

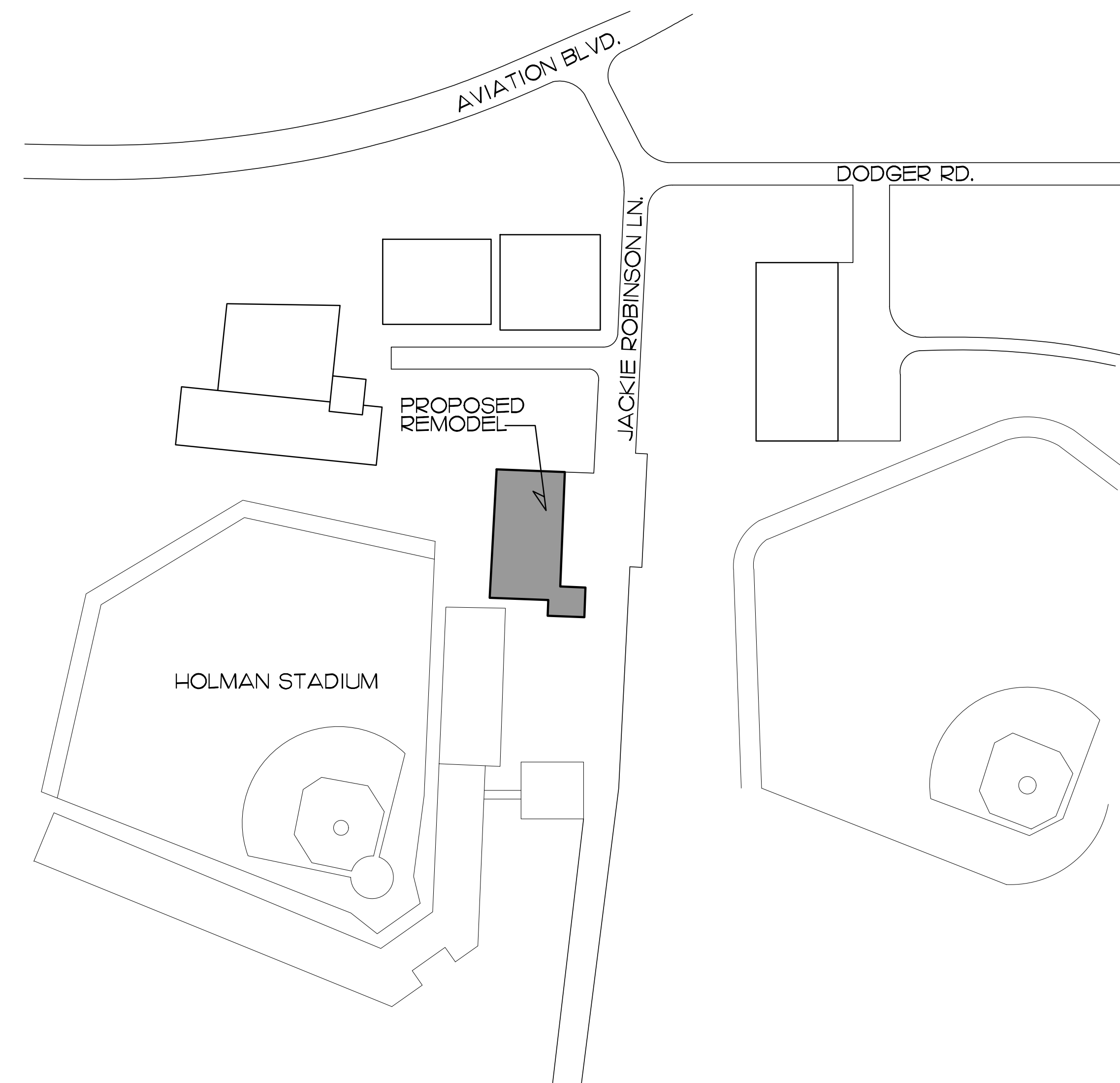
Jackie Robinson Stadium Ticket Building Remodel

1801 27th St.
Vero Beach, FL 32960

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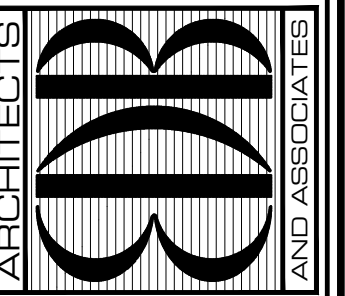


LOCATION MAP
SCALE: NTS

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SEAL:

PROJECT: JACKIE ROBINSON STADIUM
TICKET BUILDING REMODEL
INDIAN RIVER COUNTY
1801 27TH STREET
VERO BEACH FL 32960

FOR:

NO.	DATE	REVISIONS

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DATE: 31 AUGUST, 2020
BY: LJB
CHKD: JFB

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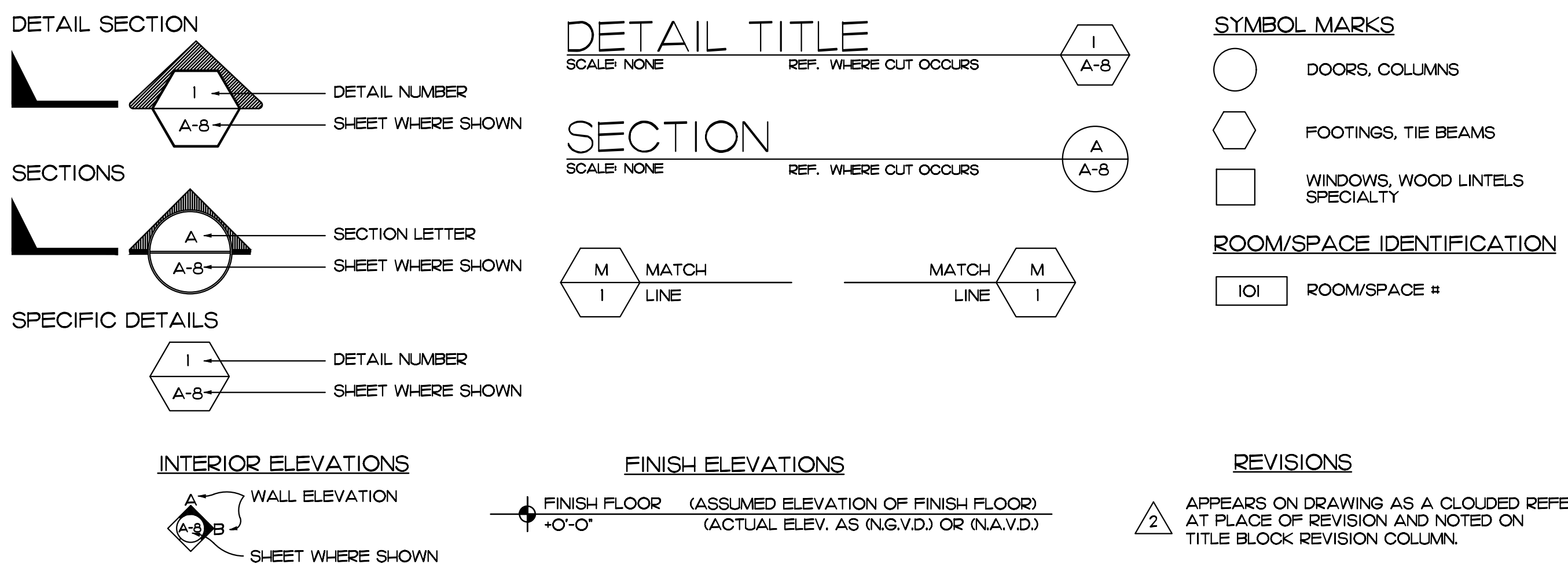
GENERAL NOTES

(UPDATED 10 APRIL 2014)

- THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS SHOWN ON THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THE ABOVE WILL CONSTITUTE A "STOP WORK" ORDER FOR THAT PORTION OF THE CONSTRUCTION ONLY. THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR RESOLUTION.
- EVERY ATTEMPT HAS BEEN MADE TO DELINEATE THE EXISTING CONDITIONS AND DETAILS, THE CONTRACTOR MUST VISIT THE SITE TO VISUALLY ESTABLISH THE COMPLETE SCOPE OF WORK AND CONDITIONS TO BE CONSTRUCTED.
- THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION SHALL BE AIA DOCUMENT A 201, 2007 EDITION, A COPY OF WHICH IS AVAILABLE FOR REVIEW AT THE ARCHITECT'S OFFICE.
- THE CONTRACTOR SHALL WARRANT AND GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF 1 (ONE) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- THE CONTRACTOR IS TO SECURE AND PAY FOR ALL PERMITS AND SHALL SECURE THE "CERTIFICATE OF OCCUPANCY".
- THE CONTRACTOR(S) SHALL PROVIDE AND MAINTAIN COMPLETE WORKERS COMPENSATION, GENERAL LIABILITY AND BUILDERS RISK INSURANCE.
- ALL MATERIALS UTILIZED SHALL BE NEW AND OF THE QUALITY SPECIFIED, SUBSTITUTIONS WILL BE ALLOWED ONLY WITH THE ARCHITECT'S PRIOR WRITTEN APPROVAL.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE MANUFACTURER'S INSTRUCTIONS AND CATALOG CUTS.
- PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL ISSUE TO THE OWNER, AN EXECUTED "FINAL RELEASE OF LIEN" FORMS FROM ALL PARTIES HAVING LIEN RIGHTS AGAINST THE OWNER.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH "BEST TRADE PRACTICES" FOR THE GEOGRAPHIC AREA IN WHICH THE PROJECT IS LOCATED.
- UNLESS WHERE NOTED OTHERWISE, THE CONTRACTOR SHALL PROVIDE ALL THE NECESSARY LABOR, MATERIALS, EQUIPMENT AND INCIDENTALS FOR A COMPLETE AND OPERATING PROJECT.

LEGEND

(UPDATED 10 APRIL 2014)



CONSTRUCTION ADMINISTRATION GUIDELINES

(UPDATED 10 APRIL 2014)

- I. **INSPECTION REQUIREMENTS**
 - A. BY ARCHITECT, PRIOR TO ALL CONCRETE POURS
 - B. BEFORE COVERING WORK WITH DRYWALL AND PRIOR TO CEILING INSTALLATION WHEN MECHANICAL, ELECTRICAL & PLUMBING ROUGHINS ARE COMPLETED.
 - C. TO ESTABLISH A PUNCH LIST (WHEN CONTRACTOR HAS TOTALLY COMPLETED HIS OWN ESTABLISHED PUNCH LIST AND AFTER CERTIFICATE OF OCCUPANCY)
 - D. AT FINAL INSPECTION, FOLLOWING COMPLETION OF PUNCH LIST.
 - E. AT MONTHLY PAY REQUEST AND WEEKLY PROGRESS INSPECTIONS
- NOTE: PROJECT SUPERINTENDENT SHOULD ALWAYS BE PRESENT AT INSPECTIONS
- II. **PAY REQUEST**
 - A. AS PER OWNER/ CONTRACTOR AGREEMENT UTILIZING AIA DOCUMENTS
 - B. LIEN RELEASES REQUIRED (PARTIALS AND FINALS)
 - C. FOR STORED MATERIALS - (CERTIFICATE OF INSURANCE REQUIRED)
- III. **OTHER REQUIREMENTS OF THE CONTRACTOR**
 - A. BAR GRAPH SCHEDULE OF PROGRESS TIME SCHEDULE AND PERIODICALLY UPDATE, AS REQUESTED
 - B. A SCHEDULE OF VALUES (AIA, FORM #G-703)
- IV. **CONSTRUCTION PRIORITIES**
 - A. ESTABLISH DATE FOR THE PRECONSTRUCTION MEETING
 - B. CHECK OUT LONG LEAD ITEMS -- ALLOW ORDERING TIME
 - C. MAINTAIN CONSTRUCTION LOG DOCUMENTING RAIN DAYS WHEN SCHEDULED WORK COULD NOT BE PERFORMED.
 - D. MAINTAIN A MARKED UP SET OF CONSTRUCTION PLANS WITH RED BALLPOINT PEN TO BE SUPPLIED TO ARCHITECT FOR USE IN ESTABLISHING AS BUILT DRAWINGS.
- V. **CHANGES / CORRESPONDENCE**
 - A. ALL CORRESPONDENCE OR DIRECTIVES THRU ARCHITECT AND COPIED TO OWNER
 - B. NO DIRECTIVES FROM EMPLOYEES. ALL REQUESTS FOR INFORMATION OR CHANGES THRU ARCHITECT AND OWNER
- VI. **CHANGE ORDERS**
 - A. PROPER PROTOCOL MUST BE FOLLOWED IN REGARDS TO ANY CHANGE ORDERS, OWNER, ARCHITECT AND CONTRACTOR MUST SIGN OFF PRIOR TO ANY WORK BEING PERFORMED BY CONTRACTOR OR SUBS.
 - B. GROUP ITEMS INTO ONE (1) CHANGE ORDER, RATHER THAN SEVERAL SINGLE ITEM CHANGE ORDERS.
 - C. ANY WORK COMPLETED PRIOR TO A CHANGE ORDER BEING SIGNED BY ALL PARTIES IS AT CONTRACTOR'S RISK. CHANGE ORDERS SHALL BE SIGNED BEFORE WORK IS COMMENCED.
- VII. **SHOP DRAWING SUBMITTALS**
 - A. FOUR (4) COPIES (NOTE IN RED ANY CHANGES) ONE FOR OWNER ONE FOR ARCHITECT ONE FOR CONTRACTOR ONE FOR SUPPLIER
 - B. CONTRACTOR TO REVIEW AND MARK UP ANY CHANGES ON ALL COPIES BEFORE SUBMITTING TO ARCHITECT. CONTRACTOR SHOULD PROVIDE HIS OR HER REVIEWERS SIGNATURE WITH DATE ON EACH SUBMITTAL.
 - C. SUBMIT TO ARCHITECT AS SOON AS POSSIBLE
 - D. NO SUBSTITUTES WITHOUT PRIOR APPROVAL BY ARCHITECT & OWNER.
- VIII. **CHANGES IN THE WORK**
 - A. DO NOT DEVIATE FROM PLANS WITHOUT ARCHITECTS APPROVAL.
- IX. **PROPER CONDUCT AT JOBSITES**
 - A. NO SWEARING
 - B. NO LOUD RADIOS
 - C. PROPERLY DRESSED FOR WORK
 - D. KEEPING JOBSITE CLEAN AND SAFE EACH DAY IS SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - E. HARDHATS ARE REQUIRED PER OSHA REGULATIONS
- X. **RAIN DAY DOCUMENTATION**
 - A. SUBMIT RECORDED RAIN DAYS WITH EACH MONTHLY PAY REQUEST
 - B. WHEN MORE THAN FOUR (4) DAYS ARE ACCUMULATED, A REQUEST FOR CHANGE ORDER SHOULD BE ISSUED. REQUEST ADDITIONAL DAYS TO BE ADDED TO ESTABLISHED CONTRACTUAL COMPLETION DATE.

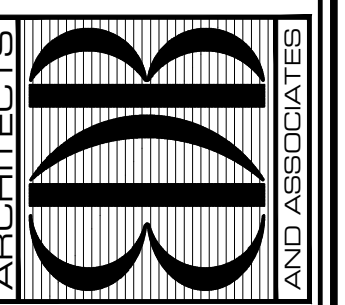
ABBREVIATIONS

(REVISED 10 APRIL 2014)

<p>AND ANGLE AT DIAMETER OR ROUND WELD</p> <p>A ACOUST. ACOUSTICAL A.D. AREA DRAIN A.D.A. AMERICANS WITH DISABILITIES ACT ADJ. ADJUSTABLE A.F.F. ABOVE FINISH FLOOR AGGR. AGGREGATE A.H.U. AIR HANDLING UNIT ALUM. ALUMINUM A.C.I. AMERICAN CONCRETE INSTITUTE A.S.T.M. AMERICAN SOCIETY OF TESTING AND MEASURES A.W.P.A. AMERICAN WOOD & PLYWOOD ASSOCIATION AB. ANCHOR BOLTS APPROX. APPROXIMATE ARCH. ARCHITECTURAL A.C.C.M.P. ASPHALT COATED CORRUGATED</p> <p>ASB. ASBESTOS ASPH. ASPHALT ASSY. ASSEMBLY</p> <p>B B.R.G.(BRNG) BEARING BD. BOARD BITUM. BITUMINOUS BLDG. BUILDING BLK. BLOCKING BLKG. BLOCKING BNM. BEAM BOT. BOTTOM B.C. BOTTOM CHORD BLT. BOLT</p> <p>C CAB. CABINET CANT. CANTILEVER CB. CATCH BASIN CEM. CEMENT CER. CERAMIC CI. CAST IRON C.G. CORNER GUARD C.G. CEILING CL. CLOSET CLR. CLEAR C.O. CASSED OPENING COL. COLUMN CONC. CONCRETE CONN. CONNECTION CONSTR. CONSTRUCTION CONT. CONTINUOUS CORR. CORRIDOR CURT. CURTAIN CSTK. COUNTERSUNK CNTR. COUNTER CTR. CENTER C CENTERLINE C/C. CENTER TO CENTER C.T. CERAMIC TILE CKT. CIRCUIT C.O. CLEAN OUT C.C.C.L. COASTAL CONSTRUCTION CONTROL LINE</p> <p>D DL. DEAD LOAD DL. DOUBLE D.C.G. DRIFT CONTROL GRATING DEPT. DEPARTMENT D.F. DRINKING FOUNTAIN DEL. DELAYED DET. DETAIL DIA. DIAMETER DIM. DIMENSION DISP. DISPENSER DN. DOWN D.O. DOOR OPENING DWR. DRAWER DSE. DOWNSPOUT D.SP. DRY STANDPIPE D.W.G. DRAWING D.J. DECK-A-JOINT DP. DEEP D.O.E. DEPARTMENT OF EDUCATION D.E.R. DEPARTMENT OF ENVIRONMENTAL REGULATION DEP. DEPARTMENT OF ENVIRONMENTAL PROTECTION DW. DISHWASHER DL. DOUBLE D.H. DOUBLE HUNG DN. DOWN DRYER</p>	<p>E EA. EACH EB. EXPANSION BOLT E.E.R. ENERGY EFFICIENCY RATIO EF. EXHAUST FAN EG. EMERGENCY GENERATOR E.J. EXPANSION JOINT EL. ELEVATION EL. EMERGENCY LIGHT ELEC. ELECTRICAL ELEV. ELEVATOR EMER. EMERGENCY ENCL. ENCLOSURE EP. ELECTRICAL PANELBOARD EQ. EQUAL EOPT. EQUIPMENT ESP. ELECTRO STATIC PAINT EW. EACH WAY E.W.C. ELECTRIC WATER COOLER E.W.H. ELECTRIC WATER HEATER EXP. EXPANSION BOLTS EX.P.B.L.T.S. EXPANSION BOLTS EX. EXISTING EXT. EXTERIOR OR EXTENSION</p> <p>F F.A. FIRE ALARM F.A.C. FLORIDA ACCESSIBILITY CODE F.B. FLAT BAR F.B.C. FLORIDA BUILDING CODE F.P.C. FLORIDA PLUMBING CODE F.D. FLOOR DRAIN F.O.N. FOUNDATION F.E. FIRE EXTINGUISHER F.E.C. FIRE EXTINGUISHER CAB. FIRE HOSE CABINET FIN. FINISH FL. FLOOR FLASH. FLASHING FLUOR. FLUORESCENT F.O.C. FACE OF CONCRETE F.O.F. FACE OF FINISH F.O.S. FACE OF STUDS FRFR. FIREPROOF FG. FIBERGLASS FIN.FL. FINISHED FLOOR F.X.D. FIXED F.G. FLOOR GIRDER F.S. FULL SIZE FT. FOOT OR FEET F.T.A. FEDERAL TRANSIT AUTHORITY FTG. FOOTING FLUR. FLURRING FUT. FUTURE F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION F.D.E.P. FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION</p> <p>G GA. GAUGE GALV. GALVANIZED G.B. GRAB BAR GL. GLASS GND. GROUND GR. GRADE GYP. GYPSUM GAL. GALLON G.F.I. GROUND FAULT INTERRUPT</p> <p>H H.C.P. HANDICAPPED HDR. HEADER H.R.U. HEAT RECOVERY UNIT HD. HEAVY DUTY H.P.S. HIGH PRESSURE SODIUM HI-JACK H.C. HOLLOW CORE H.B. HOSE BIB H.C. HOLLOW CORE H.D.W. HARDWOOD HDWR. HARDWARE H.H. HAPPY HOUR H.M. HOLLOW METAL HORIZ. HORIZONTAL HR. HOUR H.C. HOLLOW CORE H.M. HOLLOW METAL H.M.F. HOLLOW METAL FRAME H.K. HOOK H.P. HORSE POWER & HIGH POINT H. HOT H.D.G. HOT DIPPED GALVANIZED</p> <p>I ID. INSIDE DIAMETER (DIM) INSUL. INSULATION INT. INTERIOR INV. INVERT IP. IRON PIPE</p> <p>J JAN. JANITOR JT. JOINT</p> <p>K KIT. KITCHEN KW. KILOWATT K.T. KEYBOARD TRAY</p> <p>L LAB. LABORATORY LAM. LAMINATE LAV. LAVATORY LP. LULY LEED. LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN LINEAL FEET</p>	<p>L LONG LGT. LIGHT LP. LIQUID PROPANE LKR. LOCKER LL. LIVE LOAD LL.V. LONG LEG VERTICAL L.A.T.S. LATCH SIDE CLEARANCE L.T. LAUNDRY TUB</p> <p>M MAX. MAXIMUM MC. MEDICINE CABINET MECH. MECHANICAL MEMB. MEMBRANE MET. METAL MFR. MANUFACTURER MH. MAN-HOLE MIN. MINIMUM MIRR. MIRROR MISC. MISCELLANEOUS MTD. MOUNTED MB. MACHINE BOLT MD. MAIN DISCONNECT MD.F. MEDIUM DENSITY FIBERBOARD MD.P. MAIN DISTRIBUTION PANEL MD. MAIN DRAIN MO. MASONRY OPENING MSL. MEAN SEA LEVEL MC. MEDICINE CABINET MV. MERCURY VAPOR MT. METAL THRESHOLD MPH. MILES PER HOUR MR. MOISTURE RESISTANT MOLDING</p> <p>N N/A NOT APPLICABLE N NORTH N.A.V.D. NORTH AMERICAN VERTICAL DATUM N.I.C. NOT IN CONTRACT NO. OR # NUMBER NOM. NOMINAL N.T.S. NOT TO SCALE NEC. NATIONAL ELECTRIC CODE N.G.V.D. NATIONAL GEOLOGIC VERTICAL DATUM NL. NIGHT LIGHT</p> <p>O O.A. OVERALL OBS. OBSOLETE O.C. ON CENTER O.D. OUTSIDE DIAMETER (DIM) OFF. OFFICE OPNG. OPENING OPP. OPPOSITE O.B.D. OPPOSED BLADE DAMPER O.A. OUTSIDE AIR O.H. OVER HANG O.H.D. OVER-HEAD DOOR O.E. OVER-HEAD ELECTRIC</p> <p>P P.V.C. POLY VINYL CHLORIDE P.E.B. PAINTED EXPOSED BLOCK P.S.I. POUNDS PER SQUARE INCH P.S.F. POUNDS PER SQUARE FOOT PL. PLATE PLAM. PLASTER PLAS. PLYWOOD PR. PAIR PT. POINT P.T.D. PAPER TOWEL DISPENSER P.T.D/R COMBINATION PAPER TOWEL DISPENSER & RECEPTACLE PTN. PARTITION P.T. PRESSURE TREATED P.T.R. PAPER TOWEL RECEPTACLE P.T.H. PAPER TOWEL HOLDER PERF. PERFORATED P. PROPERTY LINE P.C. PULL CHAIN P.B. PUSH BUTTON PR. POWER POLE P.H.W. PARTIAL-HEIGHT WALL PORC. PORCELAIN TILE</p> <p>Q Q.T. QUARRY TILE</p> <p>R R. RISER RAD. RADII R.D. ROOF DRAIN REF. REFERENCE REFR. REFRIGERATOR REG. REGISTER REINF. REINFORCED REQ. REQUIRED RESIL. RESILIENT RM. ROOM R.O. ROUGH OPENING R.W.D. REDWOOD R.W.L. RAIN WATER LEADER R.C.P. REINFORCED CONCRETE PIPE REQ.D. REQUIRED R/A RETURN AIR REV. REVERSE R.O.W. RIGHT OF WAY R. AND S. ROD & SHELF R.O. ROUGH OPENING R.S. ROUGH SAW</p>	<p>S S.A. SUPPLY AIR S.A.T. SUSPENDED ACOUSTICAL TILE S.C. SOLID CORE S.C.D. SEAT COVER DISPENSER SCH-ED. SCHEDULE S.D. SOAP DISPENSER SECT. SECTION SH. SHELF SHR. SHOWER SHT. SHEET SH. SINGLE HUNG SIM. SIMILAR SLD. CONC. SEALED CONCRETE SLV. SHORT LEG VERTICAL S.N.D. SANITARY NAPKIN DISPENSER SNR. SANITARY NAPKIN RECEPTACLE SPEC. SPECIFICATION SQ. SQUARE S.S. STAINLESS STEEL S.S.K. SERVICE SINK STA. STATION STD. STANDARD STL. STEEL STOR. STORAGE STR.L. STRUCTURAL SUSP. SUSPENDED SYM. SYMMETRICAL S4S. SANDED 4 SIDES S1S2E. SANDED ONE SIDE AND TWO EDGES S.S. SANITARY SEWER SEER. SEASONAL ENERGY EFFICIENCY RATED</p> <p>SH. SINGLE HUNG SLDG. GLS. SLIDING GLASS S/D. SMOKE DETECTOR S.Y.P. SOUTHERN YELLOW PINE SFER. SQUARE FOOT DIMENSION SF. SQUARE FOOT S.J.I. STEEL JOIST INSTITUTE SYS. SYSTEM S.V. SHEET VINYL</p> <p>T TRD. TREAD T.B. TOWEL BAR T.O.C. TOP OF CURB TEL. TELEPHONE TERR. TERRAZZO T.S.G. TONGUE AND GROOVE THK. THICK T.P. TOP OF PAVEMENT T.P.D. TOWEL PAPER DISPENSER T.V. TELEVISION T.O.W. TOP OF WALL TKB. TACKBOARD T.C.L. TIME CLOCK TYP. TYPICAL T.C. TOP CHORD T.O.B. TOP OF BEAM TL. TOTAL LOAD TRANSV. TRANSVERSE T. TREAD T.S. TUBE SECTION</p> <p>U UNF. UNFINISHED UNO. UNLESS NOTED OTHERWISE UC. UNDER COUNTER UL. UNDERWRITERS LAB U.S.G. UNITED STATES GYPSUM U.S.G.B.C. UNITED STATES GREEN BUILDING COUNCIL</p> <p>V VAC. VACUUM V.B. VAPOR BARRIER V.C.T. VERTICAL COMPOSITION TILE VERT. VERTICAL VP. VAPOR PROOF VR. VAPOR RETARDER V.T.R. VENT THRU ROOF</p> <p>W W. WEST W. WASHER W. WITH W.C. WATER CLOSET WD. WOOD W/O. WITHOUT WF. WATERPROOF W.S.C.T. WANSICOT WT. WEIGHT W.S.R. WASHER W.L.C. WALK IN CLOSET W.G. WALL GIRDER W.W.F. WELDED WIRE FABRIC W.M.M. WORKING POINT W.P. W.P. W.D.W. WINDOW</p>
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SOME TERMS AND SYMBOLS MAY NOT APPLY TO THIS PROJECT.

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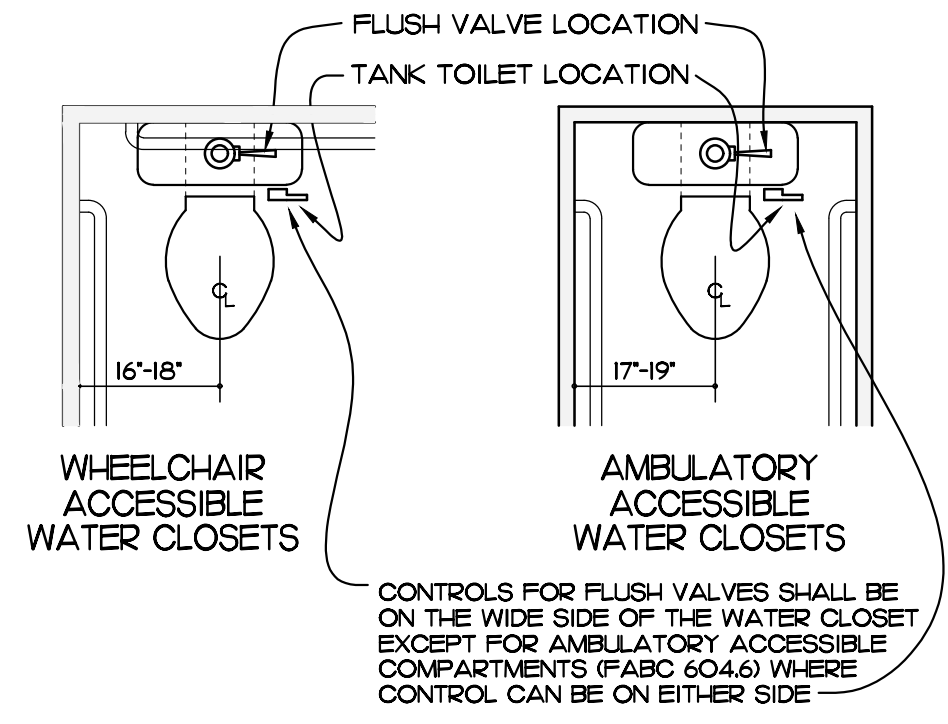
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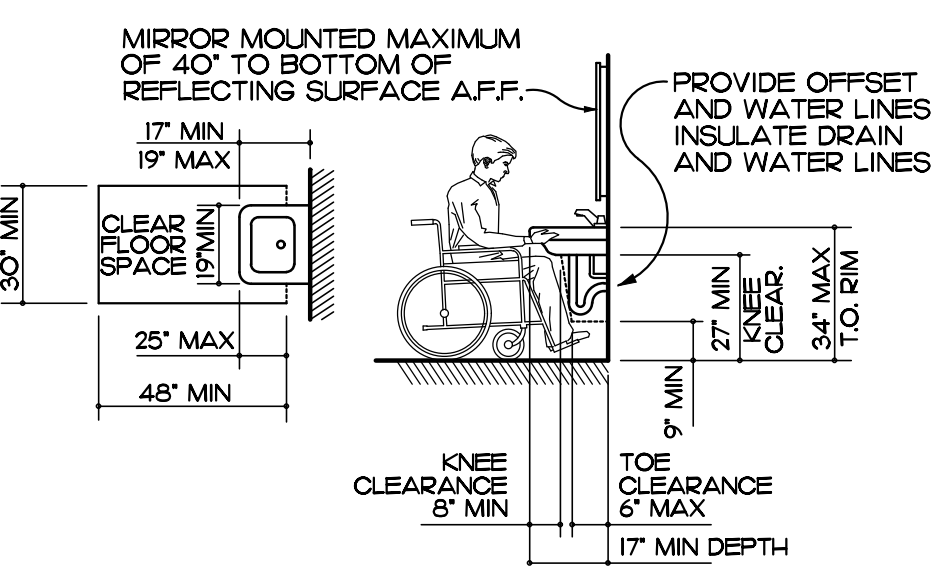
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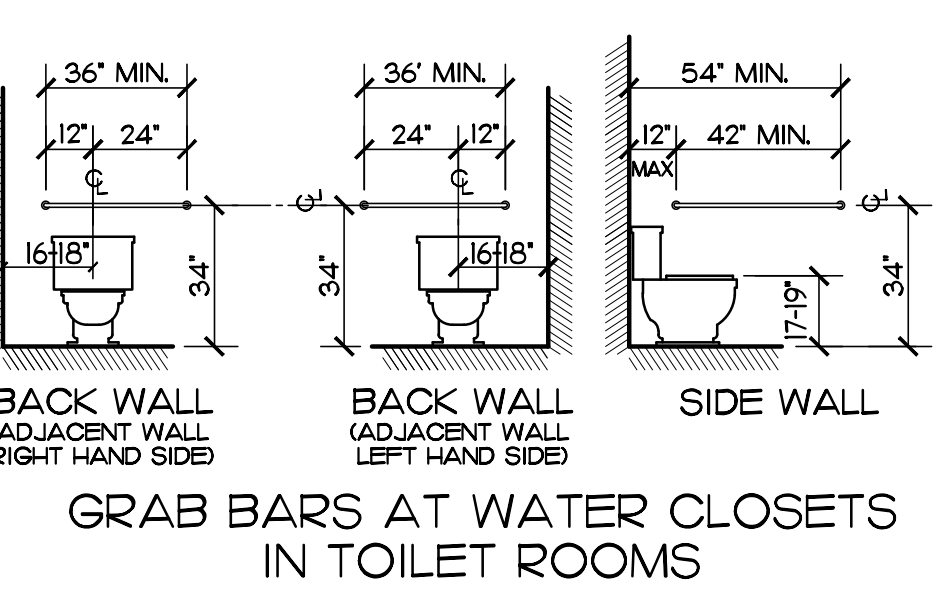
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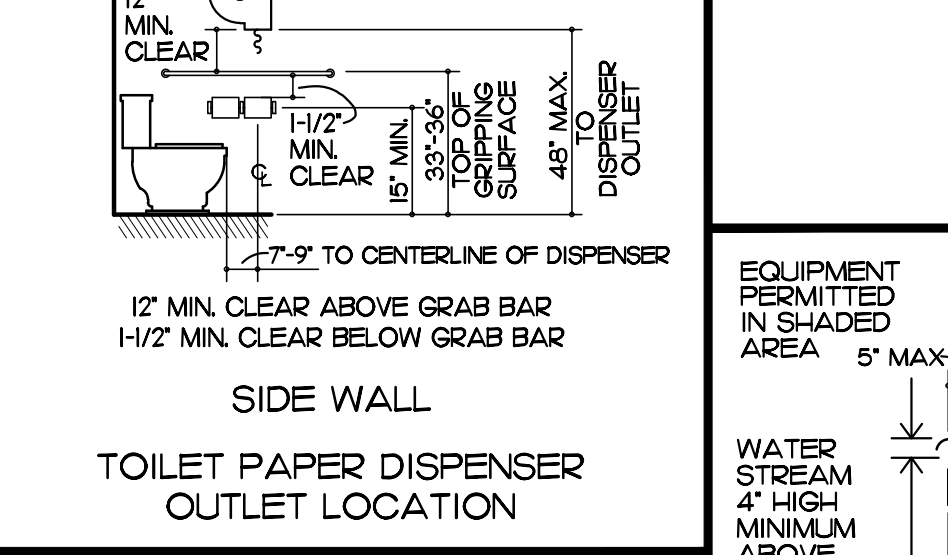
FIXTURE LOCATIONS AND FLUSH VALVE LOCATION



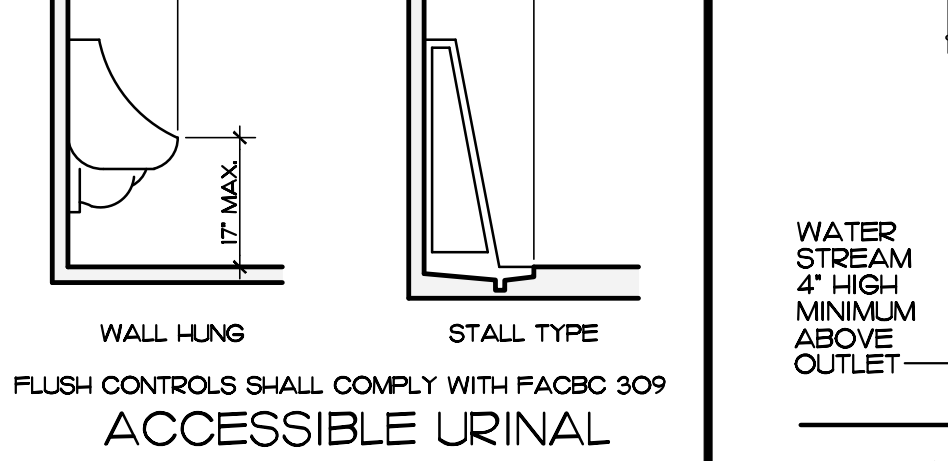
LAVATORY CLEARANCES



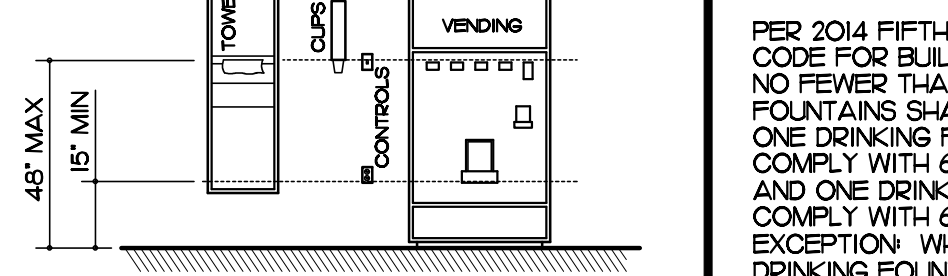
GRAB BARS AT WATER CLOSETS IN TOILET ROOMS



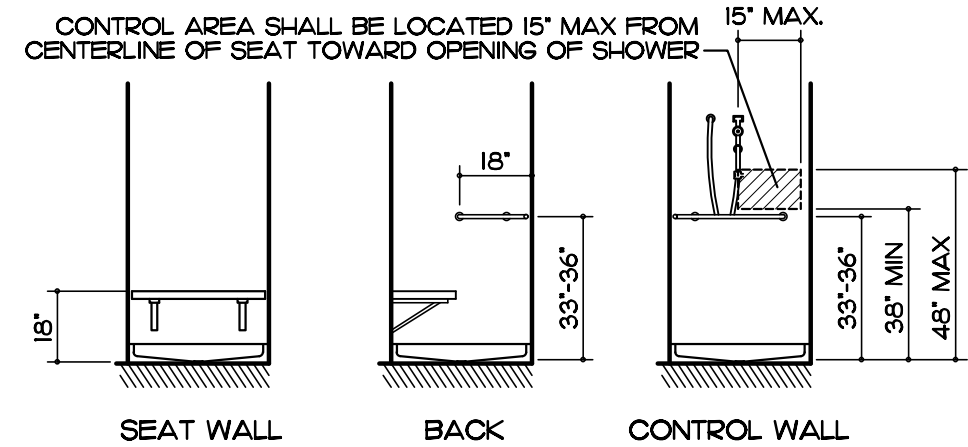
TOILET PAPER DISPENSER OUTLET LOCATION



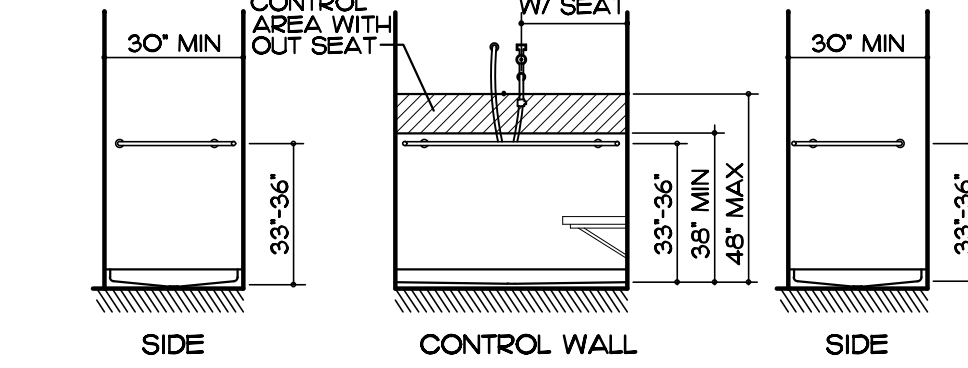
ACCESSIBLE URINAL



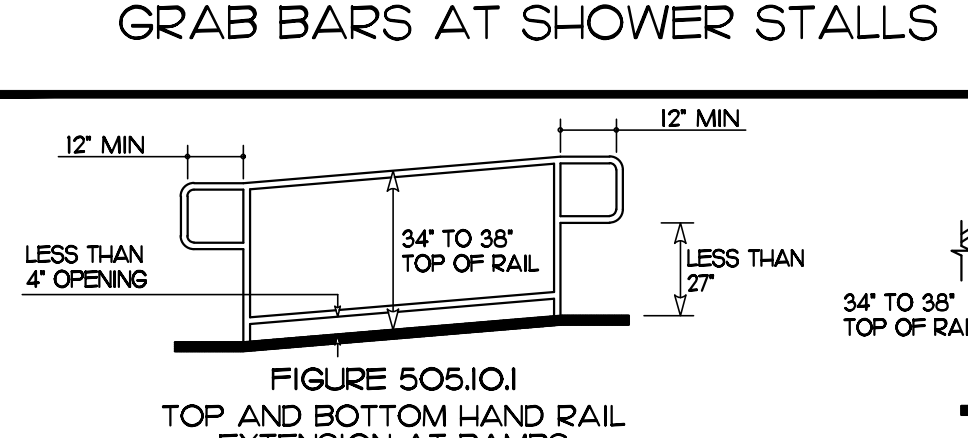
DISPENSER ACCESS



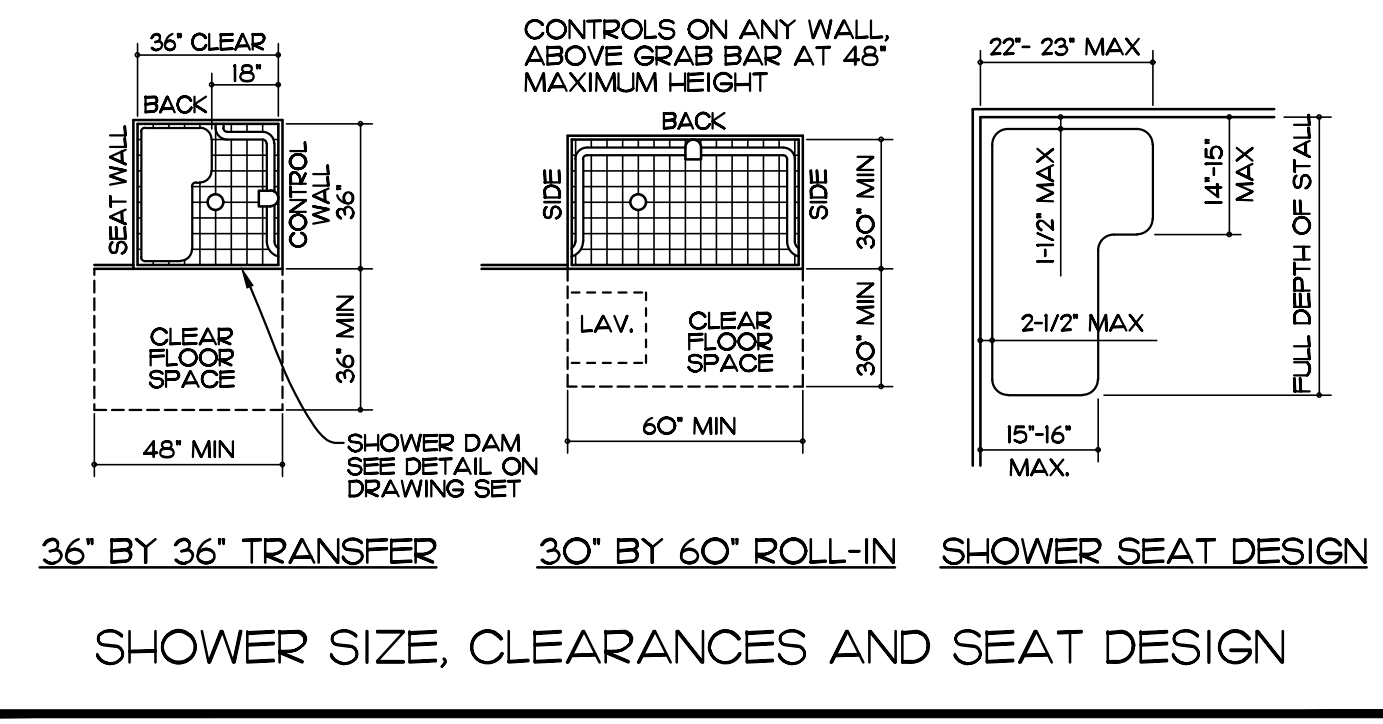
SHOWER SIZE, CLEARANCES AND SEAT DESIGN



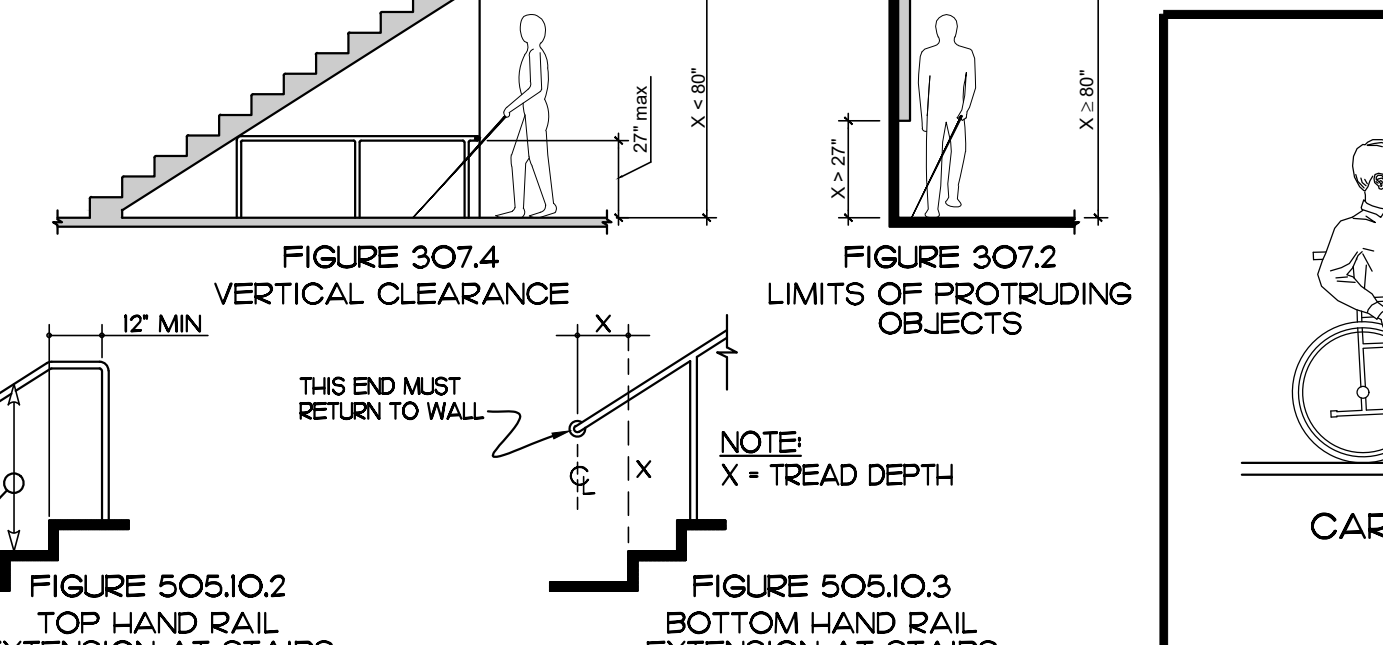
30" BY 60" ROLL-IN WITH OUT SEAT



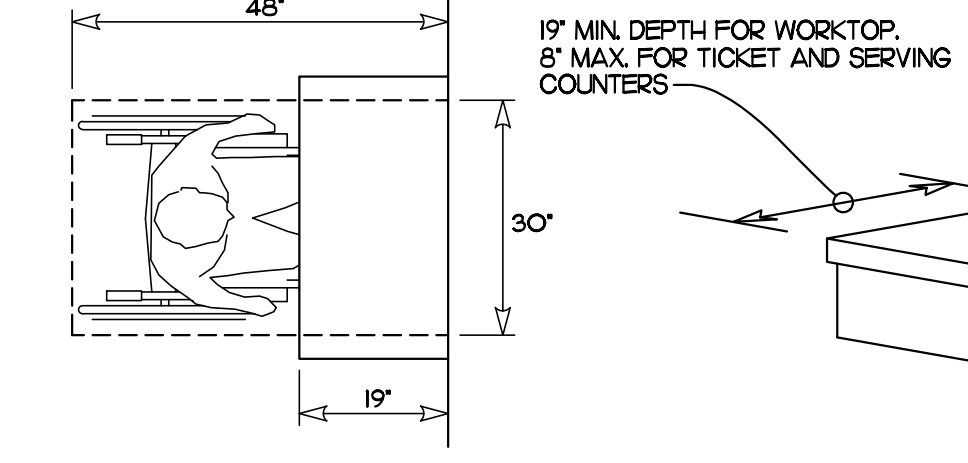
GRAB BARS AT SHOWER STALLS



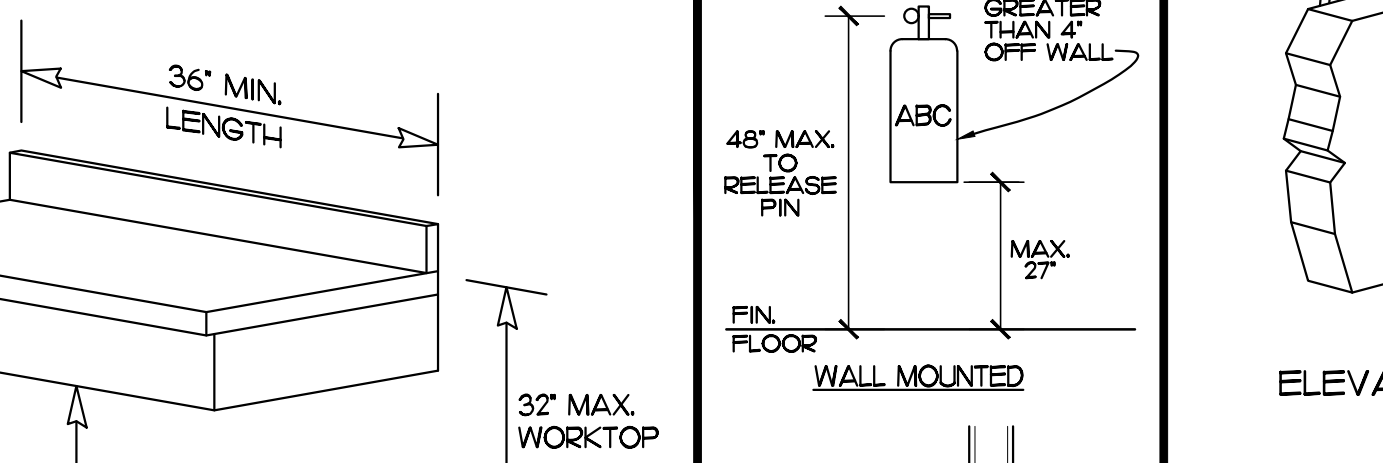
SHOWER SIZE, CLEARANCES AND SEAT DESIGN



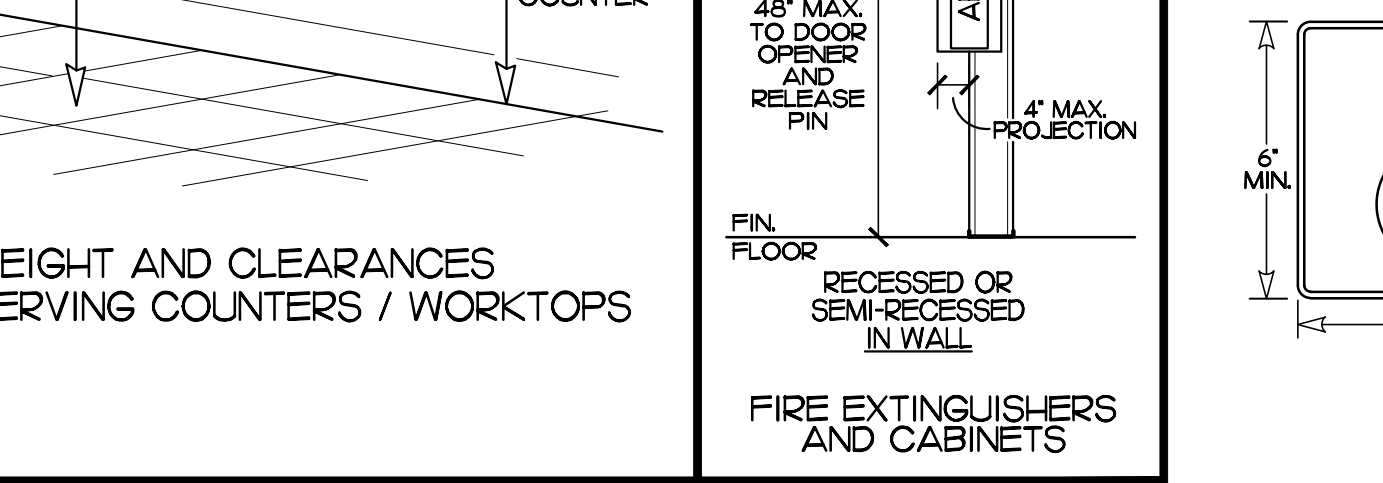
VERTICAL CLEARANCE



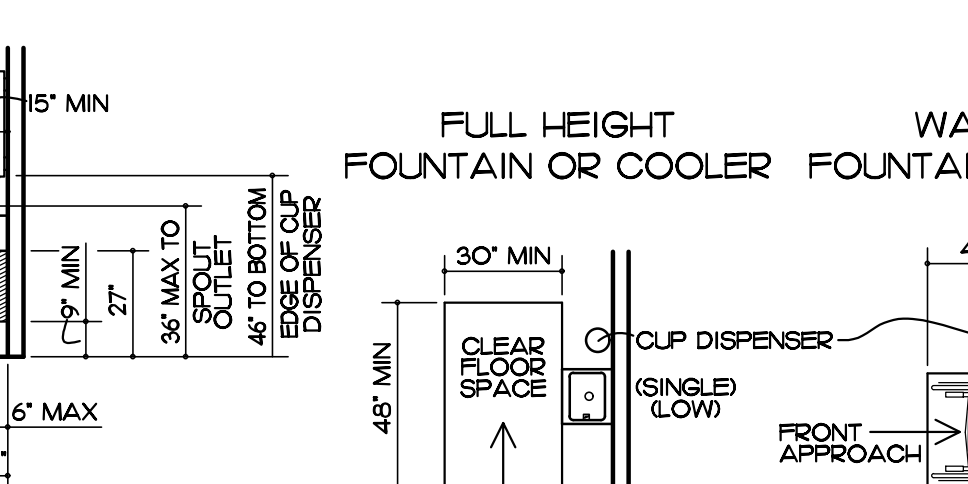
TOP AND BOTTOM HAND RAIL EXTENSION AT RAMP



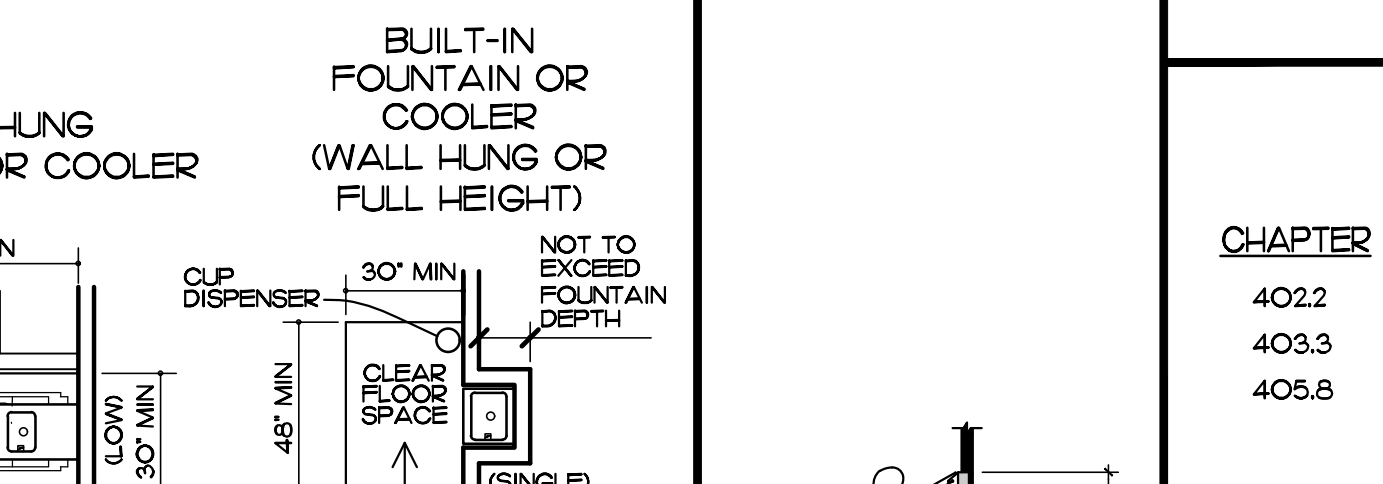
TOP HAND RAIL EXTENSION AT STAIRS



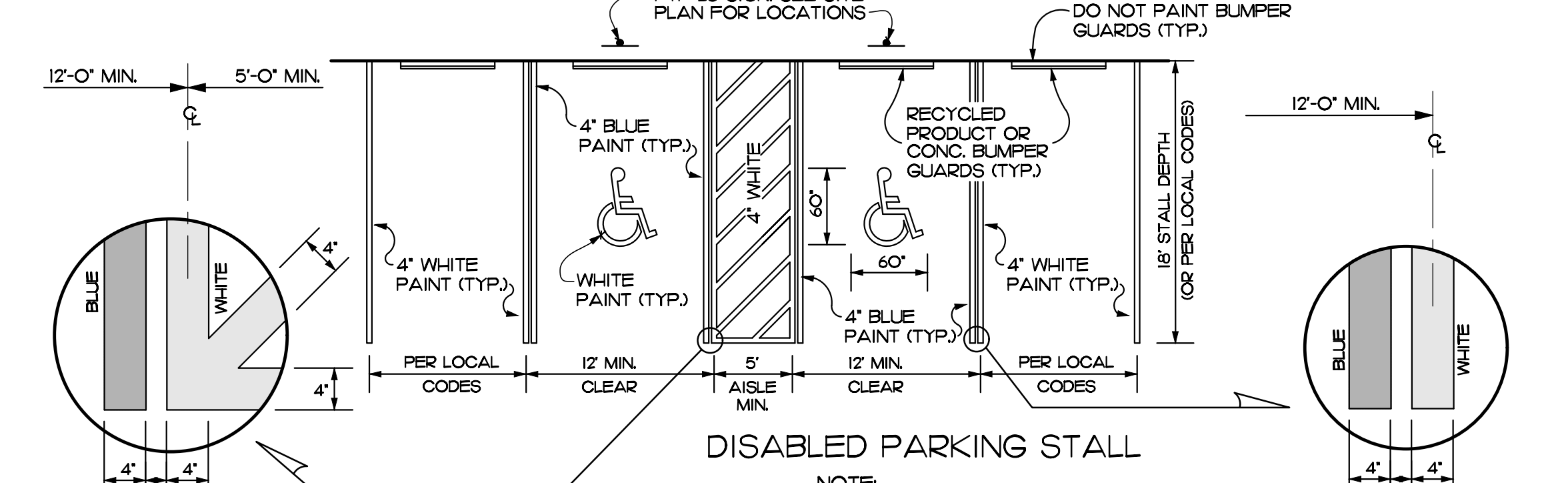
MOUNTING HEIGHT AND CLEARANCES FOR TICKET AND SERVING COUNTERS / WORKTOPS



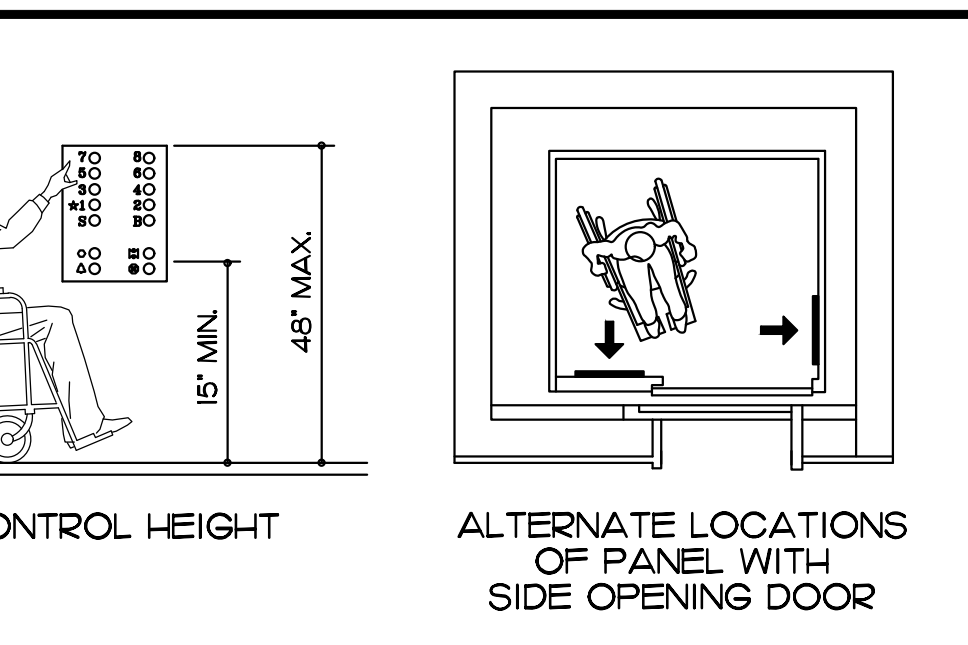
POSITION OF CLEAR FLOOR OR GROUND SPACE



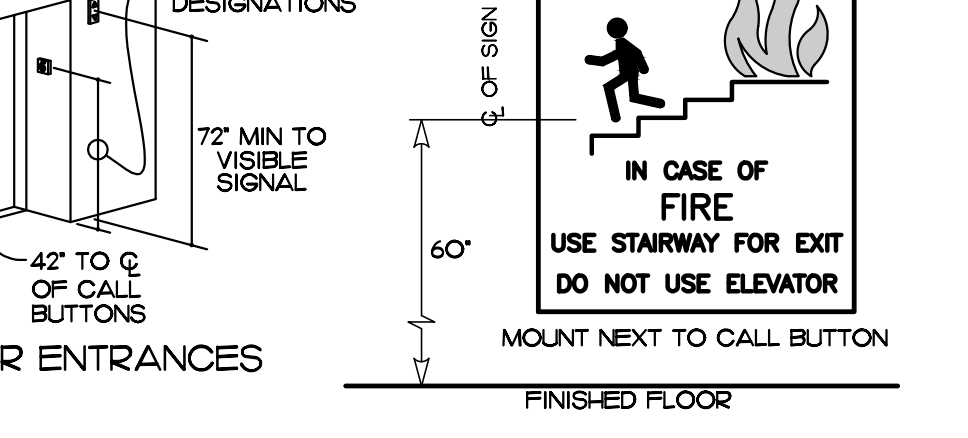
FIRE EXTINGUISHERS AND CABINETS



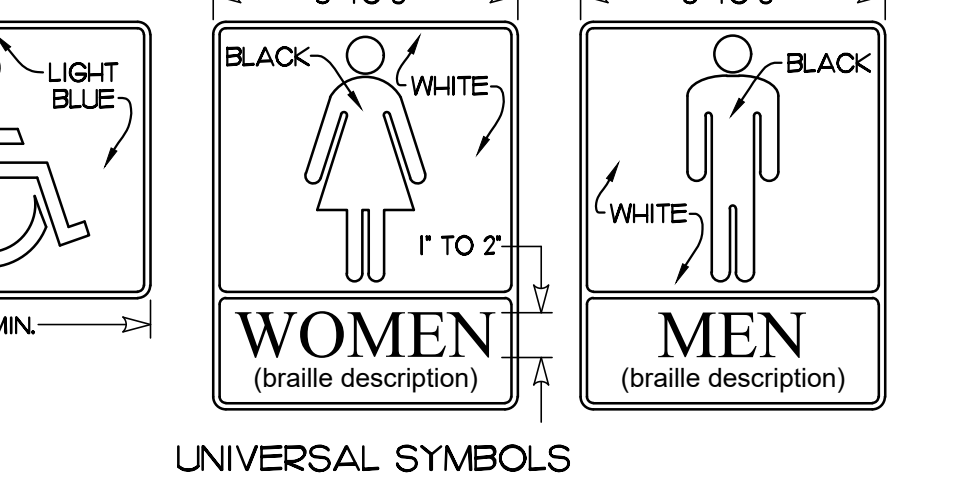
DISABLED PARKING STALL



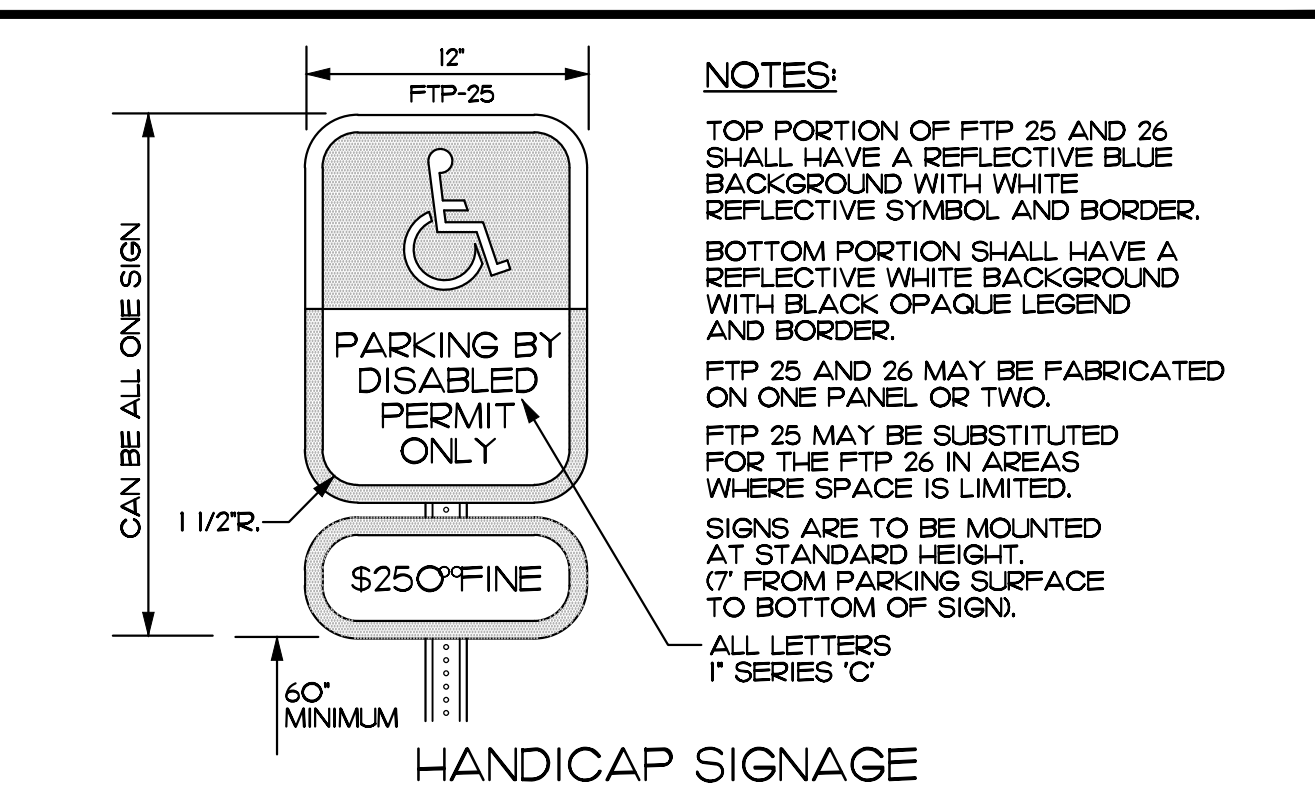
CAR CONTROL HEIGHT



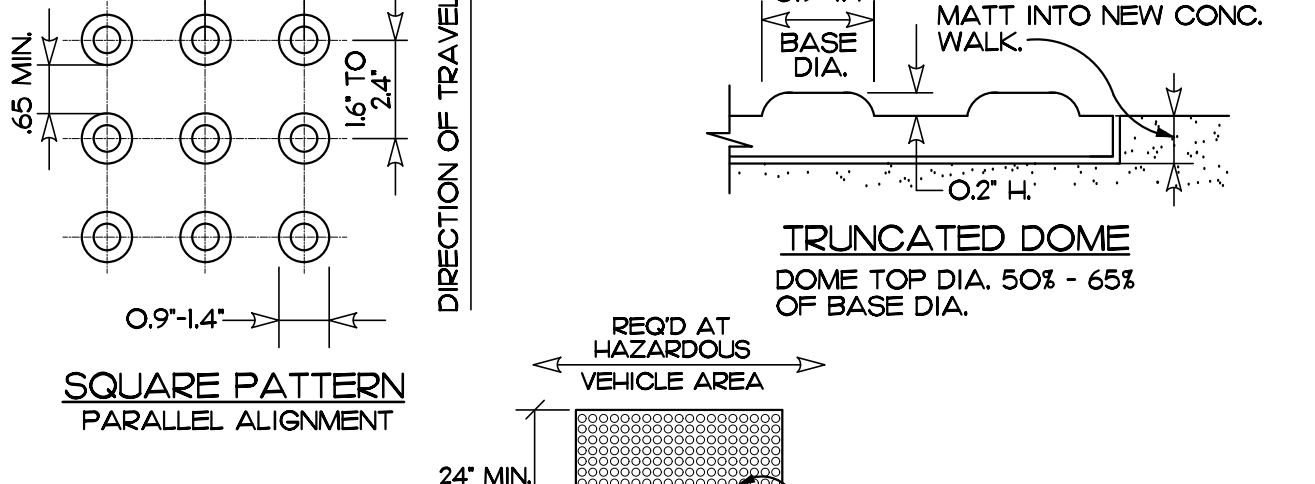
ELEVATOR ENTRANCES



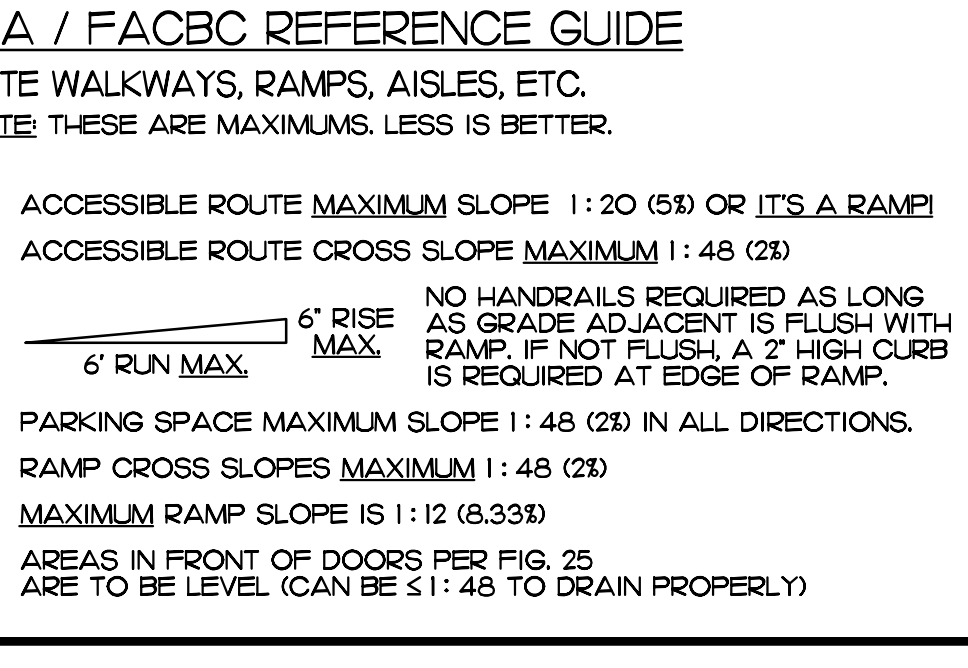
UNIVERSAL SYMBOLS



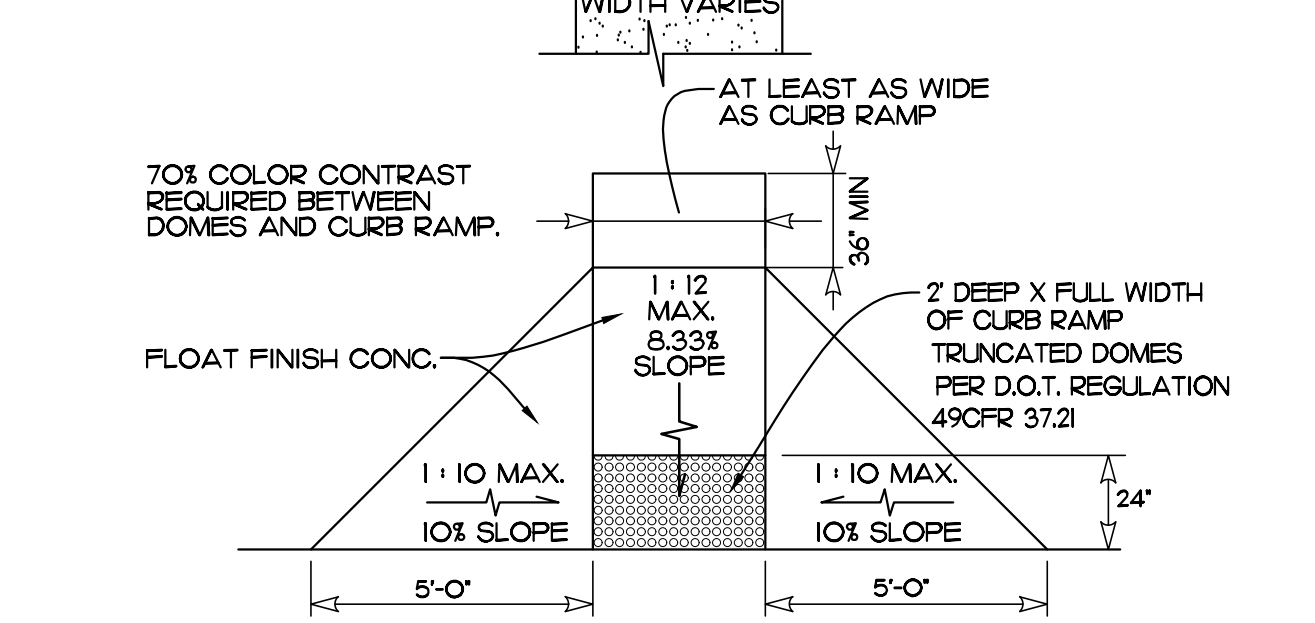
HANDICAP SIGNAGE



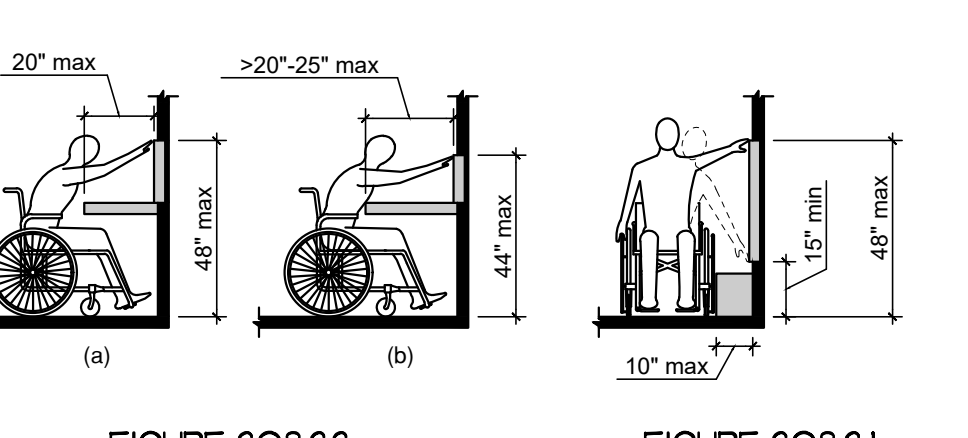
TRUNCATED DOME



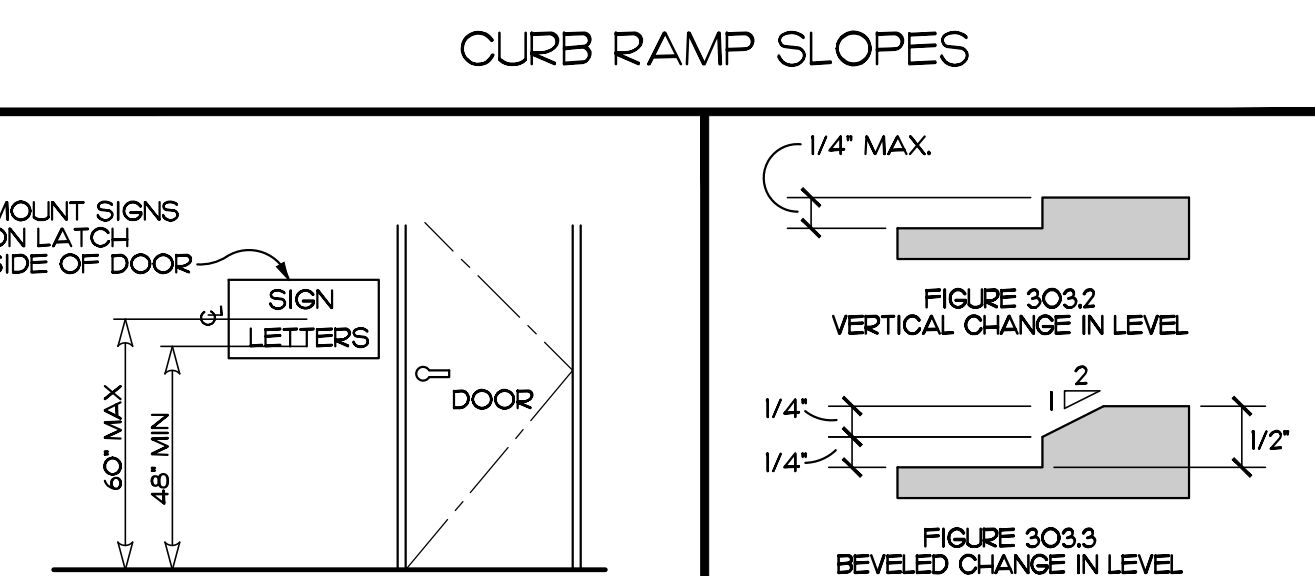
ADA / FACBC REFERENCE GUIDE



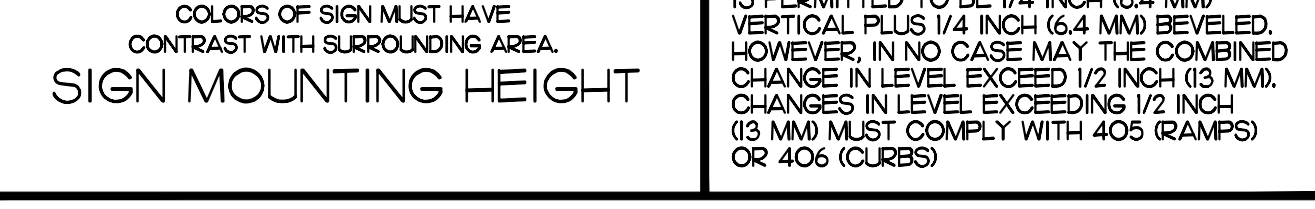
CURB RAMP SLOPES



REACH LIMITS



SIGN MOUNTING HEIGHT

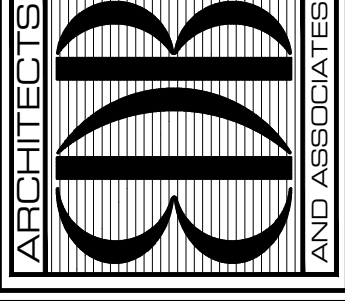


BEVELED CHANGE IN LEVEL

ACCESSIBILITY DETAILS

SOME TERMS, SYMBOLS AND SPECIFICATIONS MAY NOT APPLY TO THIS PROJECT.

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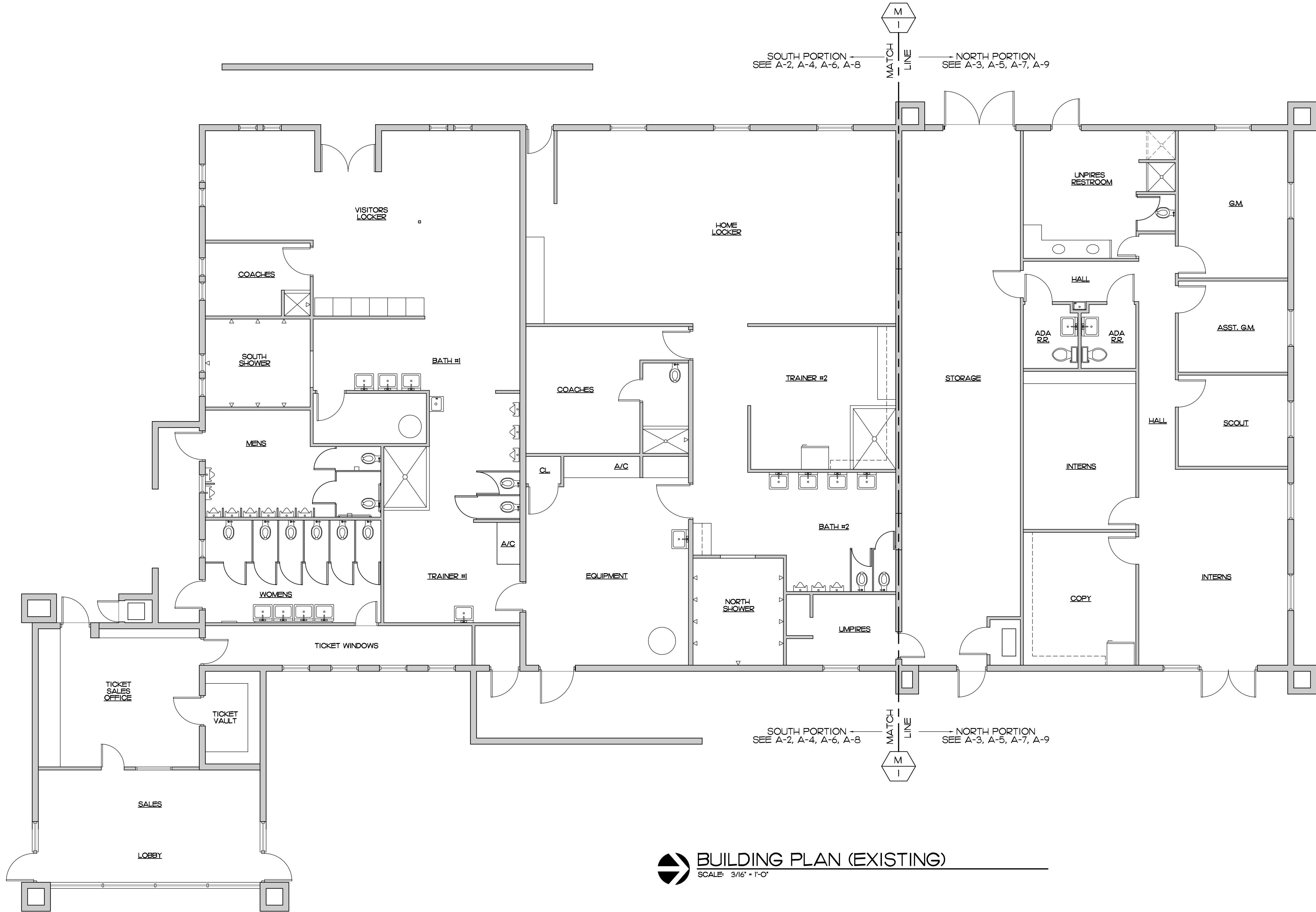
PROJECT: JACKIE ROBINSON STADIUM TICKET BUILDING REMODEL
INDIAN RIVER COUNTY
1801 27TH STREET
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NO.	DATE	REVISIONS

COMM. NO: 040420VB
DATE: 31 AUGUST, 2020
BY: LJD
CHKD: JFB

SHEET NO.
ACC
OF ONE

UPDATED 04 APRIL 2016



SOUTH PORTION SEE A-2, A-4, A-6, A-8

MATCH LINE

NORTH PORTION SEE A-3, A-5, A-7, A-9

SOUTH PORTION SEE A-2, A-4, A-6, A-8

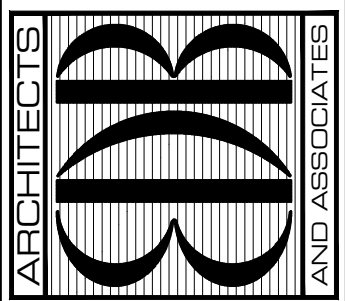
MATCH LINE

NORTH PORTION SEE A-3, A-5, A-7, A-9

BUILDING PLAN (EXISTING)

SCALE: 3/16" = 1'-0"

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SEAL:

PROJECT: **JACKIE ROBINSON STADIUM
TICKET BUILDING REMODEL**

FOR: INDIAN RIVER COUNTY
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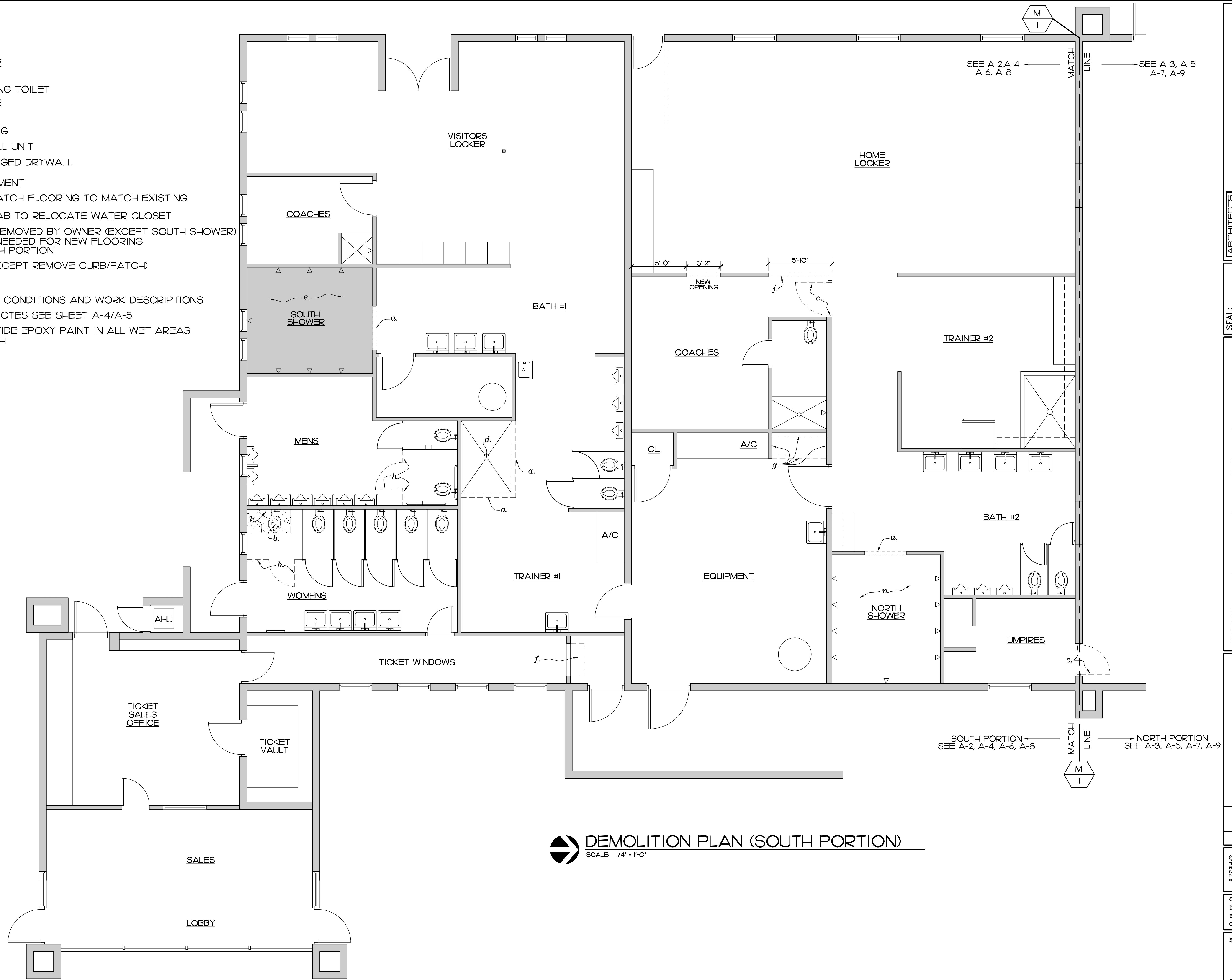
SHEET NO.
A-1
OF NINE

DESCRIPTION OF WORK:

- a. DEMO CURBS
- b. REMOVE/RELOCATE EXISTING TOILET
- c. REMOVE DOOR AND FRAME
- d. FLOOR DRAIN TO REMAIN
- e. REMOVE EXISTING FLOORING
- f. REMOVE EXISTING A/C WALL UNIT
- g. REMOVE ALL WATER DAMAGED DRYWALL AND KNEE WALL STUDS
- h. REMOVE TOILET COMPARTMENT
- j. WALLS TO BE REMOVED, PATCH FLOORING TO MATCH EXISTING
- k. SAW CUT AND REMOVE SLAB TO RELOCATE WATER CLOSET
- m. ALL FLOORING HAS BEEN REMOVED BY OWNER (EXCEPT SOUTH SHOWER) PROVIDE FLOOR PREP AS NEEDED FOR NEW FLOORING TYPICAL ALL ROOMS SOUTH PORTION
- n. NO WORK IN THIS AREA (EXCEPT REMOVE CURB/PATCH)

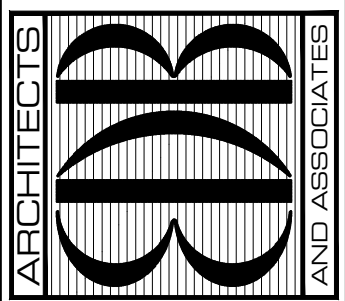
NOTES:

- 1. FIELD VERIFY ALL EXISTING CONDITIONS AND WORK DESCRIPTIONS
- 2. FOR CEILING DEMOLITION NOTES SEE SHEET A-4/A-5
- 3. REPAINT ALL ROOMS, PROVIDE EPOXY PAINT IN ALL WET AREAS RESTROOMS, TRAINER, BATH



DEMOLITION PLAN (SOUTH PORTION)
SCALE: 1/4" = 1'-0"

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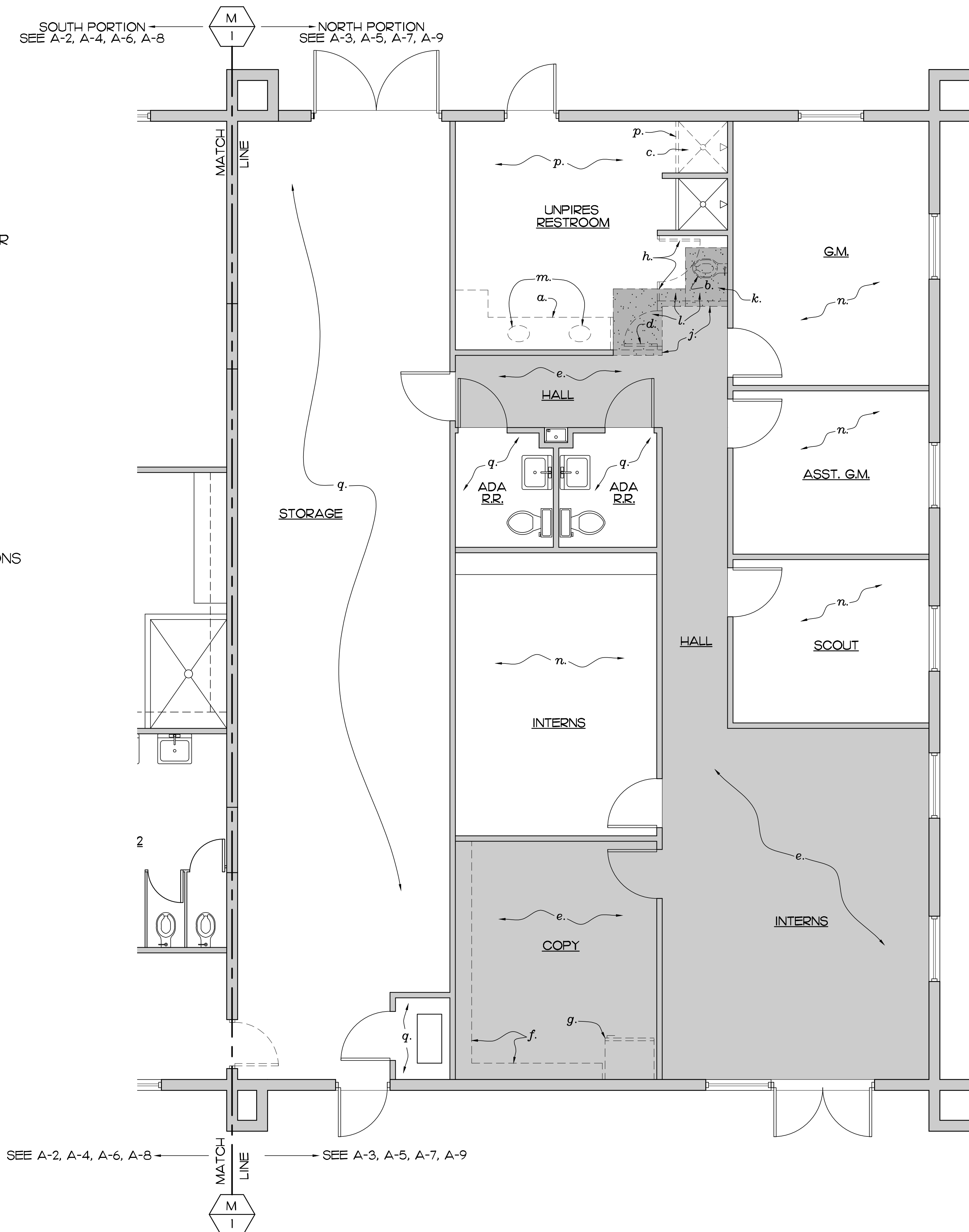
SHEET NO.
A-2
OF NINE

DESCRIPTION OF WORK:

- a. REMOVE EXISTING SINK VANITY COUNTER
- b. REMOVE EXISTING TOILET (TO BE RELOCATED)
- c. PREFAB FIBERGLASS SHOWER TO BE REMOVED AND TO BE REBUILT TO MEET ADA
- d. REMOVE DOOR AND FRAME
- e. REMOVE EXISTING FLOORING THAT HAS NOT BEEN REMOVED BY OWNER IN AREAS INDICATED
- f. REMOVE EXISTING UPPER CABINETS
- g. REMOVE REFRIGERATOR, DELIVER TO OWNER
- h. REMOVE TOILET COMPARTMENT
- j. WALLS TO BE REMOVED
- k. CUT AND REMOVE EXISTING CONCRETE SLAB TO MOVE THE EXISTING TOILET
- l. REMOVE TILE FLOORING IN AREA OF ENLARGED RESTROOM ENTRANCE, W.C. RELOCATION
- m. REMOVE EXISTING LAVATORIES AND EXTEND PLUMBING TO NEW WALL MOUNTED LAVATORY LOCATIONS, SEE SHEET A-7
- n. EXISTING FLOORING HAS BEEN REMOVED BY OWNER, FLOOR PREP AS NEEDED FOR NEW LVT FLOORING
- p. EXISTING TILE FLOOR TO REMAIN, TILE PATCH IN WILL BE REQUIRED AT W.C. RELOCATION
- q. NO WORK IN THIS AREA

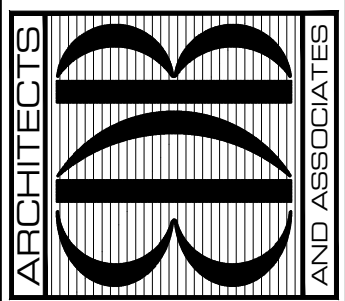
NOTES:

- 1. FIELD VERIFY ALL WORK, EXISTING CONDITIONS, AND WORK DESCRIPTIONS
- 2. TIE NEW PLUMBING FIXTURES INTO EXISTING PLUMBING LINES



DEMOLITION PLAN (NORTH PORTION)
SCALE: 1/4" = 1'-0"

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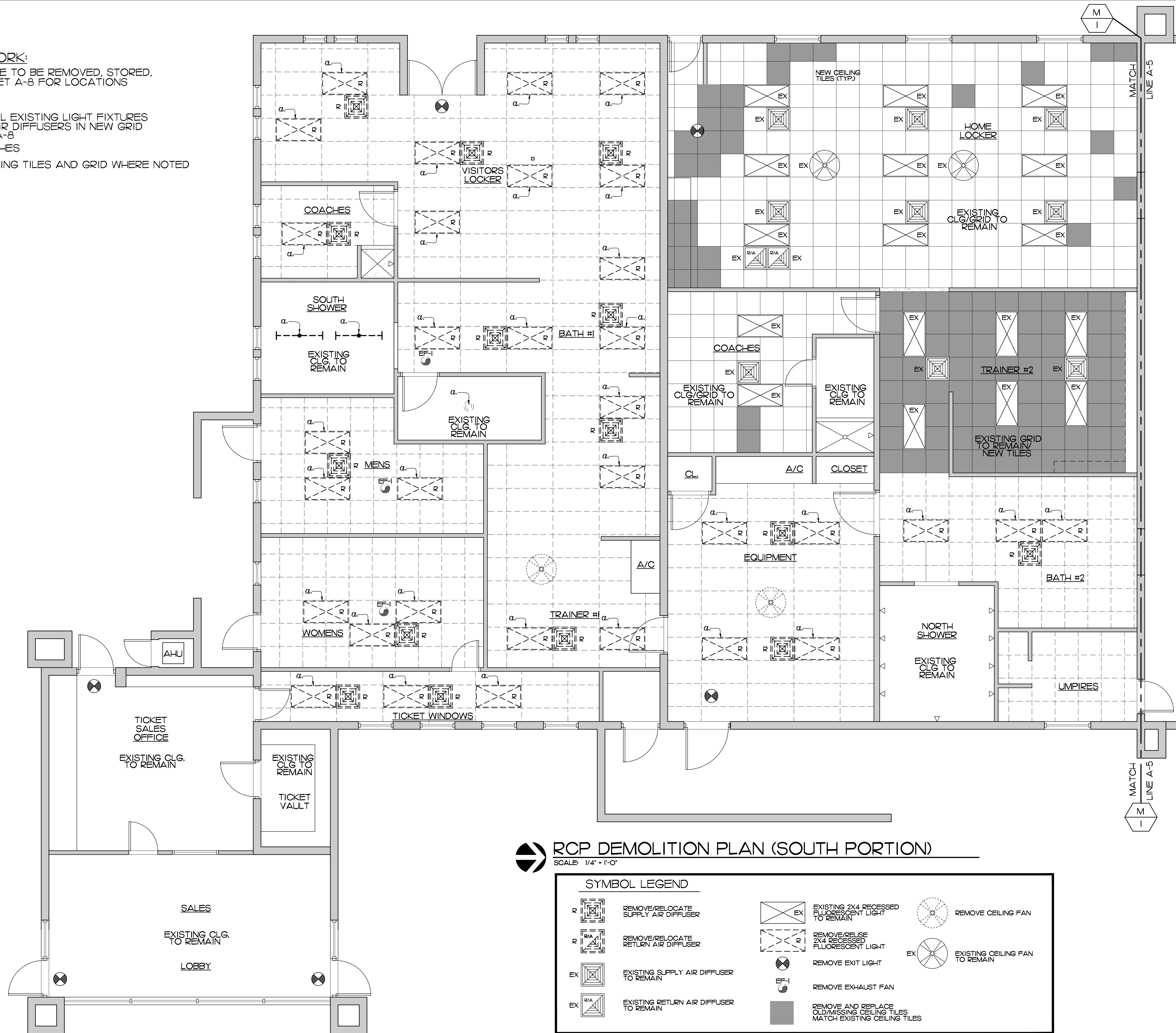
SHEET NO.
A-3
OF NINE

DESCRIPTION OF WORK:

a. EXISTING LIGHT FIXTURE TO BE REMOVED, STORED, AND REUSED, SEE SHEET A-8 FOR LOCATIONS

NOTES

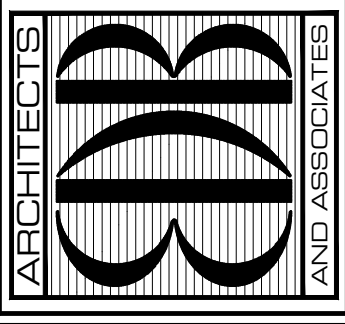
1. REMOVE AND REINSTALL EXISTING LIGHT FIXTURES AND SUPPLY/RETURN AIR DIFFUSERS IN NEW GRID AS SHOWN ON SHEET A-8
2. REUSE EXISTING SWITCHES
3. REMOVE/REPLACE CEILING TILES AND GRID WHERE NOTED



RCP DEMOLITION PLAN (SOUTH PORTION)
SCALE: 1/4" = 1'-0"

SYMBOL LEGEND			
	REMOVE/RELOCATE SUPPLY AIR DIFFUSER		EXISTING 2x4 RECESSED FLUORESCENT LIGHT TO REMAIN
	REMOVE/RELOCATE RETURN AIR DIFFUSER		REMOVE/REUSE 2x4 RECESSED FLUORESCENT LIGHT
	EXISTING SUPPLY AIR DIFFUSER TO REMAIN		REMOVE EXIT LIGHT
	EXISTING RETURN AIR DIFFUSER TO REMAIN		REMOVE EXHAUST FAN
	REMOVE CEILING FAN		EXISTING CEILING FAN TO REMAIN
	REMOVE AND REPLACE OLD/MISSING CEILING TILES MATCH EXISTING CEILING TILES		

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CHKD: JFB

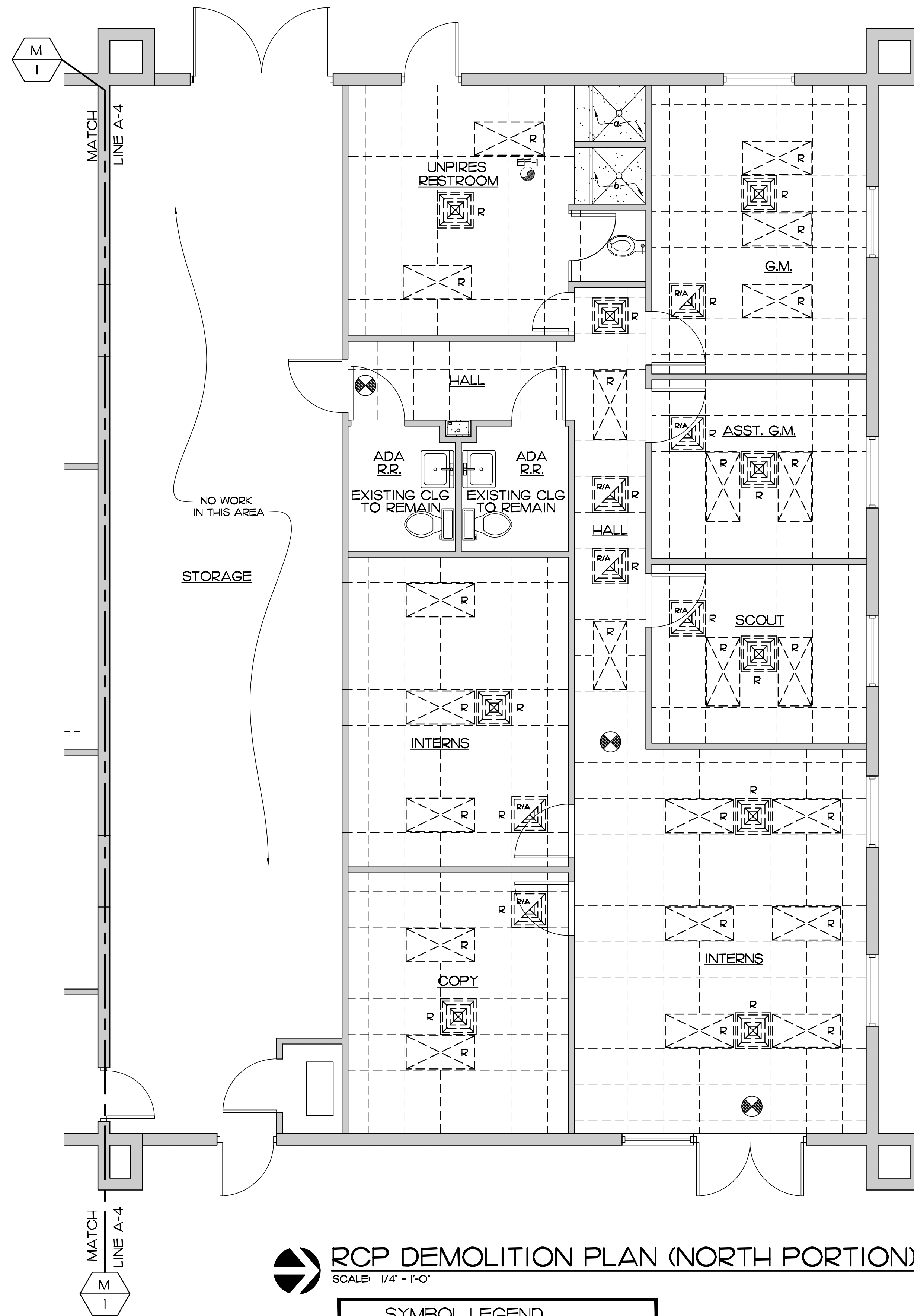
SHEET NO.
A-4
OF NINE

DESCRIPTION OF WORK:

- a. REMOVE DRYWALL CEILING
- b. DRYWALL CEILING TO REMAIN

NOTES

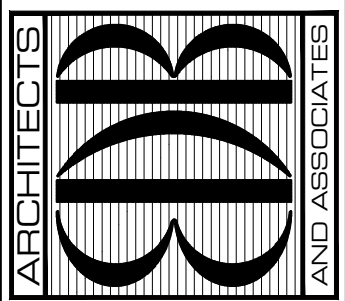
1. REMOVE AND REINSTALL EXISTING LIGHT FIXTURES AND SUPPLY/RETURN AIR DIFFUSERS IN NEW GRID AS SHOWN ON SHEET A-9
2. REUSE EXISTING SWITCHES
3. REMOVE/REPLACE CEILING TILES AND GRID WHERE NOTED
4. NEW CEILING HEIGHT INSTALLATION TO MATCH EXISTING CEILING HEIGHTS
5. REMOVE/REPLACE ALL SUPPLY/RETURN AIR GRILLES IN NORTH PORTION ONLY, SOUTH PORTION AIR GRILLES TO BE REUSED, RECENTLY REPLACED BY OWNER



RCP DEMOLITION PLAN (NORTH PORTION)
SCALE: 1/4" = 1'-0"

SYMBOL LEGEND	
	REMOVE/REUSE SUPPLY AIR DIFFUSER
	REMOVE/REUSE RETURN AIR DIFFUSER
	REMOVE/REPLACE EXIT LIGHT
	REMOVE/REUSE 2X4 RECESSED FLUORESCENT LIGHT
	REMOVE EX-HAUST FAN

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TICKET BUILDING REMODEL

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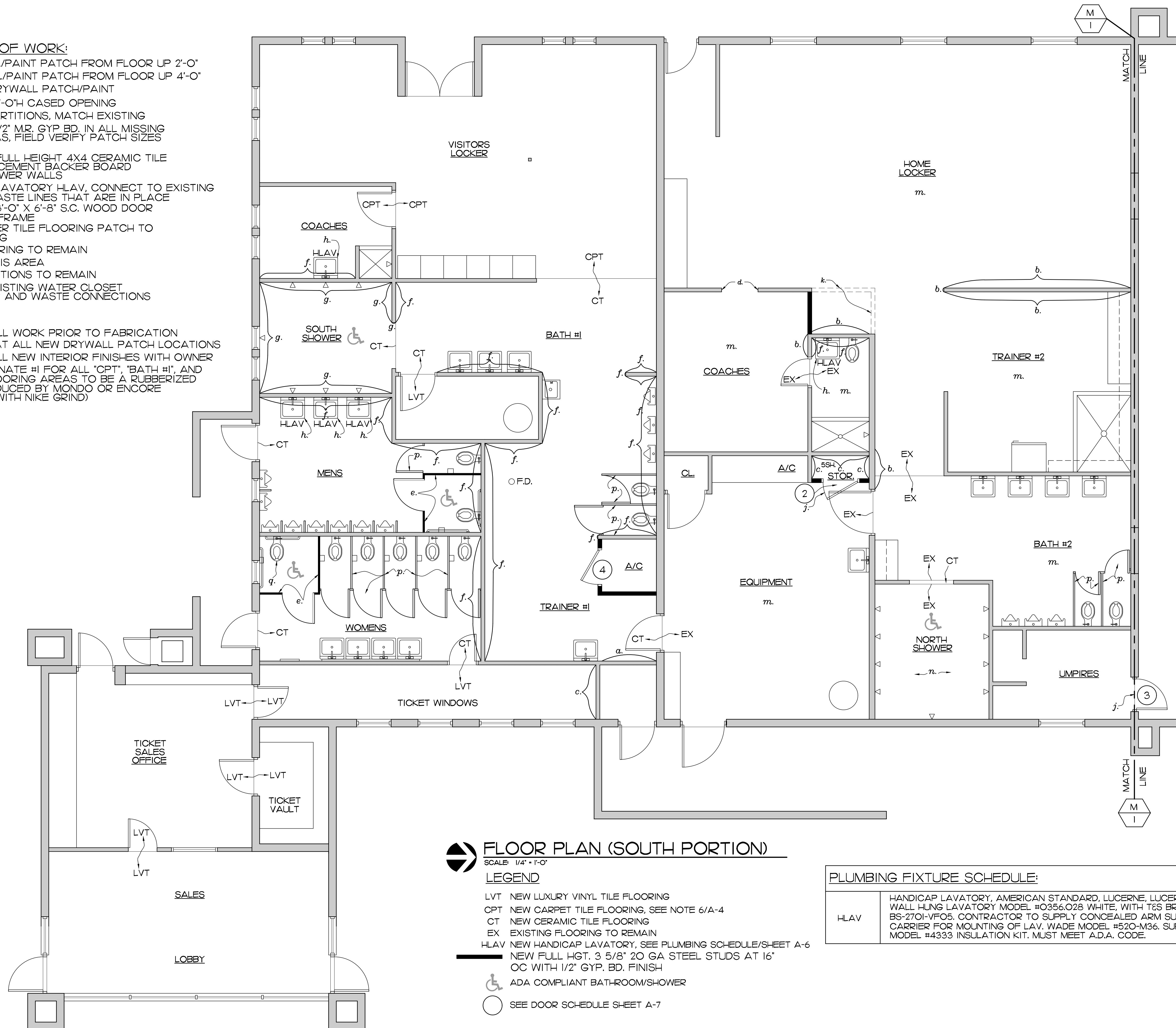
SHEET NO.
A-5
OF NINE

DESCRIPTION OF WORK:

- a. 2'-0" H DRYWALL/PAINT PATCH FROM FLOOR UP 2'-0"
- b. 4'-0" H DRYWALL/PAINT PATCH FROM FLOOR UP 4'-0"
- c. FULL HEIGHT DRYWALL PATCH/PAINT
- d. NEW 3'-0" W X 7'-0" H CASED OPENING
- e. NEW TOILET PARTITIONS, MATCH EXISTING
- f. PROVIDE NEW 1/2" MR. GYP BD. IN ALL MISSING DRYWALL AREAS, FIELD VERIFY PATCH SIZES EPOXY PAINT
- g. PROVIDE NEW FULL HEIGHT 4X4 CERAMIC TILE OVER NEW 1/2" CEMENT BACKER BOARD ON SOUTH SHOWER WALLS
- h. PROVIDE NEW LAVATORY HLAV, CONNECT TO EXISTING WATER AND WASTE LINES THAT ARE IN PLACE
- j. PROVIDE NEW 3'-0" X 6'-8" S.C. WOOD DOOR IN 16GA STEEL FRAME
- k. PROVIDE RUBBER TILE FLOORING PATCH TO MATCH EXISTING
- m. EXISTING FLOORING TO REMAIN
- n. NO WORK IN THIS AREA
- p. EXISTING PARTITIONS TO REMAIN
- q. RELOCATED EXISTING WATER CLOSET, MODIFY WATER AND WASTE CONNECTIONS

NOTES:

- 1. FIELD VERIFY ALL WORK PRIOR TO FABRICATION
- 2. INSTALL BASE AT ALL NEW DRYWALL PATCH LOCATIONS
- 3. COORDINATE ALL NEW INTERIOR FINISHES WITH OWNER
- 4. PROVIDE ALTERNATE #1 FOR ALL "CPT", "BATH #1", AND "TRAINER #1" FLOORING AREAS TO BE A RUBBERIZED FLOORING PRODUCED BY MONDO OR ENCORE (EX. EVERLAST WITH NIKE GRIND)



FLOOR PLAN (SOUTH PORTION)

SCALE: 1/4" = 1'-0"

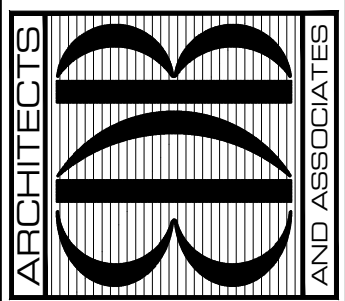
LEGEND

- LVT NEW LUXURY VINYL TILE FLOORING
- CPT NEW CARPET TILE FLOORING, SEE NOTE 6/A-4
- CT NEW CERAMIC TILE FLOORING
- EX EXISTING FLOORING TO REMAIN
- HLAV NEW HANDICAP LAVATORY, SEE PLUMBING SCHEDULE/SHEET A-6
- NEW FULL HGT. 3 5/8" 20 GA STEEL STUDS AT 16" OC WITH 1/2" GYP. BD. FINISH
- ADA COMPLIANT BATHROOM/SHOWER
- SEE DOOR SCHEDULE SHEET A-7

PLUMBING FIXTURE SCHEDULE:

HLAV	HANDICAP LAVATORY, AMERICAN STANDARD, LUCERNE, LUCERNE WALL HUNG LAVATORY MODEL #O356.028 WHITE, WITH T&S BRASS FAUCET BS-270I-VF05. CONTRACTOR TO SUPPLY CONCEALED ARM SUPPORT CARRIER FOR MOUNTING OF LAV. WADE MODEL #520-M36. SUPPLY PLUMBEREX MODEL #4333 INSULATION KIT. MUST MEET A.D.A. CODE.
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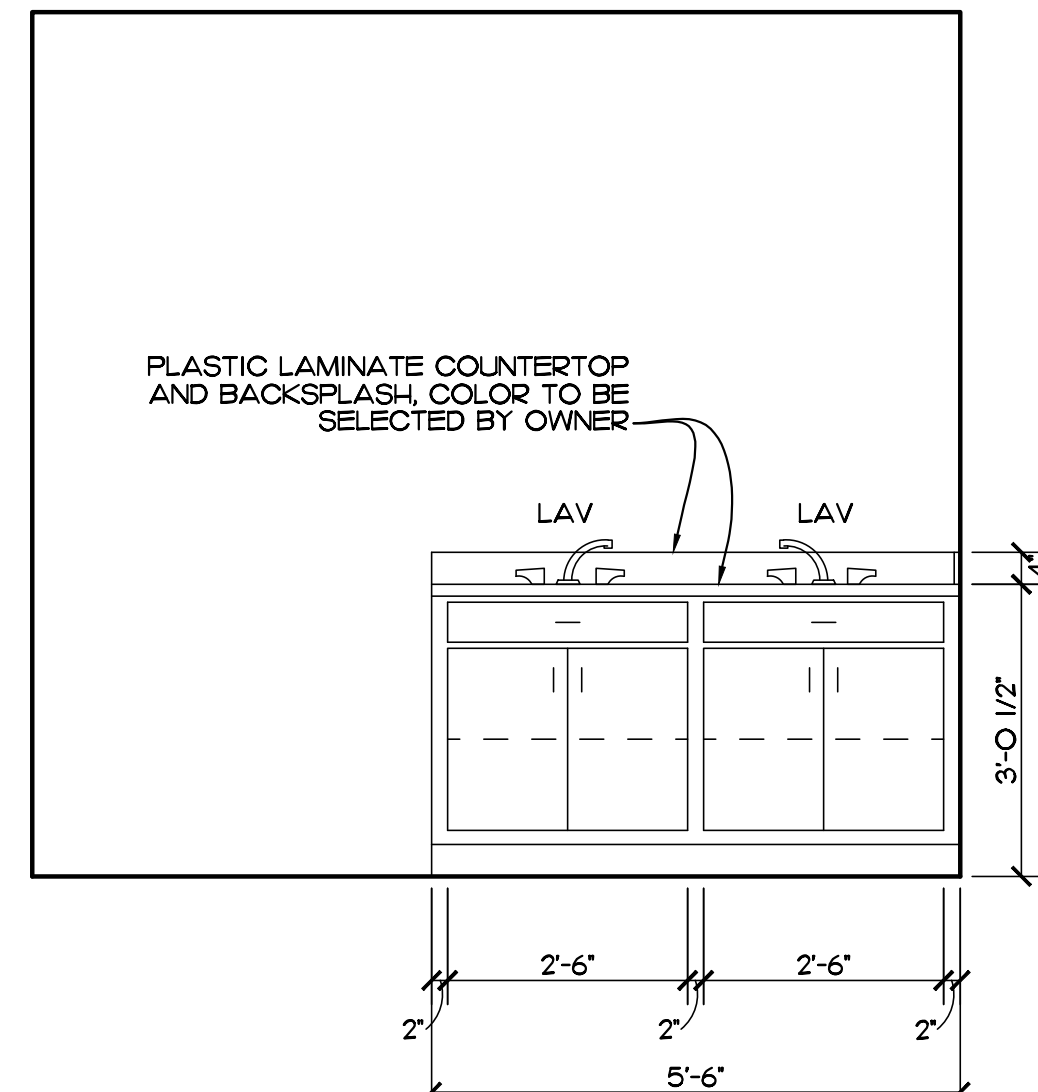
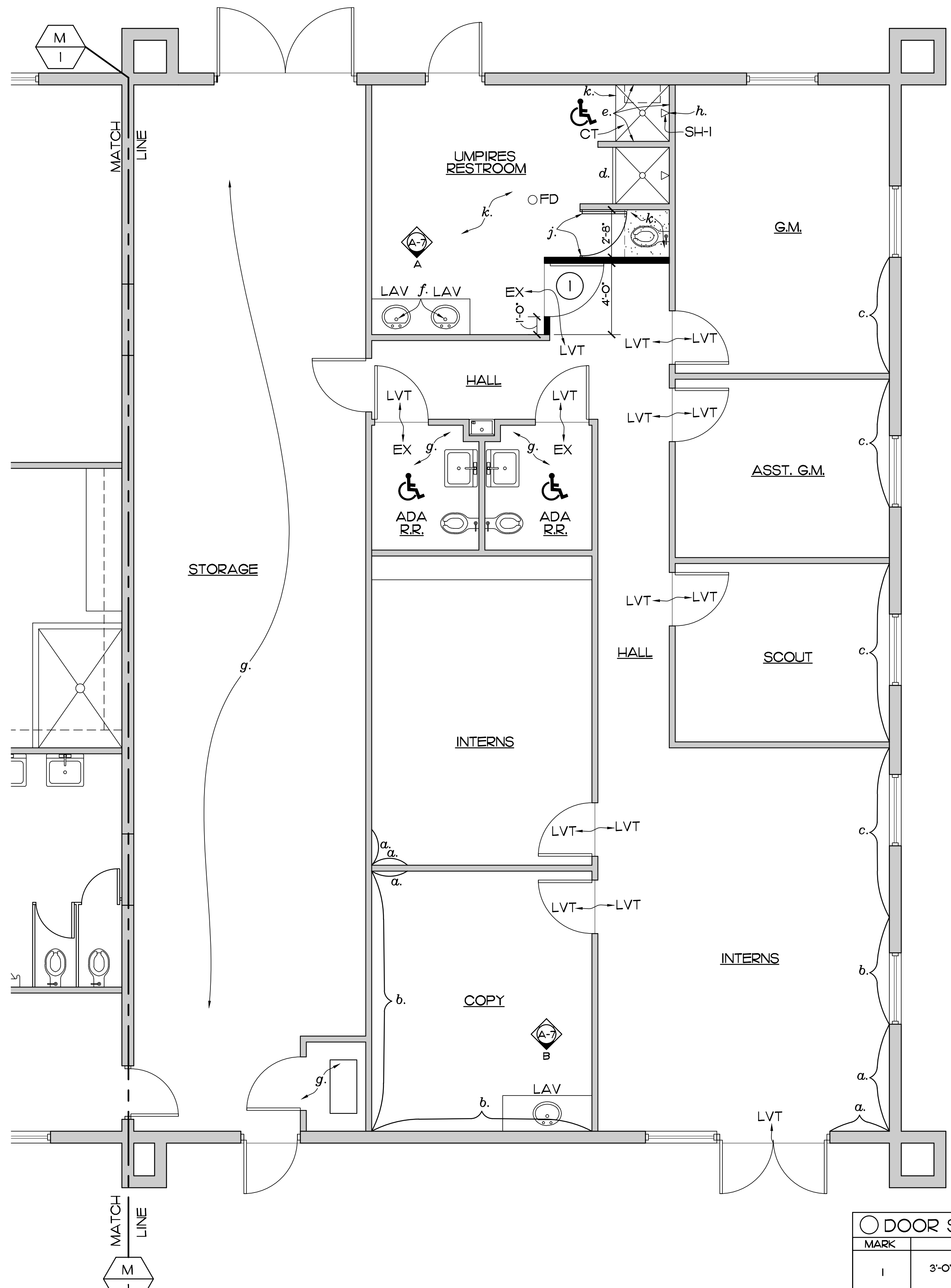
SHEET NO.
A-6
OF NINE

DESCRIPTION OF WORK:

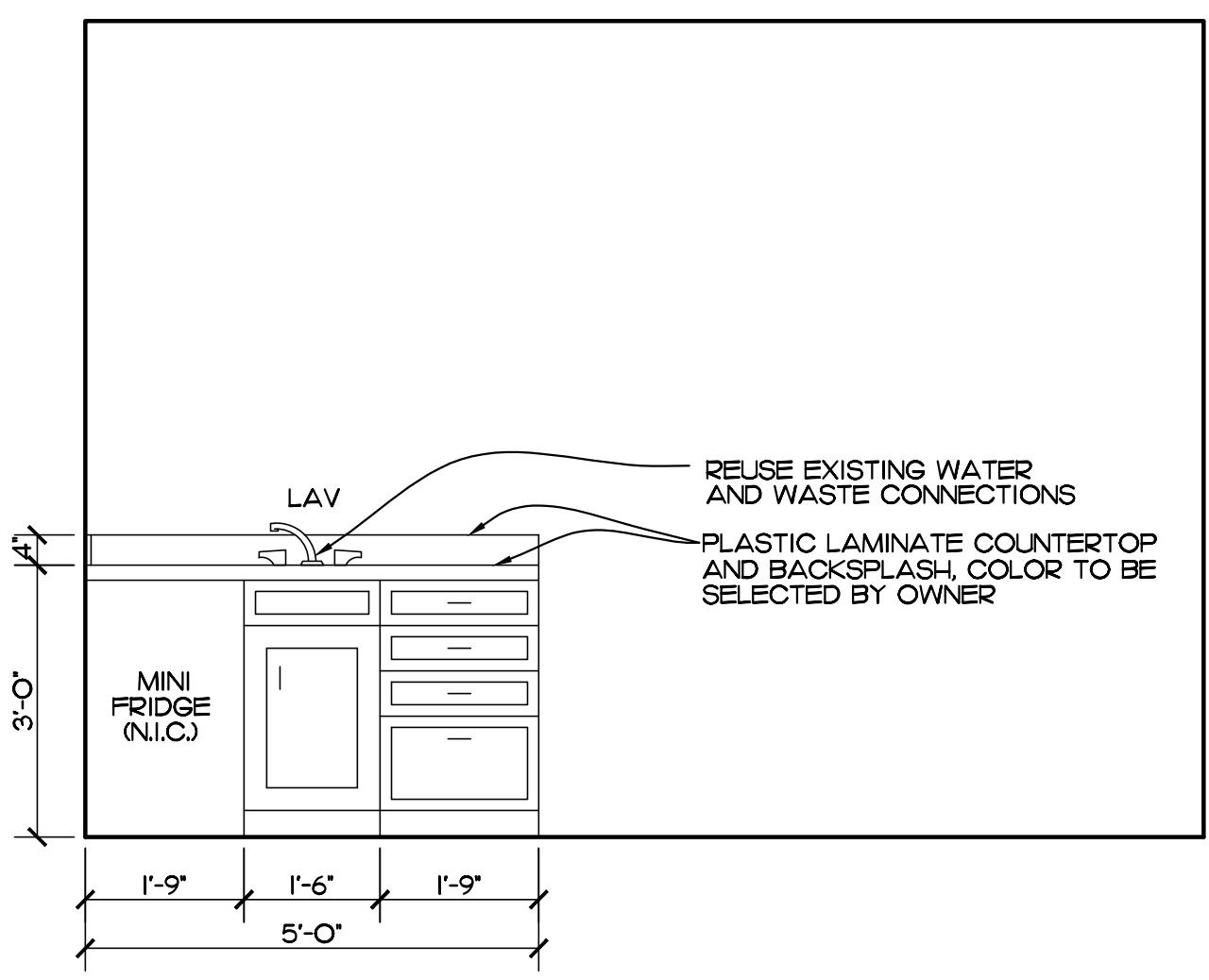
- a. 2'-0" H DRYWALL/PAINT PATCH FROM FLOOR UP 2'-0"
- b. 4'-0" H DRYWALL/PAINT PATCH FROM FLOOR UP 4'-0"
- c. FULL HEIGHT DRYWALL PATCH/PAINT
- d. EXISTING SHOWER TO REMAIN
- e. PROVIDE NEW FULL HEIGHT CERAMIC TILE OVER NEW 1/2" CEMENT BACKER BOARD ALONG WITH ADA FOLD DOWN SEAT
- f. NEW LAVATORIES, REVISE EXISTING WATER AND WASTE CONNECTIONS TO NEW LOCATION
- g. NO WORK IN THESE ROOMS
- h. MODIFY REPLACE SHOWER HEAD IN REMODELED ADA SHOWER
- j. NEW TOILET PARTITIONS, SOLID PLASTIC, SANTANA OR EQUAL
- k. EXISTING FLOOR TILE TO REMAIN, PATCH TILE TO MATCH EXISTING AS NEEDED

NOTES:

- 1. FIELD VERIFY ALL WORK PRIOR TO FABRICATION
- 2. INSTALL VINYL BASE AT ALL NEW DRYWALL PATCH LOCATIONS, MATCH EXISTING
- 3. COORDINATE ALL NEW INTERIOR FINISHES WITH OWNER
- 4. REMOVE AND REPLACE CEILING GRID THROUGHOUT
- 5. SAVE LIGHT FIXTURES AND REINSTALL
- 6. PROVIDE NEW A/C GRILLES TO MATCH EXISTING ON NORTH PORTION
- 7. REPAINT ALL WALLS, PROVIDE EPOXY PAINT IN UMPIRES RESTROOM



A-7 UMPIRES RESTROOM



B-7 COPY

INTERIOR ELEVATIONS
SCALE: 1/2" = 1'-0"

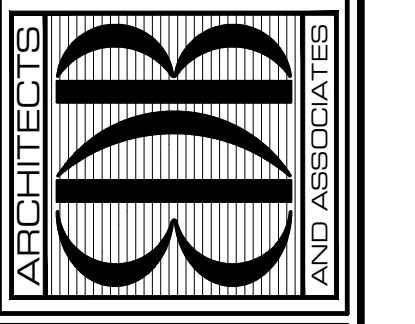
FLOOR PLAN (NORTH PORTION)
SCALE: 1/4" = 1'-0"

- LEGEND**
- LVT NEW LUXURY VINYL TILE FLOORING
 - CPT NEW CARPET TILE FLOORING
 - CT NEW CERAMIC TILE FLOORING (SQUARES)
 - EX EXISTING FLOORING TO REMAIN
 - ADA COMPLIANT BATHROOM/SHOWER
 - SEE DOOR SCHEDULE SHEET A-7

DOOR SCHEDULE					
MARK	SIZE	DESCRIPTION	JAMB	DETAIL / ELEV.	REMARKS
1	3'-0" W. X 6'-8" H. X 1/3/4"	SOLID CORE FLUSH, BIRCH FACED, TWO COATS POLYURETHANE	16 GA. STEEL		
2					
3					
4					STEEL LOUVER BOTTOM HALF OF DOOR

PLUMBING FIXTURE SCHEDULE:	
LAV	LAVATORY, AMERICAN STANDARD O491.019 RONDALYN COUNTER TOP, FAUCET, T&S BRASS BS-270I-VFO5 SINGLE LEVER HANDLE W/ETF 460 A GRID DRAIN
SH-H	MOEN-MODEL 8375-SINGLE HANDLE POSI-TEMP PRESSURE BALANCED SHOWER TRIM WITH SHOWER HEAD

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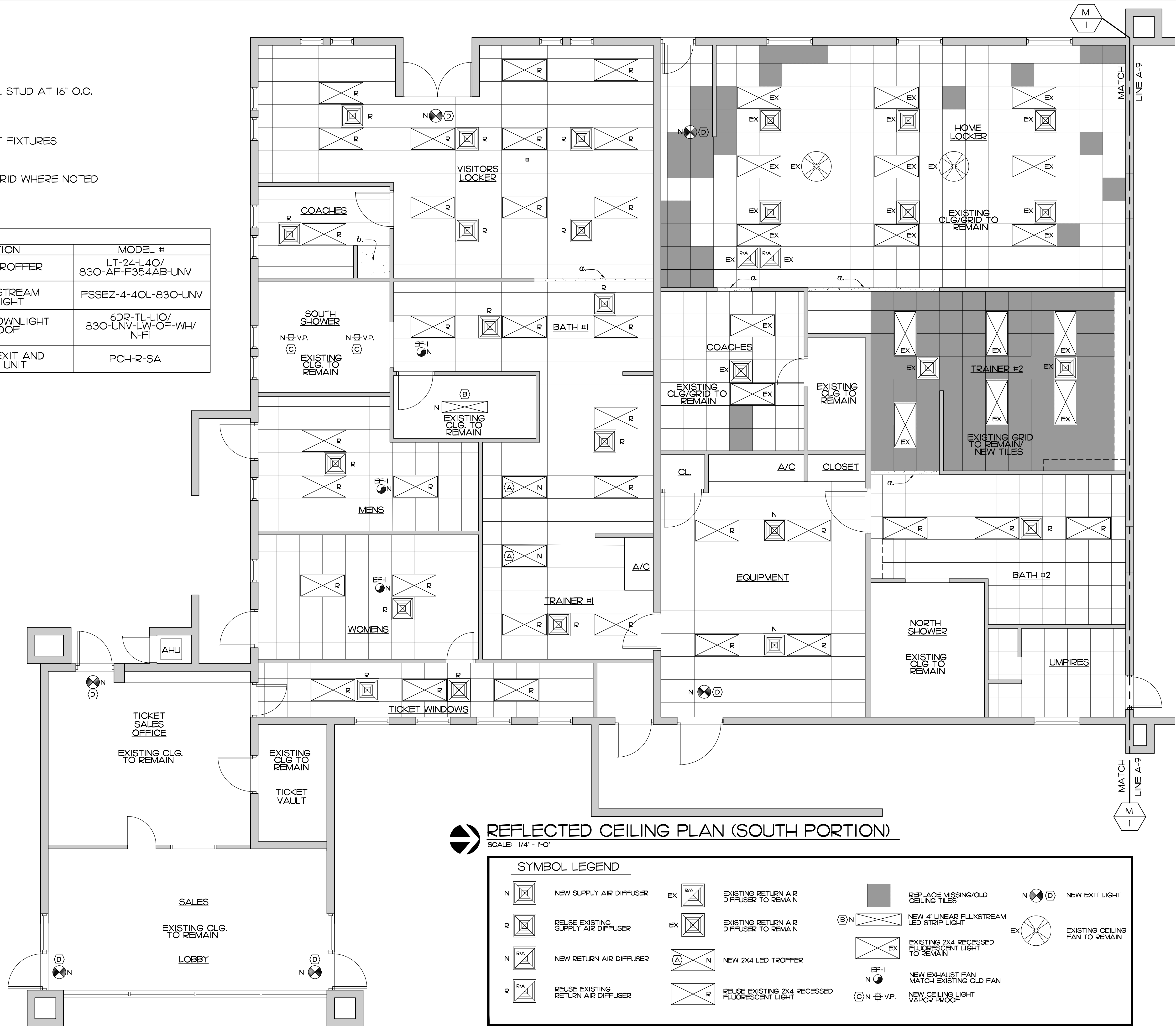
DESCRIPTION OF WORK:

- a. NEW 6" DEEP HEADER, 3 5/8" 20 GA STL STUD AT 16" O.C. WITH 1/2" GYP BD ON EACH SIDE

NOTES

1. REMOVE AND REINSTALL EXISTING LIGHT FIXTURES IN NEW GRID AS SHOWN
2. REUSE EXISTING SWITCHES
3. REMOVE/REPLACE CEILING TILES AND GRID WHERE NOTED

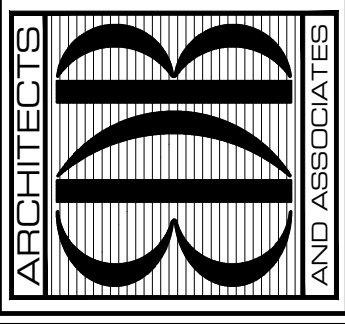
○ LIGHT FIXTURE SCHEDULE			
MARK	MANUFACTURER	DESCRIPTION	MODEL #
(A)	HE WILLIAMS	2X4 LED TROFFER	LT-24-L40/ 830-AF-F354AB-UNV
(B)	DAYBRITE	4' LINEAR FLUXSTREAM LED STRIP LIGHT	FSSEZ-4-40L-830-UNV
(C)	HE WILLIAMS	6" ROUND LED DOWNLIGHT VAPOR PROOF	6DR-TL-L10/ 830-UNV-LW-OF-WH/ N-FI
(D)	BEGHELLI	COMBINATION EXIT AND EMERGENCY UNIT	PCH-R-SA



REFLECTED CEILING PLAN (SOUTH PORTION)
SCALE 1/4" = 1'-0"

SYMBOL LEGEND			
N	NEW SUPPLY AIR DIFFUSER	EX R/A	EXISTING RETURN AIR DIFFUSER TO REMAIN
R	REUSE EXISTING SUPPLY AIR DIFFUSER	EX	EXISTING RETURN AIR DIFFUSER TO REMAIN
N R/A	NEW RETURN AIR DIFFUSER	(A) N	NEW 2X4 LED TROFFER
R R/A	REUSE EXISTING RETURN AIR DIFFUSER	EX R	REUSE EXISTING 2X4 RECESSED FLUORESCENT LIGHT
(B) N	NEW 4' LINEAR FLUXSTREAM LED STRIP LIGHT	EX	EXISTING 2X4 RECESSED FLUORESCENT LIGHT TO REMAIN
EF-1	NEW EXHAUST FAN MATCH EXISTING OLD FAN	EX	EXISTING CEILING FAN TO REMAIN
(C) N	NEW CEILING LIGHT VAPOR PROOF	N (D)	NEW EXIT LIGHT
			REPLACE MISSING/OLD CEILING TILES

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PROJECT: JACKIE ROBINSON STADIUM
TICKET BUILDING REMODEL
INDIAN RIVER COUNTY
1801 27TH STREET
VERO BEACH FL 32960

NO.	DATE	REVISIONS

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COMM. NO: 040420VB
DATE: 31 AUGUST, 2020
BY: LJB
CHKD: JFB

SHEET NO.
A-8
OF NINE

DESCRIPTION OF WORK:

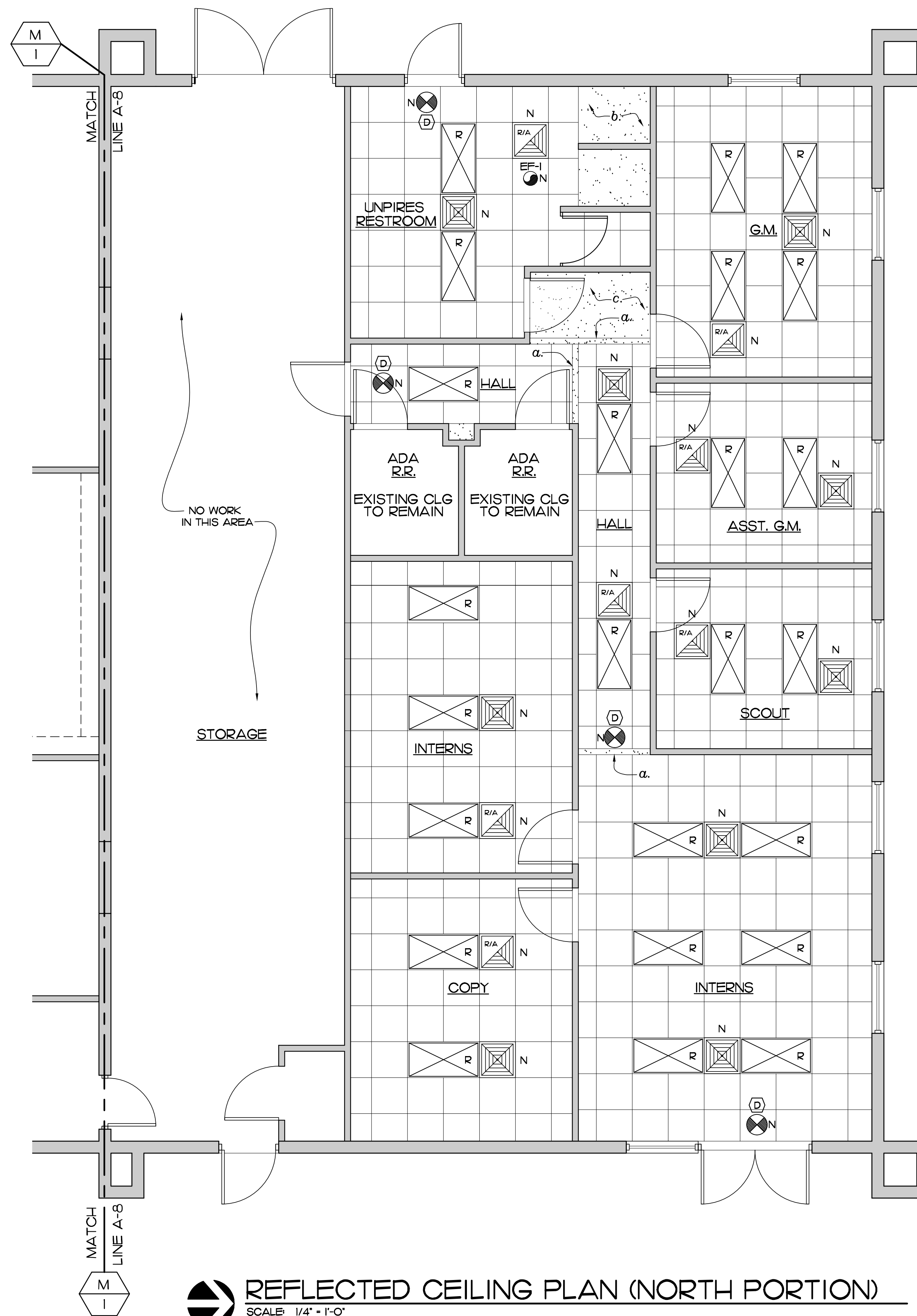
- a. NEW 6" DEEP HEADER, 3 5/8" 20 GA STL STUD AT 16" O.C. WITH 5/8" GYP BD ON EACH SIDE
- b. NEW MR. DRYWALL CEILING WITH EPOXY PAINT
- c. NEW DRYWALL CEILING

NOTES

- 1. REMOVE AND REINSTALL EXISTING LIGHT FIXTURES IN NEW GRID AS SHOWN
- 2. REUSE EXISTING SWITCHES
- 3. REMOVE/REINSTALL NEW GRID AND CEILING TILES IN NORTH PORTION THROUGHOUT
- 4. NEW CEILING HEIGHT INSTALLATION TO MATCH EXISTING CEILING HEIGHTS
- 5. REMOVE/REPLACE ALL SUPPLY/RETURN AIR GRILLES IN NORTH PORTION

○ LIGHT FIXTURE SCHEDULE

MARK	MANUFACTURER	DESCRIPTION	MODEL #
(A)	HE WILLIAMS	2X4 LED TROFFER	LT-24-L40/ 830-AF-F354AB-UNV
(B)	DAYBRITE	4' LINEAR FLUXSTREAM LED STRIP LIGHT	FSSEZ-4-40L-830-UNV
(C)	HE WILLIAMS	6" ROUND LED DOWNLIGHT VAPOR PROOF	6DR-TL-L10/ 830-UNV-LW-OF-WH/ N-FI
(D)	BEGHELLI	COMBINATION EXIT AND EMERGENCY UNIT	PCH-R-SA

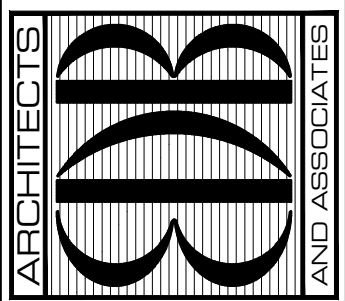


REFLECTED CEILING PLAN (NORTH PORTION)

SCALE: 1/4" = 1'-0"

SYMBOL LEGEND	
N	NEW SUPPLY AIR DIFFUSER
N R/A	NEW RETURN AIR DIFFUSER
R	REUSED 2X4 RECESSED FLUORESCENT LIGHT
N (D)	NEW EXIT LIGHT
EF-1 N	NEW EXHAUST FAN MATCH EXISTING OLD FAN

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SEAL:

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