PROPERTY INFORMATION

SITE ACREAGE: ±28.74 ACRES

ZONING: RN-5 (GENERAL RESIDENTIAL NEIGHBORHOOD ZONING DISTRICT) PENDING REZONING TO C-N (NEIGHBORHOOD COMMERCIAL)

PROPOSED USE: MULTIFAMILY RESIDENTIAL

PARCEL ID's: 094BC002, 094BC004, 094BC003, 094BC00201.
CITY BLOCK: 20140
CITY WARD: 20
PARCEL N°: 2, 4, 3, 2.01
CITY MAP: 94

LIST OF IMPROVEMENTS

THE FOLLOWING IMPROVEMENTS ARE REQUIRED AND PROPOSED.

RONNYMAN DRIVE

- PROPOSED RECONFIGURATION OF EXISTING ROAD.
- EXTEND EXISTING ROAD TO INTERSECTION WITH MCSPADDEN STREET.
- RENAME ROAD "W. OAK HILL AVE TO MATCH INTERSECTING ROAD.
- CURB AND GUTTER.
- SIDEWALKS ON BOTH SIDES OF STREET.
- ON STREET PARKING.
- STORM DRAINAGE.

REED STREET

- PROPOSED RECONFIGURATION OF EXISTING ROAD.
- CURB AND GUTTER.
- SIDEWALKS ON BOTH SIDES OF STREET.
- ON-STREET PARKING.
- STORM DRAINAGE.

NOTES

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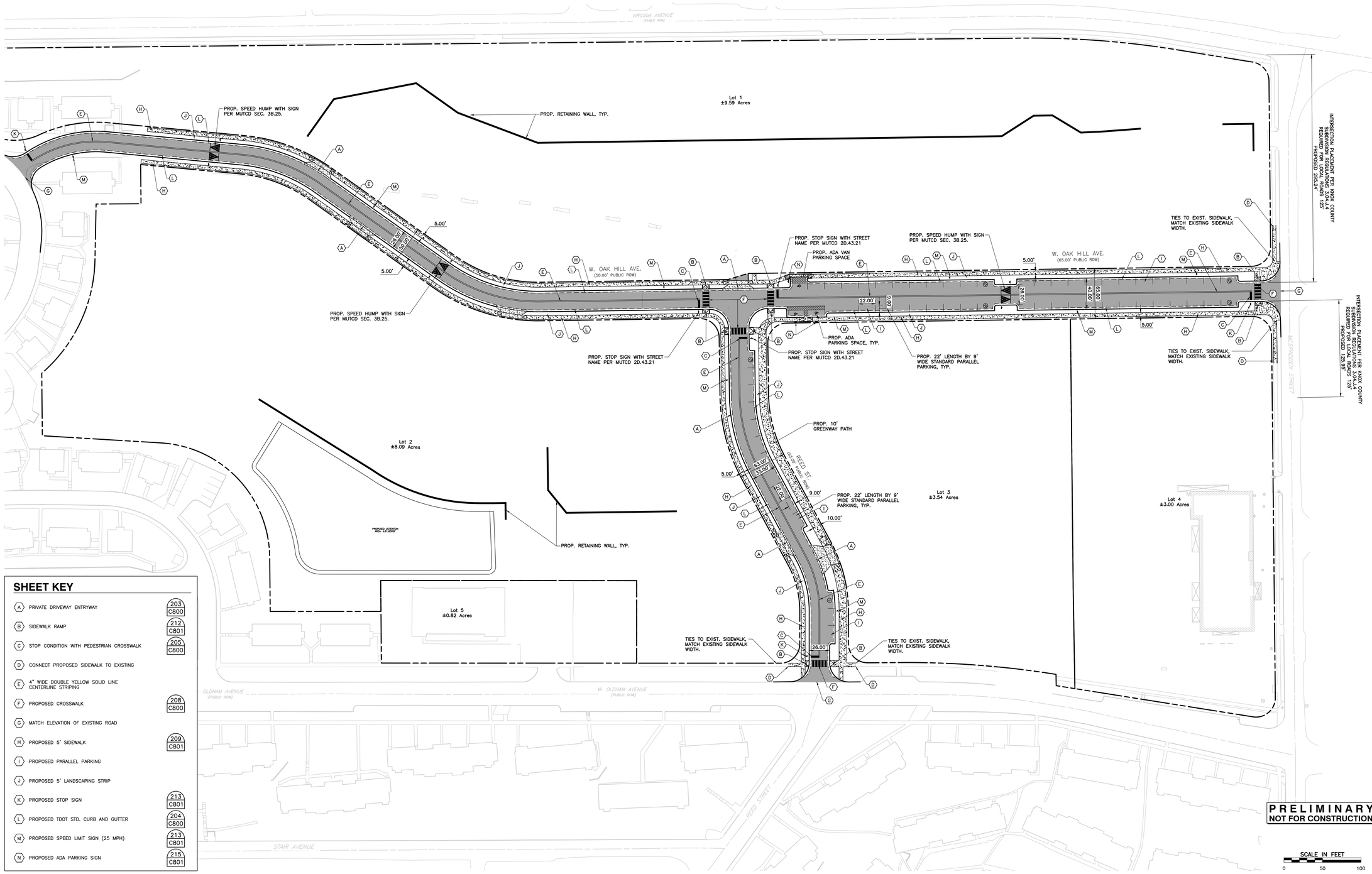
2. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
3. ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED.

SURVEY NOTES

1. COORDINATE REFERENCE: TENNESSEE STATE PLANE NAD 83.
2. TOPOGRAPHIC SURVEY WAS PREPARED BY CEC. CIVIL & ENVIRONMENTAL CONSULTANTS, DATED SEPTEMBER 17TH, 2021.
3. THE PROPERTY DESCRIBED ON THIS SURVEY IS WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED IN MAP 47093C0277G, COMMUNITY PANEL NO. 0277G BEARING AN EFFECTIVE DATE OF AUGUST 5, 2013.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING ROADWAY CENTERLINE
- EXISTING CURB
- EXISTING STRUCTURE
- PROPOSED SUBJECT PROPERTY BOUNDARY
- PROPOSED ROADWAY CENTERLINE
- PROPOSED EXTRUDED CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ASPHALT
- PROPOSED CROSSWALK



PRELIMINARY
NOT FOR CONSTRUCTION

SHEET KEY

A	PRIVATE DRIVEWAY ENTRYWAY	203 C800
B	SIDEWALK RAMP	212 C801
C	STOP CONDITION WITH PEDESTRIAN CROSSWALK	205 C800
D	CONNECT PROPOSED SIDEWALK TO EXISTING	
E	4" WIDE DOUBLE YELLOW SOLID LINE CENTERLINE STRIPING	
F	PROPOSED CROSSWALK	208 C800
G	MATCH ELEVATION OF EXISTING ROAD	
H	PROPOSED 5' SIDEWALK	209 C801
I	PROPOSED PARALLEL PARKING	
J	PROPOSED 5' LANDSCAPING STRIP	
K	PROPOSED STOP SIGN	213 C801
L	PROPOSED TDOT STD. CURB AND GUTTER	204 C800
M	PROPOSED SPEED LIMIT SIGN (25 MPH)	213 C801
N	PROPOSED ADA PARKING SIGN	215 C801

REVISION RECORD

NO.	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
2704 Cherokee Farm Way Suite 101 · Knoxville, TN 37920
Ph: 865.977.9997 · Fax: 865.977.9919
www.cecinc.com

KNOXVILLE COMMUNITY DEVELOPMENT CORPORATION (KCDC)
WESTERN HEIGHTS PHASE 2 INFRASTRUCTURE
KNOXVILLE TN, 37921

INFRASTRUCTURE PAVING PLAN

DATE:	01/09/2024	DRAWN BY:	LBP / JRB
DWG SCALE:	AS SHOWN	CHECKED BY:	AYW
PROJECT NO:			333-365
APPROVED BY:			DRAFT

DRAWING NO.:
C200

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PROPERTY INFORMATION

SITE ACREAGE: ±28.74 ACRES

ZONING: RN-5 (GENERAL RESIDENTIAL NEIGHBORHOOD ZONING DISTRICT) PENDING REZONING TO C-N (NEIGHBORHOOD COMMERCIAL)

PROPOSED USE: MULTIFAMILY RESIDENTIAL

PARCEL ID's: 094BC002, 094BC004, 094BC003, 094BC00201.
CITY BLOCK: 20140
CITY WARD: 20
PARCEL N°: 2, 4, 3, 2.01
CITY MAP: 94

LIST OF IMPROVEMENTS

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- STORM DRAINAGE.

REED STREET

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- ON-STREET PARKING.
- STORM DRAINAGE.

NOTES

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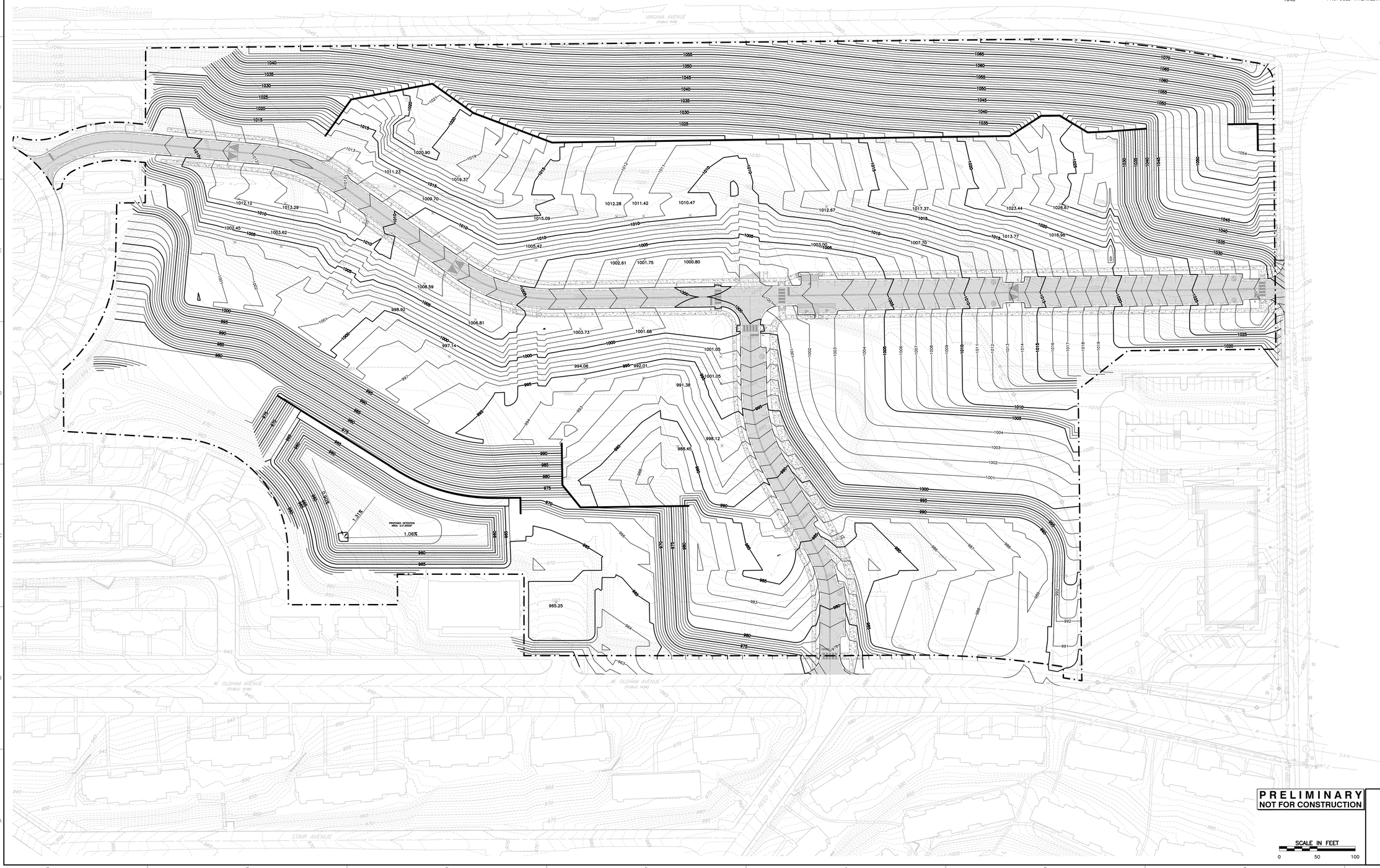
3. ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED.

SURVEY NOTES

1. COORDINATE REFERENCE: TENNESSEE STATE PLANE NAD 83.
2. TOPOGRAPHIC SURVEY WAS PREPARED BY CEC. CIVIL & ENVIRONMENTAL CONSULTANTS, DATED SEPTEMBER 17TH, 2021.
3. THE PROPERTY DESCRIBED ON THIS SURVEY IS WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED IN MAP 47093C0277G, COMMUNITY PANEL NO. 0277G BEARING AN EFFECTIVE DATE OF AUGUST 5, 2013.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING RIGHT-OF-WAY
- EXISTING ROADWAY CENTERLINE
- EXISTING CURB
- ST — EXISTING STORM PIPE
- W — EXISTING WATER LINE
- SAN — EXISTING SANITARY SEWER LINE
- G — EXISTING GAS LINE
- OH-E — EXISTING OVERHEAD WIRE
- E — EXISTING ELECTRIC LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- PROPOSED SUBJECT PROPERTY BOUNDARY
- PROPOSED ROADWAY CENTERLINE
- PROPOSED EXTRUDED CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED ASPHALT
- PROPOSED CROSSWALK
- PROPOSED LIMITS OF DISTURBANCE
- 1050 — PROPOSED INDEX (MAJOR) CONTOUR
- 1048 — PROPOSED INTERMEDIATE (MINOR) CONTOUR



PRELIMINARY
NOT FOR CONSTRUCTION

SCALE IN FEET
0 50 100

REVISION RECORD

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KNOXVILLE COMMUNITY DEVELOPMENT CORPORATION (KCDC)
WESTERN HEIGHTS PHASE 2 INFRASTRUCTURE
KNOXVILLE TN, 37921

INFRASTRUCTURE GRADING PLAN

DATE:	01/09/2024
DRAWN BY:	LBP · JRB
DWG SCALE:	AS SHOWN
CHECKED BY:	AYW
PROJECT NO:	333-365
APPROVED BY:	DRAFT

DRAWING NO.:
C300

PROPERTY INFORMATION

SITE ACREAGE: ±28.74 ACRES

ZONING: RN-5 (GENERAL RESIDENTIAL NEIGHBORHOOD ZONING DISTRICT) PENDING REZONING TO C-N (NEIGHBORHOOD COMMERCIAL)

PROPOSED USE: MULTIFAMILY RESIDENTIAL

PARCEL ID's: 094BC002, 094BC004, 094BC003, 094BC00201.
CITY BLOCK: 20140
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LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING RIGHT-OF-WAY
- 385 EXISTING INDEX (MAJOR) CONTOUR
- EXISTING INTERMEDIATE (MINOR) CONTOUR
- EXISTING ROADWAY CENTERLINE
- EXISTING CURB
- EXISTING STRUCTURE
- ST EXISTING STORM PIPE
- W EXISTING WATER LINE
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- PROPOSED ROADWAY CENTERLINE
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- PROPOSED ASPHALT
- PROPOSED LIMITS OF DISTURBANCE
- 1050 PROPOSED INDEX (MAJOR) CONTOUR
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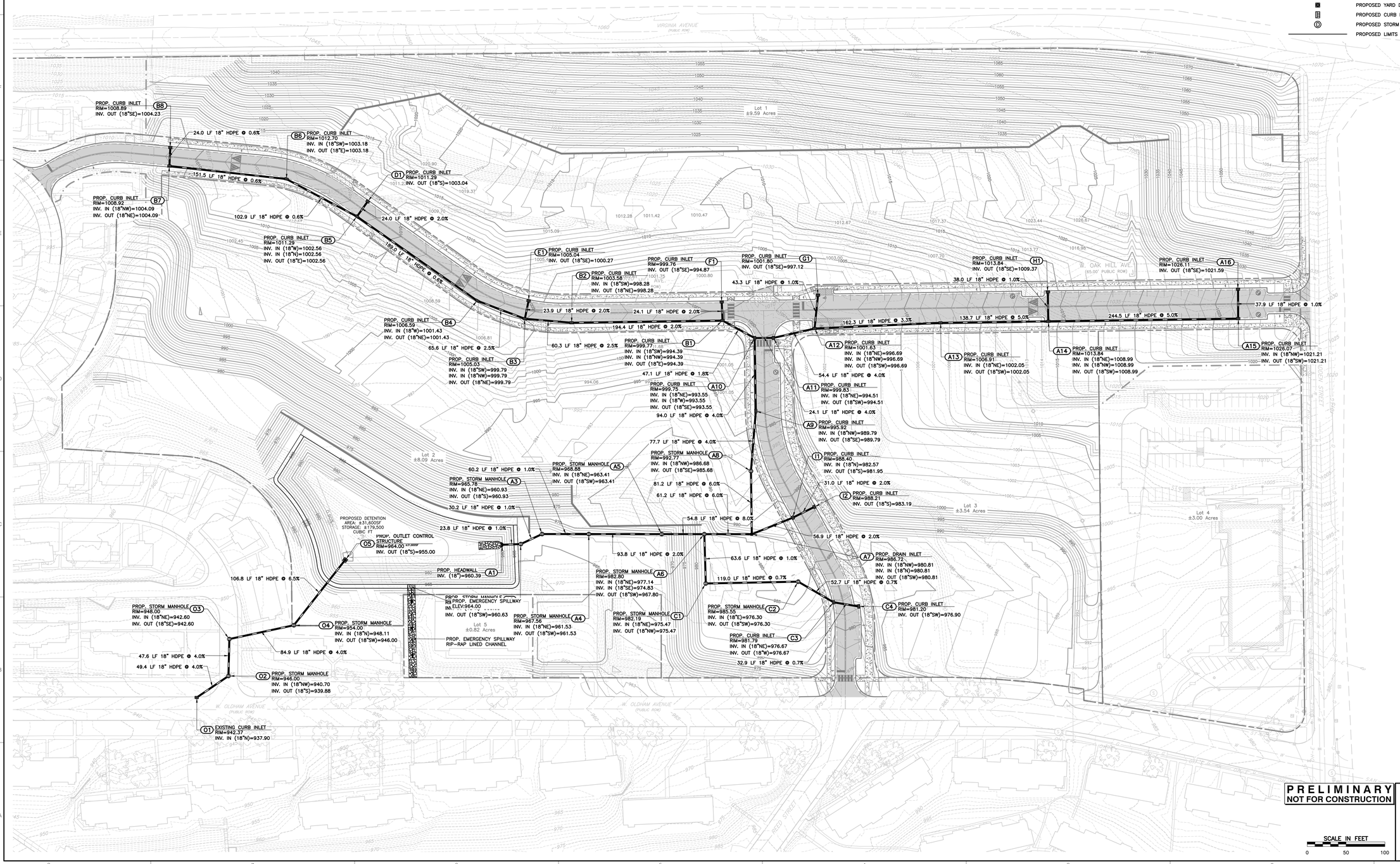
- PROPOSED YARD DRAIN
- PROPOSED CURB INLET
- D PROPOSED STORM MANHOLE
- PROPOSED LIMITS OF DETENTION POND



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KNOXVILLE COMMUNITY DEVELOPMENT CORPORATION (KCDC)
WESTERN HEIGHTS PHASE 2 INFRASTRUCTURE
KNOXVILLE TN, 37921

INFRASTRUCTURE DRAINAGE PLAN

DATE:	01/09/2024
DRAWN BY:	LBP / JRB
DWG SCALE:	AS SHOWN
CHECKED BY:	AYW
PROJECT NO:	333-365
APPROVED BY:	DRAFT

DRAWING NO.: C400

PROPERTY INFORMATION

SITE ACREAGE: ±28.74 ACRES

ZONING: RN-5 (GENERAL RESIDENTIAL NEIGHBORHOOD ZONING DISTRICT) PENDING REZONING TO C-N (NEIGHBORHOOD COMMERCIAL)

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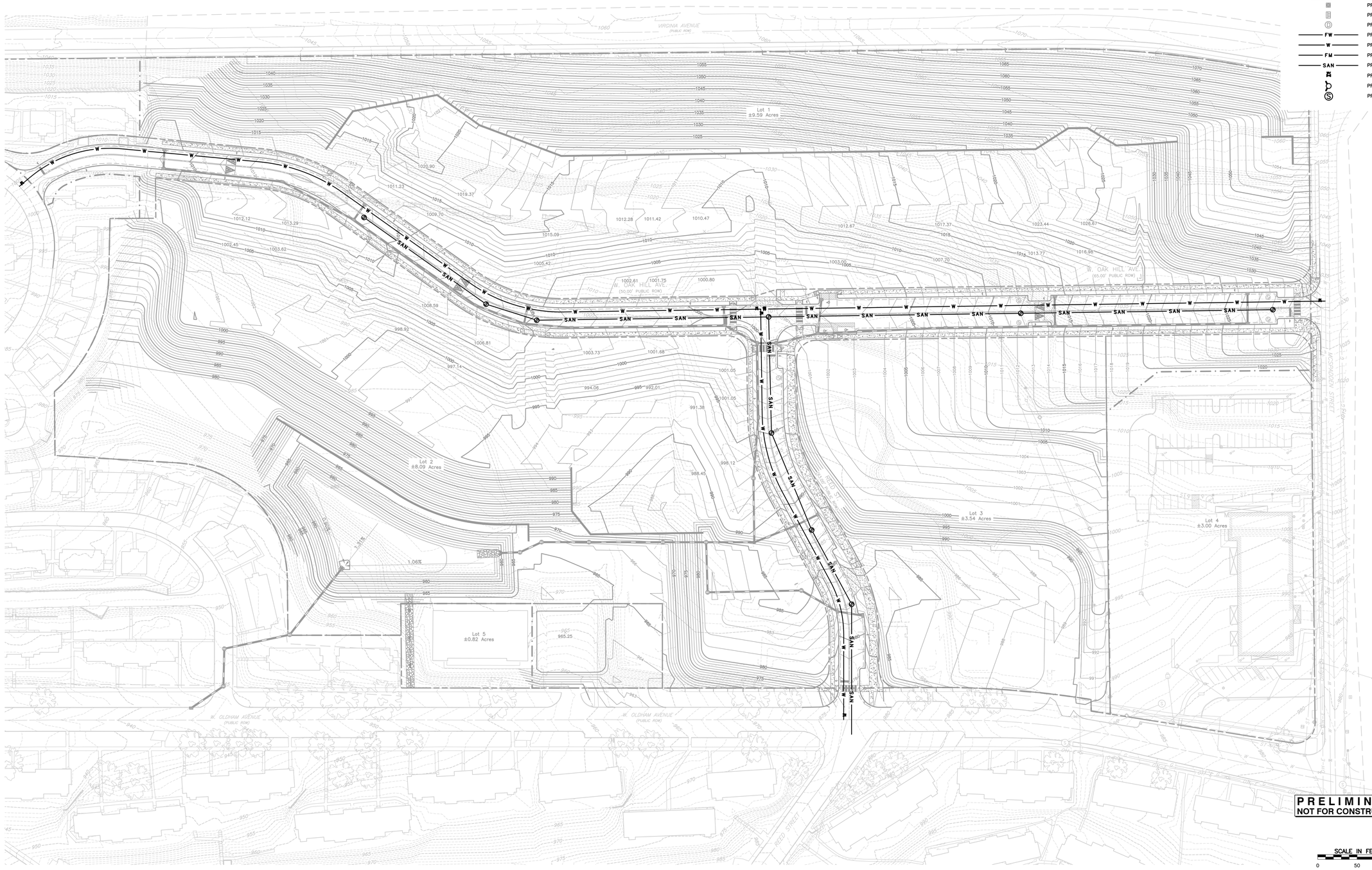
- PROPOSED YARD DRAIN
- PROPOSED CURB INLET
- PROPOSED STORM MANHOLE
- FW PROPOSED DIP FIRE WATER
- W PROPOSED DIP DOMESTIC WATER
- FM PROPOSED FORCEMAIN
- SAN PROPOSED PVC (SDR 26) SEWER PIPE
- PROPOSED WATER VALVE
- PROPOSED HYDRANT
- PROPOSED SANITARY MANHOLE



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KNOXVILLE COMMUNITY DEVELOPMENT CORPORATION (KCDC)
WESTERN HEIGHTS PHASE 2 INFRASTRUCTURE
KNOXVILLE TN, 37921

INFRASTRUCTURE UTILITY PLAN

DATE:	01/09/2024
DRAWN BY:	LBP · JRB
DWG SCALE:	AS SHOWN
CHECKED BY:	AYW
PROJECT NO:	333-365
APPROVED BY:	DRAFT

DRAWING NO.:
C500