Washington Park - New Park Construction Bid #19-2233



Site Location 3617 Delaware Street Civil C00 C01 C02 C03 C04 C05 C06 C07

Land L-1 L-2

(Base Information From WinGIS)

Drawing Index

Civil Engineering Plans (Prepared by ARC Design Resources)

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Landscape Plans (Prepared by Rockford Park District)

- 1 Playground Construction Plan
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WASHINGTON PARK OSLAD SITE REDEV

GENERAL NOTES

1.	The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. Neither the engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the engineer inspects and controls the physical construction on a contemporary basis at the site.
2.	The contractor, by agreeing to perform the work, agrees to indemnify and hold harmless the owner, the engineer, the city, and all agents and assigns of those parties, from all suits and claims arising out of the performance of said work, and further agrees to defend or otherwise pay all legal fees arising out of the defense of said parties.
3.	In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractors safety measures, in, or near the construction site. The contractor is responsible for maintaining adequate signs, barricades, fencing, traffic control devices and measures, and all other measures that are necessary to protect the safety of the site at all times.
4.	Maintain access for vehicular and pedestrian traffic as required for other construction activities. Use traffic control devices to include temporary striping, flagmen, barricades, warning signs, and warning lights shall be in accordance with current MUTCD and IDOT standards.
5.	All phases of the site work for this project shall meet or exceed industry standards and requirements set forth by the owner's "Description of Work", City of Rockford, the State of Illinois, and this plan set.
6.	The City of Rockford must be notified at least two (2) working days prior to the commencement or resumption of any work.
7.	The contractor shall coordinate all permit and inspection requirements with responsible local, state, and federal agencies. The contractor shall include the costs of this coordination and all inspection fees in the bid price.
8.	All work performed by the contractor shall come with a warranty against defects in workmanship and materials. This warranty period shall run concurrent with the required warranty periods the owner must provide to each local government agency, as a condition of the permit.
9.	The contractor will be held solely responsible for and shall take precautions necessary to avoid property damage to adjacent properties during the construction of this project.
10.	All structures, inlets, pipes, swales, roads and public egresses must be kept clean and free of dirt and debris at all times.
11.	Any field tiles encountered during construction shall be recorded showing size, location, and depth by the contractor, and either reconnected and rerouted or connected to the storm sewer system. The owner shall be notified immediately upon encountering any tile.
12.	The contractor shall field verify the elevations of the benchmarks prior to commencing work. The contractor shall also field verify the location and elevation of existing pipe inverts, curb or pavement where matching into existing work. The contractor shall field verify horizontal control by referencing property corners to known property lines. Notify the engineer of discrepancies in either vertical or horizontal control prior to proceeding.
13.	All elevations are on NAVD 88 datum.
14.	Parking areas designated as A.D.A. and all sidewalk shall be compliant with state and local A.D.A. requirements.
15.	Tactile warning plates per IDOT specifications shall be placed at all locations where sidewalk that is to be replaced intersects public roads and at locations indicated in this plan set.
16.	The contractor shall verify the location of all utilities in the field prior to construction. This includes sanitary sewer, water main, storm sewer, General Telephone, Commonwealth Edison, Northern Illinois Gas and cable television, if any. The J.U.L.I.E. number is 1-800-892-0123.
17.	Property corners shall be carefully protected until they have been referenced by a Professional Land Surveyor.
18.	The contractor shall keep careful measurements and records of all construction and shall furnish the Engineer, the Owner and the City with record drawings in a digital format compatible with AutoCAD Release 14 upon completion of his work.
19.	Any excess dirt or materials shall be placed by the contractor onsite at the owner's direction or as indicated on the plans.
20.	Finish grade shall in all areas not specifically reserved for storm water management shall drain freely. No ponding shall occur. Tolerances to be observed will be measured to the nearest 0.04 of a foot for paved surfaces and 0.10 of a foot for unpaved areas.

3617 DELAWARE STREET ROCKFORD, IL 61102

VICINITY MAP



NORTH

Sheet List	Τa
SHEET NUMBER	Sł
C00	CC
C01	GE
C02	S٧
C03	S٧
C04	ΕX
C05	LA
C06	GF
C07	DE

APPROVAL

ROCKFORD PARK DISTRI CITY OF ROCKFORD

UTILITY OFF

SEWER DISTRICT CHRISTOPHER BAER ROCK RIVER WATER RECLAMATION DISTRIC 3501 KISHWAUKEE STR ROCKFORD, IL 61126-74 (815) 387-7660

TELEPHONE: AT&T MIDWEST 2408 8TH AVENUE ROCKFORD, IL 61108 (815) 394-7270

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OWNER:

ENGINEER:

ROCKFORD PARK DISTRICT

401 S. MAIN STREET ROCKFORD, IL 61101 (815) 987-8800



ELC	DMEN	JT	ARC DE RESC 5291 LOV VOIC FAX: Uwww.a Design Firm	ZENITH PARKWAY ES PARK, IL 61111 DE: (815) 484-4300 (815) 484-4303 rrcdesign.com License No. 184-001334
ABDIC HEET TITLE OVER ENERAL NOTES VPPP SITE MAP VPPP DETAILS ISTING CONDITIONS A YOUT PLAN RADING PLAN ETAILS	ND REMOVALS PLAN		PROJECT NAME OWNER'S NAME NASHING PARK OSE REDEVEL ROCKFORD PA 401 S. MAIN S ROCKFORD, I	GTON LAD SITE OPMENT ARK DISTRICT ST. L 61101
ICT		DATE PENDING PENDING	ISSUED FOR 1. CLIENT REVIEW 2 3 4 5 6 7 8 9 10	DATE 08-21-2019 -
TICIALS	WATER DEPARTMEN CITY OF ROCKFORD WATER DIVISION 425 E. STATE STREET ROCKFORD, IL 61104 (779) 348-7368 CABLE TELEVISION: COMCAST 4450 KISHWAUKEE STREET ROCKFORD, IL 61101 (815) 395-8977 GAS: NICOR GAS 1844 FERRY ROAD NAPERVILLE, IL 61108	T:	11 12 REVISIONS ITEM 1. 2. 3. 4. 5. 6.	 DATE
	(815) 739-0876		DRAWN CHECKED PM PROJECT NUMBER SHEET NUMBER 190 CCC	мјн RGS JSL 90 0

EARTHWORK NOTES

Unsuitable Materials

3.

- Assume that if unsuitable materials are encountered and the replacement of these materials is required, this situation shall be handled as follows: A. The site contractor shall notify the general contractor immediately. The project superintendent, prior to the undercutting being completed, must approve any additional undercutting. The quantities must be verified by the engineer as the additional removal is being completed. B. If approved by the engineer, these materials shall be removed and replaced with compacted granular materials and compacted in accordance to required standards. The cost of this work shall be an extra to the contract, with the cost being adjusted by change order. C. If the site contractor is furnishing any off site materials, a representative sample of such materials shall be furnished to the general contractor's approved esting agency to determine a proctor

- D. These materials shall be placed as homogeneously as possible to facilitate accurate compaction and moisture testing. Definition for materials
- clay content shall generally be less than 35% by weight. Organic soils, such as peat or muck, shall not be used as topsoi Topsoil shall be relatively free from large roots, weeds, brush, or stones larger than 25 mm (1 inch). At least 90% shall pass the 2.00 mm (no. 10) sieve.
- A. "Organic material" is defined as material having an organic content in excess of 8% or as determined by the project owner's engineer. B. Topsoil shall be friable and loamy (loam, sandy loam, silt loam, sandy clay loam, or clay loam). Sand content shall generally be less than 70% by weight, and D. Topsoil ph shall be between 5.0 and 8.0. topsoil organic content shall not be less than 1.5% by weight. Topsoil shall contain no substance that is potentially
- toxic to plant growth.
- E. "Existing on-site material within moisture content limits" is defined as material of such a quality that the specified compaction can be met without any additional work other than "densifying" with a roller. Scarification and drying of this material will not need to be done prior to compaction. F. "Existing on-site material NOT within moisture content limits" is defined as material with a high moisture content that can not meet specified compaction
- requirements without scarification and drying, chemical stabilization, etc. of this material prior to compaction.
- G. "Unsuitable material" is defined as any materials that: G.1. Cannot be utilized as "topsoil", (organic) for landscape areas.
- G.2. Cannot be utilized as "engineered fill", regardless of moisture content and/or does not structurally meet the standards of the project owner's engineer's ecommendations for "engineered fill". G.3. These materials can be defined as natural materials or materials from "demolition" and/or excavated areas; i.e., they are materials that would not be
- suitable for "engineered fill"
- H. "Off-site material" is defined as any materials that are brought from any area not indicated on this plan set. "Trench backfill" shall be defined as any materials used for the purposes of backfilling any trench and/or any excavation requiring backfilling. Refer to the section titled "standards for fill areas" for determine acceptable materials and procedures.
- Standards for cut areas:
- A. A "cut area" is defined as any area where "engineered fill" is not required to bring the site to design subgrade elevation, instead excavation or "cutting" is required to achieve design subgrade elevation. ("Engineered fill" being defined as any material being "offsite material".) B. In "cut areas" the site contractor shall perform one of the following procedures at the discretion and in the presence of a representative of the owner's
- engineer and the project architect: B.1. Item 1: for exposed building or parking lot subgrades consisting primarily of granular soils the exposed subgrade should be compacted/densified by at least one (1) pass of a smooth-drummed vibratory roller having a minimum gross weight of 10 tons.
- B.2. Item 2: for exposed building or parking lot subgrades consisting primarily of cohesive soils, the exposed subgrades should be proof-rolled with a fully-loaded six-wheel truck having a minimum gross weight of 25 tons. the maximum allowable deflection under the specified equipment shall be 1/2". C. In the event that adequate stability of granular soils subgrades cannot be achieved by the procedures as outlined in item 1, above, or that deflections of greater than 1/2" are observed during the "proof rolling" of cohesive soils subgrades, as outlined in item 2, above, additional corrective measures will be required. These measures could include, but not necessarily be limited to, scarification, moisture conditioning, and re-compaction; undercutting & replacement with engineered fill and chemical stabilization, etc.. with crushed stone (with or without geotextiles); chemical stabilization, etc.
- D. It shall be considered as part of the scope of these documents and thus part of this contractor's responsibility to perform scarification and allow for drying of
- the subgrade per illinois dot standards (scarify a 16" depth for 3 days). If this does not work then additional drying measures shall be an extra to the contract.
- E. Any proposed corrective measures by the contractor should be reviewed by the owner's engineer and the project architect. in the event that in the opinion of the owner's engineer and/or the project architect proof rolling is not a good indicator of the subgrade stability an alternative method shall be specified by the owner's engineer and/or the project architect.
- Standards for fill areas A. A "fill" area is defined as any area where material is required to adjust the existing elevation to a proposed subgrade elevation. These areas will require the installation of "engineered fill" to achieve design subgrade elevation. "Engineered fill" material can be defined as either "granular" and/or "soil" having their origin for either the construction site and/or "offsite material". Materials having their origin from the construction site is referred to as "borrow". The composition and the compaction standards of the engineered fill for this project will be specified by owner's engineer and the project architect. B. In "fill" areas will borrow materials are allowed to be utilized as engineered fill the site contractor shall compact the borrow to the specified compaction.
- 6. Compaction standards (for engineered fill and back filled areas)
- A. Prior to placement of fill in areas below design grade, the exposed subgrade should be observed by a representative of the owner's engineer to evaluate that adequate stripping has been performed. Additionally, the proof rolling or compacting procedures outlined in the "standards for cut areas" section of this cpi should be performed. It is typical practice to proof roll, and densify if necessary, exposed subgrades prior to filling. If soft or unstable subgrades are observed, these areas should be stabilized or undercut. minimum compaction standards are based upon a percentage of the fill or backfill material's maximum standard proctor dry density (ASTM specification D-698). All engineered subgrades should meet the following minimum compaction: A.1. Areas under foundations bases:
 - A.1.B. areas under floor slabs and above foundations/footing bases
 - A.1.C. 95% standard proctor for all fill placed more than 12 inches below final grade for support of floor slabs and above foundation base elevation in the building area. A.1.D. 95% standard proctor for fill placed in the upper 12 inches of design subgrade below slabs. The granular fill under the floor slab should be
- compacted to at least 95% standard proctor. A.2. Areas under pavement sections A.2.A. 95% standard proctor for all fill placed more than 12 inches below passenger car pavement sections and 95% standard proctor for the top 12 inches.
- A.3 Landscaped areas:
- A.3.A. 90% standard proctor for all fill placed in landscape areas. These areas should be brought to grade with "topsoil" to a depth of 12 inches in areas to be seeded, 6 inches in areas to be sodded, and 24 inches for all interior curbed landscape islands. A.4. Base course portion of pavement sections:
- A.4.A. 95% standard proctor for all base course materials that are part of a "pavement section". contractor, contingent upon written approval by the architect and owner's engineer and approved by the project architect.
- B. The option of utilizing the modified proctor (ASTM D-1557) in lieu of the specified standard proctor (ASTM D-698) shall be at the discretion of the general C. Place all backfill and fill materials in layers that are not more than 8" in loose depth, before compacting, moisten or aerate each layer as necessary to provide optimum moisture content. Compact each layer to required percentage of maximum density of the area.
- 7. Finish grading: A. The term "finish grading" as used herein shall be defined as that condition that areas not receiving a finish product such as parking areas, driveways, roadways, sidewalks, etc. finish graded areas would generally be those areas receiving "landscaping" such as seed, sod, trees, bushes, mulch, etc. B. The site contractor is responsible for "finish grading" all areas within the perimeter of the "construction site". The definition of the "construction site" is the
 - area encompassing all disturbed areas that were disturbed as a result of the construction process relating to the general contract which this site contract was part of.

GENERAL PAVING NOTES

- 1. All pavement shall be constructed in accordance with the following: Concrete pavement shall be constructed in accordance with the Illinois Department of Transportation (IDOT) "Standard Specifications for Road and Bridge Construction" (Standard Specifications), latest edition, including all updates and standards thereto.
 - Standards and requirements of City of Rockford. Additional details and requirements provided in the contract documents, including this plan set.
- 2. All proposed pavement areas shall be stripped of all topsoil and unsuitable material and excavated or filled to within 0.10 feet of design subgrade. 3. The subgrade of pavement areas shall be free of all unsuitable material and shall be compacted to a minimum 95 per cent of Standard proctor density. 4. The subgrade shall be proof rolled, inspected and approved by the City of Rockford prior to placing the base material. Notify the engineer at least 48 hours prior to
- finished subgrade preparation.
- 5. The earthwork contractor shall be responsible for removal of spoil material from the underground contractors, preparing the roadway subgrade, proof rolled, placing topsoil to a minimum depth of 4 inches to finished grade in the parkways areas only, grading of drainage swales, and all other tasks as directed by the owner or
- engineer the Contractor's responsibility to determine all quantities and to become familiar with the site and soil conditions.
- 6. The quantities contained in these documents are approximate and estimated, and are presented as a guide to the contractor in determining the scope of work. It is
- 7. The paving Contractor is responsible for the final subgrade preparation, proof rolling, the pavement base, binder, and surface, and all final clean-up and related work associated with the paving operation. 8. The proposed pavement shall be of the type and thickness as specified in the engineering drawings, and constructed in strict conformance with the previously referenced IDOT standard specifications and City of Rockford. 9. Areas of deficient paving, including compaction, smoothness, thickness, and asphalt mixture, shall be delineated, removed, and replaced in compliance with
- Specifications requirements unless corrected otherwise as directed and approved by the owner.
- 10. Field quality control tests specified herein will be conducted by the owner's Independent Testing Laboratory (ITL) at no cost to the contractor. Any testing and inspection resulting from the requirements of necessary permits by City of Rockford or the State of Illinois shall be at the contractor's expense. The contractor shall perform additional testing as considered necessary by the contractor for assurance of quality control. Retesting required as a result of failed initial tests shall be at
- the contractor's expense.
- A. Field testing, frequency, and methods may vary as determined by and between the owner, the ITL and City of Rockford. B. Testing shall be performed on finished surface of each asphalt concrete course for smoothness, using 10'_0" straightedge applied parallel with, and at right angles to centerline of paved area. The following tolerances in 10 ft shall not be exceeded: Base Course Surface: 1/4-inch, Wearing Course Surface: 1/8-inch
- C. No ponding shall occur on paved surfaces.

PAVEMENT MARKING NOTES

1. Apply two (2) coats for all pavement markings. 2. Material description: a fast drying, high hiding marking paint for concrete, brick and bituminous surface. this product has been designed for painting centerlines and edgelines of highways, City of Rockford crosswalks and stop zones, parking lots, traffic aisles, etc. Do not apply to in temperatures below 50 F.

J. the term "stripping" or "strip" as used herein shall be defined as the removal of all "organic materials" from a given area. the term "organic materials" is defined as material having an organic content over 8% based on ASTM test method D-2974 or as defined by the owner's engineer.

A.1.A. 95% standard proctor for all fill placed below foundation base elevation in the building area.

ADDITIONAL CONCRETE PAVING NOTES

- 1. Materials shall comply with the following standards of quality: A. Portland Cement: ASTM C150 Type I, Normal ASTM C150 Type II, High-Early-Strength. B. Fine Aggregate: ASTM C33, clean sand graded between #100 and #4 sieve limits.
- C. Coarse Aggregate: ASTM C33, uncoated crushed stone or washed gravel. D. Water: Potable and fit to drink.
- E. Water-Reducing Admixture: ASTM C494 Type A (normal) or Type D (retarder).
- F. Air Entraining Agent: ASTM C260. G. Premoulded Filler Strips: ASTM D994.
- H. Curing Compound: ASTM C309, Type 2 (white, pigmented).
- I. Reinforcement: ASTM A615, Grade 40.
- 2. Physical characteristics shall comply with the following A. Strength: 4,000 PSI compressive strength in 28 days.
- B. Mix: Minimum 6 bag mix.
- C. Slump: Maximum 4". D. Water to Cement Ratio: Shall not exceed 0.45 by weight.
- E. Air Entrainment: $6\% \pm 1\%$
- 3. All curb and gutter and sidewalk shall be broom finished.
- gutter. Curb joints and ties shall be constructed in accordance with IDOT standard 606001 6. Depressed curb shall be provided for handicapped ramps and at driveway locations in accordance with IDOT standard 606001.
- 7. Sidewalk shall be a minimum 6" thick through all driveway crossings. 8. Concrete Payement joints shall comply with the following:
 - joints perpendicular to centerline, unless otherwise detailed 125% unless otherwise noted. construct control joints for depth equal to at least 1/4 of the concrete thickness, as follows:
 - b. Form tooled joints in fresh concrete by grooving top with recommended tool and finishing edge with jointer. 24 hours of pour.
 - center of the sidewalk and transverse contraction joints shall be spaced at 6' max e. A diamond edge saw bland shall be used for all required contraction and longitudinal pavement joints.
 - f. All sawcuts required shall be incidental to items for which direct payment is made.
 - except where such placements terminate at expansion joints. construct joints in accordance with idot specifications.
- C. Transverse expansion joints: Locate expansion joints at maximum of 180'-0" on centers, maximum each way unless otherwise shown on the construction drawings. provide premolded joint filler for expansion joints abutting concrete curbs, catch basins, manholes, inlets, structures, sidewalks, and other fixed
- approved epoxy compound. place dowels prior to concrete placement for new concrete. dowel spacing to be 24" on center unless otherwise shown on construction drawings. saw joint and fill with joint sealer.
- 10. Joint sealants: All joints shall be sealed with white or gray approved exterior pavement joint sealants and shall be installed in accordance with manufacturer's ecommendations

STORM SEWER NOTES

- 1. Storm sewer shall be constructed in accordance with the following: supplements thereto. Standards and requirements of City of Rockford.
- Additional details and requirements provided in the contract documents, including this plan set.
- Where criteria of the aforementioned specifications conflict, the more stringent criteria shall be implemented. 2. Material Specifications. All storm sewer system elements shall conform to the following specifications: A. Sewer Pipe. All storm sewer pipe shall be reinforced concrete pipe unless otherwise specifically noted in this plan set.
 - SDR35, respectively. b. Concrete sewer pipe (10" diameter and smaller), minimum Class 3, ASTM C14.
 - d. Reinforced concrete arch culvert pipe--double line reinforcement, minimum Class 3, ASTM C506.
 - e. Reinforced concrete elliptical culvert pipe--minimum Class HE-III or VE-III, ASTM C507. f. PVC underdrain pipe (4" and 6")--ASTM D2729, SDR35. Galvanized corrugated steel culvert pipe AASHTO M246, Type B, minimum wall thickness 14 gauge (shall only be used for culverts).
- B. Sewer Pipe Joints. a. ABS pipe--ASTM C443.
- b. PVC pipe--ASTM D3212, push-on type, except underdrain pipe which shall have solvent welded joints. Casing Pipes. Steel pipe--ASTM A120, 3/8" minimum thickness. D. Manholes and Catch Basins. a. Precast reinforced concrete--ASTM C478.
- c. For sewer eighteen inches in diameter or less, manhole shall have a forty-eight inches inside diameter. d For sewer twenty-one to thirty-six inches in diameter manhole shall have a sixty inch inside diameter
- e. For sewer greater than thirty-six inches in diameter, manhole shall have an offset riser pipe of forty-eight inches inside diameter.
- rings, to the frame h. Bottom sections: All bottom sections shall be monolithically precast including bases and invert flowlines.
- Inlets a. Precast reinforced concrete--ASTM C478 and ASTM C443. b. Size: Inlets shall have a twenty-four inch inside diameter and a maximum depth of four feet.
- sleeves shall also extend from the manhole cone to the manhole frame. e. Bottom sections: All bottom sections shall be monolithically precast including bases and invert flowlines.
- Castings (Unless otherwise noted within the plans) R-1772-C embossed "STORM SEWER". a. Manhole steps--Neenah No. R-1981-I.
- b. Six inch curb and gutter inlet--Neenah No. R-3032. Yard inlet--Neenah No. R-2579.
- d. Parking lot inlet--Neenah No. R-2450.
- G. Crushed Granular Bedding: Crushed gravel or crushed stone course aggregate--ASTM C33, Size No. 67. 3. All end sections 24" and greater shall come equipped with trash grate and toe block in compliance with Illinois Department of Transportation standard.
- excess water, and other foreign materials from the interior of the pipe during the pipe laying progress. 5. Install pipe in accordance with manufacturer's written recommendations.
- 6. Commence installation at the lowest point for each segment of the route. Lay RCP with the groove or bell end up-stream. 7. Lay pipe to the required line and slope gradients with the necessary fittings, bends, manhole, risers and other appurtenances placed at the required location as noted on Drawings.
- equal. (Grade 8 or Grade 9).
- at optimum moisture as determined by AASHTO T180.
- 10. Do not backfill trenches until required tests are performed and utility systems comply with and are accepted by applicable governing authorities. 11. Backfill trenches to contours and elevations shown on the drawings.

4. Curing and protection of all concrete shall be in strict conformance with the provisions of Section 1020.13 of the Standard Specifications. 5. The curb and gutter shall have 1" thick premolded fiber expansion joints with 3/4" - diameter by 18-inches long plain round steel dowel bars at 100-foot intervals, at all PC's and PT's, and at all curb returns. Construction joints shall be constructed at 20-foot intervals. The cost of these joints shall be incidental to the curb and

F. Construct expansion, weakeneD-plane control (contraction), and construction joints straight with face perpendicular to concrete surface. Construct transverse a. Provide joints at spacing of 15'-0" on centers, maximum each way. Panels shall be kept as square as possible with the length to width ratio not exceeding

c. Form sawed joints using powered saws equipped with shatterproof abrasive or diamonD-rimmed blades. Cut joints into hardened concrete as soon as

surface will not be torn, abraded, or otherwise damaged by cutting action. Contractor shall sawcut tank farm and island / canopy area to miD-depth within d. Sidewalk contraction joint spacing shall not exceed corresponding width of sidewalk. 12' wide sidewalks shall have a longitudinal contraction joint along the

B. Construction joints: Place construction joints at end of placements and at locations where placement operations are stopped for period of more than 1/2 hour,

D. Butt joints: For joints against existing pavement, place 16" long dowels eight inches into holes drilled into center of existing slab. epoxy dowels into holes with

9. Joint fillers: Extend joint fillers full-width and depth of joint, and not less than 1/2-inch or more than 1-inch below finished surface where joint sealer is indicated. urnish joint fillers in 1-piece lengths for full width being placed, wherever possible. Where more than 1 length is required, lace or clip joint filler sections together.

A. "Standard Specifications for Water and Sewer Main Construction in Illinois" (Standard Specifications), seventh edition dated 2014, and all revisions and

a. Sump pump service connection and storm sewer extension (4" and 6")--ABS sewer pipe or PVC sewer pipe ASTM D2751, SDR35, or ASTM D3034,

Reinforced concrete pipe (12" diameter and larger), circular reinforcement, minimum Class 3, wall B, ASTM C76.

Adjustment: No more than two precast concrete adjusting rings with six inch maximum height adjustment shall be allowed. g. Pipe and frame seals: All pipe connection openings shall be made watertight with hydraulic cement. The hydraulic cement sealing pipe connections shall extend the full thickness of the structure wall. Hydraulic cement shall also be applied within the structure from the cone section, past all adjustment

Adjustment: No more than two precast concrete adjusting rings with six inch maximum height adjustment shall be allowed. d. Only one pipe connection is allowed, and it shall be precast with resilient rubber watertight pipe to manhole sleeves or seals. External flexible watertight

Manhole frame and cover--Use area inlet as listed below unless specified as a "closed lid" in this plan set. Closed lid frame and covers shall be Neenah No.

4. Inspect pipe for defects and cracks before being lowered into the trench, piece by piece. Remove and replace defective, damaged or unsound pipe or pipe that has had its grade disturbed after laying. Protect open ends with a stopper to prevent earth or other material from entering the pipe during construction. Remove dirt,

8. All storm sewers under and within two feet of any existing or proposed pavement shall be backfilled with granular backfill material IDOT gradation FA-6 or approved

9. Compact backfill to 98 percent of maximum density in accordance with ASTM D698, (or 95 percent of maximum density, in accordance with ASTM D1557) obtained

	SIGN
RESOU	RCES INC.
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PROJECT NAME	
OWNER'S NAME	
WASHING	
PARK OSLA	AD SITE
REDEVELO	PMENT
ROCKFORD PAR	K DISTRICT
ROCKFORD, IL 6	51101
CONSULTANTS	
ISSUED FOR	
1 CLIENT REVIEW	DATE 08-21-2019
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GENERAL	NOTES
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SWPPP LEGEND DESIGI ARC **RESOURCES INC.** (SEE SITE PLAN SET FOR EXISTING SYMBOLS) • — – LIMITS OF DISTURBANCE 5291 ZENITH PARKWAY LOVES PARK, IL 61111 EXISTING CONTOUR LINE VOICE: (815) 484-4300 FAX: (815) 484-4303 www.arcdesign.com Design Firm License No. 184-001334 EDGE OF PAVEMENT EXISTING STORM SEWER PROJECT NAME OWNER'S NAME D EXISTING STORM STRUCTURE WASHINGTON DIRECTION OF OVERLAND FLOW AND SLOPE **____** PARK OSLAD SITE SEED AREA, CLASS 1 REDEVELOPMENT (X.XX)SEE SPECIFIC KEY NOTE ON THIS SHEET ROCKFORD PARK DISTRICT DRAINAGE AREA "A" 401 S. MAIN ST. ROCKFORD, IL 61101 EROSION DETAILS (SEE SWPPP DETAILS SHEET FOR ITEMS BELOW) CE TEMPORARY STONE CONSTRUCTION EXIT 1.01 SF) TEMPORARY SILT FENCE (1.02) _____ SF _____ (IP) TEMPORARY INLET PROTECTION (1.03) CONSULTANTS SLOPE PROTECTION BLANKET NAG S150 OR EQUAL REQUIRED ON ALL DISTURBED SLOPES (BLS) PO PERMANENT PIPE OUTLET STABILIZATION (RIP RAP) OCP TEMPORARY OUTLET CONTROL PROTECTION WO CONCRETE WASHOUT DC TEMPORARY DITCH CHECK **EROSION CONTROL REFERENCE NOTES** ISSUED FOR DATE (1.01) SEE CONSTRUCTION EXIT DETAIL. THE CONSTRUCTION EXIT SHALL BE A MINIMUM OF 14' IN WIDTH AND 30' FEET IN LENGTH FROM EXISTING PAVED SURFACE. ALL CONSTRUCTION TRAFFIC MUST UTILIZE 08-21-2019 1. CLIENT REVIEW CONSTRUCTION EXITS PER DETAIL TO ACCESS THE PUBLIC ROAD. DURING CONSTRUCTION, THE 2 ----CONSTRUCTION EXITS MAY BE SHIFTED AT THE CONTRACTOR'S DISCRETION TO FACILITATE GRADING OPERATION. EXIT MUST TERMINATE AT EXISTING PAVED SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE 3 ----FOR ENSURING THAT THE RUNOFF FROM THE CONSTRUCTION EXIT IS DIRECTED BACK TOWARD THE SITE OR THAT THE RUNOFF IS CLEAR OF SEDIMENT. 4 ----THE CONTRACTOR MAY PERMANENTLY REMOVE ANY PORTION OF THE PERIMETER SILT FENCE AFTER (1.02) ESTABLISHMENT OF FINAL GRADE AND/OR FINAL STABILIZATION RENDERS THE RESPECTIVE PORTION OF THE 5 ----PERIMETER SILT FENCE UPSTREAM OF A DISTURBANCE AND/OR INEFFECTIVE AS A BEST MANAGEMENT PRACTICE. ANY SUCH REMOVAL SHALL BE NOTED ON THE SWPPP SITE MAPS ALONG WITH UPSTREAM 6 ----STABILIZATION AND GRADING CONDITIONS. 7 ----NO STRUCTURE SHALL BE ALLOWED TO BE PROTECTED WITH ANY MEASURE OTHER THAN THOSE DETAILED IN (1.03) THIS SWPPP SITE MAP FOR MORE THAN 48 HOURS OR IF RAIN IS IMMINENT. STRUCTURES WITH CLOSED 8 ----LIDS WILL NOT REQUIRE PROTECTION FOLLOWING INSTALLATION OF LID. CONTRACTOR SHALL NOTE TIME STRUCTURE INSTALLATION (AND PROTECTION INSTALLATION, INCLUDING TYPES OF PROTECTION) ARE g ----EMPLOYED. WHENEVER PIPE INSTALLATION IS HALTED FOR MORE THAN 24 HOURS OR WHEN RAIN IS IMMINENT, THE OPEN END SHALL BE PROTECTED WITH A TEMPORARY BULK HEAD. A 3/4" SHEET OF PLYWOOD 10 ----THAT EXTENDS 6" BEYOND THE OUTSIDE DIAMETER OF THE PIPE SHALL BE PLACED AGAINST THE EXPOSED PIPE END. GRAVEL SHALL BE PLACED AGAINST THE PLYWOOD IN SUFFICIENT QUANTITY SO AS TO ENSURE 11.----THE TIGHTEST POSSIBLE SEAL. THE TRENCH SHALL BE DEWATERED PRIOR TO REMOVING THE BULKHEAD. 12.----(1.04) OCP SHALL BE PLACED TO PROTECT THE UPSTREAM END OF THE PERMANENT OUTFALL PIPE PRIOR TO PIPE INSTALLATION. SEE PLAN FOR FINAL LOCATION AND TOP OF OCP ELEVATION. FOLLOWING BASIN SIDE SLOPE STABILIZATION, THE OCP SHALL BE REPLACED WITH THE PERMANENT RIPRAP PAD SPECIFIED ON THE SITE REVISIONS DRAINAGE PLAN. ITEM DATE PERMANENT SEED MIX FOR TURF AREAS ON PRIVATE PROPERTY SHALL CONFORM TO IDOT STANDARDS AND 1. (1.05) SPECIFICATIONS FOR CLASS 1 (LAWN MIXTURE). PERMANENT SEED MIX FOR TURF AREAS WITHIN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO IDOT STANDARDS AND SPECIFICATIONS FOR CLASS 2A (SALT TOLERANT 2. ROADSIDE MIXTURE). 3. PERMANENT EROSION CONTROL FABRIC NAG SC150 SHALL BE APPLIED TO ALL SLOPES 10:1 OR STEEPER (1.06) THAN 10:1 PRIOR TO PERMANENT SEEDING. FOLLOW MANUFACTURER SPECIFICATIONS FOR INSTALLATION. CONTRACTOR SHALL NOTE ALL AREAS WHERE NAG SC150 HAS BEEN INSTALLED RELATIVE TO ASBUILT GRADES AND FURNISH THESE BOUNDARIES TO THE CIVIL ENGINEER UPON REQUEST. PERMANENT SEEDING 5. ----SHOULD BE PLANTED AS SOON AS IT IS PRACTICAL TO ENSURE PROPER GERMINATION PRIOR TO TERMINATION OF PERMIT COVERAGE. THE CONTRACTOR SHALL PLANT PERMANENT SEEDING AS SPECIFIED ON THE LANDSCAPING PLAN AS SOON AS FINAL BASIN GRADES ARE ESTABLISHED AS SPECIFIED ON THE GRADING PLAN. SEE SITE LANDSCAPING PLAN FOR EXACT GROUND COVER TYPE AND LOCATION. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF ILLINOIS NPDES GENERAL (1.07)PERMIT AND THE SITE NOI. SHEET TITLE SWPPP SITE MAP LAND OWNER ROCKFORD PARK DISTRICT 401 S. MAIN STREET ROCKFORD, IL 61101 (815) 987-8800 DISTURBED AREA 3.40 ACRES MJH DRAWN BENCHMARKS RGS CHECKEI DESCRIPTION ELEVATION (WinGIS) BENCHMARK 1 PROJECT NUMBER X CUT ON CONCRETE HEADWALL 785.86 SHEET NUMBER 19090 C02







Project

Approved

Designed _ Checked __

___ Date ____

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EX	ISTING COND	ITIONS ANI	D REMOVALS LEGE	ND /	
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REMOV	ALS KEY LE	GEND			2
1. EXISTING	WATER FOUNTAIN TO BE RE	MOVED AND REINSTA	LED		3
2. EXISTING	CONCRETE PAD UNDER PICN	VIC SHELTER TO BE RE	MOVED AND REPLACED. EXISTING PLANDED AND REPLACED. EXISTING PLANDED AN FOR PAVEMENT LAYOUT	CNIC SHELTER TO	<u>4</u> <u>5</u>
SECTION.		CONCERNENT DEM/			6
4. EXISTING	ROCK WITH PLAQUE TO BE F	NCRETE PAD TO REMAR	IN AND BE PROTECTED DURING CON	STRUCTION.	7      8
	OR SHALL BE RESPONSIBLE	FOR THE MOVING AN	D STORAGE OF THE ROCK.		9
DURING C	ONSTRUCTION.	IUKE AND ASSOCIATI	D CONTROLS ARE TO REMAIN AND D		10
6. EXISTING		ARE TO BE REMOVED.	(ТҮР)		11 12
8. EXISTING	PLAYGROUND EQUIPMENT TO	O REMAIN AND BE PR	DTECTED DURING CONSTRUCTION. (1	ГҮР.)	REVISIONS
9. EXISTING	ASPHALT PAVEMENT TO BE F	REMOVED, FULL DEPTH	1.	- ,	ITEM   DATE     1.
10. EXISTING	CONCRETE RAMP TO BE REM	10VED. (TYP.)			2
11. EXISTING					3
12. EXISTING	PICNIC SHELTER STRUCTUR	E TO BE POWER WASH	IED AND STAINED. CONTRACTOR TO	COORDINATE	4.      5.
	TH OWNER. STAIN SPECIFIC		OWNER.		6
15. EXISTING	BENCH AND CONCRETE PAD	TO BE REMOVED.	EINSTALLED.		
16. EXISTING	BASKETBALL, BACKBOARD, H	HOOP, POLE AND CON	CRETE BASE TO BE REMOVED. (TYP.)		
17. EXISTING		TH SPADE. (TYP.)			EXISTING
18. TEMPUKAN PROVIDE S	Y 6', HEIGHT, CHAIN LINK ، SANDBAGS AT FEET. STOP FE	ENCE AROUND PERAIN ENCE AT WOODS AND	ETER OF WORK ZONE, DRIVE INTO G PROVIDE GAP IN FENCE AT CONSTRU	ROUND OR JCTION ACCESS.	CONDITIONS AND
19. CLEARING	OF SCRUB BRUSH AND LIME	3 OVERHANGS AT FAR	LIMITS OF CONSTRUCTION.		REMOVALS PLAIN
20. EXISTING	SIGN IO BE REMOVED.				
NOTE: SAW	CUT IS CONSIDERED INCID	ENTAL TO PAVEMENT,	SIDEWALK, AND CURB & GUTTER RE	MOVAL	
	В	ENCHMA	RKS		MIL
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F	ROCKFORD PAR	K DISTRICT
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F	ROCKFORD, IL	61101
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#### LAYOUT LEGEND

	EXISTING PROPERTY LINE
	PROPOSED STANDARD DUTY ASPHALT PAVEMENT
	PROPOSED WOOD CHIPS
	PROPOSED CONCRETE SIDEWALK
	RE STRIPE PARKING STALLS
	PROPOSED CONCERTE CURB
=======	EXISTING CONCRETE CURB AND GUTTER
	PROPOSED PAINTED PAVEMENT MARKING

— x — x — x — x — PROPOSED FENCE

#### LAYOUT NOTES

- 1. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS, CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- 2. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- 3. DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- 4. SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
- 5. ALL RADII ARE DIMENSIONED TO THE BACK OF CURB, OR EDGE OF PAVEMENT WHEN CURB IS NOT PRESENT.
- 6. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.
- 7. INTENT OF HMA PATHS IS TO BE INSTALLED BY PAVER OPERATION. BIDDING CONTRACTOR MAY ADJUST WIDER TO ACCOMMODATE REQUEST.

BENCHMAR	RKS
DESCRIPTION	ELEVATION (WinGIS)
BENCHMARK 1 X CUT ON CONCRETE HEADWALL	785.86





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	APPROXIMATE EAR CUT = FILL = NET = 4 RACTOR TO PERFORM HIS ONTRACT ADJUSTMENT WI	THWORK (AS SHOWN) = 885 CY 1340 CY 55 CY (FILL) OWN TAKE-OFF FOR LUMP SUM BID. ILL BE GIVEN FOR DISCREPANCIES.	WASHINGT PARK OSLA REDEVELO ROCKFORD PAR 401 S. MAIN ST ROCKFORD, IL 6	TON AD SITE PMENT K DISTRIC ⁻
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2.	THE MAXIMUM SLOPE RATIO ON HORIZONTAL TO 1 VERTICAL. S PREFERRED.	I CUT/FILL SLOPES IS 4 HALLOWER (GENTLER) IS	<u>5</u> <u>6</u> <u>7</u>	 
3.	CONTRACTOR SHALL SET ALL C INLET CASTINGS, FIRE HYDRAN FINISHED GRADE.	LEANOUT, MANHOLE AND TS AND VALVE BOXES TO	8 9	
4.	ALL PROPOSED PAVED AREAS S TOPSOIL AND UNSUITABLE MAT OR FILLED TO WITHIN 0.10 FEE	HALL BE STRIPPED OF ALL ERIAL AND EXCAVATED T OF DESIGN SUBGRADE.	10 11	
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5. 6.	AND APPROVED BY THE OWNER ENGINEER PRIOR TO PLACING T	HE BASE MATERIAL.		
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## Notes

3.	New asphalt multi-purpose sports court. Refer to Civil Engineering plans.
4.	New asphalt multi-purpose game court. Refer to Civil Engineering plans.
5.	Install futsal court on multi-purpose sports court. Refer to detail.
5.	Install basketball half-court on multi-purpose sports court, including basketball hoop. Refer to detail.
7.	Ga Ga ball court, by Owner.
8.	Install target court on multi-purpose game court. Refer to detail.
Э.	Install tether ball court on multi-purpose game court, including tether ball post. Refer to detail.
10.	Install funnel ball court on multi-purpose game court, including funnel ball hoop. Refer to detail.
11.	Install four square court on multi-purpose game court. Refer to detail.
12.	Install sensory course on multi-purpose game court. Refer to detail.
13.	Install hopscotch course on multi-purpose game court. Refer to detail.
14.	Install 4' high vinyl coated chain link fence. Refer to detail.
15.	ALTERNATE BID: Install 4' high vinyl coated chain link fence. Refer to detail.
16.	ALTERNATE BID: Install 8' high vinyl coated chain link fence. Refer to detail.
17.	Install player bench. Refer to detail.
18.	New playground equipment, refer to the Playground Equipment list. The playground equipment will be furnished by the Owner. The equipment will be delivered to the site and offloaded by the Contractor. Owner will provide secure on-site storage. Contractor responsible for assembling and installing the playground equipment including concrete footings. Playground installation shall comply with current applicable standards established by ASTM and CPSC. Safety zones shown are for general reference purposes only.

~ R37'-0" safety zone requirements.

- 1. New concrete pavement. Refer to Civil Engineering plans.
- 2. New asphalt pavement. Refer to Civil Engineering plans.
  - ourpose sports court. Refer to Civil Engineering
  - ourpose game court. Refer to Civil Engineering
  - n multi-purpose sports court. Refer to detail.
  - If-court on multi-purpose sports court, including fer to detail.
  - Owner.
  - on multi-purpose game court. Refer to detail. ourt on multi-purpose game court, including
  - ^fer to detail. ourt on multi-purpose game court, including
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  - urse on multi-purpose game court. Refer to
  - coated chain link fence. Refer to detail.
  - tall 4' high vinyl coated chain link fence. Refer to
  - tall 8' high vinyl coated chain link fence. Refer to
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  - uipment, refer to the Playground Equipment list. ipment will be furnished by the Owner. The lelivered to the site and offloaded by the will provide secure on-site storage. Contractor mbling and installing the playground equipment, ootings. Playground installation shall comply able standards established by ASTM and CPSC. n are for general reference purposes only. Contractor shall follow manufacturer's installation instructions and

- 19. Existing playground equipment to remain. Contractor to ensure existing equipment safety zones do not conflict with new equipment, pavement, or curbing.
- 20. Install concrete perimeter curb. Refer to detail.
- 21. Install new concrete access walk. Refer to detail.
- 22. Install new engineered wood fiber playground surfacing. EWF material to be provided by the Owner, soil separator fabric to be provided by the Contractor. Prepare playground sub-grade to provide positive slope to playground under-drainage system. Surfacing installation shall comply with current applicable standards established by ASTM and CPSC. Refer to detail.
- 23. Provide new in ground bench. Follow manufacturer's installation instructions. Refer to detail.
- 24. Existing shelter to be refurbished, by Others.
- 25. Refurbish existing basketball court. Crack fill, seal coat, and install new full court striping. Install two new basketball outfits. Refer to detail.

#### Playground Equipment List

Manufacturer

GameTime

Landscape Structures

- Key Equipment Name A. Flywheel Spinner
- B. 5-12 Year Old Play Structure Landscape Structures
- C. Tire Swing (2 Bay)
  - Landscape Structures
- D. 2-5 Year Old Play Structure Landscape Structures
- E. Challenge Course

Playground equipment will be furnished by the Owner in spring, 2020. Contractor to plan installation of equipment at that time.

Refer to the project manual for the playground equipment quotes.

Contact Kevin Driscoll with NuToys Leisure Products at 708-579-9055 for Landscape Structures equipment information.

Contact Doug Oberbroeckling with Cunningham Recreation at 815-355-9225 for GameTime equipment information.





WASHINGTON

PARK

- SHEET TITLE:
- PLAYGROUND CONSTRUCTION PLAN
- SHEET NUMBER:

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Do not heavily prune tree at planting. Prune only crossover limbs, codominant leaders, and broken or dead branches. Some interior twigs and lateral branches may be pruned; however, do not remove the terminal buds of these branches that extend to the edge of the crown.

- Set top of root-ball flush to grade or 1"-2" higher in slowly draining soils. Each tree must be planted such that the trunk flare is visible at the top of the root-ball; trees where the trunk flare is not visible will be rejected. Do not cover the top of root-ball with soil. Do not cover trunk flare with mulch.

 2-3" deep shredded hardwood bark mulch ring. Minimum mulch ring to be 8' diameter. No mulch in contact with tree trunk.

-4" High earth saucer beyond edge of root-ball, within or beyond the edge of excavated soil.

Remove and discard off-site: all twine, all rope, and burlap from top half of root-ball (i.e. cut off and remove burlap from top half of root-ball). If plant is shipped with a wire basket around root-ball completely remove wire.

#### Tree Planting Detail

#### Plant List

Symbol	Plant Name	Size	Quantity
SHADE TREES			
ARF	<i>Acer rubrum 'Frank Jr.'</i> Redpointe Maple	2-1/2"	4
GB	<i>Gingko biloba 'Autumn Gold'</i> Autumn Gold Maidenhair Tree Gingko	2-1/2"	6
QB	<i>Quercus bicolor</i> Swamp White Oak	2-1/2"	4
UAN	<i>Ulmus americana 'New Harmony'</i> New Harmony Elm	2-1/2"	5

## Planting Key



Existing Trees to Remain

Proposed Shade Tree

Relocated Shade Tree



### Notes

General Notes

- Tree relocation is to be included in the base bid.
- New tree installation is to be bid as an alternate. Installation is to include excavation, mulch, soil, and all other materials.
- All trees are to have a one-year replacement guarantee upon final acceptance. Contractor to water all trees and shrubs as needed up to and for a period of no less than one month after final planting. Tree water bags are preferred means of watering trees during this period being refilled as needed during dry periods and after initial water after planting.
- The Contractor is responsible for all site restoration. All disturbed areas and areas damaged during construction shall be repaired. Refer to the civil engineering plans and project specifications.

## ROCKFORD Park DISTRICT 401 SOUTH MAIN STREET ROCKFORD, ILLINOIS 61101 815-987-8800 ROCKFORDPARKDISTRICT.ORG PROJECT DATA Washington Park New Park Construction 3617 Delaware Street Rockford, IL 61102 NORTH 0 10 20 SCALE: 1" = 20'-0" BASE INFORMATION PROVIDED BY: ARC Design Resources ISSUE # DATE DESCRIPTION 1 | 08/06/19 | RPD Review SHEET TITLE: LANDSCAPE PLAN SHEET NUMBER: L-2

WASHINGTON

PARK

