

**BARNES STREET
PARKING LOT IMPROVEMENTS**
for
CITY OF WILSON
Wilson County, North Carolina
August, 2020



MAYOR:

CARLTON L. STEVENS

COUNCIL MEMBERS:

**MICHAEL S. BELL
DEREK D. CREECH
DONALD I. EVANS
WILLIAM THOMAS "TOM" FYLE
JAMES M. JOHNSON, III
LOGAN T. LILES
GILLETTIA M. MORGAN**

CITY MANAGER:

GRANT W. GOINGS

DEPUTY CITY MANAGER:

HARRY TYSON

CITY CLERK:

TONYA A. WEST

CITY ENGINEER:

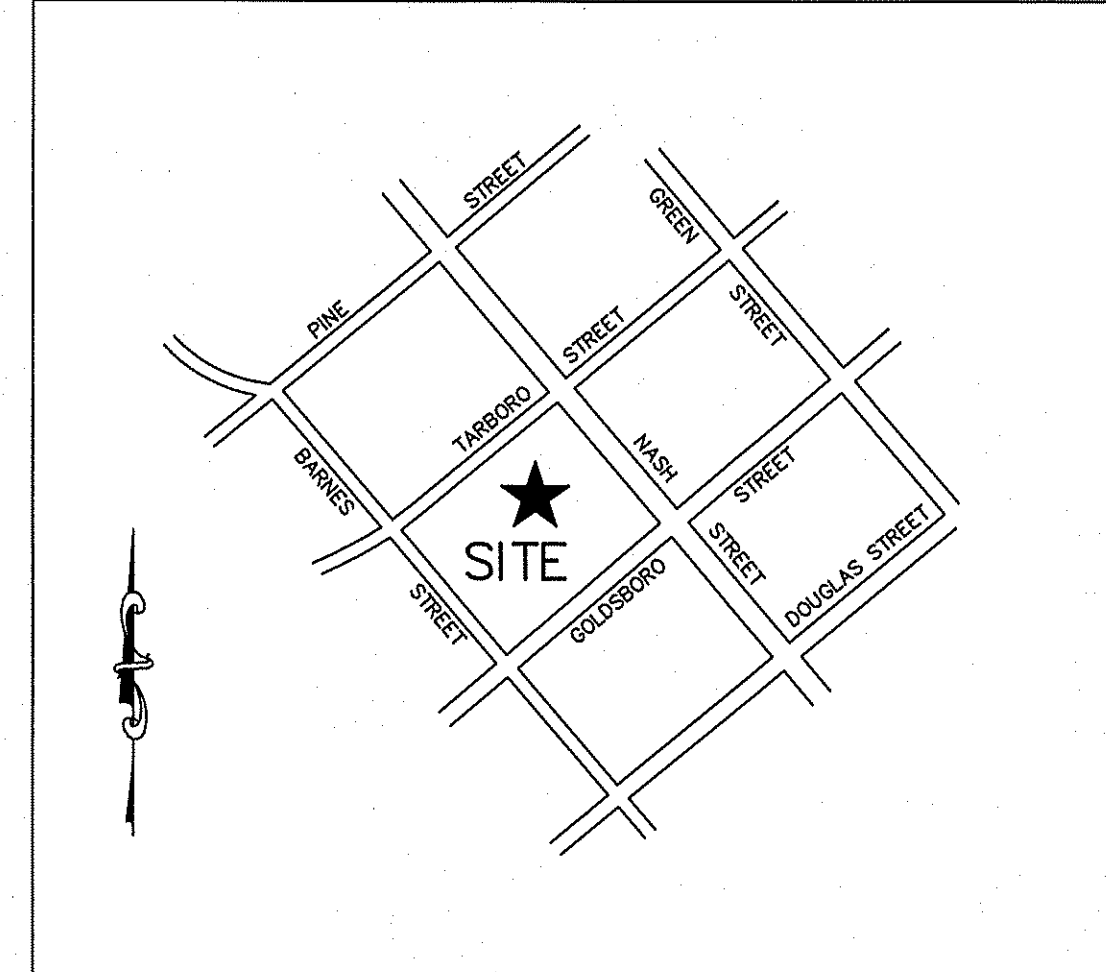
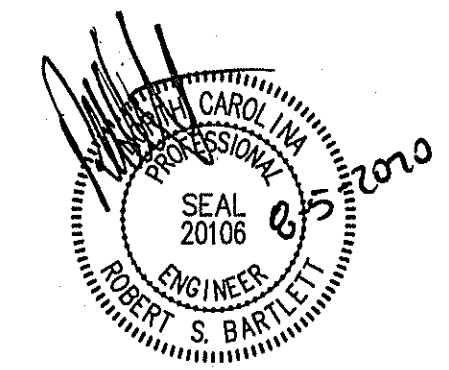
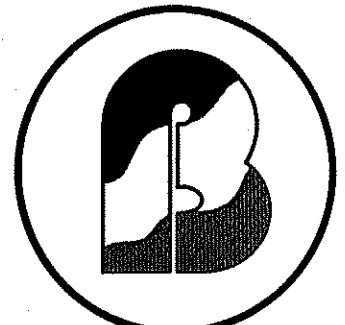
W. T. (BILL) BASS IV, P.E.

CHIEF PLANNING AND DEVELOPMENT OFFICER:

RODGER LENTZ

PREPARED BY:

**BARTLETT ENGINEERING & SURVEYING, PC
1906 NASH STREET NORTH
WILSON, NORTH CAROLINA 27893-1726**



LOCATION MAP
NO SCALE

SHEET INDEX

| | |
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| CV | COVER SHEET |
| SP1 | EXISTING CONDITIONS/DEMOLITION PLAN |
| SP2 | PROPOSED IMPROVEMENTS |
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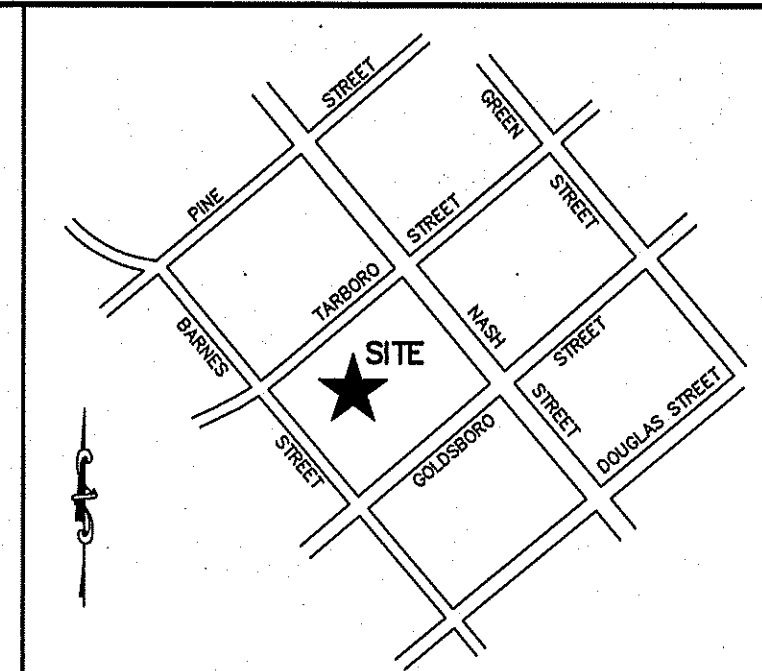
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WILSON, N.C. 27893-1726
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COVER SHEET

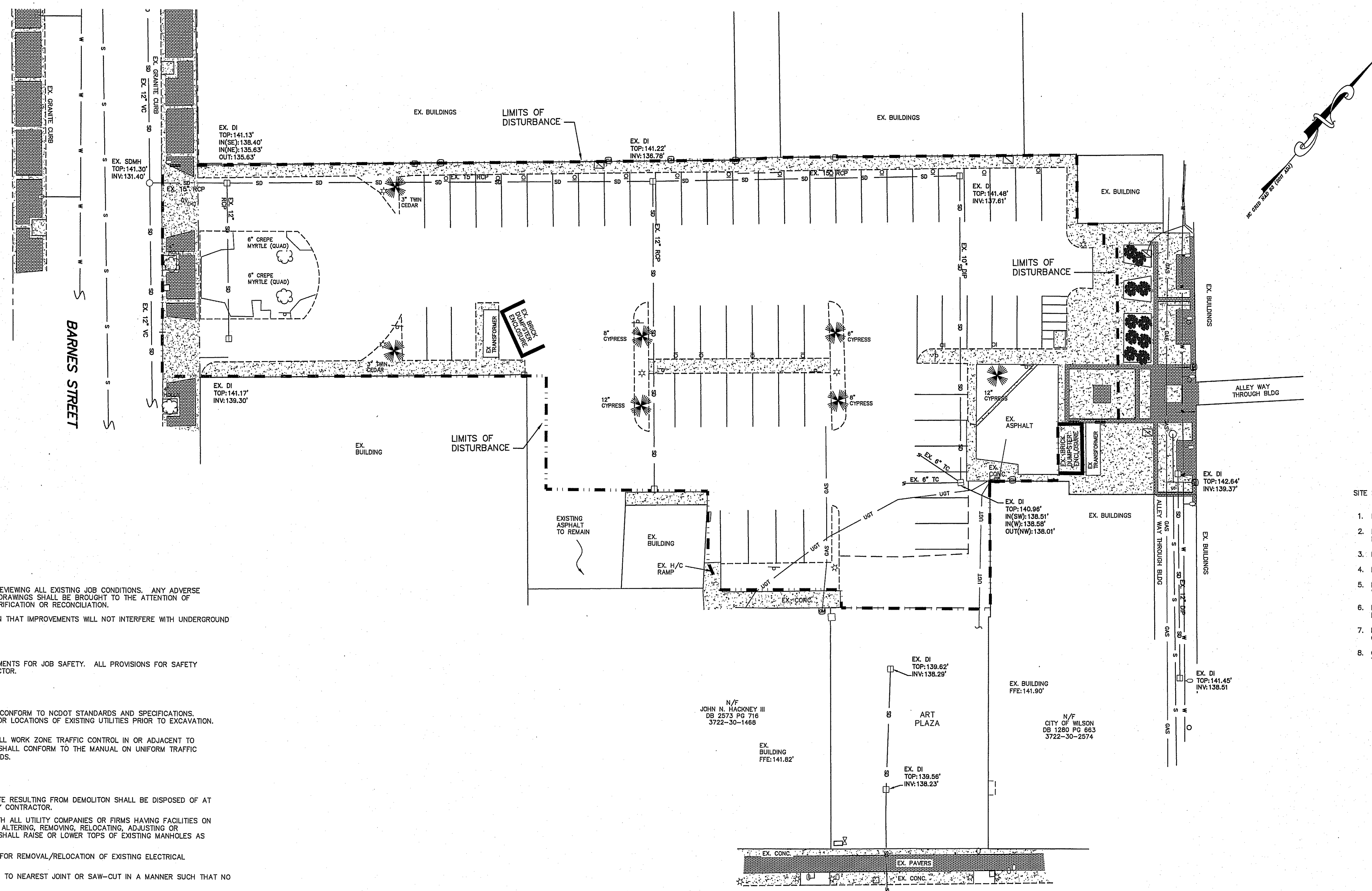
**BARNES STREET
PARKING LOT IMPROVEMENTS
CITY OF WILSON
WILSON COUNTY**

| |
|-------------------|
| DATE: AUGUST 2020 |
| SURVEY BY: |
| DRAWN BY: LR |
| CLIENT CODE: WC |
| PROJECT: 19-112 |
| CADFILE: 19112SP1 |
| SCALE: NTS |
| REVISIONS |

SHEET
CV



LOCATION MAP
NO SCALE



DISTURBED AREA: 0.83 AC.±

EXISTING CONDITIONS:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL EXISTING JOB CONDITIONS. ANY ADVERSE CONDITIONS AFFECTING WORK SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER FOR POSSIBLE CLARIFICATION OR RECONCILIATION.
CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION THAT IMPROVEMENTS WILL NOT INTERFERE WITH UNDERGROUND ELECTRICAL SERVICES.

CONSTRUCTION SAFETY:

THESE DRAWINGS DO NOT CONTAIN THE REQUIREMENTS FOR JOB SAFETY. ALL PROVISIONS FOR SAFETY SHALL BE SOLE RESPONSIBILITY OF THE CONTRACTOR.

GENERAL NOTES:

WORK WITHIN THE NCDOT RIGHT-OF-WAY SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS. CALL ONE CALL CENTER AT 1-800-632-4649 FOR LOCATIONS OF EXISTING UTILITIES PRIOR TO EXCAVATION.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT OR CITY RIGHT-OF-WAY. ALL METHODS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.

STANDARD DEMOLITION NOTES:

- UNUSABLE EXCAVATED MATERIALS AND ALL WASTE RESULTING FROM DEMOLITION SHALL BE DISPOSED OF AT AN APPROVED PERMITTED OFF-SITE LOCATION BY CONTRACTOR.
- CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTOR SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES AS REQUIRED TO MATCH FINISHED GRADES.
- COORDINATE WITH THE LOCAL UTILITY PROVIDER FOR REMOVAL/RELOCATION OF EXISTING ELECTRICAL TRANSFORMERS AND/OR LIGHT POLES.
- SIDEWALK AND CURB & GUTTER TO BE REMOVED TO NEAREST JOINT OR SAW-CUT IN A MANNER SUCH THAT NO JOINT IS LESS THAN 5 FEET.
- ANY EXISTING CURB & GUTTER OR ASPHALT DAMAGED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

SITE DATA

ZONE: CCMX
EXISTING USE: PARKING LOT
PROPERTY ADDRESS: 105 BARNES ST SW
OWNER: CITY OF WILSON
PO BOX 10
WILSON, NC 27894
PIN NO: 3722-30-0596
REFERENCE: DEED BOOK 1362 PAGE 146

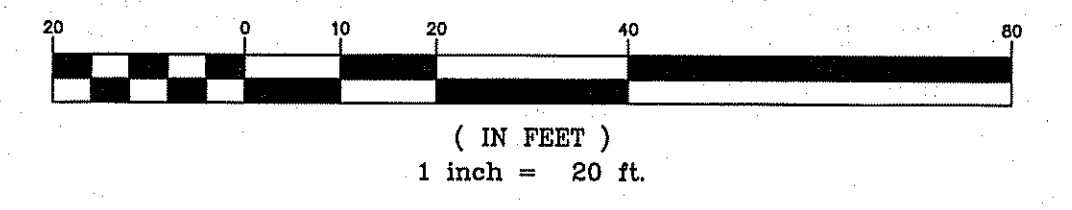
SITE SPECIFIC DEMOLITION NOTES:

- REMOVE ALL TREES, SHRUBS & MULCH WITHIN LIMITS OF DISTURBANCE.
- REMOVE ALL CONCRETE SIDEWALK, CONCRETE WHEEL STOPS AND PAVERS WITHIN LIMITS OF DISTURBANCE.
- REMOVE ALL PARKING METER POLES AND SIGNS WITHIN LIMITS OF DISTURBANCE.
- MILL EXISTING ASPHALT WITHIN LIMITS OF DISTURBANCE.
- REMOVE EXISTING FRAME & GRATES WITHIN LIMITS OF DISTURBANCE AND REPLACE WITH NEW FRAME & GRATES.
- ELECTRICAL TRANSFORMERS, UTILITY SERVICES AND DUMPSTER ENCLOSURES TO REMAIN IN PLACE.
- REMOVE ALL CONCRETE BASES FOR LIGHT POLES UNLESS INDICATED TO REMAIN. CITY OF WILSON TO REMOVE DECORATIVE LIGHT POLES AND FIXTURES.
- CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES AND STORM DRAIN PRIOR TO REMOVALS AND PAVEMENT MILLING.

LEGEND

- ⊗ EXISTING ELECTRICAL CONDUIT (LOCATED SEP., 2018)
- ⊠ EXISTING UNDERGROUND ELECTRIC VAULT
- ⊡ EXISTING LIGHT/LIGHT POLE
- ⊞ EXISTING WATER METER
- ⊟ EXISTING HOT BOX
- ⊠ EXISTING IRRIGATION CONTROL VALVE
- ⊡ EXISTING ELECTRIC METER
- ⊞ EXISTING TELEPHONE PEDESTAL
- ⊟ EXISTING UNDERGROUND TELEPHONE VAULT
- ⊠ EXISTING SIGN
- ⊡ EXISTING GAS VALVE
- ⊞ EXISTING GAS METER
- ⊟ EXISTING PARKING METER
- ⊠ EXISTING STORM DRAIN MANHOLE (SDMH)
- ⊡ EXISTING DROP INLET
- ⊞ EXISTING DEODOROUS TREE
- ⊟ EXISTING PINE TREE

GRAPHIC SCALE



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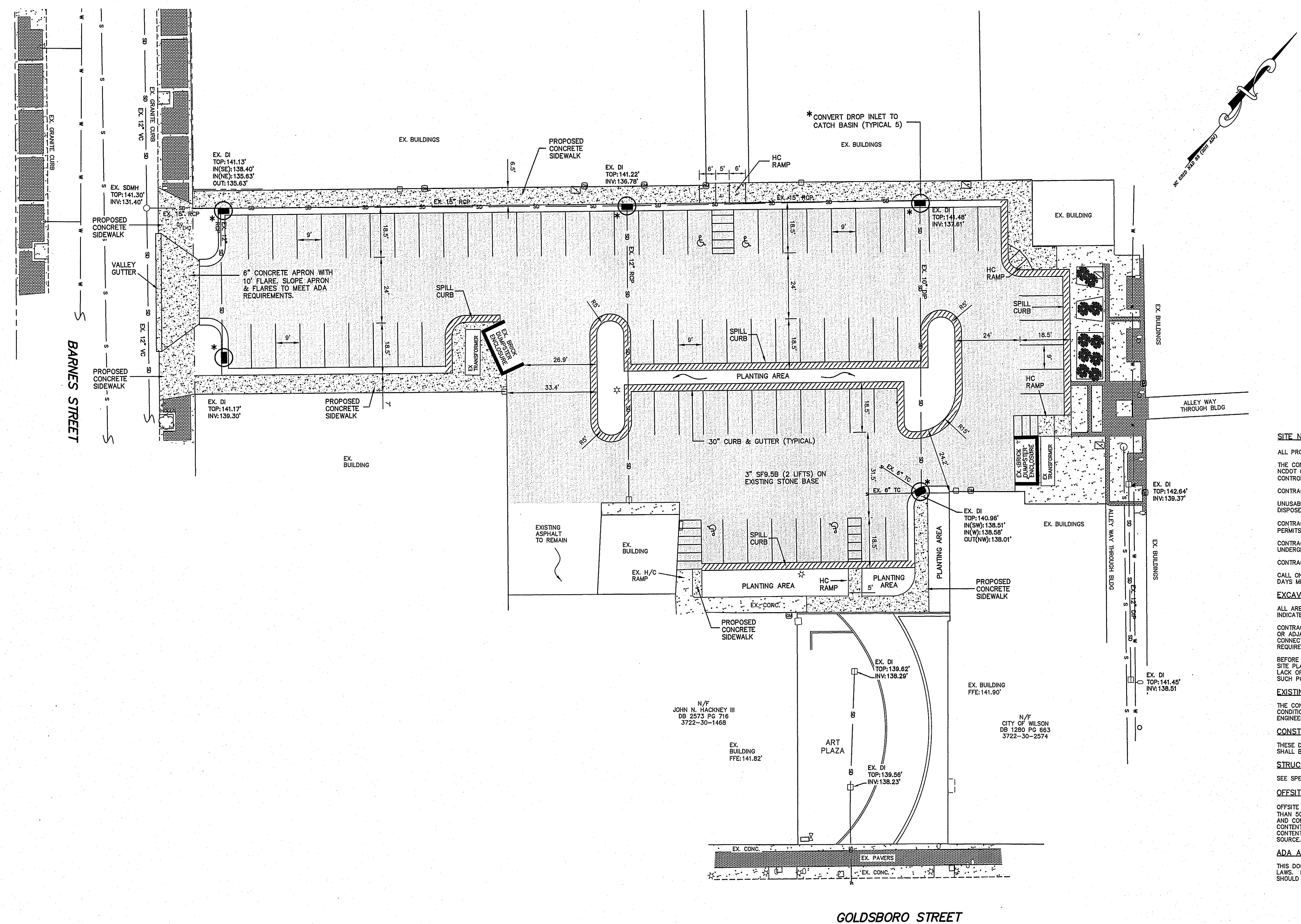
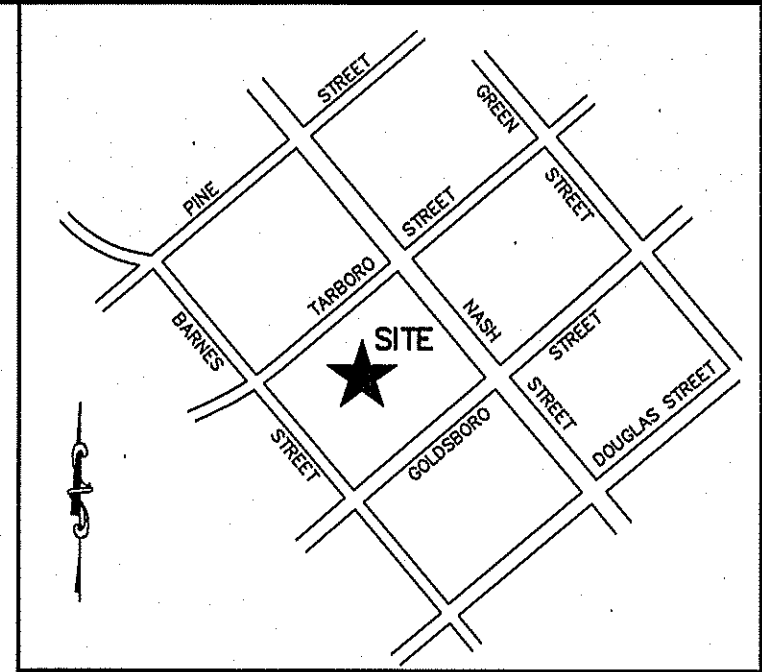
EXISTING
CONDITIONS/
DEMOLITION PLAN

BARNES STREET
PARKING LOT IMPROVEMENTS

DATE: AUGUST 2020
SCALE(HORZ): 1"=20'
SCALE(VERT): NA
REVISIONS:

PROJECT: 19-112
CLIENT CODE: WC
CADFILE: 19112SP1
FIELD BOOK: 348
DRAWN BY: CEP/LR
SURVEY BY: DB,JB
CITY OF WILSON
NORTH CAROLINA
PIN #
WILSON COUNTY
ZONE: CCMX
SHEET SP1

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SITE DATA

| | |
|--------------------------|---|
| ZONE: | CCMX |
| PROPOSED PARKING SPACES: | 73-9'x18' 4-9'x18' HC 77-TOTAL SPACES |
| EXISTING USE: | PARKING LOT |
| PROPERTY ADDRESS: | 105 BARNES ST SW |
| OWNER: | CITY OF WILSON PO BOX 10 WILSON, NC 27894 |
| PIN NO: | 3722-30-0596 |
| REFERENCE: | DEED BOOK 1362 PAGE 146 |

SITE NOTES:

ALL PROPOSED SPOT ELEVATIONS ARE ASPHALT/STONE GRADE, OR AS NOTED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT OR TOWN RIGHT-OF-WAY. ALL METHODS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.

CONTRACTOR TO COORDINATE INSTALLATION OF CONDUITS FOR PHONES & LIGHTING.

UNUSABLE EXCAVATED MATERIALS AND ALL WASTE RESULTING FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF AT AN APPROVED PERMITTED OFF-SITE LOCATION BY CONTRACTOR.

CONTRACTOR RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS/ CONDITIONS OF ALL ENCROACHMENTS & PERMITS INCLUDING PROVIDING BONDS/INSURANCE IF REQUIRED.

CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION THAT IMPROVEMENTS WILL NOT INTERFERE WITH UNDERGROUND ELECTRICAL SERVICES.

CONTRACTOR IS RESPONSIBLE FOR COORDINATING REQUIRED INSPECTIONS.

CALL ONE CALL CENTER AT 1-800-832-4949 OR 811 FOR LOCATIONS OF EXISTING UTILITIES THREE WORKING DAYS MINIMUM PRIOR TO EXCAVATION.

EXCAVATION AND GRADING PLAN NOTES:

ALL AREAS NOT COVERED BY BUILDING OR PAVING TO BE GRASSED, LANDSCAPED OR LEFT NATURAL AS INDICATED.

CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTOR SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES AS REQUIRED TO MATCH FINISHED GRADES.

BEFORE ANY MACHINE WORK IS DONE, CONTRACTOR SHALL STAKE OUT AND MARK ITEMS ESTABLISHED BY THE SITE PLAN. CONTROL POINTS SHALL BE PRESERVED AT ALL TIMES DURING THE COURSE OF THE PROJECT. LACK OF THE PROPER WORKING POINTS AND GRADE STAKES MAY REQUIRE CESSATION OF OPERATIONS UNTIL SUCH POINTS AND GRADES HAVE BEEN REPLACED TO THE OWNERS SATISFACTION.

EXISTING CONDITIONS:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL EXISTING JOB CONDITIONS. ANY ADVERSE CONDITIONS AFFECTING WORK SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR POSSIBLE CLARIFICATION OR RECONCILIATION.

CONSTRUCTION SAFETY:

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STRUCTURAL FILL:

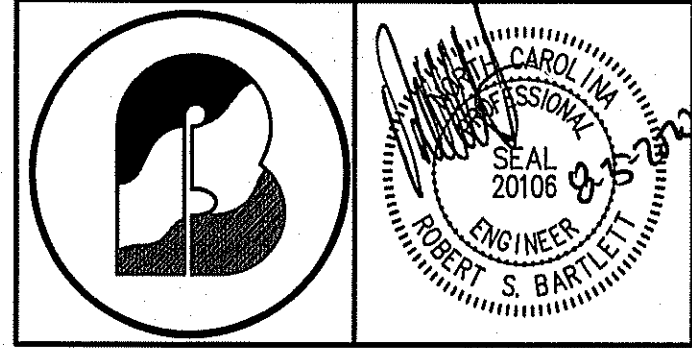
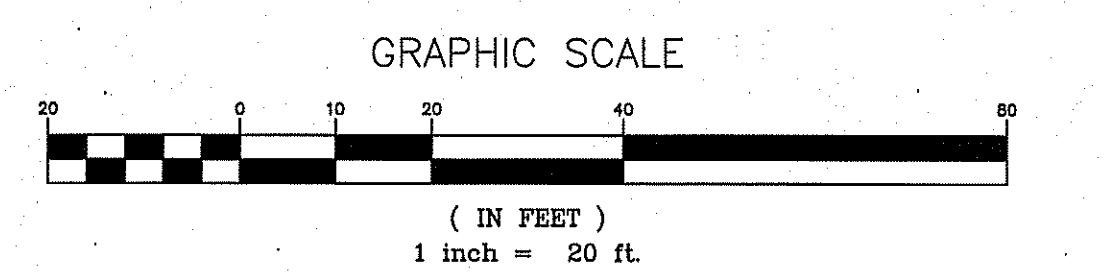
SEE SPECIFICATIONS FOR STRUCTURAL FILL INFORMATION.

OFFSITE BORROW / TRENCH BORROW:

OFFSITE BORROW MATERIAL PLACED ON SITE SHOULD BE LOW PLASTICITY (PI LESS THAN 25 AND LL LESS THAN 50) AND SHALL BE FREE OF ORGANIC MATERIAL OR DEBRIS. PLACE FILL IN 8" TO 10" LOOSE LIFTS AND COMPACT TO 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY, ASTM D698. THE MOISTURE CONTENT OF THE SOIL SHOULD BE MAINTAINED WITHIN ± 3 PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT DETERMINED BY THE SAME TEST. OFF-SITE BORROW MATERIAL TO BE OBTAINED FROM A PERMITTED SOURCE.

ADA AND LEGAL DISCLAIMER:

THIS DOCUMENT IS NOT REPRESENTED TO COMPLY WITH ALL REQUIREMENTS CONTAINED IN THE ADA OR OTHER LAWS. ENGINEERS ARE NOT LICENSED TO INTERPRET LAWS OR GIVE ADVICE CONCERNING LAWS. THE OWNER SHOULD HAVE THIS DOCUMENT REVIEWED BY HIS ATTORNEY TO DETERMINE LEGAL COMPLIANCE.



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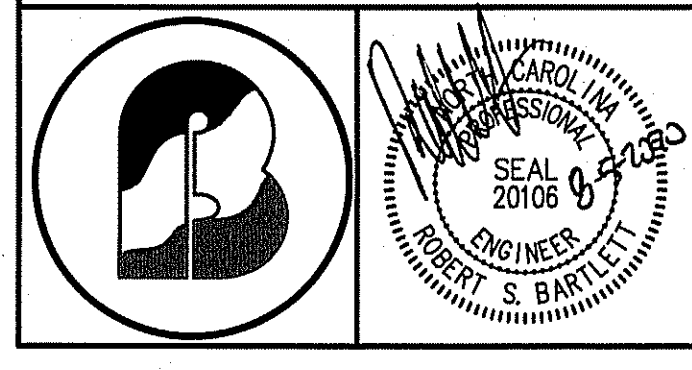
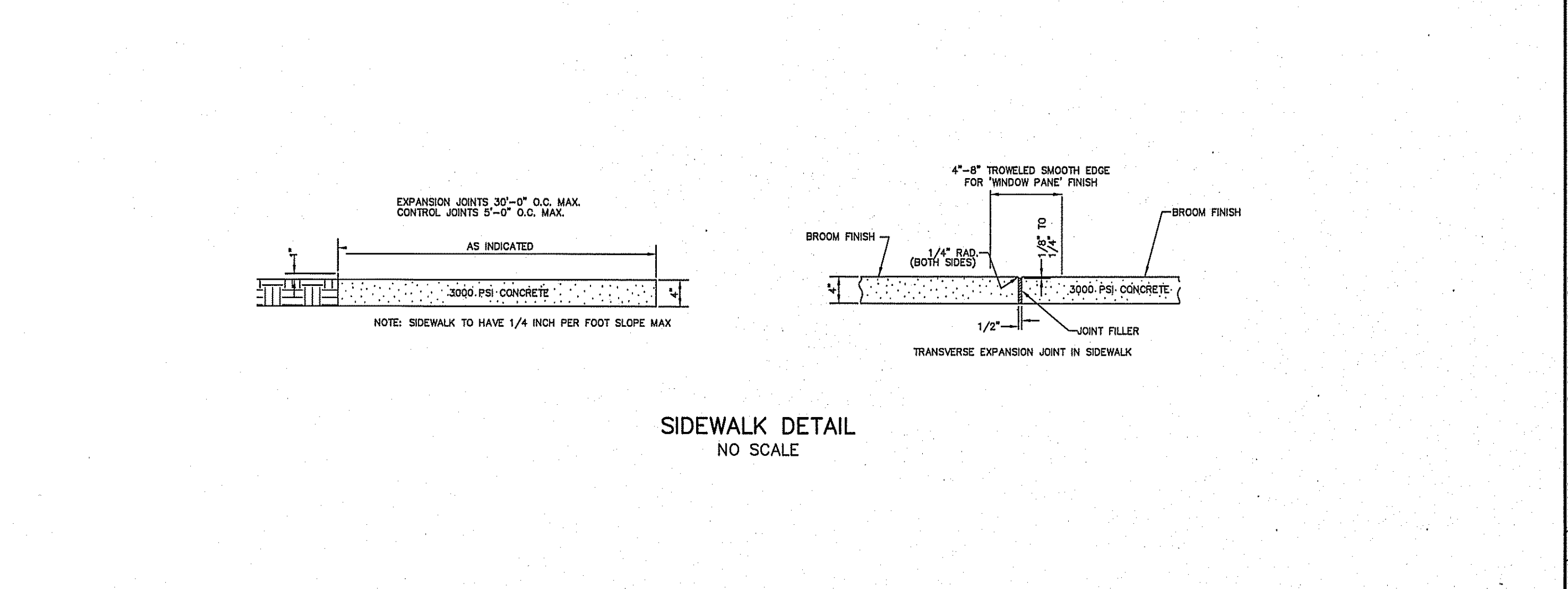
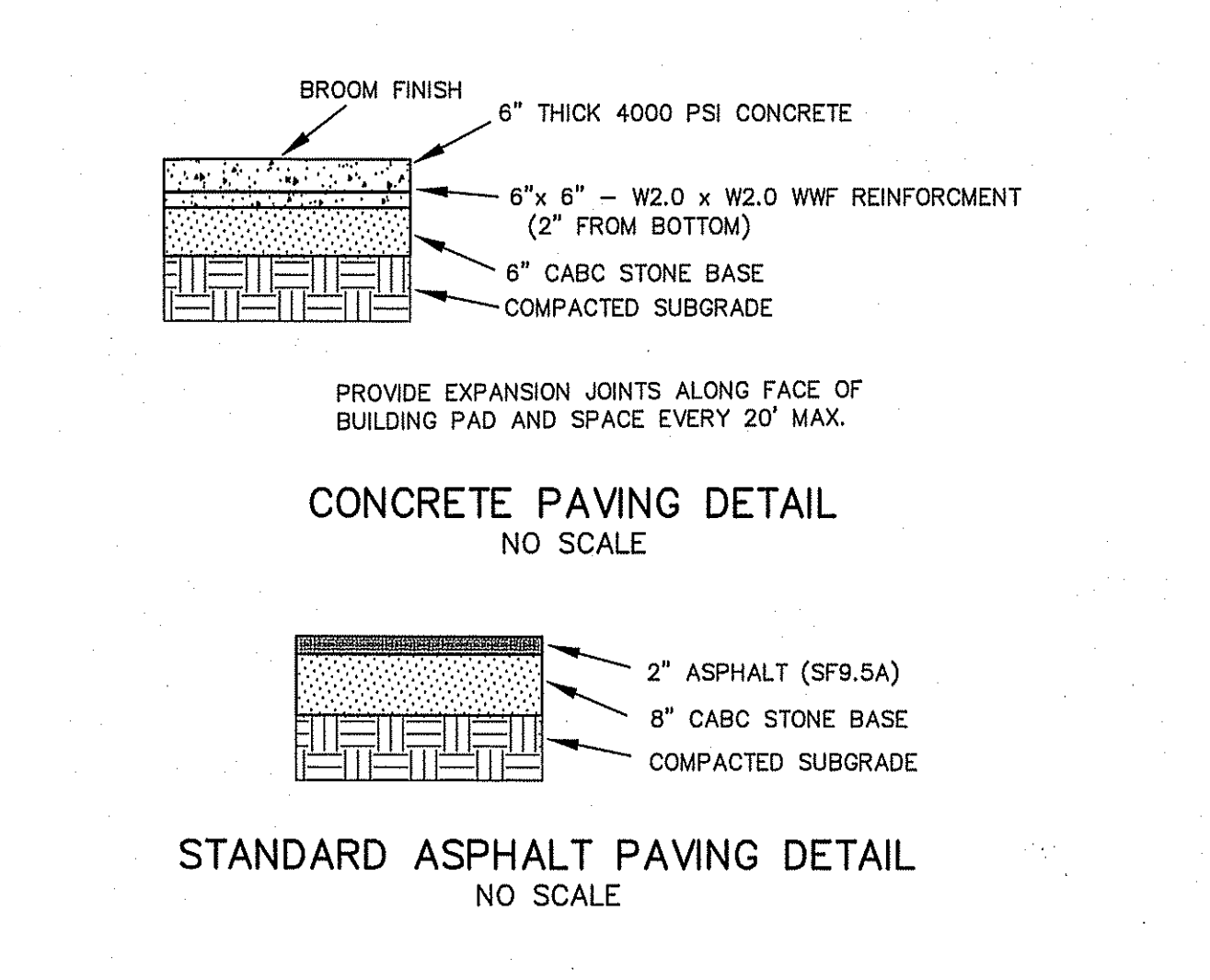
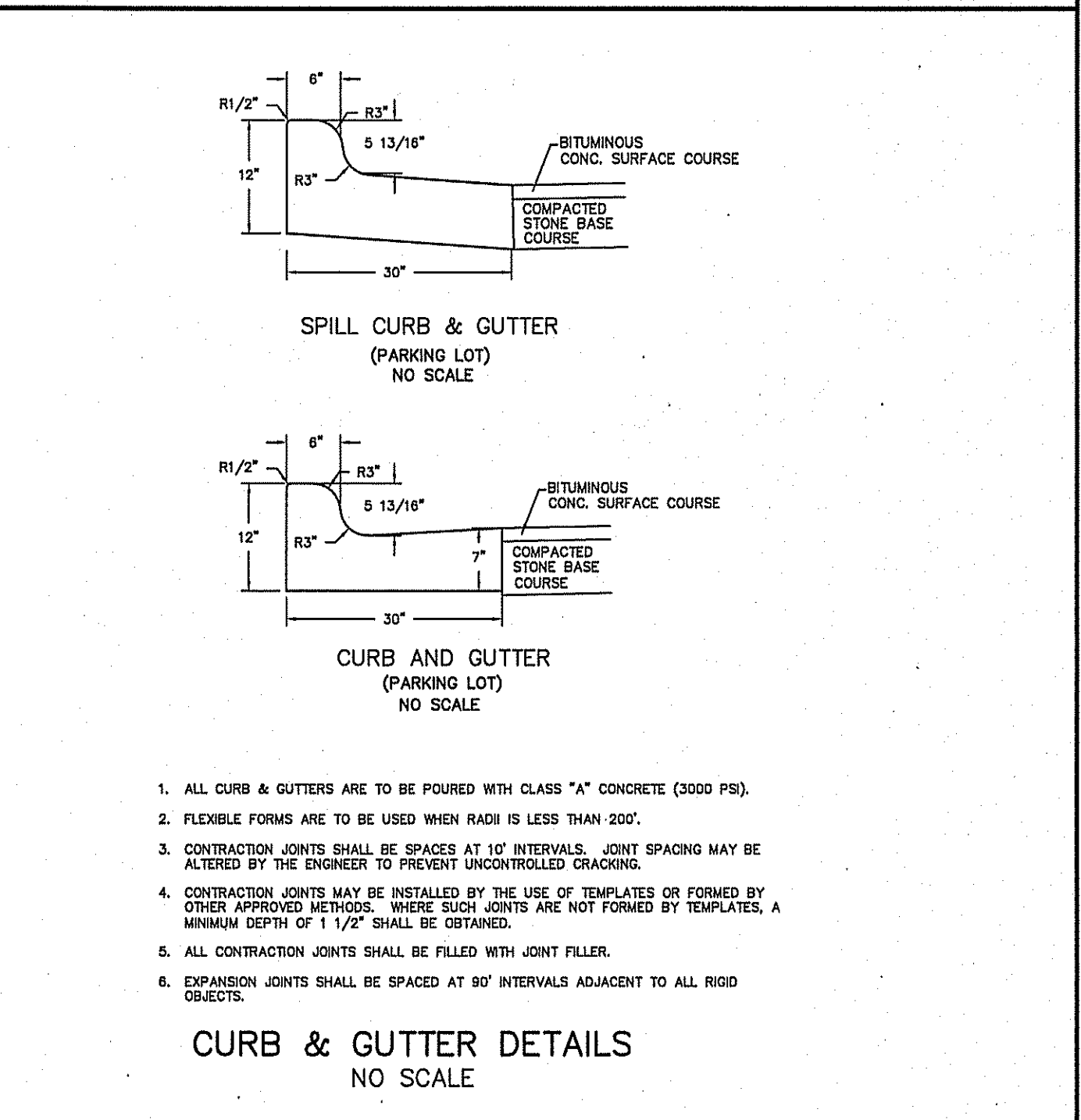
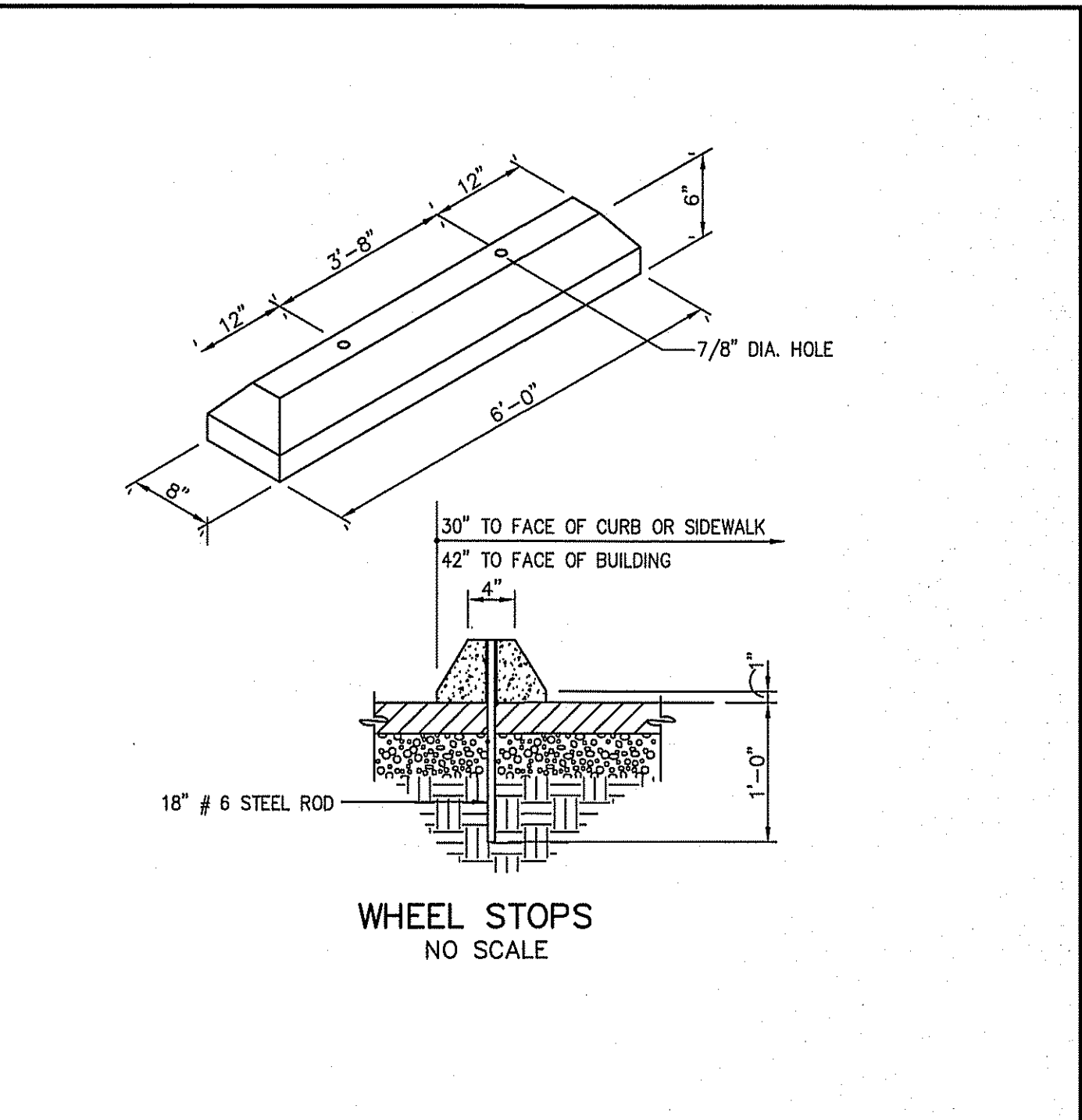
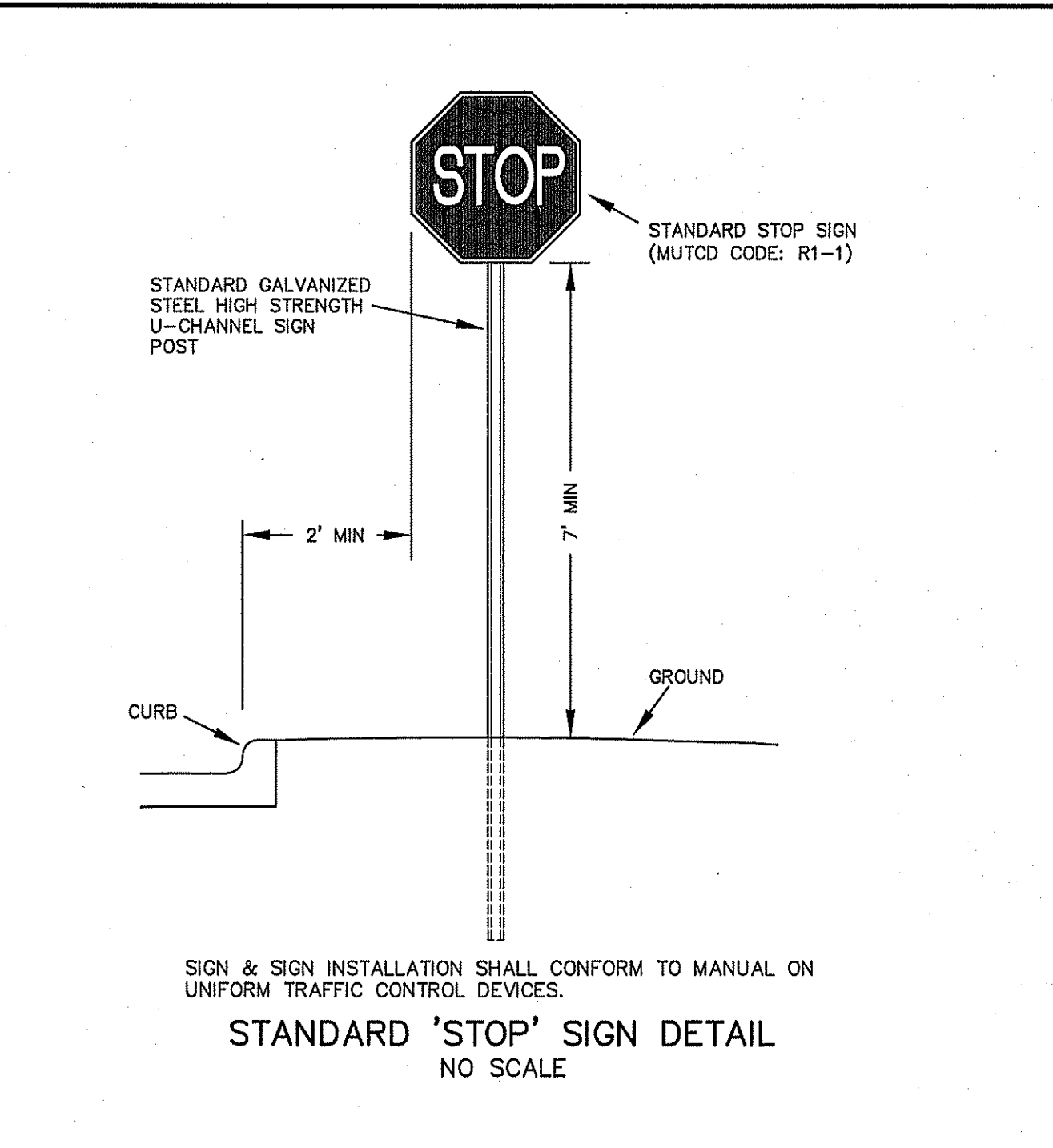
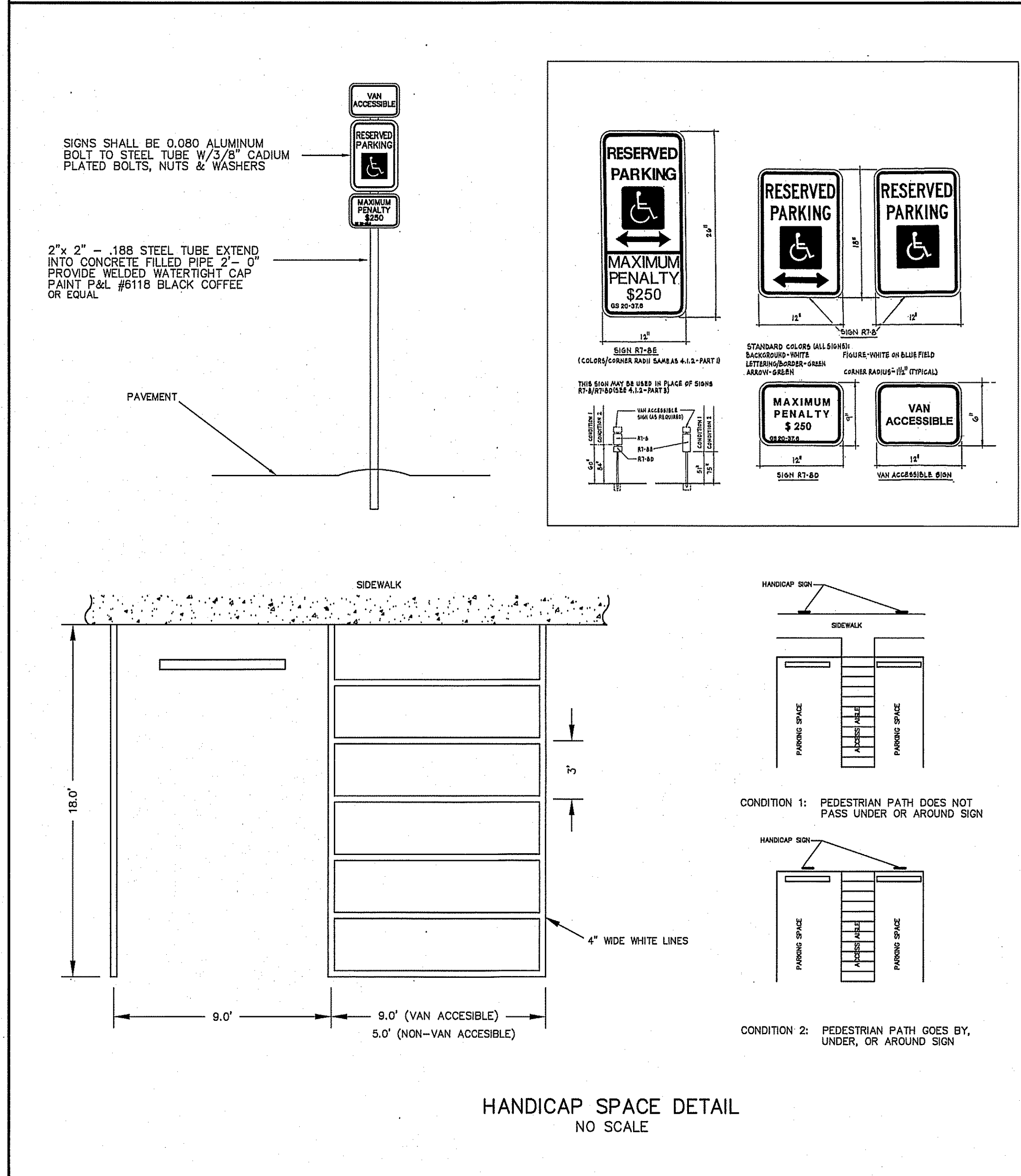
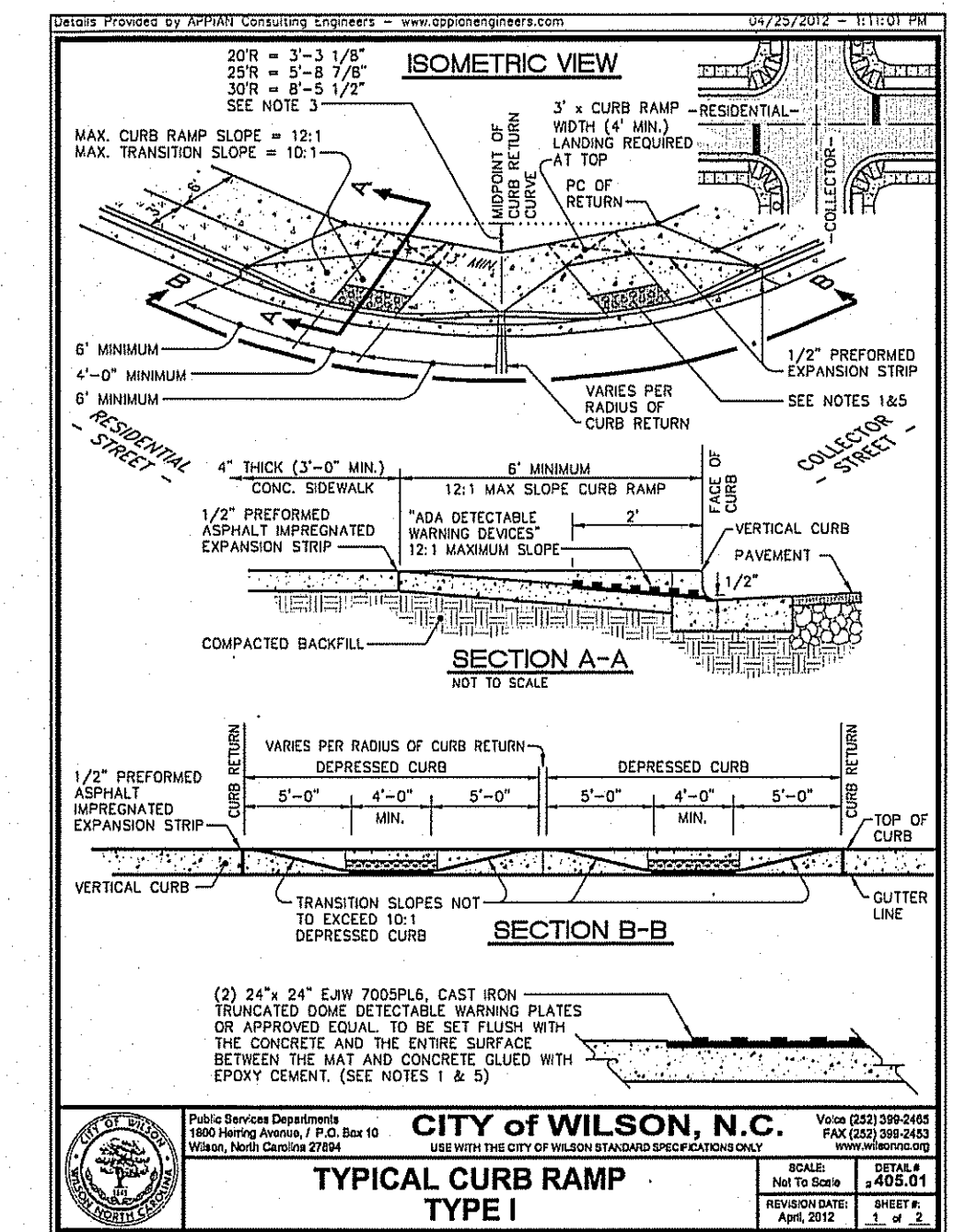
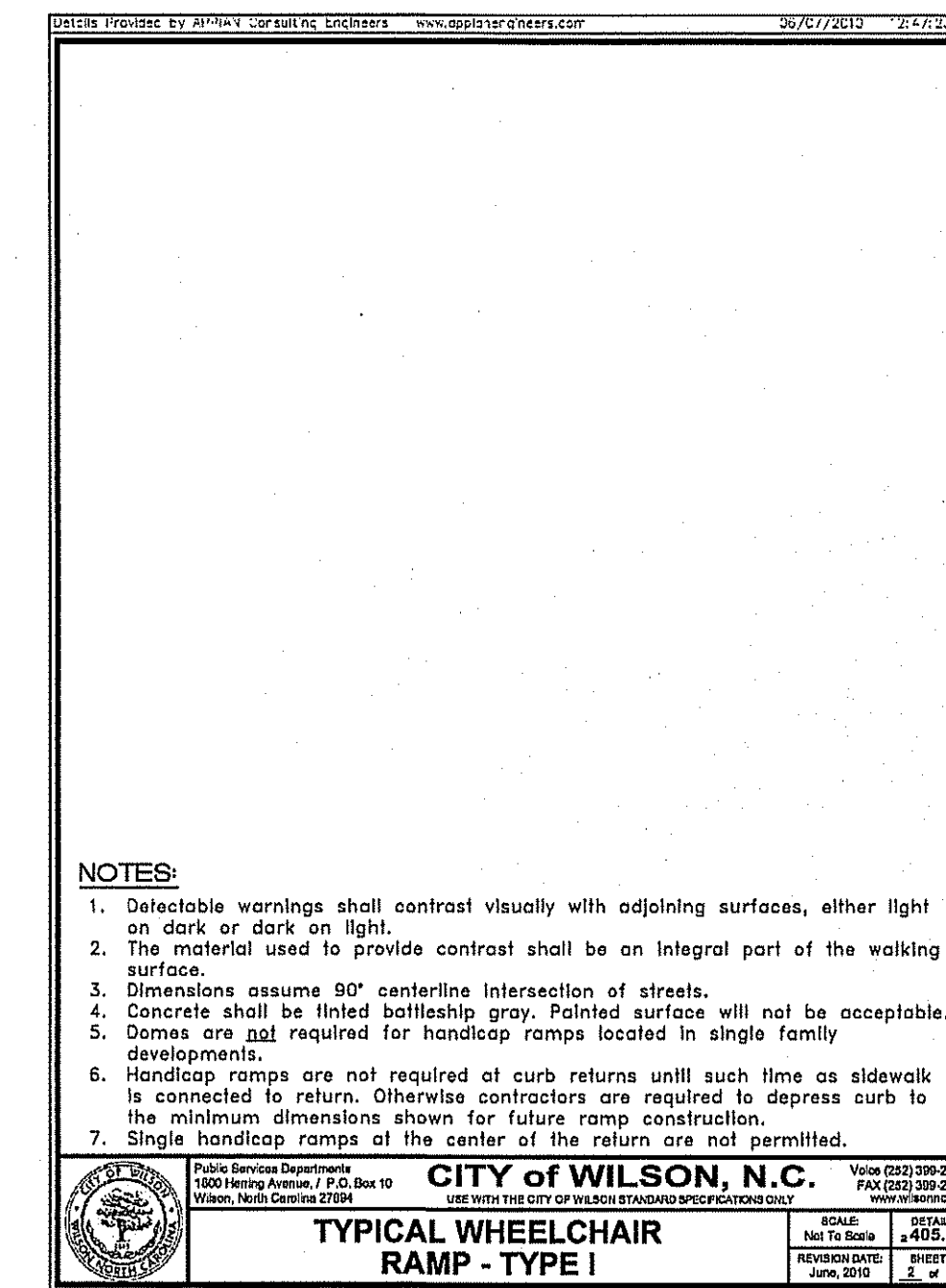
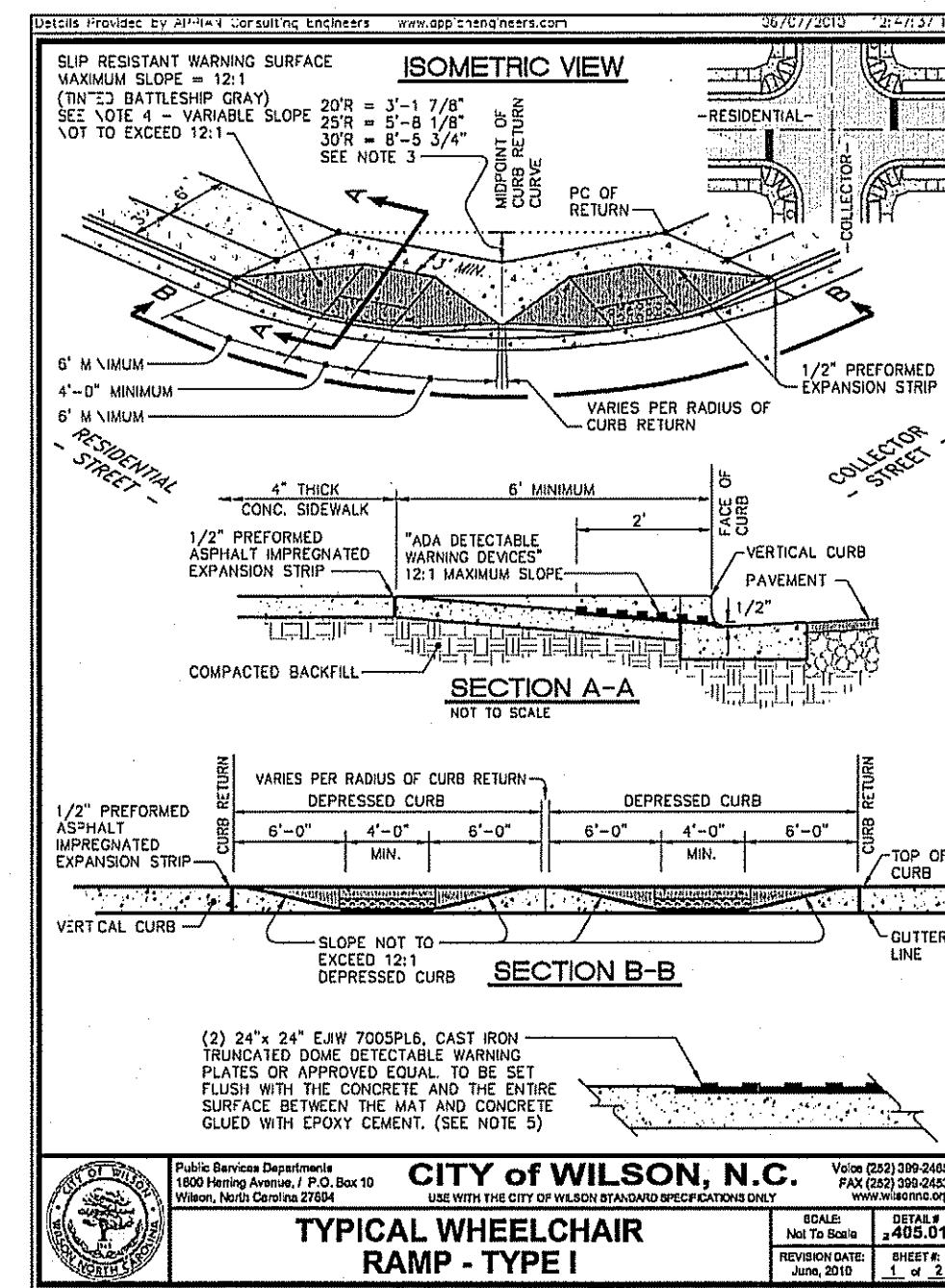
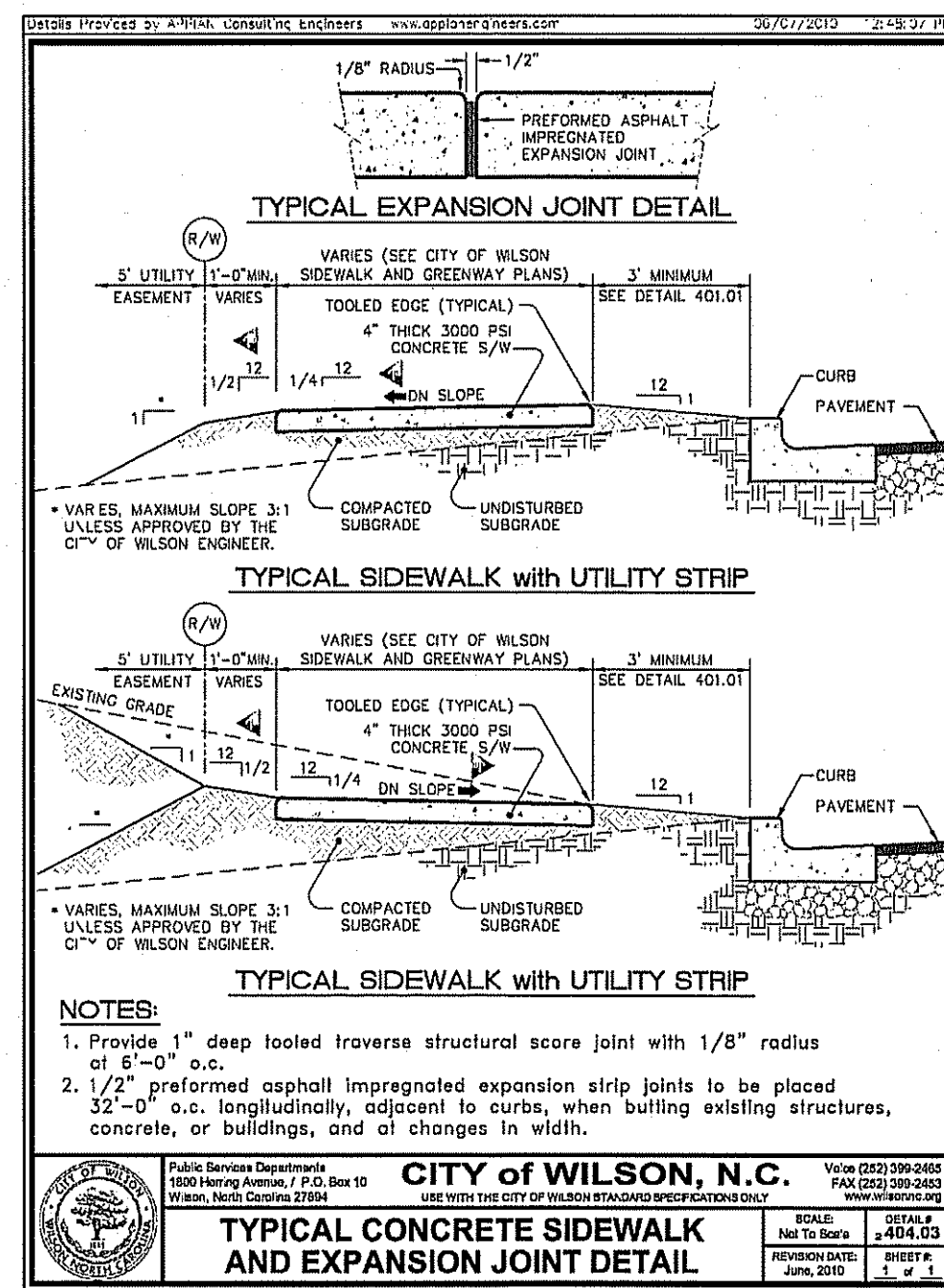
PROPOSED IMPROVEMENTS

BARNES STREET
PARKING LOT IMPROVEMENTS

DATE: AUGUST 2020
SCALE(HORZ): 1"=20'
SCALE(VERT): NA
REVISIONS:

| | | |
|--|----------------------------------|-----------------------------|
| PROJECT: 19-112 CLIENT CODE: WC CADFILE: 19112SP1 FIELD BOOK: 348 DRAWN BY: CEP/LR SURVEY BY: DB,JB | CITY OF WILSON NORTH CAROLINA | WILSON COUNTY ZONE: CCMX |
| | PIN # | SHEET SP2 |

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DETAILS

BARNES STREET PARKING LOT IMPROVEMENTS

DATE: AUGUST 2020

SCALE(HORZ): 1"=20'

SCALE(VERT): NA

REVISIONS:

PROJECT: 19-112
CLIENT CODE: WC
CADFILE: 19112SP1
FIELD BOOK: 348
DRAWN BY: CEP/LR
SURVEY BY: DB,JB

CITY OF WILSON WILSON COUNTY

NORTH CAROLINA ZONE: CCMX

PIN # SHEET DT1