NOTE:

- FOR ALL CONCRETE WALK AREAS:
3,000 P.S.I. AT 28 DAYS WITH 5% AIR ENTRAINMENT
CONCRETE SIDEWALKS - 4" THICK
MAXIMUM 5'-0" FOR HAND TOOLED CONTROL JOINTS
- FOR ALL CONCRETE PAVING AREAS:
3,000 P.S.I. AT 28 DAYS WITH 5% AIR ENTRAINMENT
6" THICK AT DRIVES - (TYP.)
4" THICK AT PARKING - (TYP.)
MAXIMUM 12'X12' SAW CUT JOINTS
EXPANSION JOINTS AS SHOWN ON SITE PLAN



02 EXPANSION JOINT
SCALE: 1" = 1'-0"

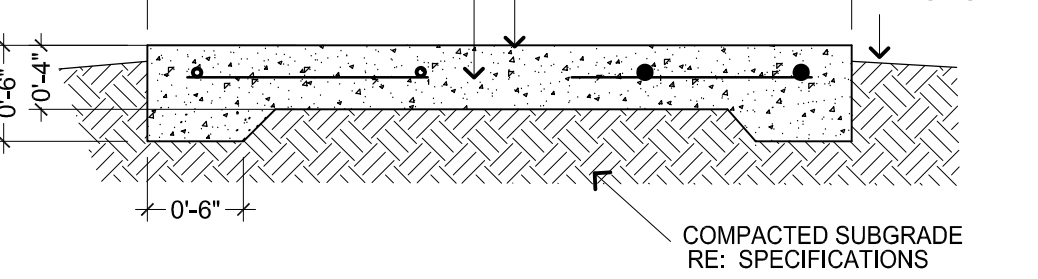


NOTE: SAWCUT JOINTS MUST BE CUT WITHIN 4-18 HOURS OF CONCRETE PLACEMENT. SEALING OF JOINTS AND CRACKS IS REQUIRED.

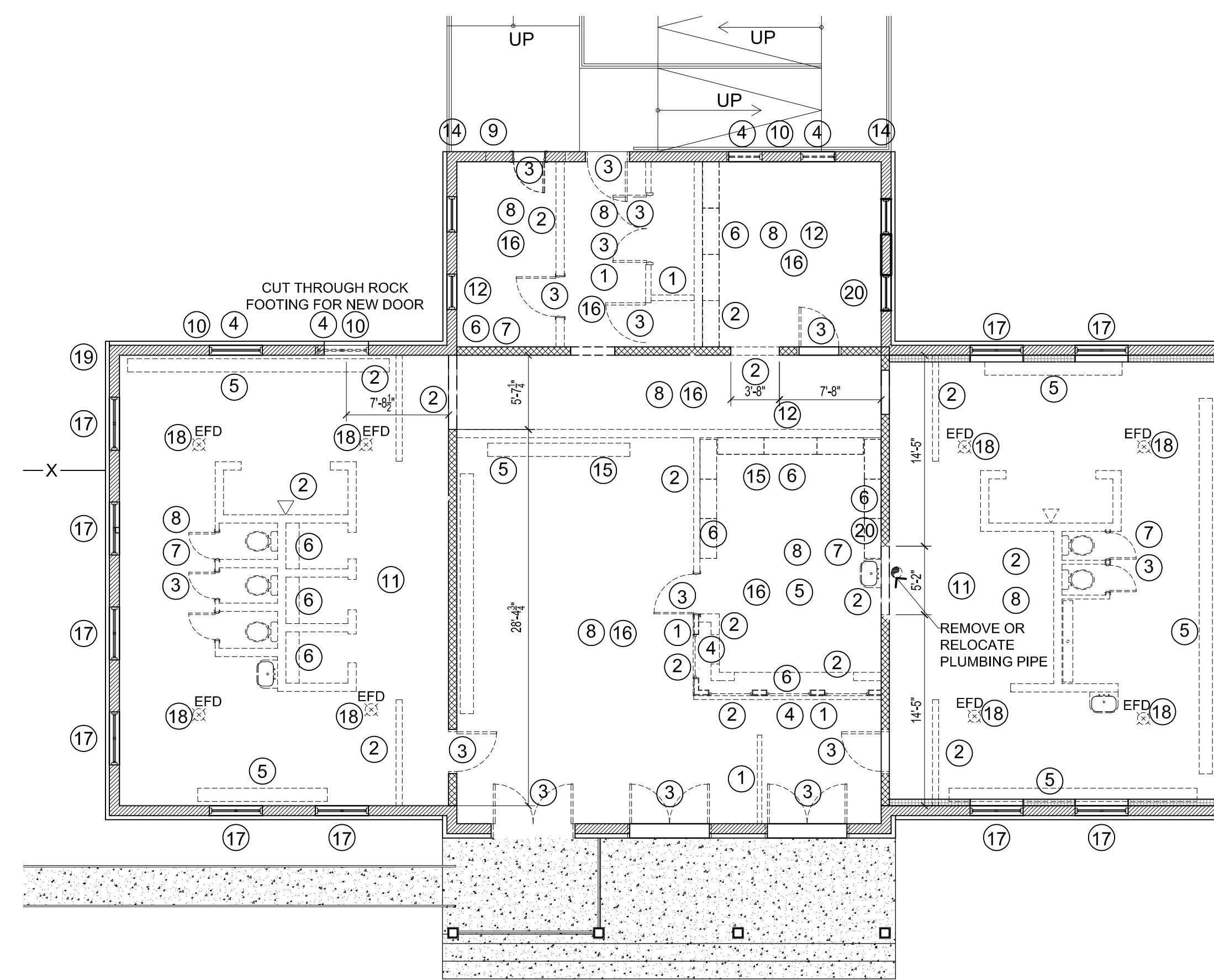
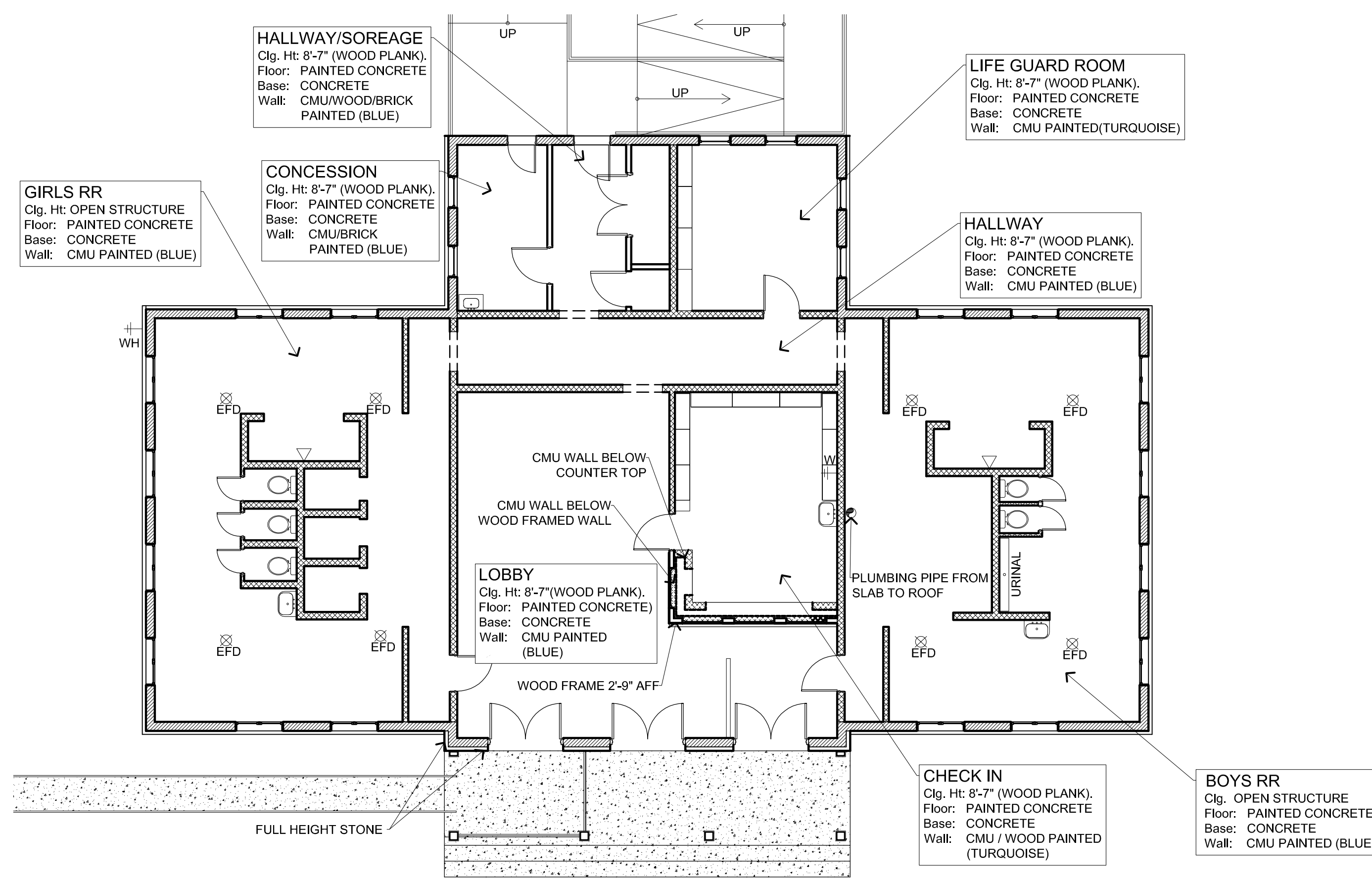
03 CONTROL JOINT
SCALE: 1" = 1'-0"

FOR ALL CONCRETE WALK AREAS:

- 3,000 P.S.I. AT 28 DAYS WITH 5% AIR ENTRAINMENT
MAXIMUM 5'-0" FOR CONTROL JOINTS.
HAND TOOL ALL EDGES AND JOINTS IN FLATWORK

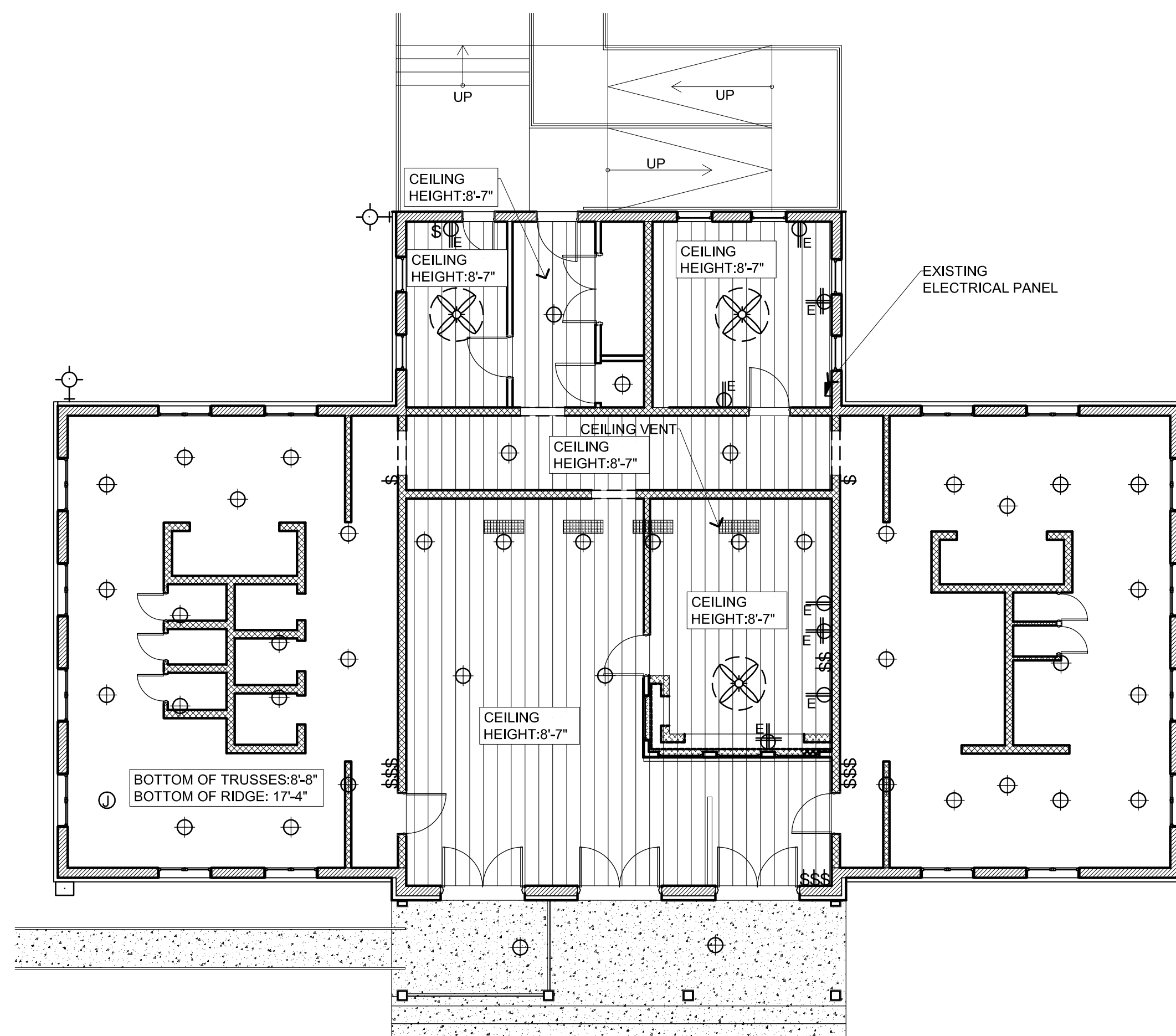


04 FLATWORK
SCALE: 1" = 1'-0"



01 EXISTING FLOOR PLAN CALLED NORTH
SCALE: 1/8" = 1'-0"

02 DEMOLITION PLAN CALLED NORTH
SCALE: 1/8" = 1'-0"



03 EXISTING LIGHTING & ELECTRICAL PLAN CALLED NORTH
SCALE: 1/8" = 1'-0"

SYMBOLS LEGEND

- GAS OUTLET
- ⊕ GAS METER
- ⊕ RECESSED FIRE EXT. CABINET RE: SPEC'S.
- ⊕ I.R.C.B. IRRIGATION CONTROL BOX
- ⊕ I.C.E. IRRIGATION CONTROL BOX
- ⊕ RA RETURN AIR VENT
- ⊕ RA RETURN AIR DUCT
- GROMMETS IN CASEWORK RE: INTERIOR ELEVATIONS
- ⊕ WH WALL HYDRANT
- ⊕ W WATER CONNECTION
- ⊕ CG CORNER GUARD AND EDGE-SEE FINISH SCHEDULE
- ⊕ CJ GYP. BD. CONTROL JOINT
- ⊕ EJ MASONRY EXPANSION JOINT
- ⊕ FS FLOOR SINK
- ⊕ FD FLOOR DRAIN
- ⊕ EFD EXISTING FLOOR DRAIN
- ⊕ SHOWER HEAD
- ⊕ EXISTING WALL TO BE REMOVED
- ⊕ EXISTING STUD WALL FRAMING
- ⊕ WALLS FURRED OUT 4" FOR PLUMBING, 2" FOR ELECTRICAL.
- ⊕ EXTERIOR STONE VENEER
- ⊕ NEW 5" WALL FRAMING
- ⊕ NEW 6" WALL FRAMING
- ⊕ NEW 1" HDPE PLASTIC PARTITIONS
- ⊕ EXISTING BRICK WALL WITH ROCK FOOTING
- ⊕ EXISTING CMU WALL
- ⊕ CONCRETE TO BE SAW CUT AND REMOVED, 24" TYPICAL FOR NEW SEWER PIPE, REPLACE CONCRETE TO MATCH EXISTING FINISH
- ⊕ WCO WALL CLEAN OUT

DEMOLITION LEGEND

- NUMBER IN CIRCLE REFERS TO NOTE ON PLAN. COORDINATE DEMOLITION WORK WITH NEW FLOOR PLAN RE: A2.2
1. ALL WINDOWS AND TRIM TO BE REMOVED AND REPLACED WITH NEW WINDOWS AND TRIM (SEE DETAIL 04/A2.4)
 2. ALL CONCRETE CUTS TO BE IN A UNIFORM PATTERN. ALL NEW CONCRETE TO BE LEVEL WITH EXISTING CONCRETE. FINISH TO MATCH EXISTING CONCRETE
 - ① DEMO AND DISPOSE OF GYP. BD. WALL AS SHOWN WITH DASHED LINE. REMOVE AND DISPOSE OF EXISTING ELECTRICAL WIRING AND DEVICES. REMOVE THE ENTIRE WALL FROM FLOOR TO ROOF DECK.
 - ② DEMO CMU WALLS. REMOVE COMPLETELY OR AS REQUIRED FOR NEW OPENING. REMOVE OR RELOCATE EXISTING ELECTRICAL WIRING OR DEVICES AS REQUIRED. VERIFY DOOR ROUGH OPENING SIZE BEFORE CMU IS REMOVED. INSTALL WOOD LINTEL FOR OPENINGS IN CMU (SEE DETAIL 05/A2.4)
 - ③ DEMO DOOR UNIT.
 - ④ DEMO WINDOW UNIT COMPLETELY. SEE NOTE 1 REGARDING WINDOW REPLACEMENT
 - ⑤ REMOVE EXISTING BENCHES. OWNER TO STORE AND REINSTALL BENCHES
 - ⑥ REMOVE AND DISPOSE OF EXISTING CABINETS. DEMO OUT ALL DEVICES, FIXTURES AND APPLIANCES.
 - ⑦ DEMO AND DISPOSE OF EXISTING PLUMBING FIXTURES, TOILET PARTITIONS, RR FIXTURES, GRAB BARS, MIRRORS, ETC. SEWER LINES AND WATER LINES TO BE REPLACED AS NEEDED - VERIFY CONDITION
 - ⑧ REPLACE EXISTING LIGHT FIXTURES AND SWITCHES. SEE A7.0 & E1.0
 - ⑨ DEMO WALL FOR GARAGE DOOR 34" AFF TO 84" AFF - VERIFY ROUGH OPENING SIZE WITH DOOR. INSTALL STEEL LINTEL (SEE DETAIL 03/A2.4)
 - ⑩ DEMO BRICK WALL FOR OPENING. VERIFY ROUGH OPENING SIZE (SEE DETAIL 03/A2.4)
 - ⑪ REPLACE SEWER PIPE. SEE SHEET A2.1 FOR CONCRETE CUT AND DEMO PLAN
 - ⑫ REMOVE WOOD CEILING AS NEEDED TO PATCH WOOD CEILING IN THE LOBBY - SEE SHEET A7.0 FOR LOCATIONS
 - ⑬ REMOVE ALL EXISTING ELECTRICAL AND SURFACE MOUNTED CONDUITS - REWORK FOR NEW LAYOUT
 - ⑭ REPLACE BRICK ON EXTERIOR THAT HAVE HOLES FROM REMOVED HANDRAILS
 - ⑮ REMOVE CEILING VENTS AND AC REGISTERS. REPLACE WOOD PLANKS AS NECESSARY
 - ⑯ REMOVE CROWN MOLDING
 - ⑰ REMOVE EXISTING WOOD WALL VENTS TO BE REPLACED WITH NEW MATERIAL. SEE VENT SCHEDULE FOR DESCRIPTION ON NEW VENTS AND CLOSED IN VENT CONSTRUCTION
 - ⑱ CAP EXISTING FLOOR DRAINS AND PATCH CONCRETE
 - ⑲ REMOVE OLD GAS PIPES ON EXTERIOR OF BUILDING
 - ⑳ REMOVE WINDOW AC UNIT

POWER LEGEND

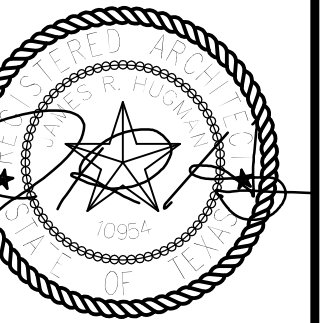
- ⊕ EXISTING OUTLET
- ⊕ 120 VOLT DUPLEX OUTLET. TO BE PLACED 18" (MIDDLE OF OUTLET) A.F.F. UNLESS OTHERWISE INDICATED ON PLANS
- ⊕ WR WEATHER RESISTANT OUTLET
- ⊕ CONDUIT - DATA - TELEPHONE - STUB UP TO ATTIC 18" A.F.F., UNLESS NOTED OTHERWISE ON PLANS
- ⊕ 120 VOLT FOURPLEX OUTLET. TO BE PLACED 18" (MIDDLE OF OUTLET) A.F.F. UNLESS OTHERWISE INDICATED ON PLANS
- ⊕ DEDICATED CIRCUIT - 120 VOLT DUPLEX OUTLET. TO BE PLACED 18" (MIDDLE OF OUTLET) A.F.F. UNLESS OTHERWISE INDICATED ON PLANS
- ⊕ 220 VOLT OUTLET. TO BE PLACED 18" (MIDDLE OF OUTLET) A.F.F. UNLESS OTHERWISE INDICATED ON PLANS.
- ⊕ F.P. FLOOR MOUNTED OUTLET - BRASS FLOOR BOX TRIM - WALKER #895
- ⊕ TELEVISION OUTLET, 18" A.F.F., UNLESS OTHERWISE INDICATED ON PLANS
- ⊕ 120/240 V PANEL
- ⊕ WH WATER HEATER

EXISTING LIGHT FIXTURE LEGEND

- ⊕ SINGLE POLE SWITCH TO BE PLACED 45" (MIDDLE OF SWITCH) A.F.F.
- ⊕ ALL SWITCHES SHALL BE MOUNTED 6" CLEAR FROM THE DOOR ROUGH OPENING.
- ⊕ METAL STUDS: USE CADDY - SCREW GUN BOX BRACKETS. WOOD STUDS: USE WOOD BLOCKING.
- ⊕ 3 3 WAY SWITCH TO BE PLACED 45" (MIDDLE OF SWITCH) A.F.F.
- ⊕ 4 4 WAY SWITCH TO BE PLACED 45" (MIDDLE OF SWITCH) A.F.F.
- ⊕ OCCUPANCY SENSOR SWITCH WITH TIMER, CU OFF AFTER 15 MIN
- ⊕ EXISTING SWITCH
- ⊕ EX EXTERIOR SWITCH INTERMATIC ST700 SERIES
- ⊕ CEILING MOUNTED LIGHT BASELIGHT (W512 19 BLC 25W 4K)
- ⊕ WALL MOUNTED LIGHT
- ⊕ CEILING FAN

EXISTING SQUARE FOOT LEGEND

| | |
|----------------------------------|------------------|
| EXISTING NOT HEATED/COOLED SPACE | 2705 S.F. |
| EXISTING HEATED/COOLED SPACE | 551 S.F. |
| TOTAL | 3256 S.F. |



24 FEBRUARY 2020

PROJECT: Kilgore Swimming Pool Building Renovation
OWNER: City of Kilgore
ADDRESS: 313 N. Henderson Boulevard, Kilgore, TX 75662

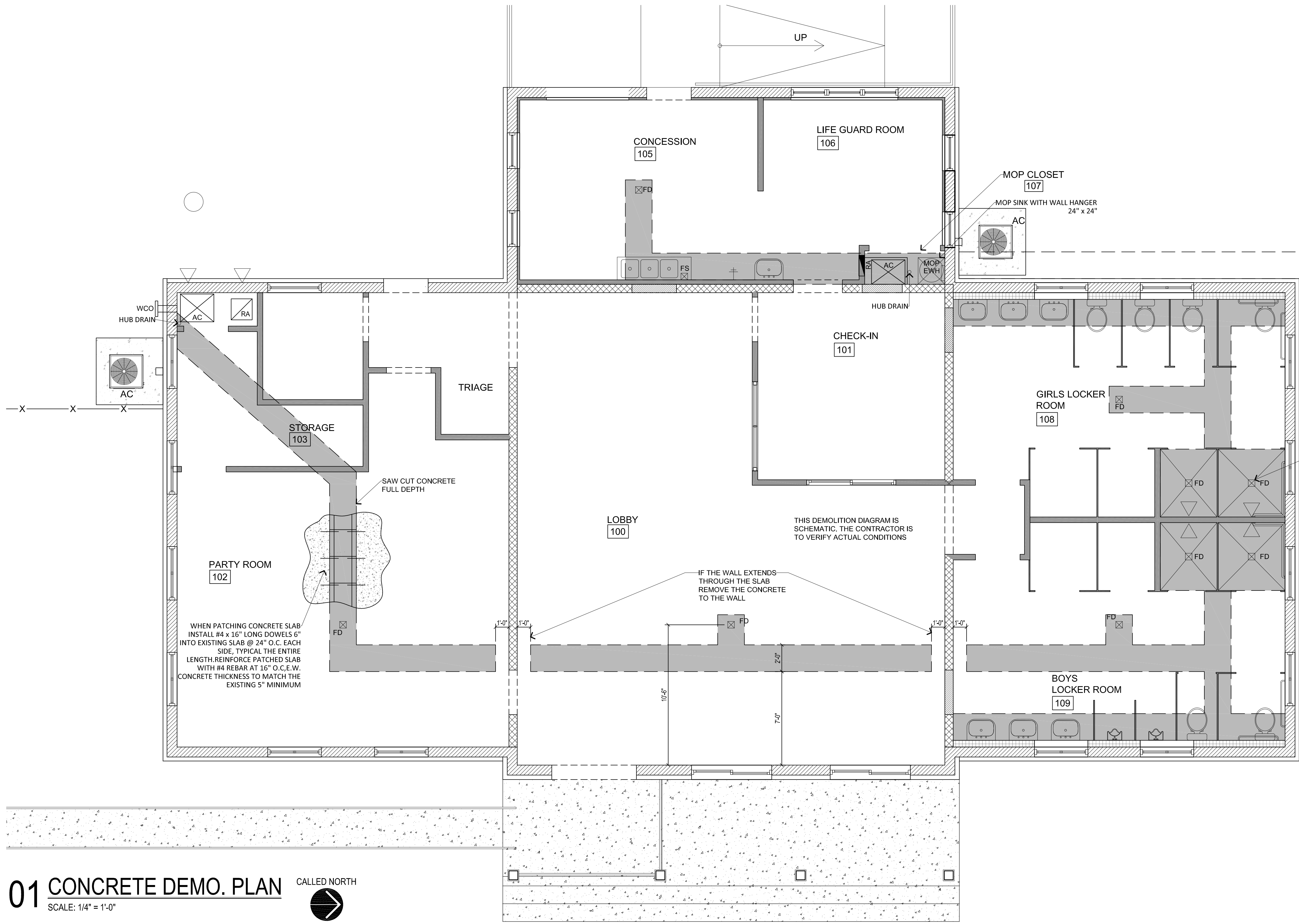
| DATE | REVISIONS |
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DEMO PLAN

A2.0

BY: MCS
DATE: 24 FEBRUARY 2020



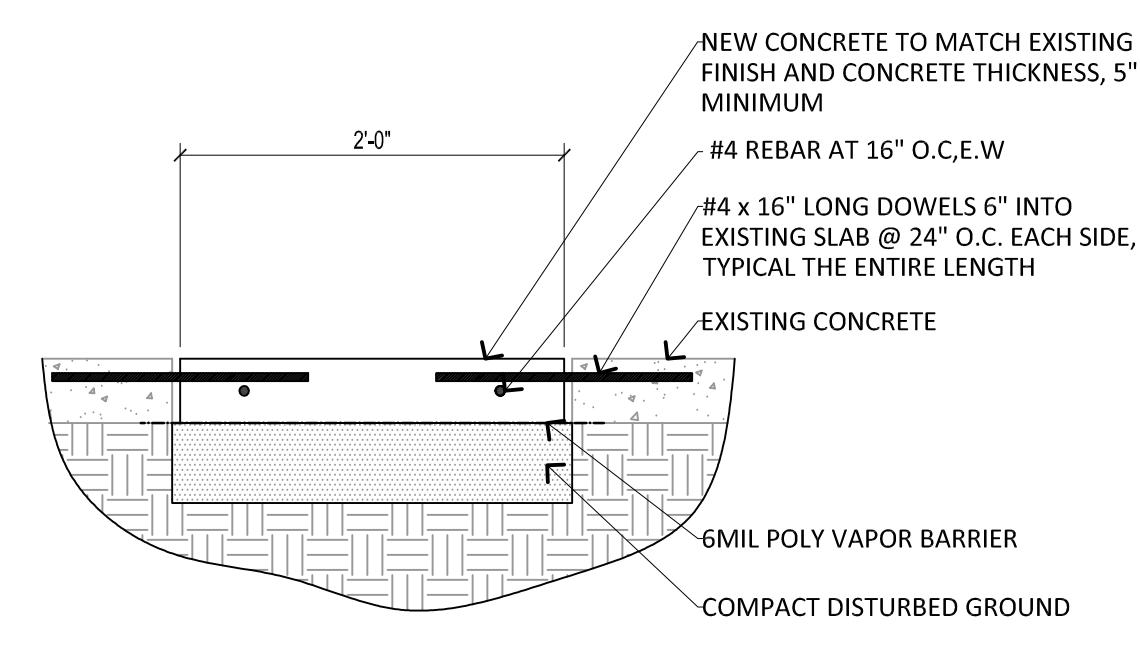
- ### SYMBOLS LEGEND
- GAS OUTLET
 - GAS METER
 - RECESSED FIRE EXT. CABINET RE: SPEC'S.
 - IRRIGATION CONTROL BOX
 - IRRIGATION CONTROL BOX
 - RETURN AIR VENT
 - RETURN AIR DUCT
 - GROMMETS IN CASEWORK RE: INTERIOR ELEVATIONS
 - WALL HYDRANT
 - WATER CONNECTION
 - CORNER GUARD AND EDGE-SEE FINISH SCHEDULE
 - GYP. BD. CONTROL JOINT
 - MASONRY EXPANSION JOINT
 - FLOOR SINK
 - FLOOR DRAIN
 - EXISTING FLOOR DRAIN
 - SHOWER HEAD
 - EXISTING WALL TO BE REMOVED
 - EXISTING STUD WALL FRAMING
 -
 - EXTERIOR STONE VENEER
 -
 -
 -
 - EXISTING BRICK WALL WITH ROCK FOOTING
 - EXISTING CMU WALL
 -
 - WALL CLEAN OUT

01 CONCRETE DEMO. PLAN

SCALE: 1/4" = 1'-0" CALLED NORTH

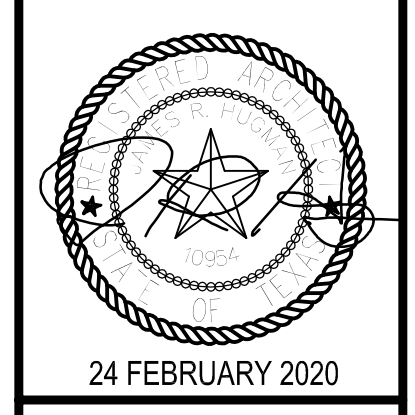
NEW SQUARE FOOT LEGEND

| | |
|-----------------------------|-----------|
| NEW NOT HEATED/COOLED SPACE | 1846 S.F. |
| NEW HEATED/COOLED SPACE | 1378 S.F. |
| TOTAL | 3224 S.F. |



02 CONCRETE INLAY DETAIL

SCALE: 1" = 1'-0"



PROJECT: Kilgore Swimming Pool Building Renovation
OWNER: City of Kilgore
ADDRESS: 313 N. Henderson Boulevard, Kilgore, TX 75662

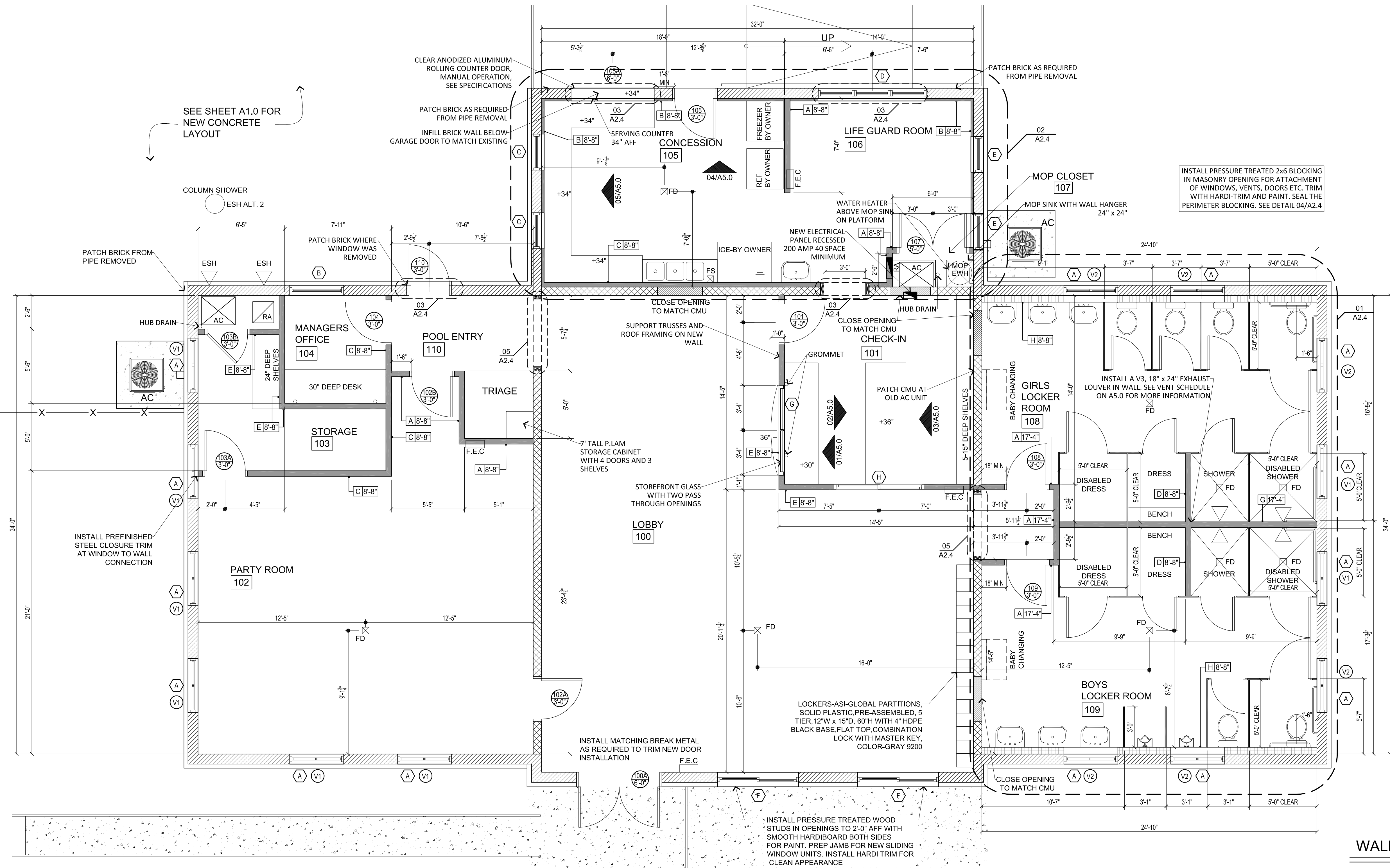
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CONCRETE DEMO PLAN

A2.1

BY: MCS
DATE: 24 FEBRUARY 2020



SYMBOLS LEGEND

- GAS OUTLET
- GAS METER
- RECESSED FIRE EXT. CABINET RE: SPEC'S.
- IRRIGATION CONTROL BOX
- RETURN AIR VENT
- RETURN AIR DUCT
- GROMMETS IN CASEWORK RE: INTERIOR ELEVATIONS
- WALL HYDRANT
- WATER CONNECTION
- CORNER GUARD AND EDGE-SEE FINISH SCHEDULE
- GYP. BD. CONTROL JOINT
- MASONRY EXPANSION JOINT
- FLOOR SINK
- FLOOR DRAIN
- EXISTING FLOOR DRAIN
- SHOWER HEAD
- EXISTING WALL TO BE REMOVED
- EXISTING STUD WALL FRAMING
-
- EXTERIOR STONE VENEER
-
-
-
- EXISTING BRICK WALL WITH ROCK FOOTING
- EXISTING CMU WALL
-
- WALL CLEAN OUT

WALL TYPES:

- [A] VARIES** 2 x 4 WOOD STUDS 16" O.C. // 5/8" GYP. BOARD INTERIOR AND FRP TO CEILING BOTH SIDES. IN LOCKER ROOMS-ABOVE 8'-0" INSTALL HARDI PANEL ON BOTH SIDES INSTEAD OF GYP. BOARD TO 17'-4"
- [B] VARIES** 1 5/8" METAL STUDS 16" O.C. // 5/8" GYP. BOARD INTERIOR AND FRP TO CEILING
- [C] VARIES** 2 x 4 WOOD STUDS 16" O.C. // 5/8" GYP. BOARD INTERIOR AND FRP TO CEILING ON ONE SIDE.
- [D] VARIES** 2 x 4 WOOD STUDS 16" O.C. // 5/8" GP DENSHIED TILE BACKER, EXTEND WALL TO JOISTS. INPRO WALL PROTECTION ON DRESSING SIDE INPRO 1/4". THICK SOLID SURFACE WALL PANELS ON THE SHOWER SIDE WITH TILE BACKER BOARD
- [E] VARIES** 2 x 4 WOOD STUDS 16" O.C. // 5/8" GYP. BOARD, 3 1/2" SOUND BATTS INSULATION, EXTEND WALL TO WOOD CEILING, WITH 5/8" GYP. BOARD INTERIOR AND FRP TO CEILING ON ONE SIDE
- [F] VARIES** 2 1/2" METAL STUD WITH 5/8" GYP. BOARD AND FRP TO CEILING SOUND BATTS
- [G] VARIES** 2 x 4 WOOD STUDS 16" O.C. 5/8" TILE BACKER BOARD BOTH SIDES. ABOVE 8'-0" INSTALL HARDI PANEL ON BOTH SIDES INSTEAD OF GYP BOARD TO 17'-4" AFF
- [H] VARIES** 2x6 WOOD STUDS 16" O.C., 5/8" GP DEN ARMOR PLUS PAPERLESS DRYWALL ONE SIDE AND FRP TO CEILING JOISTS

01 NEW FLOOR PLAN CALLED NORTH

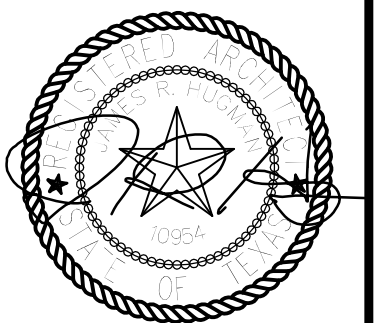
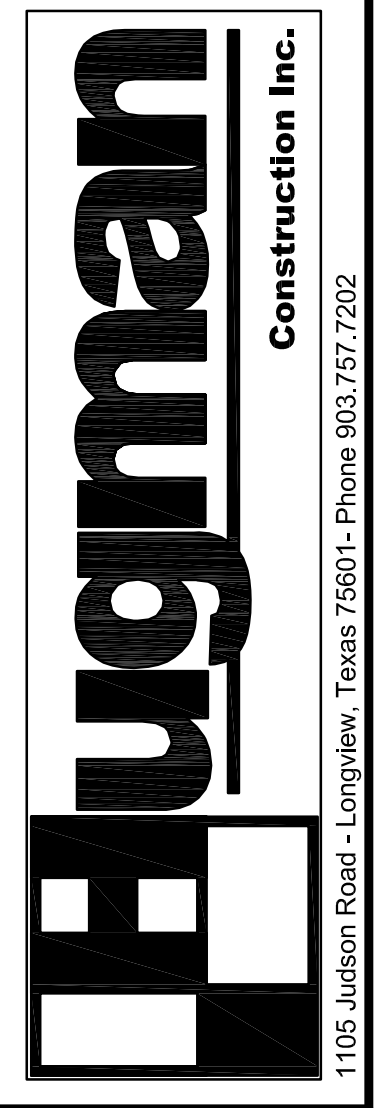
SCALE: 1/4" = 1'-0"

NEW SQUARE FOOT LEGEND

| | |
|-----------------------------|-----------|
| NEW NOT HEATED/COOLED SPACE | 1846 S.F. |
| NEW HEATED/COOLED SPACE | 1378 S.F. |
| TOTAL | 3224 S.F. |

NOTED / DIMENSIONED FLOOR PLAN GENERAL NOTES

1. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
2. PROVIDE CORNER GUARDS TO ALL OUTSIDE CORNERS NO EXCEPTIONS.
3. ALL WALLS ARE DIMENSIONED TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED / DETAILED. CMU BLOCK IS DIMENSIONED TO THE EDGE OF BLOCK.
4. DOOR FRAMES NOT DIMENSIONALLY LOCATED SHALL BE A MIN. OF 6" OFF ADJACENT WALL.
5. REFER TO WALL TYPES FOR WALL CONSTRUCTION INFORMATION
6. REFER TO WALL SECTION AND SECTION DETAILS FOR ADDITIONAL DIMENSIONAL INFORMATION.
7. DOUBLE STUD EACH SIDE OF DOOR FRAME AND HEADER WITH 25 GA. METAL STUDS. UNLESS DOORS ARE OVER 3'-0" DOUBLE STUD EACH SIDE OF DOOR FRAME AND HEADER WITH 20 GA. METAL STUDS WITH 20 GA. TRACKS ON EITHER SIDE OF DOOR.
8. INSTALL NEW CROWN MOLDING IN ROOMS 100 AND 110, DW DISTRIBUTION 8010, PINE.
9. INSTALL R-30 BATT INSULATION ABOVE WOOD PLANK CEILING
10. VERIFY THE REQUIRED AC CLOSET SIZE BEFORE CONSTRUCTING. BUILD 2' TALL AC PLATFORM IN CLOSET, DECK TO BE 3/4" PLYWOOD



24 FEBRUARY 2020

PROJECT: Kilgore Swimming Pool Building Renovation
OWNER: City of Kilgore
ADDRESS: 313 N. Henderson Boulevard, Kilgore, TX 75662

DATE REVISIONS

| DATE | REVISIONS |
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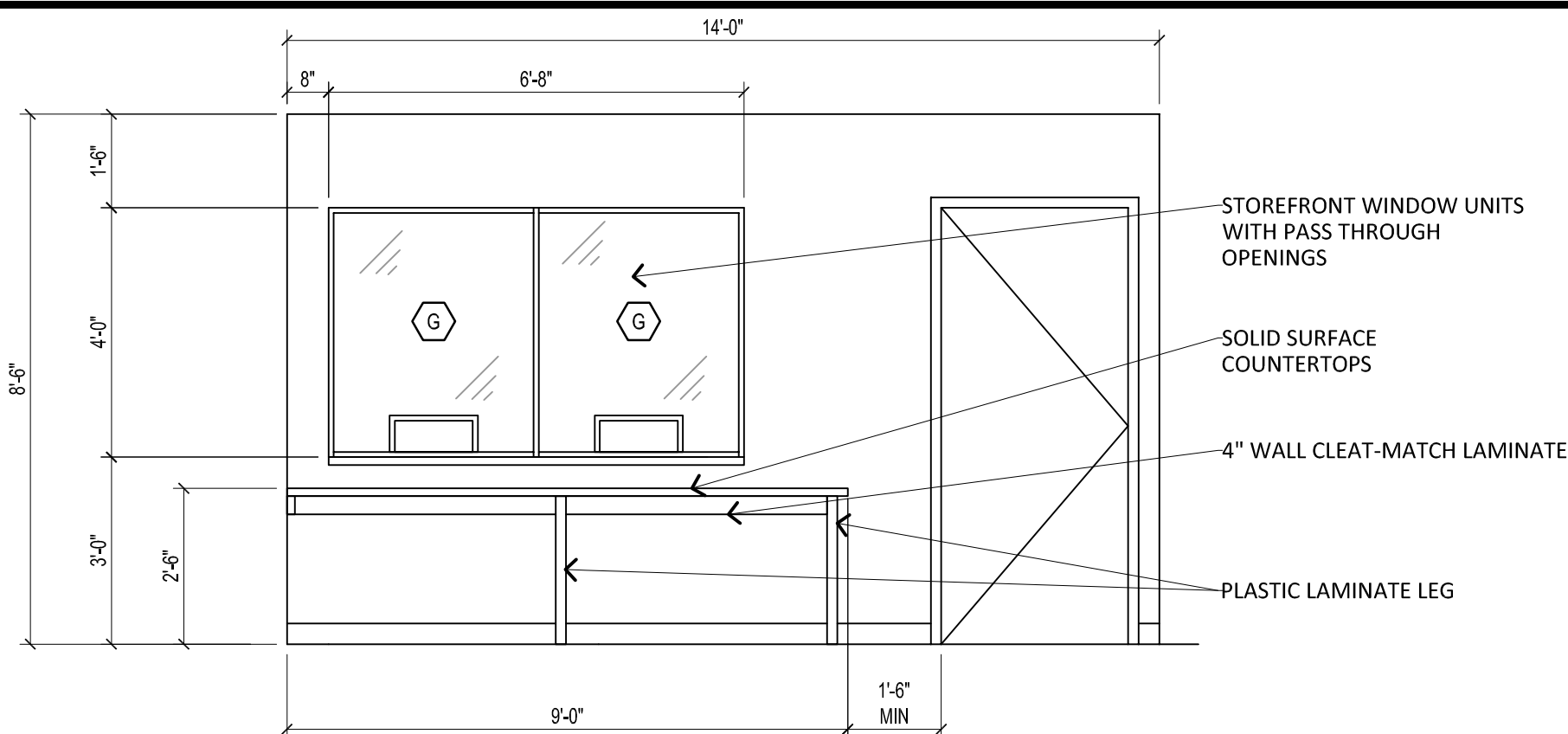
NEW FLOOR PLAN

A2.2

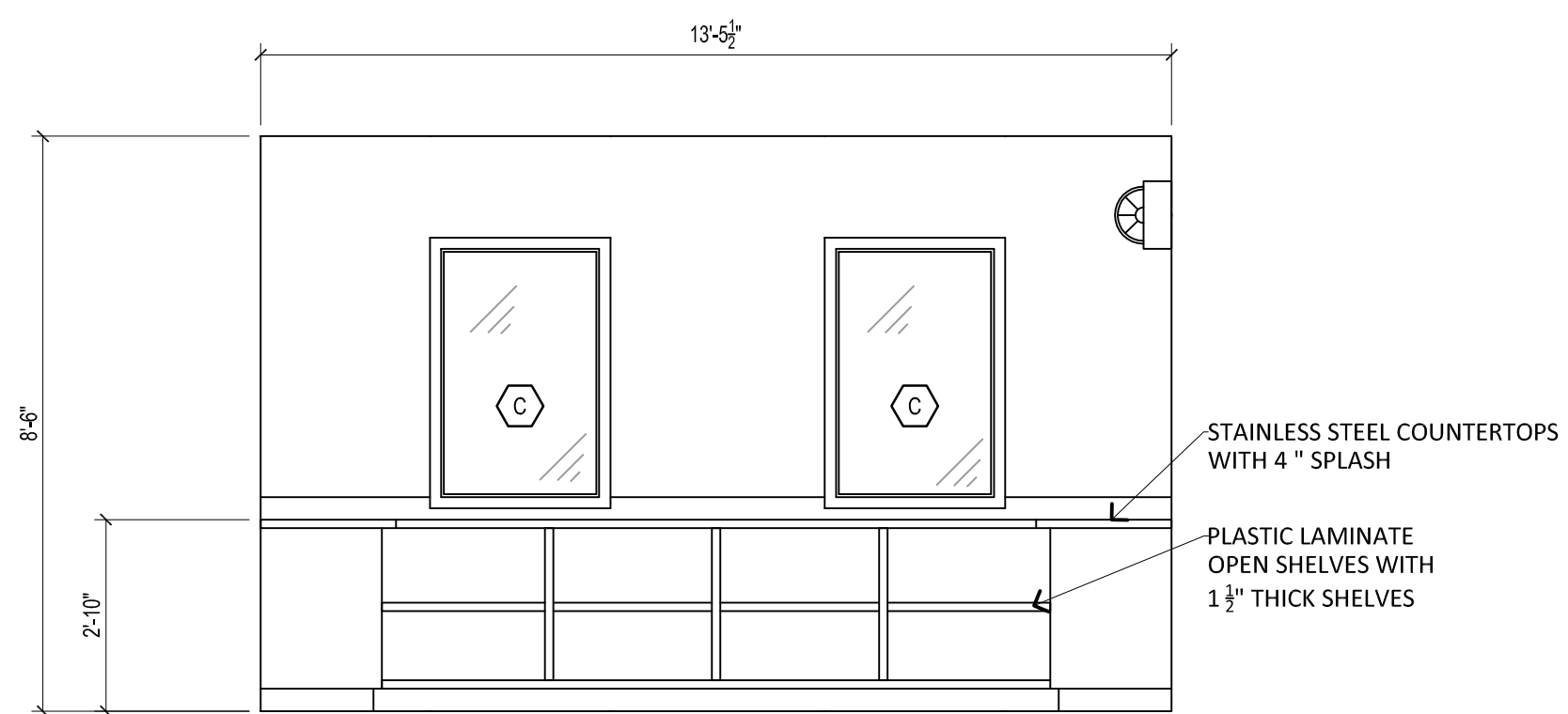
BY: MCS

DATE: 24 FEBRUARY 2020

Drawing not to be scaled



01 CHECK IN DESK
SCALE: 3/8" = 1'-0"



05 CONCESSION STAND
SCALE: 3/8" = 1'-0"

VENT SCHEDULE

| MARK | REMARKS |
|------|---|
| V1 | 2 x 4 PRESSURE TREATED WOOD STUD FRAME AT 16" O.C. EXTERIOR 5/8" CDX PLYWOOD WITH 1" INSULATION BOARD AND SMOOTH HARDIBOARD FOR PAINT. INTERIOR-BATT INSULATION BETWEEN THE STUDS AND SMOOTH HARDIBOARD FOR PAINT. (SEE DETAIL 06/A2.4) |
| V2 | CUSTOM FIT METAL LOUVERS FRAMES WITH DAMPER GRAVITY DRIVEN |
| V3 | DAYTON 20UA93 COMBINATION LOUVER/DAMPER WITH FLANGE, 1,559 CFM EXHAUST, 1,090 CFM INTAKE, INSTALLED 13'-0" AFF-IN WALL BETWEEN THE LOCKER ROOMS |
| V4 | DAYTON 16D540 DOWNBLAST VENTILATOR, BELT DRIVEN, 1,692 CFM, INSTALL ON THE ROOF ABOVE THE GIRLS LOCKER ROOM. |

WINDOW SCHEDULE

| MARK | STYLE | SIZE | MATERIAL | REMARKS |
|-------------|-------------|-----------------------|----------------|---|
| ALL WINDOWS | STYLE | NOMINAL SIZE | | HEAD HT. OF WINDOWS VARIES - REFER TO DRAWINGS. FIXED ENTRY GLASS - "LOW E" INSUL. GLASS. |
| | | WIDTH x HEIGHT | | |
| A | SINGLE HUNG | 4'-0" X 2'-9" | VINYL | LOCATED IN EXISTING OPENINGS-FIELD MEASURE, GLASS-OBSOLETE |
| B | SINGLE HUNG | 4'-0" X 7'-6" | VINYL | LOCATED IN EXISTING OPENINGS-FIELD MEASURE |
| C | SINGLE HUNG | 2'-8" X 4'-0" | VINYL | LOCATED IN EXISTING OPENINGS-FIELD MEASURE |
| D | SINGLE HUNG | TRIPLE, 2'-8" X 5'-1" | VINYL | LOCATED IN NEW OPENING-FIELD MEASURE |
| E | SINGLE HUNG | 2'-8" X 5'-1" | VINYL | LOCATED IN EXISTING OPENINGS-FIELD MEASURE |
| F | SLIDER | PR 3'-0" X 5'-0" | VINYL | LOCATED IN EXISTING OPENINGS-FIELD MEASURE, SCREENS |
| G | STORE FRONT | 6'-8" X 4'-0" | ALUMINUM FRAME | (2) PASS THROUGH HOLES 6"H x 15"W |
| H | STORE FRONT | 6'-8" X 4'-0" | ALUMINUM FRAME | SLIDER-ACTIVE SLIDE ON LEFT WITH LOCK ON CHECK-IN DESK SIDE |

NOTES:

- WINDOWS AS SPECIFIED U.N.O. - RE: SPECIFICATIONS, SUBSTITUTES MUST COMPLY W/ SPECIFICATIONS AND SIZE AND MUST BE APPROVED BY ARCHITECT.
- ROUGH OPENING SIZES: VERIFY WITH WINDOW MANUFACTURER BEFORE FRAMING.
- CONTRACTOR TO VERIFY ALL QUANTITY TAKE OFFS.
- WINDOWS WITH LOW E INSULATED GLASS U.N.O. - RE: SPECIFICATIONS
- ALL MULLIONS ARE TO BE PLACED BETWEEN THE GLASS
- INSTALL 1x4 WOOD TRIM AROUND WINDOWS.

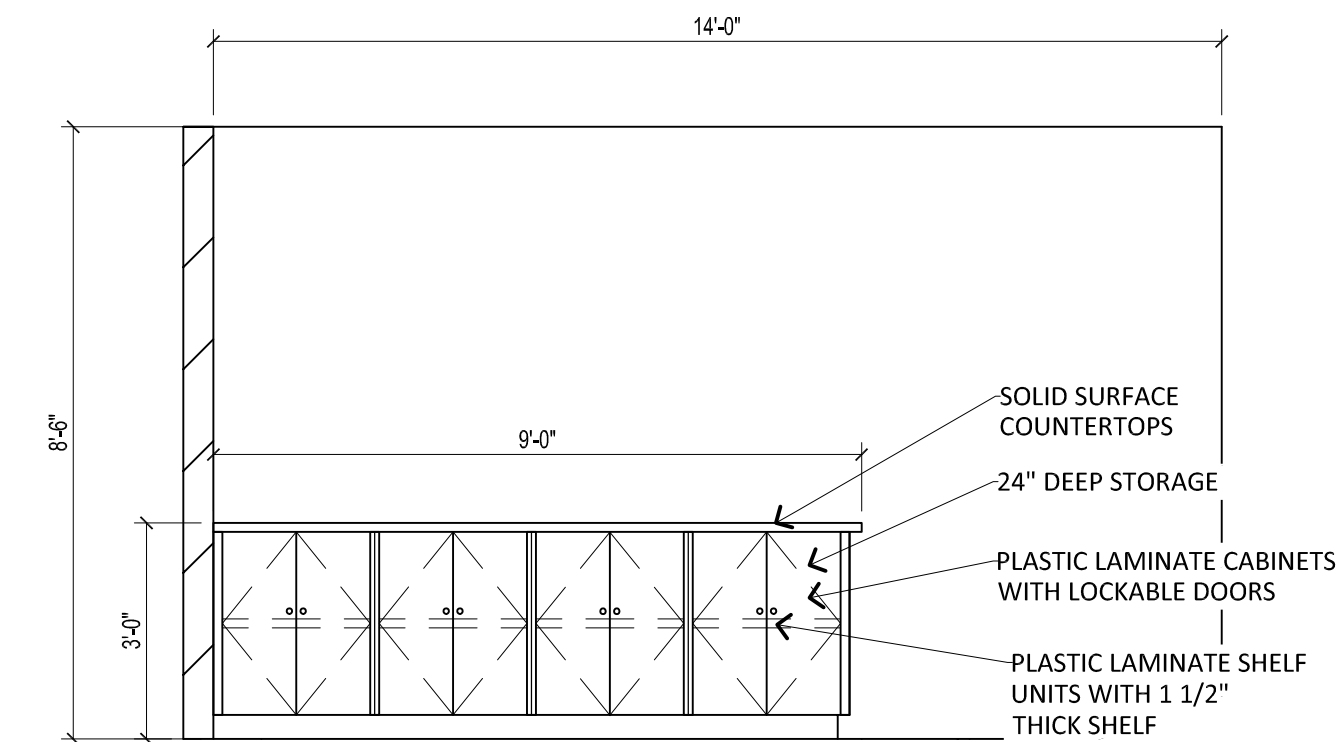
DOOR AND FRAME SCHEDULE

| DOOR NO. | ROOM NAME | PAIR | DOOR OPENING SIZE | | MATERIAL | FINISH | GLASS | FRAME | | HARDWARE | | | ACCESSORIES | FIRE RATING LABEL | NOTES |
|----------|-------------------|------|-------------------|--------|----------|--------|-------|----------|--------|----------|--------|----------|-------------|-------------------|-------|
| | | | WIDTH | HEIGHT | | | | MATERIAL | FINISH | HINGES | CLOSER | LATCHING | | | |
| 100A | LOBBY | | 3'-0" | 7'-0" | ST | ALUM. | | ST | ALUM | CB | DC | EO | SL,KS | | 9 |
| 101 | CHECK IN | | 3'-0" | 6'-8" | FG | PAINT | | TNR | PAINT | UNIT | | EO | WB | | 8 |
| 102A | PARTY ROOM | | 3'-0" | 7'-0" | ST | ALUM. | | ST | ALUM | CB | DC | SH | WB | | 9 |
| 102B | PARTY ROOM | | 3'-0" | 7'-0" | ST | ALUM. | | ST | ALUM | CB | DC | SH | WB | | 9 |
| 103A | STORAGE | | 3'-0" | 6'-8" | FG | PAINT | | TNR | PAINT | CB | DC | ST | WB | | 8 |
| 103B | AC CLOSET | | 3'-0" | 6'-8" | FG | PAINT | | TNR | PAINT | UNIT | | PA | FB | | 8 |
| 104 | MANAGERS OFFICE | | 3'-0" | 6'-8" | FG | PAINT | | TNR | PAINT | UNIT | | EO | WB | | I, 8 |
| 105 | CONCESSION | | 3'-0" | 7'-0" | HM | PAINT | | HM | PAINT | CB | DC | EO,CD | | | F, 9 |
| 105A | CONCESSION | | 6'-0" | 4'-0" | RCD | ALUM. | | ALUM. | | | | SB | | | G |
| 107 | MOP CLOSET | | 2'-6" | 6'-8" | FG | PAINT | | TNR | PAINT | | | PA | FB | | 8, 10 |
| 108 | GIRLS LOCKER ROOM | | 3'-0" | 6'-8" | FG | PAINT | | TNR | PAINT | CB | DC | P | FS | | 8 |
| 109 | BOYS LOCKER ROOM | | 3'-0" | 6'-8" | FG | PAINT | | TNR | PAINT | CB | DC | P | FS | | 8 |
| 110 | POOL ENTRY | | 3'-0" | 8'-0" | ST | ALUM. | | ST | ALUM | CB | DC | SH | SL,KS | | H |

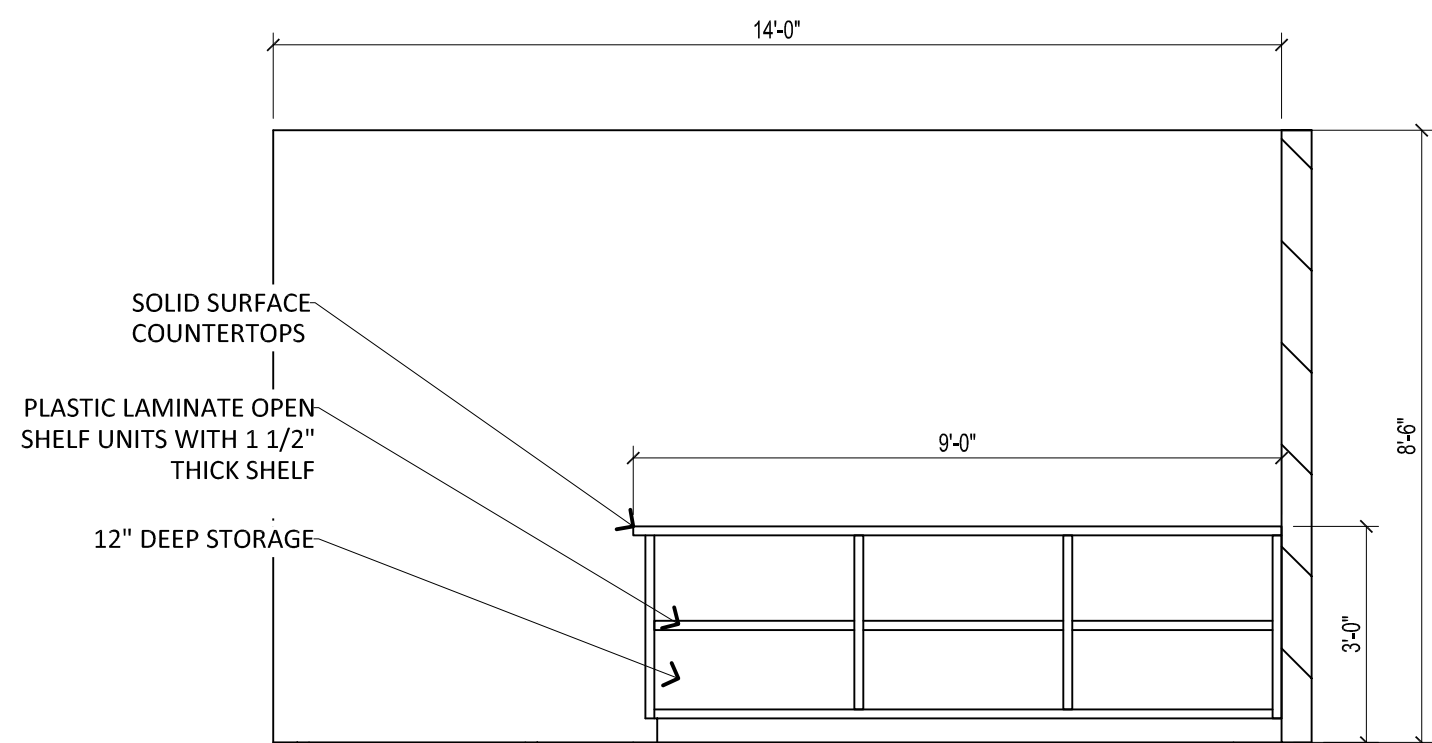
ABBREVIATIONS:
 PL - PLASTIC LAMINATE
 HM - HOLLOW METAL
 PS - PREFINISHED STEEL
 P - PAINT
 SILV. - SILVER
 ST-STORE FRONT
 FG-FIBERGLASS
 TNR-TOUGH NO ROT
 RCD- ROLLING COUNTER DOOR
 ALUM- ALUMINUM

NOTES:
 A. SIDELIGHTS
 B. VIEW PANEL
 C. INSULATED FOAM
 D. ACCESS CONTROL PAD
 E. 14 GA HEAVY DUTY DOOR
 F. VIEWLITE 18"x26"
 G. MANUAL
 H. TRANSOM
 I. VIEWLITE 8" x 32"

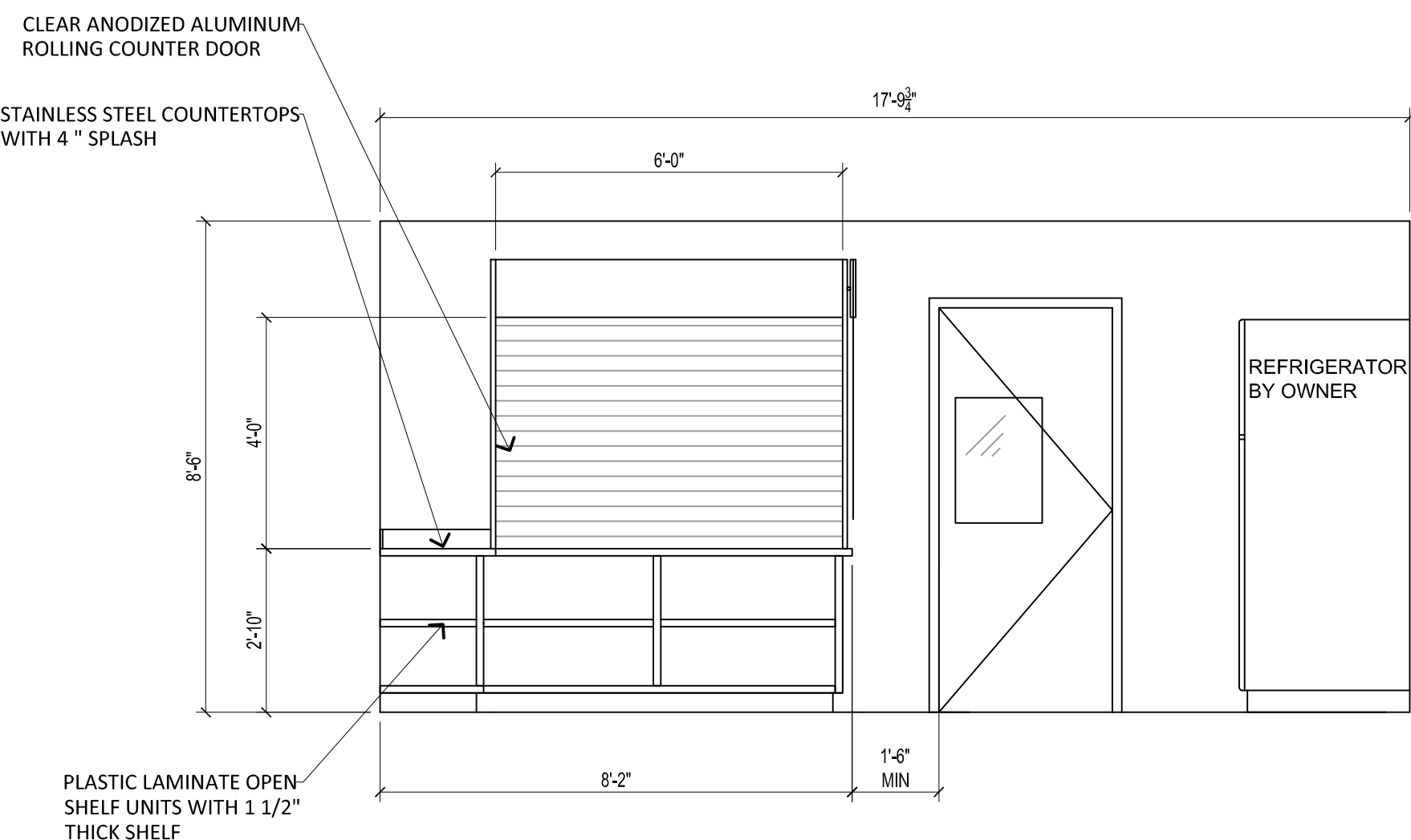
GENERAL NOTES:
 1. REFER TO SPECIFICATIONS FOR DOOR HARDWARE
 2. ALL FINISHES TO BE SATIN CHROME U.N.O.
 3. UNDERCUTS - HOLLOW METAL 3/4"
 4. ACCEPTABLE HARDWARE MANUFACTURERS: FALCON, SCHLAGE, RUSSWIN, TRIMCO, HAGER AND YALE.
 5. 2 3/8" BACKSET AND ASA STRIKES ON ALL HARDWARE
 6. IF A DOOR HAS A VIEW PANEL - BOTTOM OF THE GLASS HAS TO BE AT 43" A.F.F. MAX
 7. ALL INTERIOR DOORS TO HAVE (3) HINGES TO MATCH DOOR HARDWARE U.N.O.
 8. INTERIOR DOORS-FIBERGLASS , 1 3/4" SMOOTH, FLUSH WITH EXTERIOR JAMB. NOT KERFFED FOR WEATHERSTRIPPING, PRIMED HINGES, PAINT
 9. VERIFY EXISTING OPENING FOR DOOR SIZE
 10. HEAD BOLT FOR INTERACTIVE DOOR



02 CHECK IN CABINETS
SCALE: 3/8" = 1'-0"



03 CHECK IN OPEN SHELVES
SCALE: 3/8" = 1'-0"

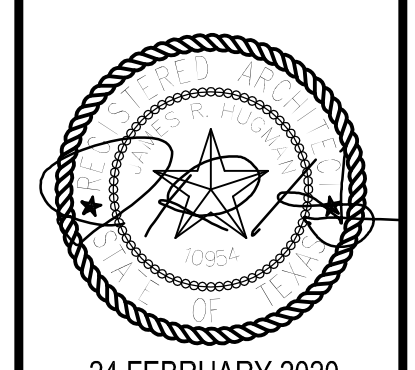
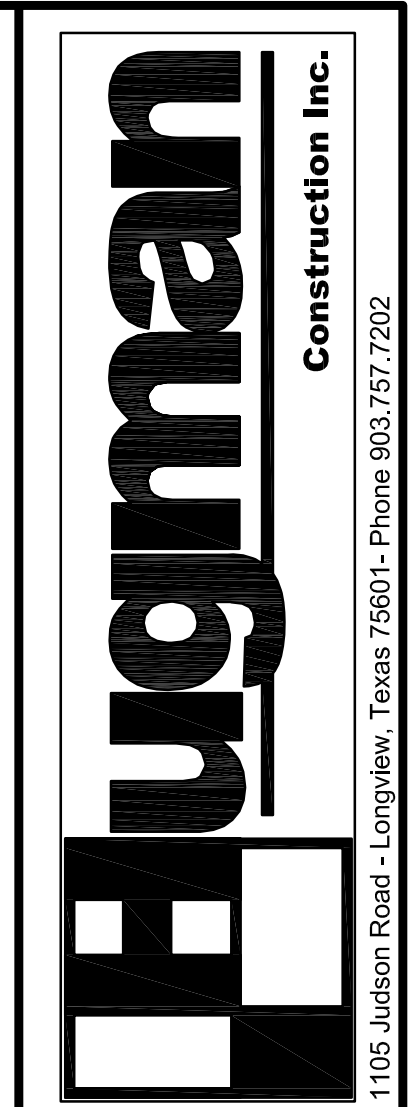


04 CONCESSION STAND
SCALE: 3/8" = 1'-0"

HARDWARE SCHEDULE

| ABBREVIATION | DESCRIPTION: | NOTES |
|--------------|--|---------------------------|
| | HINGES: | |
| UNIT | HINGE PROVIDED WITH PRE-HUNG UNIT | |
| CB | STD. WT. CONCEALED BEARING HINGES- 4 1/2 x 4 1/2 STANLEY CB1900 or HAGER BB 1279 | |
| PB | STD. WT. PLAIN BEARING HINGES- 4 1/2 x 4 1/2 STANLEY 1900 | 1900R |
| BB | HEAVY WT. BALL BEARING HINGE - 4 1/2" X 4 1/2" HAGER BB1168 | |
| 2K | TWO KNUCKLE HAGER 920 FULL MORTISE, PLAIN BEARING | |
| SH | SPRING HINGE, STANLEY 2060R 4 1/2" X 4 1/2" | |
| | DOOR CLOSER: | |
| DC | DOOR CLOSER, DORMA 8616 PA (PARALLEL ARM) | 7601 PA |
| DC-H | PLUNGER HOLD OPEN DOOR CLOSER, DORMA 8616 PHP | 7601 PAFHO |
| | DOOR LATCHING: | |
| CL | CLASSROOM LOCK - FALCON (W-SERIES), QUANTUM GALA | W561 - ANSI F84, GRADE 2 |
| ST | STORE ROOM- FALCON (W-SERIES), QUANTUM GALA | W101 - ANSI F75, GRADE 2 |
| PA | PASSAGE, FALCON (W-SERIES), QUANTUM GALA | W301 - ANSI F76, GRADE 2 |
| EO | ENTRY/OFFICE LOCK, FALCON (W-SERIES), QUANTUM GALA | W511 - ANSI F109, GRADE 2 |
| DT | DUMMY TRIM, FALCON (W-SERIES), QUANTUM GALA | W12 |
| CD | CYLINDER DEADLOCK WITH THUMB TURN, FALCON D441, 2 3/4" BACKSET | D441 |
| LE | LEVER EXIT DEVICE, DORMA 9300xYR08 | 9300 YR08 |
| SH | STANDARD STOREFRONT PUSH BAR AND PULL | |
| P | PUSH/PULL SET TRIMCO 1001 PUSH PLATE, 1010 PULL PLATE WITH 1010-1, 12" PULL | |
| | ACCESSORIES: | |
| RM | REMOVABLE MULLION FOR A PAIR OF DOORS | W1276CCS |
| WB | WALL BUMPER, TRIMCO W1267CCS, CONCAVE or HAGER 234W | 1201 |
| FS | FLOOR STOPS, TRIMCO W1210 | |
| SB | INTERIOR SLIDE BOLT | |
| KP | KICK PLATE | |
| FB | FLUSH BOLT, TRIMCO 3917 | 3917 |
| AFB | AUTOMATIC FLUSH BOLT, TRIMCO 3810 | 3810 |
| W | WEATHERSTRIP & SWEEP- NATIONAL GUARD, 160V x 3070 (6070 @ PAIR) X AL, 98V X 36" X AL | 160V, 98V |
| T | THRESHOLD - NATIONAL GUARD, 424 x 36" (72" @ PAIR) X AL | 424 |
| D | DRIP CAP - NATIONAL GUARD, 16A x 40" AL | 16A |
| SL | STOREFRONT LOCK ADAMS RITE MS-1850 DEADLOCK PAIRS TO HAVE 3 POINT LOCK | |
| KS | KICKSTOP | |

- GENERAL NOTES:**
- ALL FINISHES TO BE SATIN CHROME (US 26D) UNLESS SPECIFICALLY SPECIFIED OTHERWISE
 - ACCEPTABLE MANUFACTURERS: FALCON, PDQ, SCHLAGE, RUSSWIN, TRIMCO
 - 2 3/4" BACKSET AND ASA STRIKES ON ALL HARDWARE
 - USE PLAIN BEARING HINGES ON STANDARD 3'-0" DOORS U.N.O.
 - USE BALL BEARING HINGES ON ALL DOORS WITH CLOSURES AND ALL DOORS OVER 3'-0" WIDE.
 - USE NON REMOVABLE PIN HINGES ON EXTERIOR DOORS



24 FEBRUARY 2020

Kilgore Swimming Pool Building Renovation
 OWNER: City of Kilgore
 ADDRESS: 313 N. Henderson Boulevard, Kilgore, TX 75662

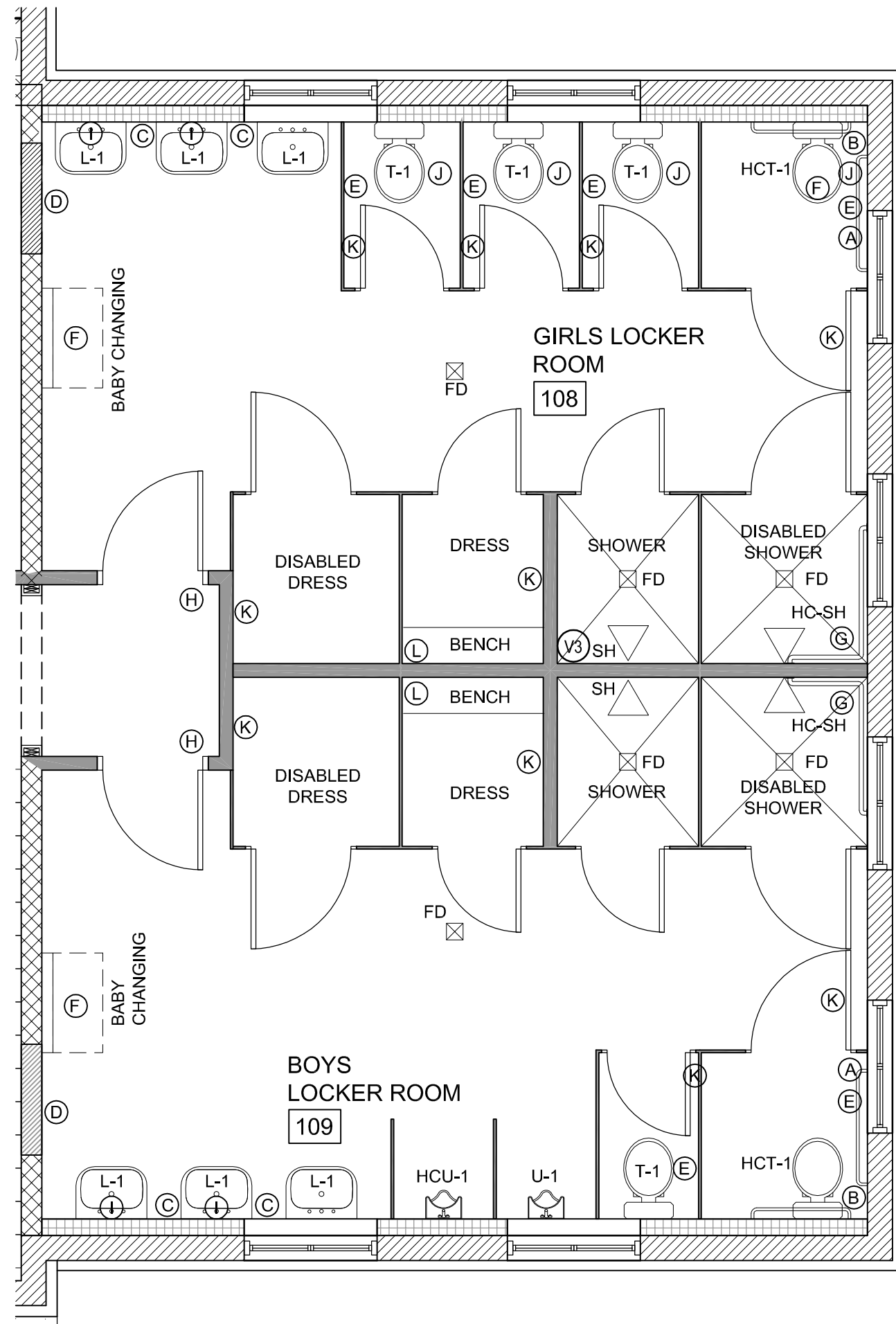
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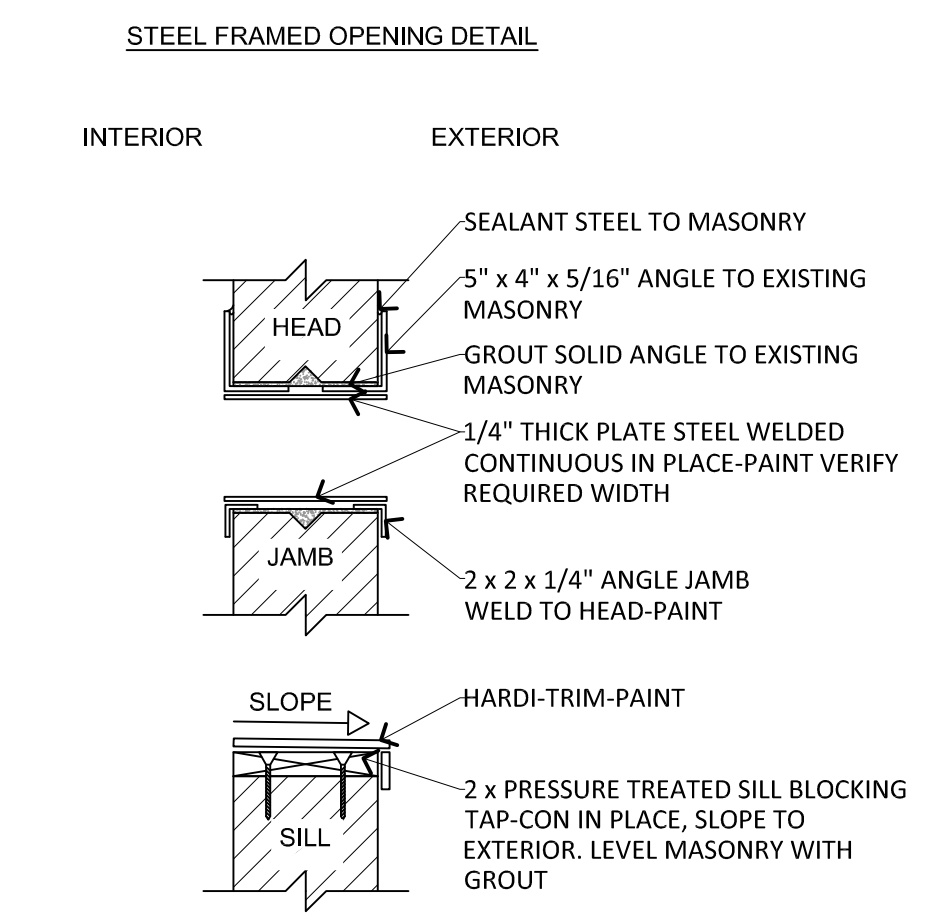
INTERIOR ELEVATIONS AND SCHEDULES

A2.3

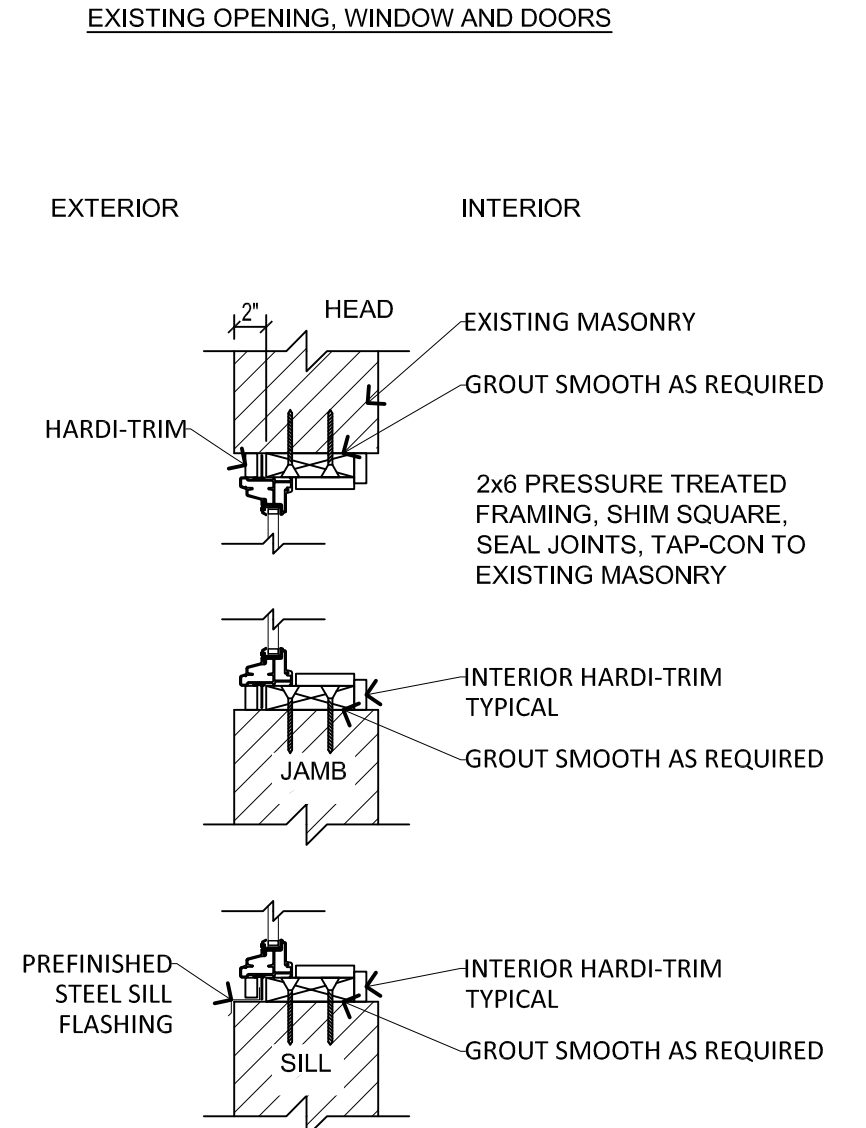
BY: MCS
 DATE: 24 FEBRUARY 2020



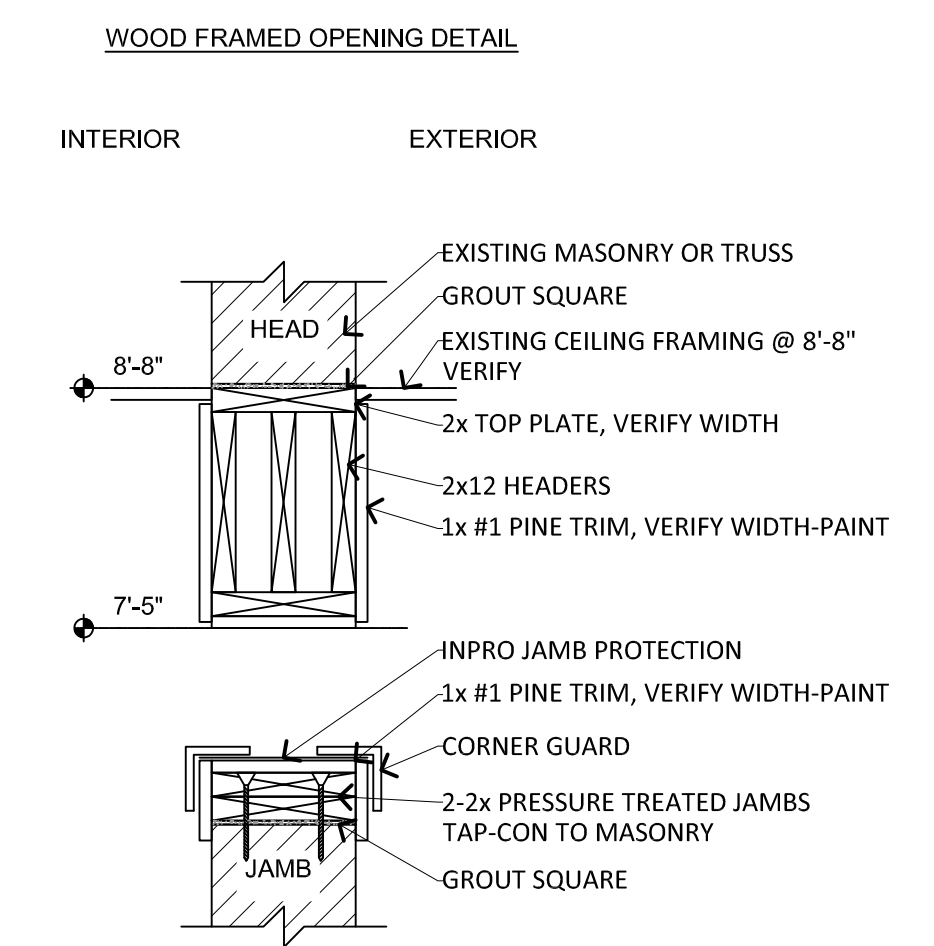
01 LOCKER ROOMS CALLED NORTH
SCALE: 1/4" = 1'-0"



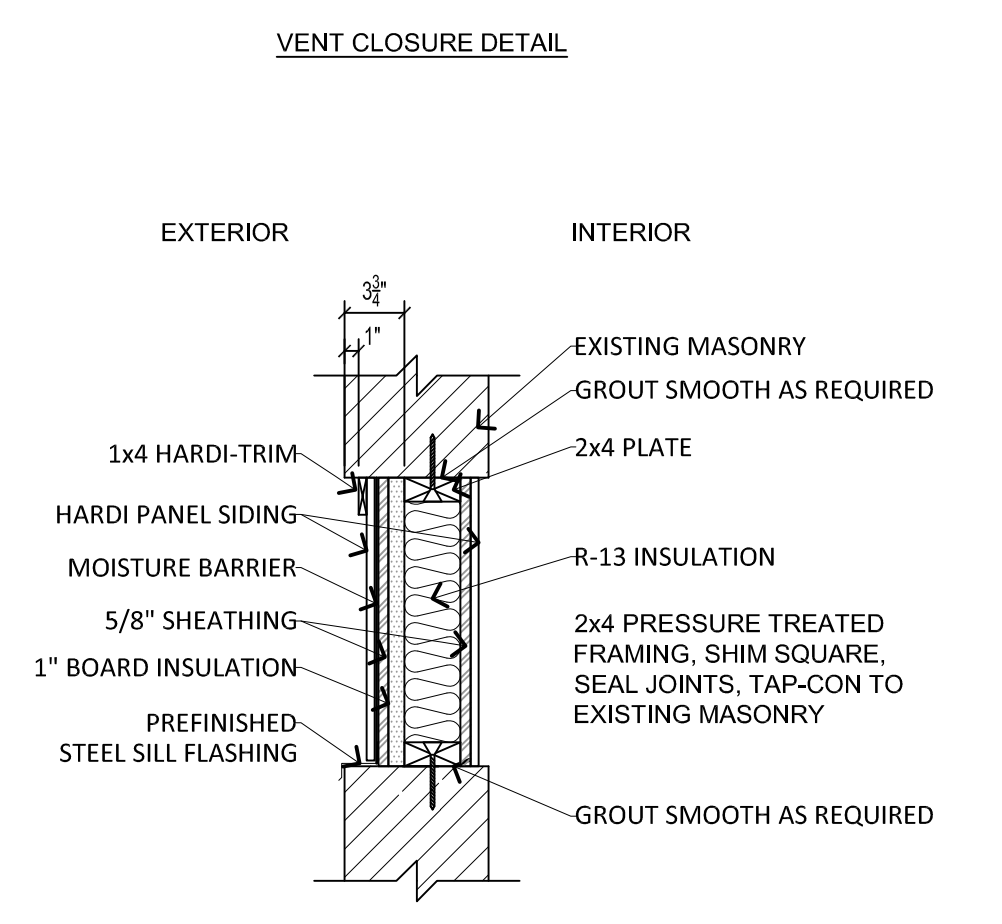
03 STEEL FRAMED OPENING
SCALE: 1" = 1'-0"



04 EXISTING OPENING
SCALE: 1" = 1'-0"



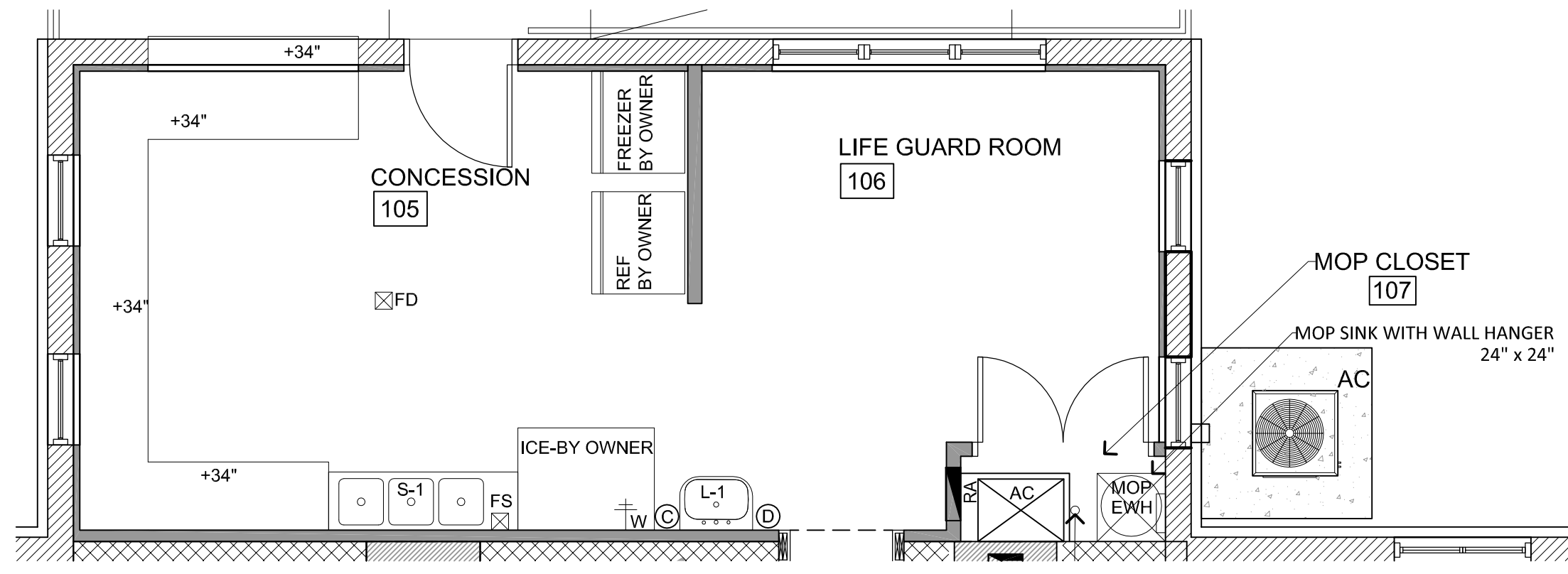
05 WOOD FRAMED OPENING
SCALE: 1" = 1'-0"



06 VENT CLOSURE
SCALE: 1" = 1'-0"

RESTROOM ACCESSORIES LEGEND

- NOT ALL ITEMS MAY PERTAIN TO THIS JOB- SEE DETAILS & ENLARGED FLOOR PLAN
- (A) 42" BOBRICK B-5806 GRAB BAR - 1 1/4" DIA., 18 GAUGE STAINLESS STEEL WITH SNAP ON FLANGES FOR CONCEALED MOUNTING.
 - (B) 36" BOBRICK B-5806 GRAB BAR - 1-1/4" DIA., 18 GAUGE STAINLESS STEEL WITH SNAP ON FLANGES FOR CONCEALED MOUNTING.
 - (C) SOAP DISPENSER - BOBRICK B-4112
 - (D) PAPER TOWEL DISPENSER - EXISTING TO REMAIN, PROTECT. CLEAN-UP
 - (E) TOILET PAPER DISPENSER - BOBRICK B-4288
 - (F) GLOBAL T9F841430, BABY CHANGING STATION
 - (G) HORIZONTAL CORNER GRAB BAR
 - (H) ACCESSIBLE SIGNAGE: COLOR TO BE CHOSEN BY ARCHITECT FROM AVAILABLE COLOR OPTIONS
MEN'S RR WHEELCHAIR ACCESSIBLE
WOMEN'S RR WHEELCHAIR ACCESSIBLE
 - (I) MIRROR: REFER INTERIOR ELEVATIONS
 - (J) SANITARY NAPKIN DISPOSER - BOBRICK CONTURA SERIES B-270 SURFACE MOUNTED.
 - (K) COAT HOOK - HANG AT 48" HT. MAX. - BOBRICK B-672 ROBE HOOK
 - (L) PHENOLIC LOCKER ROOM BENCH WITH STAINLESS STEEL LEGS, ROBINSON STEEL CO. #RSCPL13, 9.5" x 48" WITH 2 STAINLESS STEEL PEDESTALS

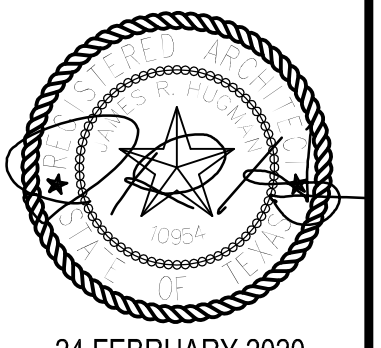


02 CONCESSION & LIFE GUARD ROOM CALLED NORTH
SCALE: 1/4" = 1'-0"

| MARK SYM. | DESCRIPTION FIXTURES | MANUFACTURER | | TYPE | CONNECTIONS | | | FINISH | NOTES |
|------------|---|----------------------------|---------------------|---|-------------|------|---------------------|----------------------|--|
| | | MANUF. | MODEL NO. | | HOT | COLD | TRAP | | |
| T-1 | TOILET BOWL | AMERICAN STANDARD | A2234001020 | 10 OR 12 IN ROUGH-IN ELONGATED FLOOR TOILET BOWL | - | - | INT. | WHITE | ELONGATED BOWL TOILET |
| | FLUSH VALVE | SLOAN VALVE | SLO3080050 | SLOAN VALVE REGAL | - | 3/4" | - | CHROME PLATED | MANUAL FLUSH VALVE |
| | TOILET SEAT | COMFORT SEATS | 18330220 C-106C-00 | ELONGATED OPEN FRONT WITHOUT COVER | - | - | - | WHITE | INJECTION MOLDED POLYPROPYLENE |
| HCT-1 | TOILET BOWL | AMERICAN STANDARD | A3043001020 | 10 OR 12 IN ROUGH-IN ELONGATED FLOOR TOILET BOWL | - | - | INT. | WHITE | ELONGATED BOWL TOILET |
| | FLUSH VALVE | SLOAN VALVE | SLO3080050 | SLOAN VALVE REGAL | - | 3/4" | - | CHROME PLATED | MANUAL FLUSH VALVE |
| | TOILET SEAT | BEMIS STA-TITE | BEM1955CT000 | ELONGATED OPEN FRONT WITHOUT COVER | - | - | - | WHITE PLASTIC | - |
| U-1 | URINAL (H.C.) | AMERICAN STANDARD | 6550.001 | ADA COMPLIANT URINAL | - | - | INT. | WHITE VITREOUS CHINA | - |
| | FLUSH VALVE | SLOAN | 186.1XL | FLUSHOMETER | - | 3/4" | - | CHROME | 3/4" TOP SPUD URINALS |
| L-1 | BATHROOM SINK | AMERICAN STANDARD | A0356421020 | 1 HOLE WALL MOUNT | - | - | - | WHITE | - |
| | LAVATORY FAUCET | AMERICAN STANDARD | A1340105002 | ADA LF 1 HOLE 1 HANDLE | 1/2" | 1/2" | 1 1/4" | POLISHED CHROME | LOCKER ROOM LAVATORIES |
| | LAVATORY FAUCET | AMERICAN STANDARD | 9316.110.002 | SINGLE HANDLE, 4" CENTERS | 1/2" | 1/2" | 1 1/4" | POLISHED CHROME | CONCESSION LAVATORY FAUCET |
| SH | OVERFLOW PLUG | DEARBORN | 17030115 | WHEELCHAIR PATIENT OVERFLOW | - | - | - | - | 17 GAUGE-1.25 |
| | SHOWER TRIM | BRADLEY | WS-1X-6" 0'-TPA-S15 | PUSH BUTTON VALVE | 1/2" | 1/2" | - | - | SHOWER HEAD HEIGHT 78" |
| ESH | EXTERIOR SHOWER HEAD | OUTDOOR SHOWER CO | WM-442-ADA | PUSH BUTTON VALVE | 1/2" | 1/2" | - | - | SHOWER HEAD HEIGHT 78" |
| ESH*-ALT 2 | EXTERIOR FREE STANDING SINGLE SUPPLY TWO HEAD SHOWER | OUTDOOR SHOWER CO | PS-900-ADA | PUSH BUTTON VALVE | - | 1/2" | - | - | ALT-2-(2) FREE STANDING UNITS |
| HC-SH | SHOWER TRIM-HANDICAP | BRADLEY | WS-1X-HN-TPA-S15 | PUSH BUTTON VALVE | 1/2" | 1/2" | - | - | VALVE WITH HAND SHOWER |
| S1 | SINK | REGENCY TABLES AND SINKS | 600S3151515 LFT | 3 COMPARTMENT SINK | - | - | - | GALVANIZED | DRAIN BOARD ON LEFT |
| | MIXING FAUCET | T&S BRASS AND BRONZE WORKS | B-0231-CR | 8" WALL MOUNT MIXING FAUCET | 1/2" | 1/2" | - | - | CERAMA CARTRIDGES, LEVER HANDLES, 1/2" SWING NOZZLE & 1/2" NPT FEMALE INLETS |
| MOP | 24X24X10 DURASTONE MOP BASIN | E.L. MUSTEE | 63M | 65,700 HOSE & HOSE HOLDER 63,403 S.S. BUMPER GUARDS 64,24246 WALL GUARDS 63,600A SERVICE FAUCET 65,600 MOP HANGER 63,600A FAUCET | 1/2" | 1/2" | CAST IRON DEEP SEAL | - | INTEGRAL DRAIN |
| FD | TYPE 304 STAINLESS STEEL SQUARE STRAINER WITH SQUARE HOLE PATTERN GRATE, VANDAL PROOF | WADE | 1103G6 | - | - | 1/2" | CAST IRON DEEP SEAL | - | - |
| FS | CAST-IRON, 8" SQUARE FLOOR SINK, 6" DEEP SUMP, A.R.E. INTERIOR, ALUM DOME STRAINER, NICKEL BRONZE TOP, SEEPAGE FLANGE | WADE | W-9110 | - | - | 1/2" | CAST IRON DEEP SEAL | - | SEDIMENT BUCKET VENT=2 |
| EWH | ELECTRIC WATER HEATER | HOLDRITE | PROE30 | WALL-HUNG PLATFORM AND DRAIN | 3/4" | 3/4" | - | - | - |

NOTE: PROVIDE A CLEAN OUT AT THE END OF EVERY LINE. ROOF VENT DOES NOT TAKE THE PLACE OF A CLEANOUT.
 * HANDICAP URINAL LOCATION MARKED W/ HC-U MOUNT AT ADA REQUIRED HEIGHT
 * HANDICAP LAVATORY LOCATION MARKED W/ HC-L
 * RUN ALL PIPES IN PLUMBING CHASE
 * ALL PIPES FROM FIXTURE TO PLUMBING CHASE TO RUN IN A HORIZONTAL LINE BELOW THE FIXTURE AND STRAPPED TO THE WALL. PIPES TO BE PAINTED TO MATCH WALL
 * LOCKER ROOMS WILL HAVE COLD WATER ONLY. NO HOT WATER WILL BE SUPPLIED TO THESE ROOMS

FILE: SCH106C



24 FEBRUARY 2020

PROJECT: Kilgore Swimming Pool Building Renovation
 OWNER: City Of Kilgore
 ADDRESS: 313 N. Henderson Boulevard, Kilgore, TX 75662

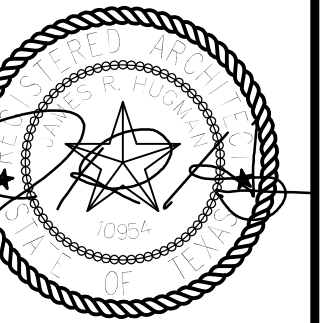
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PLUMBING AND DETAILS PLAN

A2.4

BY: MCS
 DATE: 24 FEBRUARY 2020



24 FEBRUARY 2020

PROJECT: Kilgore Swimming Pool Building Renovation
OWNER: City of Kilgore
ADDRESS: 313 N. Henderson Boulevard, Kilgore, TX 75662

| DATE | REVISIONS |
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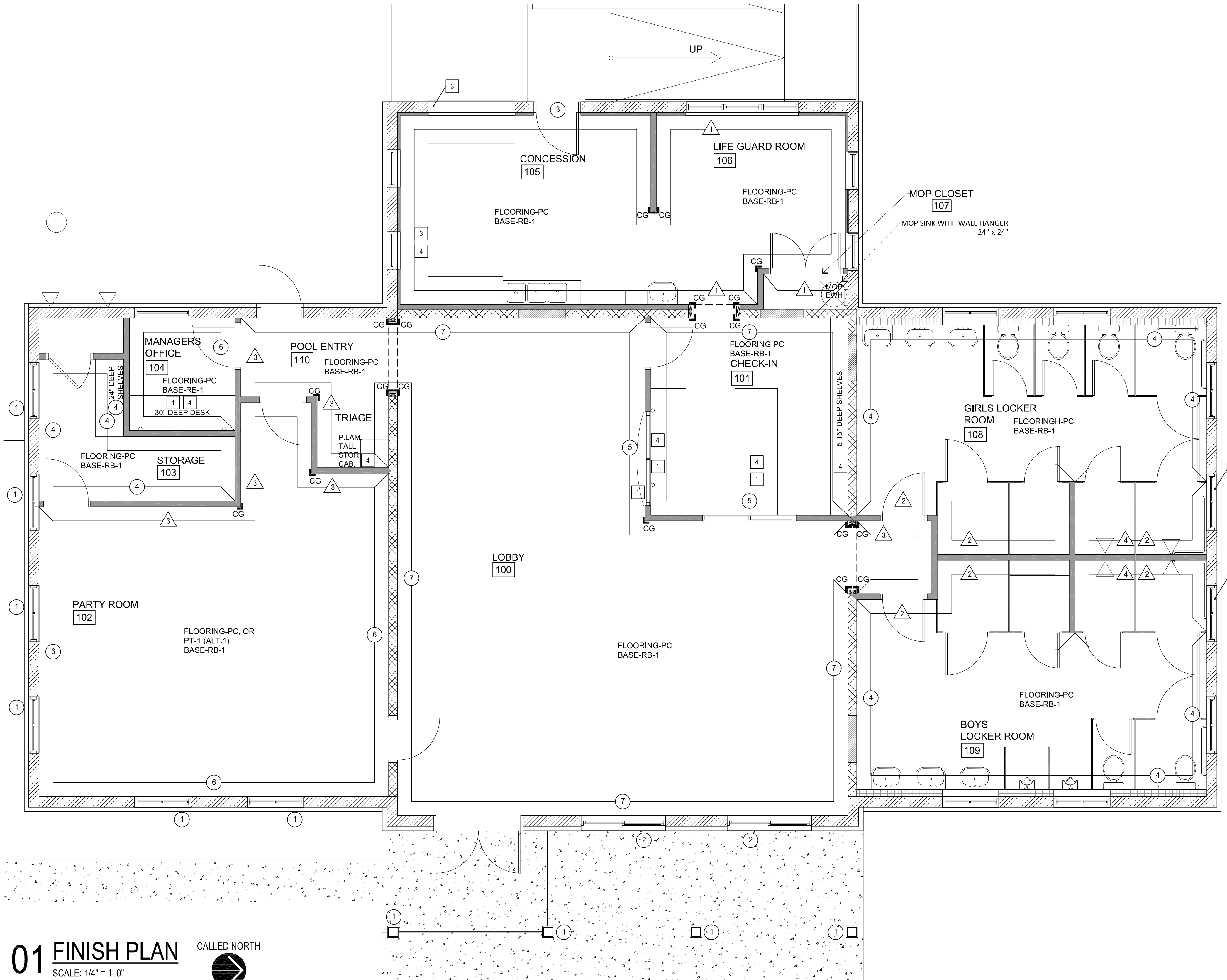
FINISH PLAN

A2.5

BY: MCS

DATE: 24 FEBRUARY 2020

Drawing not to be scaled



SYMBOLS LEGEND

- GAS OUTLET
- GAS METER
- RECESSED FIRE EXT. CABINET RE: SPEC'S.
- IRRIGATION CONTROL BOX
- IRRIGATION CONTROL BOX
- RETURN AIR VENT
- RETURN AIR DUCT
- GROMMETS IN CASEWORK RE: INTERIOR ELEVATIONS
- WALL HYDRANT
- WATER CONNECTION
- CORNER GUARD AND EDGE-SEE FINISH SCHEDULE
- GYP. BD. CONTROL JOINT
- MASONRY EXPANSION JOINT
- FLOOR SINK
- FLOOR DRAIN
- EXISTING FLOOR DRAIN
- SHOWER HEAD

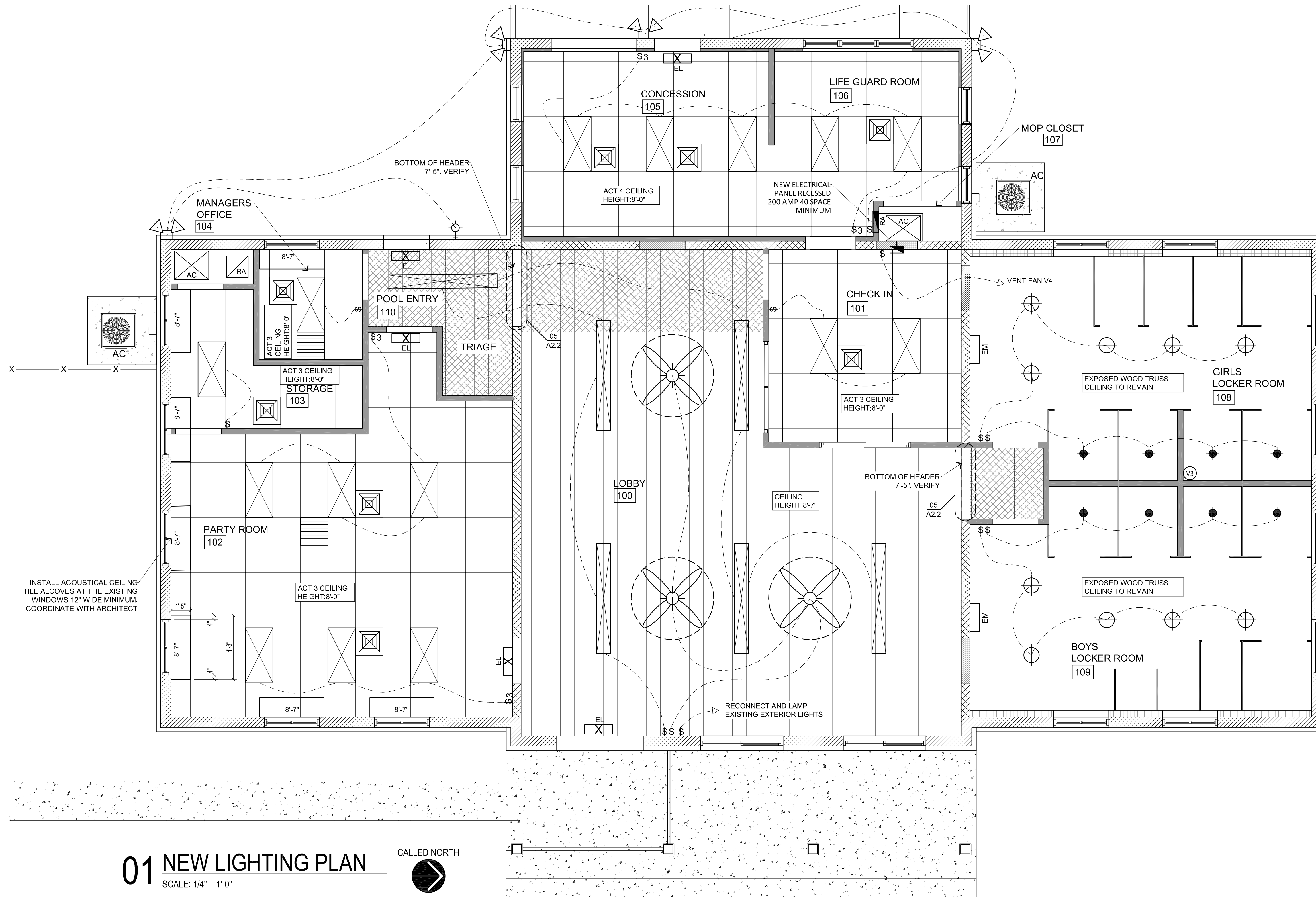
FINISH SCHEDULE - INTERIOR FINISHES

| FLOOR FINISHES | | WALL FINISHES | | WALL FINISHES | |
|--|--|--|--|---|--|
| PT-1 PORCE TILE ALT.1 | MERAZZI, SAN SAVINO, ULPB VOL TERRA 12" x 24" | 1 P-1 PAINT | SHERWIN WILLIAMS 7020 BLACK FOX EGGSHELL FINISH EXTERIOR HARDIBOARD AND WOOD COLUMNS | 1 RVS-1 | INPRO RIGID SHEET THICKNESS: .040 COLOR: 0279 SEA SALT FIRE RATED: NO MATCHING TRIM AND CORNER PIECES |
| PC PAINTED CONC. | SHERWIN WILLIAMS SW7074, SOFTWARE. MIX SAND IN PAINT FOR TEXTURED SURFACE | 2 P-2 PAINT | SHERWIN WILLIAMS 6473 SURF GREEN EGGSHELL FINISH EXTERIOR HARDIBOARD | 2 RVS-2 | INPRO RIGID SHEET THICKNESS: .040 COLOR: 0106 DOVE GRAY FIRE RATED: NO MATCHING TRIM AND CORNER PIECES. SHEET TO BOTTOM OF CEILING JOIST |
| 4" RB-1 BASE | JOHNSONITE TRADITIONAL RUBBER BASE TAG BEDROCK | 3 P-3 PAINT | SHERWIN WILLIAMS 6473 SURF GREEN SEMI-GLOSS EXTERIOR DOOR | 3 RVS-3 | INPRO RIGID SHEET THICKNESS: .040 COLOR: 1087 CRYSTAL JADE FIRE RATED: NO MATCHING TRIM AND CORNER PIECES |
| GROUT COLOR ALT.1 | POLYBLEND GROUT COLORS NON-SANDED FLOOR GROUT - SEAL 370 DOVE GRAY JOINT SIZE: 1/4" | 4 P-4 PAINT | SHERWIN WILLIAMS 7550 ELLIE GRAY LOCKER ROOMS- NEW HARDIBOARD IN ATTIC AND ON PAINTED CMU AND BRICK WALLS | 4 SHOWER WALLS | INPRO BIOPRISM SOLID SURFACE COLOR: P9011 BRIGHT WHITE PATTERN: SUBWAY HEIGHT: 8'-0" THICKNESS: 1/4" RIGID SHEET FROM 8'-0" TO CEILING JOIST |
| 1 SOLID SURFACE | CORIAN LINEN WITH 4" SET ON BACK AND SIDE SPLASH | 5 P-5 PAINT | SHERWIN WILLIAMS 6471 HAZEL EGGSHELL FINISH SMOOTH TEXTURE | 5 CORNER GUARDS | INPRO CORNER GUARDS & IPC TO MATCH WALL COLOR SW 6471 HAZEL 0187 CRYSTAL JADE SW 9050 VINTAGE VESSEL 0187 CRYSTAL JADE |
| 2 SOLID SURFACE | INPRO BIOPRISM WINDOW SILL WITH 1.5 LIP, CLASS B COLOR: P9011 BRIGHT WHITE | 6 P-6 PAINT | SHERWIN WILLIAMS 9050 VINTAGE VESSEL EGGSHELL FINISH SMOOTH TEXTURE | 6 CORNER GUARDS | SW 6472 COMPOSED 0187 CRYSTAL JADE 0106 DOVE GRAY LOCKER ROOM 1508N - 3" X 8'-0" W/ VINYL RETAINER |
| 3 STAINLESS STEEL | STAINLESS STEEL TOP AND 4" COVED BACK SPLASH | 7 P-7 PAINT | SHERWIN WILLIAMS 6472 COMPOSED EGGSHELL FINISH SMOOTH TEXTURE | 7 DOORS, WINDOWS, FRAMES AND TRIM | PROMAR 400, SEMI-GLOSS |
| 4 PLAS. LAM. | WILSONART STERLING ASH #7995-38 ALL CABINETS | WOOD CEILING, CROWN & WINDOW TRIM | SHERWIN WILLIAMS SW 7102 FLOUR | DOORS, WINDOWS, FRAMES AND TRIM - PROMAR 400, SEMI-GLOSS | SEMI-GLOSS |
| PARTITIONS | | OTHER FINISHES | | PAINTS TO BE USED: | |
| TOILET, DRESSING AND SHOWER PARTITIONS | SCRANTON SOLID HDPE PLASTIC SHOWER CUBICLES, FLOOR MOUNTED, TOP BRACED, WITH DOORS. COLOR: BLUEBERRY TEXTURE: ORANGE PEEL. | WIRE PULLS | BRUSHED NICKEL | WALLS - PROMAR 200 INTERIOR EGGSHELL | |
| | | DOOR HARDWARE | BRUSHED NICKEL | CEILING - PROMAR 400 INTERIOR SEMI-GLOSS | |
| | | | | DOORS, WINDOWS, FRAMES AND TRIM - PROMAR 400, SEMI-GLOSS | |
| | | | | NOTE: ALL BRICK AND CMU INTERIOR WALLS ARE CURRENTLY PAINTED | |

01 FINISH PLAN CALLED NORTH
SCALE: 1/4" = 1'-0"

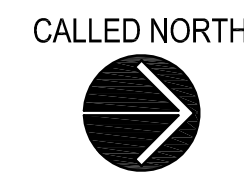
NEW SQUARE FOOT LEGEND

| | |
|-----------------------------|----------|
| NEW NOT HEATED/COOLED SPACE | 1846 S.F |
| NEW HEATED/COOLED SPACE | 1378 S.F |
| TOTAL | 3224 S.F |



01 NEW LIGHTING PLAN

SCALE: 1/4" = 1'-0"



ELECTRICAL NOTES:

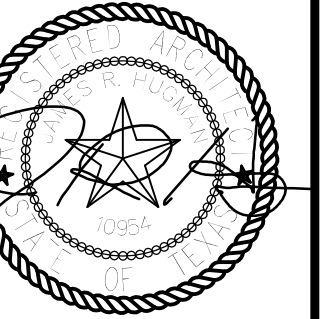
- ALL CONDUIT EXPOSED TO SITE, TO BE EMT AND NOT MC CABLE
- ELECTRICIAN SHALL PROVIDE TEMPORARY CONSTRUCTION LIGHTING WITH A MINIMUM OF 3 FOOT CANDLES AND AT LEAST ON LAMP PER ROOM OR SPACE, AT THE COMPLETION OF THE PROJECT
- ELECTRICIAN SHALL INSTALL ALL LIGHT FIXTURES INTO THEIR FINAL LOCATION INCLUDING CUTTING AND INSTALLING FIXTURES IN CEILING TILE PROVIDED BY OTHERS.
- ELECTRICIANS SHALL MAKE PROVISION FOR CONSTRUCTIN POWER FOR ALL TRADES DURING THE COURSE OF THE WORK.
- PROVIDE SERVICE GROUNDING & BOUNDING AS REQUIRED BY ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE.
- ALL WIRE IS TO BE THHN-THWN COPPER.
- ALL RECEPTACLES SHALL BE GROUNDED BY AN INSULATED COPPER CONDUCTOR INSTALLED WITH THE BRANCH-CIRCUIT CONDUCTORS SUPPLY THE RECEPTACLE.
- THE ELECTRICAL CONTRACTOR IS TO PROVIDE CONDUIT AND BOXES FOR ALL HVAC POWER AND CONTROL. ALL HVAC CONTROL IN WALLS AND OUTSIDE IS TO BE IN CONDUIT.
- THE ELECTRICAL CONTRACTOR IS TO VERIFY BREAKER REQUIREMENTS FOR ALL HVAC EQUIPMENT BEFORE ORDERING PANELS AND DISCONNECT SWITCHES.
- THE ELECTRICAL CONTRACTOR IS TO PROVIDE BOX AND 3/4" CONDUIT TO ABOVE THE CEILING AT ALL TELEPHONE LOCATIONS SHOWN ON THE DRAWINGS.
- THE ELECTRICAL CONTRACTOR IS TO PROVIDE BOX AND 1" CONDUIT TO ABOVE THE CEILING AT ALL DATA LOCATIONS SHOWN IN THE DRAWINGS.
- THE ELECTRICAL CONTRACTOR IS TO PROVIDE SLEEVES IN FIRE WALLS FOR ALL CONDUIT PENETRATIONS, SEAL ALL SLEEVES WITH FIRE RETARDANT SEALANT WHEN THE CONDUIT INSTALLATION IS COMPLETE.
- ALL UNDERGROUND CONDUIT IS TO BE SCHEDULE 40 PVC WITH RIGID GALVANIZED STEEL RISERS AND E.L.S. MINIMUM COVER IS TO BE 24 INCHES.
- COORDINATE THE LOCATION OF ALL RECEPTACLES, ETC. IN MILLWORK WITH THE MILLWORK CONTRACTOR.
- ALL OUTLETS, DATA AND SWITCH PLATES TO BE LIGHT ALMOND AT ALL WALLS. FOR ALL OUTLETS AND DATA IN MILLWORK THE PLATES ARE TO BE BLACK.
- ADDITIONAL ABOVE CEILING ELECTRICAL IS LOCATED ON THE REFLECTED CEILING PLAN.

LIGHT FIXTURE LEGEND

- \$ SINGLE POLE SWITCH TO BE PLACED 45" (MIDDLE OF SWITCH) A.F.F.
- ALL SWITCHES SHALL BE MOUNTED 6" CLEAR FROM THE DOOR ROUGH OPENING.
- METAL STUDS: USE CADDY- SCREW GUN BOX BRACKETS, WOOD STUDS: USE WOOD BLOCKING.
- \$3 3 WAY SWITCH TO BE PLACED 45" (MIDDLE OF SWITCH) A.F.F.
- \$4 4 WAY SWITCH TO BE PLACED 45" (MIDDLE OF SWITCH) A.F.F.
- \$O OCCUPANCY SENSOR SWITCH WITH TIMER, CU OFF AFTER 15 MIN
- \$E EXISTING SWITCH
- \$EX EXTERIOR SWITCH INTERMATIC S7700 SERIES
- ⊠ 2' x 4' LAY-IN LED METALUX 24FP4740C
- 8' LONG LED STRIP METALUX 8ST2L8040R
- HALO SLD606840WH/SLD6RAD 6" SURFACE MOUNTED DOWNLIGHT
- ⊕ CEILING MOUNTED LIGHT, ATTACHED TO BOTTOM OF JOISTS: BASELIGHT W516-84-ST6-25WLED-4K-FGR16
- ⊕ WALL MOUNTED LIGHT: COOPER 674-WP
- ⊕ CEILING FAN: BIG ASS FANS, HAIKU INDOOR #S3127-S0-AS-0402-C-01-F531
- ⊕ EXTERIOR LED WALL PACK (LUMARK XTOR4B-W-GM-PC1)
- PHOTOCELL
- ⊠ EXIT SIGN W/ BATTERY (SURELITE-LPX7-LED EXIT LIGHT W/ BATTERY BACK-UP)
- ⊠ EXIT SIGN W/ BATTERY AND EMER. LIGHTS (UTHONIA-LHQM-LED-QUANTUM LED EXIT-UNIT COMBO)
- ⊠ EMERGENCY LIGHT
- ⊕ SD SMOKE DETECTOR - UNIVERSAL, MODEL SS-790, 120V AC WIRE IN.
- ⊕ VENT - BROAN QTR110 ULTRA QUIET, MECHANICAL CONTRACTOR TO PROVIDE THE VENT AND DUCT, ELECTRICAL CONTRACTOR TO INSTALL THE WIRING
- ⊕ JUNCTION BOX
- ⊠ SUPPLY 2' x 2' AIR DIFFUSER
- ⊠ 2' x 2' AIR RETURN
- ⊕ V3 DAYTON 20UA93 COMBINATION LOUVER/DAMPER WITH FLANGE, 1,559 CFM EXHAUST, 1,090 CFM INTAKE, INSTALLED 13'-0" AFF-IN WALL BETWEEN THE LOCKER ROOMS

CEILING MATERIAL LEGEND

- 2X4 ACOUSTICAL LAY-IN CEILING
- ACT 3 - 2X4 ACOUSTICAL LAY-IN CEILING, ARMSTRONG STRAIGHT EDGE, FINE FISURED TEXTURE NO. 1729 HUMINGBIRD WHITE TILES W/ GRID SYSTEM PRELUDE XL. REFER TO DETAILS FOR INSULATION LOCATIONS AND TYPES. CERTANTEED CEILING FINE FISURED HHF 19' W/GRID SYSTEM CLASSIC STAB 15/16" IS AN APPROVED EQUAL. INSTALL 1 1/2" ISO BOARD TO THE BOTTOM OF THE ROOF TRUSSES WITH 8" BATT INSULATION BETWEEN THE JOISTS
- ACT 4 - EXTERIOR LOCATIONS/KITCHENS - NATIONAL GYPSUM PRODUCTS OR USG, GRIDSTONE CEILING PANELS, 2'X 2' OR 2'X4' REFER DRAWINGS - WHITE VINYL LAMINATE W/ GRID SYSTEM - PRELUDE PLUS XL WHITE ALUMINUM. REFER TO DETAILS FOR INSULATION LOCATIONS AND TYPES. PROVIDE HOLD DOWN CLIPS - TYPICAL. INSTALL 1 1/2" ISO BOARD TO THE BOTTOM OF THE ROOF TRUSSES WITH R-30 BATT INSULATION BETWEEN THE JOISTS.
- WOOD CEILING-PATCH AS NEEDED FOR REMOVAL OF WALLS, VENTS, ETC. USE WOOD FROM AREAS WITH NEW ACOUSTICAL CEILINGS. INSTALL R-30" BATT INSULATION ABOVE PLANK
- INSTALL WOOD PLANK TO MATCH LOBBY CEILING. USE WOOD THAT WAS REMOVED DURING DEMO. INSULATE PER WOOD CEILING



24 FEBRUARY 2020

PROJECT: Kilgore Swimming Pool Building Renovation
OWNER: City of Kilgore
ADDRESS: 313 N. Henderson Boulevard, Kilgore, TX 75662

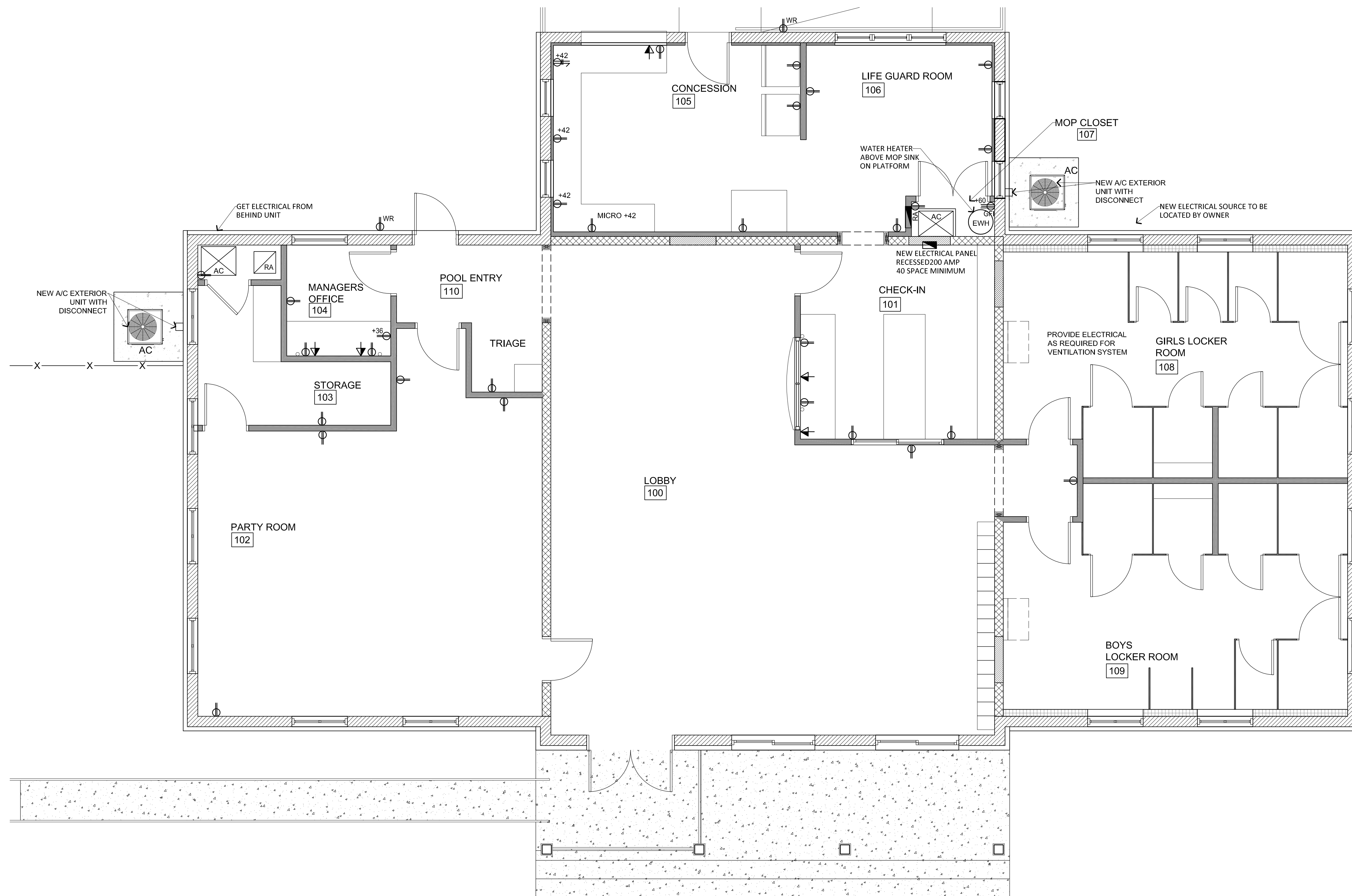
DATE REVISIONS

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REFLECTED CEILING PLAN

A7.0

BY: MCS
DATE: 24 FEBRUARY 2020



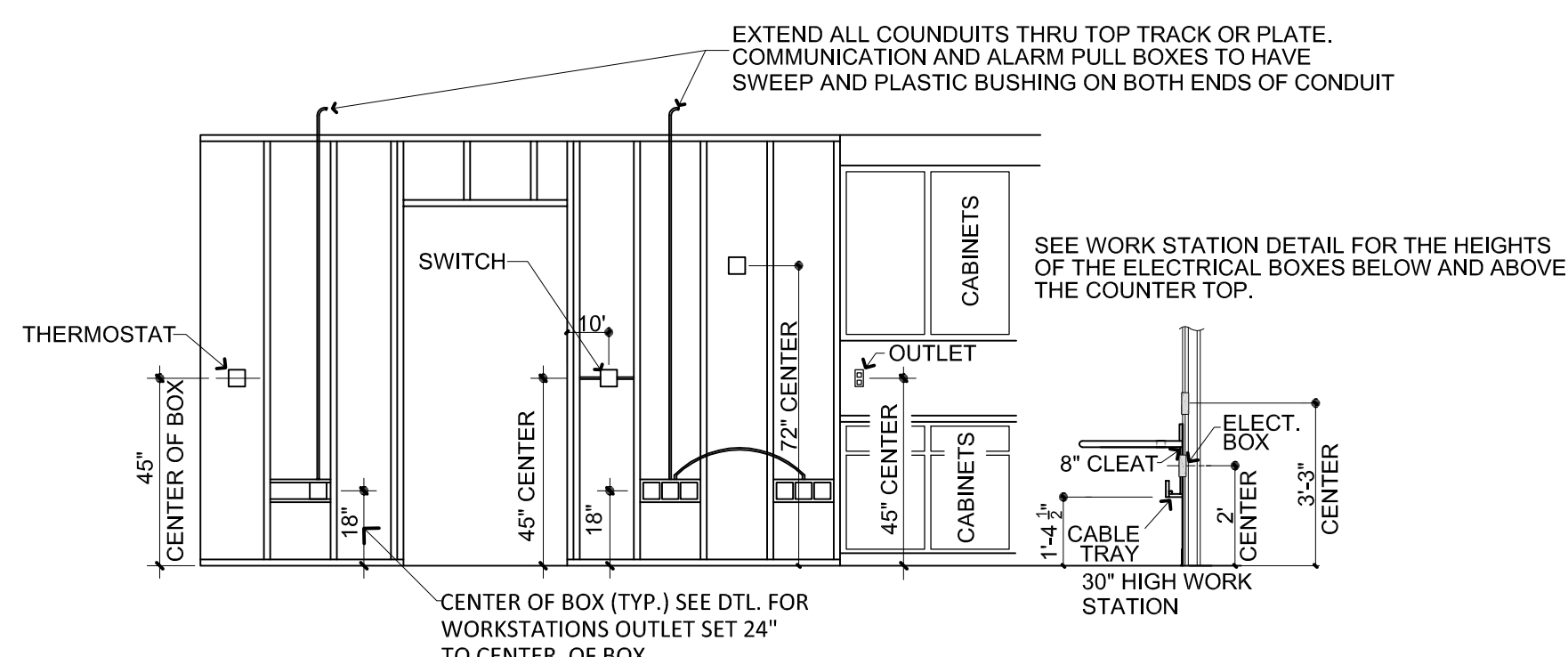
01 NEW ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"
 CALLED NORTH

ELECTRICAL NOTES:

- ALL CONDUIT EXPOSED TO SITE, TO BE EMT AND NOT MC CABLE
- ELECTRICIAN SHALL PROVIDE TEMPORARY CONSTRUCTION LIGHTING WITH A MINIMUM OF 3 FOOT CANDLES AND AT LEAST ON LAMP PER ROOM OR SPACE, AT THE COMPLETION OF THE PROJECT ALL LIGHTS AND WIRING SHALL BE REMOVED BY THE ELECTRICAL CONTRACTOR.
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- ADDITIONAL ABOVE CEILING ELECTRICAL IS LOCATED ON THE REFLECTED CEILING PLAN.

POWER LEGEND

- EXISTING OUTLET
- 120 VOLT DUPLEX OUTLET, TO BE PLACED 18" (MIDDLE OF OUTLET) A.F.F. UNLESS OTHERWISE INDICATED ON PLANS
- WEATHER RESISTANT OUTLET
- CONDUIT - DATA - TELEPHONE - STUB UP TO ATTIC 18" A.F.F., UNLESS NOTED OTHERWISE ON PLANS
- 120 VOLT FOURPLEX OUTLET, TO BE PLACED 18" (MIDDLE OF OUTLET) A.F.F. UNLESS OTHERWISE INDICATED ON PLANS
- DEDICATED CIRCUIT - 120 VOLT DUPLEX OUTLET, TO BE PLACED 18" (MIDDLE OF OUTLET) A.F.F. UNLESS OTHERWISE INDICATED ON PLANS
- 220 VOLT OUTLET, TO BE PLACED 18" (MIDDLE OF OUTLET) A.F.F. UNLESS OTHERWISE INDICATED ON PLANS.
- F.P. FLOOR MOUNTED OUTLET - BRASS FLOOR BOX TRIM - WALKER #895
- TELEVISION OUTLET, 18" A.F.F., UNLESS OTHERWISE INDICATED ON PLANS
- 120/240 V PANEL
- WH WATER HEATER



- NOTES:**
- INSTALL T5GB16 AND RBS16 CADDY METAL BOX BRACKETS FROM STUD TO STUD TO LEVEL BOXES FOR ALL OUTLETS, DATA, PHONE AND SWITCHES.
 - DO NOT INSTALL ANY ELECTRICAL BOXES BACK TO BACK IN STUD WALLS. OFFSET MIN. OF 8".
 - ELECTRICIAN TO WRITE ON THE DEVICE, WITH PERMANENT MARKER, THE PANEL, CIRCUIT AND BREAKER IDENTIFICATION NUMBERS.

02 ELECTRICAL ROUGH-IN DETAIL
 SCALE: NTS

| DATE | REVISIONS |
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