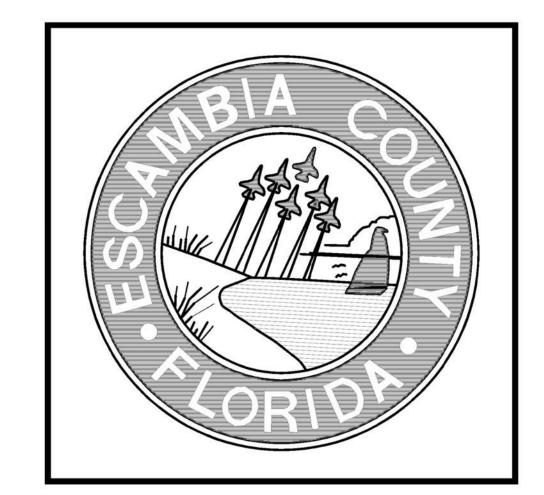
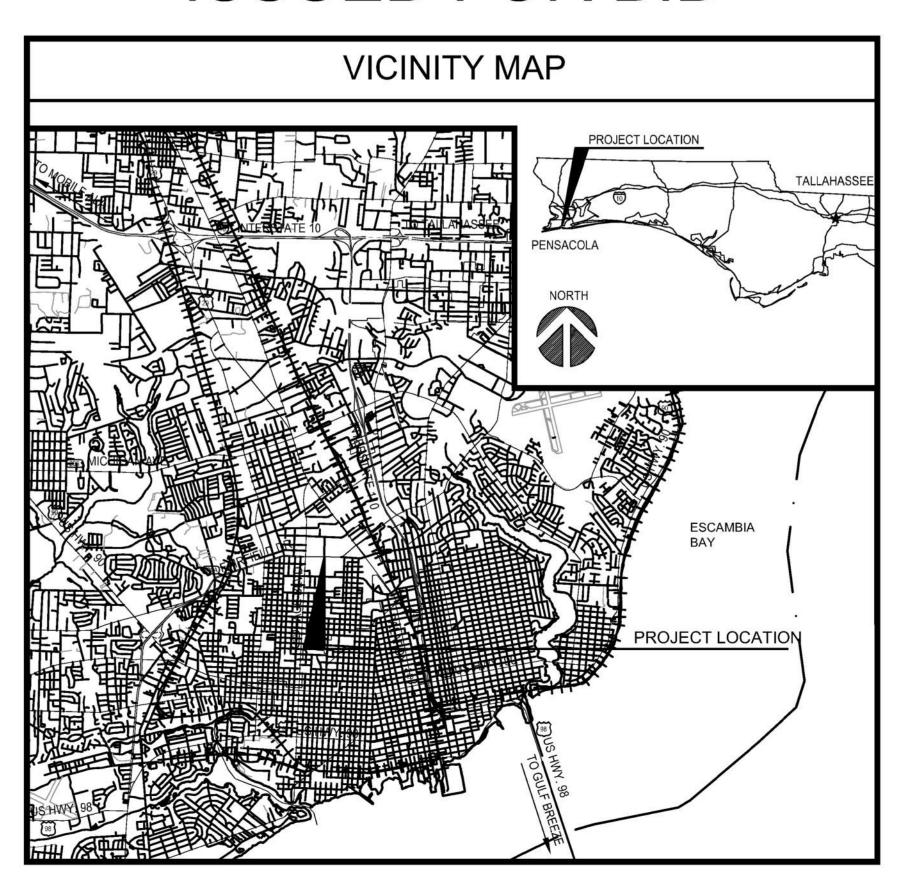
DEMOLITION OF THE CENTRAL BOOKING FACILITY

1700 WEST LEONARD STREET PENSACOLA, FLORIDA 32501

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ISSUED FOR BID



M MOTT **MACDONALD**

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SHEET

HEET NUMBER:

D0.0

ESCAMBIA COUNTY COMMISSIONERS

DISTRICT 1

Jeff Bergosh (CHAIRMAN)

DISTRICT 2

Doug Underhill

DISTRICT 3

Lumon May (VICE CHAIRMAN)

DISTRICT 4

Grover C. Robinson

DISTRICT 5

Steven Barry

I. GENERAL NOTES

- 1. THE CONTRACTOR SHALL FURNISH ALL EQUIPMENT AS REQUIRED TO ACCOMPLISH THE SPECIFIED WORK.
- 2. THE CONTRACTOR IS ADVISED NOT TO SCALE FROM DRAWINGS BUT TO FIELD VERIFY ALL DIMENSIONS.
- 3. ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE "FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2016 EDITION," HEREINAFTER REFERRED TO AS FDOT SPECS.
- 4. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND OWNER. ANY DEVIATIONS MAY RESULT IN DELAYS IN OWNER ACCEPTANCE OF THE PROJECT.
- 5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF ALL GOVERNING AUTHORITIES.
- 6. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION PROVIDED BY HISTORICAL DOCUMENTS AND SHALL BE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING DEMOLITION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- 7. THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, SANITARY SEWER, GAS, TELEPHONE, CABLE TELEVISION, AND POWER COMPANIES 10 DAYS IN ADVANCE THAT HE INTENDS TO START WORK IN A SPECIFIC AREA. THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY.
- 8. PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE, SUCH AS BUILDINGS, SEWERS DRAINS, WATER OR GAS PIPES, CONDUITS, CABLES, POLES, WALLS, POSTS, ETC. ARE TO BE CAREFULLY PROTECTED. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO REMOVING ANY OBSTRUCTIONS NOT SPECIFICALLY NOTED ON THE PLANS
- 9. CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL IN ACCORDANCE WITH FDOT STANDARD INDEX 600 (2016 EDITION), FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (JULY 2016 EDITION) AND IN ACCORDANCE WITH ALL ESCAMBIA COUNTY PERMIT REQUIREMENTS.
- 10. THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK, IN ACCORDANCE WITH APPLICABLE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) INDEX, 2009 EDITION.
- 11. DEMOLITION AROUND TREES SPECIFIED TO REMAIN SHALL BE DONE IN A MANNER TO CAUSE MINIMUM DAMAGE TO THE TREE AND ITS ROOT SYSTEM. (SEE TREE BARRICADE DETAIL)
- 12. PRIOR TO BID SUBMISSION CONTRACTOR SHALL VISIT SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS.

16. LOCATIONS OF BUILDINGS OUTSIDE OF THE RIGHT-OF-WAY ARE APPROXIMATE AND HAVE NOT BEEN FIELD LOCATED

- 13. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- 14. CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE LAYOUT OF THE WORK.
- 15. CONTRACTOR TO MAINTAIN ACCESS TO ALL PROPERTIES WITHIN PROJECT AREA AT ALL TIMES.
- II. CONTRACTUAL NOTES
- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL CONSTRUCTION SCHEDULES. ALL COSTS INCURRED BY THE CONTRACTOR FOR THE COORDINATION EFFORTS SHALL BE INCIDENTAL TO EXISTING PAY ITEMS.
- 2. DRAWING GEOMETRY, INCLUDING ALL DIMENSIONS GIVEN, IS APPROXIMATE AND DOES NOT PURPORT TO BE ABSOLUTELY CORRECT. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITIONS WHICH SHALL BE ENCOUNTERED, AND UPON WHICH THEIR BIDS SHALL BE BASED.
- 3. THE CONTRACTOR IS DIRECTED TO PERFORM HIS OWN SITE INSPECTION TO HIS SATISFACTION PRIOR TO BID AND ACQUAINT HIMSELF THOROUGHLY WITH ALL EXISTING FACILITIES AND CONDITIONS AND TO INCLUDE ANY REASONABLE CONTINGENCIES IN HIS BID.
- 4. ANY DAMAGE CAUSED BY THE CONTRACTOR'S OPERATIONS TO EXISTING SITE IMPROVEMENTS SPECIFIED TO REMAIN SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. ACCEPTANCE OF SUCH REPAIRS SHALL BE SUBJECT TO APPROVAL OF THE ENGINEER AND PROPERTY OWNER. FAILURES OF BASE AND SURFACING DUE TO NORMAL USE OF STREET SURFACE SHALL NOT BE CONSIDERED AS DAMAGE.
- 5. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO DEMOLITION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NPDES PERMIT AND SHALL PROVIDE ALL INSPECTIONS NECESSARY TO MAINTAIN COMPLIANCE WITH NPDES.

III. SITE NOTES

- 1. EXISTING UTILITIES AND STRUCTURES WITHIN DEMOLITION LIMITS SHALL REMAIN UNLESS OTHERWISE NOTED.
- 2. CONTRACTOR SHOULD PREVENT DAMAGE TO TREES OUTSIDE OF, BUT WITHIN CLOSE PROXIMITY TO THE PROJECT'S LIMITS OF DEMOLITION. GRADING AROUND TREES DESIGNATED TO REMAIN SHALL BE PERFORMED IN A MANNER THAT SHALL NOT CAUSE ANY DAMAGE TO THE TREES. AT A MINIMUM, WORK AROUND TREES DESIGNATED TO REMAIN SHALL BE PLACED OUTSIDE THE DRIP LINE OF THE TREES.
- 3. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS AT NO ADDITIONAL COST TO THE OWNER.
- 4. ANY EXISTING AREAS WHICH ARE DISTURBED AS A RESULT OF DEMOLITION SHALL BE SHAPED, AS NECESSARY, SO THAT IT SHALL NOT IMPEDE STORMWATER RUNOFF. CONTRACTOR TO INSURE ALL GROUND COVER TO BE FULLY ESTABLISHED PRIOR TO FINAL COMPLETION.
- 5. ALL EXISTING STORMWATER DRAINAGE PATTERNS AND CHANNELS ARE TO BE MAINTAINED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE WORK APPEARS TO INTERRUPT AN EXISTING STORMWATER DRAINAGE PATTERN. THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER DRAINAGE STRUCTURES AND DITCHES DURING ALL PHASES OF CONSTRUCTION AND SHALL USE BEST MANAGEMENT PRACTICES TO MANAGE STORMWATER SUCH THAT IMPACT TO CONSTRUCTION AND/OR SURROUNDING FACILITIES IS MINIMIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION, SEDIMENT TRANSPORT, DISTURBED FOUNDATIONS AND IMPACT TO STRUCTURES, AND ANY OTHER DAMAGE CAUSED DURING CONSTRUCTION.
- 6. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND STRUCTURES, WHICH ARE NOT IN SERVICE AS NECESSARY FOR THE DEMOLITION. THESE INCLUDE PIPES, VALVES, DRAINAGE STRUCTURES, ETC., AS INDICATED ON THE CONTRACT PLANS. CONTRACTOR SHALL NOTIFY THE PROJECT OWNER AND ENGINEER OF ALL DISCOVERED UNDERGROUND STRUCTURES WHICH ARE IN CONFLICT WITH THE PROPOSED DEMOLITION/FINAL GRADES AND WHICH ARE NOT INDICATED ON THE CONTRACT PLANS OR LOCATED IN THE FIELD BY UTILITIES.
- 7. CONTRACTOR SHALL NOTIFY THE COUNTY AND ENGINEER IMMEDIATELY UPON LOCATING ANY UTILITY NOT SHOWN ON THE PLANS. ANY SUCH UTILITY SHALL BE PROTECTED UNTIL AN OFFICIAL DETERMINATION REGARDING THE FACILITY STATUS CAN BE MADE.
- 8. IN THE EVENT THAT HUMAN REMAINS OR INTACT ARCHEOLOGICAL DEPOSITS ARE UNEARTHED DURING GROUND DISTURBING ACTIVITIES THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE ENGINEER AND OWNER. CONTRACTOR SHALL ENSURE THAT THE PROJECT AREA IS SECURED AND THAT NO FURTHER DISTURBANCE OF ARCHEOLOGICAL DEPOSIT OCCURS UNTIL THE DEPOSIT IS EXAMINED BY A QUALIFIED ARCHEOLOGIST.

IV. UTILITY NOTES

- 1. THE CONTRACTOR IS ADVISED THAT EXISTING OVERHEAD AND UNDERGROUND UTILITIES SUCH AS (BUT NOT LIMITED TO) ELECTRICAL LINES AND POLES, TELEPHONE CABLES, TELEVISION CABLES, GAS LINES, WATER LINES, AND SANITARY SEWERS MAY EXIST IN THE PROJECT LIMITS WHERE THE PROPOSED DEMOLITION IS REQUIRED. UTILITY FACILITIES SHOWN ON THE PLANS ARE APPROXIMATE LOCATIONS (NOT SCALEABLE) AND DO NOT INCLUDE ALL SERVICE LOCATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING EXISTING UTILITIES DURING THE PERFORMANCE OF DEMOLITION REQUIRED UNDER THIS CONTRACT. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES, PROBE OR EXPOSE THEM BY HAND EXCAVATION, AND FOLLOW ALL APPLICABLE OSHA REGULATIONS AT NO ADDITIONAL COST TO THE OWNER. FAILURE OF THE PLANS TO SHOW THE EXISTENCE OF ANY UNDERGROUND UTILITIES, STRUCTURES, ETC., SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF LOCATING, PRESERVING & PROTECTING SAID UTILITY OR STRUCTURES.
- 2. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY THE EXECUTION OF WORK UNDER THIS CONTRACT SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER OR INCREASE TO CONTRACT TIME. THE OWNER DOES NOT ASSUME OR IMPLY TO ANY LIABILITY FOR THE LOCATION, PROTECTION, AND/OR REPAIR OF ANY EXISTING UTILITIES THAT MAY OCCUPY JOINT RIGHT-OF-WAY OR OTHERWISE CONFLICT WITH THE DEMOLITION TO BE PERFORMED UNDER THIS CONTRACT.
- 3. THERE SHALL BE NO DIRECT PAYMENT FOR LOCATING, EXPOSING, AND BRACING EXISTING UTILITY LINES WHERE REQUIRED. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN TRENCHING IN AREAS NEAR UTILITIES. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR WORK WHICH MUST BE REDONE DUE TO A CONFLICT IF SUCH NOTICE IS NOT PROVIDED.
- 4. ANY OPEN EXCAVATION NEAR A RESIDENCE OR THE EDGE OF A ROADWAY SHALL BE BACKFILLED OR PROPERLY SECURED WITH BARRICADES AND/OR FLASHING LIGHTS. IN ADDITION, THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK, IN ACCORDANCE WITH APPLICABLE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) INDEX, 2009 EDITION.
- 5. PROVIDE MATTING OVER ALL BURIED PIPELINES SPECIFIED TO REMAIN TO PROTECT UTILITIES FROM CONSTRUCTION TRAFFIC.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE TOP ELEVATION OF ALL WATER VALVE BOXES, MANHOLES, AND INLETS SPECIFIED TO REMAIN AS REQUIRED TO MATCH NEW GRADES (TO A TOLERANCE OF ½" + FROM FINISHED GRADE).
- THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT & PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY. CONTRACTOR TO COORDINATE WITH RESPONSIBLE UTILITY FOR PROTECTION/HOLDING OF UTILITY POLES, GUY WIRES, AND GUY ANCHORS IN AREAS OF CONSTRUCTION.

- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UTILIZING ACCEPTABLE MEANS AND METHODS, AS NECESSARY TO EXCAVATE AND/OR BACKFILL TO FINISHED GRADE IN A WATER FREE EXCAVATION. THE MEANS AND METHODS OF DEWATERING THE EXCAVATION SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE (INCLUDING FDEP CHAPTER 62-621 "GENERAL PERMIT FOR THE DISCHARGE OF PRODUCED GROUND WATER FROM ANY NON-CONTAMINATED SITE ACTIVITY").
- 8. GAS SERVICE LINES ARE NOT SHOWN ON THE PLANS. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO LOCATE, SUPPORT AND PROTECT GAS SERVICES.

 9. THERE ARE LIKELY ADDITIONAL WATER AND SEWER SERVICES THAT ARE NOT SHOWN ON THE PLANS. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO
- 9. THERE ARE LIKELY ADDITIONAL WATER AND SEWER SERVICES THAT ARE NOT SHOWN ON THE PLANS. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO LOCATE, SUPPORT AND PROTECT ALL SERVICE LINES.
- 10. EXISTING WATER AND SEWER SERVICES DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/REPAIRED IN ACCORDANCE WITH DETAILS SHOWN ON THE PLANS AND ECUA REQUIREMENTS.

V. REGULATORY AND PERMITTING REQUIREMENTS:

- 1. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY 'AS-BUILT' RECORD DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING FINAL INSPECTION, OR PROVIDE 'AS-BUILT' CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE 'AS-BUILT' CERTIFICATION OR THE 'AS-BUILT' RECORD DRAWINGS MUST BE SIGNED, SEALED & DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- 2. FOR PROJECTS WITH CONSTRUCTION ACTIVITIES THAT DISTURB > 1 ACRE, OR IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE THAT WILL DISTURB > 1 ACRE AND STORMWATER DISCHARGE IS TO THE SURFACE WATER OF THE STATE OR TO A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4), A NPDES PERMIT IS REQUIRED. CONTRACTOR SHALL OBTAIN THE NECESSARY NPDES PERMIT AND SHALL PROVIDE ENGINEER AND OWNER WITH A COPY OF "NOTICE OF INTENT" SUBMITTED TO FDEP PRIOR TO COMMENCEMENT OF DEMOLITION.
- 3. TO COMPLY WITH NPDES REQUIREMENTS, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/4" RAINFALL EVENT OR AT LEAST WEEKLY.
 THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER RECORDING TO FDEP.
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR & COMPLY WITH ANY TESTING REQUIRED BY THE LOCAL GOVERNING AGENCY IN ADDITION TO THE TESTING REQUIREMENTS OUTLINED IN THE SPECIFICATIONS.
- 5. THE DEVELOPER/CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATIONS
- 6. CONTRACTOR / SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- 7. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHALL SHOW 'AS-BUILT' CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF PONDS, OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.

VI. EROSION CONTROL NOTES

- 1. SEDIMENT & EROSION CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AREAS OF OFF-SITE DISCHARGE DURING CONSTRUCTION SHALL BE PROTECTED WITH A SEDIMENT BARRIER TO PREVENT OFF-SITE DISCHARGE OF SEDIMENTS. TEMPORARY SEED & MULCH SHOULD BE USED TO CONTROL ON-SITE EROSION WHEN IT IS NOT PRACTICAL TO ESTABLISH PERMANENT VEGETATION. PERMANENT VEGETATION SHALL BE PLACED AS EARLY AS POSSIBLE ON ALL SLOPES STEEPER THAN 5-FOOT HORIZONTAL TO 1-FOOT VERTICAL. SOD SHALL BE PINNED AS REQUIRED. ALL EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED IN WORKING ORDER THROUGHOUT THE CONSTRUCTION PHASE.
- 2. PRIOR TO CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PREPARE A DETAILED AND COMPREHENSIVE EROSION AND SILTATION CONTROL PLAN THAT COVERS ALL PHASES OF CONSTRUCTION OF THE PROJECT.
- 3. SLOPE PROTECTION ANY DISTURBED OR REWORKED SLOPES SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF TEMPORARY SLOPE DRAINS, TEMPORARY GRASSING, SODDING, OR EROSION CONTROL MATS UNTIL PERMANENTLY STABILIZED.
- 4. STRAW BALES THESE SHALL BE PLACED AT THE BASE OF ANY SLOPE WHERE A RAINFALL EVENT COULD ERODE A SLOPE AND TRANSPORT SEDIMENTS. BALES SHOULD BE DOUBLE STAKED IN ACCORDANCE WITH STANDARD INDICES. IF EROSION DEPOSITS REACH ½ THE EXPOSED HEIGHT OF EXISTING BALES, THEN SEDIMENTS SHOULD BE REMOVED. ANY DAMAGED OR INEFFECTIVE BALES ARE TO BE REPLACED WITH NEW ONES.
- 5. STOCKPILED MATERIALS THIS MATERIAL SHALL NOT BE LEFT IN EROSION PRONE AREAS UNLESS PROTECTED BY COVER OR HAY BALES.
- 6. THE CONTRACTOR SHALL USE SEDIMENT AND EROSION CONTROL MEANS/DEVICES INCLUDING BUT NOT LIMITED TO HAY BALES AND SILT FENCES TO PREVENT EROSION AND SEDIMENT TRANSPORT OUTSIDE THE LIMITS OF CONSTRUCTION.
- 7. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER & MULCH, HYDROSEED AND/OR SOD, UNLESS OTHERWISE INDICATED. SODDING OR SEED AND MULCH SHALL BE PLACED, WATERED, FERTILIZED WITH APPROPRIATE SOIL AMENDMENTS IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.
- 8. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
- 9. CONTROL OF SEDIMENTATION & EROSION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- 10. AREAS TO BE SODDED SHALL COMPLY WITH SECTION 575 OF THE FDOT SPECS, 2015 EDITION. SOD SHALL BE HELD IN PLACE WITH PEGS DRIVEN INTO THE GROUND WHEN PLACED ON SLOPES EXCEEDING 4:1(HORIZONTAL/VERTICAL).
- 11. ON SITES GREATER THAN 1 ACRE, IF GREATER THAN 1 CONTIGUOUS ACRE IS CLEARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THAT PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION SHALL NOT BE LINDERTAKEN WITHIN 90 CALENDAR DAYS
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND COMPLY WITH A STORM WATER POLLUTION PREVENTION PLAN. THE CONTRACTOR SHALL ENSURE THAT EROSION CONTROL IS INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT AND UNTIL FINAL PROJECT SITE STABILIZATION IS ESTABLISHED. THE CONTRACTOR SHALL INSURE THAT EROSION CONTROL IS IMPLEMENTED AND MAINTAINED FOR ALL WETLANDS, DITCHES, STEEP SLOPES, STORM WATER INLETS AND OTHER ENVIRONMENTAL AND AESTHETIC AREAS ADJACENT TO THE PROJECT. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATIONS.
- 13. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
- 14. ALL DISTURBED AREAS SHALL BE SODDED.
- 15. SEE EROSION CONTROL DETAIL SHEETS FOR ADDITIONAL EROSION AND DUST CONTROL REQUIREMENTS.

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FACILITY DEMOLITION

ESCAMBIA COUNTY, FLORIDA

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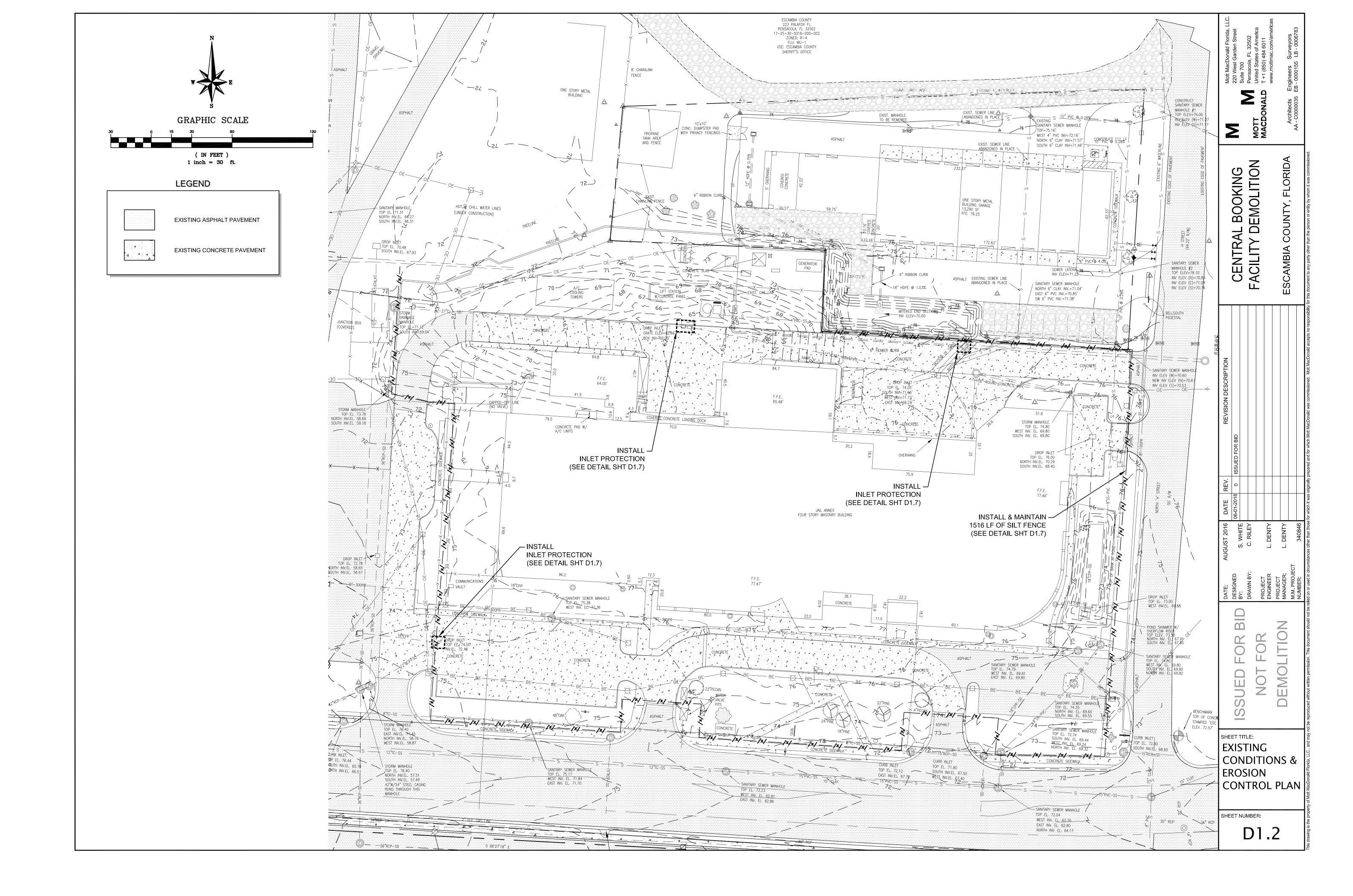
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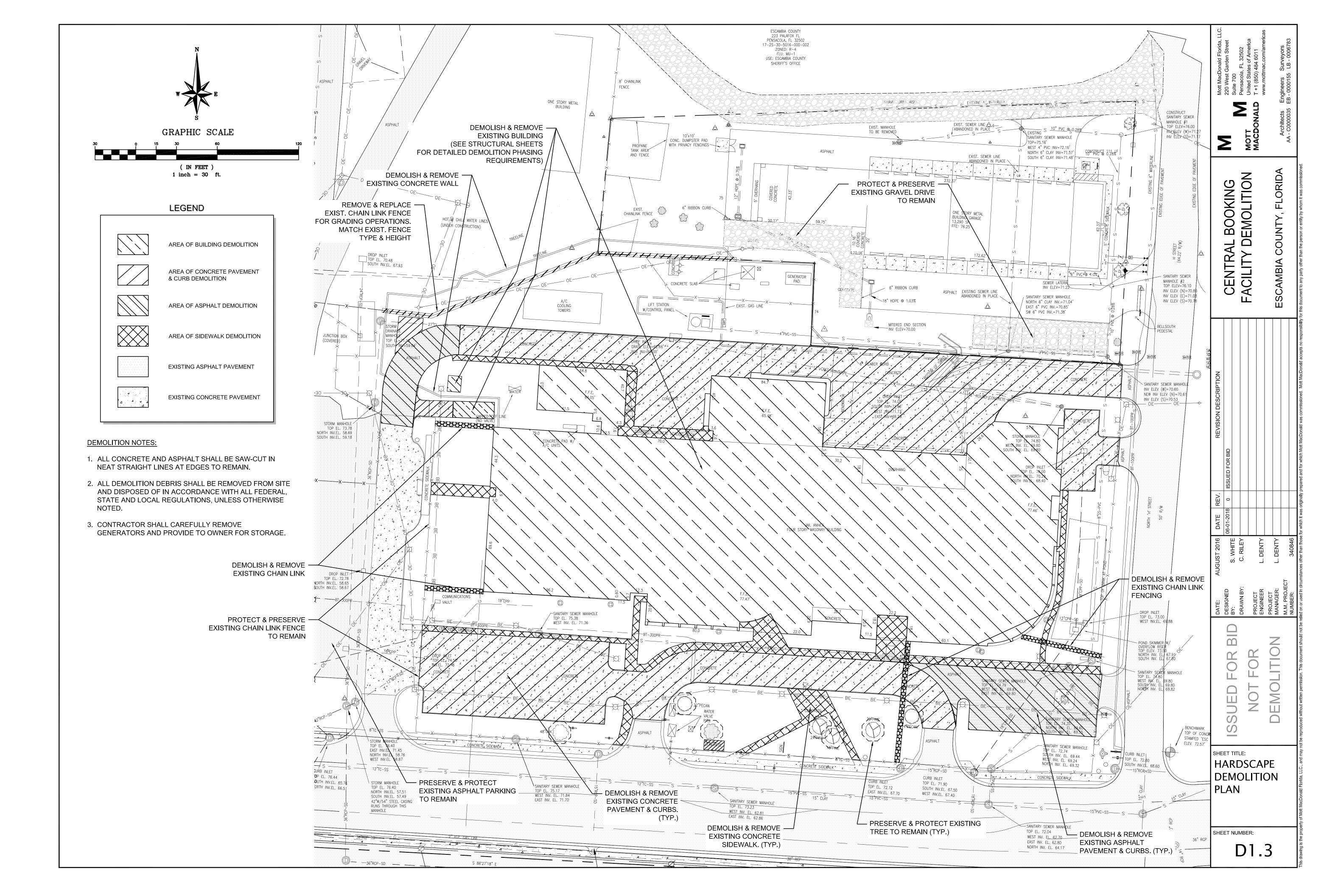
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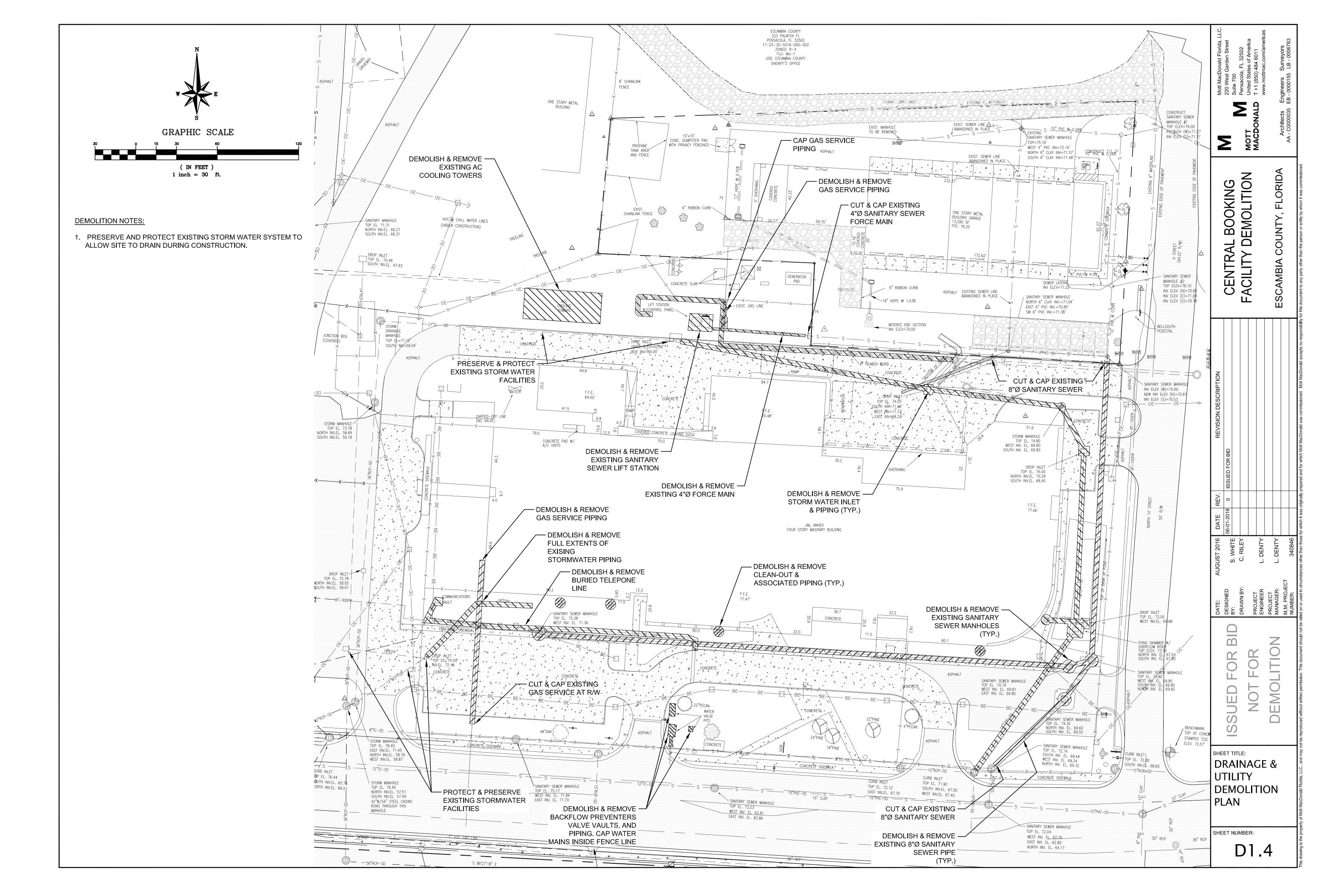
GENERAL NOTES

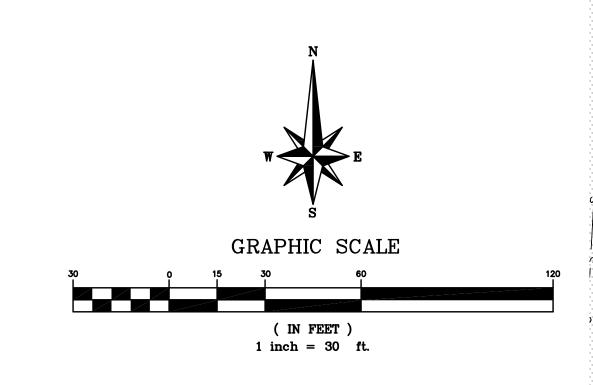
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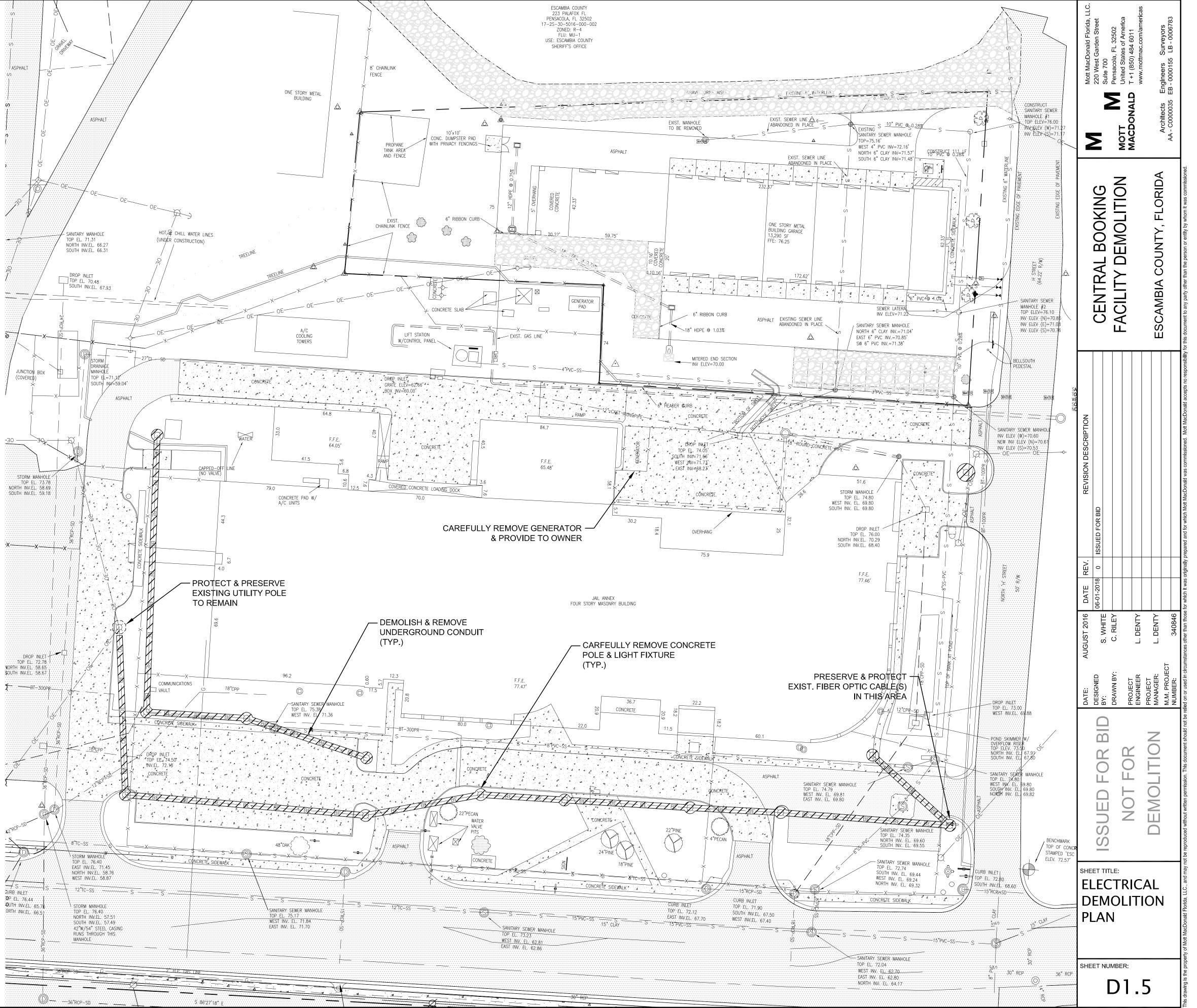


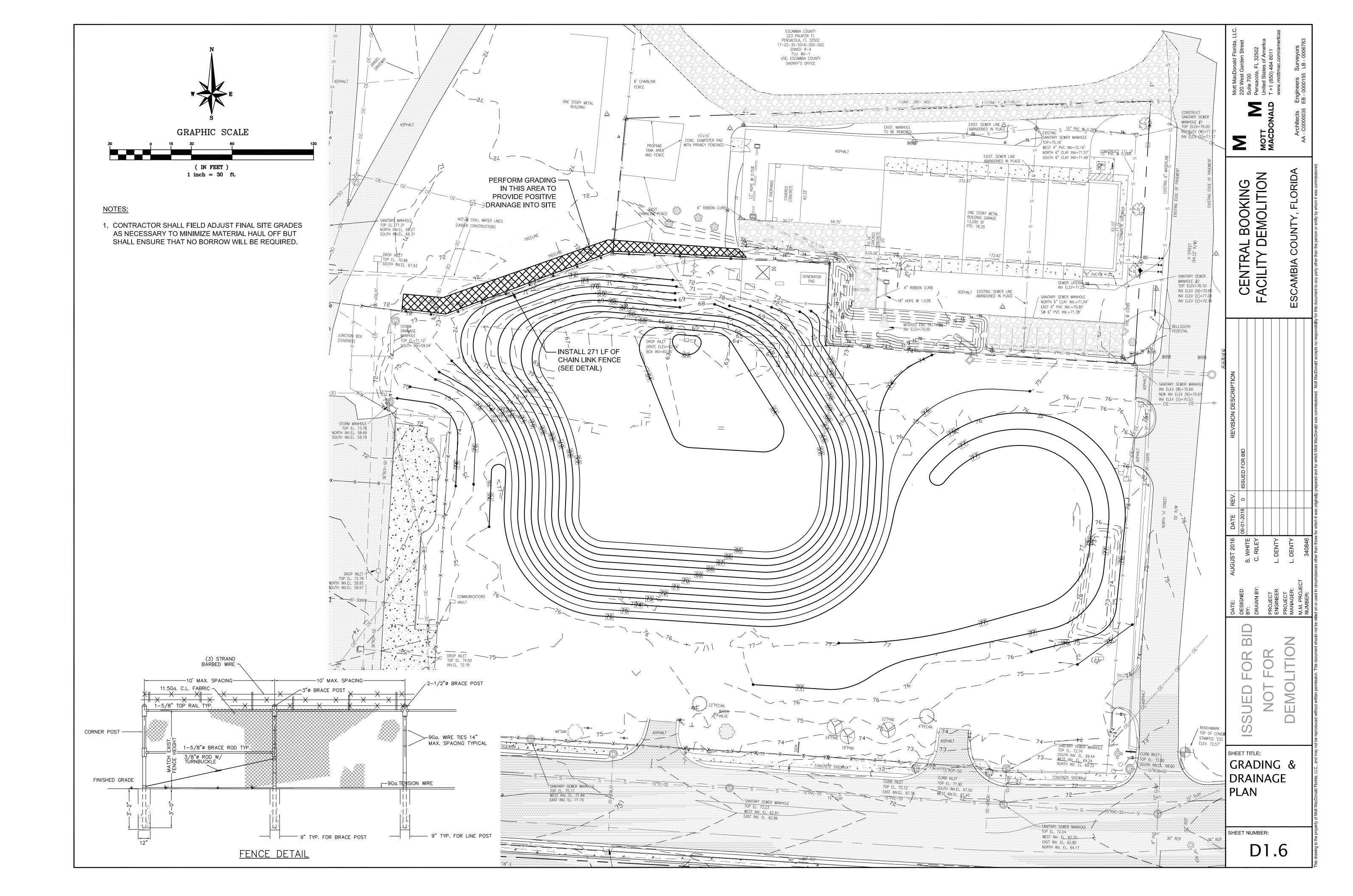




DEMOLITION NOTES:

- 1. ALL LS1 & LS2 LIGHT FIXTURES & CONCRETE POLES SHALL BE CAREFULLY REMOVED & RETURED TO THE OWNER FOR ITS USE.
- 2. EMERGENCY GENERATOR EQUIPMENT SHALL BE CAREFULLY REMOVED & RETURNED TO THE OWNER FOR ITS USE.





GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL

- 1. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- 2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- 3. PERMANENT VEGETATION TO BE SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
- 4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, SECTIONS 104, 570, 575 AND 980
- *5. A BITUMINOUS CONCRETE BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE BITUMINOUS CONCRETE BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
- *6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL, ACCORDING TO STATE STANDARDS.
- *7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
- 8. UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.
- 9. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
- 10. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
- 11. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).
- 12. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
- *13. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM SILTATION PROTECTION OF EACH STREAM CROSSING PRIOR TO EXCAVATING THE STREAM BED. PLAN SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL. THE ENGINEER SHALL BE NOTIFIED FOR INSPECTION PRIOR TO EACH STREAM CROSSING CONSTRUCTION.
- 14. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.) SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
- * WHERE APPLICABLE

TEMPORARY SEEDING DETAILS

<u>SEED BED PREPARATION</u> SOIL TO BE THOROUGHLY PULVERIZED BY DISK—HARROWING AND BE LOOSE, SMOOTH AND RAKED FREE OF CONSTRUCTION DEBRIS, ROOTS, ROOT BALLS, STUMPS, ROCKS & EARTH CLUMPS. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS./ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE DIRECTED BY ENGINEER.

CONSISTING OF ANNUAL RYE (LOLIUM MULTIFLORUM) AT A RATE OF 174 LBS/ACRE.

SODDING

SOD SHALL BE WELL ROOT MATTED CENTIPEDE OR BAHIA GRASS COMMERCIALLY CUT TO A MINIMUM DIMENSION OF 12" x 24" A MAXIMUM OF 72 HOURS PRIOR TO PLACEMENT. SOD SHALL BE LIVE, FRESH AND UNINJURED, REASONABLY FREE OF WEEDS AND OTHER GRASSES, WITH A HEAVY SOIL MAT ADHERING TO THE ROOT SYSTEM. SOD SHALL BE GROWN, CUT, AND SUPPLIED BY A STATE CERTIFIED GROWER.

TRAFFIC CONTROL STANDARDS

- 1. CONSTRUCTION TRAFFIC SHALL BE RESTRICTED TO ONSITE ACCESS BY MEANS SO DESIGNATED BY THE ENGINEER, POLICE/SHERIFF DEPARTMENT, ESCAMBIA COUNTY HIGHWAY DEPARTMENT, AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.
- 2. TRAFFIC DURING WET WEATHER SHALL BE MINIMIZED AND APPROPRIATE ROADWAY AND SITE CLEAN-UP SHALL BE PROVIDED BY THE CONTRACTOR AS SOON AS WEATHER CONDITIONS PERMIT.

TREE PROTECTION (SEE PROJECT MANUAL FOR DETAILS)

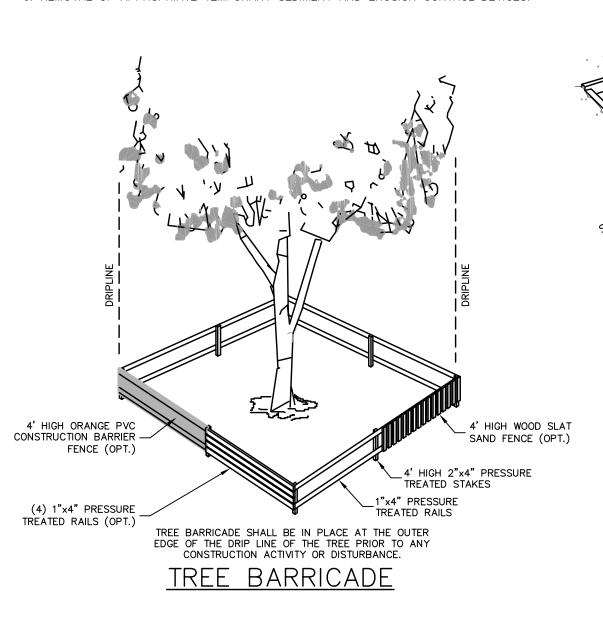
- 1. DAMAGED TRUNKS SHALL BE NEATLY TRIMMED BACK TO UNDAMAGED BARK.
- 2. CONFLICTED OR DAMAGED TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH.
- 3. EXPOSED ROOTS SHALL BE KEPT MOIST BY WET BURLAP, WATER SPRAY OR OTHER APPROVED MEANS UNTIL BACKFILL COMPLETE. TORN OR DAMAGED ROOTS GREATER THAN TWO INCHES (2") DIAMETER SHALL BE CUT/SAWN AT THE LIMIT OF AN UNDAMAGED ROOT.

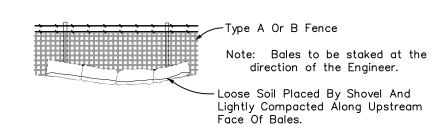
DUST CONTROL

- 1. ALL AREAS OF CLEARING AND EMBANKMENT AS WELL AS CONSTRUCTION HAUL ROADS SHALL BE TREATED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE ANY DUST GENERATION.
- 2. DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF PERMANENT VEGETATION COVER.
- 3. IN EVENT OF EMERGENCY CONDITIONS, TILLAGE WILL BE SATISFACTORY FREE BEFORE SOIL BLOWING STARTS.
- 4. CALCIUM CHLORIDE MAY BE APPLIED TO UNPAVED ROADWAY AREAS, ONLY, SUBJECT TO THE ENGINEER'S APPROVAL AND CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS, SECTION

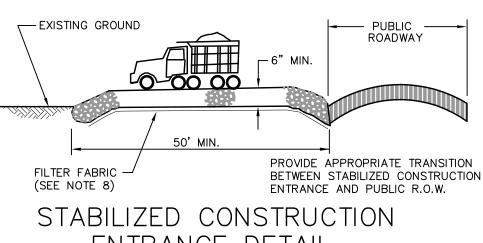
PROPOSED SEQUENCE OF CONSTRUCTION

- CONSTRUCTION SHOULD PROCEED IN THE FOLLOWING MANNER:
- 1. INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.
- 2. CLEAR AND REMOVE ALL EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. ALL REMAINING VEGETATION TO BE PROPERLY PROTECTED AND TO REMAIN IN ITS NATURAL
- 3. IMMEDIATE INSTALLATION OF ALL REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
- 4. INITIATE DEMOLITION. PERFORM GRADING OPERATIONS.
- 5. UPON COMPLETION OF CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE, AND STABILIZE WITH SOD.
- 6. REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.





BALES BACKED BY FENCE



ENTRANCE DETAIL

DESCRIPTION:
FILTER BAGS WILL BE USED AS AN EFFECTIVE FILTER MEDIUM TO CONTAIN

SAND, SILT AND FINES WHEN TRENCH DEWATERING. THE WETLAND FILTER

BAG CONTAINS THESE MATERIALS WHILE ALLOWING THE WATER TO FLOW

WETLAND FILTER BAGS MAY REPLACE HAY BALE CORRALS DURING TRENCH DEWATERING, AT THE DISCRETION OF THE ENGINEER INSPECTOR. TO

FLAT TERRAIN FREE OF BRUSH AND STUMPS TO AVOID RUPTURES AND

PUNCTURES. PROPER INSTALLATION REQUIRES CUTTING A SMALL HOLE IN

HE CORNER OF THE BAG, INSERTING THE PUMP DISCHARGE HOSE, AND

THEN SECURING THE DISCHARGE HOSE TO THE BAG WITH A HOSE CLAMP.

PRIOR TO REMOVING A BAG FROM THE HOSE, THE BAG WILL BE TIED OFF BELOW THE END OF THE HOSE ALLOWING THE BAG TO DRAIN. DRAINAGE

BAGS WILL BE ATTENDED AND PUMPING RATES MONITORED. ONCE THE BAG IS INFLATED TO A HEIGHT OF 4 FEET, PUMPING WILL STOP TO AVOID

RUPTURE. FILTER BAGS USED DURING CONSTRUCTION WILL BE BUNDLED

FILTER BAGS ARE CONSTRUCTED OF NON-WOVEN GEOTEXTILE FABRIC. A

FILTER BAG. BAG CAPACITY WILL BE EXCEEDED BEYOND 2,000 GALLONS

UNATTENDED FILTER BAGS WILL BE ENCIRCLED WITH A HAY BALE OR SILT

FENCE CORRAL. HOSE CLAMPS WILL BE USED TO SECURE THE DISCHARGE

MAXIMUM OF ONE SIX INCH DISCHARGE HOSE WILL BE ALLOWED PER

PER MINUTE. TYPICAL BAG DIMENSIONS ARE 15 FEET BY 13.25 FEET. TO HELP PREVENT PUNCTURES, GEOTEXTILE FABRIC WILL BE PLACED BENEATH THE FILTER BAG WHEN USED IN WOODED LOCATIONS.

WILL NOT BE ALLOWED THROUGH THE INLET HOLE. TO AVOID RUPTURE, THE

FILTER BAGS WILL BE PLACED AS FAR AWAY FROM FLOWING STREAMS AND

NSURE PROPER INSTALLATION, FILTER BAGS WILL BE PLACED ON RELATIVELY

THROUGH THE FABRIC

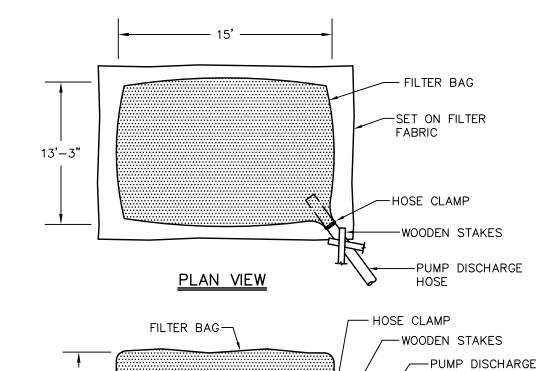
WETLANDS AS POSSIBLE.

AND REMOVED FOR PROPER DISPOSAL.

HOSE. WIRE OR STRING WILL NOT BE USED.

MAINTENANCE:

SPECIFICATION:



As Required-

Anchor Bales With

Stakes Per Bale.

ELEVATION

NATURAL GROUND SLOPES TOWARD THE TOE OF SLOPE

Loose Soil Placed By

Shovel And Lightly

Fill Slope

—Compacted Along The Upstream Edge Of Bales.

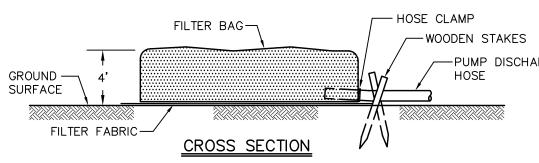
TO BE USED AT SELECTED SITES WHERE THE

ELEVATION

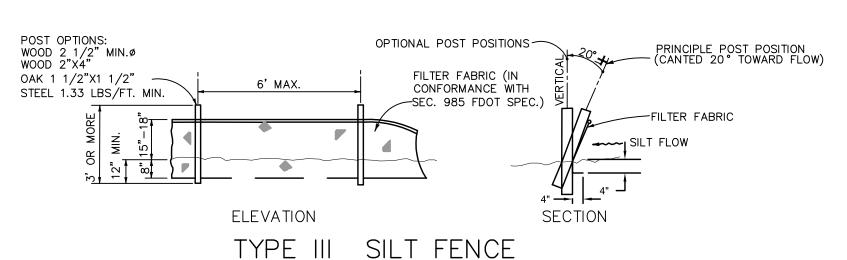
NATURAL GROUND SLOPES AWAY FROM THE TOE OF SLOPE

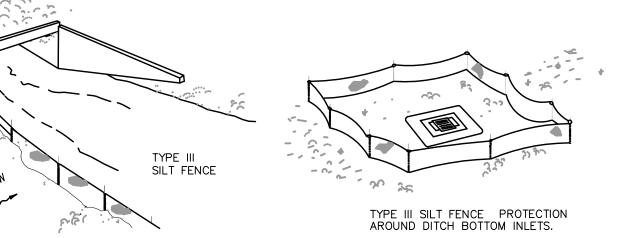
TO BE USED AT SELECTED SITES WHERE THE

BARRIERS FOR FILL SLOPES



FILTER BAG DETAIL FOR TRENCH DEWATERING OPERATIONS

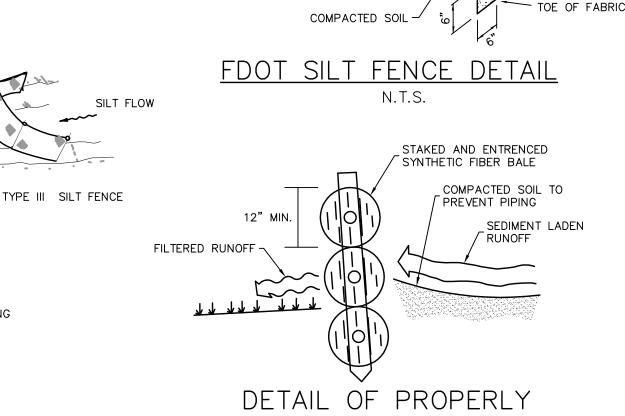




SILT FENCE APPLICATIONS

-50' On Centers (Typ.)

DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.



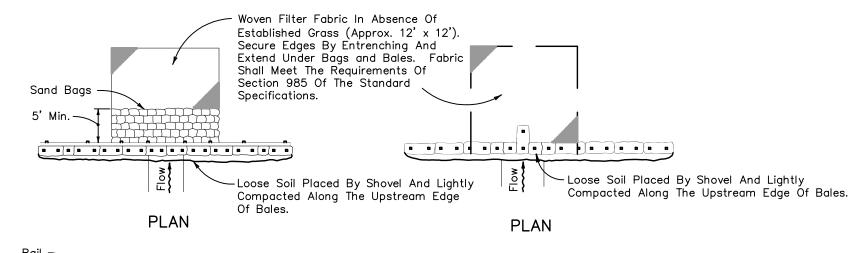
FIRERTEX (OR

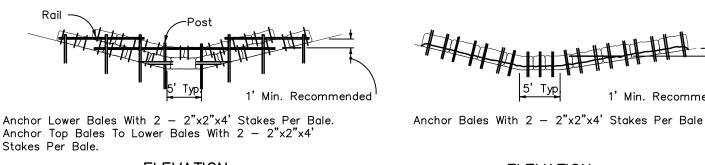
APPROVED EQUAL)

MATERIAL ATTACHED -

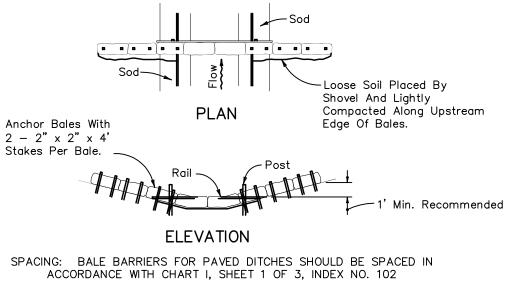
TO WIRE FENCE

INSTALLED SYNTHETIC FIBER BALE

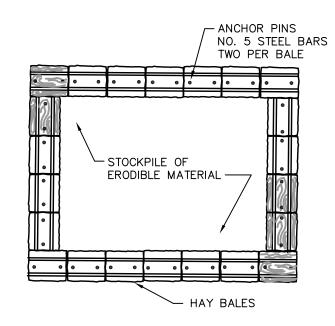




ELEVATION **ELEVATION** APPLICATION AND SPACING: THE USE OF TYPES I & II BALE BARRIERS SHOULD BE LIMITED TO THE CONDITIONS OUTLINED IN CHART I, SHEET 1 OF 3, INDEX NO. 102 TYPE II TYPE I BARRIER FOR UNPAVED DITCHES

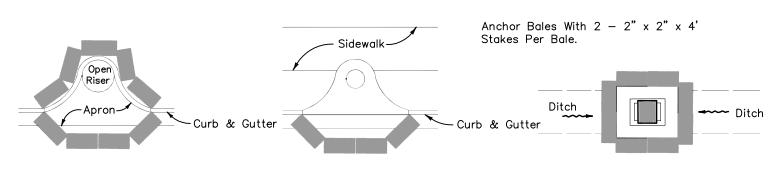






MATERIAL STOCKPILE DETAIL

DITCH BOTTOM INLET



PARTIAL INLET COMPLETED INLET PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

2" x 4" OR 3"Ø TREATED TIMBER

WIRE FENCE

POST @ 6 FT. O.C. (TYP.)

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SHEET TITLE: DETAILS

S

SHEET NUMBER:

D1.7

- COMPLY WITH REQUIREMENTS OF THE FLORIDA BUILDING CODE, OSHA, AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, REGULATIONS, AND LAWS.
- 2. ANY DISCREPANCIES, OMISSIONS, OR VARIATIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS DISCOVERED DURING THE BIDDING PERIOD SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE ARCHITECT / ENGINEER.
- PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE. EACH CONTRACTOR SHALL PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC, EACH CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLECT.
- 4. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY AND DEMOLITION PROCEDURES.
- 5. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO OBTAIN COMPLETE AND SATISFACTORY DEMOLITION OF THE CENTRAL BOOKING AND DETENTION FACILITY.
- 6. ALL WORK SHALL BE PERFORMED BY A FLORIDA CERTIFIED OR REGISTERED GENERAL CONTRACTOR OR SPECIALIZED DEMOLITION CONTRACTOR.

DEMOLITION NOTES:

- CONTRACTOR IS TO BECOME FAMILIAR WITH ALL EXISTING ELEMENTS OF EXISTING BUILDING PRIOR TO COMMENCING DEMOLITION. CONTRACTOR SHALL PREPARE A WRITTEN DEMOLITION PLAN AND SUBMIT TO ENGINEER. PLAN SHALL DETAIL THE METHODOLOGY AND SEQUENCE OF DEMOLITION. ALL WORK SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF THE BUILDING CODE AND HEALTH REGULATIONS. ALL WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO ENSURE JOB SITE & HUMAN SAFETY.
- 2. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO STRICTLY CONTAIN THE DEMOLITION WITHIN THE LIMITS OF THE REQUIRED WORK ZONE AND AVOID ANY DAMAGE TO EXISTING STRUCTURES THAT ARE TO REMAIN.
- ALL ITEMS INDICATED TO BE REMOVED AND SALVAGED SHALL BE STORED IN A SECURE LOCATION AND PROTECTED FROM DETERIORATION AND DAMAGE.
- 4. ANY DAMAGE INCURRED IN EXECUTION OF THIS CONTRACT TO ANY PART OF THE PROPERTY AND/OR STRUCTURE NOT SPECIFICALLY DESIGNATED FOR DEMOLITION SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 5. THE CONTRACTOR SHALL USE METHODS/PROCEDURES DEEMED APPROPRIATE FOR DEMOLITION OF STRUCTURE SHOWN. DEMOLITION BY EXPLOSIVES IS PROHIBITED.
- 6. DEBRIS FROM DEMOLITION AND ITEMS INDICATED TO BE REMOVED SHALL BE REMOVED FROM PROPERTY AND PROPERLY DISPOSED OF BY THE CONTRACTOR
- ALL DEMOLISHED MATERIAL, UNLESS OTHERWISE NOTED, SHALL BE COMPLETELY REMOVED AND DISPOSED OF BY THE CONTRACTOR. THE REMOVAL, HANDLING, AND DISPOSAL OF ALL DEMOLITION MATERIALS SHALL BE IN STRICT ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS
- 8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE MATERIALS TO BE DISPOSED OF AND ALL GOVERNING AGENCY REQUIREMENTS.
- SITE VERIFICATION: PRIOR TO BEGINNING DEMOLITION THE CONTRACTOR SHALL CHECK THE DRAWING AGAINST THE SITE OF THE WORK AND NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES IN DIMENSIONS OR SITE CONDITIONS. THE CONTRACTOR SHALL NOT BEGIN DEMOLITION IN ANY SUCH
- 10. ALL SAFETY REGULATIONS ARE TO BE STRICTLY FOLLOWED. METHODS OF DEMOLITION ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- 11. THE CONTRACTOR SHALL PLACE DEBRIS CONTROL DEVICES, STAGING, AND OTHER DEVICES AS NECESSARY AS TO PREVENT DEBRIS. AND AIR BORNE MATERIALS FROM LEAVING THE WORK ZONE OF THE SITE. WATER SPRAY AND OTHER APPROPRIATE METHODS SHALL BE USED AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN-UP OF ANY MATERIALS DEPOSITED OUTSIDE THE WORK AREA.
- 12. CONTRACTOR SHALL COORDINATE WITH SUNSHINE 811 AND COUNTY TO LOCATE ALL ABOVE AND BELOW GROUND UTILITIES IN THE AREA OF DEMOLITION PRIOR TO COMMENCING.
- 13. CONTRACTOR SHALL COORDINATE SITE ACCESS AND STAGING AREAS WITH COUNTY AND ENGINEER.
- 14. REFER TO EXISTING DRAWINGS FOR SIZES, MATERIAL AND TYPE OF CONSTRUCTION PRIOR TO BIDDING AND DEMOLITION.
- 15. ALL DEBRIS INSIDE EXISTING FENCE SHALL BE REMOVED AND LEGALLY DISPOSED OF.
- 16. NO CONCRETE CRUSHING ALLOWED ON SITE AS BASE BID. SEE DEDUCTIVE ALTERNATE.
- 17. ALL TREES SHALL BE PROTECTED AND REMAIN

ITEMS TO SALVAGE AND PROVIDE TO COUNTY

- CONTRACTOR SHALL LOAD EXISTING GENERATOR ON COUNTY PROVIDED FLATBED.
- TRANSFORMERS TO REMAIN AS IS. PROTECT AT ALL TIMES DURING DEMOLITION
- INMATE PERSONAL BELONGINGS (SEE SEQUENCING)
- CONTRACTOR SHALL HAVE TO ENTER BUILDING TO REMOVE VENDING MACHINES, REFER TO PLAN FOR LOCATION.
- TWO CONEX BOXES LOCATED IN FRONT OF BUILDING SHALL BE LOADED AND MOVED BY THE CONTRACTOR TO THE FOLLOWING ADDRESS 2256 NORTH BAYLEN STREET PENSACOLA, FLORIDA 32501
- CONTRACTOR SHALL MOVE DUMPSTER OUTSIDE OF FENCE FOR COUNTY TO RETURN TO REPUBLIC.

ADJACENT BUILDING MONITORING

- CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING OF ON-SITE, ADJACENT AND SURROUNDING FACILITIES AND STRUCTURES FOR SETTLEMENT AND DAMAGE AS APPLICABLE WITHIN THE LIMITS SPECIFIED HEREIN.
- 2. CONTRACTOR SHALL NOT DEVIATE FROM RECOMMENDATIONS FOR METHODOLOGY OF SUBMITTED
- CONTRACTOR'S RETAINED TESTING AGENCY SHALL OVERSEE AND APPROVE THE IMPLEMENTATION OF THE MONITORING METHODOLOGY AND PROCESSES
- 4. CONTINUOUS MONITORING DURING DEMOLITION SHALL BE PROVIDED. A MINIMUM OF TWO CONTINUOUS MONITORING INSTRUMENTS SHALL BE AFFIXED TO EXISTING STRUCTURES LOCATED WITHIN 1500 FT OF THE WORK AT LOCATIONS SPECIFIED BY TESTING AGENCY. USE OF MONITORING INSTRUMENTS SHALL NOT ALLEVIATE THE RESPONSIBILITY OF CONTRACTOR TO MONITOR ALL STRUCTURES AND FACILITIES DURING DEMOLITION.
- SHOULD ANY MOVEMENT OR DAMAGE BE DETECTED THE CONTRACTOR SHALL CEASE DEMOLITION AND RELATED ACTIVITIES AND IMMEDIATELY NOTIFY THE COUNTY AND ENGINEER. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER FOR APPROVAL METHODS FOR STABILIZATION OF NOTED MOVEMENT BEFORE RESUMING ACTIVITIES.
- EXISTING FACILITIES AND STRUCTURES SHALL BE MAINTAINED BY THE CONTRACTOR DURING DEMOLITION. ALL FACILITIES AND STRUCTURES DAMAGED DURING DEMOLITION SHALL BE RESTORED TO THEIR ORIGINAL DOCUMENTED CONDITION AND TO THE REASONABLE SATISFACTION OF THE AFFECTED PROPERTY OWNER AT THE CONTRACTOR'S SOLE EXPENSE.

EXISTING BUILDING CONDITION:

- 1. THE BUILDING HAS EXTENSIVE STRUCTURAL DAMAGE. ENTRANCE INTO BUILDING SHALL BE LIMITED TO THE ROUTE SHOWN ON SHEET D2.3 FOR REMOVING VENDING MACHINES FROM FIRST FLOOR.
- 2. THE BUILDING HAS BEEN EXPOSED SINCE APRIL 2014. MOLD AND ANIMAL WASTE IS PRESENT. ENTRANCE INTO THE BUILDING SHALL BE LIMITED TO ROUTE SHOWN ON SHEET D2.3 FOR REMOVING VENDING MACHINES FROM FIRST FLOOR.
 - a. APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT (PPE) SHALL BE WORN IN AND AROUND THE BUILDING DURING DEMOLITION AT ALL TIMES.
 - b. CONTRACTOR SHALL PERFORM OWN AIR QUALITY TEST TO DETERMINE APPROPRIATE PPE TO USE. AT A MINIMUM WHEN IN OR DIRECTLY AROUND BUILDING USE FULL FACE RESPIRATORS WITH N, R, OR P100 FILTERS. FILTERS WITH A CHARCOAL LAYER MAY BE USED FOR ODORS. USE NON-VENTED GOGGLES AND PROTECTIVE CLOTHING (E.Q., DISPOSABLE COVERALLS) TO PREVENT CROSS CONTAMINATION AND SKIN CONTACT WITH MOLD AND WASTE.
 - c. PROVIDE PROPOSED PPE TO BE USED IN WRITTEN DEMOLITION PLAN.
 - USE WATER SPRAY AND OTHER APPROPRIATE METHODS TO PREVENT AIR BORNE MATERIALS AND SPORES FROM LEAVING THE WORK ZONE.

HAZARDOUS AND REGULATED MATERIALS:

- 1. TO THE BEST OF OUR KNOWLEDGE, ALL HAZARDOUS AND REGULATED MATERIALS WERE REMOVED FROM BUILDING DURING 1998-1999 RENOVATION FROM UNIVERSITY HOSPITAL TO CENTRAL BOOKING AND DETENTION.
- 2. REFER TO PROJECT MANUAL APPENDIX A FOR HAZARDOUS MATERIAL ABATEMENT REPORTS.
- 3. STOP WORK AND CONTACT ENGINEER IMMEDIATELY IN THE EVENT HAZARDOUS AND REGULATED MATERIALS ARE DISCOVERED.
- 4. IN THE EVENT HAZARDOUS AND REGULATED MATERIALS ARE DISCOVERED DURING DEMOLITION, CONTRACTOR SHALL HANDLE, MANAGE, AND DISPOSE OF PETROLEUM PRODUCTS, HAZARDOUS MATERIALS AND TOXIC WASTE IN ACCORDANCE TO THE REQUIREMENTS AND TO THE SATISFACTION OF GOVERNING LOCAL, STATE, AND FEDERAL AGENCIES.
- COORDINATION WITH FDEP DIVISION OF AIR RESOURCE MANAGEMENT OR LOCAL POLLUTION CONTROL AGENCY IS REQUIRED IN THE EVENT ASBESTOS OR ASBESTOS-CONTAINING MATERIALS ARE DISCOVERED

DEDUCTIVE ALTERNATE:

- 1. PROVIDE DEDUCTIVE ALTERNATE FOR ALLOWING CONCRETE CRUSHING ON SITE. THIS ALTERNATE MAY OR MAY NOT BE ACCEPTED. ACCEPTANCE WILL BE BASED OFF OF POTENTIAL SAVINGS FOR THE COUNTY.
- CONCRETE CRUSHING ON SITE SHALL FOLLOW ALL FEDERAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, REGULATIONS, AND LAWS.
- THE CONTRACTOR SHALL PLACE NOISE CONTROL DEVICES AS NECESSARY TO PREVENT EXCESSIVE NOISE IN ACCORDANCE W / ESCAMBIA COUNTY NOISE ORDINANCE.

EXISTING DOCUMENTS:

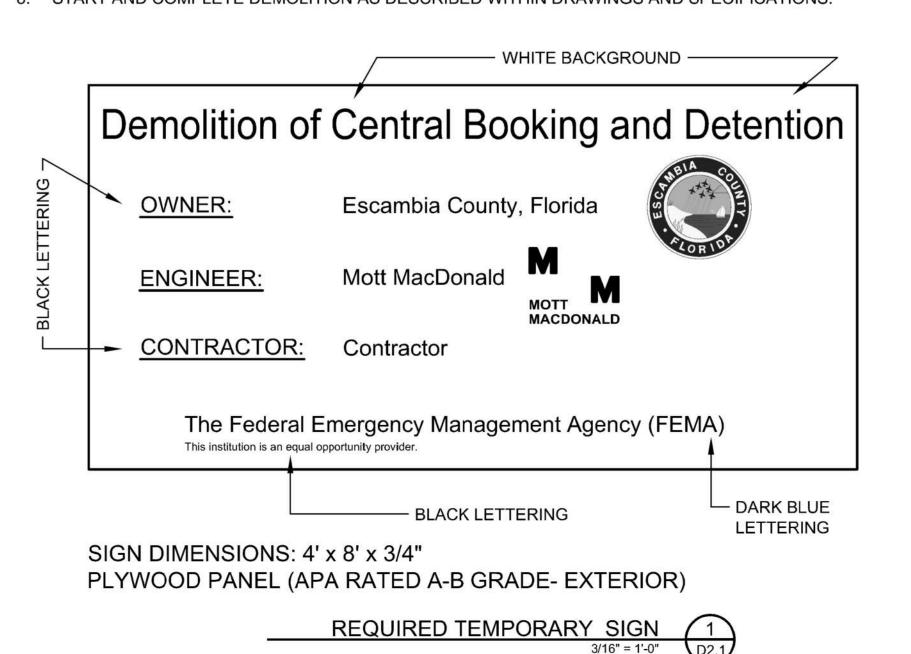
- 1. THE CONTRACTOR SHALL REVIEW AND FAMILIARIZE ITSELF WITH THE FOLLOWING DOCUMENTS:
 - A. PRE AND POST HAZARDOUS MATERIAL ABATEMENT BY AZTEC ENVIRONMENTAL INC. DATED 1998.
- B. EXISTING STRUCTURAL PLANS BY GOMER E. KRAUSE DATED APRIL 28, 1959.
- C. EXISTING ARCHITECTURAL, STRUCTURAL, MEP AND CIVIL DRAWINGS BY VARIOUS CONSULTANTS DATED AUGUST 11, 1998 FOR RENOVATION TO CENTRAL BOOKING AND DETENTION.
- D. EXISTING ARCHITECTURAL, STRUCTURAL, AND MEP FOR INSERT HOUSING ADDITION DATED JULY 12,
- E. EXISTING SECURITY SYSTEM PLANS BY SOUTH WESTERN COMMUNICATIONS INC. DATED 1999.
- F. EXISTING RENOVATION PLANS FOR ARCHITECTURAL AND MEP BY VARIOUS CONSULTANTS, DATED JUNE 10, 2013.
- G. PORTION OF EXISTING CONDITION ASSESSMENT REPORT BY VARIOUS CONSULTANTS DATED JUNE 11

DISPOSAL

- ALL DEBRIS SHALL BE SEPARATED AND DISPOSED OF IN A MANNER CONSISTENT WITH FDEP SOLID WASTE FACILITY DISPOSAL AT PERMITTED FACILITIES GUIDELINES OR AT A DISPOSAL SITE OR LANDFILL AUTHORIZED BY FDEP AND THE LANDFILL SHALL ALSO HAVE AN ESCAMBIA COUNTY SOLID WASTE MANAGEMENT PERMIT IF DISPOSING IN ESCAMBIA COUNTY
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING STAGING AND DISPOSAL OF DEBRIS. FOLLOW THE ABOVE GUIDELINES.
- THE CONTRACTOR SHALL PROVIDE THE FOLLOWING DEBRIS DISPOSAL INFORMATION WITH EACH PAY APPLICATION:
 - A. FACILITY NAME
 - B. ADDRESS OF FACILITY
- C. FDEP PERMIT NUMBER
- D. COUNTY PERMIT NUMBER
- E. LANDFILL TICKET FOR EACH LOAD

SEQUENCING:

- REMOVE ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION OF BUILDING.
- 2. CONTRACTOR SHALL COORDINATE WITH COUNTY PRIOR TO DEMOLITION A TIME FOR SUPERVISED REMOVAL OF INMATE BELONGINGS.
- CONTRACTOR SHALL PROVIDE ACCESS TO INMATE BELONGINGS IDENTIFIED ON SHEET D2.3 PRIOR TO DEMOLITION.
- 4. CONTRACTOR SHALL PROVIDE LABOR AND EQUIPMENT TO MOVE BELONGINGS TO EXISTING SALLY PORT.
- COUNTY TO PROVIDE SUPERVISION AND LABOR TO SORT THROUGH BELONGINGS AT EXISTING SALLY
- 6. SORTED BELONGINGS WILL BE REMOVED FROM THE SITE BY THE COUNTY. DISCARDED BELONGINGS WILL REMAIN ON SITE FOR CONTRACTOR DISPOSAL.
- ALLOW 7 DAYS IN SCHEDULE FOR THIS PROCESS
- START AND COMPLETE DEMOLITION AS DESCRIBED WITHIN DRAWINGS AND SPECIFICATIONS.



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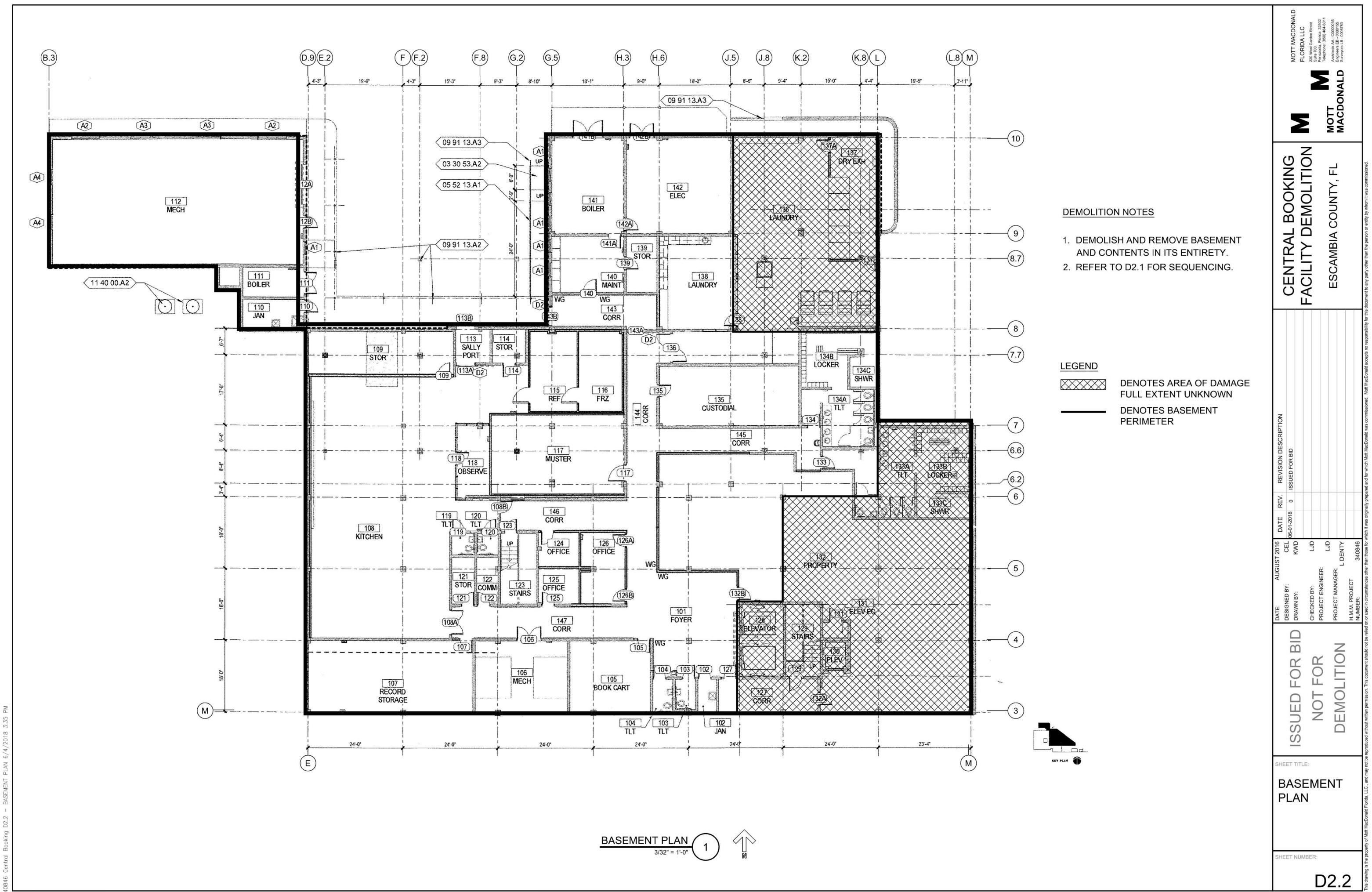
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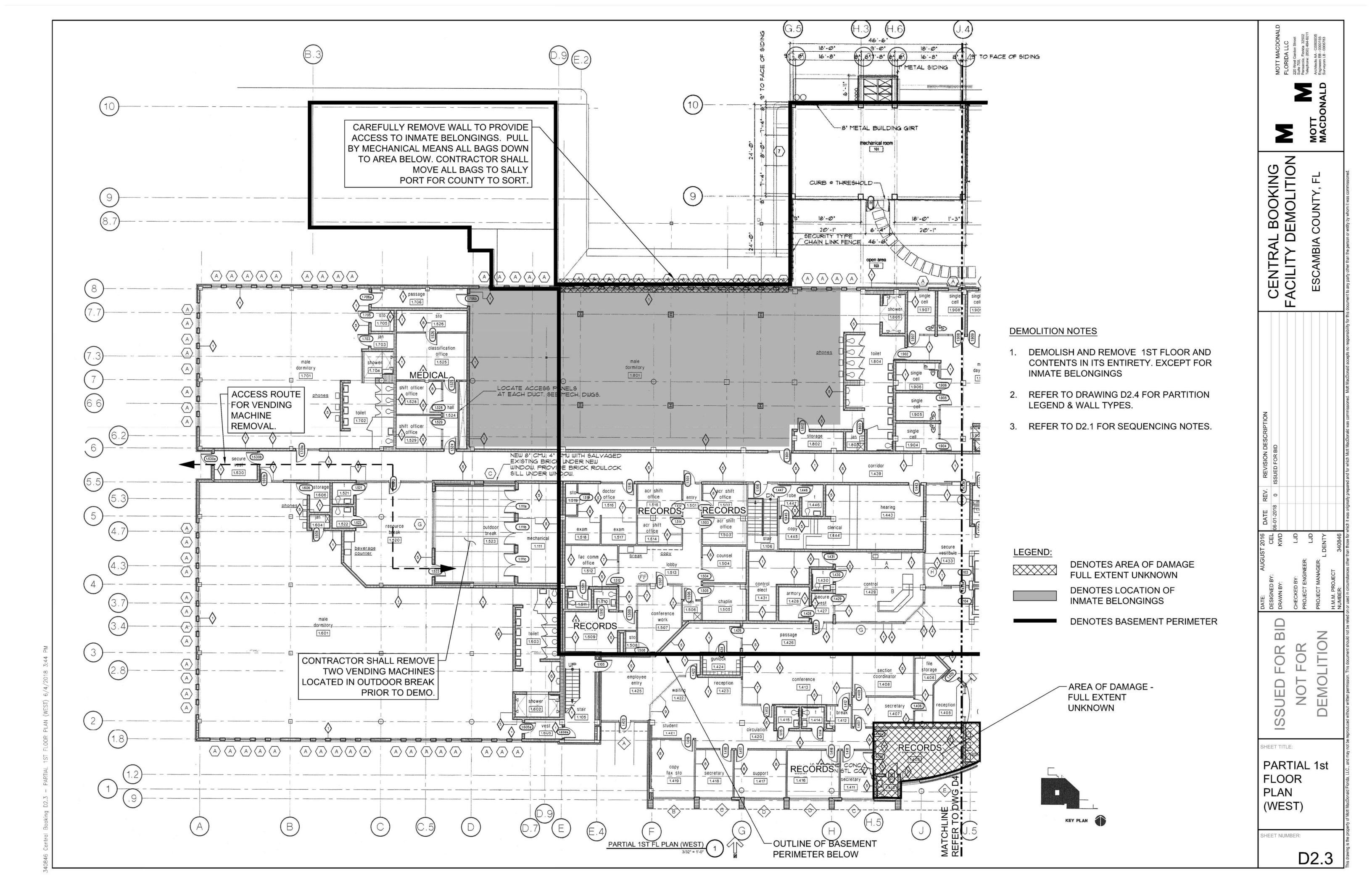
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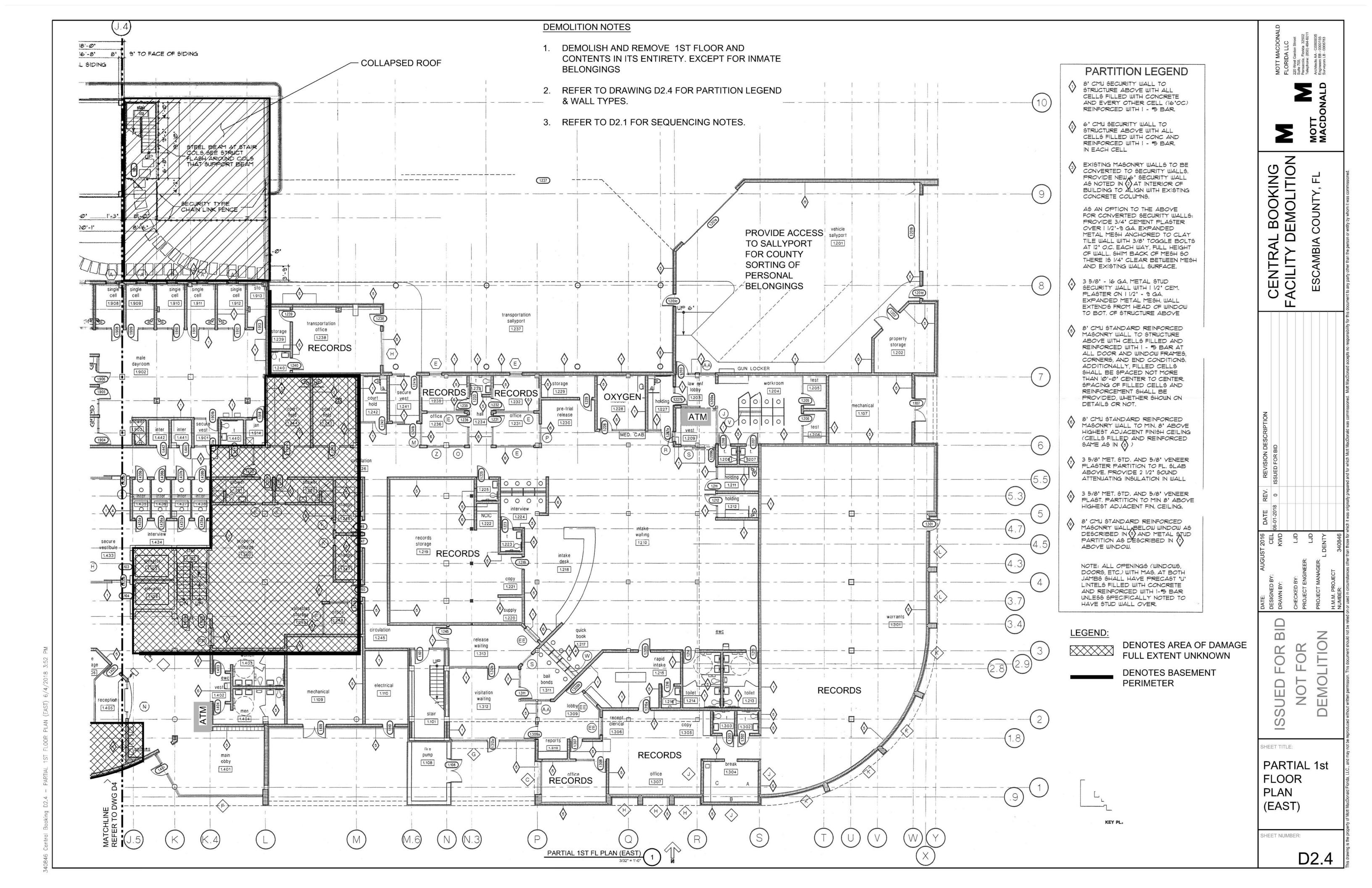
GENERAL NOTES

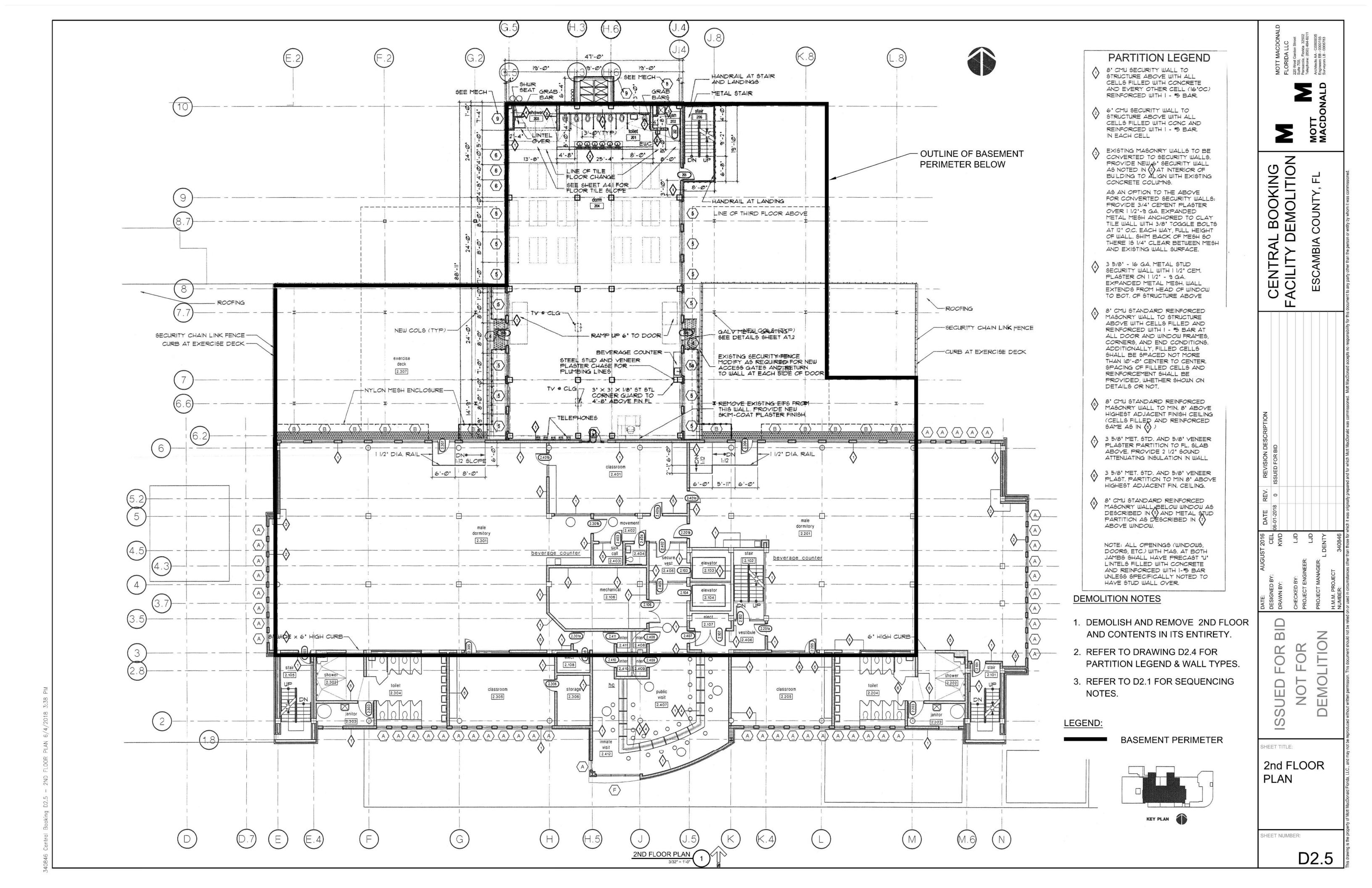
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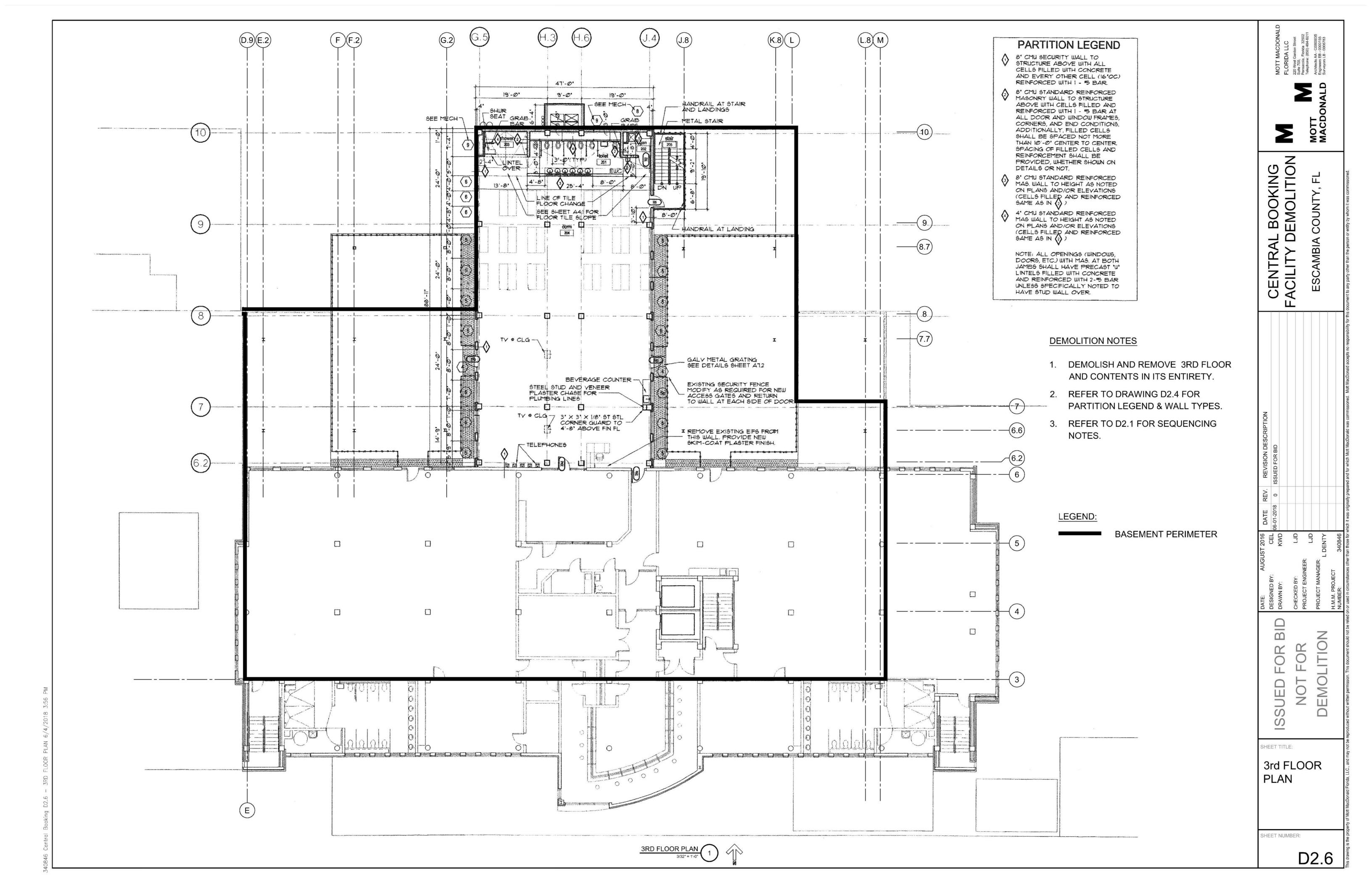
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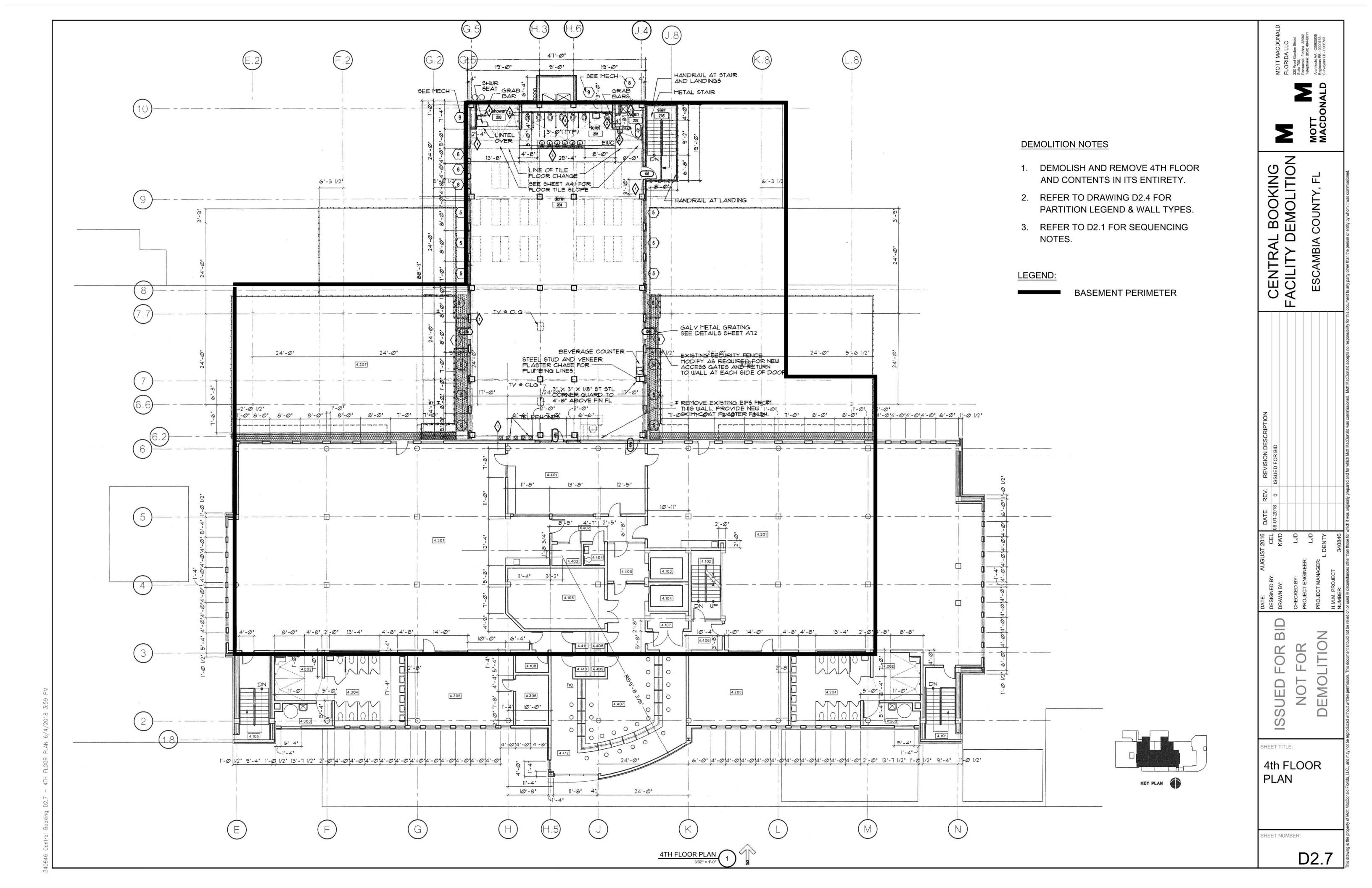


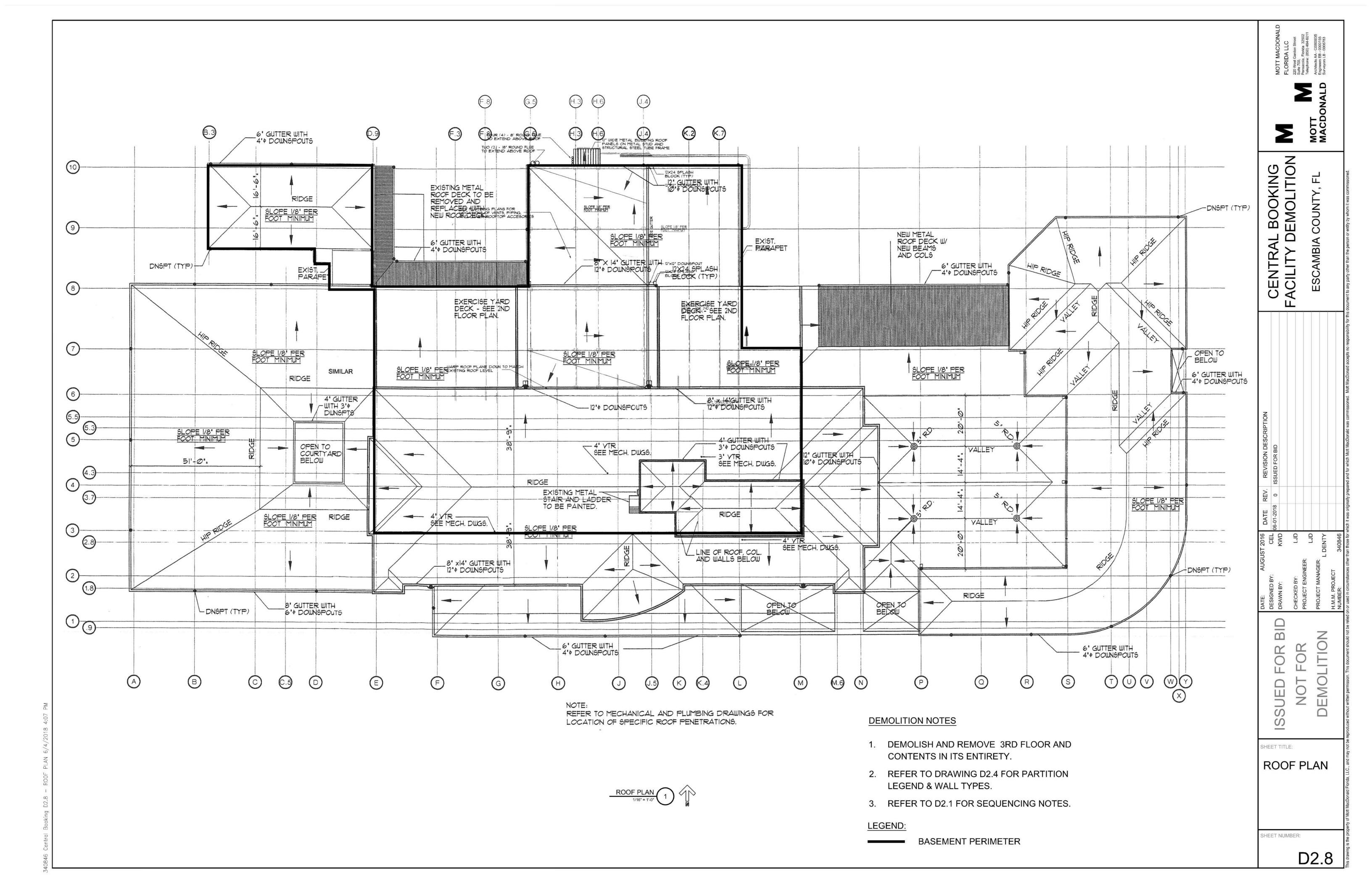






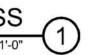






SYSTEMATICALLY REMOVE 1ST AND 2ND FLOOR EXTERIOR WALLS FOR REMOVAL AND SORTING OF PERSONAL BELONGINGS

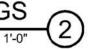
WALL REMOVAL FOR PERSONAL BELONGING ACCESS

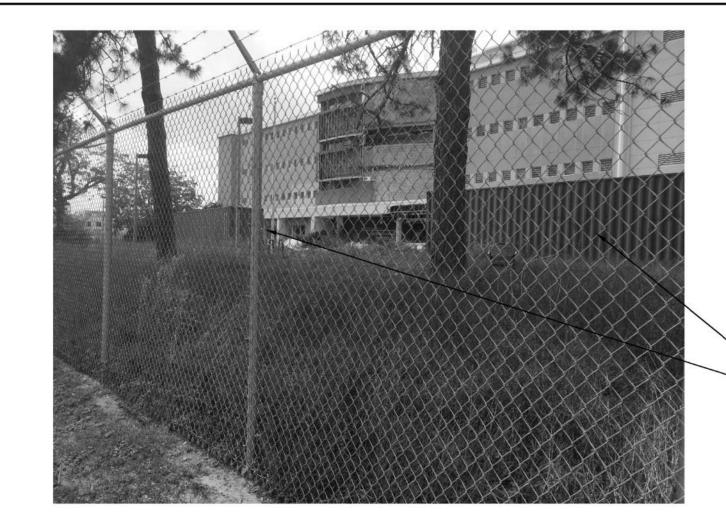




PERSONAL BELONGINGS TO BE -REMOVED BY CONTRACTOR TO SALLY PORT FOR SORTING BY COUNTY.

PERSONAL BELONGING BAGS
1/4" = 1'-0" 2





TWO CONEX BOXES TO BE RELOCATED BY CONTRACTOR TO OFF SITE LOCATION



- RELOCATE BOX INSIDED FENCED AREA AT 2256 NORTH BAYLEN STREET PENSACOLA, FLORIDA 32501



SHEDS



RELOCATE DUMPSTER OUTSIDE FENCE IN PARKING AREA



DUMPSTER

EXISTING SHEDS AND ALL REMAINING CONTENT TO BE REMOVED AND DISPOSED OF OFF SITE



CONTRACTOR SHALL -LIFT GENERATOR ONTO COUNTY PROVIDED FLATBED FOR REMOVAL OFF SITE. COORDINATE WITH COUNTY FOR SCHEDULE.

ANCILLARY STRUCTURES

1/4' = 1'-0"

4

PHOTOS

ISSUED

SHEET TITLE:

CENTRAL BOOKING FACILITY DEMOLITION

SHEET NUMBER:

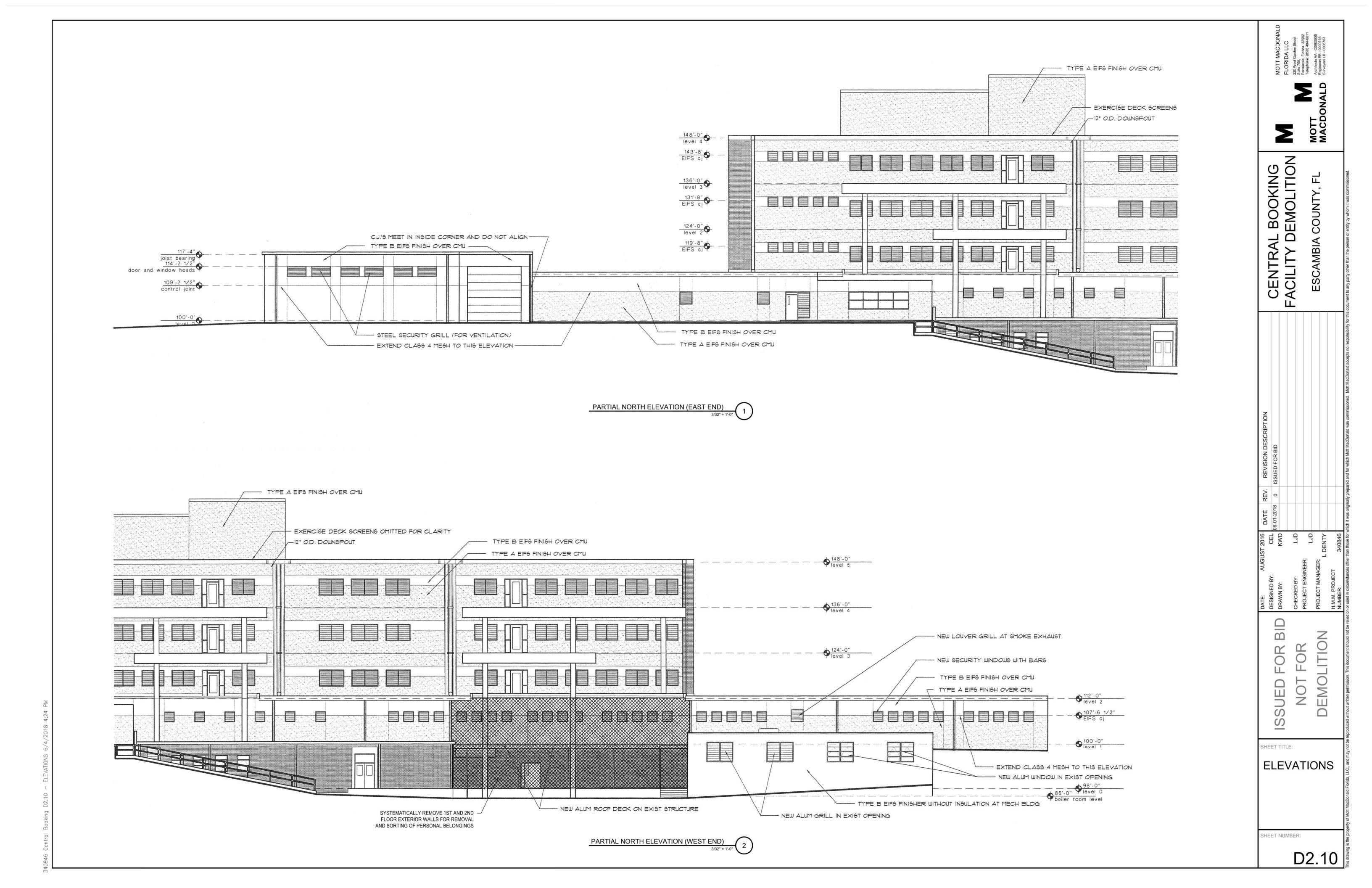
CONEX BOXES

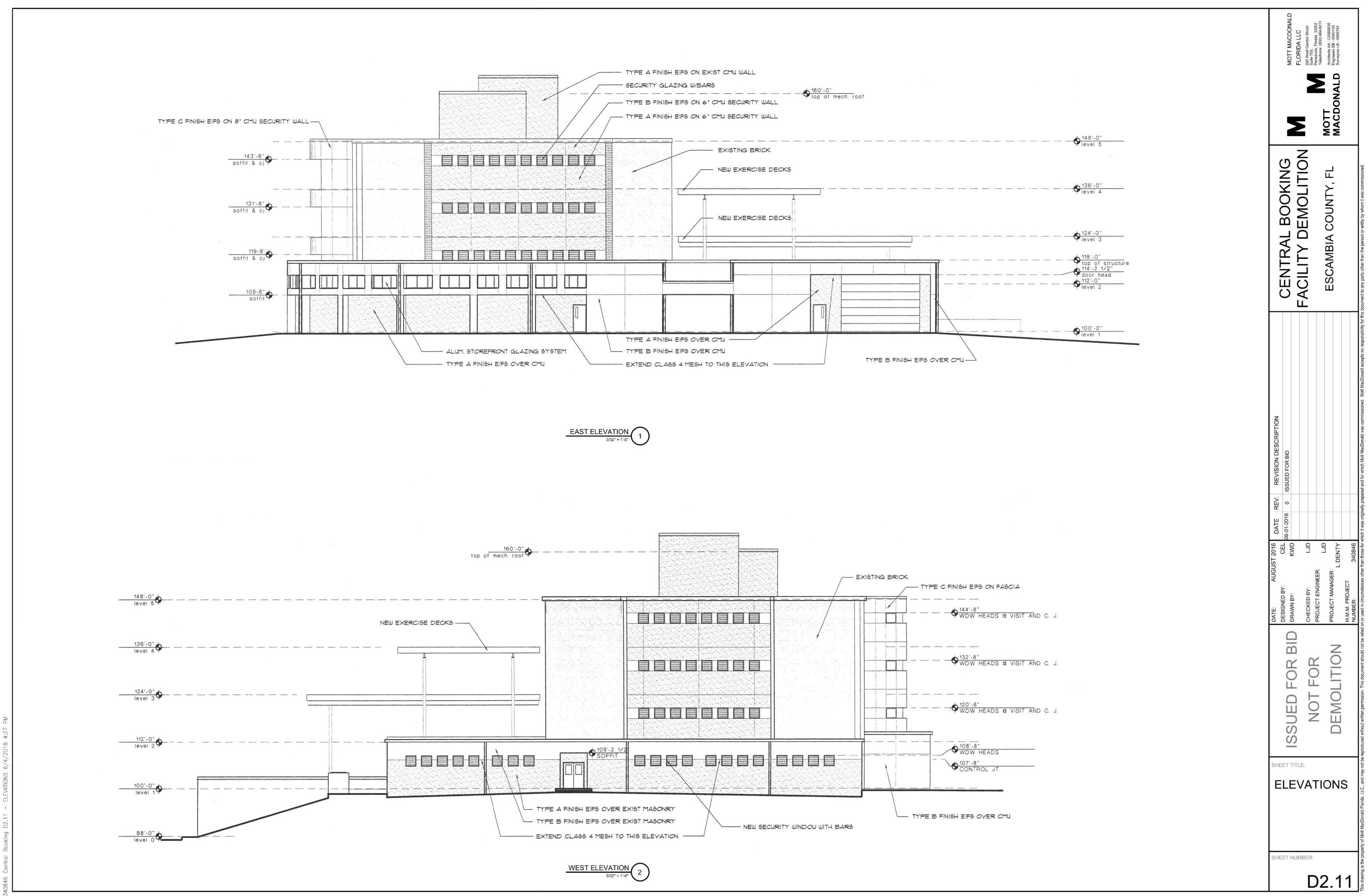
1/4" = 1'-0"

3

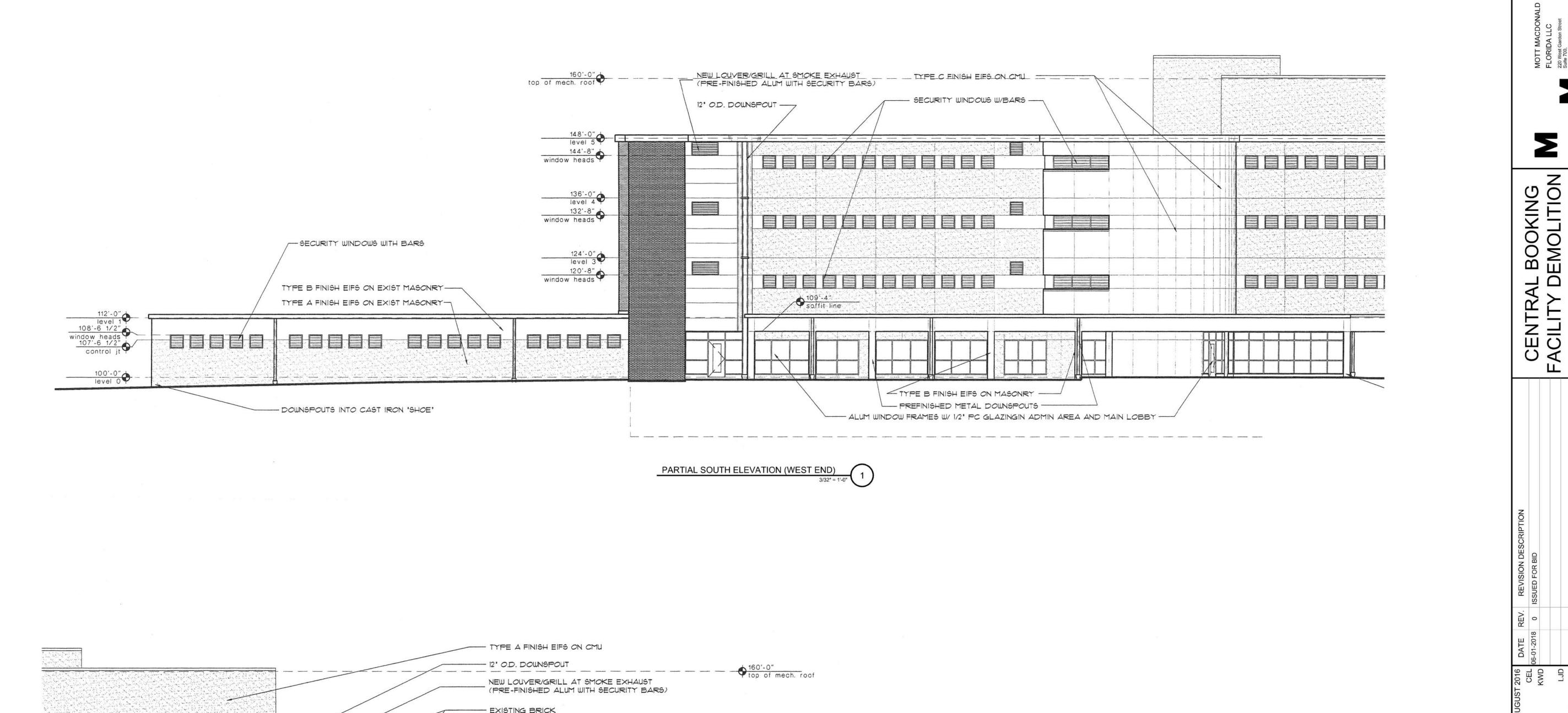
D2.9

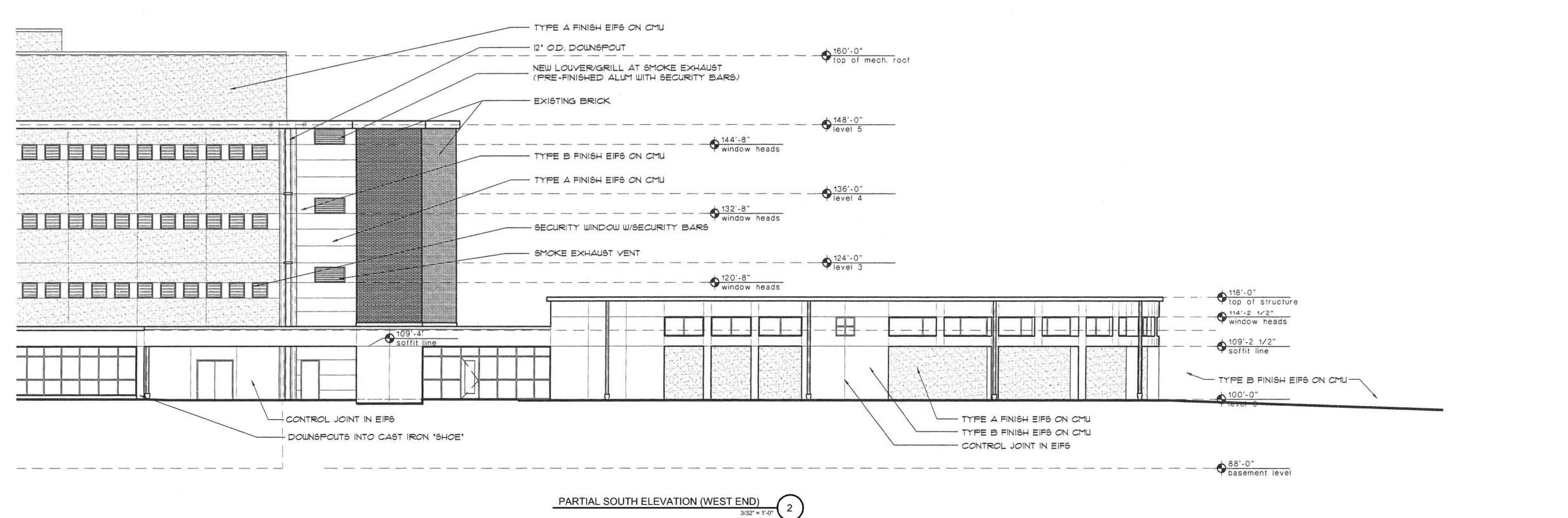
DEMOLITION





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SHEET NUMBER:

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SHEET TITLE:

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