

**SHIP HOUSING REPAIR  
ESCAMBIA COUNTY**

**OWNER:** Willie Ruth Feagin  
**ADDRESS:** 2989 Michael Drive  
Pensacola, Florida 32505  
**PHONE:** 850-356-7807  
850-433-1003

**JOB #:** S-R-2018-11  
**DATE PREPARED:** 09/25/2018  
**OPENING DATE:** 09/28/2018  
**CLOSING DATE:** 10/12/2018  
**CLOSING TIME:** 12:00 noon

I/(we) certify that I/(we) have carefully examined the Housing Repair Specifications and Contractor Requirements related to the above referenced job, as furnished by Escambia County, and I/(we) have also examined the site on which the proposed work is to be performed. On the basis of these examinations, I (we) propose to furnish all materials, tools, machinery and labor necessary to complete the work in a professional, workmanship manner and to complete the work at the prices listed.

\$ \_\_\_\_\_  
**TOTAL JOB COST**

\_\_\_\_\_  
**CONTRACTOR'S SIGNATURE**

\_\_\_\_\_  
**TITLE**

**BID OPENING DATE:** \_\_\_\_\_  
 **ACCEPTED**       **REJECTED**

\_\_\_\_\_  
**FIRM**

\_\_\_\_\_  
**FIRM PHONE NUMBER**

\_\_\_\_\_  
**BID COMMITTEE REPRESENTATIVE  
REQUIRED PERMITS AND INSPECTIONS:**

Septic Repair  
Plumbing

Type of Construction: Wood frame  
Year Built: 1962  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**All measurements are for reference only and should be confirmed by the bidder**

**Mandatory On Site Pre-Bid Conference: October 05, 2018 at 9:00 a.m.**

## **INSTRUCTIONS TO BIDDERS**

Submit COVER SHEET AND ALL NUMBERED PAGES OF SPECIFICATIONS with signature of Contractor and bid price in ink. Specifications in pencil will be rejected. Bids must be in a sealed envelope and hand-delivered to Neighborhood Enterprise Division Office, 221 N. Palafox Street (Ernie Lee Magaha Government Building), Suite 200, Pensacola, FL 32502 office by 12:00 noon at the closing date specified. NO email or fax submissions will be accepted.

The bids will be opened by the Bid Committee and bid will be awarded based upon the lowest eligible bidder with the most reasonable combined bid for the work specified. Itemized pricing may be used for negotiation in the event of a change in the scope of work as described within the Specifications.

Labor, overhead, permits, insurance, and profit must be included into each itemized price and not listed as a separate itemized price or listed under "miscellaneous." Non-compliance will result in rejection of bid.

All repair work performed must be inspected (rough and final) and conform to County Ordinances, State Laws, and Florida Building Code.

The Contractor is responsible for proper reattachment/hook-up of any/all of the following that apply: appliances, existing coaxial cable, telephone and interface, electric, water, and sewage.

### **HOMEOWNER'S RESPONSIBILITIES AND OBLIGATIONS**

The Homeowner is responsible for maintaining existing utilities for the Contractor's use during the rehabilitation period.

The Homeowner is responsible for the removal of all belongings/furnishings from the designated work areas prior to the start date. The Contractor is not responsible for removal of Homeowner's trash and/or discarded belongings or furnishings.

### **PAYMENT SCHEDULE**

Payment will be lump sum at project completion for bids \$15,000.00 and under. For bids over \$15,000.00, contractor will be eligible for a 40% draw once 50% of the work is completed as determined by the itemized costs for the job.

The Contractor will be eligible for Final Payment after the following conditions have been fulfilled:

- Completion of Write-Up
- Inspection/Sign-off by Building Inspections and/or Health Department
- Acceptance by the Homeowner (Homeowner's Release & Warranty)
- Warranty Paper provided to the Homeowner
- Premises free from all construction debris
- Submission of RRP Checklist Form & Contractor's Final Affidavit
- Original Invoice from Contractor
- Surety's Consent to Final Payment if applicable

### **COMPLETION DATE**

There is a THIRTY (30) day time limit on each rehabilitation job. For every day worked in excess of the THIRTY DAY contract period, a FIFTY DOLLAR (\$50.00) per day penalty will be assessed.

**ESCAMBIA COUNTY NEIGHBORHOOD ENTERPRISE DIVISION  
HOUSING REPAIR PROGRAMS  
CONTRACTOR REQUIREMENTS**

If your firm is awarded the bid for housing repair (SHIP or HUD programs), the following items must be current and on file in order to issue a Purchase Order.

- \*Current W9 (less than one year old).
- \*County Vendor Information sheet (less than one year old).
- \*Worker's Compensation as required by State Law **OR** exemption form.
- \*Commercial General Liability (\$1,000,000 coverage) listing Escambia County as Certificate Holder and additional insured.
- \*Automobile Liability (\$1,000,000 coverage) listing Escambia County as Certificate Holder and additional insured.

GL and Auto Liability Certificates must state the following under the Additional Interest:

*Escambia County  
C/O Neighborhood Enterprise Division  
221 Palafox Place  
Suite 200  
Pensacola, FL 32502-5844*

*All correspondence should be directed to Neighborhood Enterprise Division, 221 Palafox Place, Suite 200, Pensacola, FL 32502 for review.*

**\*For jobs valued at \$25,000 or higher, 100% Performance and Payment Bonds will be required. Performance and Payment Bond format will be provided. Contractor will be responsible for the recording of all bonds with Pam Childers, Clerk of The Circuit Court of Escambia County Florida.**

*Refer to BCC Office of Purchasing Risk Management Guidelines Procedure No: PP-180 (Performance and Payment Bonds) and PP-185 (Risk Management Guidelines) for further details.  
[<http://www.myescambia.com/business/purchasing-policies-and-procedures>]*

Additionally, Neighborhood Enterprise Division will maintain the following info in the Contractor's file:

- \*Contractor may not be federally debarred from participating in programs as per [www.sam.gov](http://www.sam.gov)
- \*State registered or State Certified Contractor License
- \*Escambia County Competency Board License
- \*Escambia County Business/Occupational License
- \*EPA RRP Renovator and Firm Certifications

Firms bidding on Lead Based Paint Abatement jobs must also submit proof of Lead Abatement firm certification.

All information must be current at time of award. IF INFORMATION CANNOT BE PRODUCED IN A TIMELY MANNER, THE COUNTY RESERVES THE RIGHT TO AWARD THE BID TO THE NEXT MOST RESPONSIVE BIDDER.

SHIP Housing Repair Program Specifications  
Willie Ruth Feagin  
2989 Michael Drive  
Pensacola, FL 32505  
PAGE 1

GENERAL:

- The subject Housing Unit was built prior to 1978 and therefore is a “targeted property” under the EPA’s RRP Rule, as some painted surfaces may be disturbed. Therefore, the implementation of “safe work practices” is required along with submittal by the RRP Contractor of “Renovation Record keeping Checklist” form.
- There is no Federal Funding on this project.

EXISTING SEPTIC TANK ABANDONMENT AND NEW SEPTIC TANK INSTALLATION:  
**PLEASE SEE ATTACHED PERMIT/SPECIFICATIONS AS OUTLINED BY THE DEPARTMENT OF HEALTH.**

Decommission the existing septic tank and grease trap per the State of Florida Environmental Health Department regulation/requirements (pump tank, punch holes in bottom and back-fill old tank).

Permit and inspection is required.

Install new septic system as per attached Environmental Health Permit and Specifications.

Permit and inspection is required.

Install new drain lines from house, kitchen sink and washing machine to new septic system.

Following the installation of the new septic tank and drain field and the decommissioning of the existing septic tank and grease trap, grade area and leave in a uniform/smooth condition, then provide grass seed and hay for stabilization. Any damage to yard (created by trucks and other equipment used to accomplish work herein), are to be filled to grade with top soil and seed and hay installed.

Contractor will return one time after substantial completion of work during the warranty period if areas settle to re-grade and seed.

CONCRETE REPAIR SPECIFICATION:

Should it be necessary remove portions of concrete walks or driveways in order to complete work; the repair of the concrete will be as follows: areas affected, if concrete cutting is required, cut smooth/straight/clean surfaces on both ends of effected area. Forms are to be set to allow for continuity of effected area with the existing concrete, base soil is to be tamped prior to in installation of “sakcrete” or comparable concrete mix of 2500 psi strength or greater. Finish of surfaces should match or exceed existing concrete finish with finish elevation matching that of the adjacent concrete. Forms must be removed and back-filled prior to final inspection.

**Septic tank total \$**\_\_\_\_\_

**TOTAL JOB COST \$**\_\_\_\_\_ **(TO FRONT COVER)**



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM

PERMIT #: 17-S2-1860927  
APPLICATION #: AP1353776  
DATE PAID: 7.6.18  
FEE PAID: 350.<sup>00</sup>  
RECEIPT #: 17P10.361404  
DOCUMENT #: PR1124751

CONSTRUCTION PERMIT FOR: OSTDS Repair

APPLICANT: Willie Ruth Feagin

PROPERTY ADDRESS: 2989 Michael Dr Pensacola, FL 32505

595.0827

LOT: 001 BLOCK: 044 SUBDIVISION: Metes & Bounds

PROPERTY ID #: 09-2S-30-0800-001-044 [SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]  
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [ 900 ] GALLONS / GPD Septic CAPACITY  
A [ 0 ] GALLONS / GPD \_\_\_\_\_ CAPACITY  
N [ 0 ] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK:1250 GALLONS]  
K [ 225 ] GALLONS DOSING TANK CAPACITY [150.0] GALLONS @ [ 2 ] DOSES PER 24 HRS #Pumps [ 1 ]

D [ 300 ] SQUARE FEET \_\_\_\_\_ SYSTEM  
R [ 0 ] SQUARE FEET \_\_\_\_\_ SYSTEM

A TYPE SYSTEM: [x] STANDARD [ ] FILLED [ ] MOUND [ ] \_\_\_\_\_

I CONFIGURATION: [x] TRENCH [ ] BED [ ] \_\_\_\_\_

N  
F LOCATION OF BENCHMARK: orange painted nail in fence

I ELEVATION OF PROPOSED SYSTEM SITE [ 24.00 ] [ INCHES ] FT [ ABOVE / BELOW ] BENCHMARK/REFERENCE POINT

E BOTTOM OF DRAINFIELD TO BE [ 44.00 ] [ INCHES ] FT [ ABOVE / BELOW ] BENCHMARK/REFERENCE POINT

L  
D FILL REQUIRED: [ 0.00 ] INCHES EXCAVATION REQUIRED: [ ] INCHES

O  
T  
H  
E  
R  
Approval is granted to install a 900 gallon septic tank with 300 sq. feet of drainlines. Install a 225 gallon pump tank with an audio/visual alarm. If a gravity connection can be achieved while maintaining the required elevation to the benchmark, a pump tank will not be required. Additional drainfield area is recommended due to soil conditions. Sleeve or utilize schedule 40 pipe for potable water lines within 10 feet of the drainfield. Potable water lines may not be within 2 feet of the drainfield. A re-inspection will be charged for additional inspections. If benchmark is removed a \$50 re-inspection fee will charged to reset the benchmark. (Comments Continued on Page 2.)

SPECIFICATIONS BY: Dennis A Bratten TITLE: ENVIRONMENTAL SPECIALIST

APPROVED BY: Dennis A Bratten TITLE: ENVIRONMENTAL SPECIALIST Escambia CHD

DATE ISSUED: 07/10/2018 EXPIRATION DATE: 10/08/2018

DH 4016, 08/09 (Obsoletes all previous editions which may not be used)

Incorporated: 64E-6.003, FAC

*[Handwritten signature]*  
7/10/18

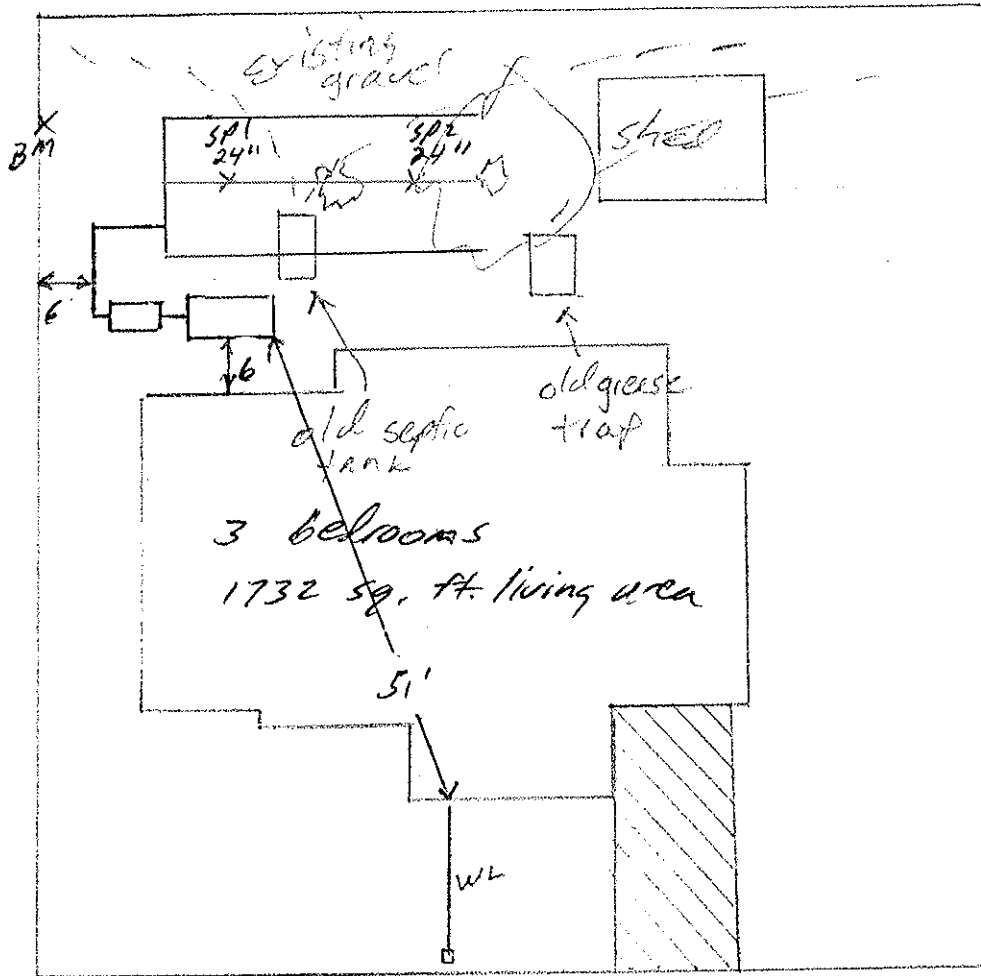
Above must be completed prior to Final Inspection & Approval. Maintain all setbacks in accordance with FAC 64-6. Properly dispose of any spoil material. Abandon the existing septic tank to code. The system is sized for 3 bedrooms with a maximum occupancy of 6 persons (2 per bedroom), for a total estimated flow of 300 gpd.

Performing Lift Dosing.

Pumps must be certified as suitable for distributing sewage effluent.

The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with s. 64E-6.013(3)(f), FAC. Required drainfield area based on rule 64E-6.015(6)(c)2.

Install a new drainfield to achieve Drainfield size requirement.



Michael Dr.

Scale: 1" = 20'

D. Bratter ESII  
7-10-78