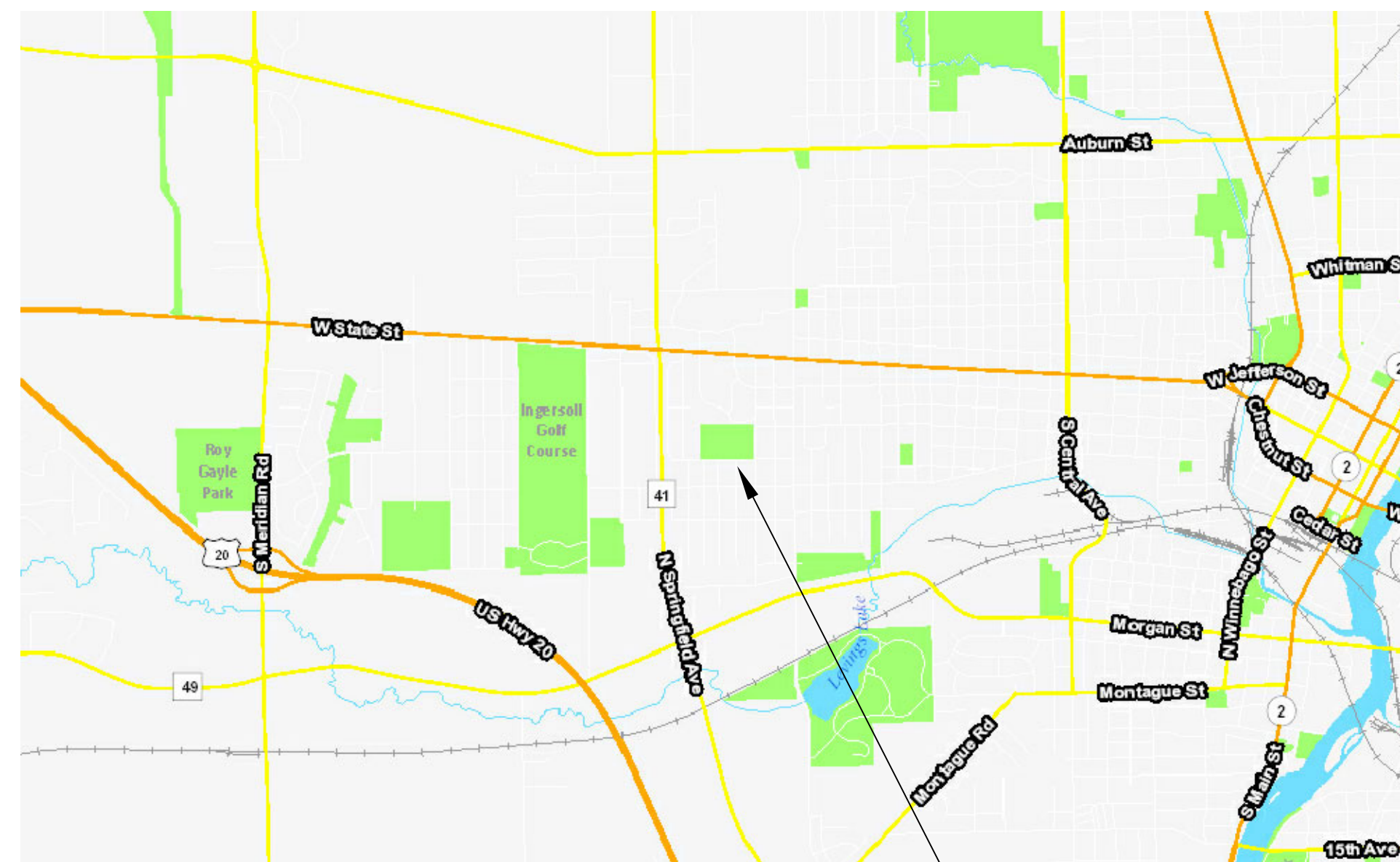


Washington Park - New Park Construction

Bid #19-2233



Site Location

3617 Delaware Street

Park Location

(Base Information From WinGIS)

Drawing Index

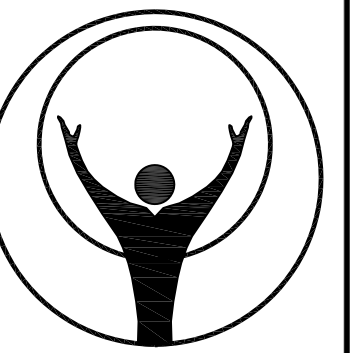
Civil Engineering Plans (Prepared by ARC Design Resources)

- C00 Cover
- C01 General Notes
- C02 SWPPP Site Map
- C03 SWPPP Details
- C04 Existing Conditions & Removals Plan
- C05 Layout Plan
- C06 Grading Plan
- C07 Details

Landscape Plans (Prepared by Rockford Park District)

- L-1 Playground Construction Plan
- L-2 Landscape Plan
- L-3 Playground Construction Details

WASHINGTON
PARK

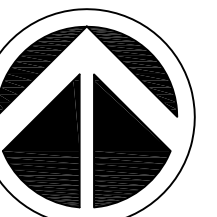


**ROCKFORD
PARK DISTRICT**

401 SOUTH MAIN STREET
ROCKFORD, ILLINOIS 61101
815-987-8800
ROCKFORDPARKDISTRICT.ORG

PROJECT DATA

Washington Park
New Park Construction
3617 Delaware Street
Rockford, IL 61102



NORTH

NOT TO SCALE

BASE INFORMATION
PROVIDED BY:
ARC Design Resources

ISSUE

#	DATE	DESCRIPTION
1	08/06/19	RPD Review

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

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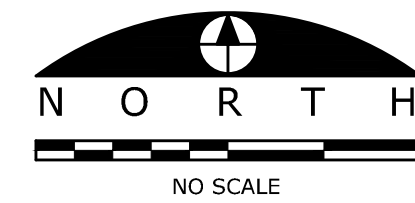
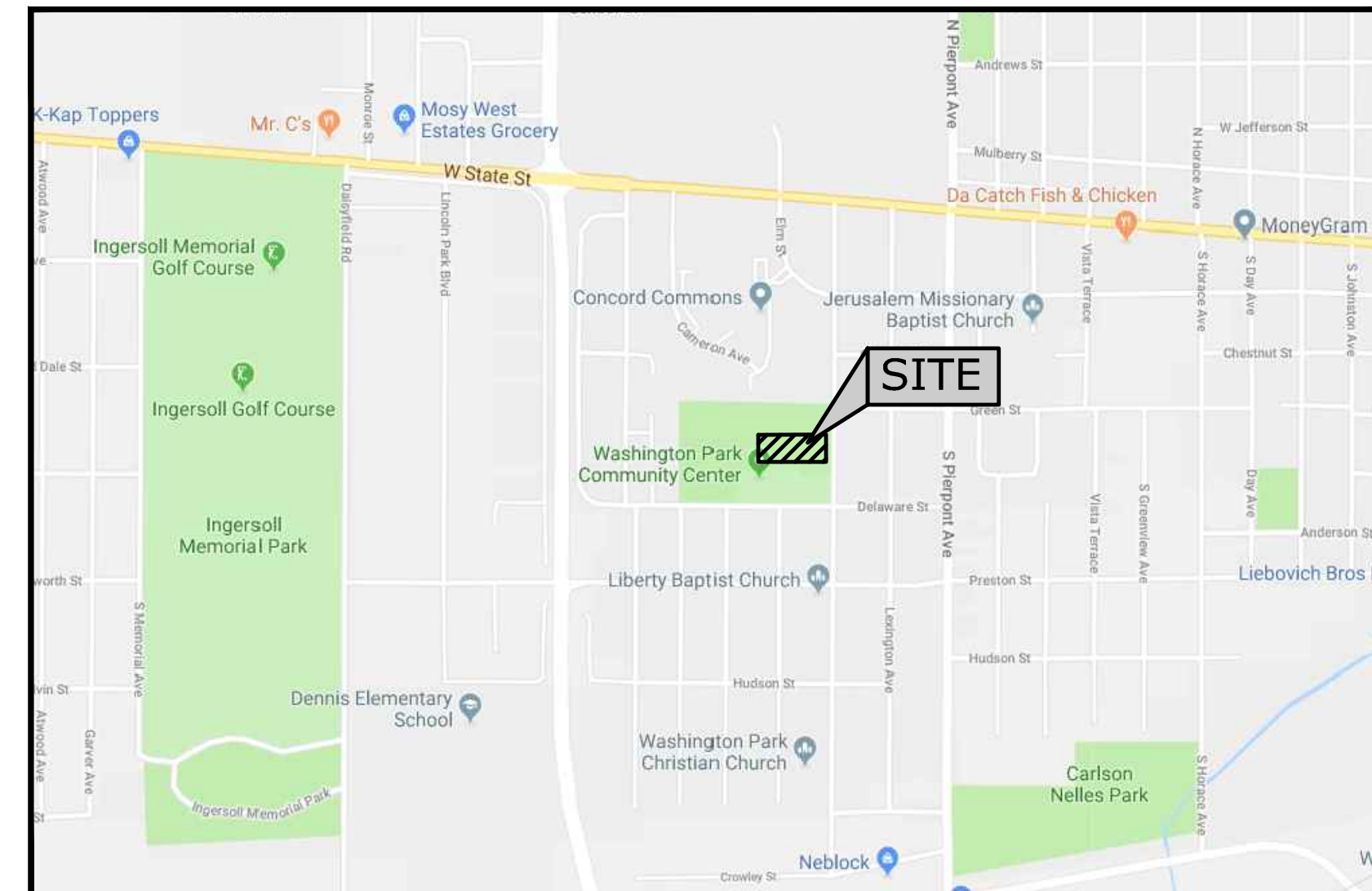
WASHINGTON PARK OSLAD SITE REDEVELOPMENT

3617 DELAWARE STREET ROCKFORD, IL 61102

GENERAL NOTES

- The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. Neither the engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the engineer inspects and controls the physical construction on a contemporary basis at the site.
- The contractor, by agreeing to perform the work, agrees to indemnify and hold harmless the owner, the engineer, the city, and all agents and assigns of those parties, from all suits and claims arising out of the performance of said work, and further agrees to defend or otherwise pay all legal fees arising out of the defense of said parties.
- In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, or near the construction site. The contractor is responsible for maintaining adequate signs, barricades, fencing, traffic control devices and measures, and all other measures that are necessary to protect the safety of the site at all times.
- Maintain access for vehicular and pedestrian traffic as required for other construction activities. Use traffic control devices to include temporary striping, flagmen, barricades, warning signs, and warning lights shall be in accordance with current MUTCD and IDOT standards.
- All phases of the site work for this project shall meet or exceed industry standards and requirements set forth by the owner's "Description of Work", City of Rockford, the State of Illinois, and this plan set.
- The City of Rockford must be notified at least two (2) working days prior to the commencement or resumption of any work.
- The contractor shall coordinate all permit and inspection requirements with responsible local, state, and federal agencies. The contractor shall include the costs of this coordination and all inspection fees in the bid price.
- All work performed by the contractor shall come with a warranty against defects in workmanship and materials. This warranty period shall run concurrent with the required warranty periods the owner must provide to each local government agency, as a condition of the permit.
- The contractor will be held solely responsible for and shall take precautions necessary to avoid property damage to adjacent properties during the construction of this project.
- All structures, inlets, pipes, swales, roads and public egresses must be kept clean and free of dirt and debris at all times.
- Any field tiles encountered during construction shall be recorded showing size, location, and depth by the contractor, and either reconnected and rerouted or connected to the storm sewer system. The owner shall be notified immediately upon encountering any tile.
- The contractor shall field verify the elevations of the benchmarks prior to commencing work. The contractor shall also field verify the location and elevation of existing pipe inverts, curb or pavement where matching into existing work. The contractor shall field verify horizontal control by referencing property corners to known property lines. Notify the engineer of discrepancies in either vertical or horizontal control prior to proceeding.
- All elevations are on NAVD 88 datum.
- Parking areas designated as A.D.A. and all sidewalk shall be compliant with state and local A.D.A. requirements.
- Tactile warning plates per IDOT specifications shall be placed at all locations where sidewalk that is to be replaced intersects public roads and at locations indicated in this plan set.
- The contractor shall verify the location of all utilities in the field prior to construction. This includes sanitary sewer, water main, storm sewer, General Telephone, Commonwealth Edison, Northern Illinois Gas and cable television, if any. The J.U.L.I.E. number is 1-800-892-0123.
- Property corners shall be carefully protected until they have been referenced by a Professional Land Surveyor.
- The contractor shall keep careful measurements and records of all construction and shall furnish the Engineer, the Owner and the City with record drawings in a digital format compatible with AutoCAD Release 14 upon completion of his work.
- Any excess dirt or materials shall be placed by the contractor onsite at the owner's direction or as indicated on the plans.
- Finish grade shall in all areas not specifically reserved for storm water management shall drain freely. No ponding shall occur. Tolerances to be observed will be measured to the nearest 0.04 of a foot for paved surfaces and 0.10 of a foot for unpaved areas.

VICINITY MAP



DIAL 811 OR
(800) 892-0123

OWNER:

ROCKFORD PARK DISTRICT

401 S. MAIN STREET
ROCKFORD, IL 61101
(815) 987-8800

ENGINEER:

ARC DESIGN
RESOURCES INC.

5291 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303

www.arcdesign.com
Design Firm License No. 184-001334

Sheet List Table

SHEET NUMBER	SHEET TITLE
C00	COVER
C01	GENERAL NOTES
C02	SWPPP SITE MAP
C03	SWPPP DETAILS
C04	EXISTING CONDITIONS AND REMOVALS PLAN
C05	LAYOUT PLAN
C06	GRADING PLAN
C07	DETAILS

APPROVAL

ROCKFORD PARK DISTRICT
CITY OF ROCKFORD

DATE

PENDING
PENDING

UTILITY OFFICIALS

SEWER DISTRICT:

CHRISTOPHER BAER
ROCK RIVER WATER
RECLAMATION DISTRICT
3501 KISHWAUKEE STREET
ROCKFORD, IL 61126-7480
(815) 387-7660

WATER DEPARTMENT:

CITY OF ROCKFORD
WATER DIVISION
425 E. STATE STREET
ROCKFORD, IL 61104
(779) 348-7368

TELEPHONE:

AT&T MIDWEST
2408 8TH AVENUE
ROCKFORD, IL 61108
(815) 394-7270

CABLE TELEVISION:

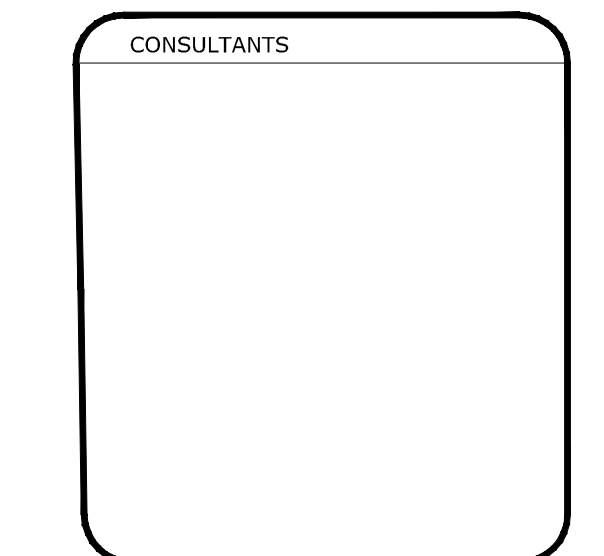
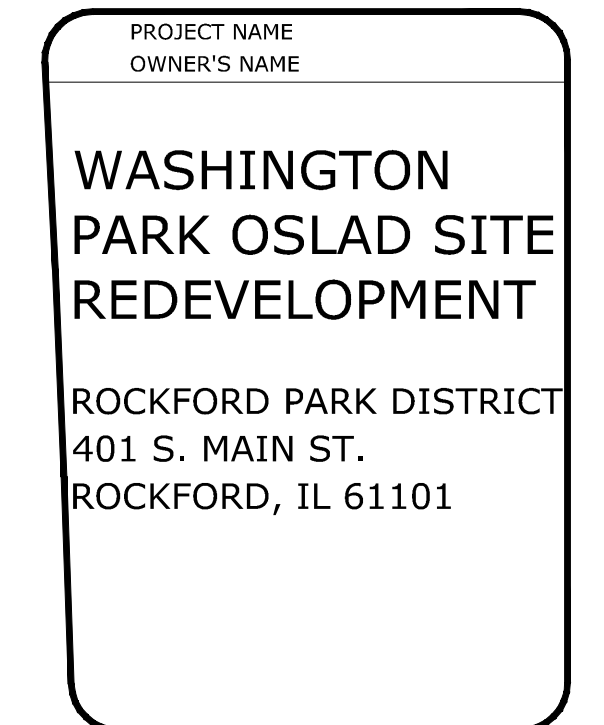
COMCAST
4450 KISHWAUKEE STREET
ROCKFORD, IL 61101
(815) 395-8977

ELECTRIC:

COMMONWEALTH EDISON COMPANY
123 ENERGY AVE
ROCKFORD, IL 61109
(815) 263-3123

GAS:

NICOR GAS
1844 FERRY ROAD
NAPERVILLE, IL 61108
(815) 739-0876



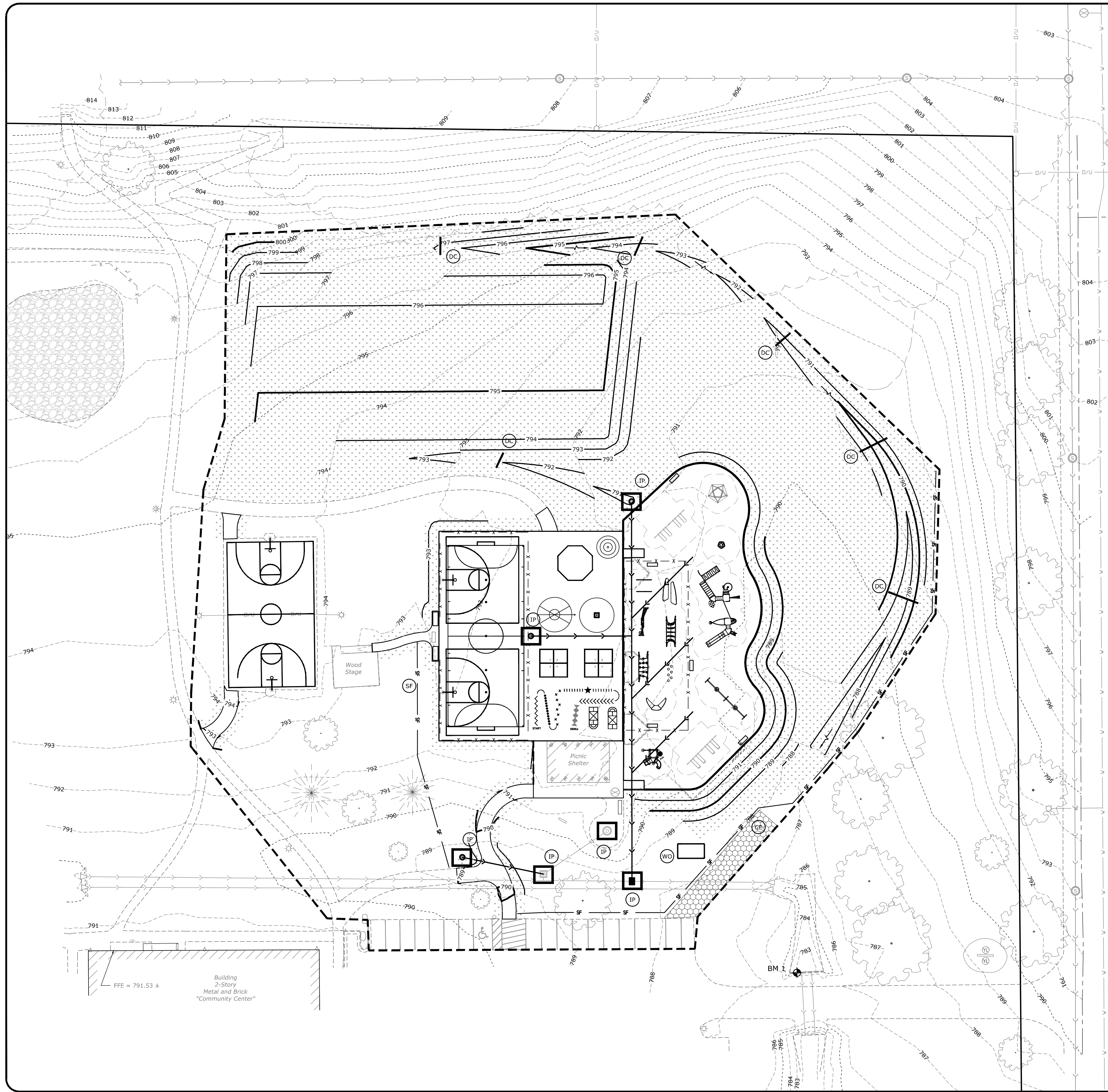
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REVISIONS	DATE
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DRAWN	MJH
CHECKED	RGS
PM	JSL

PROJECT NUMBER SHEET NUMBER
19090
C00



CONCORD AVE.

SWPPP LEGEND

- (SEE SITE PLAN SET FOR EXISTING SYMBOLS)
- LIMITS OF DISTURBANCE
 - 800 - EXISTING CONTOUR LINE
 - 800 - PROPOSED CONTOUR LINE
 - EDGE OF PAVEMENT
 - ← EXISTING STORM SEWER
 - ⊠ EXISTING STORM STRUCTURE
 - DIRECTION OF OVERLAND FLOW AND SLOPE
 - SEED AREA, CLASS 1
 - X.XX SEE SPECIFIC KEY NOTE ON THIS SHEET
 - ← "A" DRAINAGE AREA
- EROSION DETAILS (SEE SWPPP DETAILS SHEET FOR ITEMS BELOW)
- ⊠ CE TEMPORARY STONE CONSTRUCTION EXIT 1.01
 - SF — SF TEMPORARY SILT FENCE 1.02
 - ⊠ IP TEMPORARY INLET PROTECTION 1.03
 - ⊠ BLS SLOPE PROTECTION BLANKET NAG S150 OR EQUAL REQUIRED ON ALL DISTURBED SLOPES 1.06
 - ⊠ PO PERMANENT PIPE OUTLET STABILIZATION (RIP RAP)
 - ⊠ OCP TEMPORARY OUTLET CONTROL PROTECTION
 - ⊠ WO CONCRETE WASHOUT
 - ⊠ DC TEMPORARY DITCH CHECK

EROSION CONTROL REFERENCE NOTES

- 1.01 SEE CONSTRUCTION EXIT DETAIL. THE CONSTRUCTION EXIT SHALL BE A MINIMUM OF 14' IN WIDTH AND 30' FEET IN LENGTH FROM EXISTING PAVED SURFACE. ALL CONSTRUCTION TRAFFIC MUST UTILIZE CONSTRUCTION EXITS PER DETAIL TO ACCESS THE PUBLIC ROAD. DURING CONSTRUCTION, THE CONSTRUCTION EXITS MAY BE SHIFTED AT THE CONTRACTOR'S DISCRETION TO FACILITATE GRADING OPERATION. EXIT MUST TERMINATE AT EXISTING PAVED SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE RUNOFF FROM THE CONSTRUCTION EXIT IS DIRECTED BACK TOWARD THE SITE OR THAT THE RUNOFF IS CLEAR OF SEDIMENT.
- 1.02 THE CONTRACTOR MAY PERMANENTLY REMOVE ANY PORTION OF THE PERIMETER SILT FENCE AFTER ESTABLISHMENT OF FINAL GRADE AND/OR FINAL STABILIZATION RENDERS THE RESPECTIVE PORTION OF THE PERIMETER SILT FENCE UPSTREAM OF A DISTURBANCE AND/OR INEFFECTIVE AS A BEST MANAGEMENT PRACTICE. ANY SUCH REMOVAL SHALL BE NOTED ON THE SWPPP SITE MAPS ALONG WITH UPSTREAM STABILIZATION AND GRADING CONDITIONS.
- 1.03 NO STRUCTURE SHALL BE ALLOWED TO BE PROTECTED WITH ANY MEASURE OTHER THAN THOSE DETAILED IN THIS SWPPP SITE MAP FOR MORE THAN 48 HOURS OR IF RAIN IS IMMINENT. STRUCTURES WITH CLOSED LIDS WILL NOT REQUIRE PROTECTION FOLLOWING INSTALLATION OF LID. CONTRACTOR SHALL NOTE THE STRUCTURE INSTALLATION (AND PROTECTION INSTALLATION, INCLUDING TYPES OF PROTECTION) ARE EMPLOYED. WHENEVER PIPE INSTALLATION IS HALTED FOR MORE THAN 24 HOURS OR WHEN RAIN IS IMMINENT, THE OPEN END SHALL BE PROTECTED WITH A TEMPORARY BULK HEAD. A 3/4" SHEET OF PLYWOOD THAT EXTENDS 6" BEYOND THE OUTSIDE DIAMETER OF THE PIPE SHALL BE PLACED AGAINST THE EXPOSED PIPE END. GRAVEL SHALL BE PLACED AGAINST THE PLYWOOD IN SUFFICIENT QUANTITY SO AS TO ENSURE THE TIGHTEST POSSIBLE SEAL. THE TRENCH SHALL BE DEWATERED PRIOR TO REMOVING THE BULKHEAD.
- 1.04 OCP SHALL BE PLACED TO PROTECT THE UPSTREAM END OF THE PERMANENT OUTFALL PIPE PRIOR TO PIPE INSTALLATION. SEE PLAN FOR FINAL LOCATION AND TOP OF OCP ELEVATION. FOLLOWING BASIN SIDE SLOPE STABILIZATION, THE OCP SHALL BE REPLACED WITH THE PERMANENT RIPRAP PAD SPECIFIED ON THE SITE DRAINAGE PLAN.
- 1.05 PERMANENT SEED MIX FOR TURF AREAS ON PRIVATE PROPERTY SHALL CONFORM TO IDOT STANDARDS AND SPECIFICATIONS FOR CLASS 1 (LAWN MIXTURE). PERMANENT SEED MIX FOR TURF AREAS WITHIN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO IDOT STANDARDS AND SPECIFICATIONS FOR CLASS 2A (SALT TOLERANT ROADSIDE MIXTURE).
- 1.06 PERMANENT EROSION CONTROL FABRIC NAG SC150 SHALL BE APPLIED TO ALL SLOPES 10:1 OR STEEPER THAN 10:1 PRIOR TO PERMANENT SEEDING. FOLLOW MANUFACTURER SPECIFICATIONS FOR INSTALLATION. CONTRACTOR SHALL NOTE ALL AREAS WHERE NAG SC150 HAS BEEN INSTALLED RELATIVE TO ASBUILT GRADES AND FURNISH THESE BOUNDARIES TO THE CIVIL ENGINEER UPON REQUEST. PERMANENT SEEDING SHOULD BE PLANTED AS SOON AS IT IS PRACTICAL TO ENSURE PROPER GERMINATION PRIOR TO TERMINATION OF PERMIT COVERAGE. THE CONTRACTOR SHALL PLANT PERMANENT SEEDING AS SPECIFIED ON THE LANDSCAPING PLAN AS SOON AS FINAL BASIN GRADES ARE ESTABLISHED AS SPECIFIED ON THE GRADING PLAN. SEE SITE LANDSCAPING PLAN FOR EXACT GRASS COVER TYPE AND LOCATION.
- 1.07 CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF ILLINOIS NPDES GENERAL PERMIT AND THE SITE NOI.

LAND OWNER

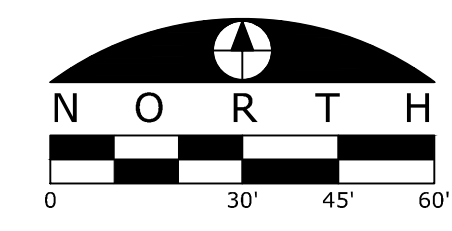
ROCKFORD PARK DISTRICT
401 S. MAIN STREET
ROCKFORD, IL 61101
(815) 987-8800

DISTURBED AREA

3.40 ACRES

BENCHMARKS

DESCRIPTION	ELEVATION (WINGIS)
BENCHMARK 1 X CUT ON CONCRETE HEADWALL	785.86



ARC DESIGN
RESOURCES INC.

5281 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303

www.arcdesign.com
Design Firm License No. 184-001334

PROJECT NAME
OWNER'S NAME

**WASHINGTON
PARK OSLAD SITE
REDEVELOPMENT**

ROCKFORD PARK DISTRICT
401 S. MAIN ST.
ROCKFORD, IL 61101

CONSULTANTS

ISSUED FOR

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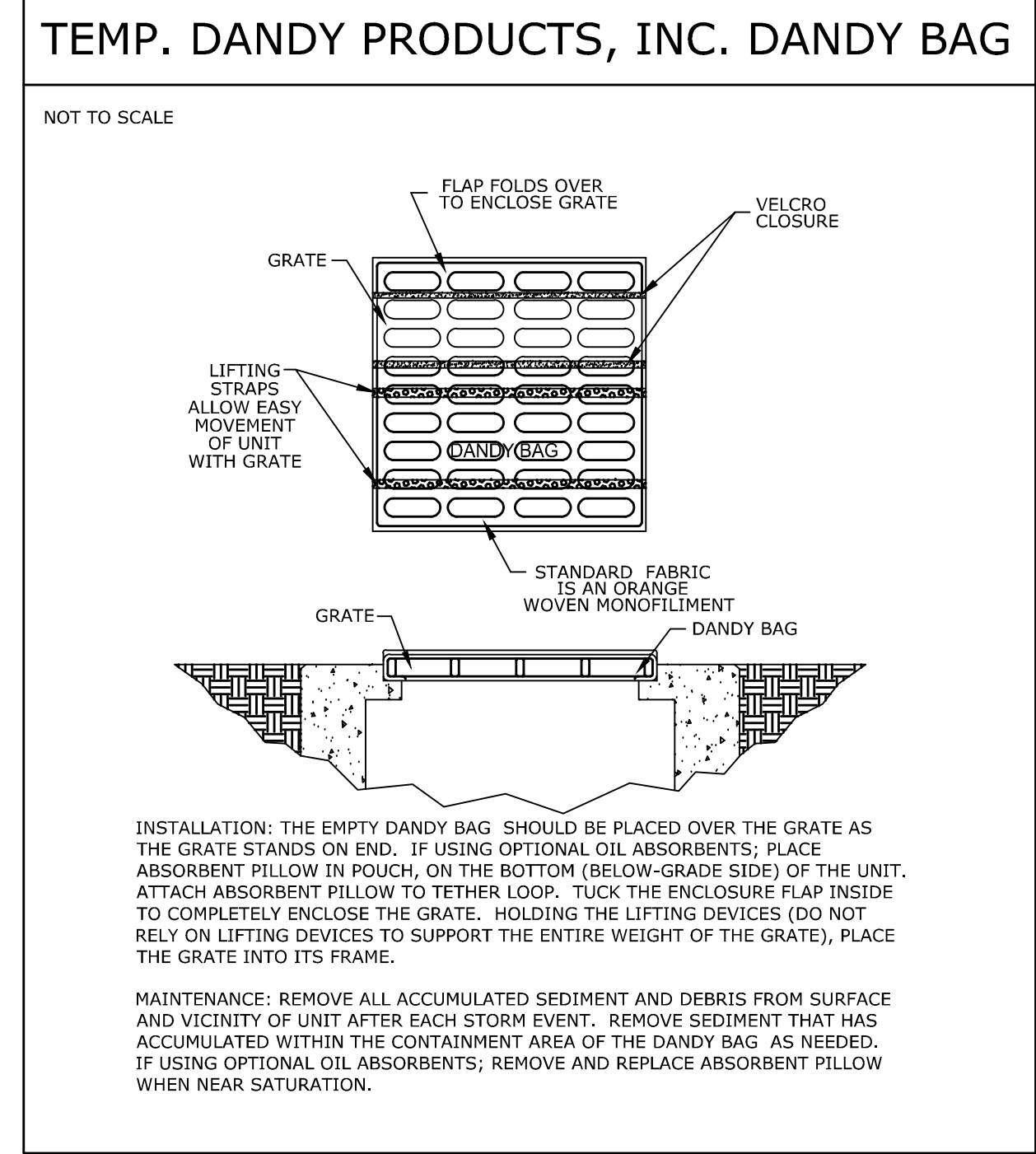
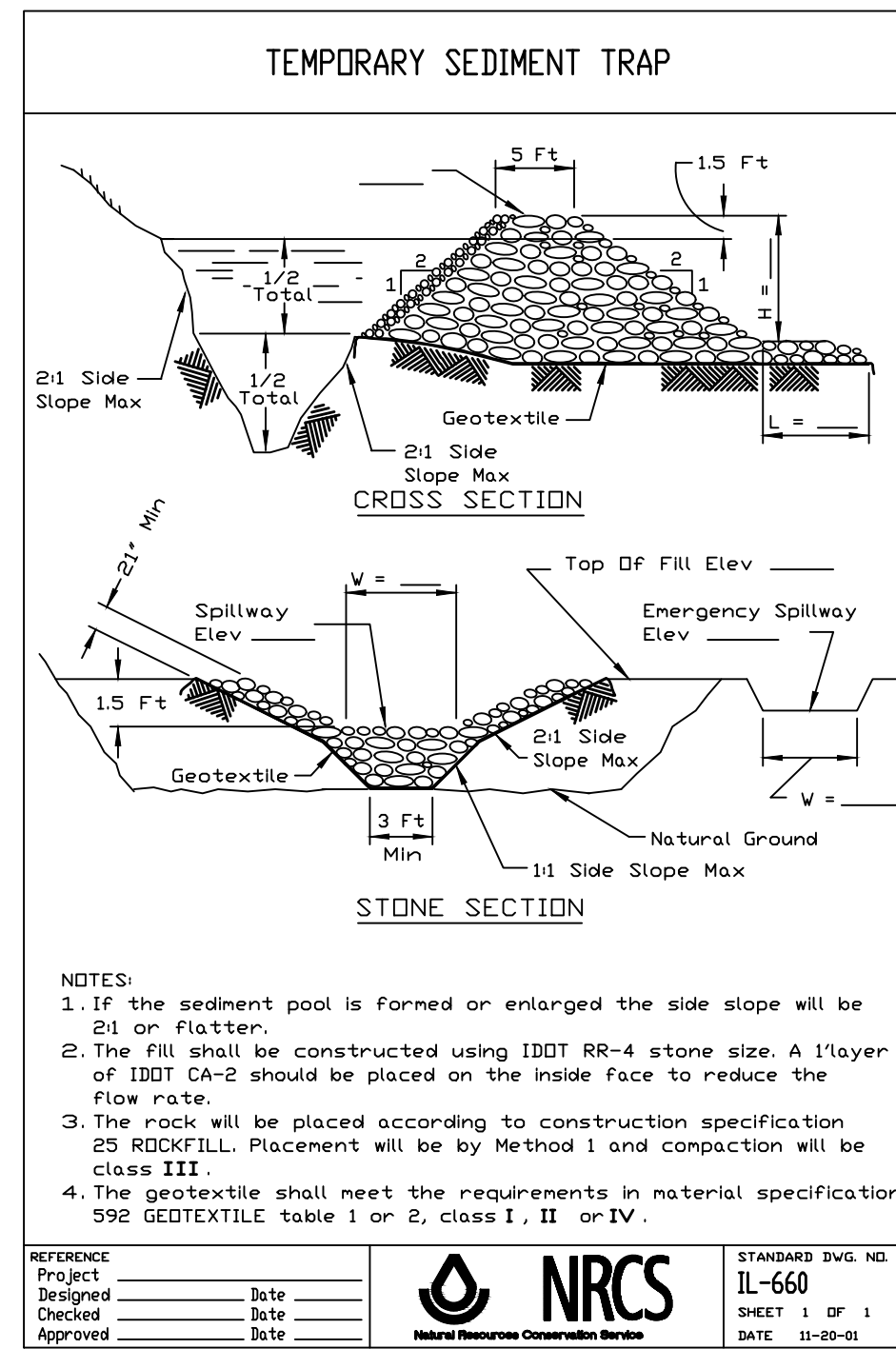
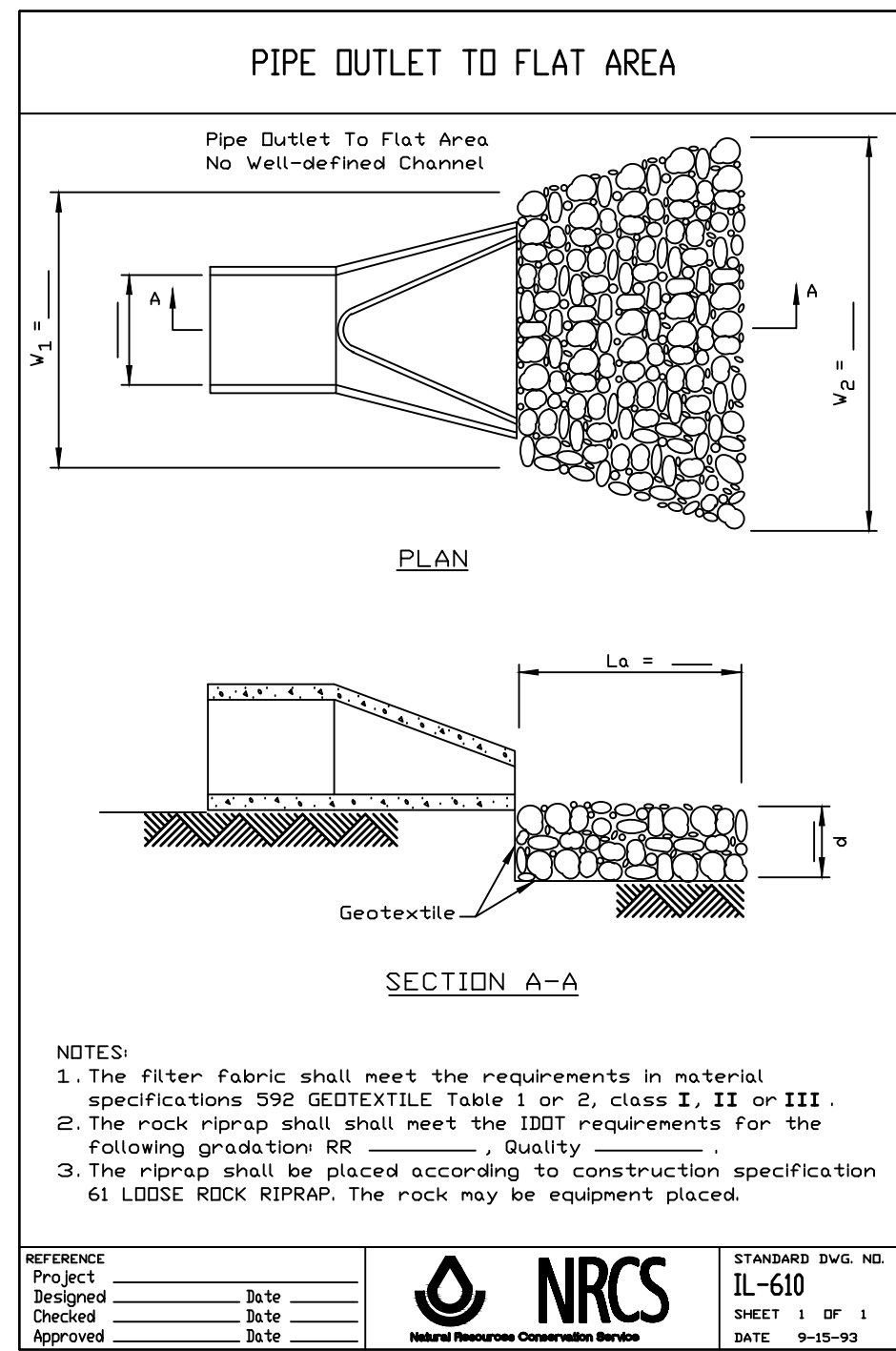
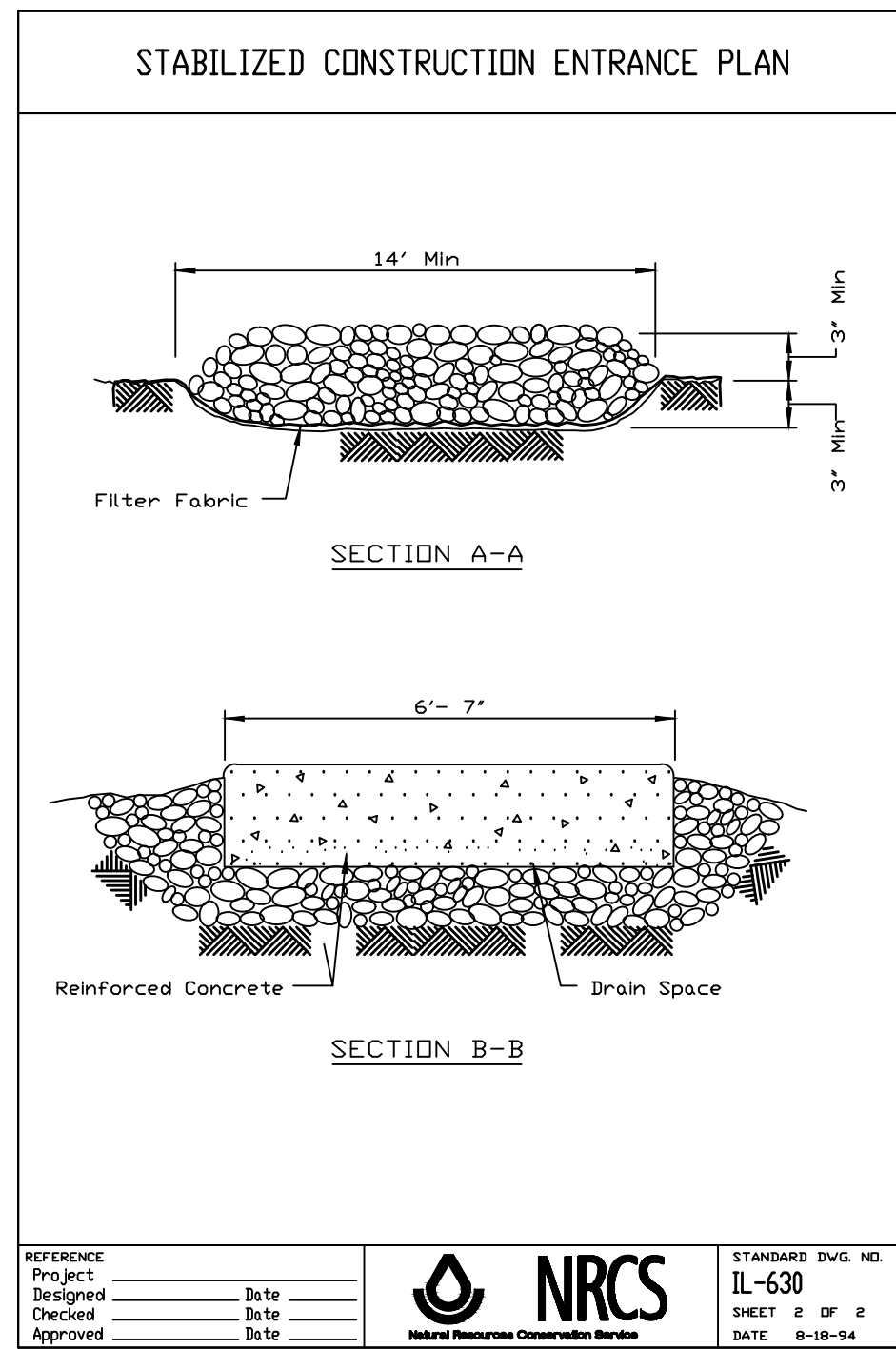
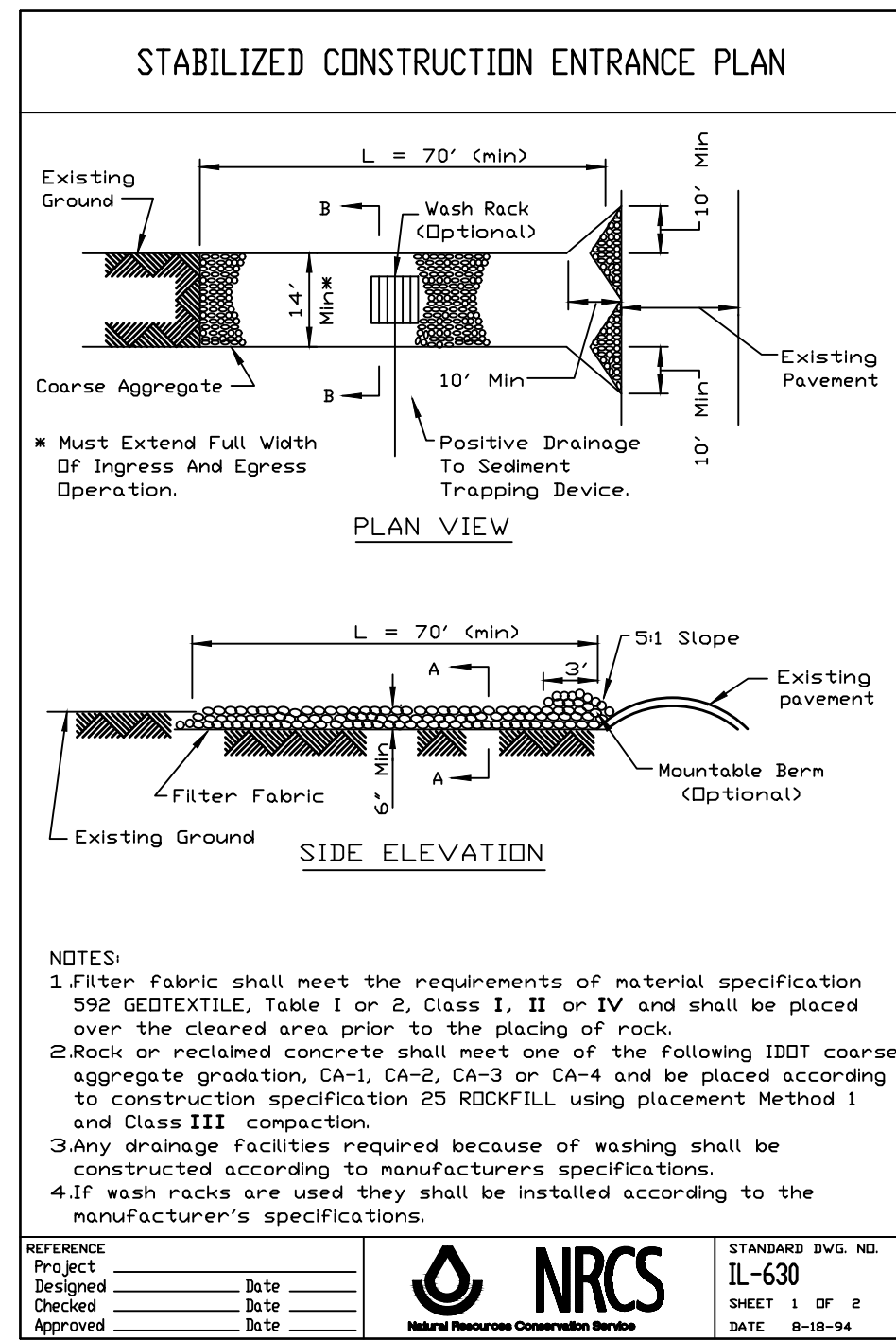
SWPPP SITE MAP

DRAWN	MJH
CHECKED	RGS
PM	JSL

PROJECT NUMBER
SHEET NUMBER

19090

C02



ARC DESIGN RESOURCES INC.

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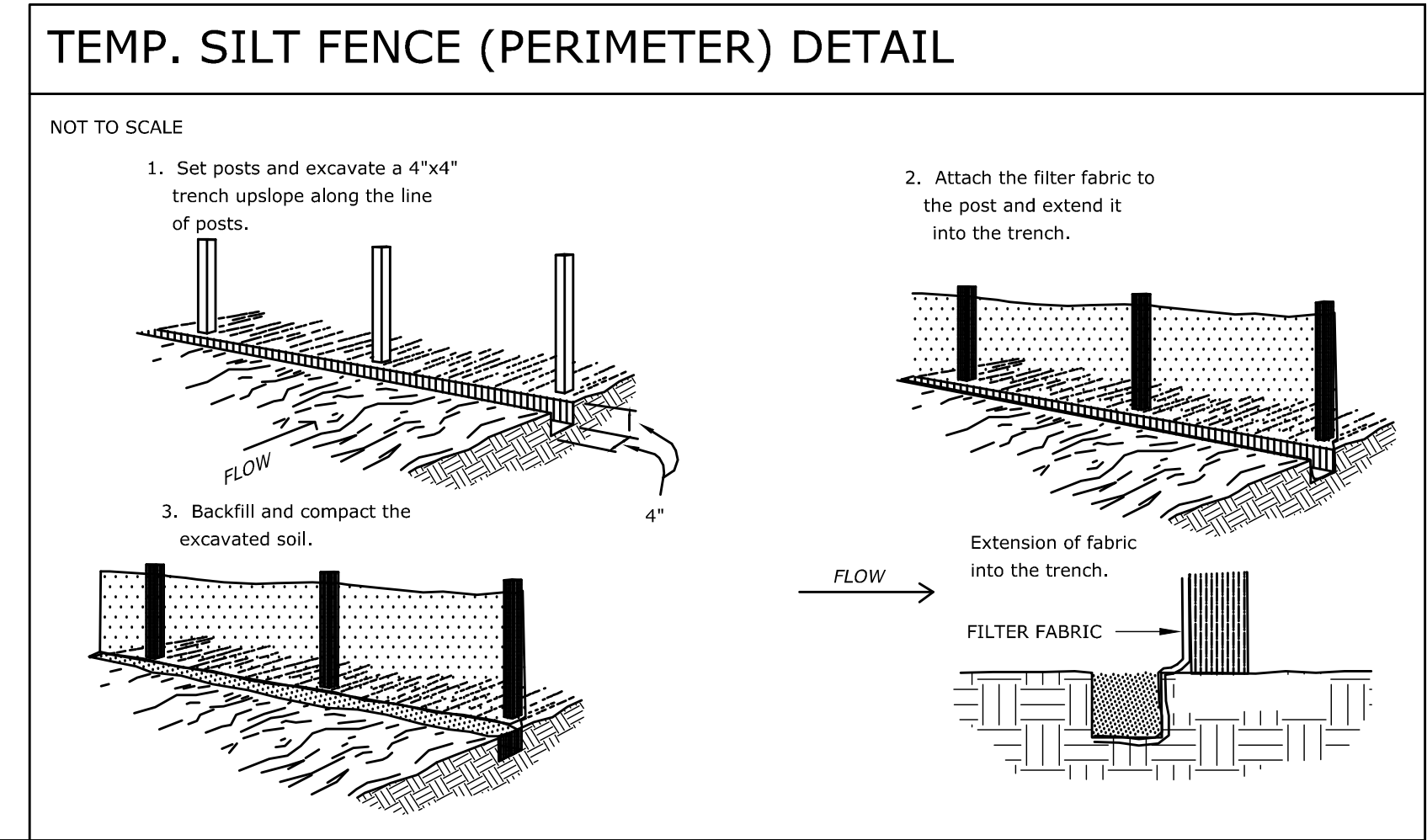
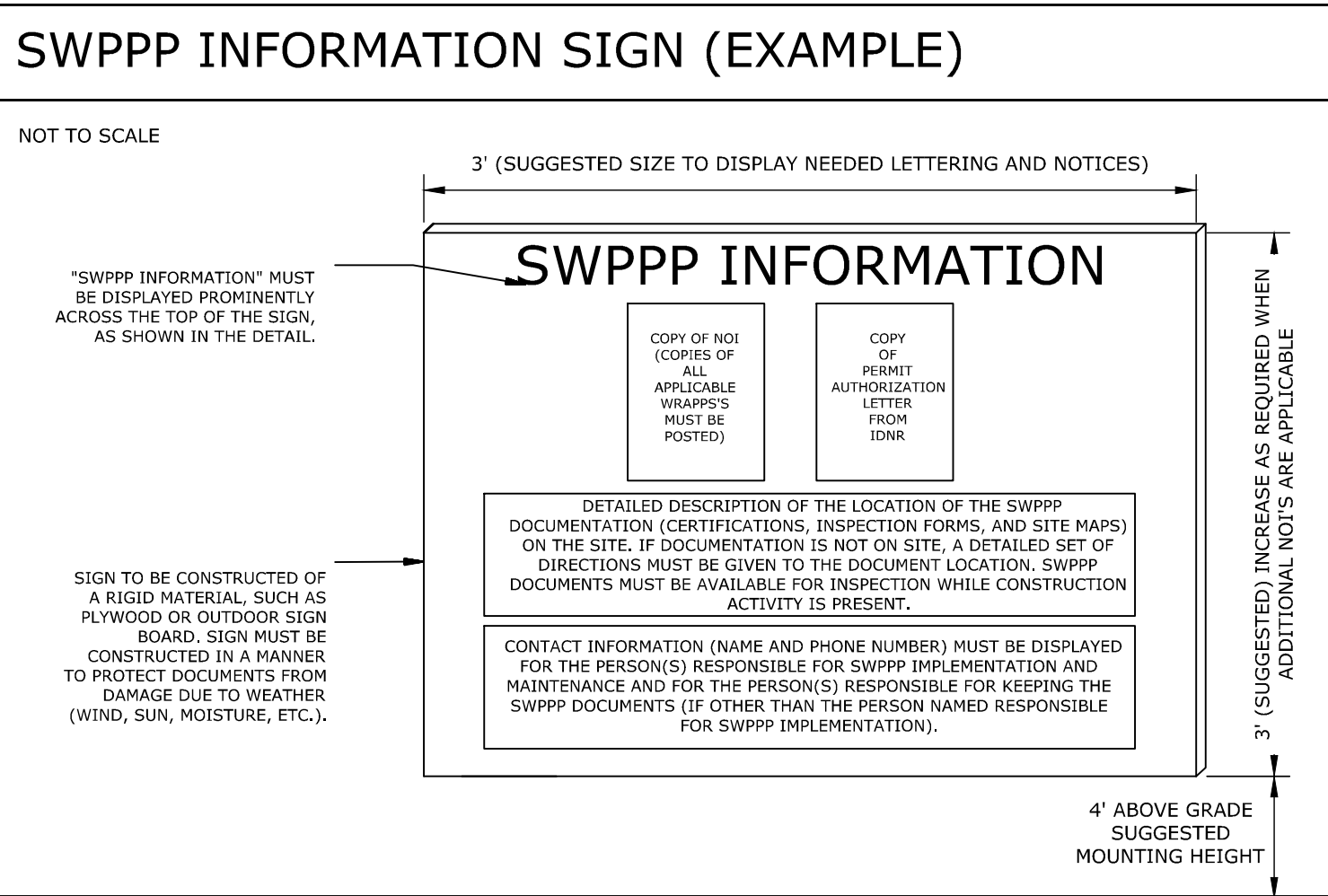
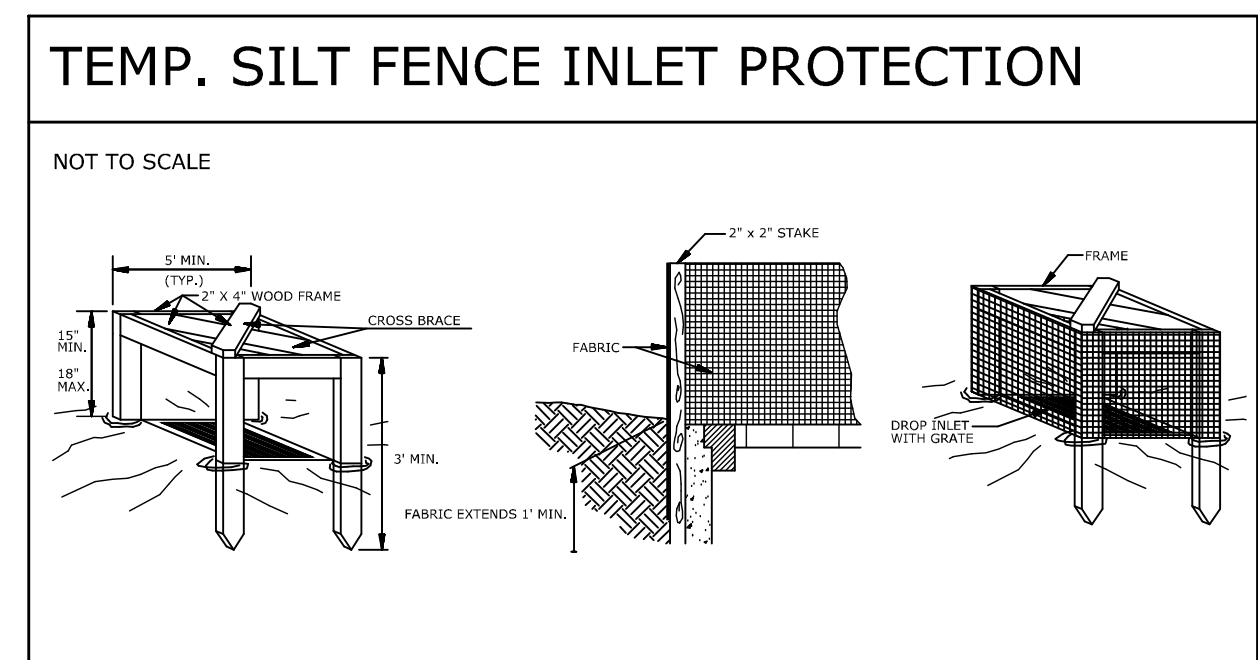
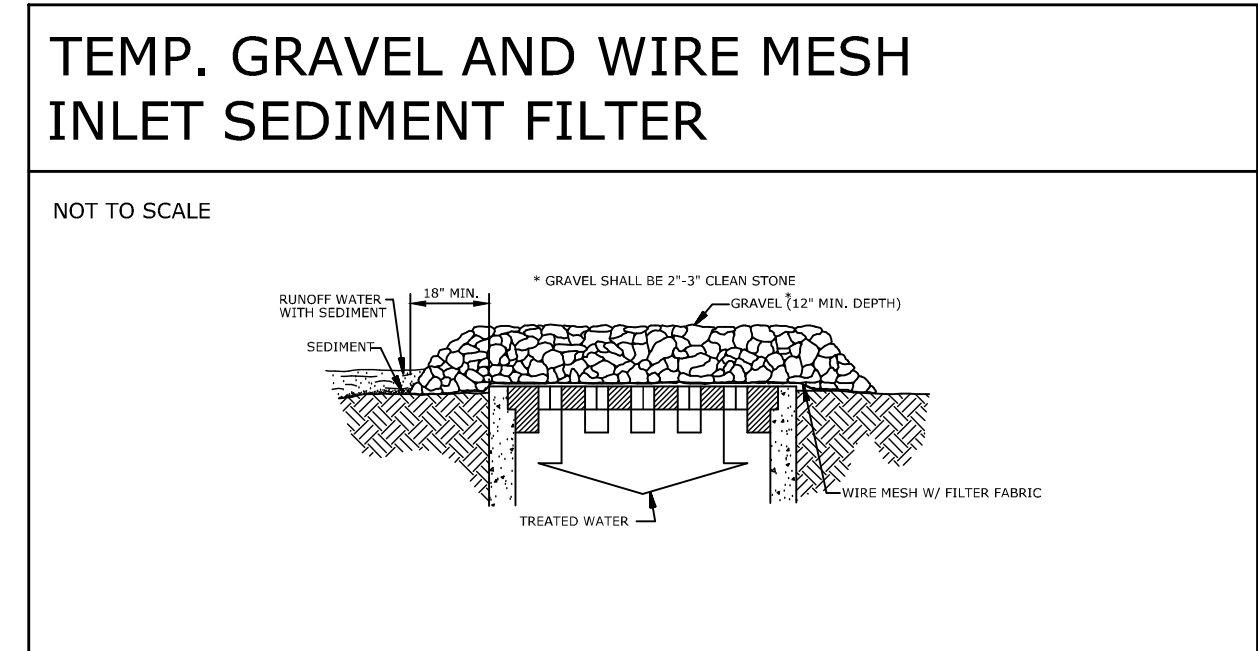
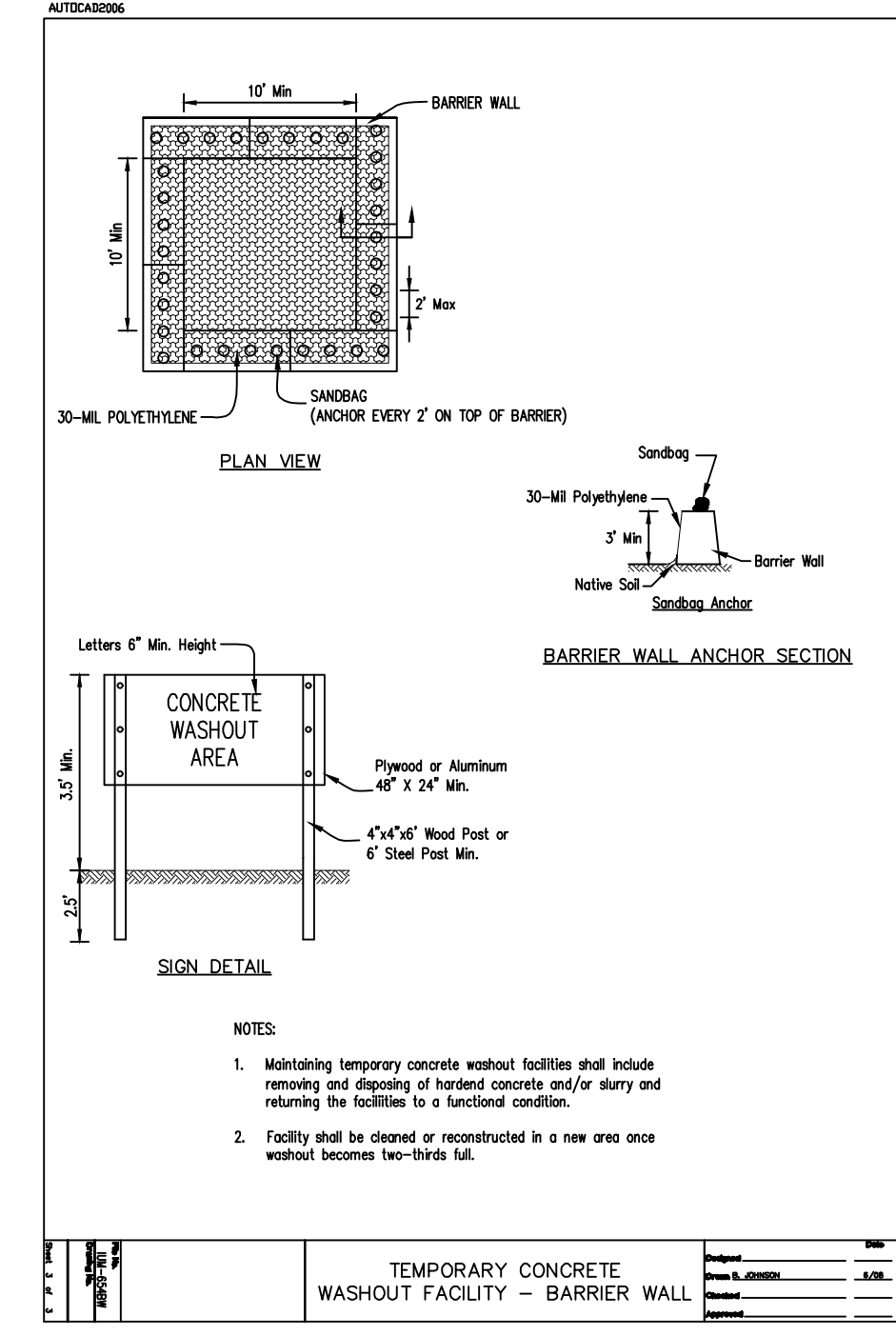
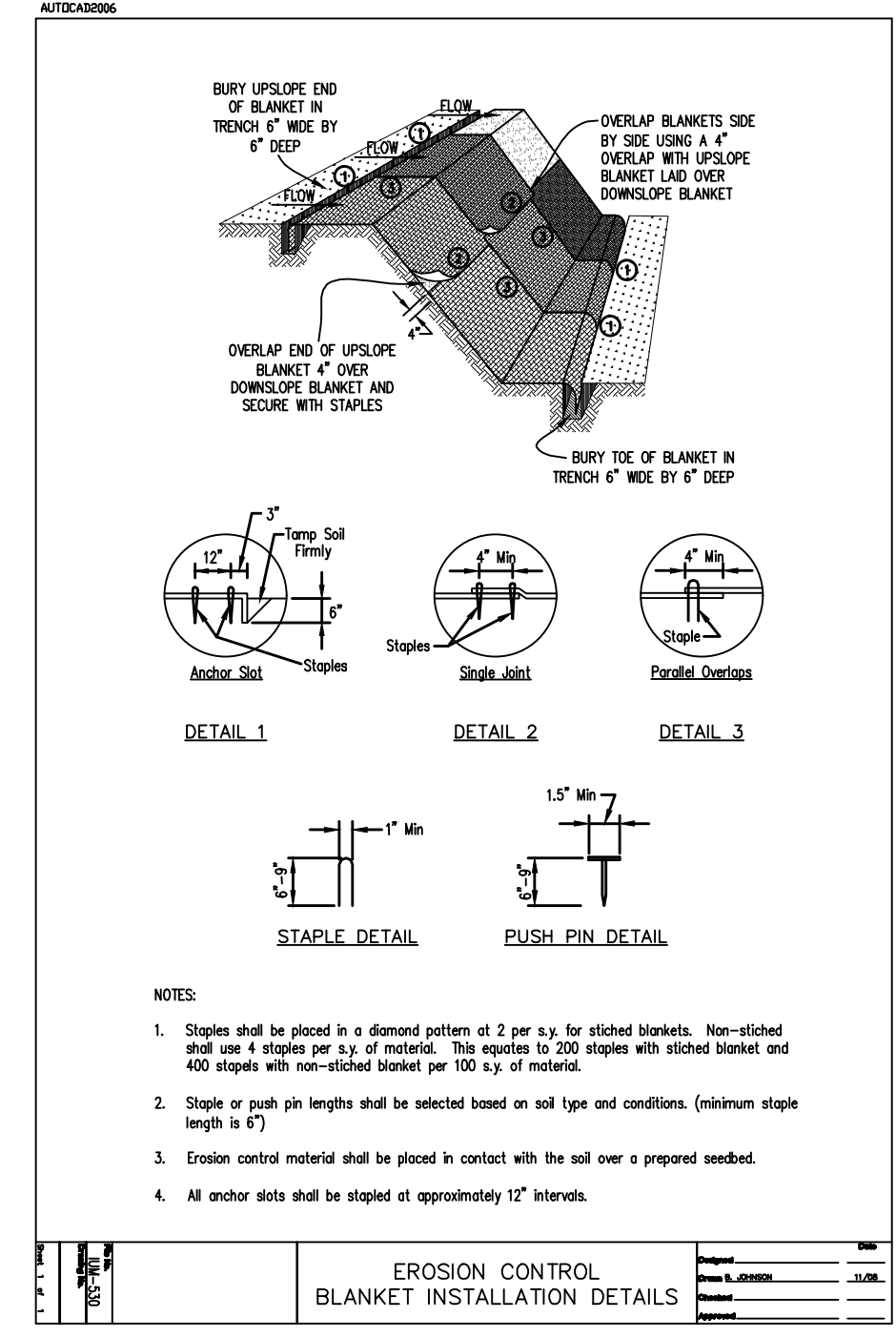
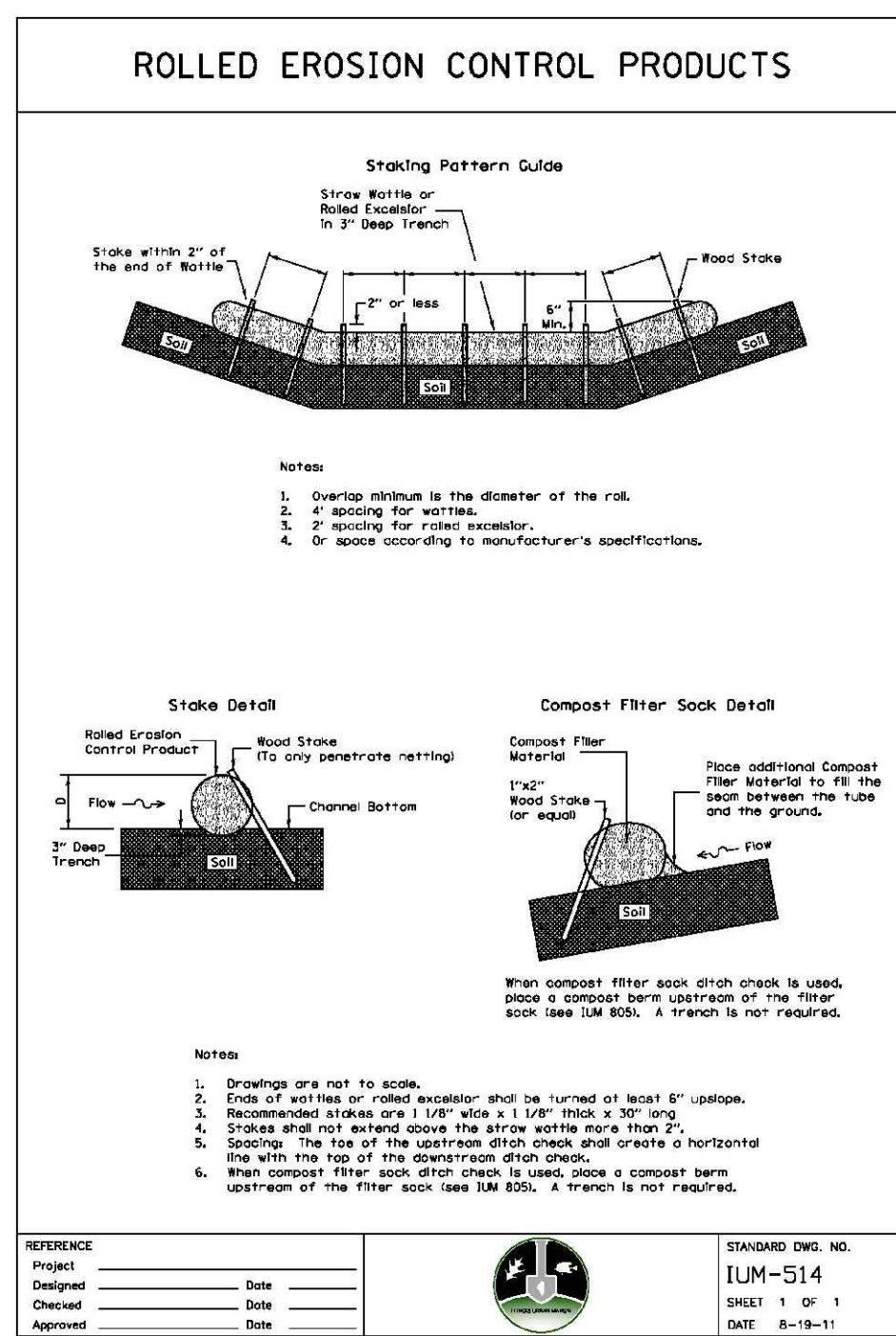
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OWNER'S NAME

WASHINGTON PARK OSLAD SITE REDEVELOPMENT

ROCKFORD PARK DISTRICT
401 S. MAIN ST.
ROCKFORD, IL 61101

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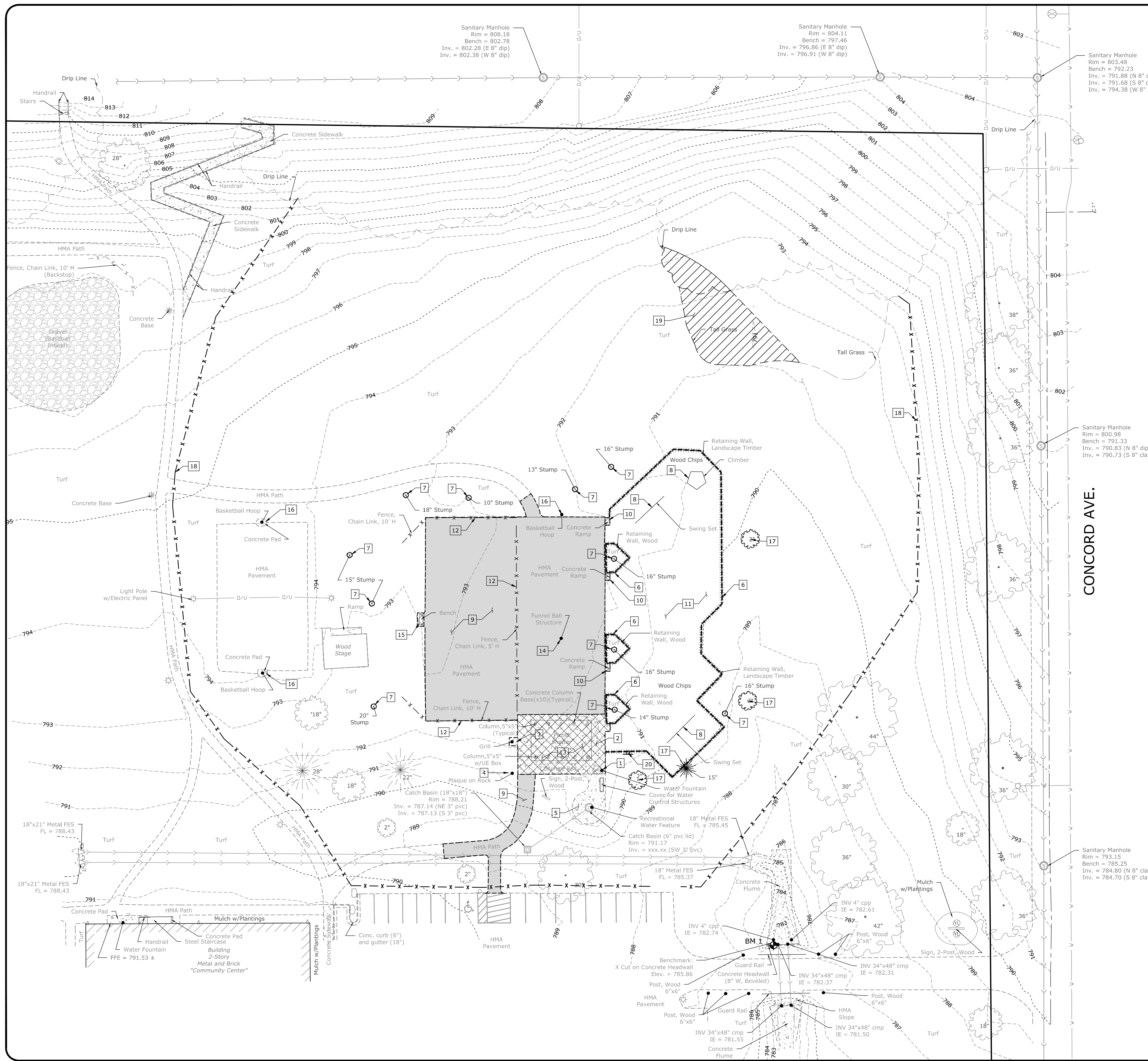
SWPPP DETAILS

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PROJECT NUMBER
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C03



EXISTING CONDITIONS AND REMOVALS LEGEND

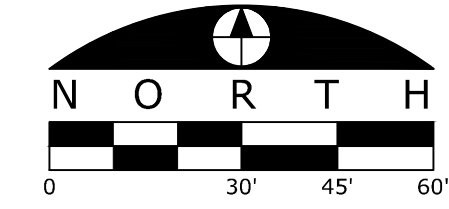
- EXISTING RIGHT OF WAY
- - - - - LOT LINE
- - - - - EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- ||||| LANDSCAPE TIMBER WALL REMOVAL
- CONSTRUCTION FENCE
- ASPHALT SURFACE REMOVAL, FULL DEPTH
- ▨ CONCRETE PAVEMENT REMOVAL
- ▧ CLEARING OF SCRUB BRUSH AND LIMB OVERHANGS
- ⊙ EXISTING SANITARY SEWER TO REMAIN
- ⊙ EXISTING SANITARY SEWER STRUCTURE TO REMAIN
- ⊙ EXISTING STORM SEWER TO REMAIN
- ⊙ EXISTING STORM SEWER TO BE REMOVED
- ⊙ EXISTING STORM SEWER TO BE REMOVED
- w — w — EXISTING WATER TO REMAIN
- ⊗ EXISTING WATER TO REMAIN
- DU — DU — EXISTING OVERHEAD UTILITIES
- G — G — EXISTING GAS MAIN
- E — E — EXISTING ELECTRICAL
- X — X — X — EXISTING FENCE
- - - - - FENCE TO BE REMOVED
- - - - - TEMPORARY 6' HEIGHT CHAIN LINK FENCE
- BUSH
- ⊙ EXISTING SIGN
- ⊙ G GAS METER
- ⊙ E ELECTRICAL METER
- ⊙ AC A/C UNIT
- ⊙ BOLLARD
- ⊙ SANITARY CLEAN OUT
- ⊙ EXISTING LIGHT POLE TO REMAIN
- ⊙ EXISTING TREE
- ⊙ BENCH MARK (BM 1)

REMOVALS KEY LEGEND

1. EXISTING WATER FOUNTAIN TO BE REMOVED AND REINSTALLED
2. EXISTING CONCRETE PAD UNDER PICNIC SHELTER TO BE REMOVED AND REPLACED. EXISTING PICNIC SHELTER TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. SEE LAYOUT PLAN FOR PAVEMENT LAYOUT AND PAVEMENT SECTION.
3. EXISTING GRILL AND ASSOCIATED CONCRETE PAD TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
4. EXISTING ROCK WITH PLAQUE TO BE REMOVED AND STORED IN A SAFE LOCATION DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MOVING AND STORAGE OF THE ROCK.
5. EXISTING CONCRETE PAD, WATER FEATURE AND ASSOCIATED CONTROLS ARE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
6. EXISTING LANDSCAPE TIMBER WALLS ARE TO BE REMOVED. (TYP)
7. EXISTING TREE OR STUMP TO BE REMOVED. (TYP.)
8. EXISTING PLAYGROUND EQUIPMENT TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. (TYP.)
9. EXISTING ASPHALT PAVEMENT TO BE REMOVED, FULL DEPTH.
10. EXISTING CONCRETE RAMP TO BE REMOVED. (TYP.)
11. EXISTING WOOD CHIPS TO BE REMOVED. (TYP.)
12. EXISTING CHAIN LINK FENCE TO BE REMOVED. (TYP.)
13. EXISTING PICNIC SHELTER STRUCTURE TO BE POWER WASHED AND STAINED. CONTRACTOR TO COORDINATE COLOR WITH OWNER. STAIN SPECIFICATION PROVIDED BY OWNER.
14. EXISTING FUNNEL BALL STRUCTURE TO BE REMOVED AND REINSTALLED.
15. EXISTING BENCH AND CONCRETE PAD TO BE REMOVED.
16. EXISTING BASKETBALL, BACKBOARD, HOOP, POLE AND CONCRETE BASE TO BE REMOVED. (TYP.)
17. EXISTING TREE TO BE RELOCATED WITH SPADE. (TYP.)
18. TEMPORARY 6' HEIGHT, CHAIN LINK FENCE AROUND PERIMETER OF WORK ZONE, DRIVE INTO GROUND OR PROVIDE SANDBAGS AT FEET. STOP FENCE AT WOODS AND PROVIDE GAP IN FENCE AT CONSTRUCTION ACCESS.
19. CLEARING OF SCRUB BRUSH AND LIMB OVERHANGS AT FAR LIMITS OF CONSTRUCTION.
20. EXISTING SIGN TO BE REMOVED.

NOTE: SAWCUT IS CONSIDERED INCIDENTAL TO PAVEMENT, SIDEWALK, AND CURB & GUTTER REMOVAL

BENCHMARKS	
DESCRIPTION	ELEVATION (WinGIS)
BENCHMARK 1 X CUT ON CONCRETE HEADWALL	785.86



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PROJECT NAME
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**WASHINGTON
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ROCKFORD PARK DISTRICT
401 S. MAIN ST.
ROCKFORD, IL 61101

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**EXISTING
CONDITIONS AND
REMOVALS PLAN**

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PM	JSL

PROJECT NUMBER
SHEET NUMBER

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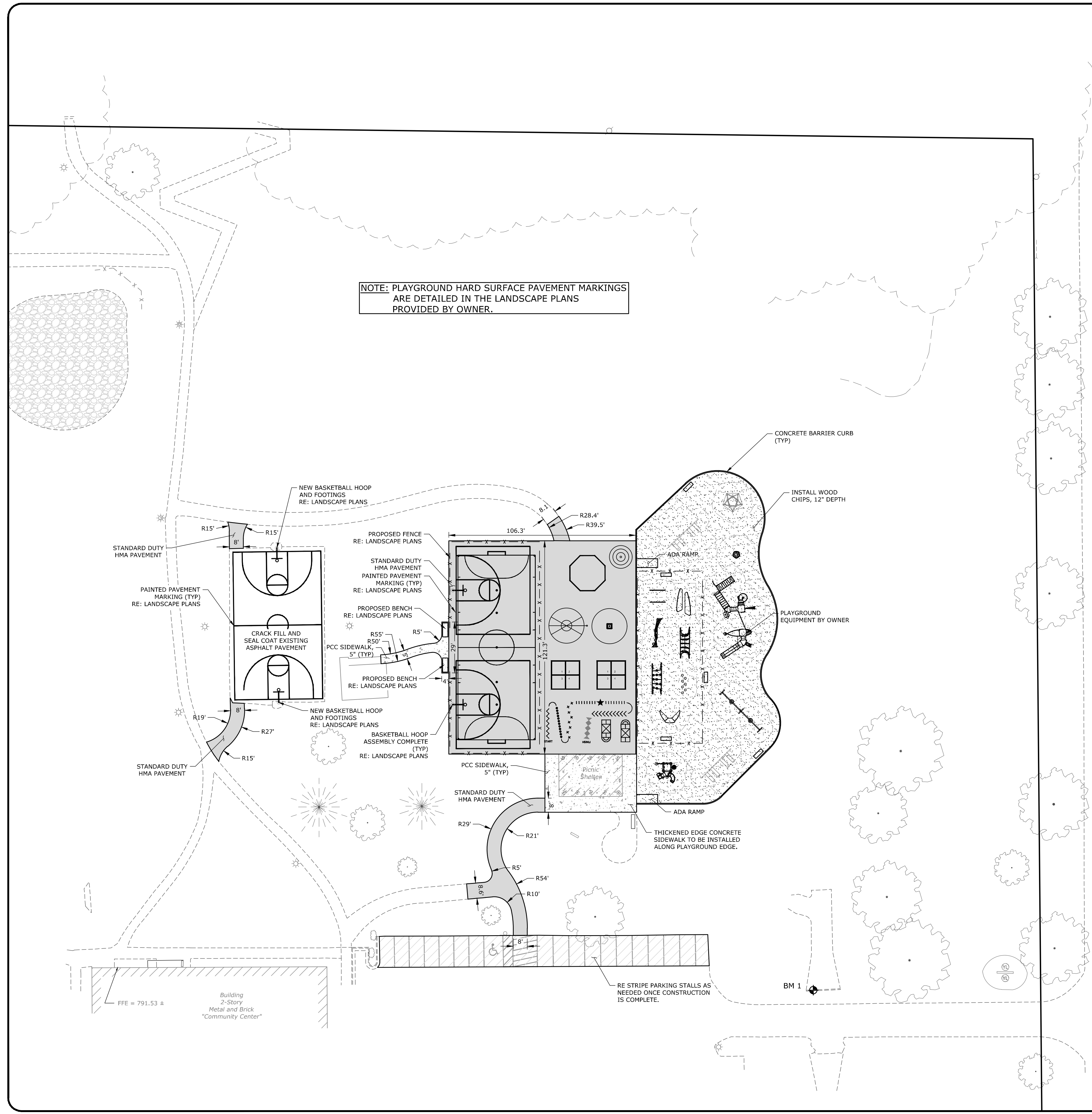
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CONCORD AVE.

LAYOUT LEGEND

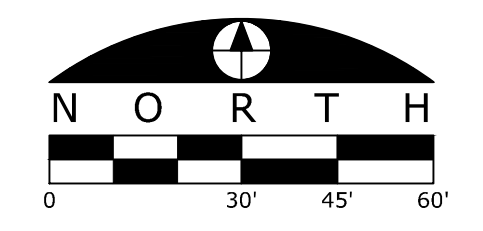
- EXISTING PROPERTY LINE
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED WOOD CHIPS
- PROPOSED CONCRETE SIDEWALK
- RE STRIPE PARKING STALLS
- PROPOSED CONCRETE CURB
- ===== EXISTING CONCRETE CURB AND GUTTER
- PROPOSED PAINTED PAVEMENT MARKING
- x - x - x - x - PROPOSED FENCE

LAYOUT NOTES

- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS, CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
- ALL RADII ARE DIMENSIONED TO THE BACK OF CURB, OR EDGE OF PAVEMENT WHEN CURB IS NOT PRESENT.
- SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.
- INTENT OF HMA PATHS IS TO BE INSTALLED BY PAVEMENT OPERATION. BIDDING CONTRACTOR MAY ADJUST WIDER TO ACCOMMODATE REQUEST.

BENCHMARKS

DESCRIPTION	ELEVATION (WinGIS)
BENCHMARK 1 X CUT ON CONCRETE HEADWALL	785.86

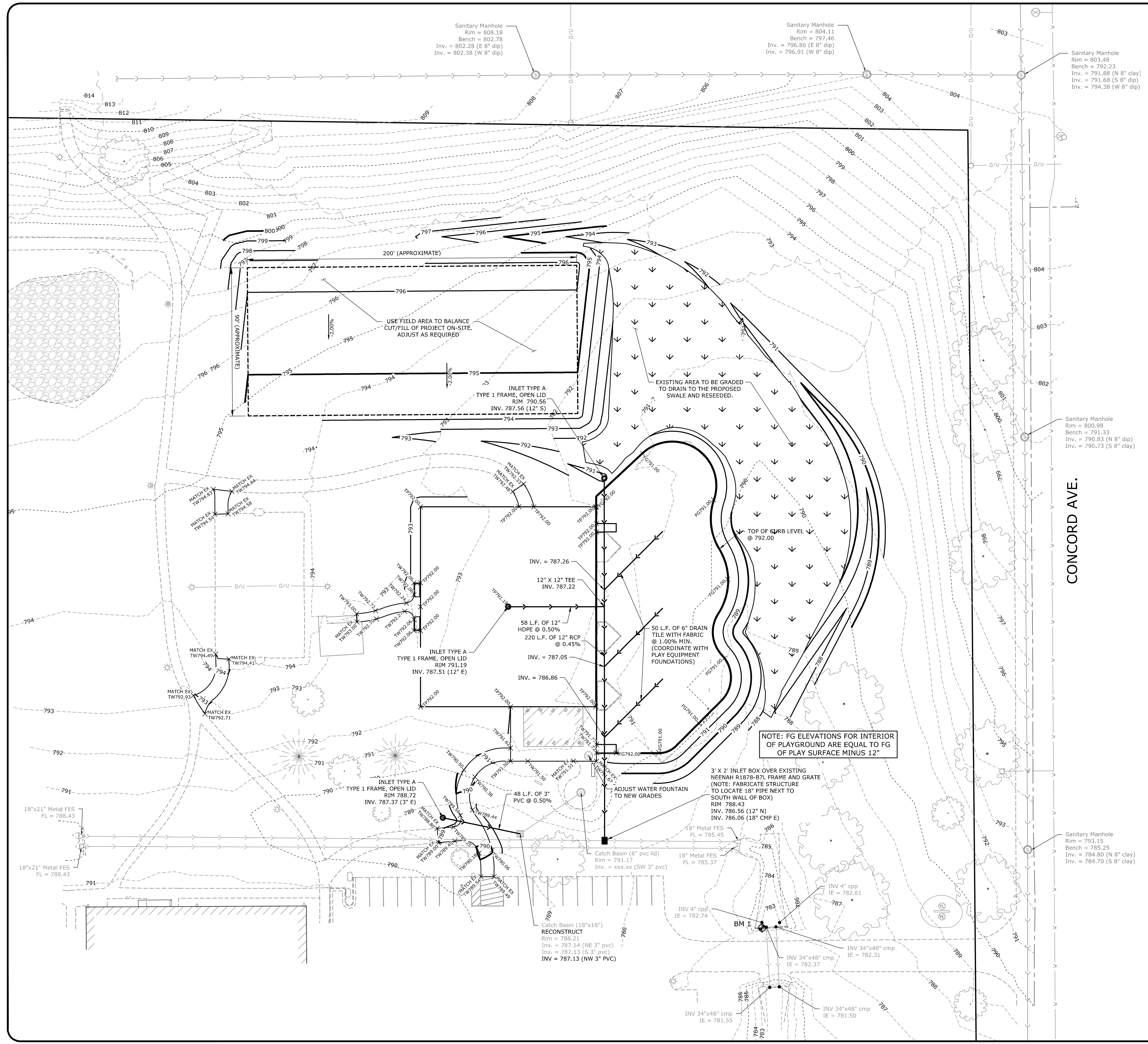


ISSUED FOR

1. CLIENT REVIEW	DATE
2.	08-21-2019
3.
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REVISIONS

ITEM	DATE
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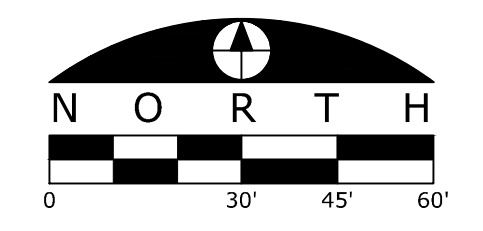
APPROXIMATE EARTHWORK (AS SHOWN)
CUT = 885 CY
FILL = 1340 CY
NET = 455 CY (FILL)
CONTRACTOR TO PERFORM HIS OWN TAKE-OFF FOR LUMP SUM BID.
NO CONTRACT ADJUSTMENT WILL BE GIVEN FOR DISCREPANCIES.

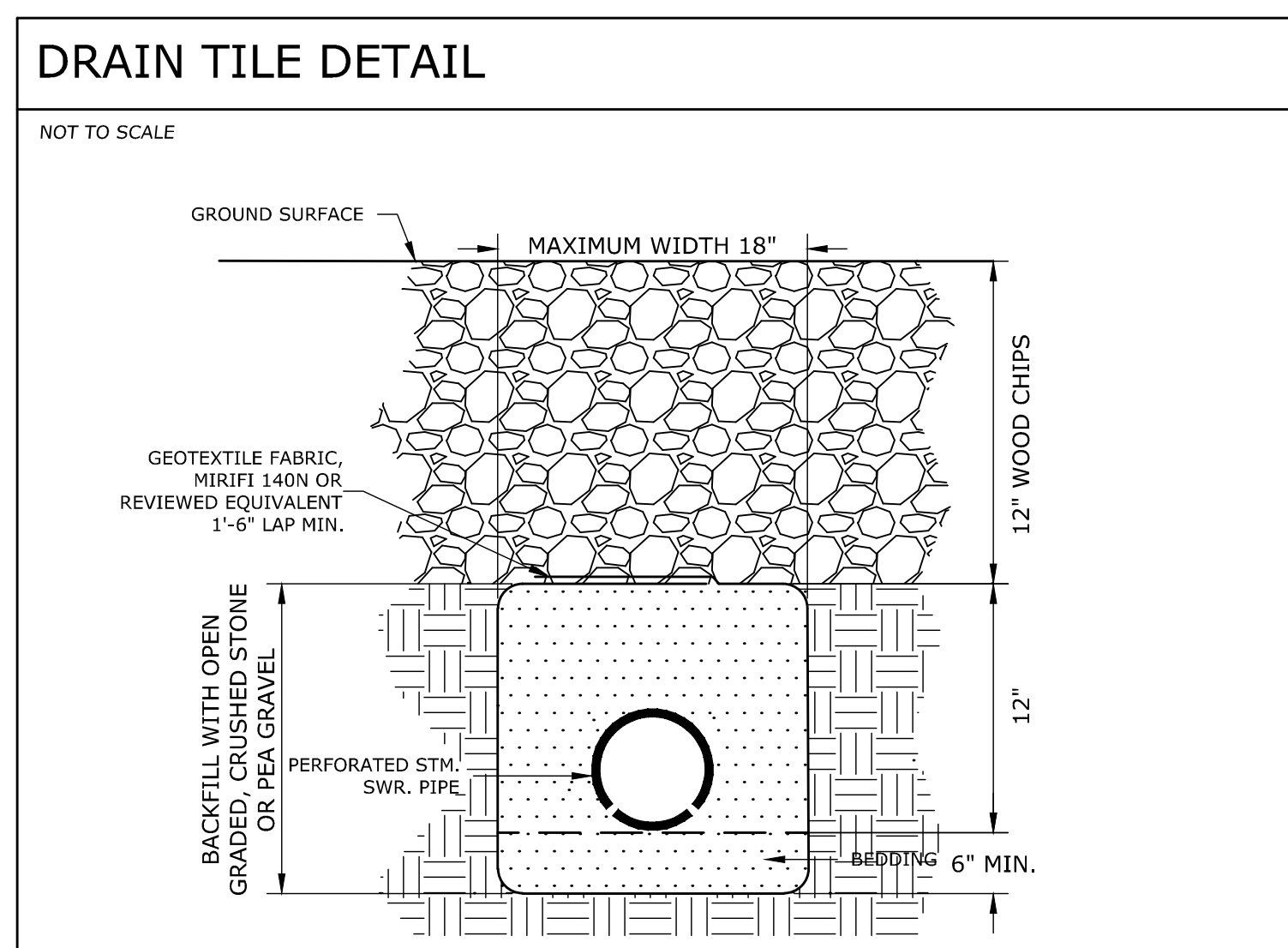
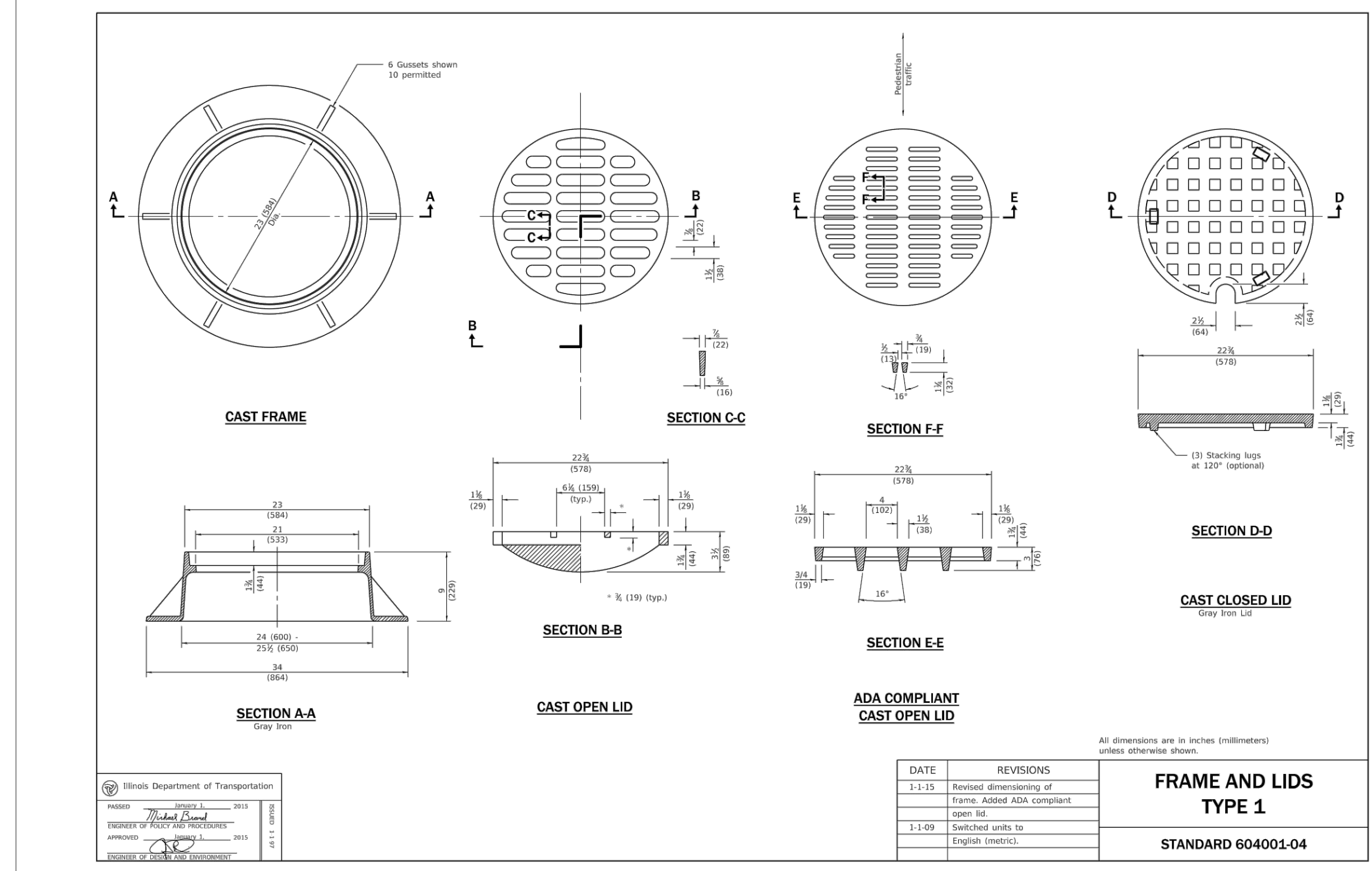
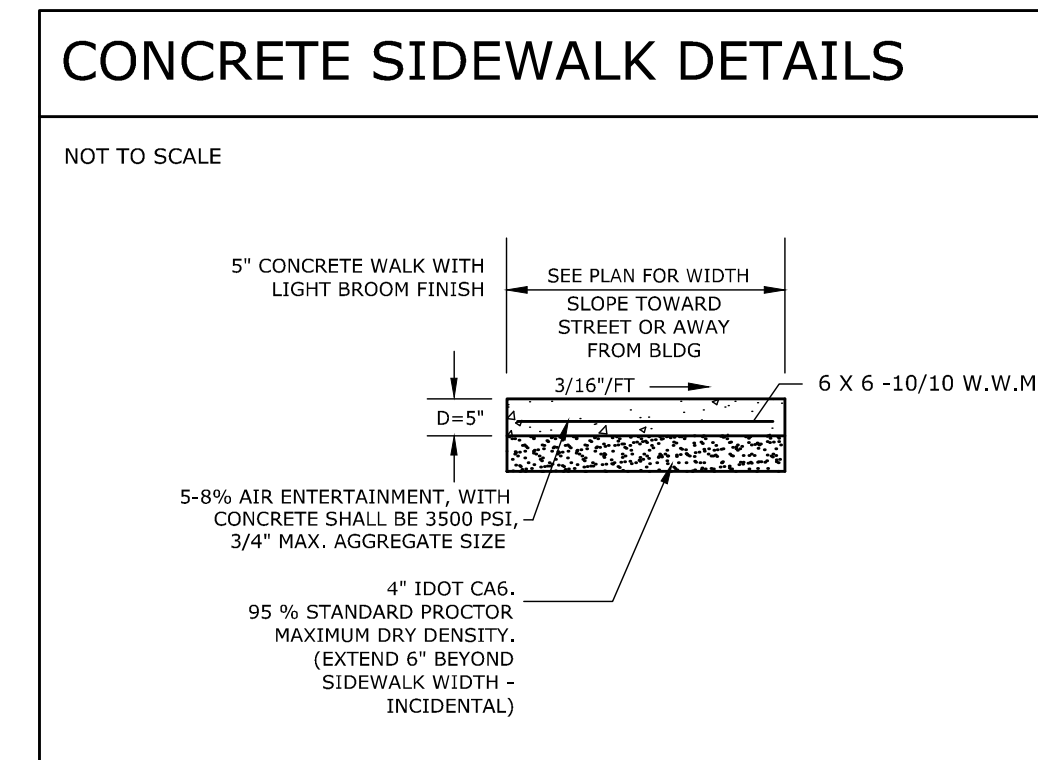
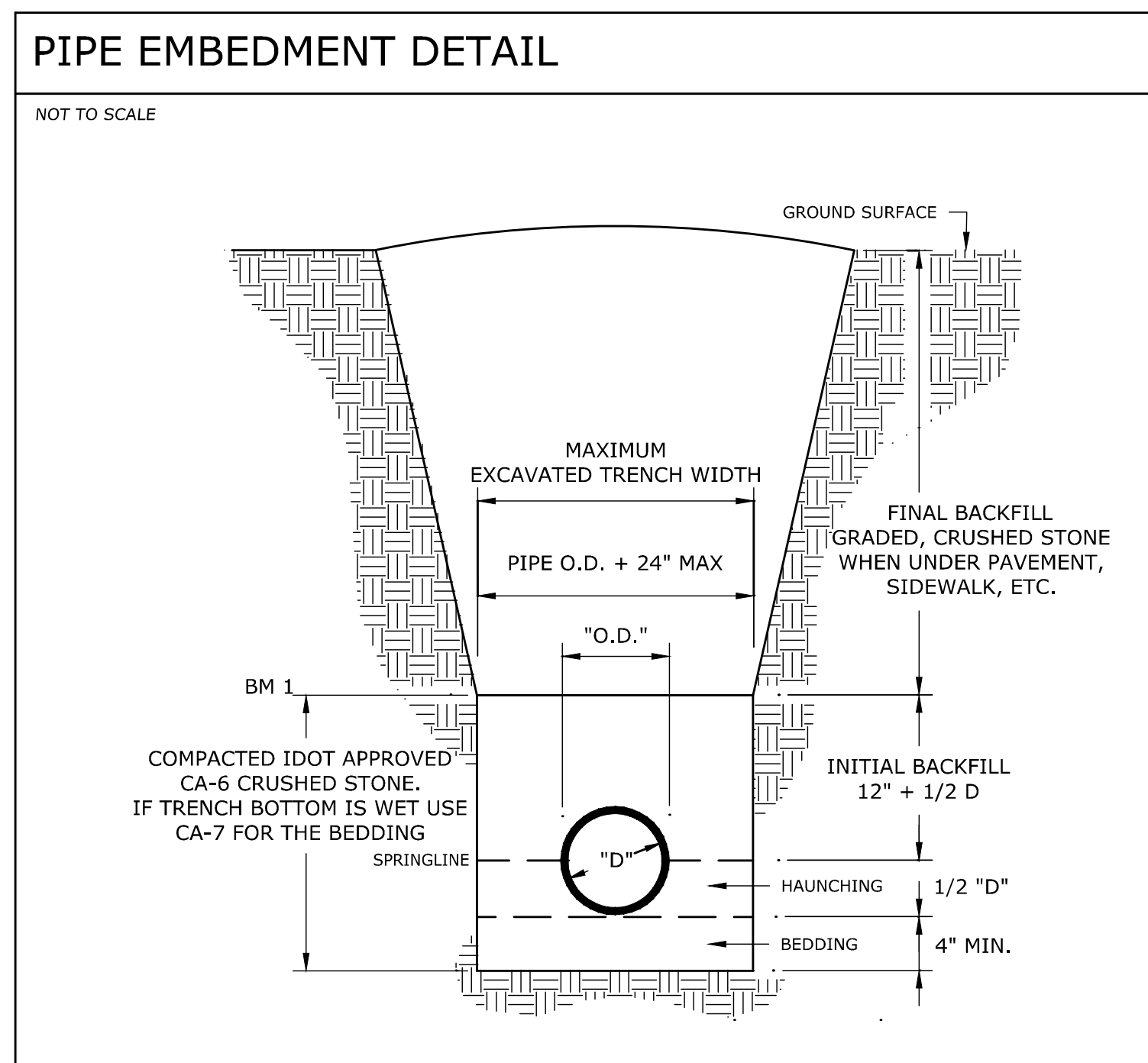
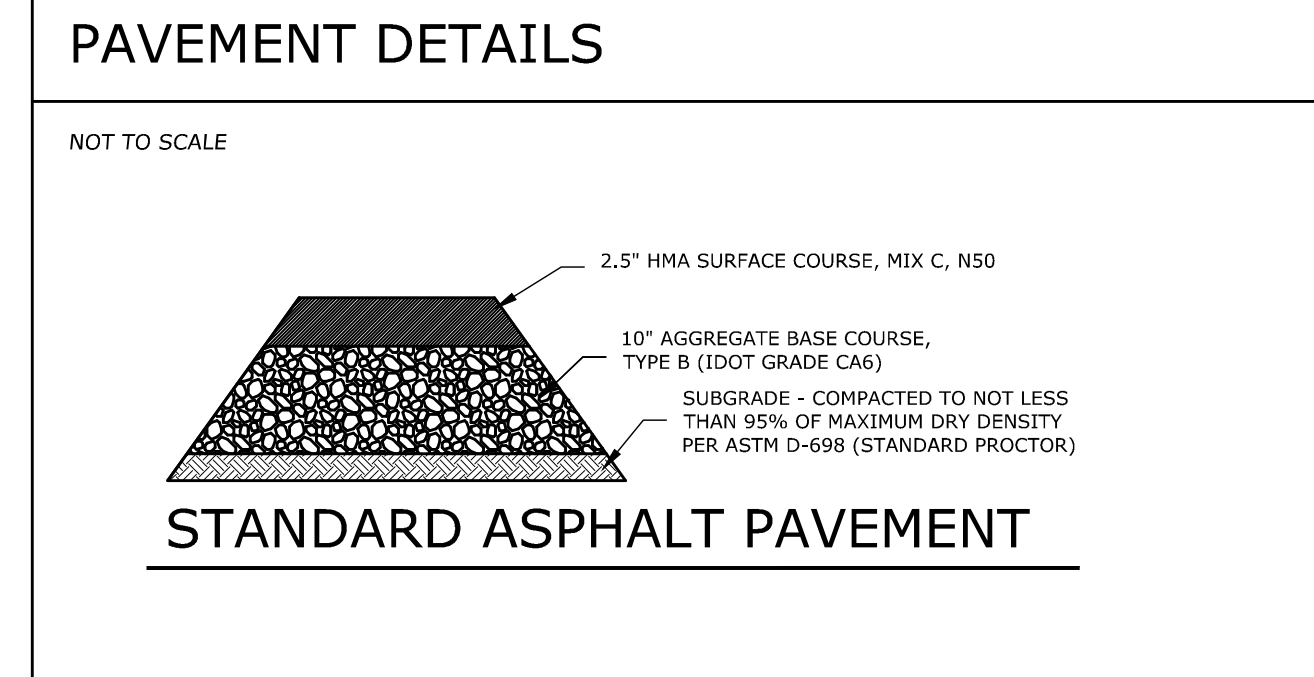
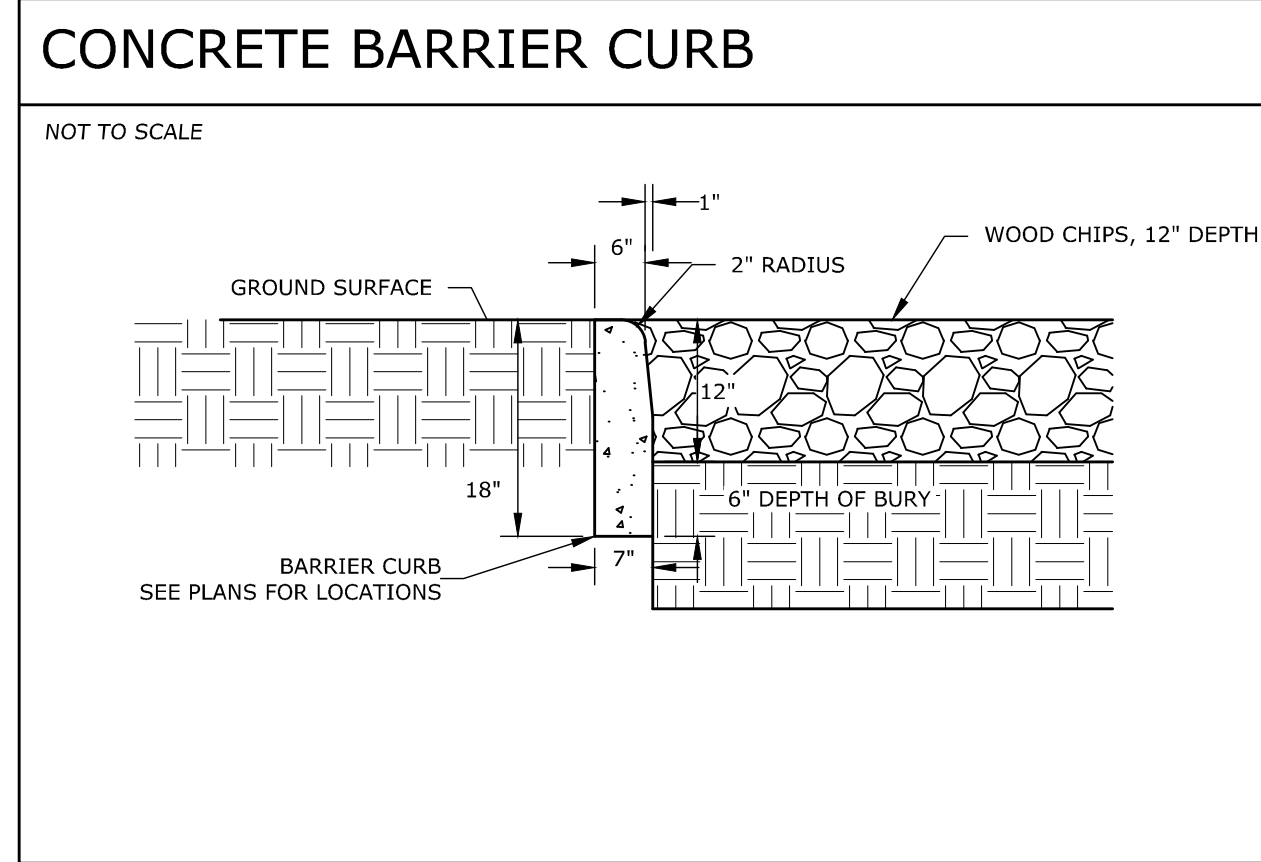
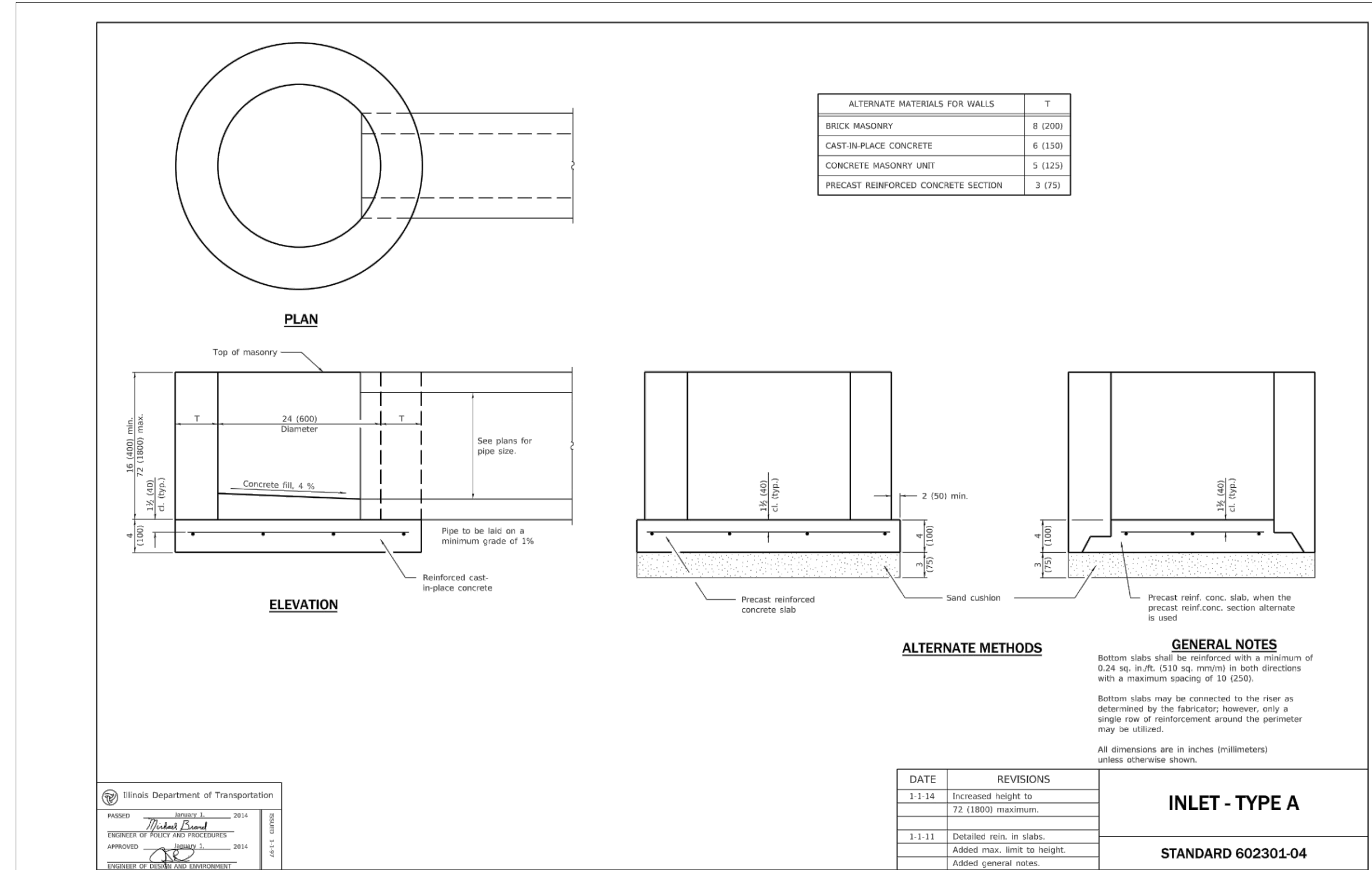
- GRADING LEGEND**
- - - 800 - - - EXISTING CONTOUR LINE
 - 800 — PROPOSED CONTOUR LINE
 - EDGE OF PAVEMENT
 - DIRECTION OF OVERLAND FLOW AND SLOPE
 - ⊙ PROPOSED STORM STRUCTURE
 - PROPOSED STORM SEWER

- GRADING NOTES**
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL OR VERTICAL CONTROL BY REFERENCING SHOWN COORDINATES OR ELEVATIONS TO HORIZONTAL OR VERTICAL CONTROL POINTS PRIOR TO PROCEEDING WITH WORK.
 - THE MAXIMUM SLOPE RATIO ON CUT/FILL SLOPES IS 4 HORIZONTAL TO 1 VERTICAL. SHALLOWER (GENTLER) IS PREFERRED.
 - CONTRACTOR SHALL SET ALL CLEANOUT, MANHOLE AND INLET CASTINGS, FIRE HYDRANTS AND VALVE BOXES TO FINISHED GRADE.
 - ALL PROPOSED PAVED AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO WITHIN 0.10 FEET OF DESIGN SUBGRADE.
 - THE SUBGRADE OF PAVEMENT AREAS SHALL BE FREE OF ALL UNSUITABLE MATERIAL AND SHALL BE COMPACTED TO A MINIMUM 95 PER CENT OF STANDARD PROCTOR DENSITY.
 - THE SUBGRADE SHALL BE PROOF ROLLED, INSPECTED AND APPROVED BY THE OWNER OR THE OWNER'S ENGINEER PRIOR TO PLACING THE BASE MATERIAL.
 - ALL EXCESS SOIL TO BE HAULED TO DESIGNATED STOCK PILE LOCATION.
 - THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF SPOIL MATERIAL FROM THE UNDERGROUND CONTRACTORS, PREPARING THE ROADWAY SUBGRADE, PROOF ROLING, PLACING TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES TO FINISHED GRADE IN THE PARKWAYS AND PARK DETENTION AREAS, GRADING OF DRAINAGE SWALES, AND ALL OTHER TASKS AS DIRECTED BY THE OWNER OR ENGINEER.
 - THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT THE CONCLUSION OF EACH WORKING DAY.

BENCHMARKS

DESCRIPTION	ELEVATION (WinGIS)
BENCHMARK 1 X CUT ON CONCRETE HEADWALL	785.86





ARC DESIGN RESOURCES INC.

5281 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303

www.arcdesign.com
Design Firm License No. 184-001334

PROJECT NAME
OWNER'S NAME

WASHINGTON PARK OSLAD SITE REDEVELOPMENT

ROCKFORD PARK DISTRICT
401 S. MAIN ST.
ROCKFORD, IL 61101

CONSULTANTS

ISSUED FOR

CLIENT REVIEW	DATE
1.	08-21-2019
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ITEMS	DATE
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4.
5.
6.

SHEET TITLE

DETAILS

DRAWN: MJH
CHECKED: RGS
PM: JSL

PROJECT NUMBER
SHEET NUMBER

19090
C07



Playground Equipment List

Key	Equipment Name	Manufacturer
A.	Flywheel Spinner	Landscape Structures
B.	5-12 Year Old Play Structure	Landscape Structures
C.	Tire Swing (2 Bay)	Landscape Structures
D.	2-5 Year Old Play Structure	Landscape Structures
E.	Challenge Course	GameTime

Playground equipment will be furnished by the Owner in spring, 2020. Contractor to plan installation of equipment at that time.

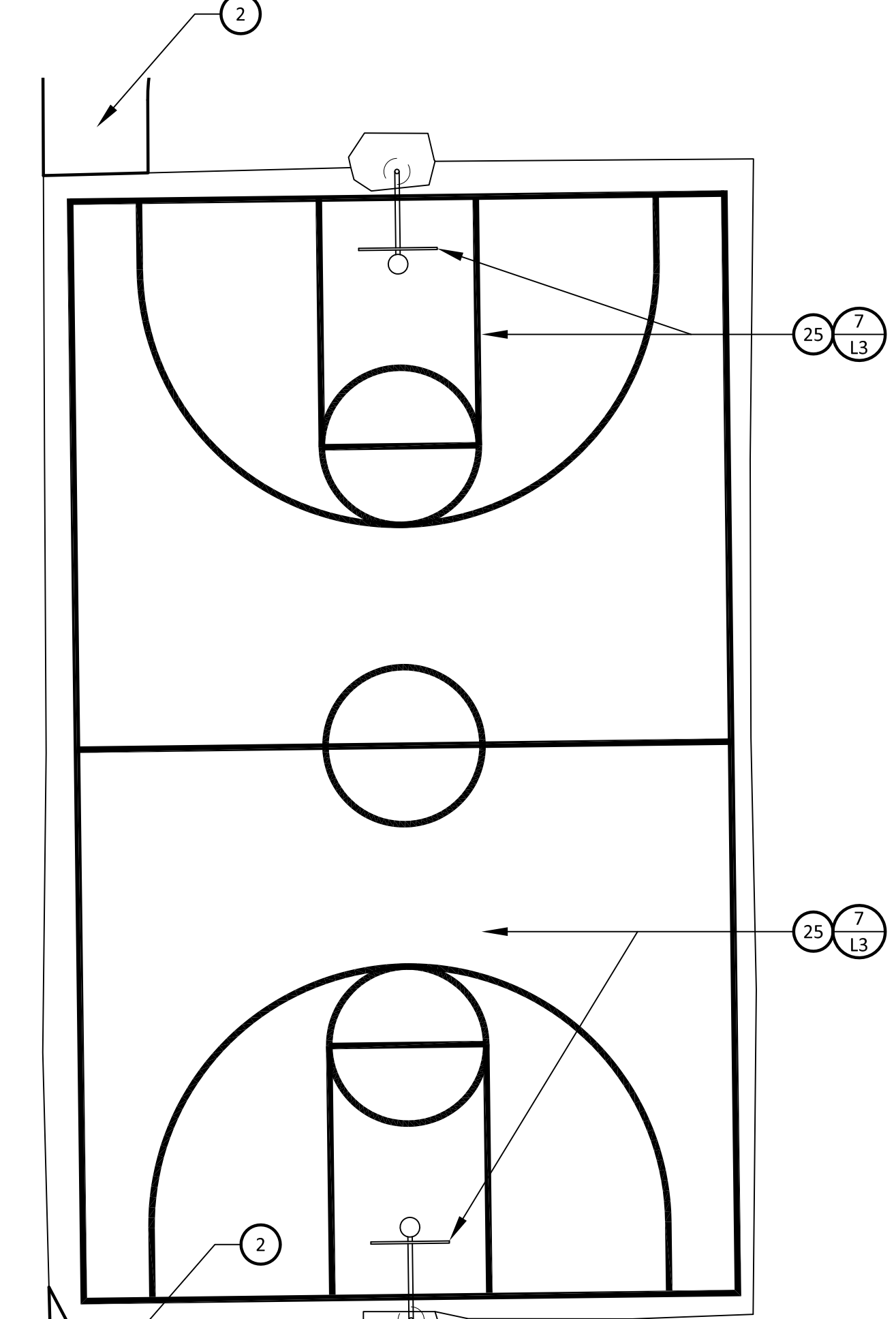
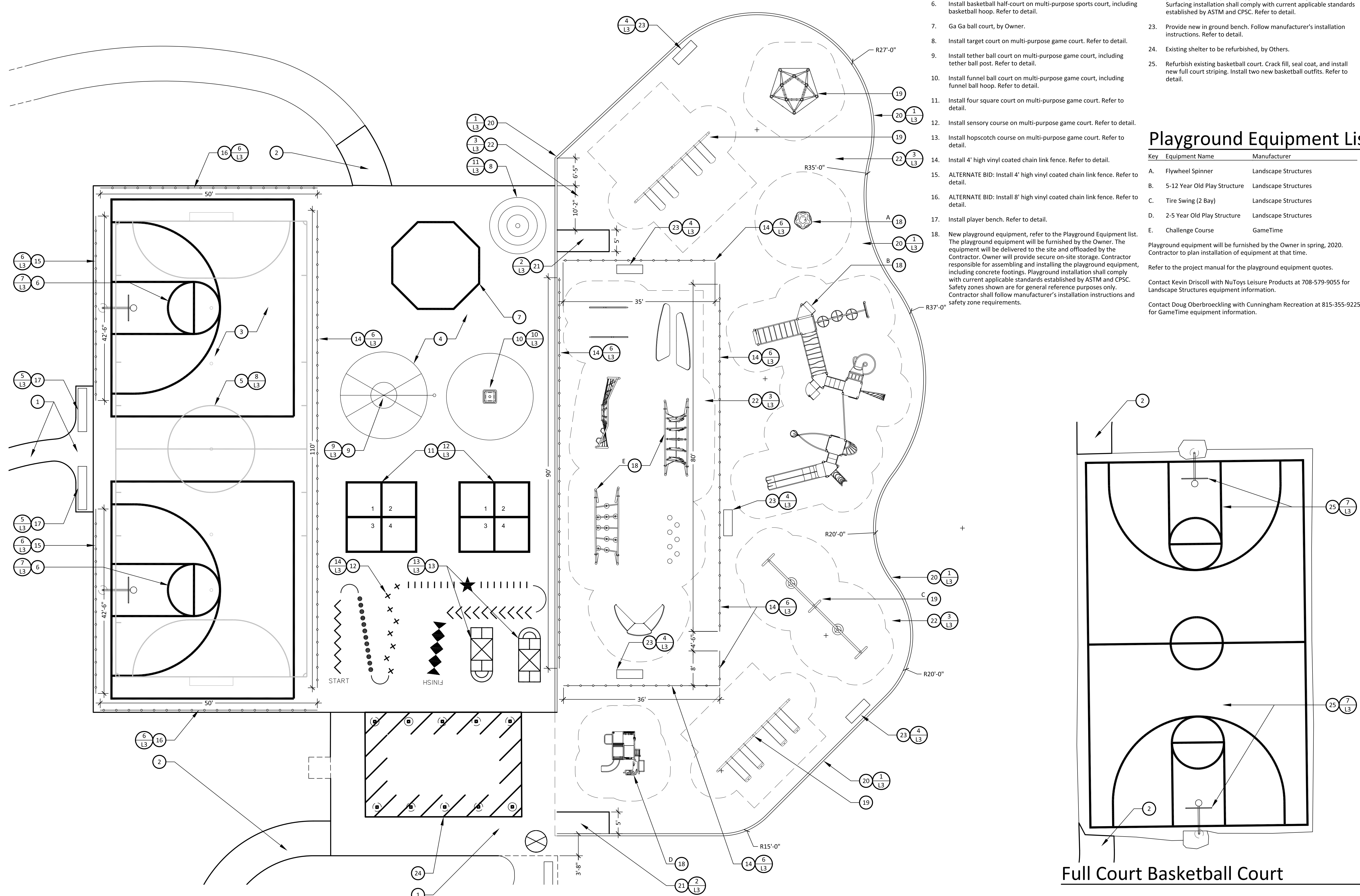
Refer to the project manual for the playground equipment quotes.

Contact Kevin Driscoll with NuToys Leisure Products at 708-579-9055 for Landscape Structures equipment information.

Contact Doug Oberbroeckling with Cunningham Recreation at 815-355-9225 for GameTime equipment information.

Notes

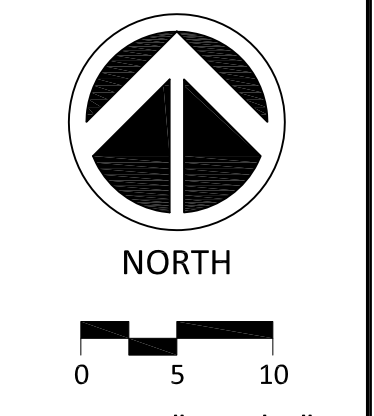
1. New concrete pavement. Refer to Civil Engineering plans.
2. New asphalt pavement. Refer to Civil Engineering plans.
3. New asphalt multi-purpose sports court. Refer to Civil Engineering plans.
4. New asphalt multi-purpose game court. Refer to Civil Engineering plans.
5. Install futsal court on multi-purpose sports court. Refer to detail.
6. Install basketball half-court on multi-purpose sports court, including basketball hoop. Refer to detail.
7. Ga Ga ball court, by Owner.
8. Install target court on multi-purpose game court. Refer to detail.
9. Install tether ball court on multi-purpose game court, including tether ball post. Refer to detail.
10. Install funnel ball court on multi-purpose game court, including funnel ball hoop. Refer to detail.
11. Install four square court on multi-purpose game court. Refer to detail.
12. Install sensory course on multi-purpose game court. Refer to detail.
13. Install hopscotch course on multi-purpose game court. Refer to detail.
14. Install 4' high vinyl coated chain link fence. Refer to detail.
15. ALTERNATE BID: Install 4' high vinyl coated chain link fence. Refer to detail.
16. ALTERNATE BID: Install 8' high vinyl coated chain link fence. Refer to detail.
17. Install player bench. Refer to detail.
18. New playground equipment, refer to the Playground Equipment list. The playground equipment will be furnished by the Owner. The equipment will be delivered to the site and offloaded by the Contractor. Owner will provide secure on-site storage. Contractor responsible for assembling and installing the playground equipment, including concrete footings. Playground installation shall comply with current applicable standards established by ASTM and CPSC. Safety zones shown are for general reference purposes only. Contractor shall follow manufacturer's installation instructions and safety zone requirements.
19. Existing playground equipment to remain. Contractor to ensure existing equipment safety zones do not conflict with new equipment, pavement, or curbing.
20. Install concrete perimeter curb. Refer to detail.
21. Install new concrete access walk. Refer to detail.
22. Install new engineered wood fiber playground surfacing. EWF material to be provided by the Owner, soil separator fabric to be provided by the Contractor. Prepare playground sub-grade to provide positive slope to playground under-drainage system. Surfacing installation shall comply with current applicable standards established by ASTM and CPSC. Refer to detail.
23. Provide new in ground bench. Follow manufacturer's installation instructions. Refer to detail.
24. Existing shelter to be refurbished, by Others.
25. Refurbish existing basketball court. Crack fill, seal coat, and install new full court striping. Install two new basketball outfits. Refer to detail.



Full Court Basketball Court

PROJECT DATA

Washington Park
New Park Construction
3617 Delaware Street
Rockford, IL 61102



BASE INFORMATION
PROVIDED BY:
ARC Design Resources

ISSUE	
#	DESCRIPTION
1	08/06/19 RPD Review

SHEET TITLE: PLAYGROUND CONSTRUCTION PLAN

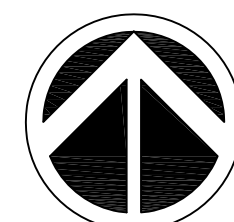
SHEET NUMBER:
L-1



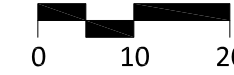
ROCKFORD PARK DISTRICT
 401 SOUTH MAIN STREET
 ROCKFORD, ILLINOIS 61101
 815-987-8800
 ROCKFORDPARKDISTRICT.ORG

PROJECT DATA

Washington Park
 New Park Construction
 3617 Delaware Street
 Rockford, IL 61102



NORTH



SCALE: 1" = 20'-0"

BASE INFORMATION
 PROVIDED BY:
 ARC Design Resources

ISSUE

#	DATE	DESCRIPTION
1	08/06/19	RPD Review

SHEET TITLE:
LANDSCAPE PLAN

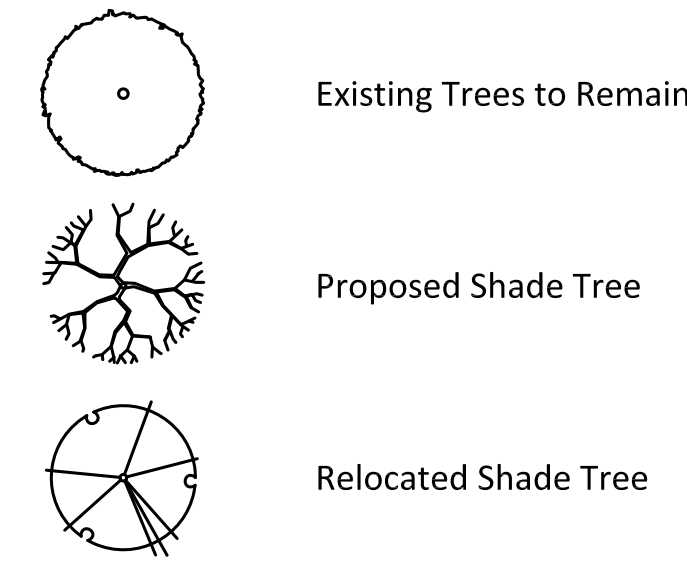
SHEET NUMBER:

L-2

Plant List

Symbol	Plant Name	Size	Quantity
SHADE TREES			
ARF	<i>Acer rubrum</i> 'Frank Jr.' Redpointe Maple	2-1/2"	4
GB	<i>Ginkgo biloba</i> 'Autumn Gold' Autumn Gold Maidenhair Tree Ginkgo	2-1/2"	6
QB	<i>Quercus bicolor</i> Swamp White Oak	2-1/2"	4
UAN	<i>Ulmus americana</i> 'New Harmony' New Harmony Elm	2-1/2"	5

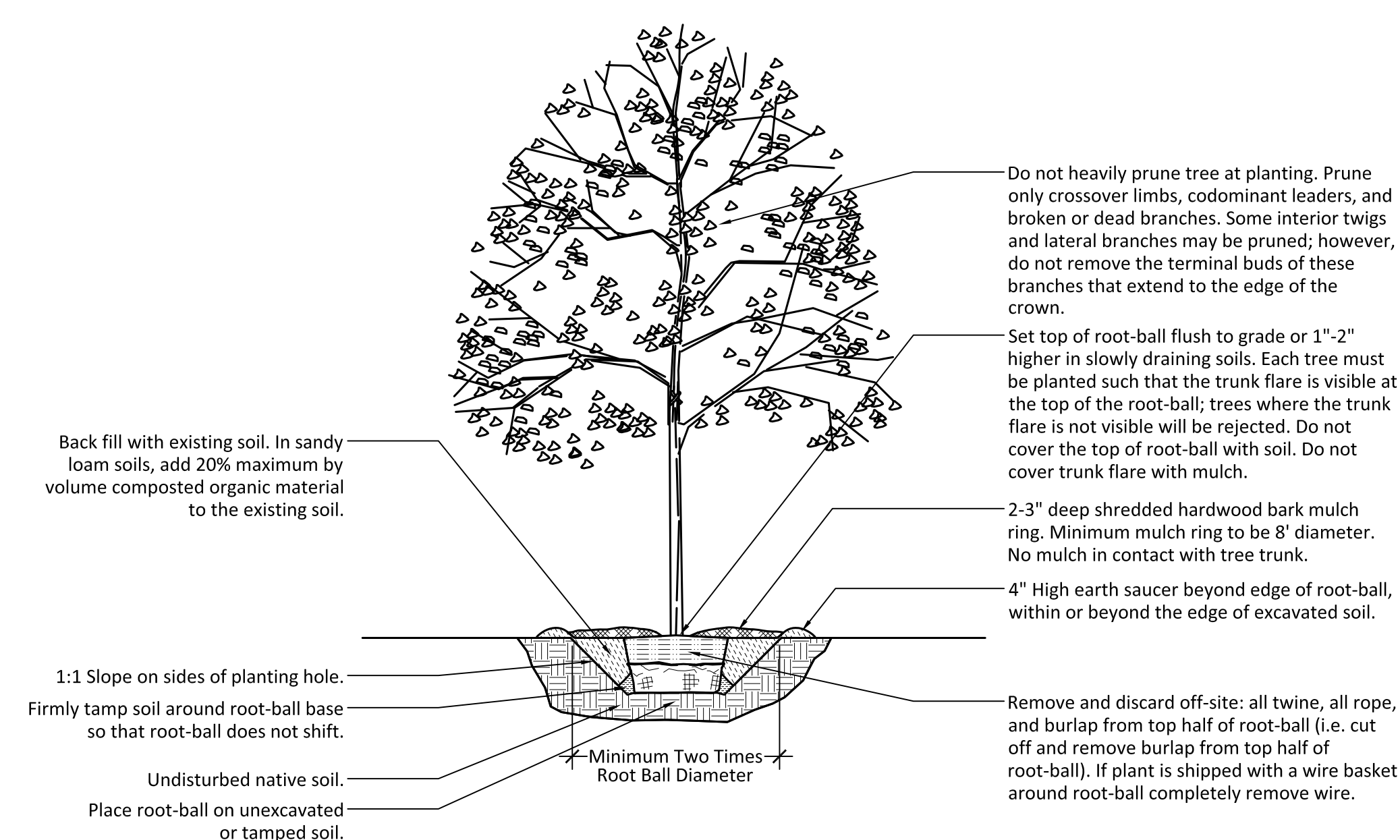
Planting Key



Notes

General Notes

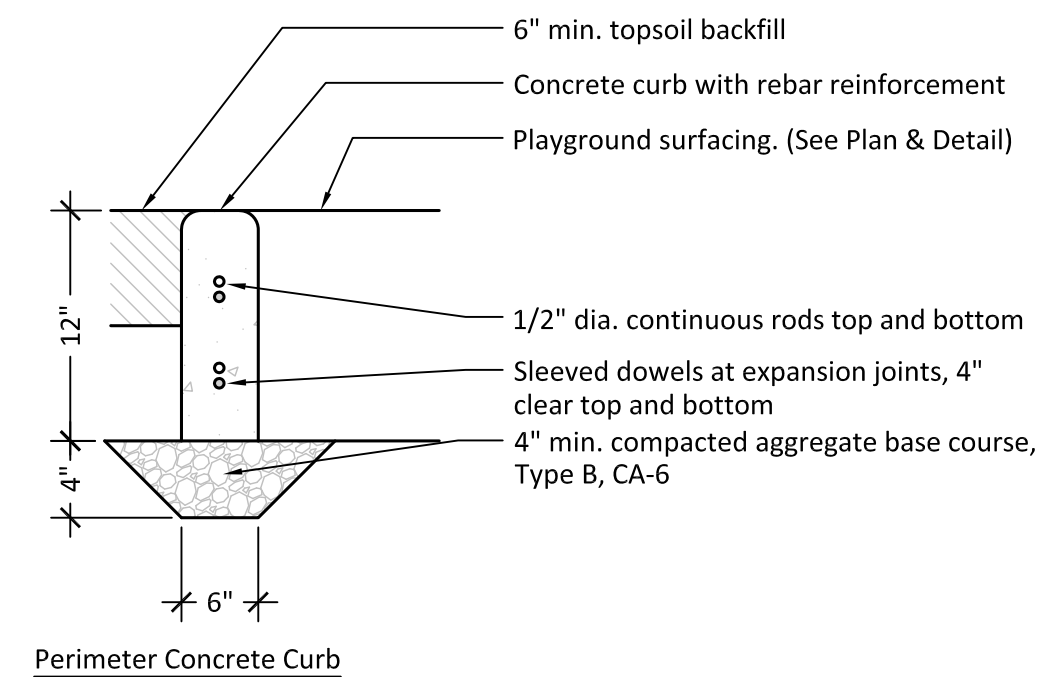
- Tree relocation is to be included in the base bid.
- New tree installation is to be bid as an alternate. Installation is to include excavation, mulch, soil, and all other materials.
- All trees are to have a one-year replacement guarantee upon final acceptance. Contractor to water all trees and shrubs as needed up to and for a period of no less than one month after final planting. Tree water bags are preferred means of watering trees during this period being refilled as needed during dry periods and after initial water after planting.
- The Contractor is responsible for all site restoration. All disturbed areas and areas damaged during construction shall be repaired. Refer to the civil engineering plans and project specifications.



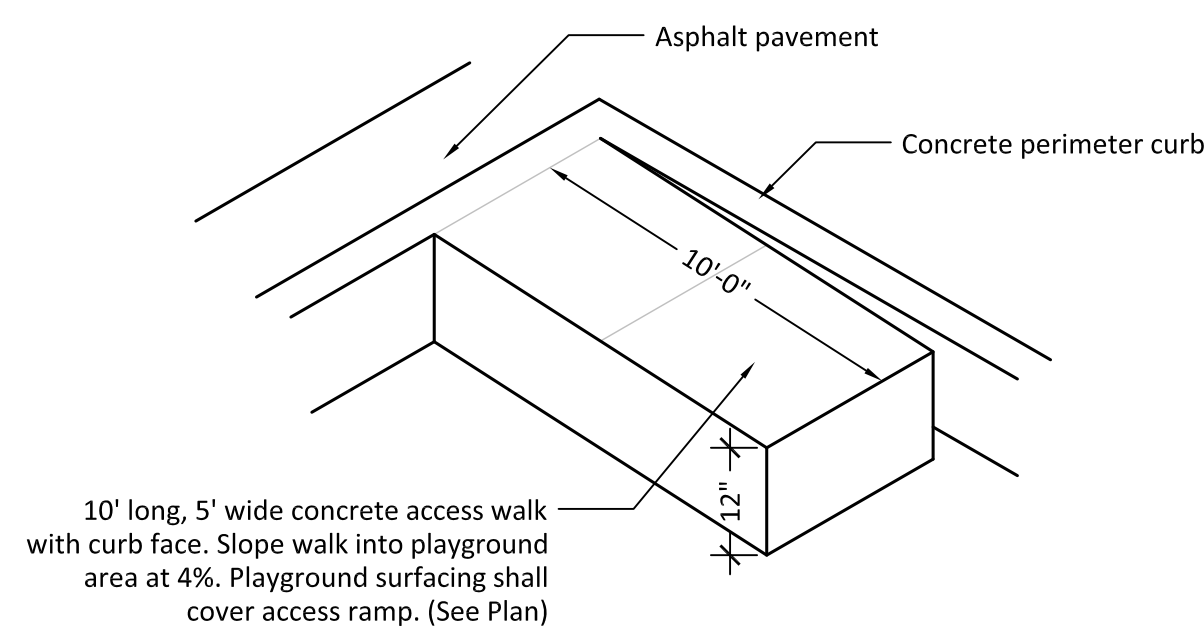
Tree Planting Detail

- Do not heavily prune tree at planting. Prune only crossover limbs, codominant leaders, and broken or dead branches. Some interior twigs and lateral branches may be pruned; however, do not remove the terminal buds of these branches that extend to the edge of the crown.
- Set top of root-ball flush to grade or 1"-2" higher in slowly draining soils. Each tree must be planted such that the trunk flare is visible at the top of the root-ball; trees where the trunk flare is not visible will be rejected. Do not cover the top of root-ball with soil. Do not cover trunk flare with mulch.
- 2-3" deep shredded hardwood bark mulch ring. Minimum mulch ring to be 8' diameter. No mulch in contact with tree trunk.
- 4" High earth saucer beyond edge of root-ball, within or beyond the edge of excavated soil.
- Remove and discard off-site: all twine, all rope, and burlap from top half of root-ball (i.e. cut off and remove burlap from top half of root-ball). If plant is shipped with a wire basket around root-ball completely remove wire.

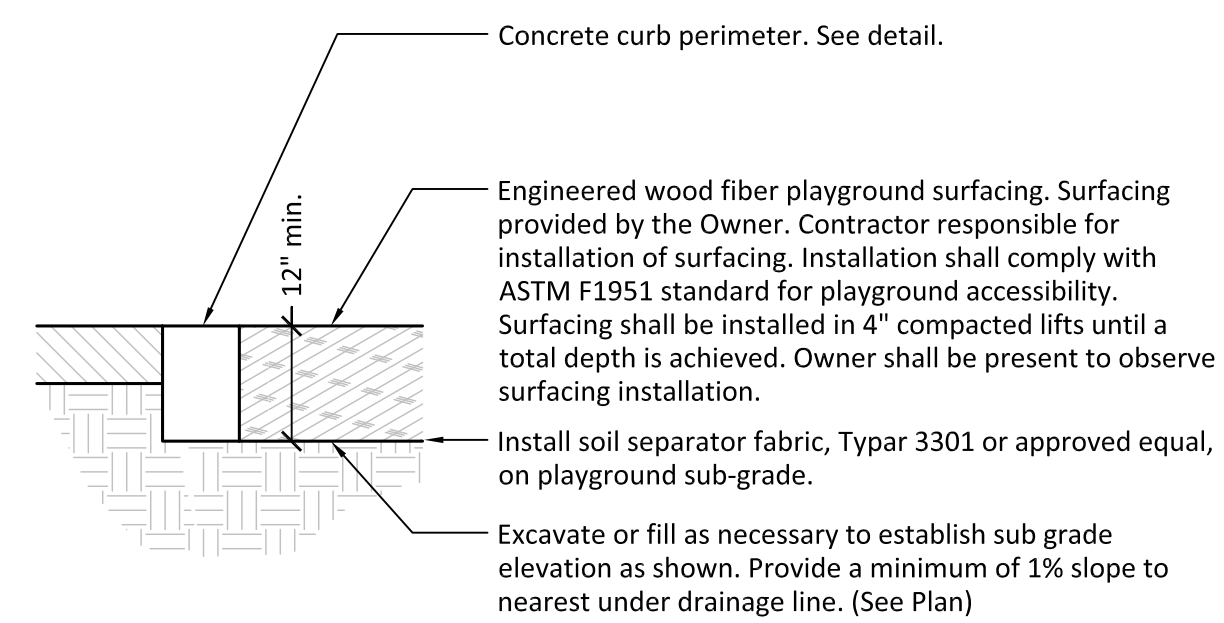
- Back fill with existing soil. In sandy loam soils, add 20% maximum by volume composted organic material to the existing soil.
- 1:1 Slope on sides of planting hole.
- Firmly tamp soil around root-ball base so that root-ball does not shift.
- Undisturbed native soil.
- Place root-ball on unexcavated or tamped soil.



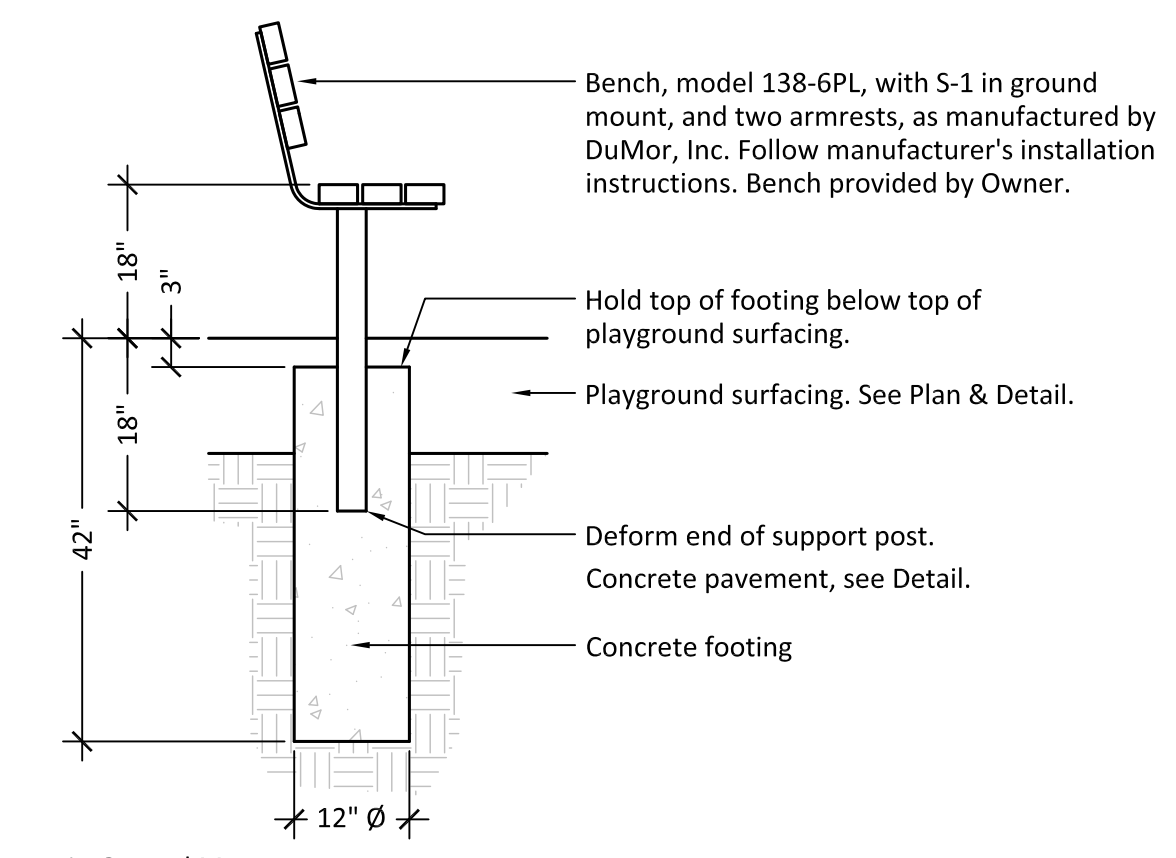
1 - Concrete Curb Playground Perimeter



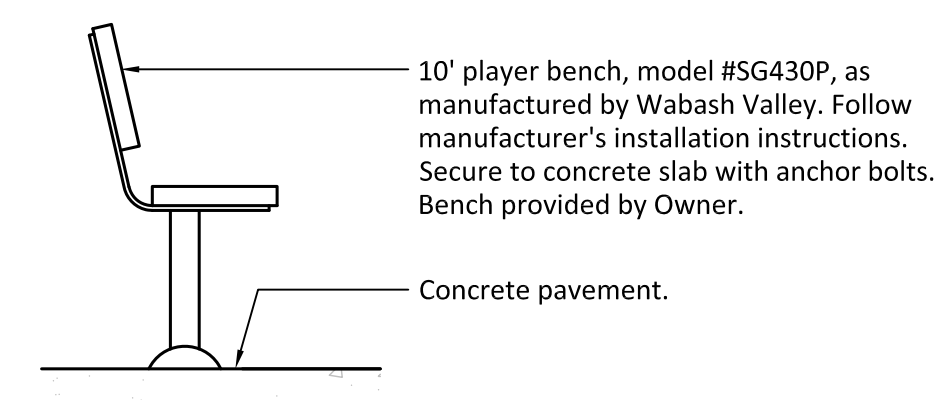
2 - Concrete Access Walk



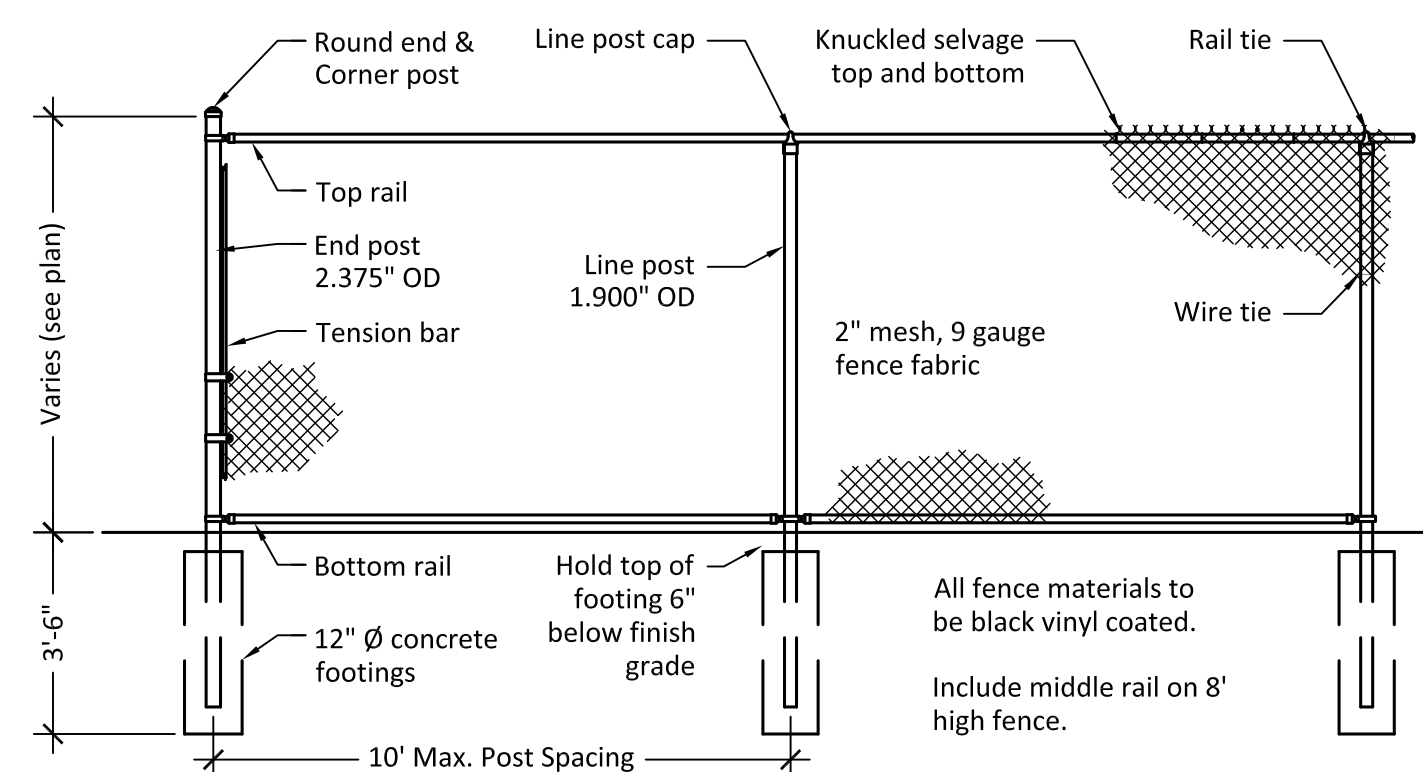
3 - Engineered Wood Fiber Playground Surfacing



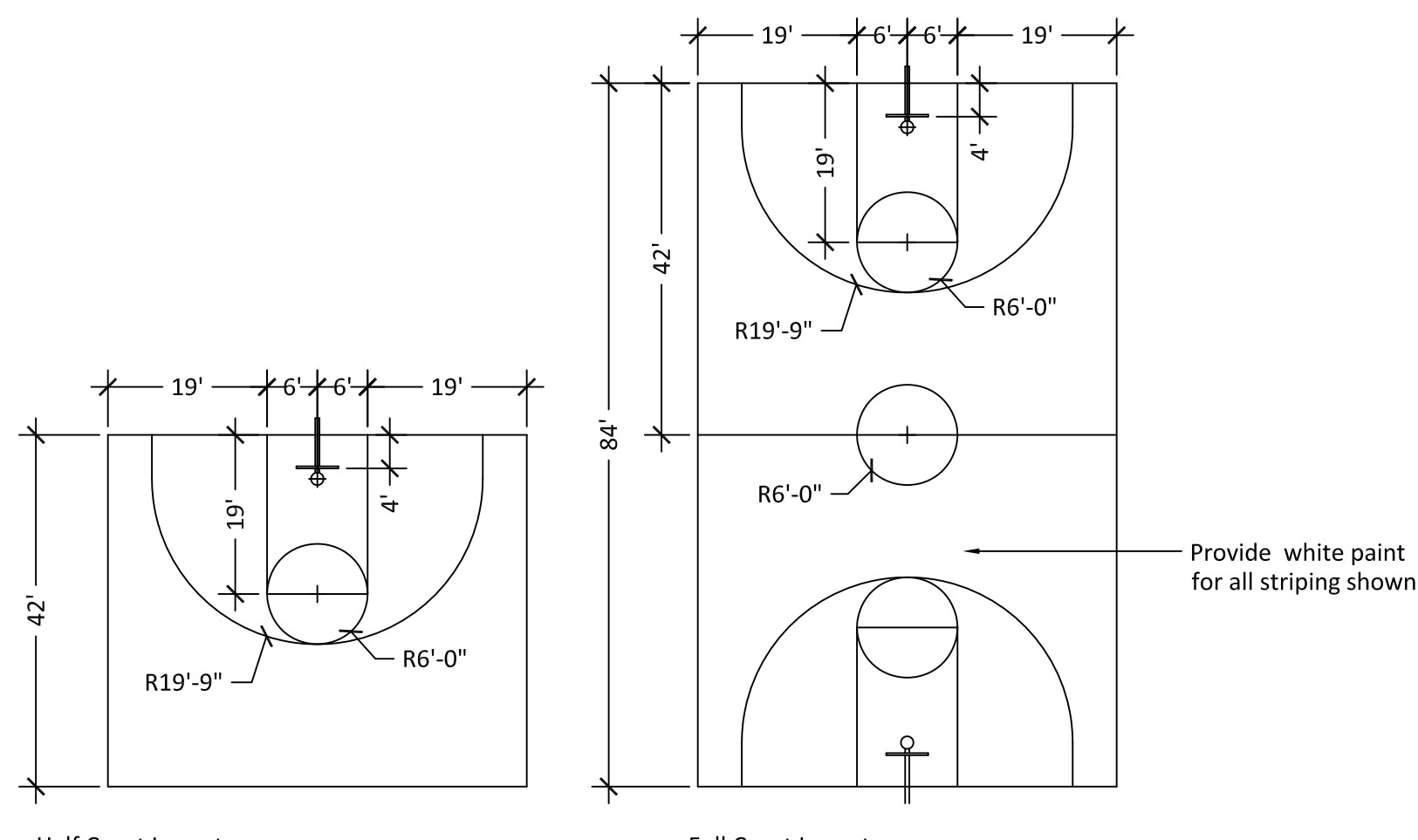
4 - Bench



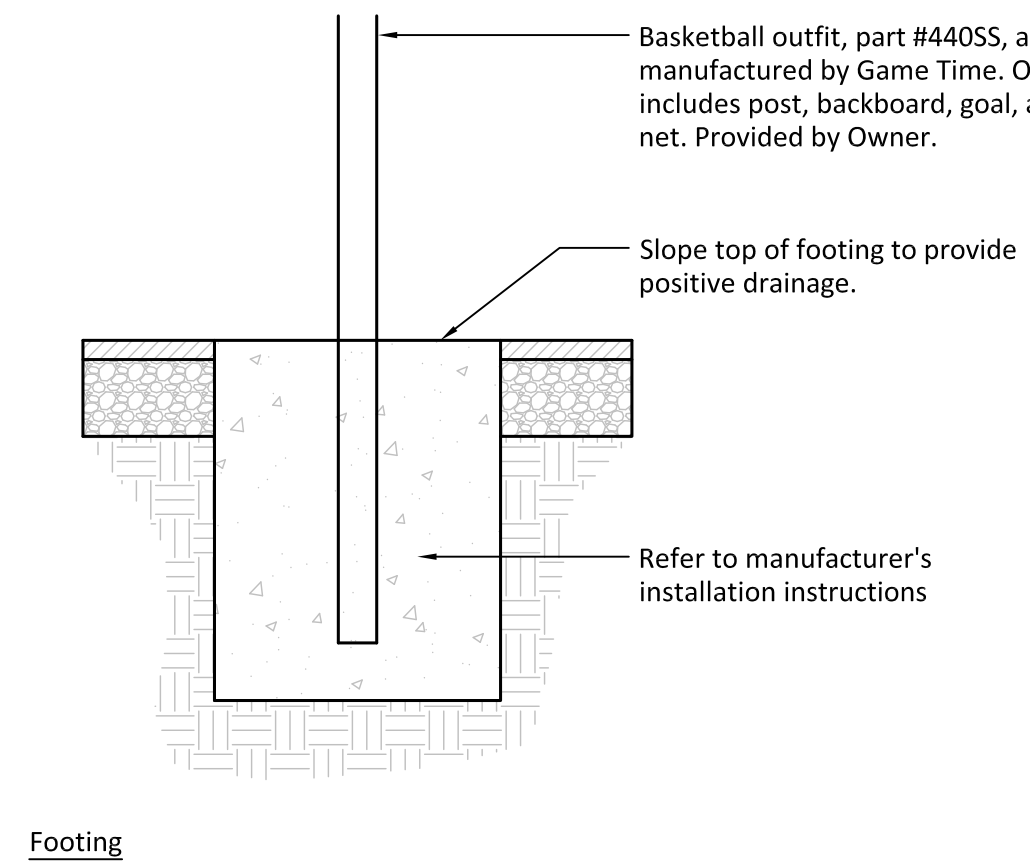
5 - Player Bench Footing



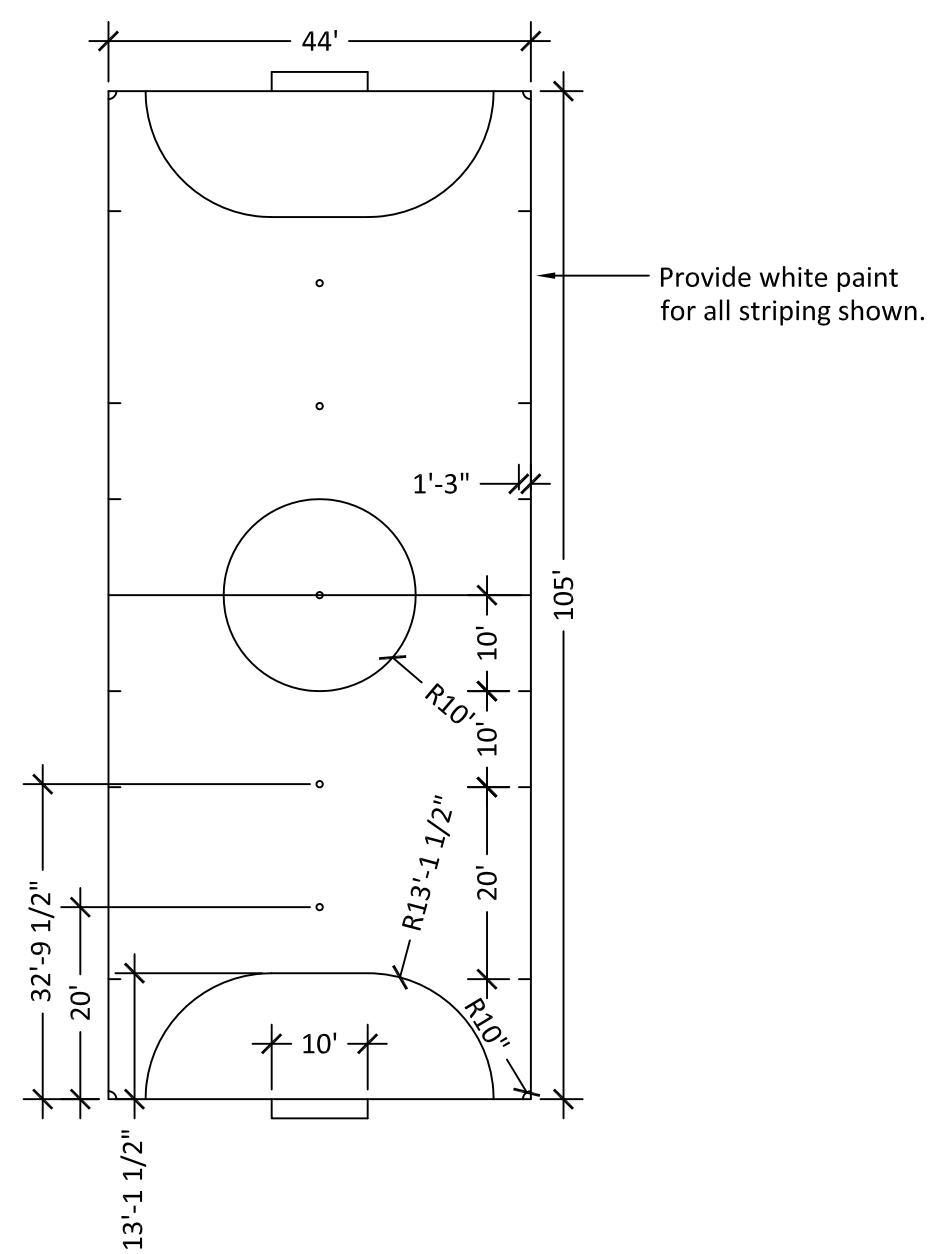
6 - Vinyl Coated Chain Link Fence



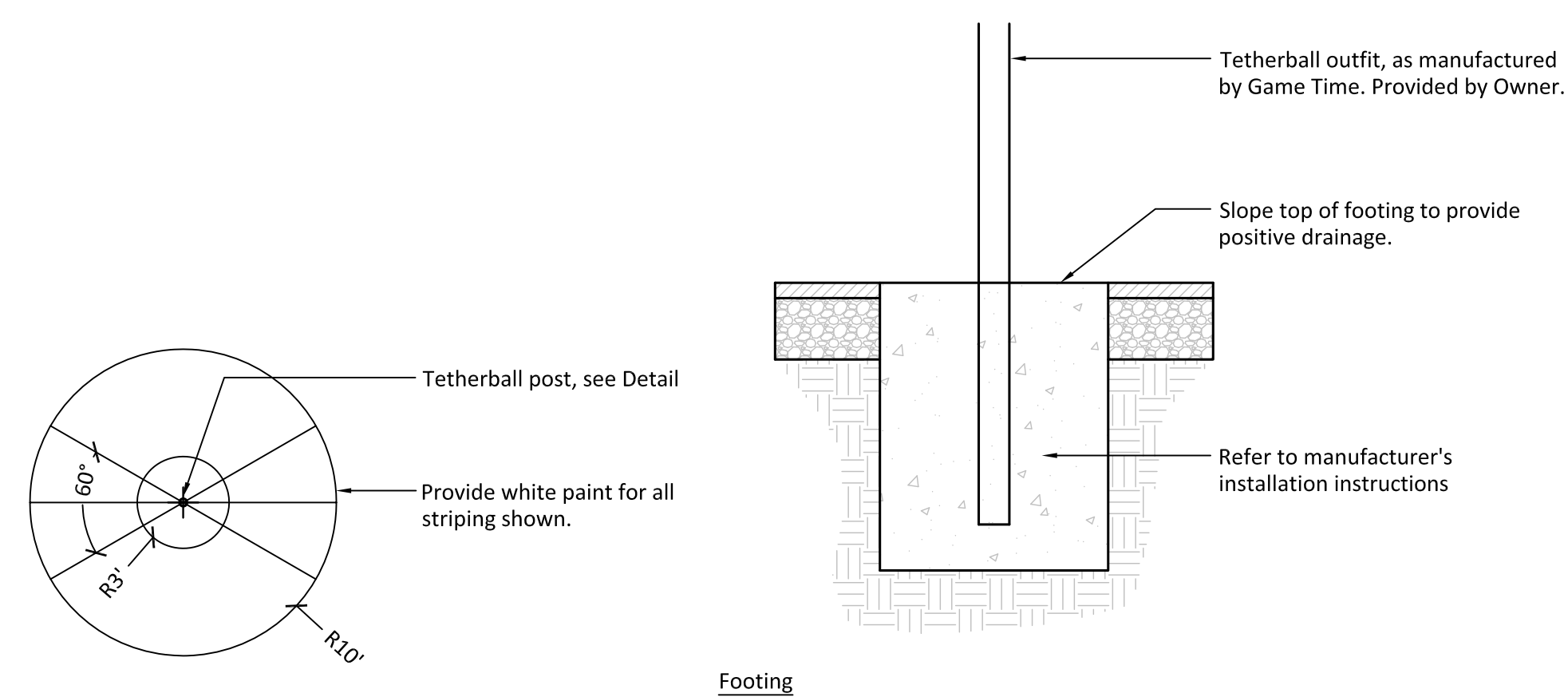
7 - Basketball Court



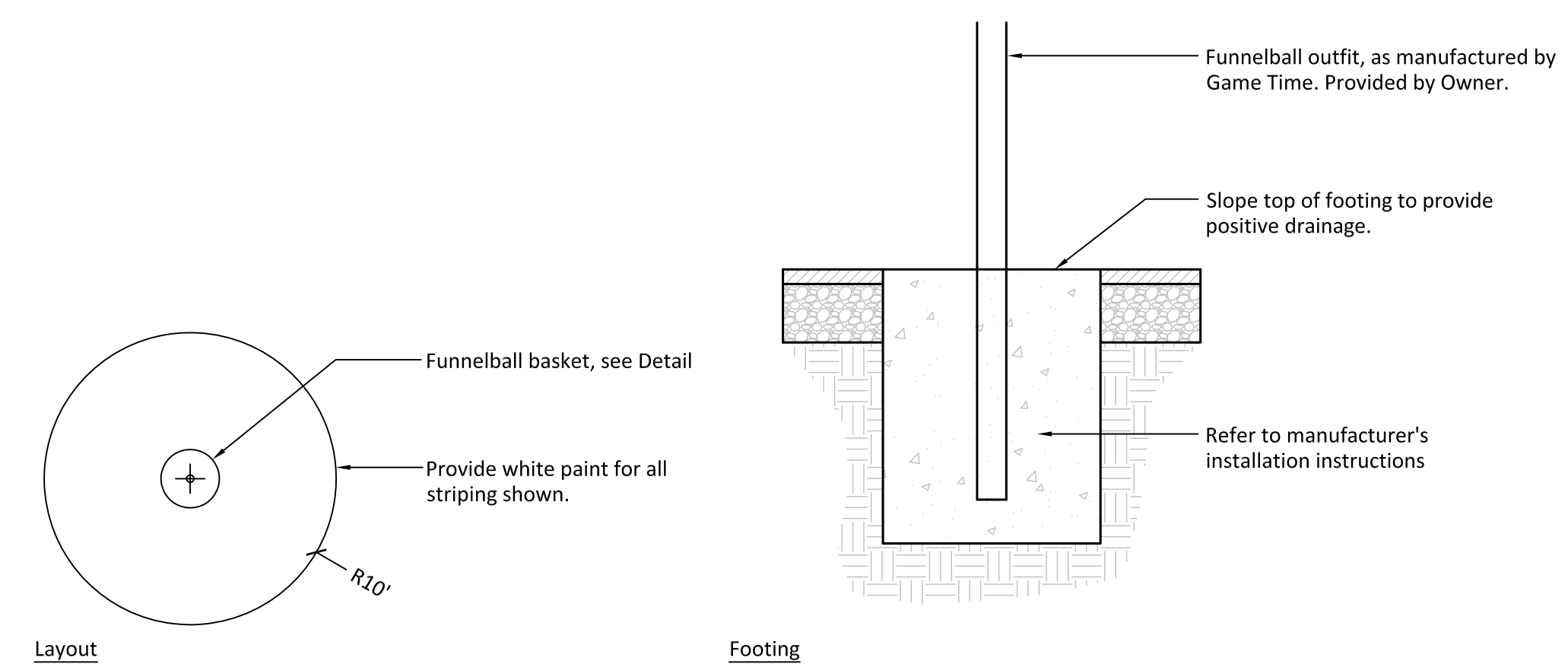
Footing



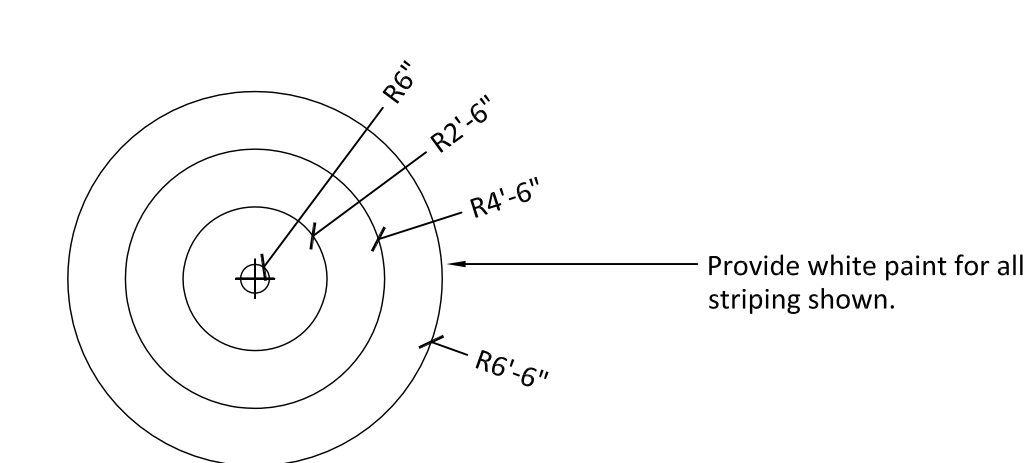
8 - Futsal Court Layout



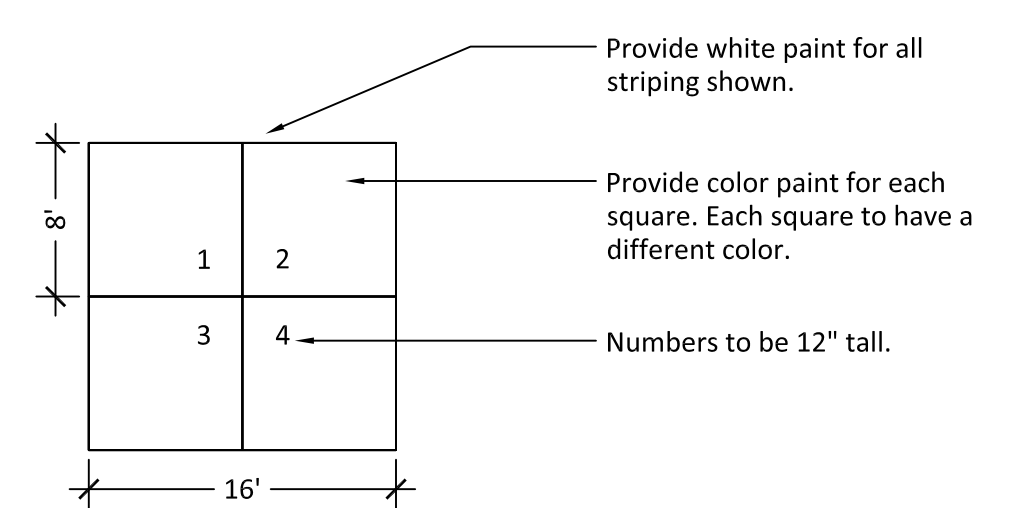
9 - Tetherball Court



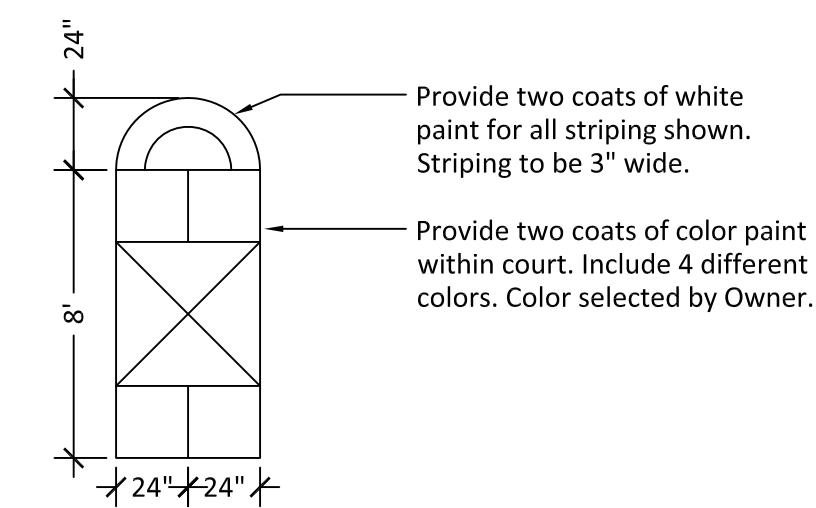
10 - Funnelball Court



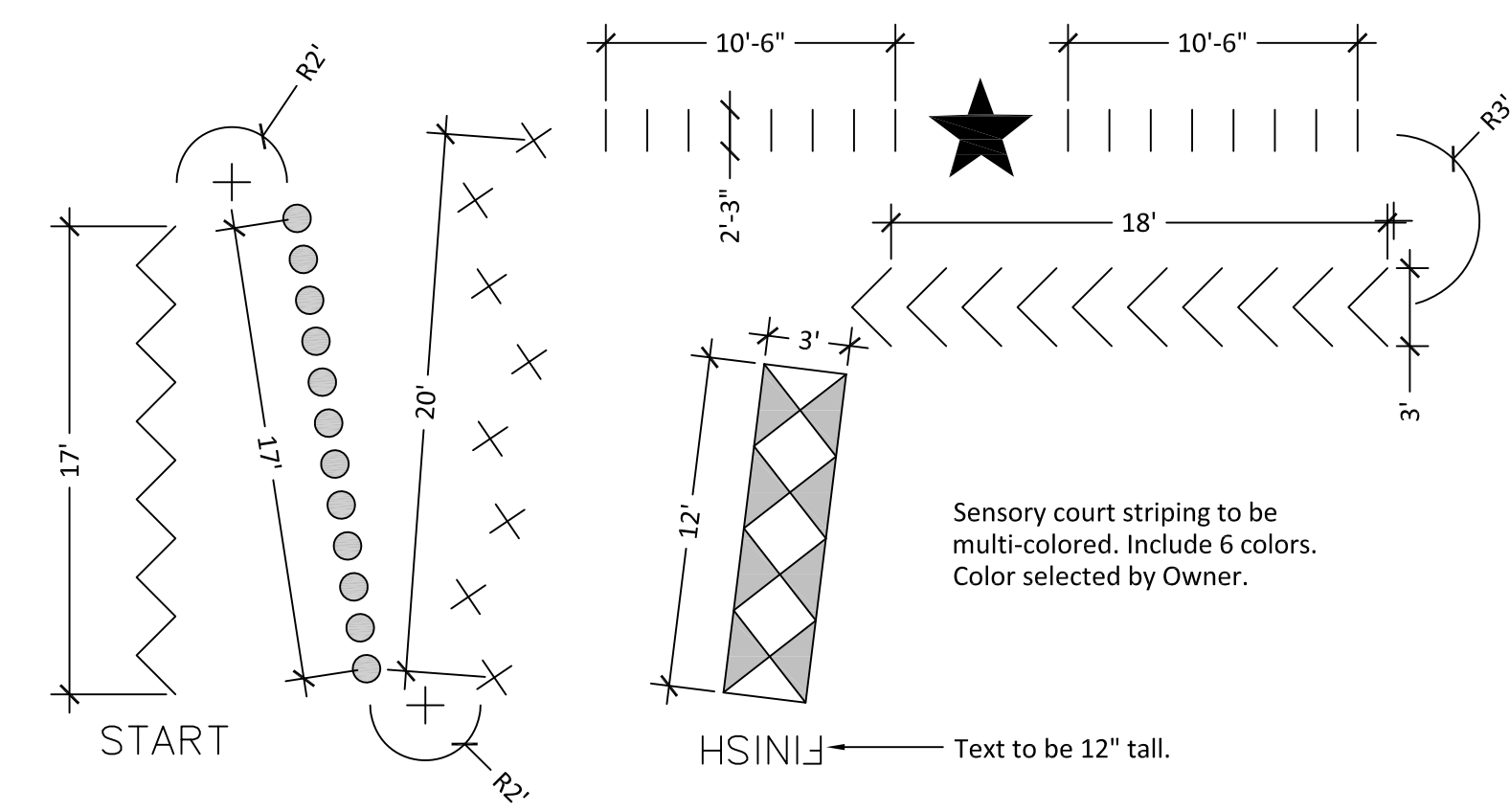
11 - Target Court Layout



12 - Four Square Court Layout



13 - Hopscotch Court Layout



14 - Sensory Court Layout

Striping Notes
 All line striping and painting to be two coats of Sherwin Williams Traffic Marking paint.
 All lines to be 3" wide.
 Colors selected by the Owner.

ISSUE

#	DATE	DESCRIPTION
1	08/06/19	RPD Review