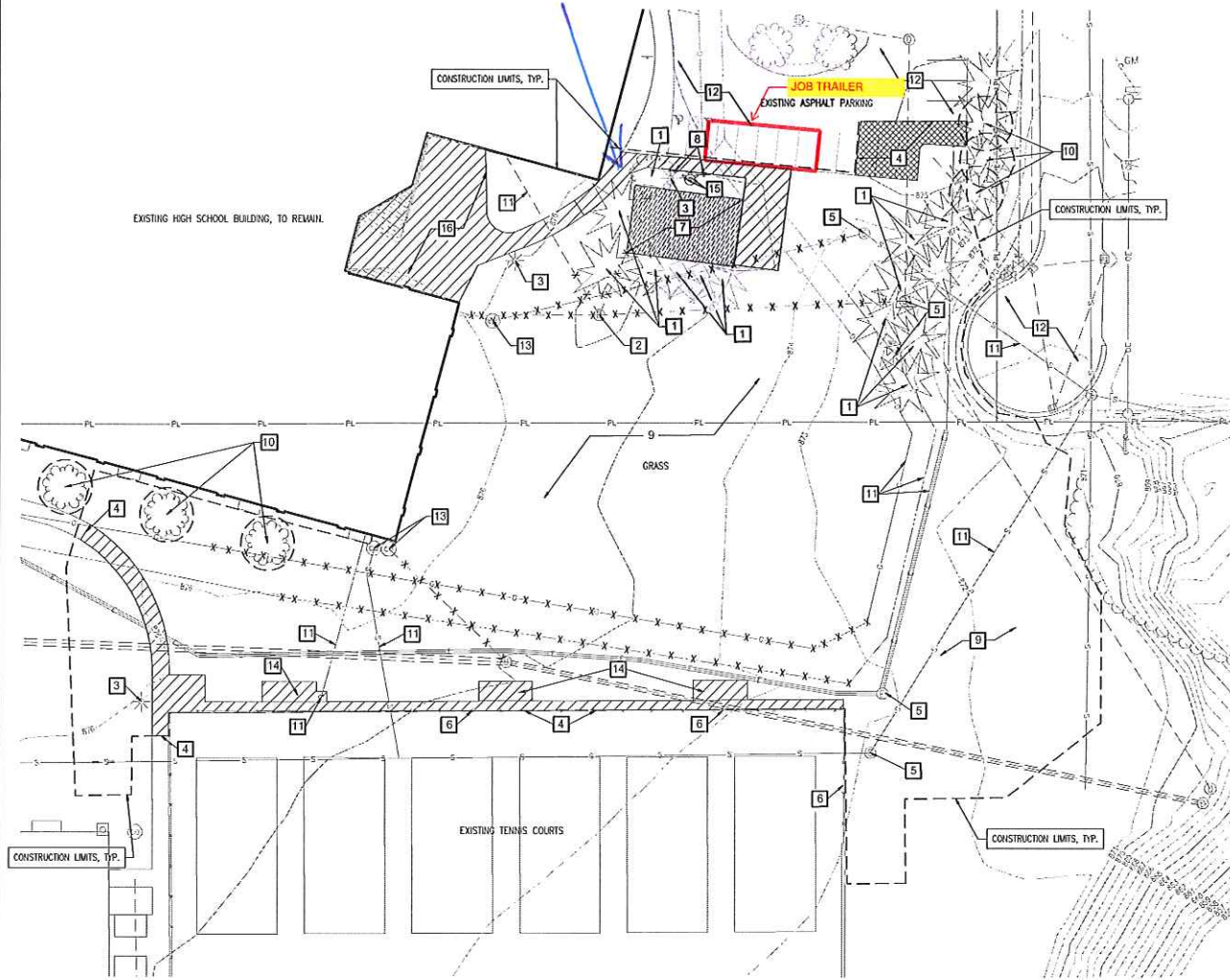




EXISTING TO
BE REMOVED.



SITE DEMOLITION PLAN

SCALE: 1" = 30'

LEGEND

- REMOVE EXISTING HMA PAVEMENT, COMPLETE
- REMOVE EXISTING CONCRETE SIDEWALK, COMPLETE
- DEMOLISH EXISTING BUILDING AND FOUNDATION SLAB, COMPLETE
- STORM SEWER TO BE REMOVED
- SANITARY SEWER TO BE REMOVED
- GAS SERVICE TO BE RELOCATED
- WATERMAIN TO BE REMOVED

DEMOLITION KEY

- REMOVE EXISTING PLANT MATERIAL, COMPLETE. GRIND STUMP AND REMOVE MISCELLANEOUS ROOTS.
- REMOVE EXISTING UTILITY STRUCTURE, VALVE, ETC.
- REMOVE EXISTING LIGHT POLE AND FIXTURE, COMPLETE. SEE SITE ELECTRICAL SHEETS.
- SAWCUT EXISTING PAVEMENT EDGE TO PROVIDE CLEAN BORDER FOR PROPOSED PAVEMENT. SEE SITE IMPROVEMENTS AND GEOMETRICS NOTE 9.
- ADJUST EXISTING UTILITY STRUCTURE, VALVE, ETC. TO NEW PAVEMENT ELEVATION. SEE SHEET C-402 FOR GRADING INFORMATION.
- EXISTING TENNIS COURT FENCING TO REMAIN. PROTECT DURING CONSTRUCTION. SEE DEMOLITION NOTE 8, THIS SHEET.
- REMOVE EXISTING POLE BUILDING, COMPLETE. COORDINATE WITH OWNER PRIOR TO DEMOLITION FOR REMOVAL OF STORED ITEMS.
- REMOVE EXISTING ACCESSIBLE SIGNAGE, STORE AND PROTECT FOR REINSTALLATION AT THE END OF CONSTRUCTION.
- CONTRACTOR SHALL CLEAR AND GRUB THIS AREA AS REQUIRED TO CONSTRUCT NEW BUILDING. SEE ARCHITECTURAL DRAWINGS FOR REQUIREMENTS AND/OR NOTE 7, THIS SHEET.
- EXISTING PLANT MATERIAL TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION. SEE SPECIFICATION SECTION 311000 FOR TREE/PLANT PROTECTION REQUIREMENTS.
- EXISTING UTILITY TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION. SEE NOTE 2, THIS SHEET.
- EXISTING PAVEMENT TO REMAIN. SEE NOTE 2, THIS SHEET.
- REMOVE CLEANOUTS. COORDINATE WITH BUILDING PLUMBING CONTRACTOR TO MAINTAIN SERVICE AS NECESSARY TO EXISTING SCHOOL BUILDING BEFORE REMOVAL.
- CONTRACTOR SHALL COORDINATE WITH OWNER FOR THE REMOVAL OF PORTABLE BLEACHERS. DELIVER TO A LOCATION AS SPECIFIED BY OWNER. REMOVE CONCRETE BLEACHER PAD AS NECESSARY FOR UTILITY CONSTRUCTION. REFER TO SHEET C-402.
- REMOVE AND RELOCATE EXISTING FIRE HYDRANT AND SIGN. SEE SHEET C-401 FOR PROPOSED LOCATION.
- REMOVE, STORE AND PROTECT EXISTING SITE FURNITURE IN PLAZA AREA. OWNER TO PROVIDE DIRECTION FOR REINSTALLATION.

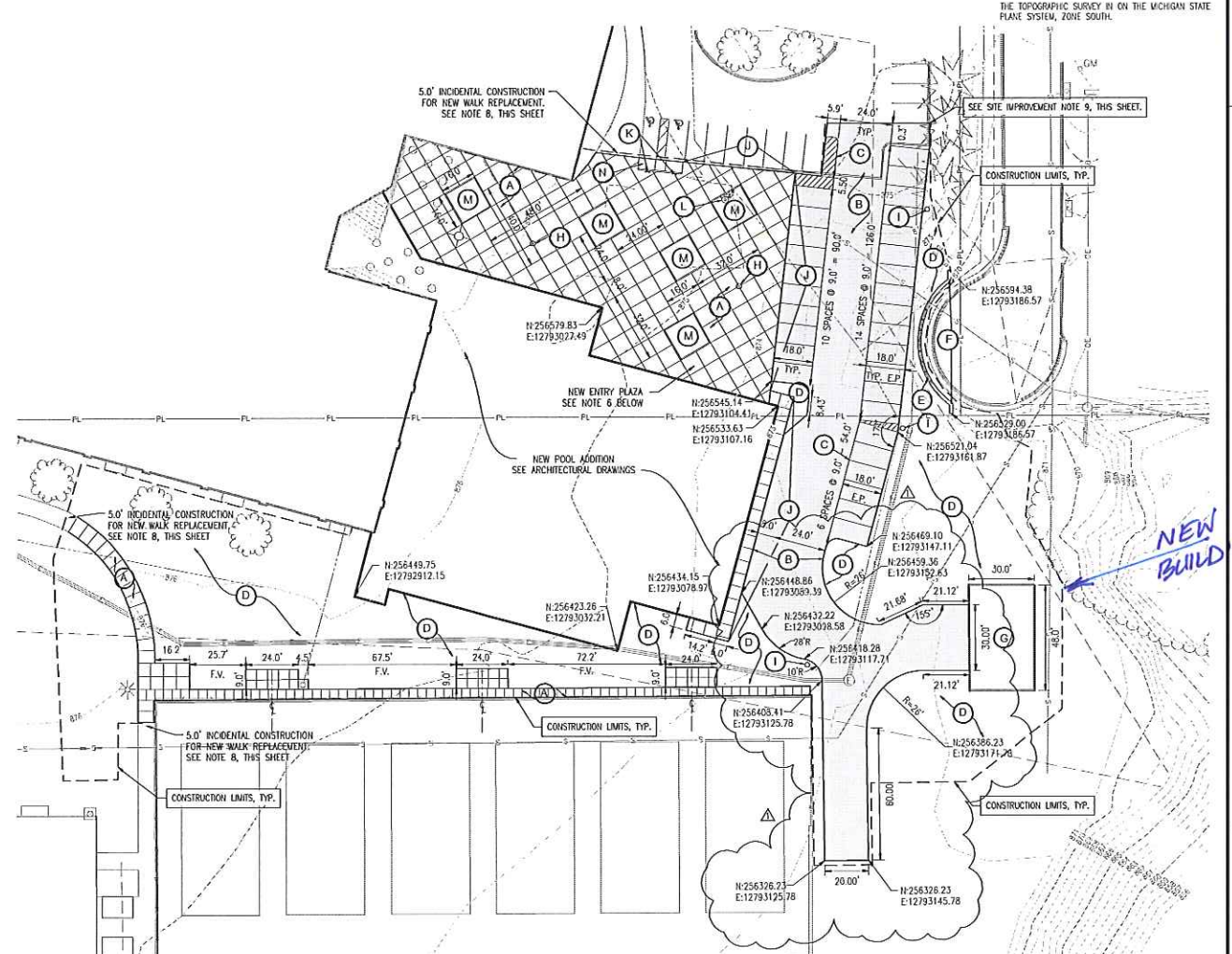
SITE DEMOLITION NOTES

- SEE SPECIFICATION SECTION 311000 FOR SITE DEMOLITION AND CLEARING REQUIREMENTS.
- THE CONTRACTOR SHALL PROTECT ALL AREAS/ITEMS DESIGNATED TO REMAIN FROM DAMAGE DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ALL DAMAGE AT NO ADDITIONAL COST TO THE OWNER.
- EXISTING BUILDINGS DESIGNATED TO REMAIN SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
- ALL AREAS DISTURBED OUTSIDE OF THE CONSTRUCTION LIMITS SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING PRIOR TO CONSTRUCTION.
- ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH STATE, LOCAL, AND FEDERAL REQUIREMENTS. THOSE ITEMS DESIGNATED TO BE REMOVED AND SALVAGED AND RETAINED BY THE OWNER, SHALL BE DELIVERED BY THE CONTRACTOR TO A LOCATION SPECIFIED BY THE OWNER.
- THE CONTRACTOR SHALL COORDINATE REQUIREMENTS AND CONSTRUCTION FEATURES OF ALL ADJACENT WORK.
- STRIP TOPSOIL WITHIN CONSTRUCTION LIMITS AND STOCKPILE. TOPSOIL TO BE USED IN SITE RESTORATION, REMOVE EXCESS FROM SITE.
- EXISTING TENNIS COURTS AND PERIMETER FENCING TO BE PROTECTED DURING CONSTRUCTION. USE EXTREME CAUTION WHEN WORKING ADJACENT TO TENNIS COURT AREAS.
- UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL UTILITY LOCATIONS PRIOR TO COMMENCING DEMOLITION.
- CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANY FOR REMOVAL/RELOCATION OF THEIR SERVICE.

SITE BENCHMARK ELEVATION = 874.62 (NGVD88)
BENCH TIE IN POWER POLE AT THE SOUTHEAST CORNER OF WESTEDGE AVENUE AND LANSBURG AVENUE
N:255681.29 E:12792068.36

SITE BENCHMARK ELEVATION = 875.21 (NGVD88)
NORTHWEST UPPER FLANGE BOLT ON HYDRANT ON THE WEST SIDE OF WESTEDGE AVENUE ACROSS FROM CENTRAL MIDDLE SCHOOL MAIN ENTRANCE
N:256316.35 E:12792031.96

THE TOPOGRAPHIC SURVEY IS ON THE MICHIGAN STATE PLANE SYSTEM, ZONE SOUTH.



SITE IMPROVEMENTS AND GEOMETRICS

SCALE: 1" = 30'

LEGEND

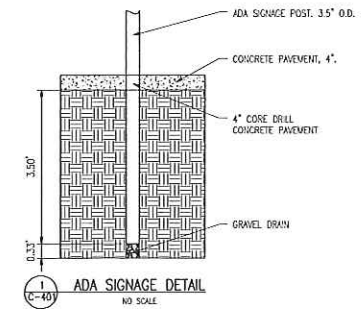
- F.V. = FIELD VERIFY DIMENSION SHOWN. REPORT ANY DISCREPANCY WITH CONSTRUCTION.
- E.P. = EDGE OF PAVEMENT

SITE IMPROVEMENTS AND GEOMETRICS KEY

- A - 4" CONCRETE SIDEWALK. SEE NOTE 8, THIS SHEET.
- B - HMA PAVEMENT
- C - PAVEMENT MARKINGS - 4" WIDTH. SEE NOTE 3, THIS SHEET AND SPECIFICATION SECTION 321723.
- D - LAWN/LANDSCAPE AREA. SEE SHEET C-403.
- E - 4" TALL CHAIN LINK FENCE. EMBED POSTS INTO TOP OF CONCRETE WALL.
- F - POURED IN PLACE REINFORCED CONCRETE CANTILEVERED WALL.
- G - POLE BUILDING, BY OWNER. SEE SITE IMPROVEMENTS NOTE 10.
- H - NEW ENTRY PLAZA LIGHT POLE AND FIXTURE. REFER TO SITE ELECTRICAL SHEETS. SEE NOTE 12, THIS SHEET.
- I - NEW PARKING LOT LIGHT POLE AND FIXTURE. REFER TO SHEET EC-401.
- J - THICKENED EDGE SIDEWALK
- K - REINSTALL ACCESSIBLE PARKING SIGNAGE.
- L - RELOCATED EXISTING FIRE HYDRANT. REFER TO SHEET C-402.
- M - TREE WELL, TYP.
- N - WIDOT SIDEWALK RAMP, TYPE P. SEE SHEET C-402 FOR GRADING REQUIREMENTS.

SITE IMPROVEMENTS AND GEOMETRICS NOTES

- UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- ALL AREAS DISTURBED OUTSIDE OF THE CONSTRUCTION LIMITS SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING PRIOR TO CONSTRUCTION.
- ALL PARKING LOT STRIPING SHALL BE 90 DEGREE PERPENDICULAR TO ADJACENT SURFACE AS INDICATED.
- REFER TO SHEET C-402 FOR STORM DRAINAGE AND SITE UTILITY REQUIREMENTS.
- THE CONTRACTOR SHALL COORDINATE REQUIREMENTS AND CONSTRUCTION FEATURES OF ALL ADJACENT WORK.
- NEW ENTRY PLAZA PAVEMENT SHALL BE SCORED CONCRETE PAVEMENT AS SHOWN AND 4" THICK. FINISH TO SMOOTH. REFER TO SPECIFICATIONS FOR EXPANSION JOINT REQUIREMENTS.
- ALL RAMP SHALL BE 5:0" UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CONSTRUCT NEW SIDEWALK TO MATCH EXISTING. TRANSITION TO AN EXISTING JOINT ON THE EXISTING WALK, SO SCORING IS CONSISTENT.
- MATCH EXISTING PAVEMENT AT THIS POINT, REFER TO SHEET C-402 FOR ADDITIONAL COMMENTS.
- OWNER WILL CONSTRUCT POLE BUILDING IN THIS LOCATION AT A LATER DATE.
- CONTRACTOR SHALL PROVIDE A LEVEL, FINISHED SURFACE TO DIMENSIONS INDICATED. FINISHED SURFACE FOR THIS CONTRACT SHALL BE LAMM.
- CONTRACTOR SHALL REPLACE BLEACHER PAD WITH 4" THICK CONCRETE TO SAME DIMENSIONS AS EXISTED PRIOR TO DEMOLITION. SEE DEMOLITION NOTE 11.
- CONTRACTOR SHALL COORDINATE WITH OTHERS PRIOR TO POLE BASE CONSTRUCTION. POLE BASES SHALL BE LOCATED AT THE INTERSECTION OF THE FINAL CONCRETE SCORE LINES.



PORTAGE PUBLIC SCHOOL CENTRAL HIGH SCHOOL POOL ADDITION

CENTRAL POOL DEMOLITION AND
SITE IMPROVEMENTS

REVISIONS
DATE DESCRIPTION BY
NO DOCUMENTS 2016.10.08
ADDENDUM #1 2017.01.12

SCALE: AS SHOWN
DATE: DEC 8, 2016
SHEET

C-401

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