



# City Of Waycross

## CONDITION ASSESSMENT REPORT



**Tank Name:**  
Industrial Blvd North Tank

**Location:**  
Industrial Blvd

**Tank Size and Style:**  
500,000 Elevated

**Project Number:**  
102429

**Inspection Date:**  
April 25, 2019

**Inspected By:**  
Bj Chauncey

### City Of Waycross Contact Information:

**Administrative:**  
Raphel Maddox

**Address:**  
P O Box 99  
Waycross, GA 31501

**Phone/Email:**  
912-287-2900

**Job:**  
Larry Yockachonis

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### Utility Service Co., Inc.

**Address**  
535 Courtney Hodges Blvd  
PO Box 1350  
Perry, GA 31069

**Fax, Email and Website**  
Fax: 478.987.2529  
Email: [help@utilityservice.com](mailto:help@utilityservice.com)  
Website: [www.utilityservice.com](http://www.utilityservice.com)

**Customer Service Information**  
Annette LeMay  
800.568.6043

## Summary

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A visual inspection was performed on the exterior condition. The tank is in good condition. The exterior continues to be in good condition with no nonconforming items to report. The interior coating was not fully inspected but will be at the next scheduled washout when the interior will be cleaned, inspected and disinfected. Interior roof and structure was partially inspected from hatch. Personnel are not allowed to enter the structure (i.e. "break the plane") when filled with water in order to maintain compliance with the OSHA 1926.1201 Confined Space for Construction Standard.

## Coating Type & Conditions

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- **Interior Coating Condition:** Visible areas of the Interior lining are in good condition and continues to protect the substrate.
- **Exterior Coating Condition:** No deficiencies noted in the exterior coating.



Exterior coating



Exterior coating



Exterior coating



Exterior coating



Exterior coating



Exterior coating



Exterior coating



Exterior coating



Exterior coating



Exterior coating



Interior



Inteiror

## Safety

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- **Safety Climbing Devices:** Ladders are equipped with secured safety climb devices.
- **Access Hatch1:** No deficiencies noted.





Ladder equipped with safety climb



Access hatch

## Sanitary

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- **Vent Screen:** Vent screen was replaced during the inspection.
- **Evidence Of Foreign Matter:** No evidence of foreign matter observed.



Roof vent screen

## Security

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- **Fence Around Site:** Tank is located inside a fenced-in area that is secure.
- **Ladder Gate/Access Door:** Exterior ladder has a ladder gate installed and is locked.
- **Access Hatch Locked:** Access hatch is locked and secured.
- **Evidence Of Vandalism:** No evidence of vandalism was found.



Roof access hatch locked



Ladder gate locked

## Structural

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- **Foundation:** Foundation appears in good condition and there is no erosion occurring around foundation.
- **Legs:** No deficiencies noted with tank legs. Paint coating continues to protect the substrate.
- **Access Ladders:** No deficiencies noted for dry-side access ladder stiles, rungs and connections.
- **Column Flanges:** Column flanges are painted and no corrosion is present.
- **Anchor Bolts:** Anchor bolts are protected and show no rust or corrosion.
- **Riser Pipe:** No deficiencies noted with riser. Paint coating continues to protect the substrate.
- **Riser Rods:** No deficiencies noted with riser rods.
- **Wind Rods:** No deficiencies noted with wind rods.
- **Watertight Conditions:** There are no visible leaks at the time of the inspection.
- **Balcony:** No deficiencies or corrosion damage noted for balcony railings and landings.
- **Interior Ladders:** Interior ladder partially inspected from hatch. Ladder is beginning to show minor corrosion and will be scheduled for touch up.
- **Roof:** The interior roof does not have roof beams. No deficiencies noted.

- **Vents:** Roof vent was beginning to show minor corrosion which was repaired during the inspection.
- **Overflow Pipe:** No deficiencies noted. Overflow pipe extends to ground level.
- **Welds:** No deficiencies noted with weld seams.
- **Float System:** Float system was repaired during the inspection.
- **Level Indicator:** Level indicator is in working condition with no deficiencies noted.



Riser manway



Access ladder



Balcony and handrail



Roof vent

### Steel Tanks

The determinations and recommendations made within this report with respect to the condition of the steel structure, integrity, or other surface defects are based upon visual observations made during the inspection. Extensive testing or investigation of the steel to determine the extent of the metal loss or capacity of the structure was not completed.



# City Of Waycross

## CONDITION ASSESSMENT REPORT



**Tank Name:**  
Industrial Park South Tank 2

**Location:**  
Harris Rd

**Tank Size and Style:**  
500,000 Elevated

**Project Number:**  
102432

**Inspection Date:**  
August 21, 2019

**Inspected By:**  
Theodore Unthank

### City Of Waycross Contact Information:

**Administrative:**  
Raphel Maddox

**Address:**  
P O Box 99  
Waycross, GA 31501

**Phone/Email:**  
912-287-2900

**Job:**  
Larry Yockachonis

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Website: [www.utilityservice.com](http://www.utilityservice.com)

**Customer Service Information**  
Annette LeMay  
800.568.6043



## Summary

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The tank interior was cleaned, washed out, inspected and disinfected according to AWWA Standards Spray Method #2 and made ready for service.

The tank will be scheduled for a Visual Inspection in 2020.

## Coating Type & Conditions

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- **Interior Coating Condition:** Interior coating is in good condition and continues to protect the substrate.
- **Exterior Coating Condition:** No deficiencies noted in the exterior coating.
- **Logo Condition:** Logo is faded and will need to be retraced in the near future.



Interior Bowl Coating



Interior Roof Coating



Exterior Roof Coating



Exterior Roof Coating



Exterior Roof Coating



Exterior Roof Coating



Exterior Logo Coating



Exterior Logo and Sidewall Coating



Exterior Under Belly and Riser Coating



Exterior Leg Coating



Exterior Riser Base Coating



Exterior Leg Base Coating

## Safety

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- **Safety Climbing Devices:** Ladders are equipped with secured safety climb devices.
- **Access Hatch1:** No deficiencies noted with the wet interior roof access hatch.





Cable Safety Climb On Access Ladder



Wet Interior Roof Access Hatch Open

## Sanitary

- **Vent Screen:** No deficiencies noted with vent screen.
- **Evidence Of Foreign Matter:** No evidence of foreign matter observed.
- **Sediments:** Light sediment in bottom of tank was cleaned out with pressure washing.



Vent Screen



Interior During Washout





Interior After Washout

## Security

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- **Fence Around Site:** Tank is located inside a fenced-in area that is secure.
- **Ladder Gate/Access Door:** Exterior ladder has a ladder gate installed and is locked.
- **Access Hatch Locked:** Access hatch is locked and secured.
- **Evidence Of Vandalism:** No evidence of vandalism was found.



Locked Site Fence



Locked Ladder Gate



Locked Access Hatch

## Structural

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- **Foundation:** Foundation appears in good condition. No deficiencies noted.
- **Legs:** No deficiencies noted with tank legs. Paint coating continues to protect the substrate.
- **Access Ladders:** No deficiencies noted for dry-side access ladder stiles, rungs and connections.
- **Column Flanges:** Column flanges are painted and no corrosion is present.
- **Anchor Bolts:** Anchor bolts are protected and show no rust or corrosion.
- **Riser Pipe:** No deficiencies noted with riser. Paint coating continues to protect the substrate.
- **Riser Rods:** No deficiencies noted with riser rods.
- **Wind Rods:** No deficiencies noted with wind rods.
- **Balcony:** No deficiencies or corrosion damage noted for balcony railings and landings.
- **Interior Ladders:** No deficiencies noted for the interior ladder stiles, rungs and connections.
- **Roof:** Roof Trusses, Rafters and their connections are sound and in good condition.
- **Vents:** No deficiencies noted with the vent structure.
- **Overflow Pipe:** Tank is equipped with an internal overflow.
- **Welds:** No deficiencies noted with weld seams.



**Leg Structure and Foundation**



**Davit Arm Riser Manway**



**Strut and Rod Connections**



**Balcony**



**Interior Access Ladder**



**Interior Roof Structure**



Vent Structure



Tank Identification Plate

### Steel Tanks

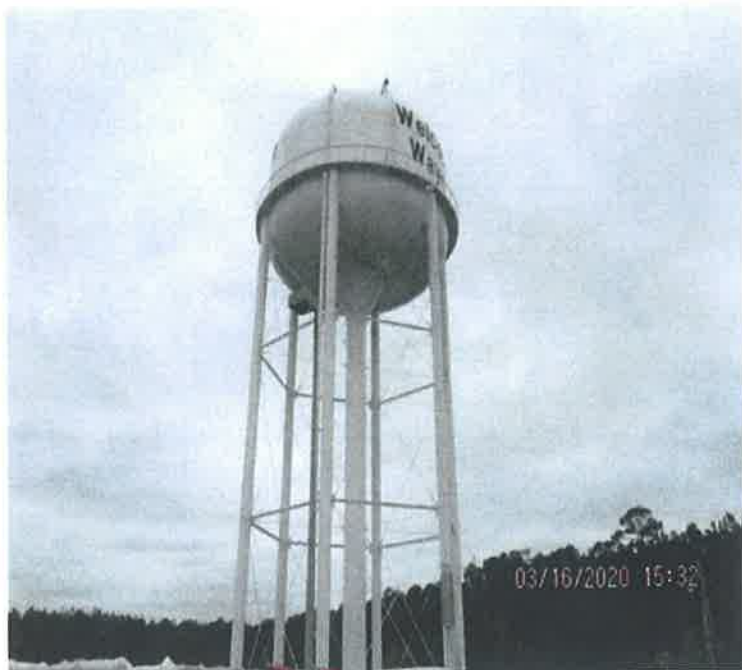
The determinations and recommendations made within this report with respect to the condition of the steel structure, integrity, or other surface defects are based upon visual observations made during the inspection. Extensive testing or investigation of the steel to determine the extent of the metal loss or capacity of the structure was not completed.





# City Of Waycross

## CONDITION ASSESSMENT REPORT

**Tank Name:**

Lowes Tank

**Location:**

2308 Memorial Drive

**Tank Size and Style:**

500,000 Elevated

**Project Number:**

113500

**Inspection Date:**

March 16, 2020

**Inspected By:**

Bj Chauncey

**City Of Waycross Contact Information:****Administrative:**

Dawn Strickland

**Address:**

P O Box 99  
Waycross, GA 31501

**Phone/Email:**

912-287-2945  
dstrickland@waycrossga.com

**Job:**

Joel Hall

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**Utility Service Co., Inc.****Address**

535 Courtney Hodges Blvd  
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Website: [www.utilityservice.com](http://www.utilityservice.com)

**Customer Service Information**

Annette LeMay  
800.568.6043

## Summary

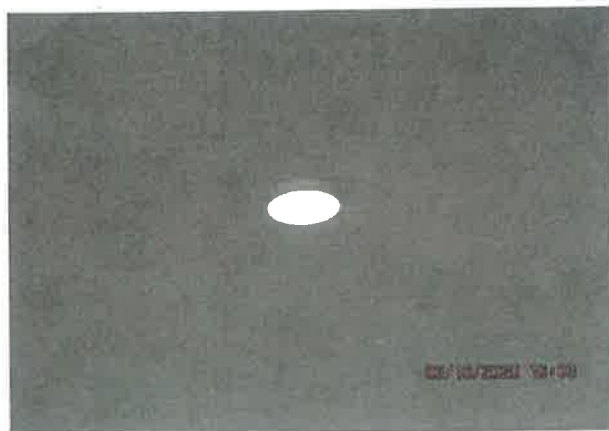
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A visual inspection was performed on the tank. The tank is in good condition. The exterior continues to be in good condition with no nonconforming items to report. The interior had just been renovated and was being disinfected and made ready to put back in service. Tank to be visually inspected again in 2021.

## Coating Type & Conditions

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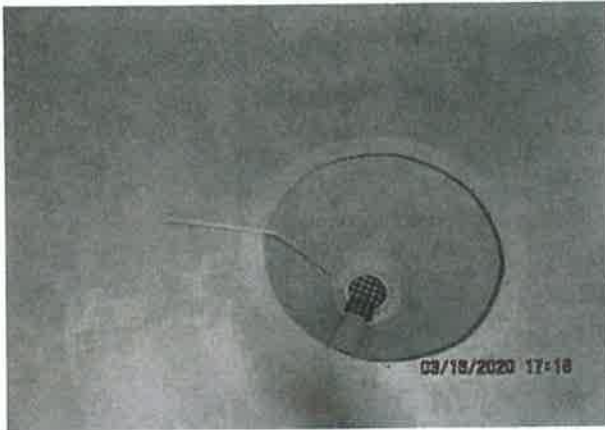
- **Interior Coating Condition:** Interior coating is in good condition.
- **Exterior Coating Condition:** No deficiencies noted in the exterior coating.
- **Logo Condition:** No deficiencies noted.



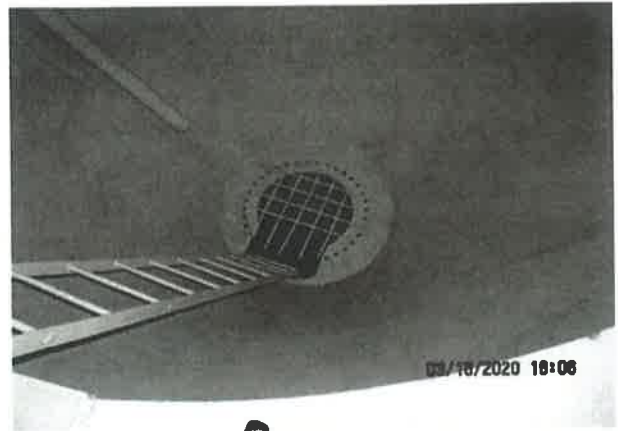
Interior coating



Interior coating



Interior coating



Interior coating



Interior coating



Interior coating



Exterior coating



Exterior coating



Exterior coating



Exterior coating



Exterior coating



Exterior coating



Exterior coating



Exterior coating



## Safety

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- **Safety Climbing Devices:** Ladders are equipped with secured safety climb devices.
- **Access Hatch1:** No deficiencies noted.

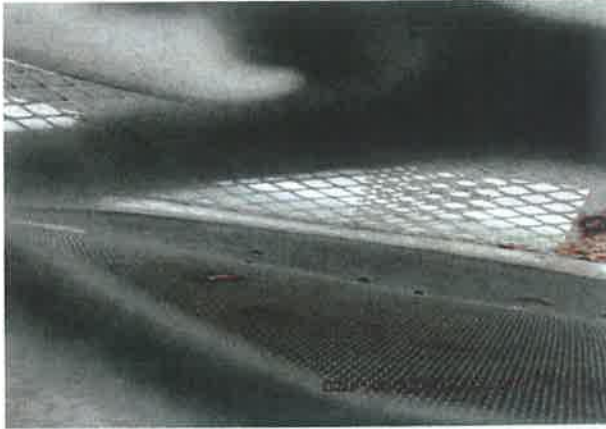


Safety climb cable

## Sanitary

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- **Vent Screen:** No deficiencies noted with vent screen.
- **Evidence Of Foreign Matter:** No evidence of foreign matter observed.
- **Sediments:** No sediment present in tank.



Roof vent screen

## Security

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- **Fence Around Site:** Tank is located inside a fenced-in area that is secure.
- **Ladder Gate/Access Door:** Exterior ladder has a ladder gate installed and is locked.
- **Access Hatch Locked:** Access hatch is locked and secured.
- **Evidence Of Vandalism:** No evidence of vandalism was found.



Ladder gate locked



Roof access hatch locked

## Structural

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- **Foundation:** Foundation appears in good condition.
- **Legs:** No deficiencies noted with tank legs. Paint coating continues to protect the substrate.
- **Access Ladders:** No deficiencies noted for dry-side access ladder stiles, rungs and connections.
- **Column Flanges:** Column flanges are painted and no corrosion is present.
- **Anchor Bolts:** Anchor bolts are protected and show no rust or corrosion.
- **Riser Pipe:** No deficiencies noted with riser. Paint coating continues to protect the substrate.
- **Riser Rods:** No deficiencies noted with riser rods.
- **Wind Rods:** No deficiencies noted with wind rods.
- **Watertight Conditions:** There are no visible leaks at the time of the inspection.
- **Balcony:** No deficiencies or corrosion damage noted for balcony railings and landings.
- **Interior Ladders:** No deficiencies noted for the interior ladder stiles, rungs and connections.
- **Roof:** The interior roof does not have roof beams. No deficiencies noted.
- **Vents:** No deficiencies noted with vent.
- **Overflow Pipe:** No deficiencies noted. Overflow pipe extends to ground level.
- **Welds:** No deficiencies noted with weld seams.
- **Float System:** Float system is in working condition. No deficiencies noted.
- **Level Indicator:** Level indicator is in working condition with no deficiencies noted.



Riser manway



Access ladder



Balcony and handrail



Foundation/Anchor bolt

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#### **Steel Tanks**

The determinations and recommendations made within this report with respect to the condition of the steel structure, integrity, or other surface defects are based upon visual observations made during the inspection. Extensive testing or investigation of the steel to determine the extent of the metal loss or capacity of the structure was not completed.





# City Of Waycross

## CONDITION ASSESSMENT REPORT



**Tank Name:**  
Alice Street Tank

**Location:**  
2501 Alice Street

**Tank Size and Style:**  
500,000 Elevated

**Project Number:**  
117912

**Inspection Date:**  
September 11, 2019

**Inspected By:**  
Mack Martin

### City Of Waycross Contact Information:

**Administrative:**  
Raphel Maddox

**Address:**  
P O Box 99  
Waycross, GA 31501

**Phone/Email:**  
912-287-2900

**Job:**  
Larry Yockachonis

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535 Courtney Hodges Blvd  
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Email: [help@utilityservice.com](mailto:help@utilityservice.com)  
Website: [www.utilityservice.com](http://www.utilityservice.com)

**Customer Service Information**  
Annette LeMay  
800.568.6043

## Summary

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The tank interior was cleaned, washed out, inspected and disinfected according to AWWA Standards Spray Method #2 and made ready for service.

The tank will be scheduled for a Visual Inspection in 2020.

## Coating Type & Conditions

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- **Interior Coating Condition:** Interior coating is in good condition and continues to protect the substrate.
- **Exterior Coating Condition:** No deficiencies noted in the exterior coating.
- **Logo Condition:** No deficiencies noted.



Interior Bowl to Sidewall Coating



Interior Roof Coating



Exterior Roof Coating



Exterior Roof Coating



Exterior Roof Coating



Exterior Roof Coating



Exterior Logo and Sidewall Coating



Exterior Under Belly Coating



Exterior Riser Coating



Exterior Leg and Overflow Pipe Coating



Exterior Riser Base Coating



Exterior Leg Base and Overflow Coating

## Safety

- **Safety Climbing Devices:** Ladders are equipped with secured safety climb devices.
- **Access Hatch1:** No deficiencies noted.





Cable Safety Climb on Access Ladder

## Sanitary

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- **Vent Screen:** No deficiencies noted with vent screen.
- **Evidence Of Foreign Matter:** No evidence of foreign matter observed.
- **Sediments:** Light sediment in bottom of tank was cleaned out with pressure washing.



Vent Screen



Interior During Washout



Interior After Washout

## Security

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- **Fence Around Site:** Tank is located inside a fenced-in area that is secure.
- **Ladder Gate/Access Door:** Exterior ladder did not have a ladder gate installed. Ladder gate installed during inspection.
- **Access Hatch Locked:** Access hatch is locked and secured.
- **Evidence Of Vandalism:** No evidence of vandalism was found.



Locked Ladder Gate



Locked Access Hatch

# Structural

- **Foundation:** Foundation appears in good condition. No deficiencies noted.
- **Legs:** No deficiencies noted with tank legs. Paint coating continues to protect the substrate.
- **Access Ladders:** No deficiencies noted for dry-side access ladder stiles, rungs and connections.
- **Column Flanges:** Column flanges are painted and no corrosion is present.
- **Anchor Bolts:** Anchor bolts are protected and show no rust or corrosion.
- **Riser Pipe:** No deficiencies noted with riser. Paint coating continues to protect the substrate.
- **Riser Rods:** No deficiencies noted with riser rods.
- **Wind Rods:** No deficiencies noted with wind rods.
- **Watertight Conditions:** There are no visible leaks at the time of the inspection.
- **Balcony:** Balcony landings have several areas where water will not drain. Weep holes were installed at inspection so water can drain. No other deficiencies noted with balcony railing or landings.
- **Interior Ladders:** Minor rust staining deficiencies noted with the visible portion of the interior access ladder. We will continue to monitor these areas.
- **Roof:** No deficiencies noted with the interior roof structure.
- **Vents:** No deficiencies noted with the vent structure.
- **Overflow Pipe:** No deficiencies noted. Overflow pipe extends to ground level.
- **Welds:** No deficiencies noted with weld seams.
- **Float System:** Float system was repaired during the inspection.
- **Level Indicator:** Level indicator is in working condition with no deficiencies noted.



Leg Structure and Foundation



Davit Arm Sidewall Manway



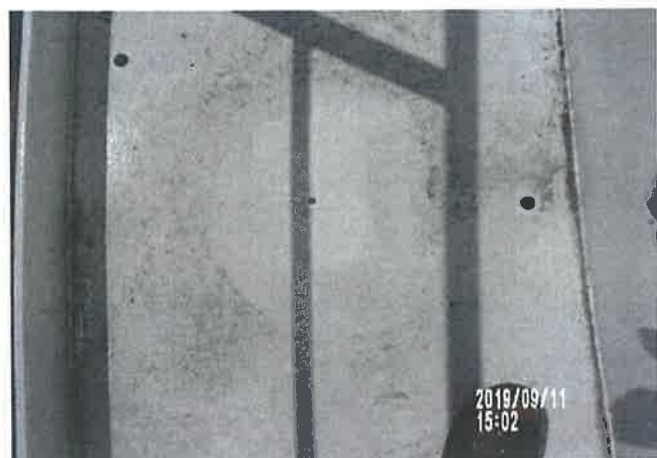
Balcony Before Repairs



Balcony Weep Holes Drilled and Coated



Balcony Weep Holes Drilled and Coated



Balcony Weep Holes Drilled and Coated



Interior Access Ladder with Minor Deficiencies



Interior Roof Structure





Vent Structure



Overflow Pipe Termination



Float Repaired During Washout



Level Indicator Reading Correct Water Level

### Steel Tanks

The determinations and recommendations made within this report with respect to the condition of the steel structure, integrity, or other surface defects are based upon visual observations made during the inspection. Extensive testing or investigation of the steel to determine the extent of the metal loss or capacity of the structure was not completed.



# City Of Waycross

## CONDITION ASSESSMENT REPORT



**Tank Name:**  
Marion Street

**Location:**  
Marion Street

**Tank Size and Style:**  
500,000 Elevated

**Project Number:**  
102430

**Inspection Date:**  
August 20, 2019

**Inspected By:**  
Theodore Unthank

### City Of Waycross Contact Information:

**Administrative:**  
Raphel Maddox

**Address:**  
P O Box 99  
Waycross, GA 31501

**Phone/Email:**  
912-287-2900

**Job:**  
Larry Yockachonis

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**Customer Service Information**  
Annette LeMay  
800.568.6043

## Summary

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A visual inspection was performed on the exterior condition. The interior coating was not fully inspected but will be at the next scheduled washout when the interior will be cleaned, inspected and disinfected. Interior roof and structure was partially inspected from hatch. Personnel are not allowed to enter the structure (i.e. "break the plane") when filled with water in order to maintain compliance with the OSHA 1926.1201 Confined Space for Construction Standard. However, based on this limited view no deficiencies were noted with roof trusses, rafters and their connections.

## Coating Type & Conditions

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- **Interior Coating Condition:** Interior coating is beginning to show minor breakdown below the high water level. The interior coatings will be reviewed for scheduling renovation.
- **Exterior Coating Condition:** Exterior coating has chalked and faded, but still continues to provide protection. Areas will continue to be monitored.
- **Logo Condition:** No deficiencies noted.



Interior Sidewall/Roof Coating



Interior Sidewall/Roof Coating





Exterior Roof Coating



Exterior Roof Coating



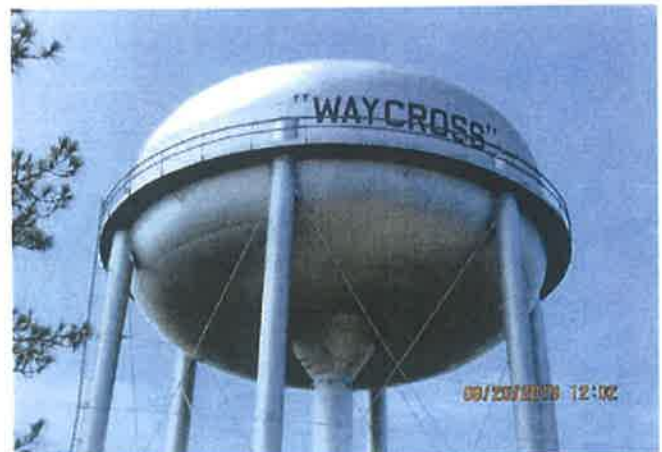
Exterior Sidewall Coating



Exterior Sidewall Coating



Exterior Under Belly Coating



Exterior Sidewall Logo Coating



## Safety

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- **Safety Climbing Devices:** Ladders are equipped with secured safety climb devices.
- **Access Hatch1:** No deficiencies noted.



Safety Climb on Access Ladder



Wet Interior Access Hatch

## Sanitary

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- **Vent Screen:** No deficiencies noted with vent screen.
- **Evidence Of Foreign Matter:** No evidence of foreign matter observed.
- **Sediments:** Sediment is present in bottom of tank. Tank will be cleaned at next scheduled washout.



Vent Screen

## Security

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- **Fence Around Site:** Tank is located inside a fenced-in area that is secure.
- **Ladder Gate/Access Door:** Exterior ladder has a ladder gate installed and is locked.
- **Access Hatch Locked:** Access hatch is locked and secured.
- **Evidence Of Vandalism:** No evidence of vandalism was found.



Ladder Gate Locked



Wet Interior Access Hatch Locked

# Structural

- **Foundation:** Foundation appears in good condition, no deficiencies noted.
- **Legs:** No deficiencies noted with tank legs. Paint coating continues to protect the substrate. Light mildew exists on structure.
- **Access Ladders:** No deficiencies noted for dry-side access ladder stiles, rungs and connections.
- **Column Flanges:** Column flanges are painted and no corrosion is present.
- **Anchor Bolts:** Anchor bolts are protected and show no rust or corrosion.
- **Riser Pipe:** No deficiencies noted with riser. Paint coating continues to protect the substrate.
- **Riser Rods:** No deficiencies noted with riser rods.
- **Wind Rods:** No deficiencies noted with wind rods.
- **Watertight Conditions:** There are no visible leaks at the time of the inspection.
- **Balcony:** No deficiencies noted with balcony.
- **Interior Ladders:** Partial inspection of the interior ladder from the hatch shows minor corrosion and paint flaking of the structure. Areas will continue to be monitored.
- **Roof:** The interior roof was partially inspected from the hatch. Minor rust streaking/staining and spot corrosion was present in on the roof. Areas will continue to be monitored.
- **Vents:** Roof vent is beginning to show minor corrosion and will be scheduled for repair or replacement.
- **Overflow Pipe:** Tank is equipped with an internal overflow.
- **Welds:** No deficiencies noted with weld seams.



Leg Structure



Riser Manway



Strut Connections



Balcony and Handrail



Sidewall Manway



Vent Structure

### Steel Tanks

The determinations and recommendations made within this report with respect to the condition of the steel structure, integrity, or other surface defects are based upon visual observations made during the inspection. Extensive testing or investigation of the steel to determine the extent of the metal loss or capacity of the structure was not completed.





# City Of Waycross

## CONDITION ASSESSMENT REPORT

**Tank Name:**

M L King

**Location:**

M L King

**Tank Size and Style:**

500,000 Elevated

**Project Number:**

102431

**Inspection Date:**

August 20, 2019

**Inspected By:**

Theodore Unthank

**City Of Waycross Contact Information:****Administrative:**

Raphel Maddox

**Address:**

P O Box 99  
Waycross, GA 31501

**Phone/Email:**

912-287-2900

**Job:**

Larry Yockachonis

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**Customer Service Information**

Annette LeMay  
800.568.6043

## Summary

---

A visual inspection was performed on the exterior condition. The exterior continues to be in good condition with no nonconforming items to report. The interior coating was not fully inspected but will be at the next scheduled washout when the interior will be cleaned, inspected and disinfected. Interior roof and structure was partially inspected from hatch. Personnel are not allowed to enter the structure (i.e. "break the plane") when filled with water in order to maintain compliance with the OSHA 1926.1201 Confined Space for Construction Standard. However, based on this limited view no deficiencies were noted with roof trusses, rafters and their connections.

## Coating Type & Conditions

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- **Interior Coating Condition:** Minor rust streaking/staining deficiencies were noted with the interior coating. Areas will continue to be monitored.
- **Exterior Coating Condition:** No deficiencies noted in the exterior coating.
- **Logo Condition:** No deficiencies noted.



Interior Sidewall/Roof Coating



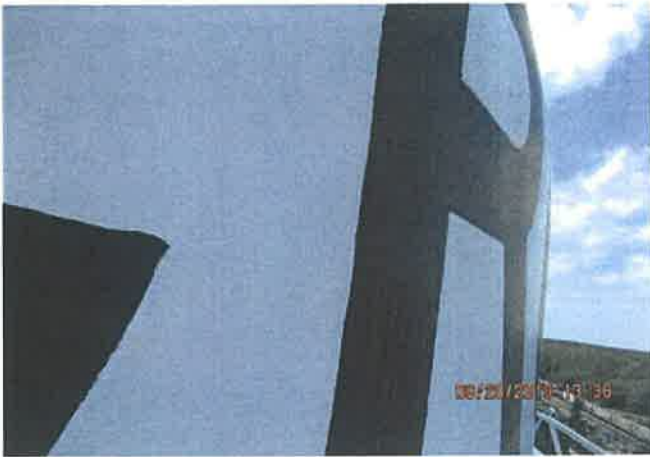
Interior Sidewall/Roof Coating



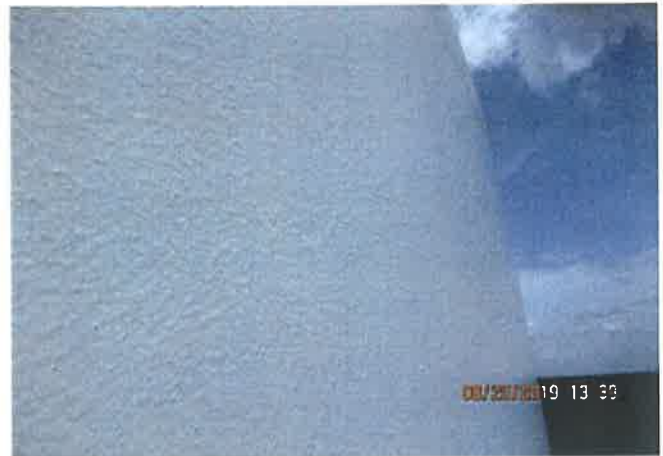
Exterior Roof Coating



Exterior Roof Coating



Exterior Sidewall Coating



Exterior Sidewall Coating



Exterior Under Belly Coating



Exterior Sidewall Logo Coating

## Safety

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- **Access Hatch1:** No deficiencies noted.



Wet Interior Access Hatch

## Sanitary

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- **Vent Screen:** No deficiencies noted with vent screen.
- **Overflow Pipe Screen Flapper:** Overflow pipe is equipped with screen. No deficiencies noted with screen.
- **Evidence Of Foreign Matter:** No evidence of foreign matter observed.
- **Sediments:** Sediment was present in the bottom of the tank and will be cleaned out at the next scheduled washout.





Vent Screen

## Security

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- **Fence Around Site:** Tank is located inside a fenced-in area that is secure.
- **Access Hatch Locked:** Access hatch is locked and secured.
- **Evidence Of Vandalism:** No evidence of vandalism was found.



Fence Around Site Locked



Wet Interior Access Hatch Locked

# Structural

- **Foundation:** Foundation appears in good condition, no deficiencies noted.
- **Legs:** No deficiencies noted with tank legs. Paint coating continues to protect the substrate. Light mildew exists on structure.
- **Access Ladders:** No deficiencies noted for dry-side access ladder stiles, rungs and connections.
- **Column Flanges:** Column flanges are painted and no corrosion is present.
- **Anchor Bolts:** Anchor bolts are protected and show no rust or corrosion.
- **Riser Pipe:** No deficiencies noted with riser. Paint coating continues to protect the substrate.
- **Riser Rods:** No deficiencies noted with riser rods.
- **Wind Rods:** No deficiencies noted with wind rods.
- **Watertight Conditions:** There are no visible leaks at the time of the inspection.
- **Balcony:** No deficiencies or corrosion damage noted for balcony railings and landings.
- **Interior Ladders:** Interior ladder partially inspected from hatch. No deficiencies noted with visible portion of ladder.
- **Roof:** The interior roof was partially inspected from the hatch. Minor rust streaking/staining and spot corrosion was present in on the roof. Areas will continue to be monitored.
- **Vents:** No deficiencies noted with vent.
- **Overflow Pipe:** Tank is equipped with an internal overflow.
- **Welds:** No deficiencies noted with weld seams.



Leg Structure



Riser Manway



Strut Connections



Balcony and Handrail



Interior Roof with Deficiencies



Vent Structure

### Steel Tanks

The determinations and recommendations made within this report with respect to the condition of the steel structure, integrity, or other surface defects are based upon visual observations made during the inspection. Extensive testing or investigation of the steel to determine the extent of the metal loss or capacity of the structure was not completed.



# City Of Waycross

## CONDITION ASSESSMENT REPORT



**Tank Name:**  
Stephenson Street  
**Location:**  
Stephenson St  
**Tank Size and Style:**  
750,000 Elevated  
**Project Number:**  
102433  
**Inspection Date:**  
April 25, 2019  
**Inspected By:**  
Bj Chauncey

### City Of Waycross Contact Information:

**Administrative:**  
Raphel Maddox

**Address:**  
P O Box 99  
Waycross, GA 31501

**Phone/Email:**  
912-287-2900

**Job:**  
Larry Yockachonis

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### Utility Service Co., Inc.

**Address**  
535 Courtney Hodges Blvd  
PO Box 1350  
Perry, GA 31069

**Fax, Email and Website**  
Fax: 478.987.2529  
Email: [help@utilityservice.com](mailto:help@utilityservice.com)  
Website: [www.utilityservice.com](http://www.utilityservice.com)

**Customer Service Information**  
Annette LeMay  
800.568.6043



## Summary

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A visual inspection was performed on the exterior condition. The tank is in good condition.

The interior coating was not fully inspected but will be at the next scheduled washout when the interior will be cleaned, inspected and disinfected.

Interior roof and structure was partially inspected from hatch. Personnel are not allowed to enter the structure (i.e. "break the plane") when filled with water in order to maintain compliance with the OSHA 1926.1201 Confined Space for Construction Standard. However, based on this limited view no deficiencies were noted with roof trusses, rafters and their connections.

## Coating Type & Conditions

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- **Interior Coating Condition:** Visible areas of the Interior lining are in good condition and continues to protect the substrate.
- **Exterior Coating Condition:** No deficiencies noted in the exterior coating.
- **Logo Condition:** No deficiencies noted.



Exterior coating



Exterior coating



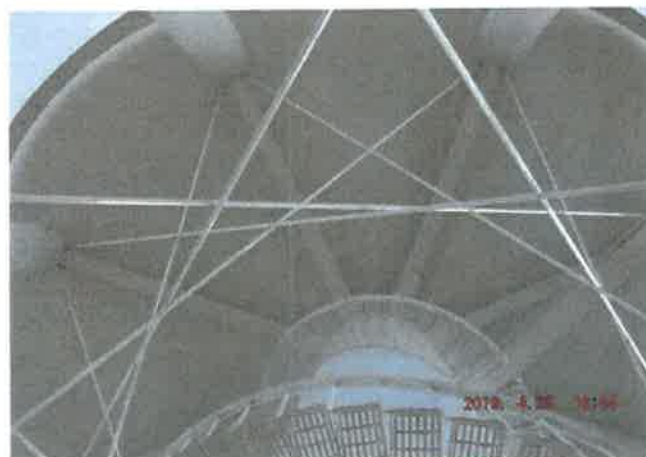
Exterior coating



Exterior coating



Exterior coating



Exterior coating



Exterior coating



Exterior coating



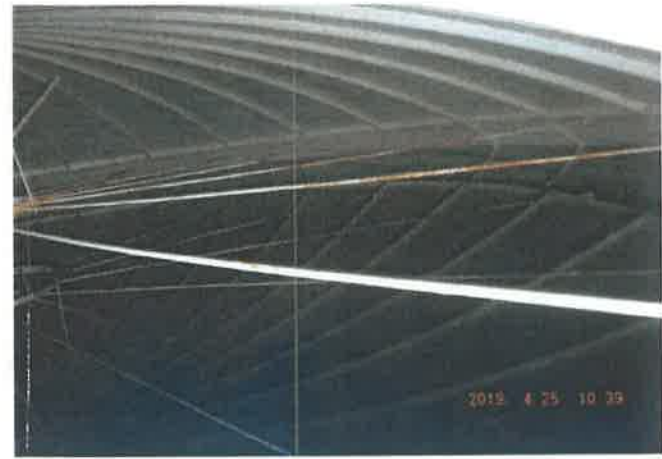
Exterior coating



Exterior coating



Interior



Interior

## Safety

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- **Access Hatch1:** No deficiencies noted.



Roof access hatch



Roof access hatch

## Sanitary

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- **Vent Screen:** No deficiencies noted with vent screen.
- **Evidence Of Foreign Matter:** No evidence of foreign matter observed.



Roof vent screen



## Security

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- **Fence Around Site:** Tank is located inside a fenced-in area that is secure.
- **Access Hatch Locked:** Access hatch is locked and secured.
- **Evidence Of Vandalism:** No evidence of vandalism was found.



Roof access hatch locked

## Structural

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- **Foundation:** Foundation appears in good condition and there is no erosion occurring around foundation.
- **Legs:** No deficiencies note with tank legs. Paint coating continues to protect the substrate. Light mildew exists on structure.
- **Access Ladders:** No deficiencies noted with spiral staircase.
- **Column Flanges:** Column flanges are painted and no corrosion is present.
- **Anchor Bolts:** Anchor bolts are protected and show no rust or corrosion.
- **Riser Pipe:** No deficiencies noted with riser. Paint coating continues to protect the substrate.
- **Riser Rods:** No deficiencies noted with riser rods.
- **Wind Rods:** No deficiencies noted with wind rods.
- **Watertight Conditions:** There are no visible leaks at the time of the inspection.
- **Balcony:** Balcony landings have several areas where water will not drain. Repairs will be scheduled. No other deficiencies noted with balcony railing or landings.
- **Interior Ladders:** Interior ladder partially inspected from hatch. Ladder is beginning to show minor corrosion and will be scheduled for touch up.

- **Roof:** Interior roof structure partially inspected from hatch. No deficiencies noted with roof trusses, rafters and their connections.
- **Vents:** Roof vent is beginning to show minor corrosion and will be scheduled for repair or replacement.
- **Overflow Pipe:** Tank is equipped with an internal overflow.
- **Welds:** No deficiencies noted with weld seams.



Riser manway



Access staircase



Balcony and handrail



Roof vent

### Steel Tanks

The determinations and recommendations made within this report with respect to the condition of the steel structure, integrity, or other surface defects are based upon visual observations made during the inspection. Extensive testing or investigation of the steel to determine the extent of the metal loss or capacity of the structure was not completed.