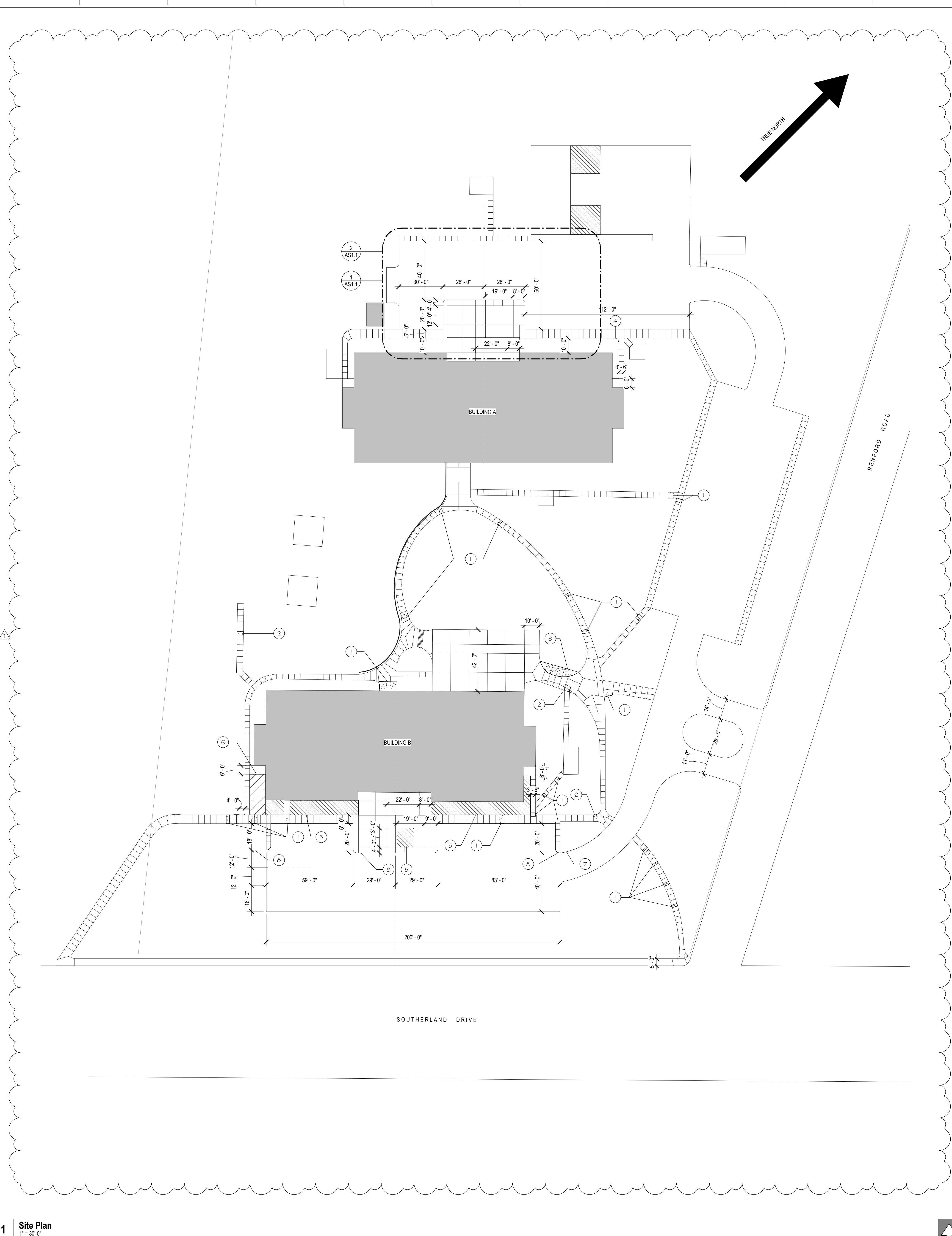


Project Phase: Construction Documents

Issue Date: 04.08.2020		
Revisions		
No.	Description	Date
1	City & Owner Comments	05.11.2020

Job Number: 19136.00
Architectural Site Plan



1 Site Plan
1" = 30'-0"

- 3 Site Plan Key Notes**
NTS
- SIDEWALK CRACKED WITH MINOR SHIFTING. SMOOTH TO CREATE LEVEL WALKING SURFACE.
 - SIDEWALK CRACKED WITH NOTABLE SHIFTING. INFILL TO CREATE LEVEL WALKING SURFACE.
 - SIDEWALK CRACKED BEYOND REPAIR. REMOVE SECTION AT JOINTS AND REPLACE WITH NEW SIDEWALK.
 - RETAINING WALL CRACKED & FAILING. REMOVE APPROXIMATELY 15'-0" ALONG CURVATURE AND REPLACE. SEE DETAIL 6AS1.0.
 - ALLOWANCE #1: REMOVE EXISTING CMU RETAINING WALL AT BUILDING B AND PROVIDE NEW SEGMENTED CMU BLOCK AND CAP STONE AT BEDS ALONG THE SOUTH ELEVATION (BOND NEW BLOCK WITH ADHESIVE). EXISTING LANDSCAPING TO RECEIVE NEW LAYER OF PEA GRAVEL AND NEW PLANTINGS. CONTRACTOR SHALL PROVIDE A LANDSCAPING DESIGN AS DELEGATED DESIGN RESPONSIBILITY. THE DESIGN SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW.
 - REMOVE EXISTING CONCRETE SLAB AND REPLACE WITH CONTINUATION OF LANDSCAPING.
 - ALTERNATE #2: AT ALL CURBS BESIDES CURB OF SIDEWALK ALONG SOUTH ELEVATION OF BUILDING 'B', WHICH IS TO BE INCLUDED IN ALLOWANCE #1, PAINT CURBS YELLOW. SEE SPECS FOR MORE INFORMATION.
 - ALLOWANCE #1: REPAINT SIDEWALK STRIPING AND CURB OF SIDEWALK ALONG SOUTH ELEVATION OF BUILDING 'B'. REFER TO SPECS FOR MORE INFORMATION.
 - INSTALL EROSION CONTROL MEASURES WHERE NECESSARY INCLUDING, BUT NOT LIMITED TO, SILT FENCE, HAYBALES, TEMPORARY GRASS COVERS AND PERMANENT SOIL COVERS AS SOON AS IS PRACTICAL AND MAINTAIN SUCH MEASURES UNTIL A HEALTHY STAND IS ESTABLISHED. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED DETAILS.

3 Site Plan Key Notes
NTS

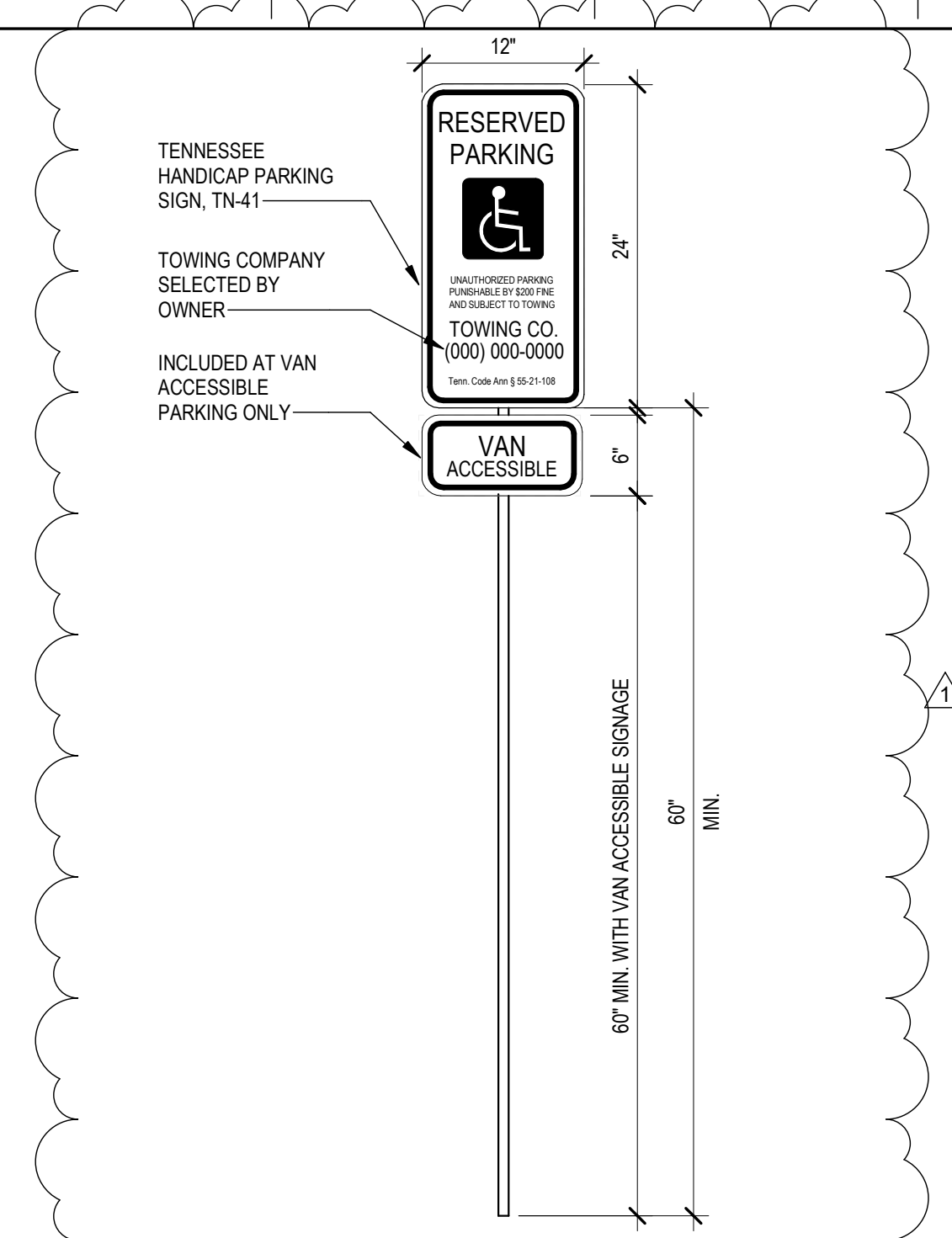
EXISTING PARKING	EXISTING	PROPOSED
STANDARD	102	98
ACCESSIBLE*	12	16
COMBINED	114	114

*ACCESSIBLE PARKING REQUIRES 1 ALLOTTED SPACE PER UFAS UNIT PER IBC 2018 1106.2.3

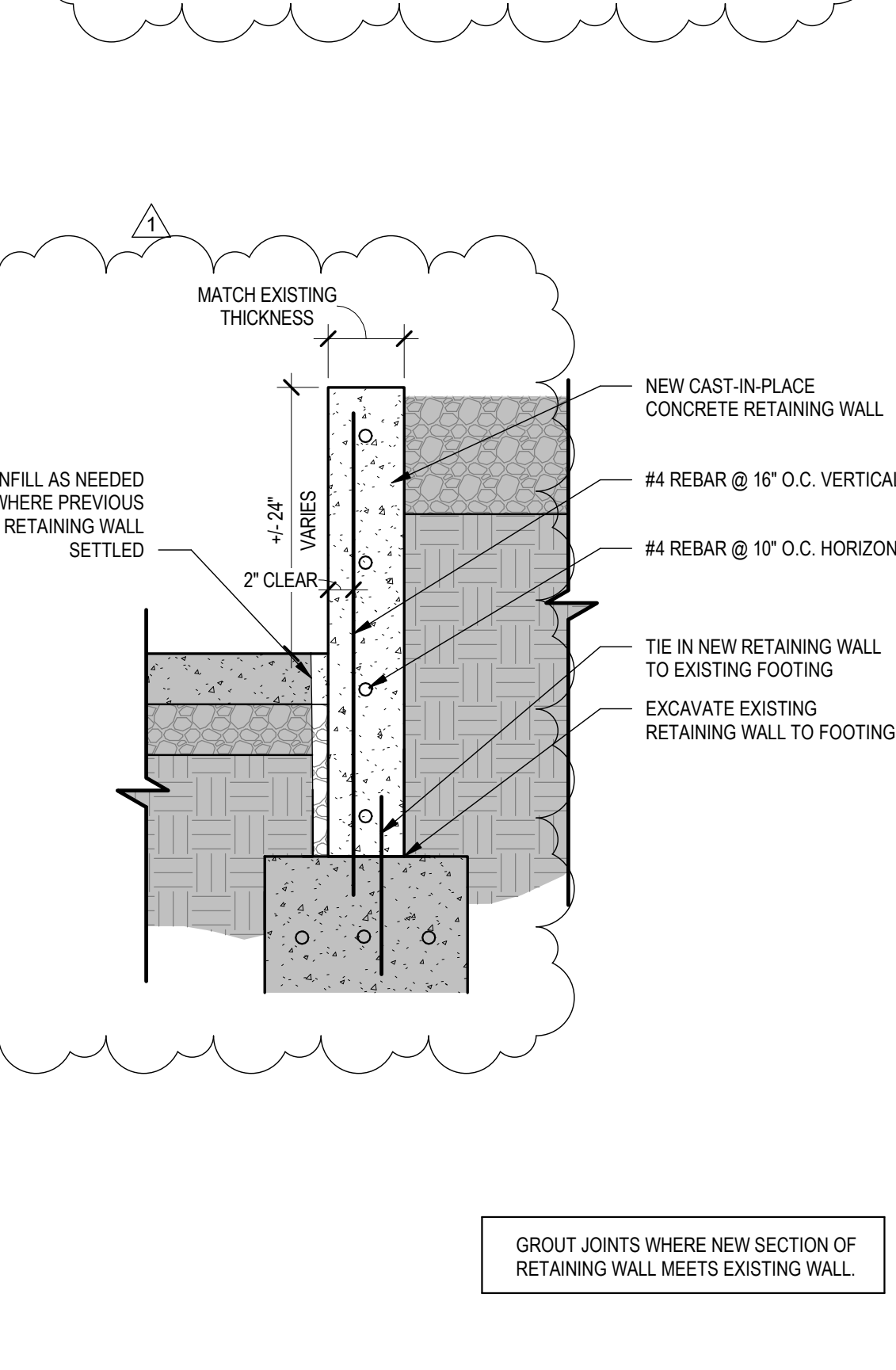
ACCESSIBLE UNITS		
BUILDING A	7	
BUILDING B	7	
	14 TOTAL	

ACCESSIBLE PARKING	EXISTING	PROPOSED
BUILDING A	3	7
BUILDING B	7	7
GUEST PARKING	2	2

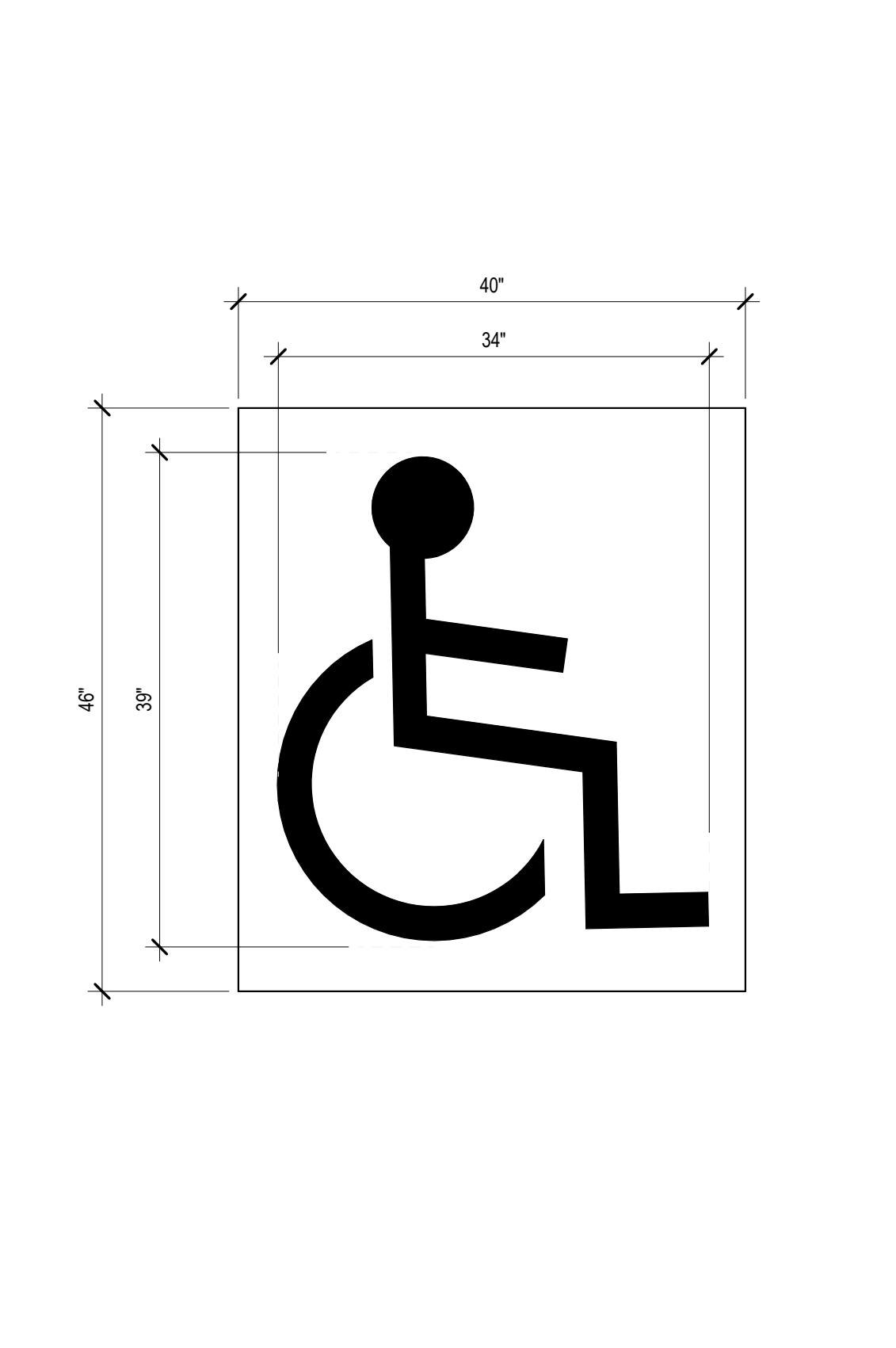
2 Parking Matrix
NTS



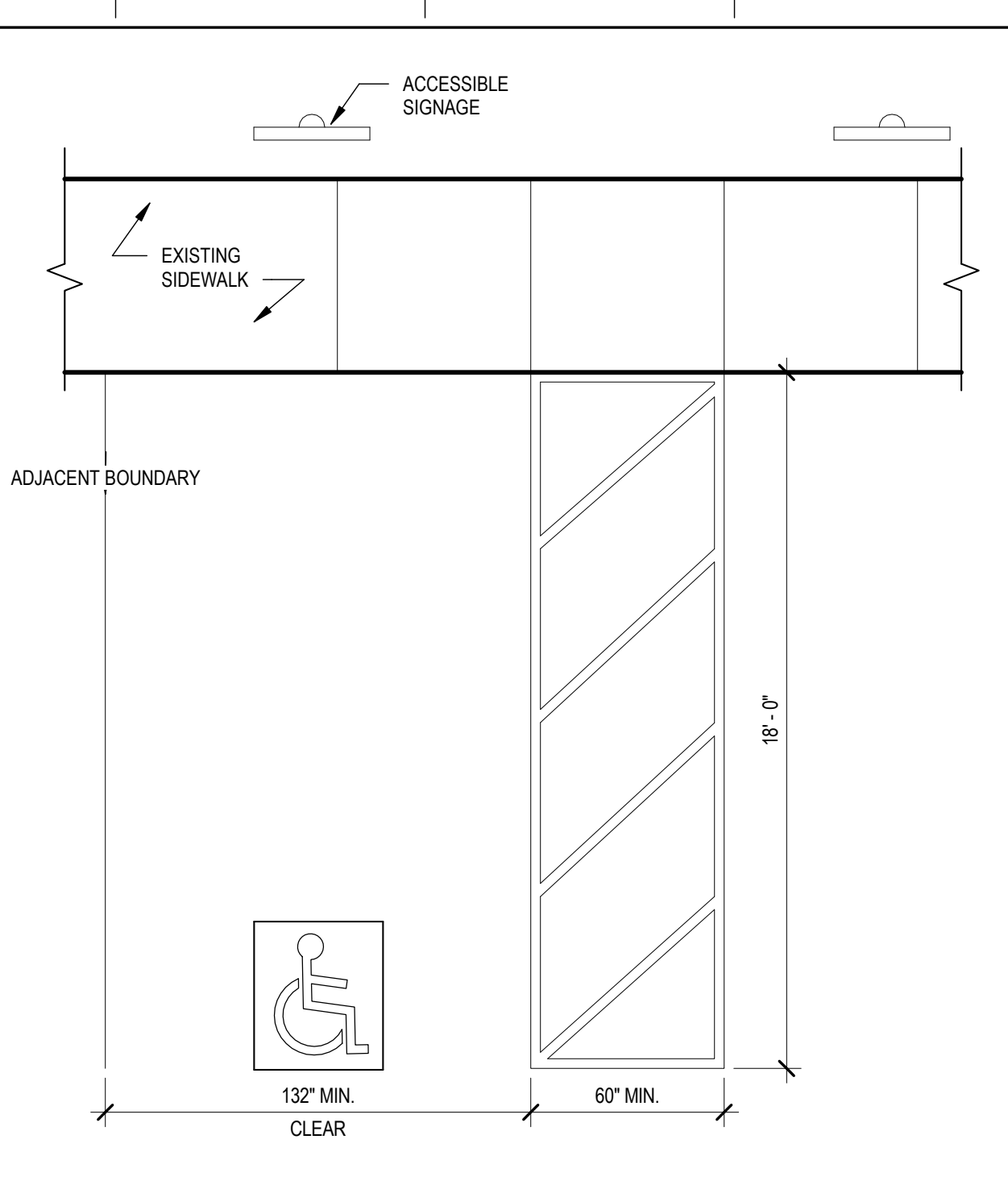
7 Parking Signage Standard
1" = 1'-0"



6 Retaining Wall Detail
1" = 1'-0"

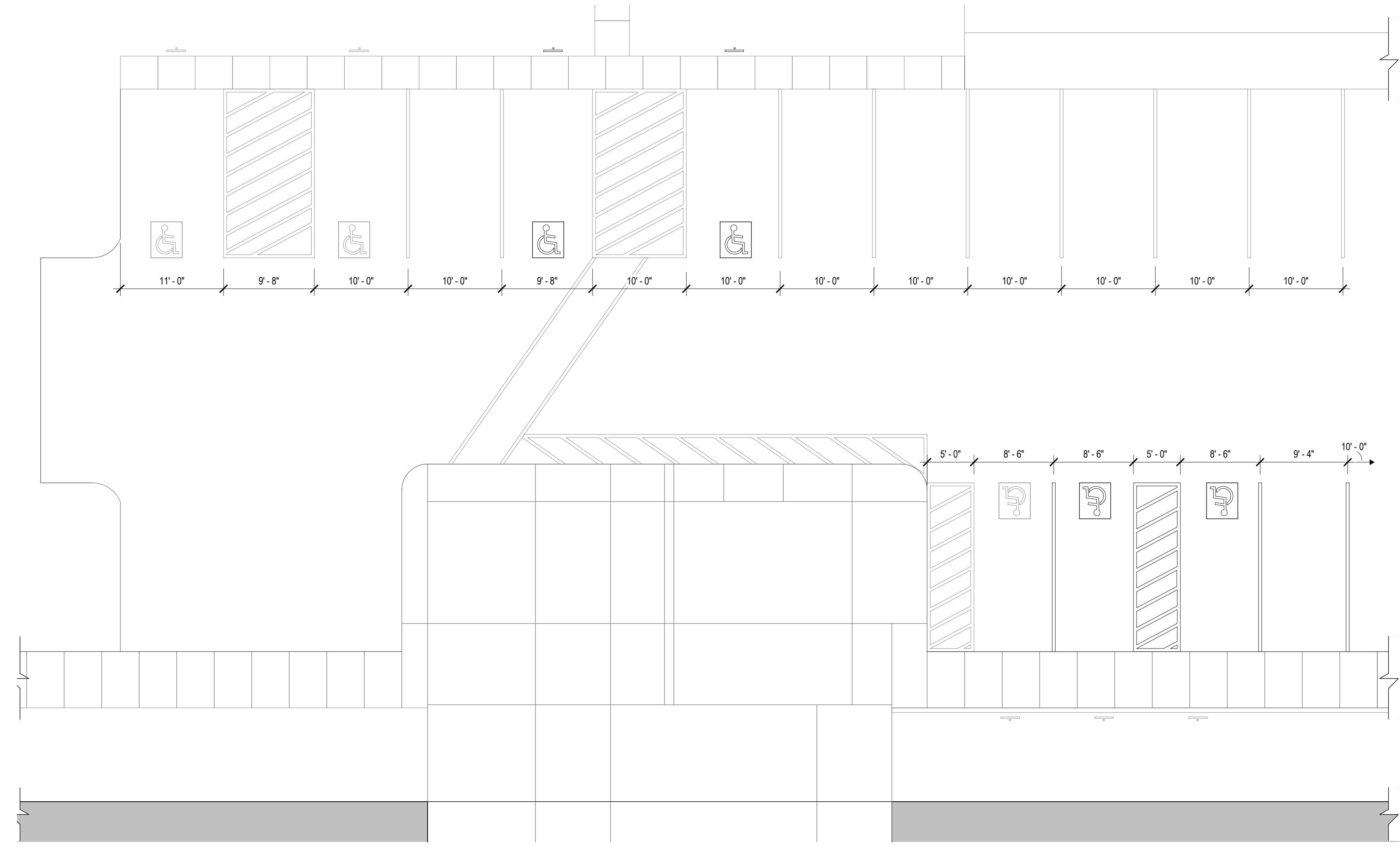


5 Accessible Striping Standard
1" = 1'-0"



4 Enlarged Plan - Van Access Parking
1/4" = 1'-0"

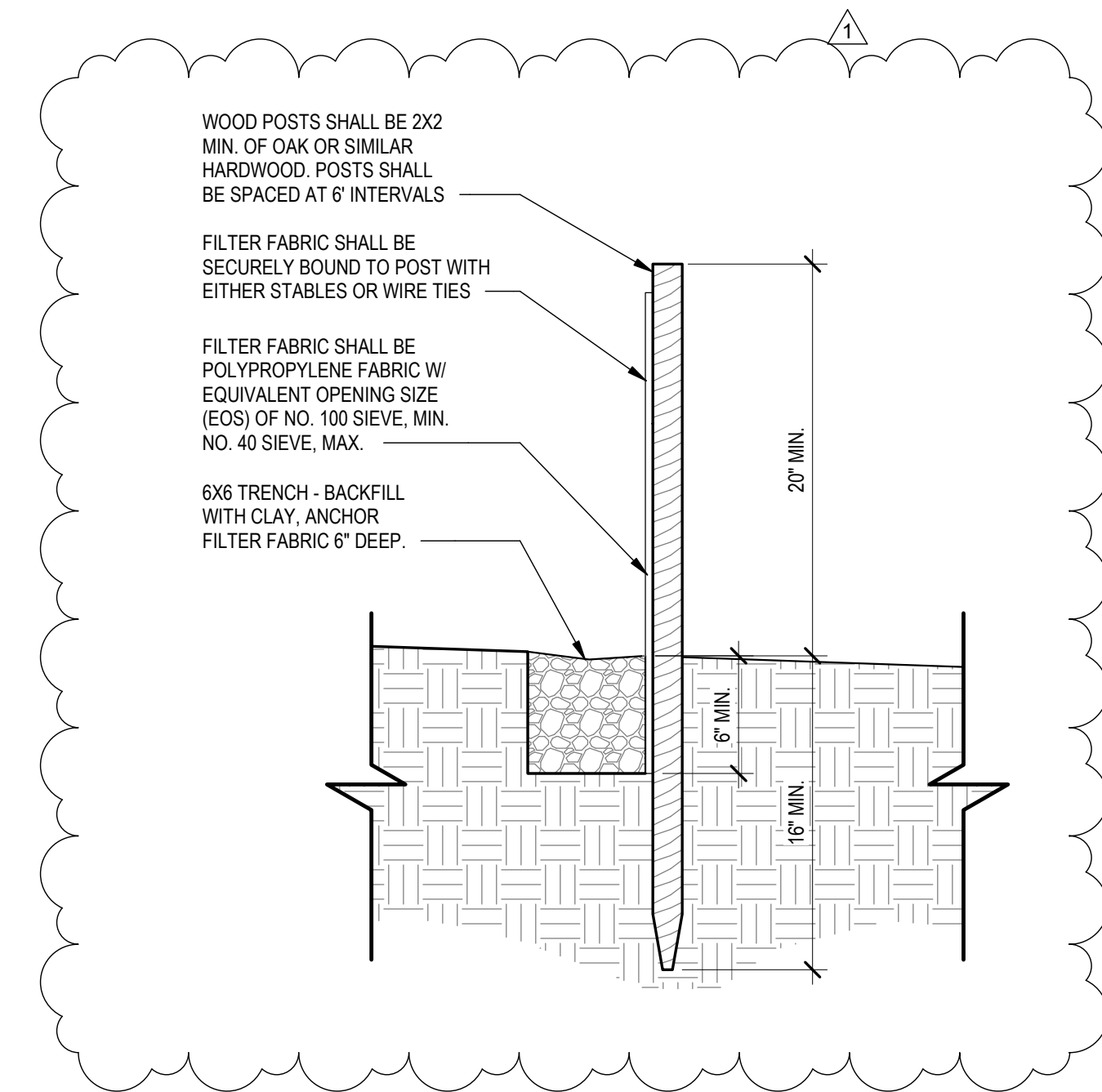
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BUILDING A

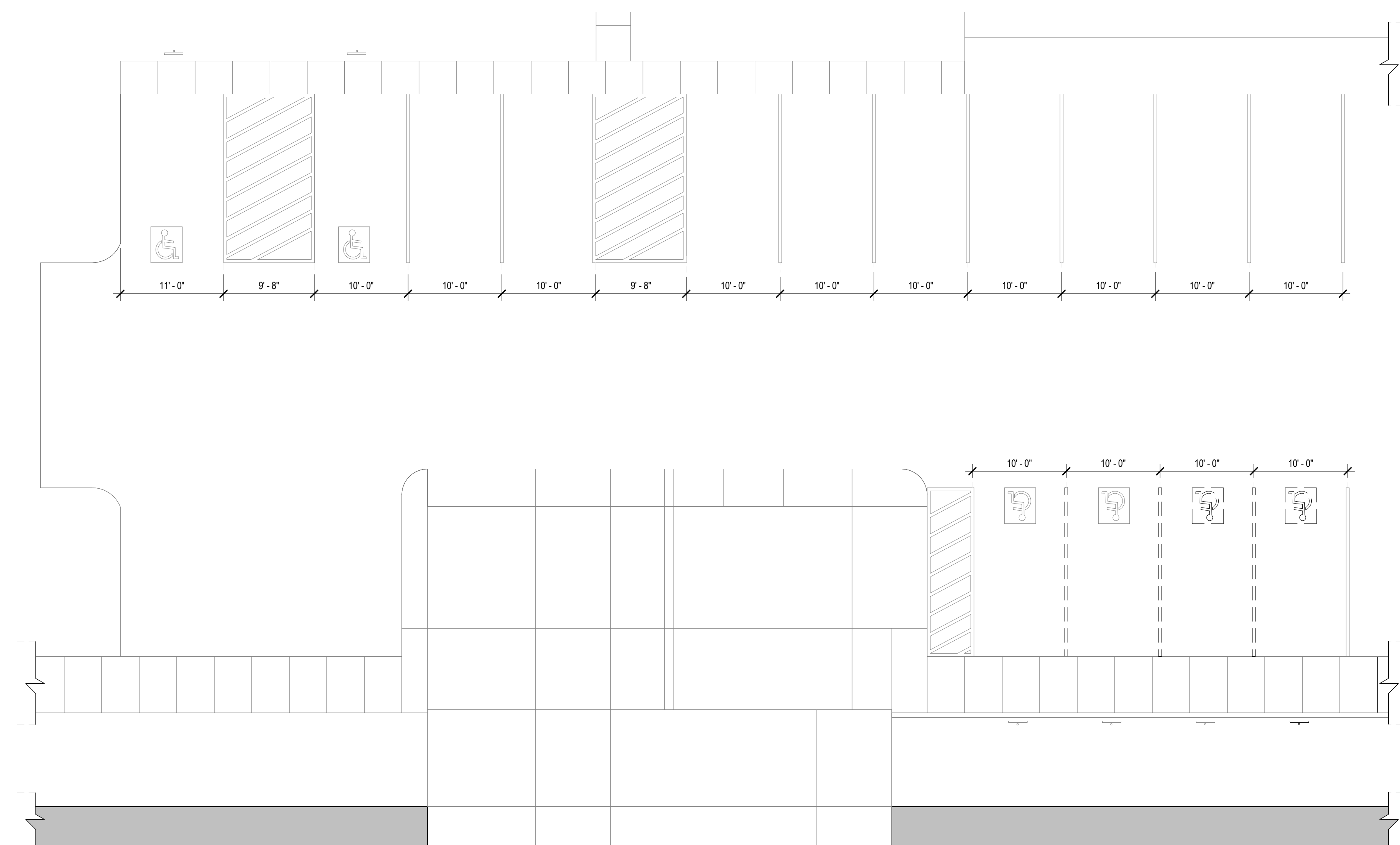
4 Not Used
NTS

2 Building A - Enlarged Proposed Parking
1/8" = 1'-0"

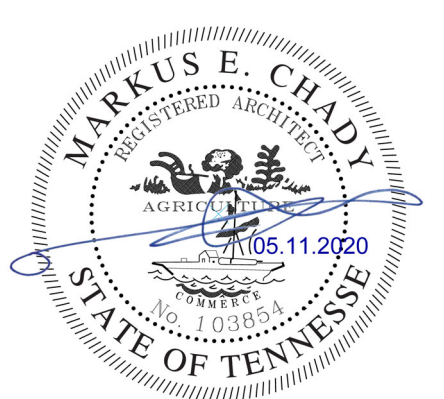


3 Silt Fence Detail
1/12" = 1'-0"

1 Building A - Enlarged Existing Parking
1/8" = 1'-0"



BUILDING A

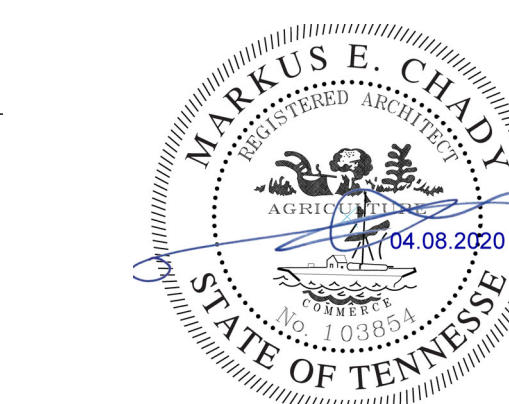


Project Phase: Construction Documents

Issue Date: 04.08.2020

Revisions		
No.	Description	Date
1	City & Owner Comments	05.11.2020

Job Number: 19136.00
Enlarged Site Plans



Project Phase: Construction Documents

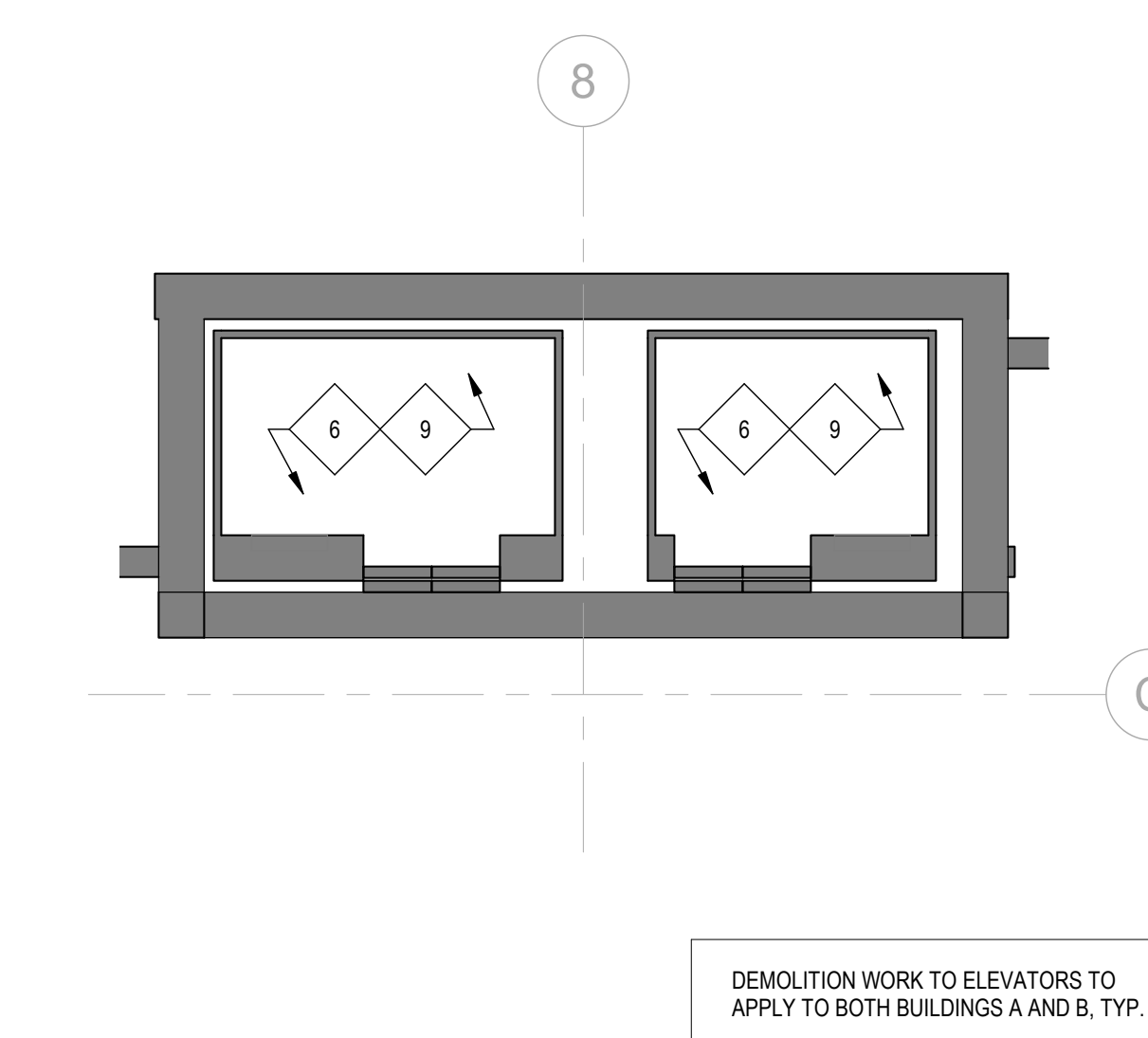
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Revisions		
No.	Description	Date

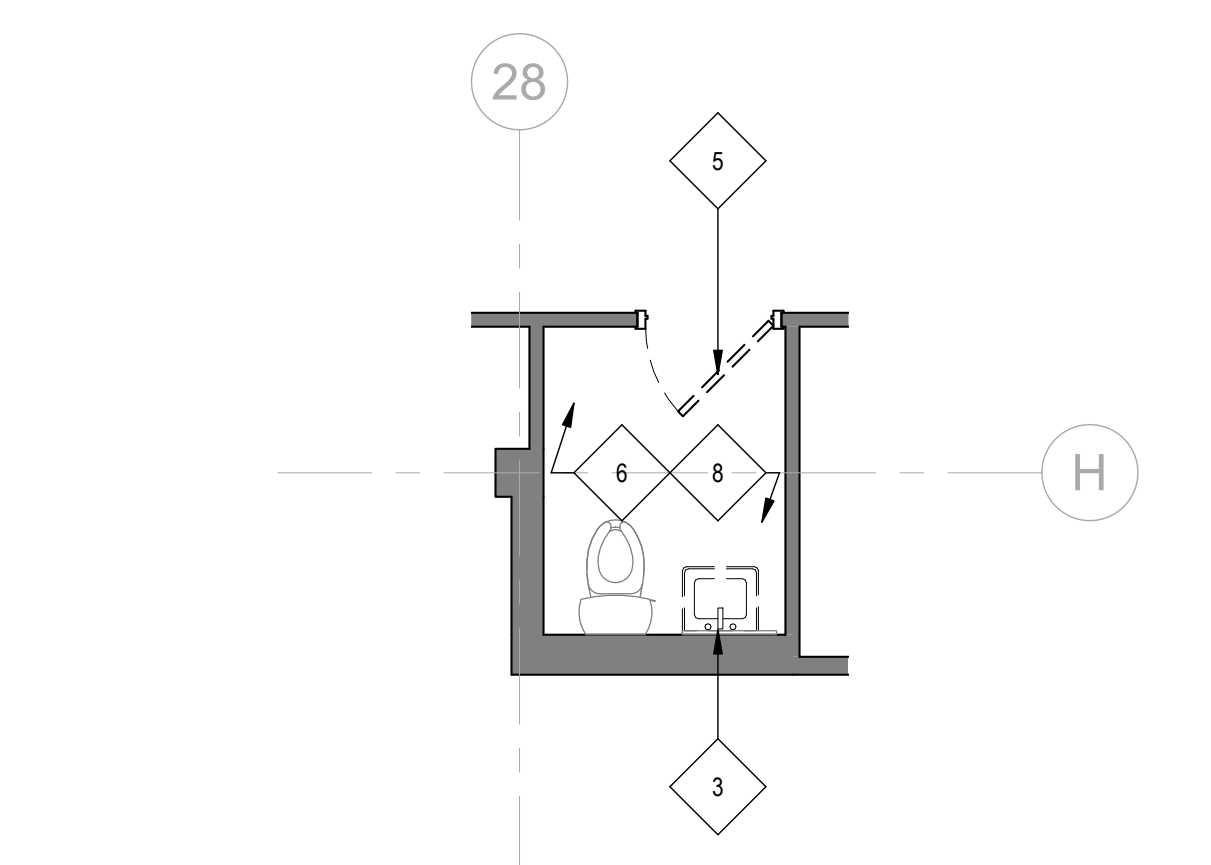
Job Number: 19136.00

Demolition Plans

AD1.1



4 Enlarged Elevator Demolition Plan
1/4" = 1'-0"



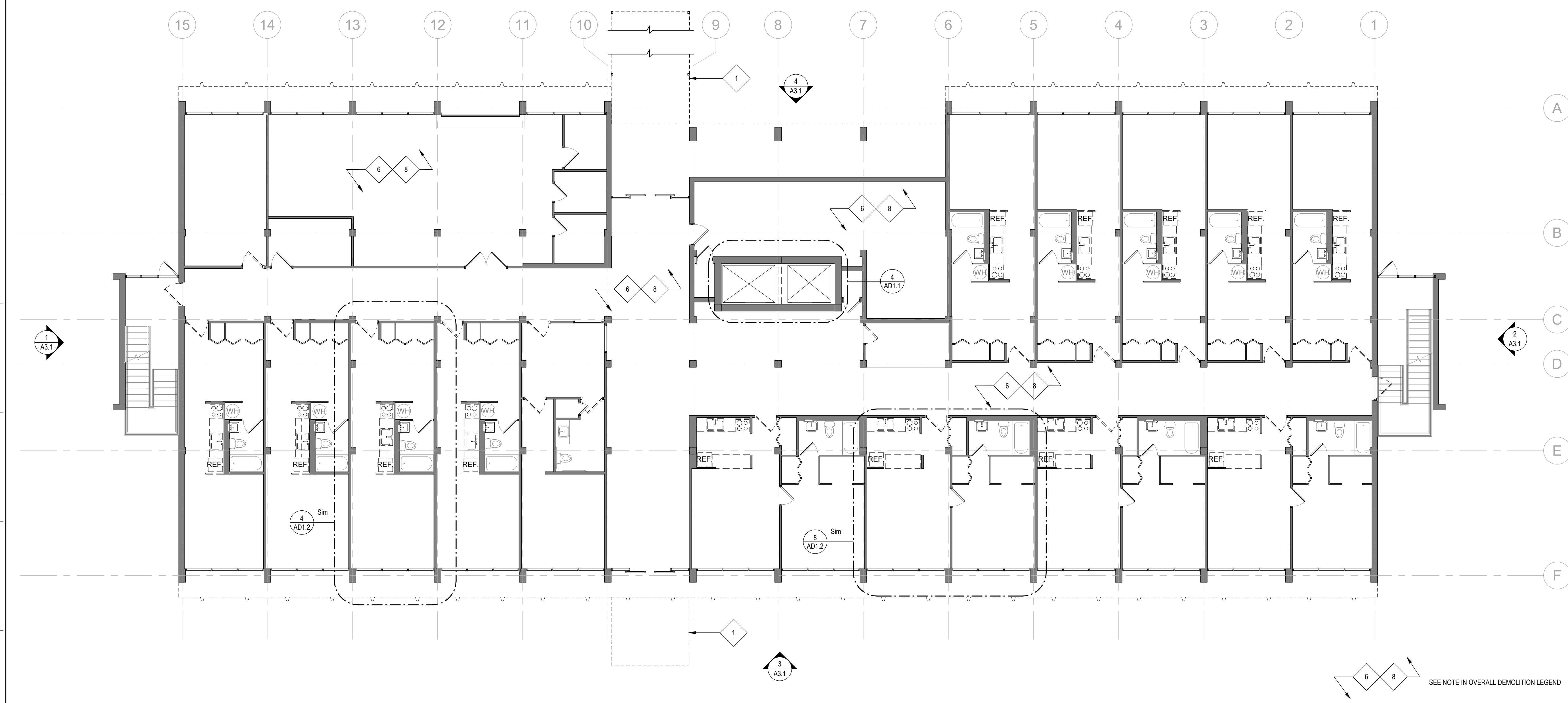
3 Enlarged First-Aid Restroom Demo Plan
1/4" = 1'-0"

- | | |
|---|--|
| 1 REMOVE EXISTING CANOPY AND POSTS. PREPARE FOR NEW. | 7 REMOVE EXISTING CEILING TILES AND CEILING GRID. |
| 2 REMOVE EXISTING NON-ADA COMPLIANT STALLS. | 8 REMOVE EXISTING CEILING TILES. EXISTING GRID TO REMAIN. |
| 3 REMOVE & DISCARD EXISTING LAVATORIES, CAP AND CONCEAL LINES AS NECESSARY. | 9 REMOVE EXISTING CEILING FINISH AND LIGHTING FIXTURES. PREPARE FOR NEW. |
| 4 REMOVE & DISCARD EXISTING PLUMBING FIXTURES. VERIFY WITH OWNER WHICH APPLIANCES TO DISCARD AND WHICH TO SAVE FOR REINSTALLATION PRIOR TO REMOVAL. | 10 REMOVE EXISTING CEILINGS CONTAINING ASBESTOS. |
| 5 REMOVE EXISTING DOOR AND ASSOCIATED HARDWARE. EXISTING FRAME TO REMAIN. PREPARE OPENING FOR NEW DOOR. | 11 REMOVE EXISTING APPLIANCES. |
| 6 RETAIN AND PRETEXT EXISTING FLOORING. PREPARE FOR INSTALLATION OF NEW FLOATING FLOOR ABOVE. | 12 REMOVE EXISTING CASEWORK. |
| | 13 REMOVE EXISTING CERAMIC SURROUND AND PREPARE FOR ROLL-IN SHOWER. |
| | 14 REMOVE EXISTING WALL. PREPARE FOR NEW 3 5/8" MTL STUD PARTITION. |

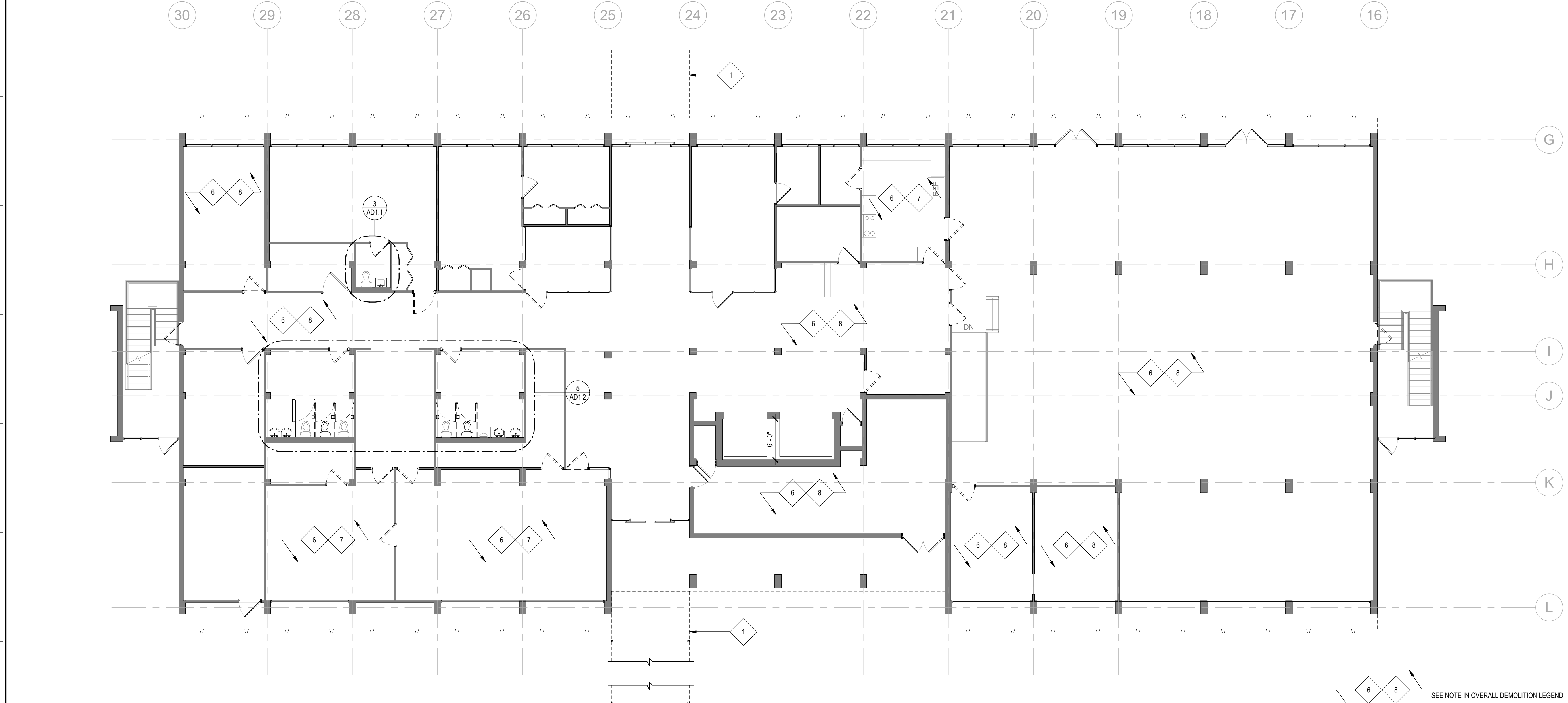
2 Overall Demolition Legend
N.T.S.

- DEMOLITION PLANS ARE ISSUED AS AN EXPLANATORY SUPPLEMENT TO INDICATE THE APPROXIMATE SCOPE OF PROPOSED DEMOLITION AND AS SUCH ALL CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES. DEMOLITION WORK WILL REQUIRE COORDINATION WITH PROPOSED ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING & ELECTRICAL SYSTEMS. THEREFORE DEMOLITION PLANS MAY NOT REPRESENT OR INCLUDE ALL DEMOLITION REQUIRED. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND FIELD VERIFY ALL CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION.
- CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS.
- EXISTING CONSTRUCTION TO REMAIN WITHIN AND SURROUNDING THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED AS NECESSARY DURING DEMOLITION TO AVOID DAMAGE OR DESTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPAIRING ANY ITEMS DAMAGED OR DESTROYED THAT WERE NOT INDICATED AS PART OF THE SCOPE OF DEMOLITION.
- REMOVE ALL INTERIOR CONSTRUCTION INDICATED BY KEYNOTES, EXCEPT WHERE SPECIFICALLY INDICATED TO REMAIN. REMOVAL SHALL INCLUDE, BUT NOT BE LIMITED TO: INTERIOR AND EXTERIOR WALLS, DOORS, PARTITIONS, SUSPENDED ACOUSTICAL CEILINGS, LIGHT FIXTURES, ELECTRICAL DEVICES, FIRE ALARM DEVICES, CONDUIT, ELECTRICAL PANEL BOARDS, SWITCHES, PLUMBING LINES, PLUMBING FIXTURES, MILLWORK, FLOOR FINISHES, WINDOW TREATMENTS, DUCTWORK AND ASSOCIATED MECHANICAL PIPING, FIXTURES AND CONTROLS.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY SHOULD THE PRESENCE OF HAZARDOUS MATERIALS BE SUSPECTED OR IDENTIFIED DURING DEMOLITION ACTIVITIES.
- DIMENSIONS SHOWN ARE APPROXIMATE DUE TO VARIATIONS IN EXISTING CONDITIONS, AND ARE GIVEN FOR REFERENCE ONLY.
- GC SHALL COORDINATE WITH OWNER PRIOR TO COMMENCEMENT OF DEMOLITION WORK ALL PROCEDURES (E.G. SCHEDULING OF ACTIVITIES, SHUTDOWNS, ETC.) AND LOCATION OF DUMPSTER FOR DISPOSAL OF ALL REMOVED ITEMS.
- ANY DAMAGE TO OWNER'S PROPERTY DURING DEMOLITION OR CONSTRUCTION WILL BE REPAIRED PER SPECIFICATIONS, AT GC'S EXPENSE.
- ANY EXISTING EQUIPMENT OR COMPONENT IN OR PERTAINING TO THE PREMISES THAT IS BEING ABANDONED MUST BE DEMOLISHED COMPLETELY AND PROPERLY REMOVED FROM THE PREMISES.
- GC SHALL COORDINATE WORK PERFORMED BY OTHER CONTRACTORS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE OWNER'S ATTENTION BEFORE PROCEEDING WITH WORK.
- GC SHALL TAKE CARE TO NOT DISTURB EXISTING CEILING OR FLOOR EXCEPT FOR THOSE AREAS SPECIFIED.

1 General Demolition Notes
N.T.S.



6 1st Floor Building A Demolition Plan
1/8" = 1'-0"



5 1st Floor Building B Demolition Plan
1/8" = 1'-0"

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Drawn By: Author
Checked By: Checker
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ALL EXISTING LVP FLOORING TO BE PROTECTED AND PREPARED FOR INSTALLATION OF NEW FLOATING FLOOR ABOVE THROUGHOUT.
ALL EXISTING CEILING TILES TO BE REMOVED ON EVERY LEVEL IN HALLWAYS. EXISTING CEILING GRID TO REMAIN U.N.C.
ALL EXISTING TRASH CHUTE DOORS TO BE REMOVED ON EVERY LEVEL. PREPARE EXISTING OPENINGS FOR NEW DOORS. SEE S/AE.1

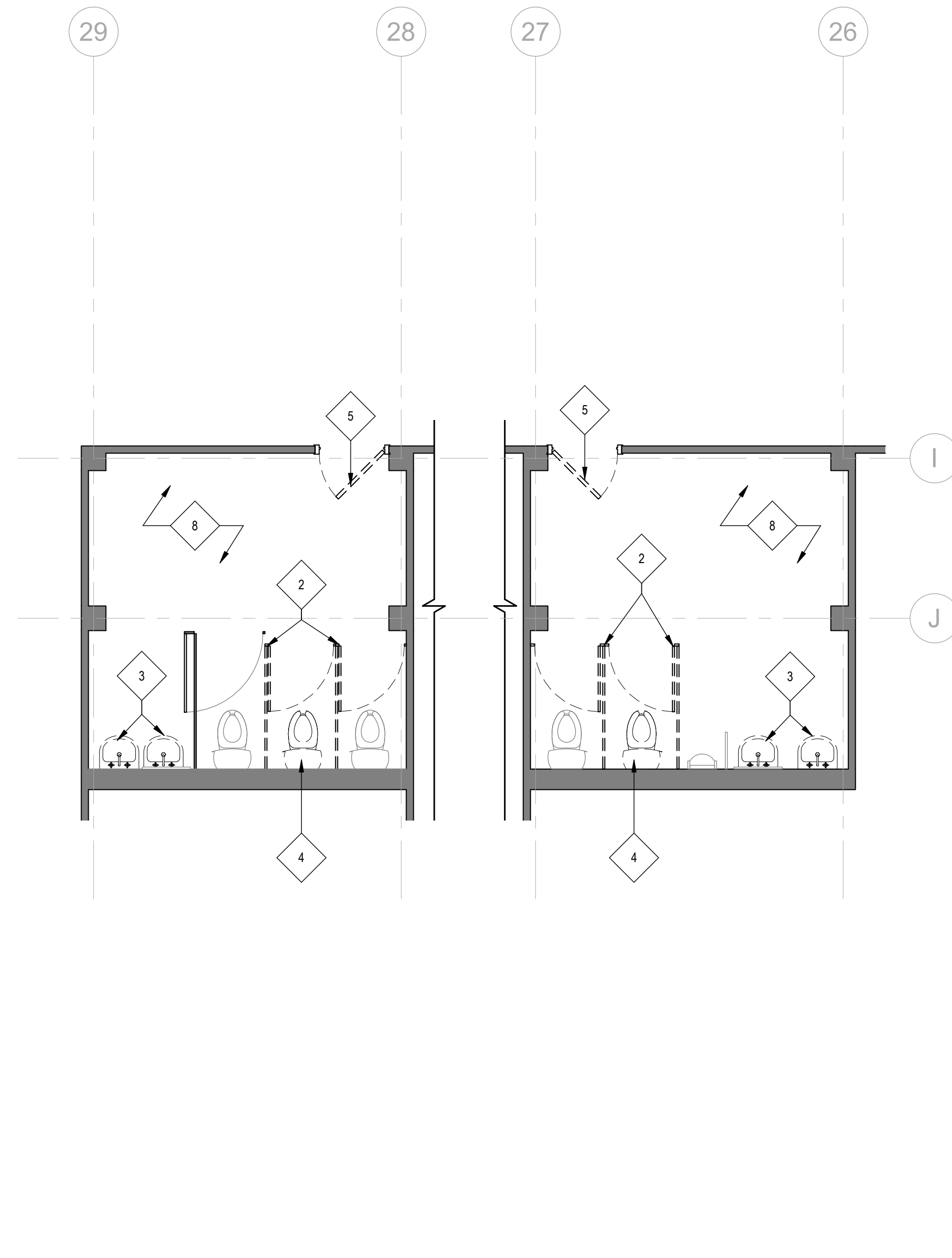
3 Overall Demolition Notes
NTS

- 1 REMOVE EXISTING CANOPY AND POSTS. PREPARE FOR NEW.
- 2 REMOVE EXISTING NON-ADA COMPLIANT STALLS.
- 3 REMOVE & DISCARD EXISTING LAVATORIES. CAP AND CONCEAL LINES AS NECESSARY.
- 4 REMOVE & DISCARD EXISTING PLUMBING FIXTURES. VERIFY WITH OWNER WHICH APPLIANCES TO DISCARD AND WHICH TO SAVE FOR REINSTALLATION PRIOR TO REMOVAL.
- 5 REMOVE EXISTING DOOR AND ASSOCIATED HARDWARE. EXISTING FRAME TO REMAIN. PREPARE OPENING FOR NEW DOOR.
- 6 RETAIN AND PROTECT EXISTING FLOORING. PREPARE FOR INSTALLATION OF NEW FLOATING FLOOR ABOVE.
- 7 REMOVE EXISTING CEILING TILES AND CEILING GRID.
- 8 REMOVE EXISTING CEILING TILES. EXISTING GRID TO REMAIN.
- 9 REMOVE EXISTING CEILING FINISH AND LIGHTING FIXTURES. PREPARE FOR NEW.
- 10 REMOVE EXISTING CEILINGS CONTAINING ASBESTOS.
- 11 REMOVE EXISTING APPLIANCES.
- 12 REMOVE EXISTING CASEWORK
- 13 REMOVE EXISTING CERAMIC SURROUND AND PREPARE FOR ROLL-IN SHOWER
- 14 REMOVE EXISTING WALL. PREPARE FOR NEW 3 5/8" MTL STUD PARTITION.

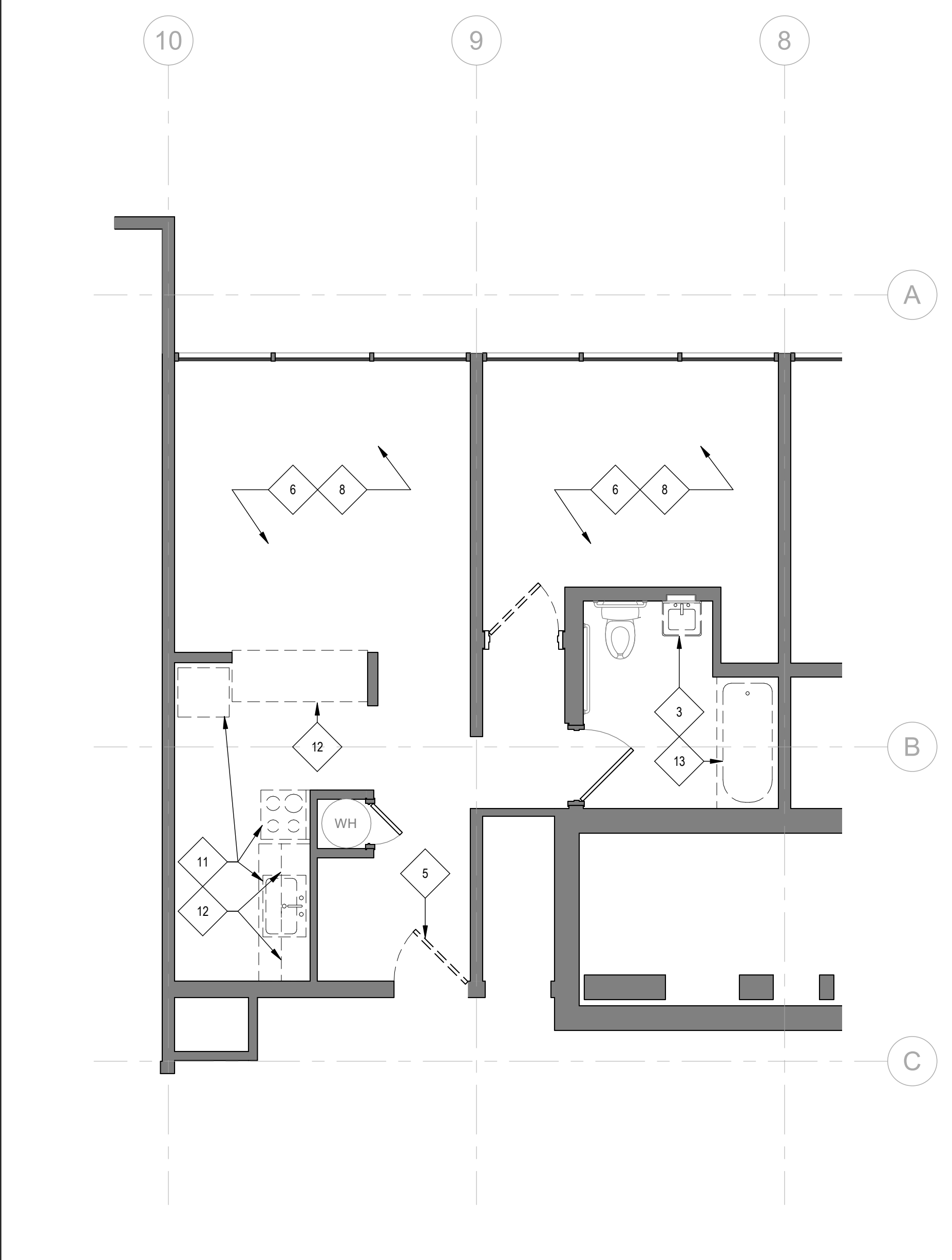
2 Demolition Legend
NTS

1. DEMOLITION PLAN(S) ARE ISSUED AS AN EXPLANATORY SUPPLEMENT TO INDICATE THE APPROXIMATE SCOPE OF PROPOSED DEMOLITION AND AS SUCH ALL CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES. DEMOLITION WORK WILL REQUIRE COORDINATION WITH PROPOSED ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING & ELECTRICAL SYSTEMS. THEREFORE DEMOLITION PLAN(S) MAY NOT REPRESENT OR INCLUDE ALL DEMOLITION REQUIRED. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND FIELD VERIFY ALL CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION.
2. CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS.
3. EXISTING CONSTRUCTION TO REMAIN WITHIN AND SURROUNDING THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED AS NECESSARY DURING DEMOLITION TO AVOID DAMAGE OR DESTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING OR REPAIRING ANY ITEMS DAMAGED OR DESTROYED THAT WERE NOT INDICATED AS PART OF THE SCOPE OF DEMOLITION.
4. REMOVE ALL INTERIOR CONSTRUCTION INDICATED BY KEYNOTES, EXCEPT WHERE SPECIFICALLY INDICATED TO REMAIN. REMOVAL SHALL INCLUDE, BUT NOT BE LIMITED TO, INTERIOR AND EXTERIOR WALLS, DOORS, PARTITIONS, SUSPENDED ACoustICAL CEILINGS, LIGHT FIXTURES, ELECTRICAL DEVICES, FIRE ALARM DEVICES, CONDUIT, ELECTRICAL PANEL BOARDS, SWITCHES, PLUMBING LINES, PLUMBING FIXTURES, MILLWORK, FLOOR FINISHES, WINDOW TREATMENTS, DUCTWORK AND ASSOCIATED MECHANICAL PIPING, FIXTURES AND CONTROLS.
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6. DIMENSIONS SHOWN ARE APPROXIMATE DUE TO VARIATIONS IN EXISTING CONDITIONS, AND ARE GIVEN FOR REFERENCE ONLY.
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8. ANY DAMAGE TO OWNERS PROPERTY DURING DEMOLITION OR CONSTRUCTION WILL BE REPAIRED PER SPECIFICATIONS, AT GC'S EXPENSE.
9. ANY EXISTING EQUIPMENT OR COMPONENT IN OR PERTAINING TO THE PREMISES THAT IS BEING ABANDONED MUST BE DEMOLISHED COMPLETELY AND PROPERLY REMOVED FROM THE PREMISES.
10. GC SHALL COORDINATE WORK PERFORMED BY OTHER CONTRACTORS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE OWNER'S ATTENTION BEFORE PROCEEDING WITH WORK.
11. GC SHALL TAKE CARE TO NOT DISTURB EXISTING CEILING OR FLOOR EXCEPT FOR THOSE AREAS SPECIFIED.

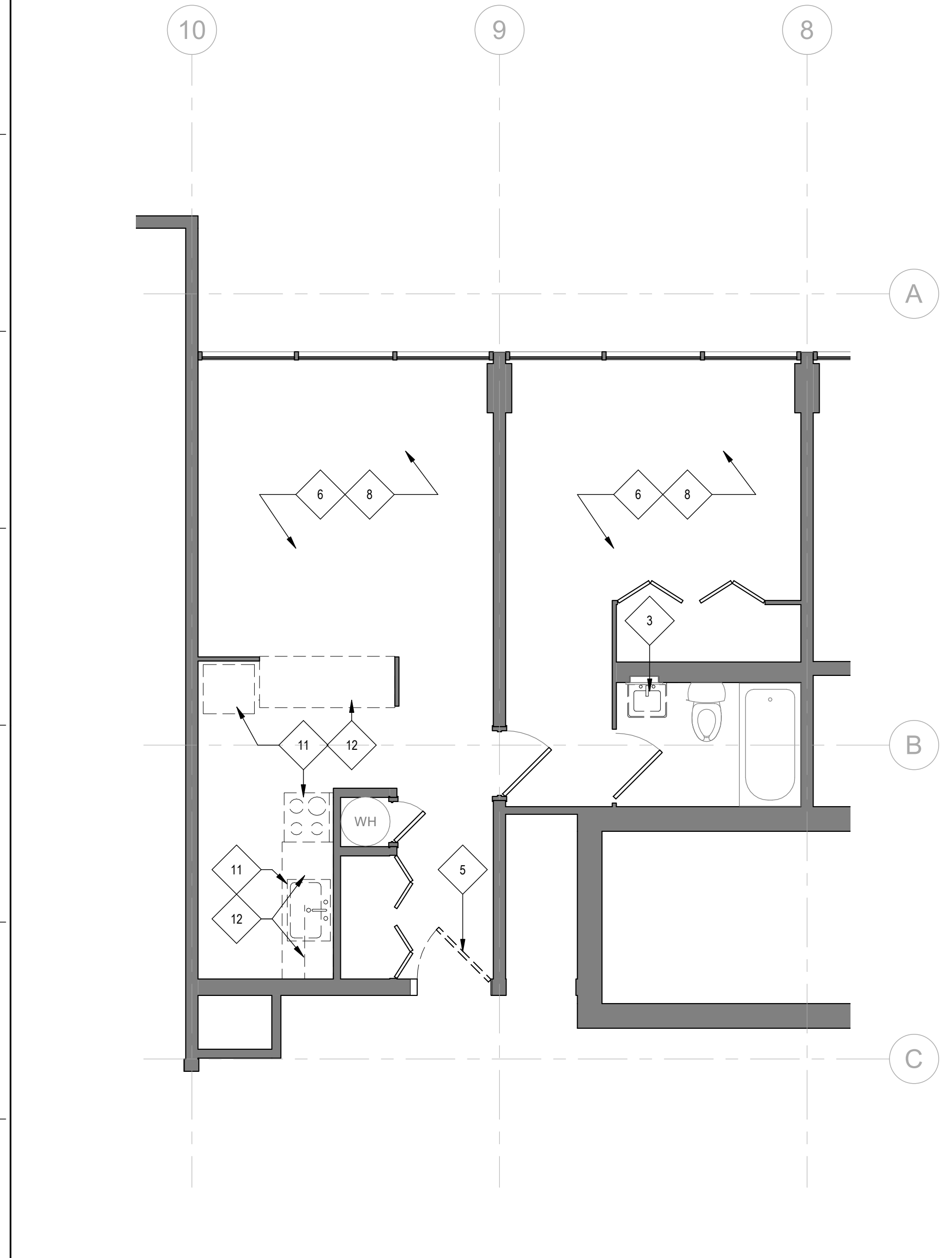
1 General Demolition Notes
NTS



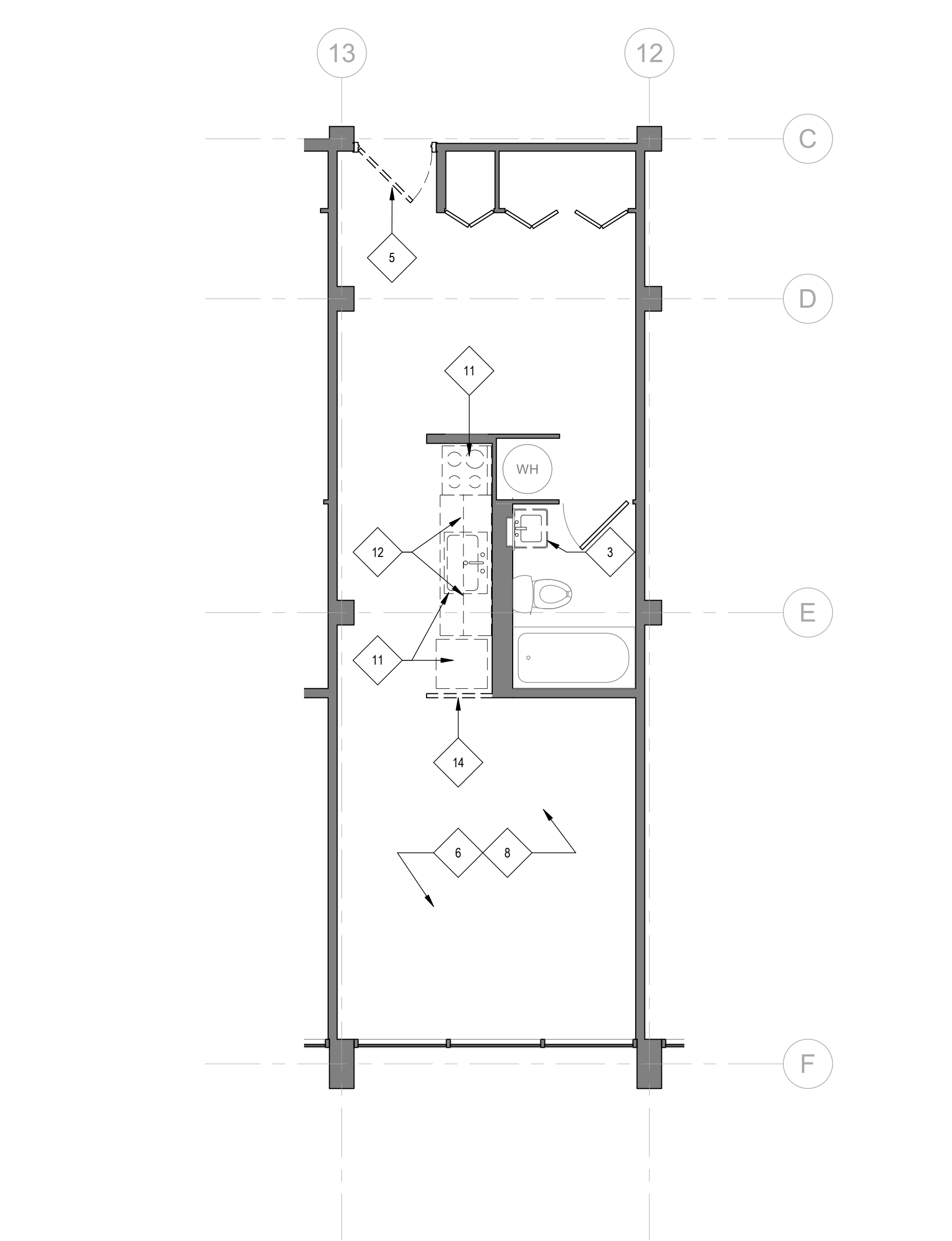
5 1st Floor Building B - Enlarged Restroom Demo Plan
1/4" = 1'-0"



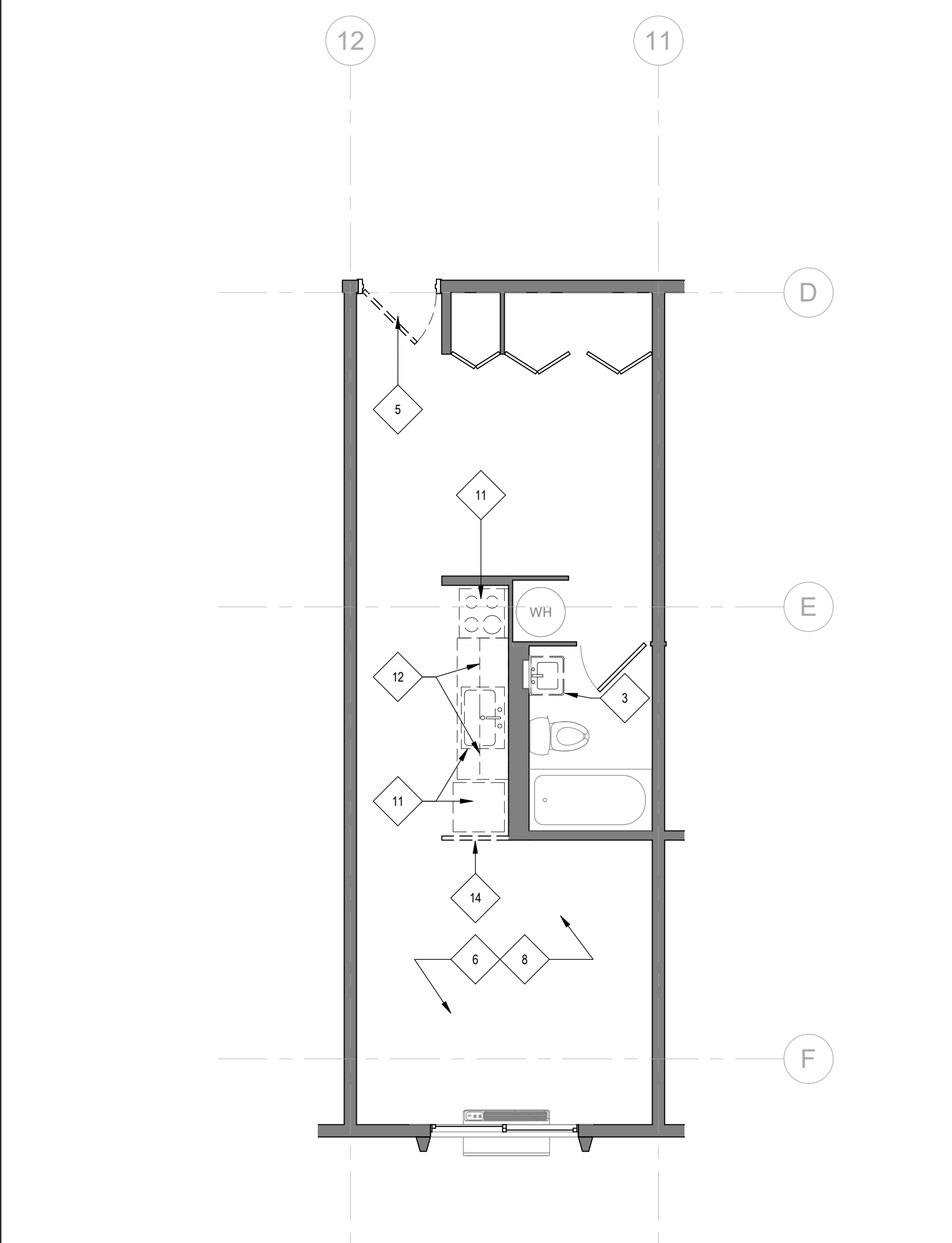
7 Type 3 UFAS - Demolition Plan
1/4" = 1'-0"



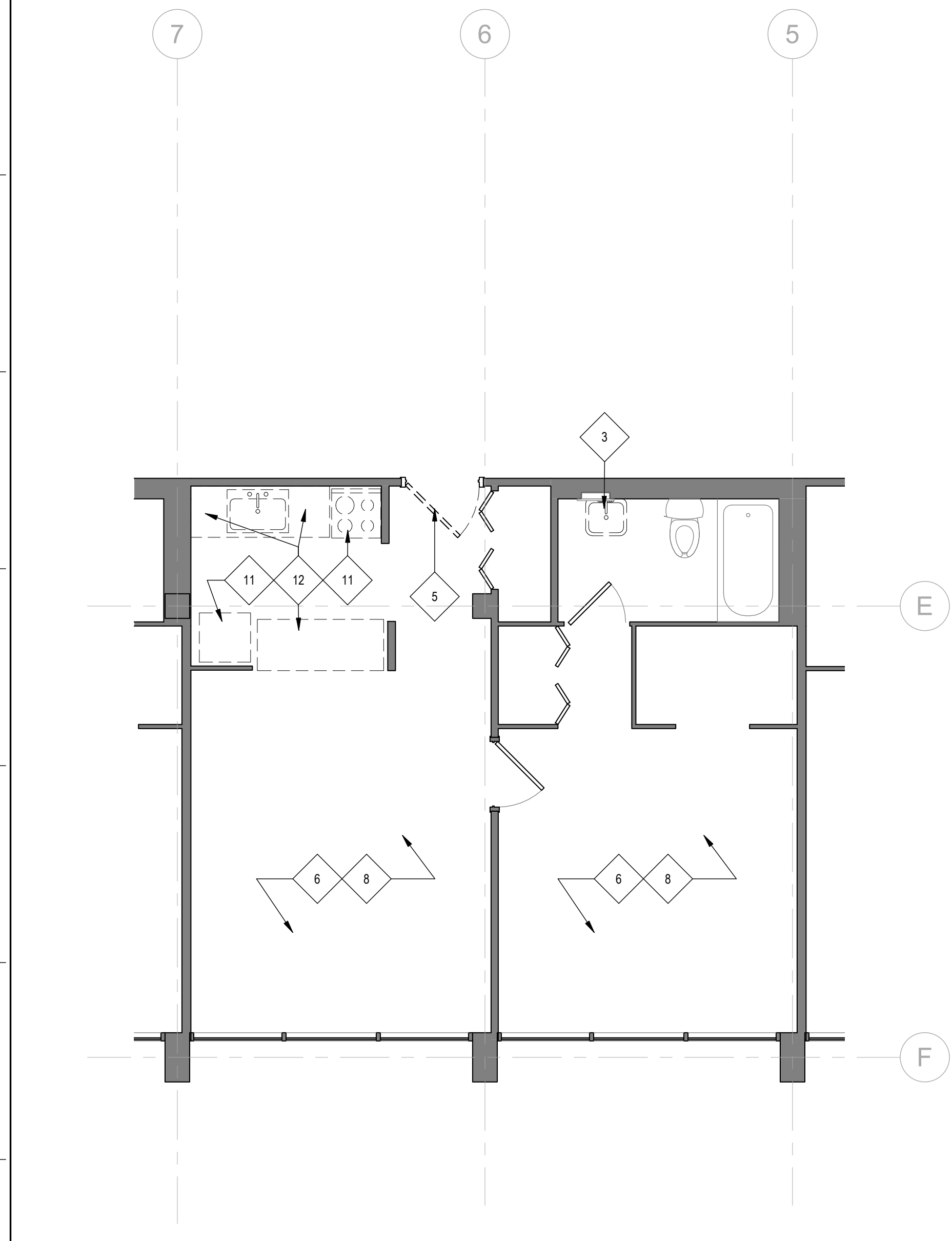
9 Type 3 - Demolition Plan
1/4" = 1'-0"



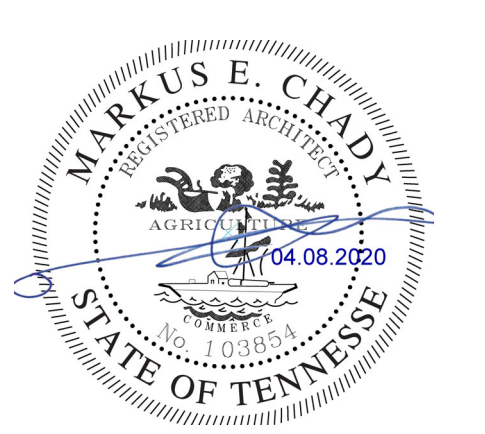
4 Type 1 - Demolition Plan
1/4" = 1'-0"



6 Type 4 - Demolition Plan
1/4" = 1'-0"



8 Type 2 - Demolition Plan
1/4" = 1'-0"



Project Phase: Construction Documents

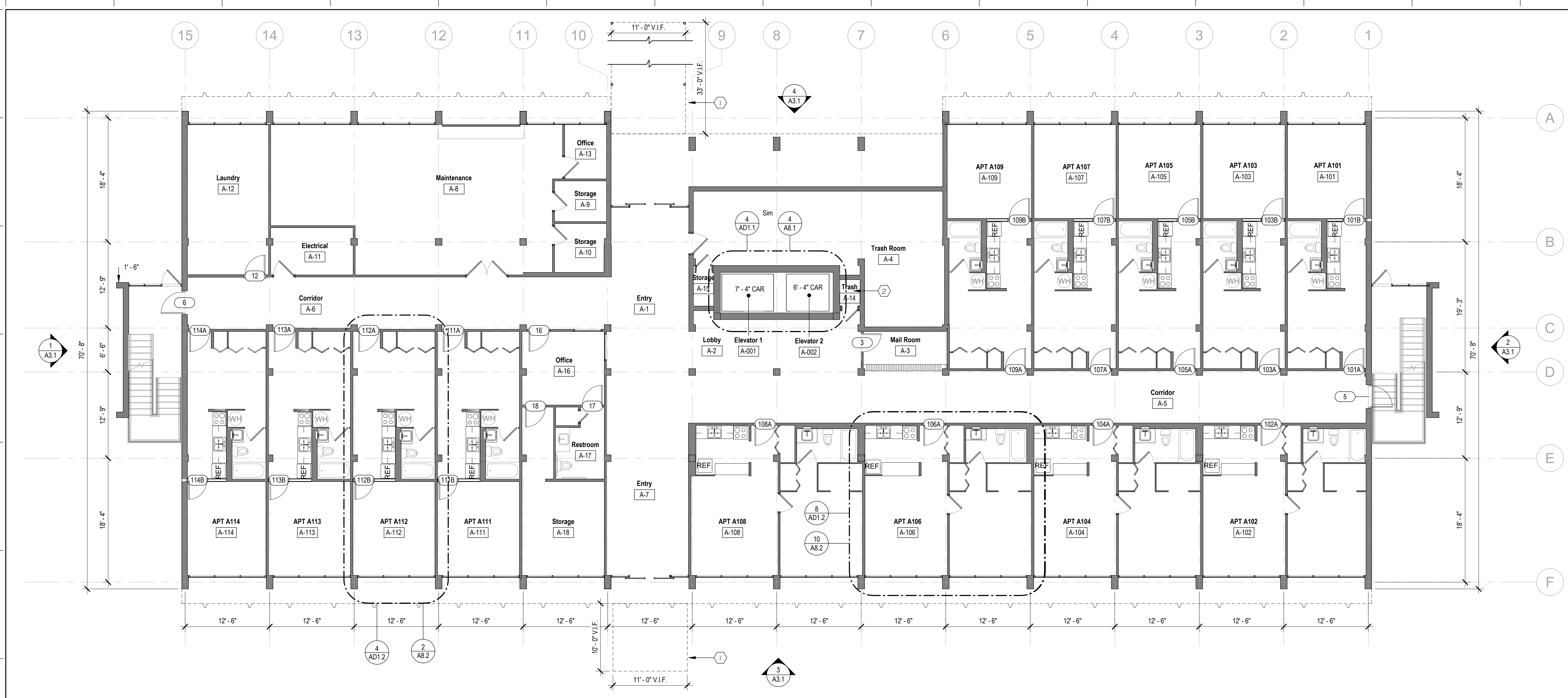
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Revisions		
No.	Description	Date

Job Number: 19136.00

Demolition Plans

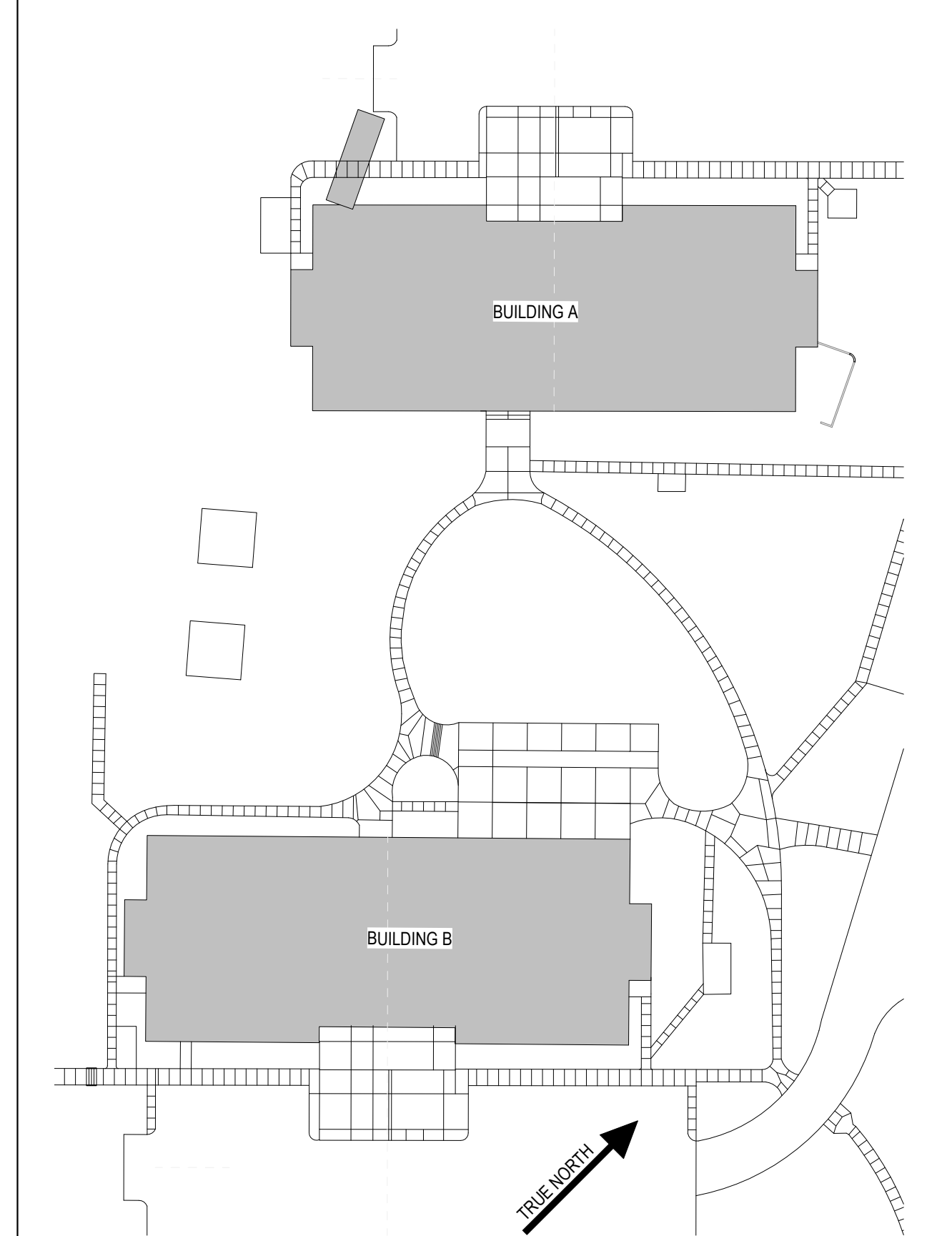
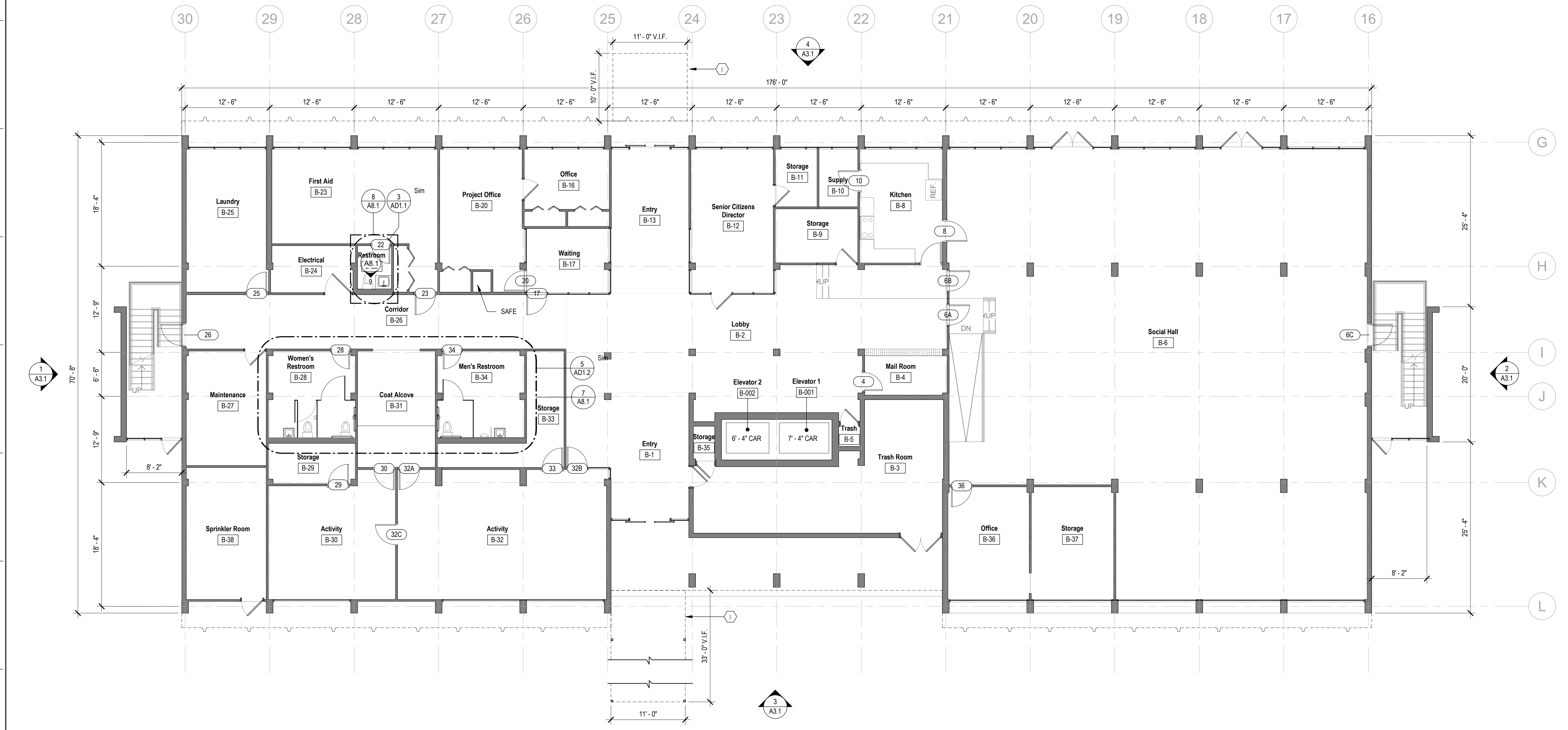
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- ① INSTALL NEW CANOPY. SEE CANOPY DETAILS ON SHEET A3.2.
- ② ALL EXISTING TRASH CHUTES TO BE REPLACED ON EVERY LEVEL. SEE S/46.1

4 1st Floor Building A
1/8" = 1'-0"

2 General Notes
NTS

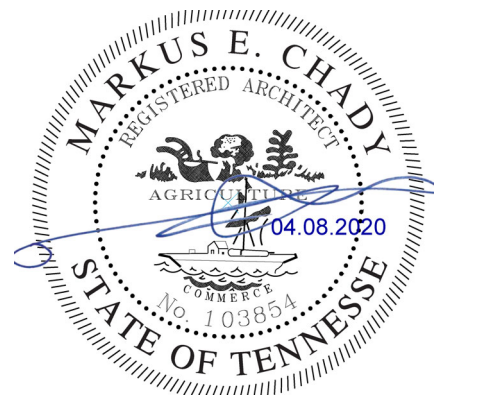


3 1st Floor Building B
1/8" = 1'-0"

1 Key Plan
1" = 50'-0"

KCDC - Cagle Terrace

515 Renford Rd
Knoxville, TN 37919



Project Phase: Construction Documents

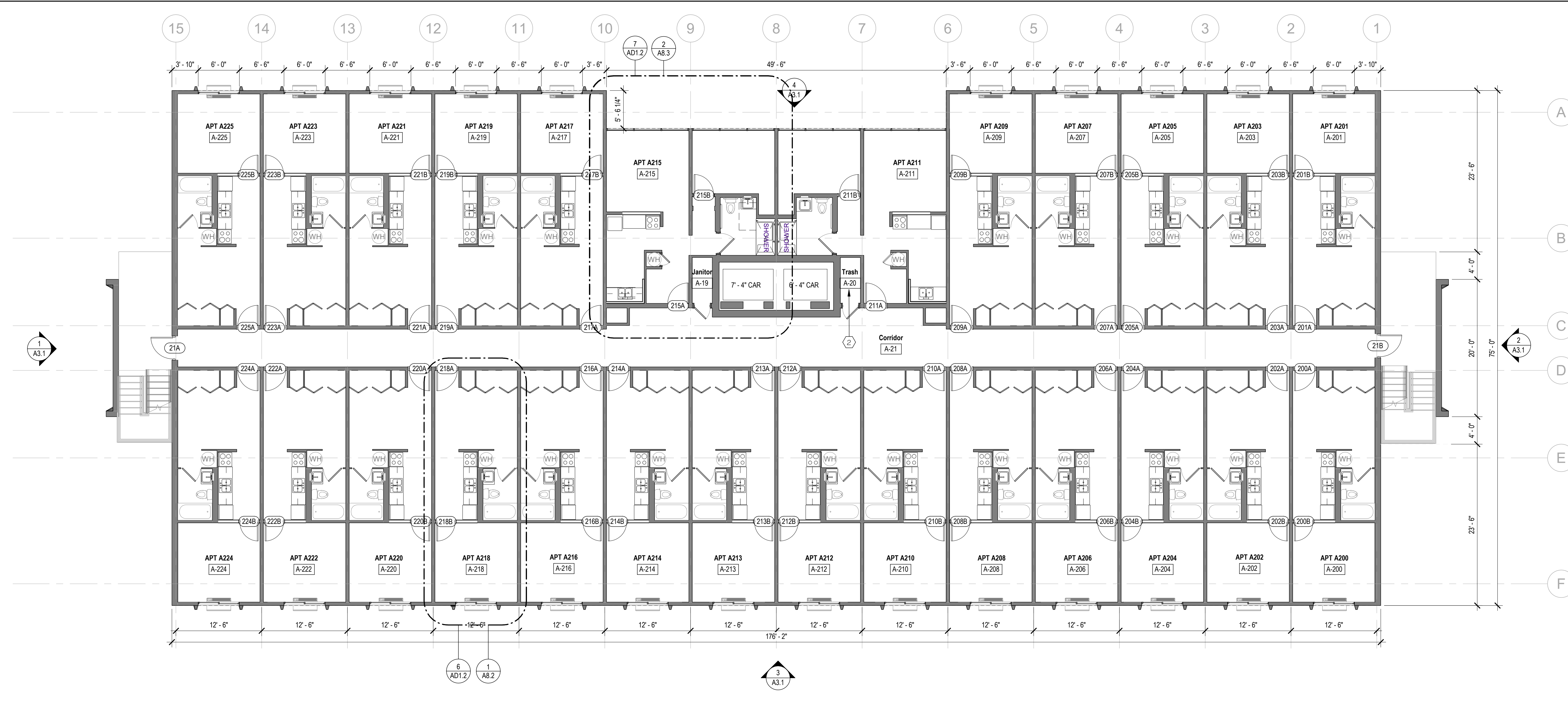
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No.	Description	Date

Job Number: 19136.00
1st Floor Plans

A1.1

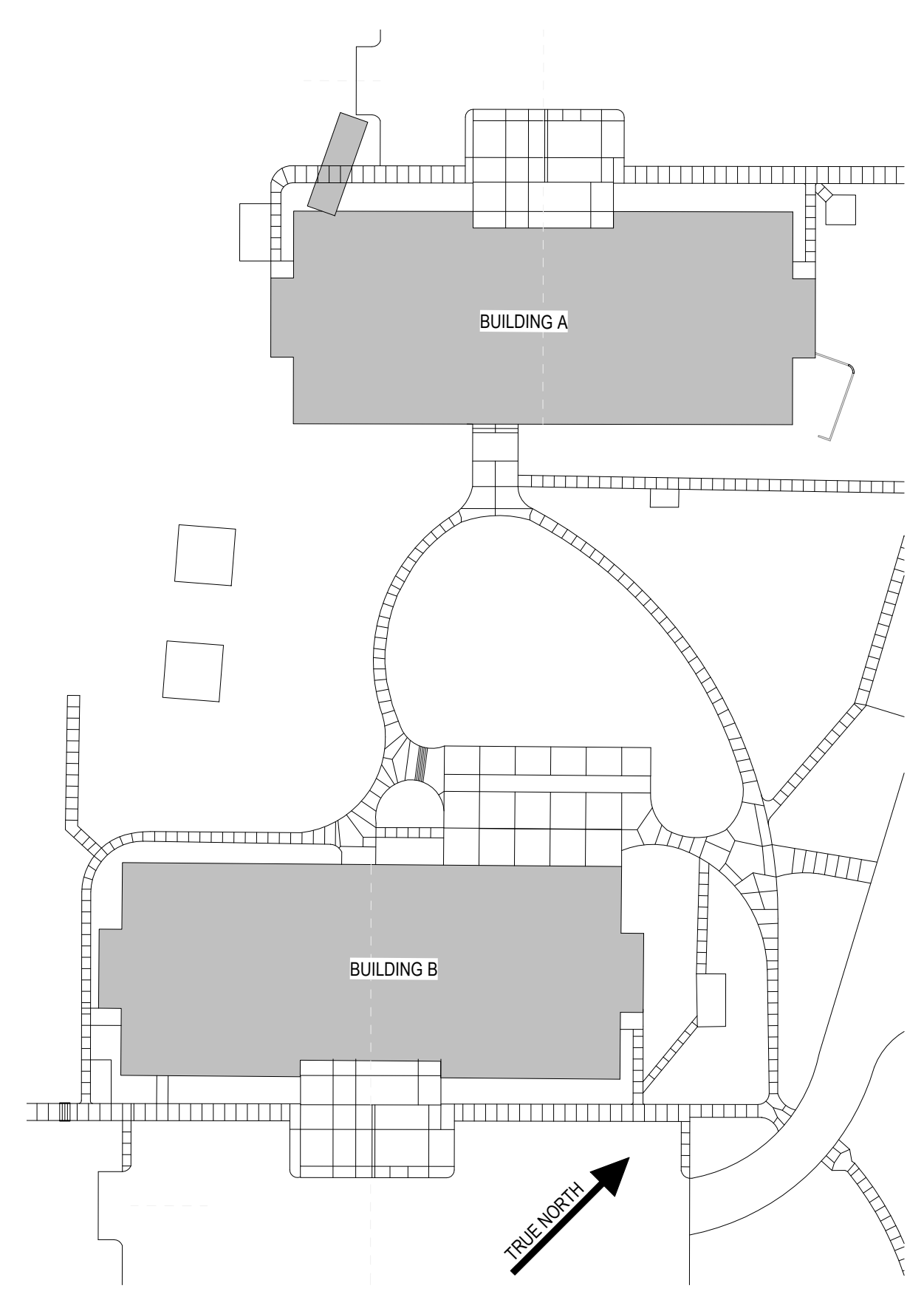
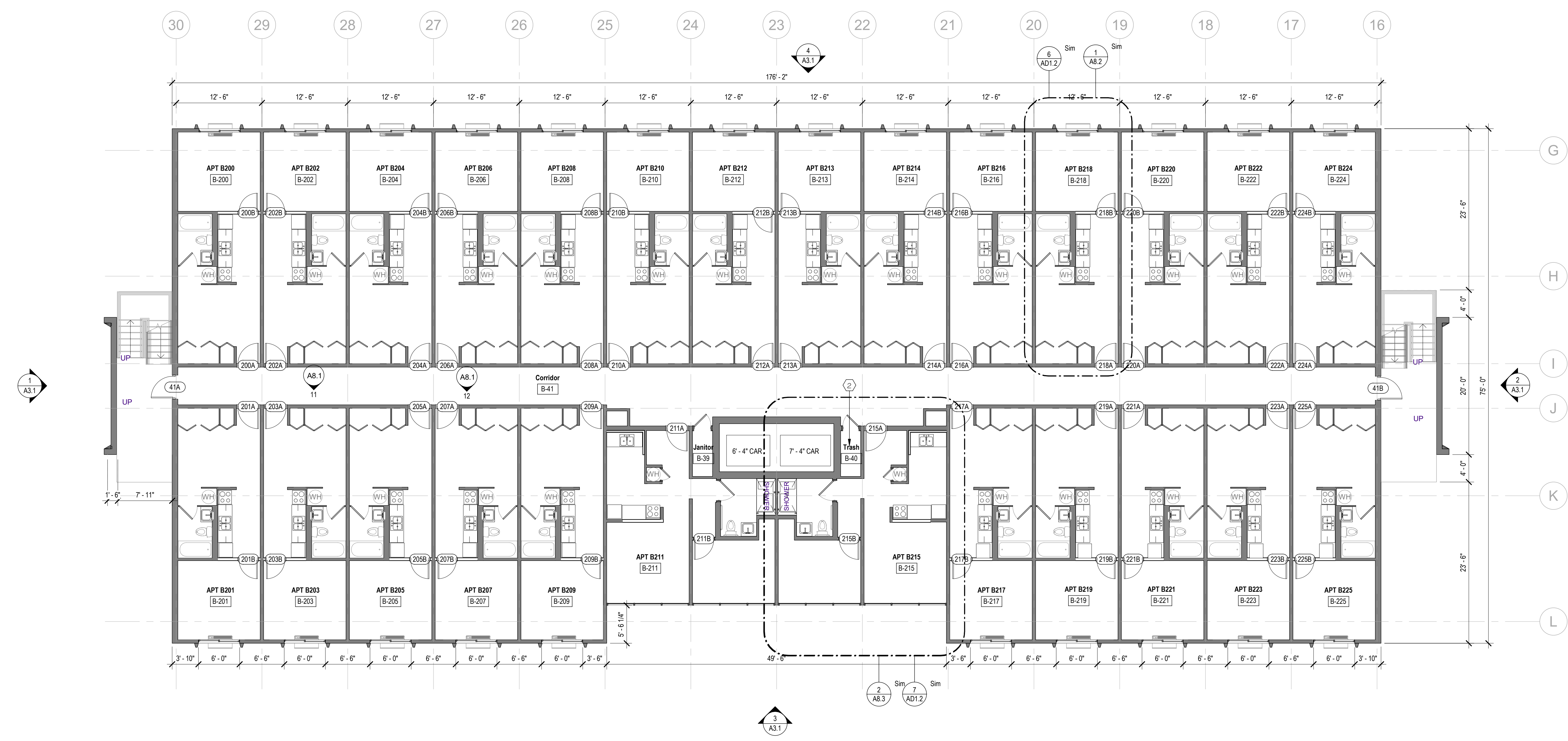
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- ① INSTALL NEW CANOPY. SEE CANOPY DETAILS ON SHEET A3.2.
- ② ALL EXISTING TRASH CHUTES TO BE REPLACED ON EVERY LEVEL. SEE SIA6.1

4 2nd Floor Building A
1/8" = 1'-0"

2 General Notes
N/S



3 2nd Floor Building B
1/8" = 1'-0"

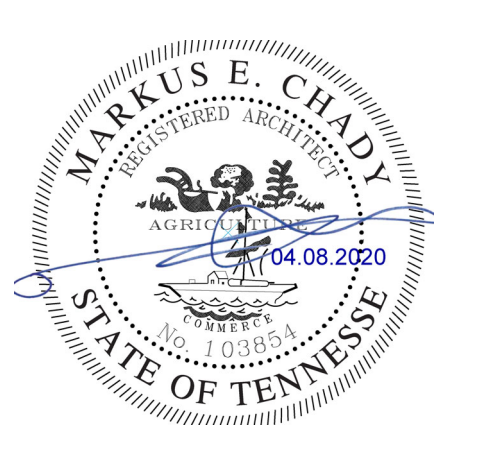
1 Key Plan
1" = 50'-0"

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KCDC - Cagle Terrace

515 Renford Rd
Knoxville, TN 37919



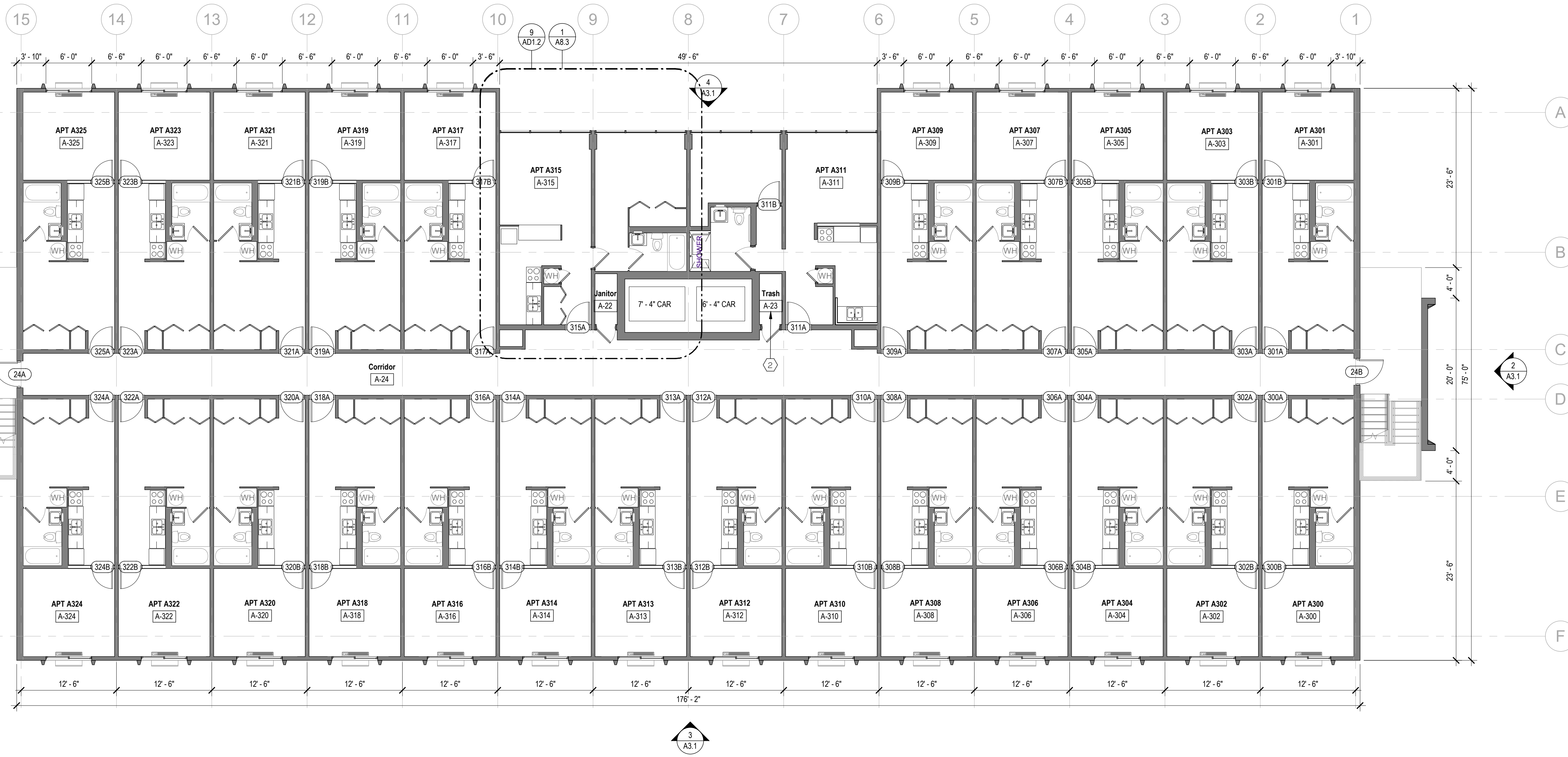
Project Phase: Construction Documents

Issue Date: 04.08.2020

Revisions	No.	Description	Date

Job Number: 19136.00
2nd Floor Plans

A1.2



- ① INSTALL NEW CANOPY. SEE CANOPY DETAILS ON SHEET A3.2.
- ② ALL EXISTING TRASH CHUTES TO BE REPLACED ON EVERY LEVEL. SEE S/A6.1

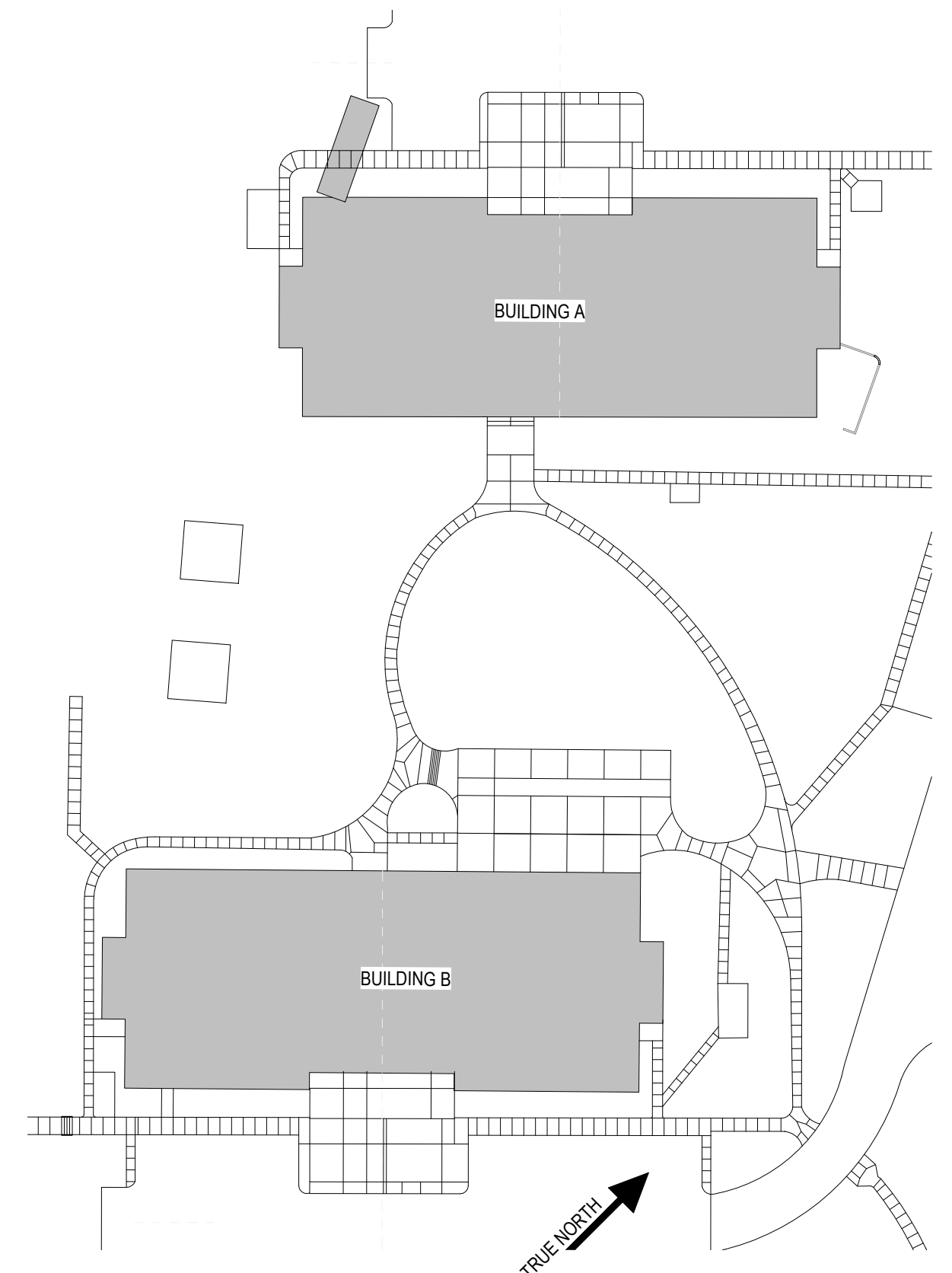
4 3rd Floor Building A
1/8" = 1'-0"

2 General Notes
N/S



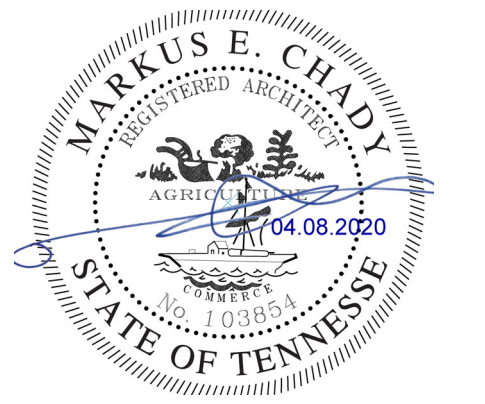
3 3rd Floor Building B
1/8" = 1'-0"

1 Key Plan
1" = 50'-0"



KCDC - Cagle Terrace

515 Renford Rd
Knoxville, TN 37919



Project Phase: Construction Documents

Issue Date: 04.08.2020

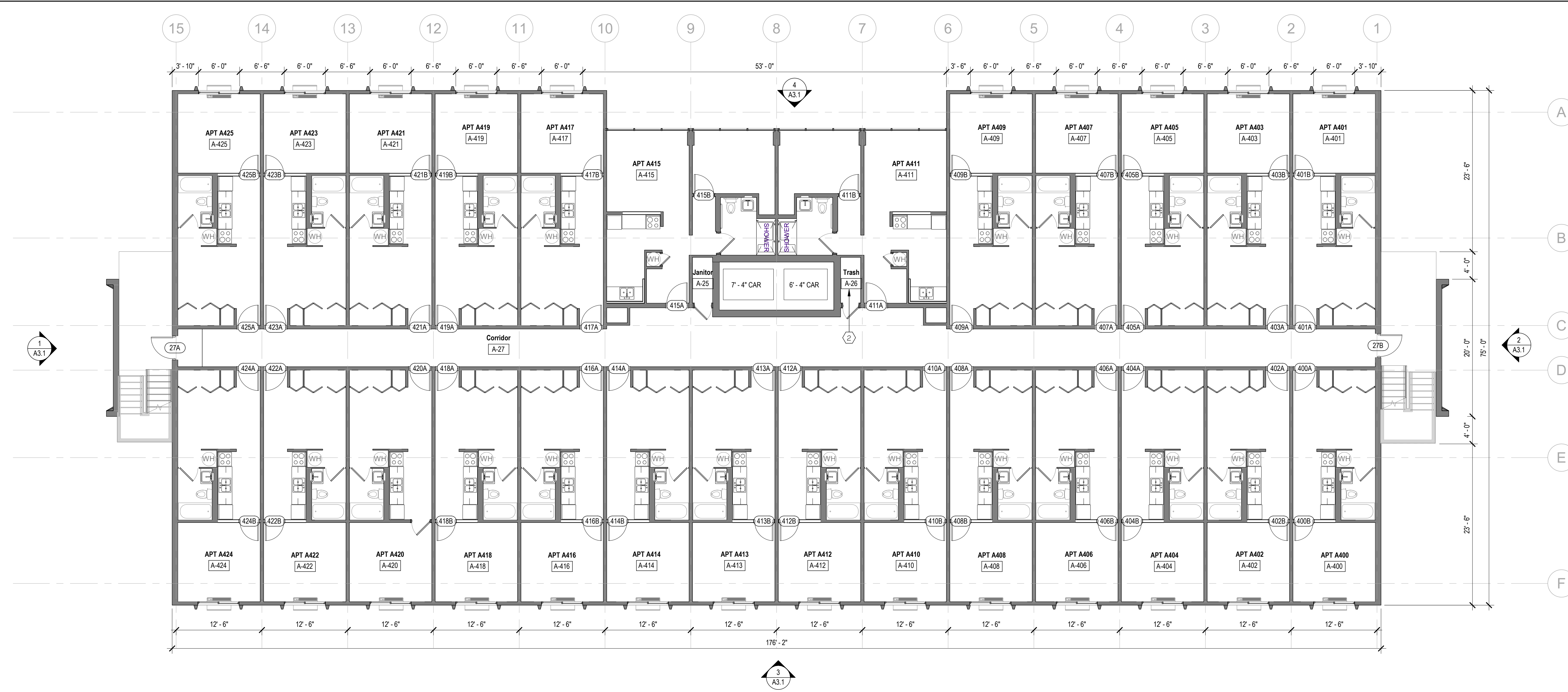
Revisions		
No.	Description	Date

Job Number: 19136.00
3rd Floor Plans

A1.3

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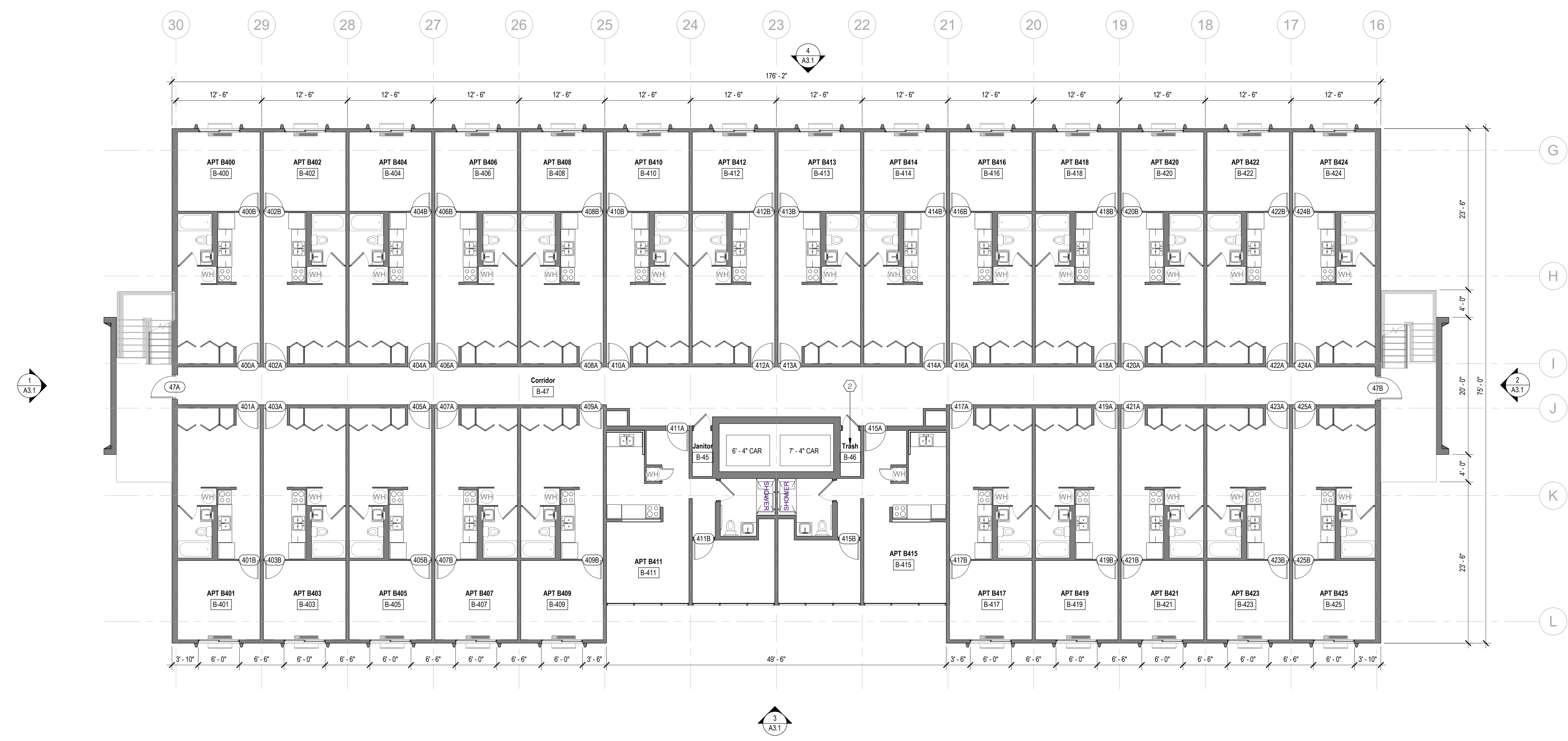
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- ① INSTALL NEW CANOPY. SEE CANOPY DETAILS ON SHEET A3.2.
- ② ALL EXISTING TRASH CHUTES TO BE REPLACED ON EVERY LEVEL. SEE 5/A6.1

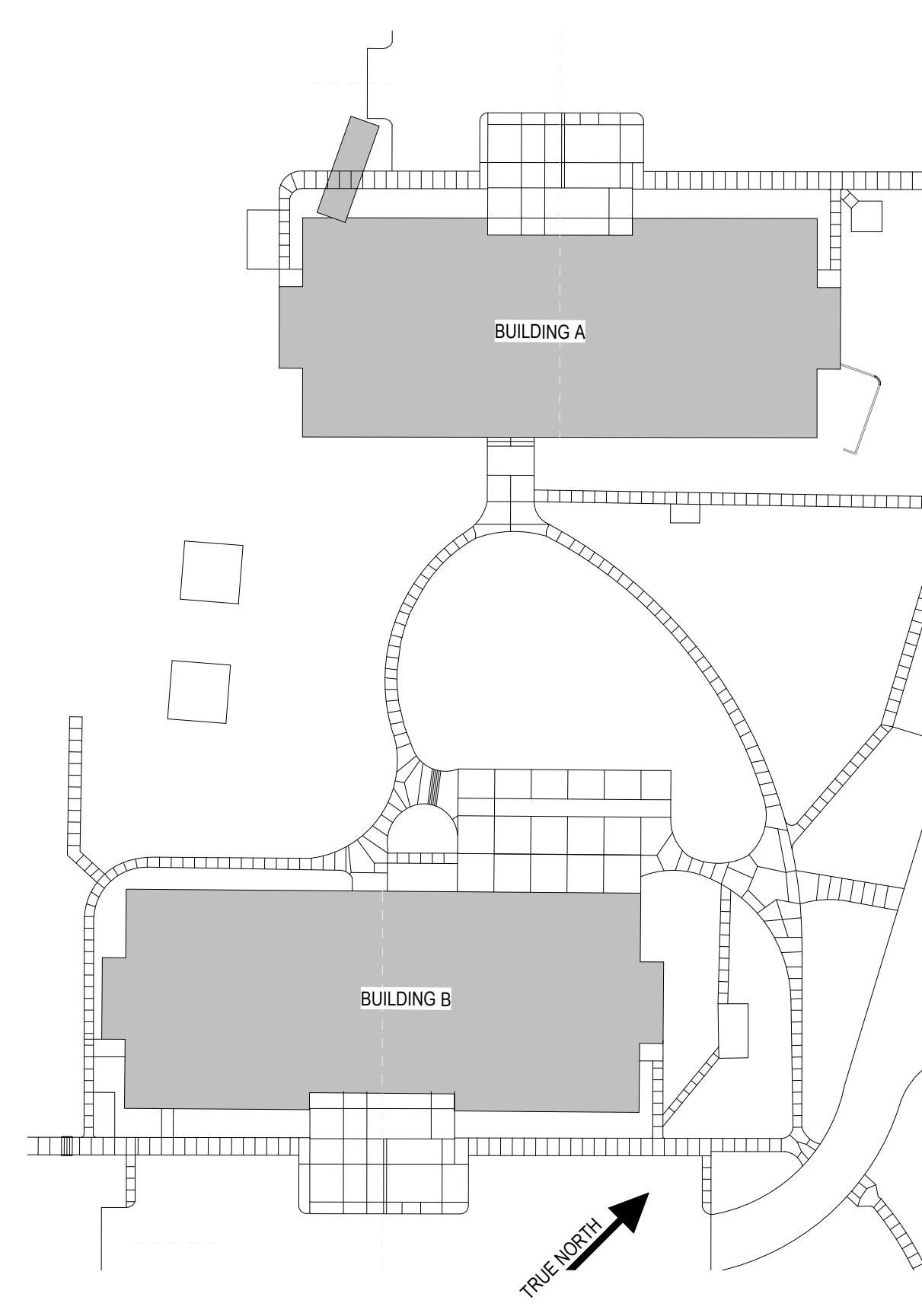
4 4th Floor Building A
1/8" = 1'-0"

2 General Notes
N.T.S.



3 4th Floor Building B
1/8" = 1'-0"

1 Key Plan
1" = 50'-0"



KCDC - Cagle Terrace

515 Renford Rd
Knoxville, TN 37919



Project Phase: Construction Documents

Issue Date: 04.08.2020

Revisions

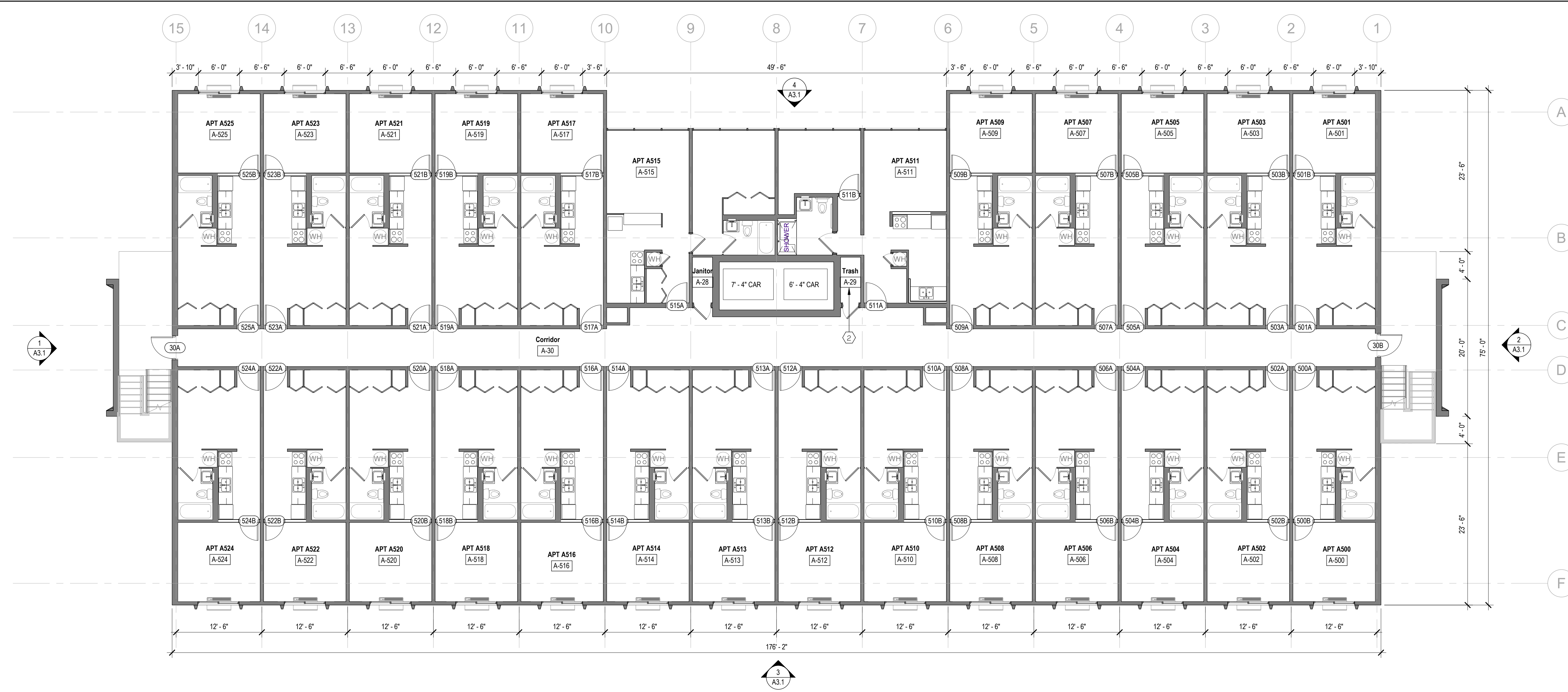
No.	Description	Date

Job Number: 19136.00

4th Floor Plans

A1.4

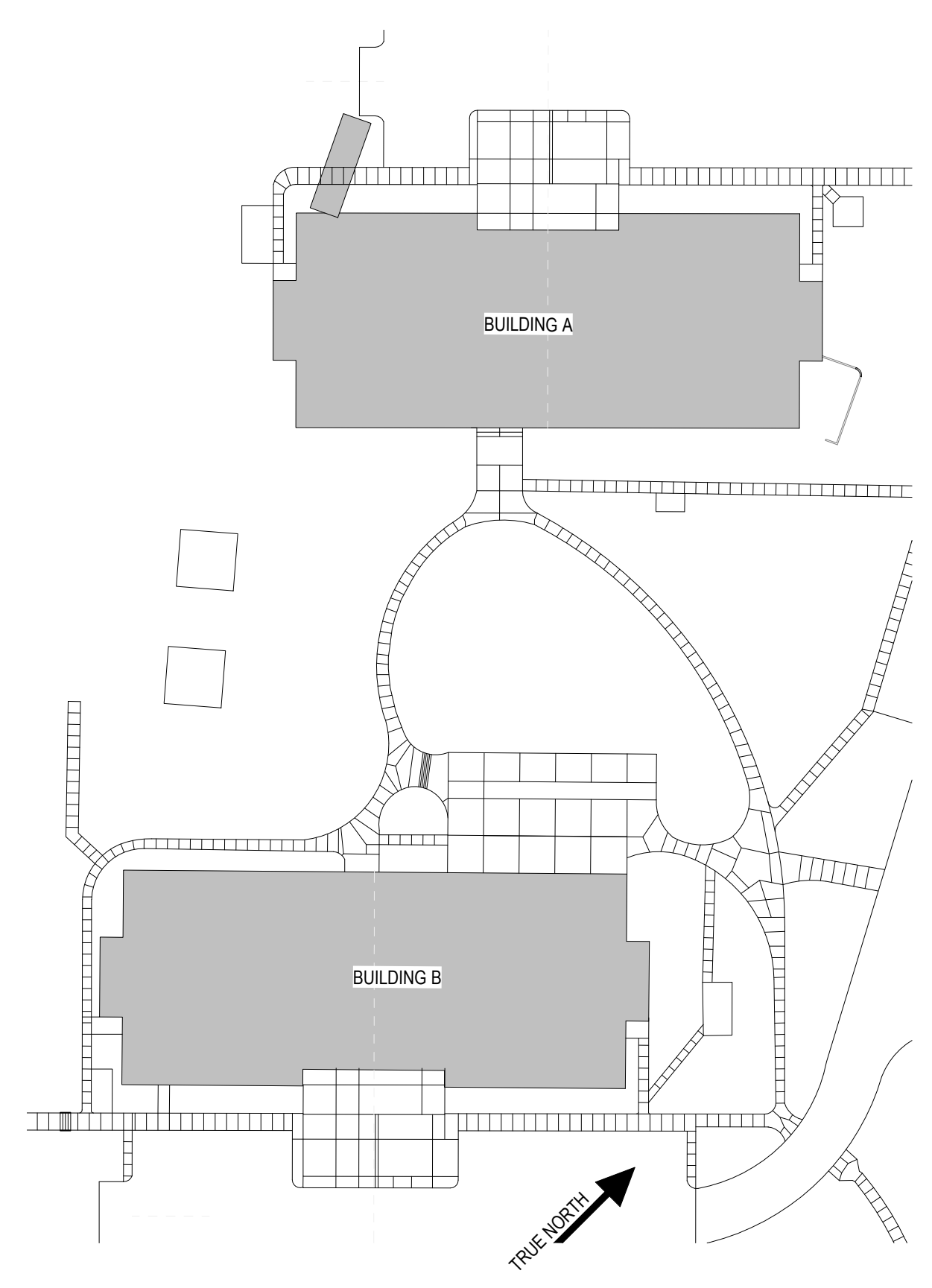
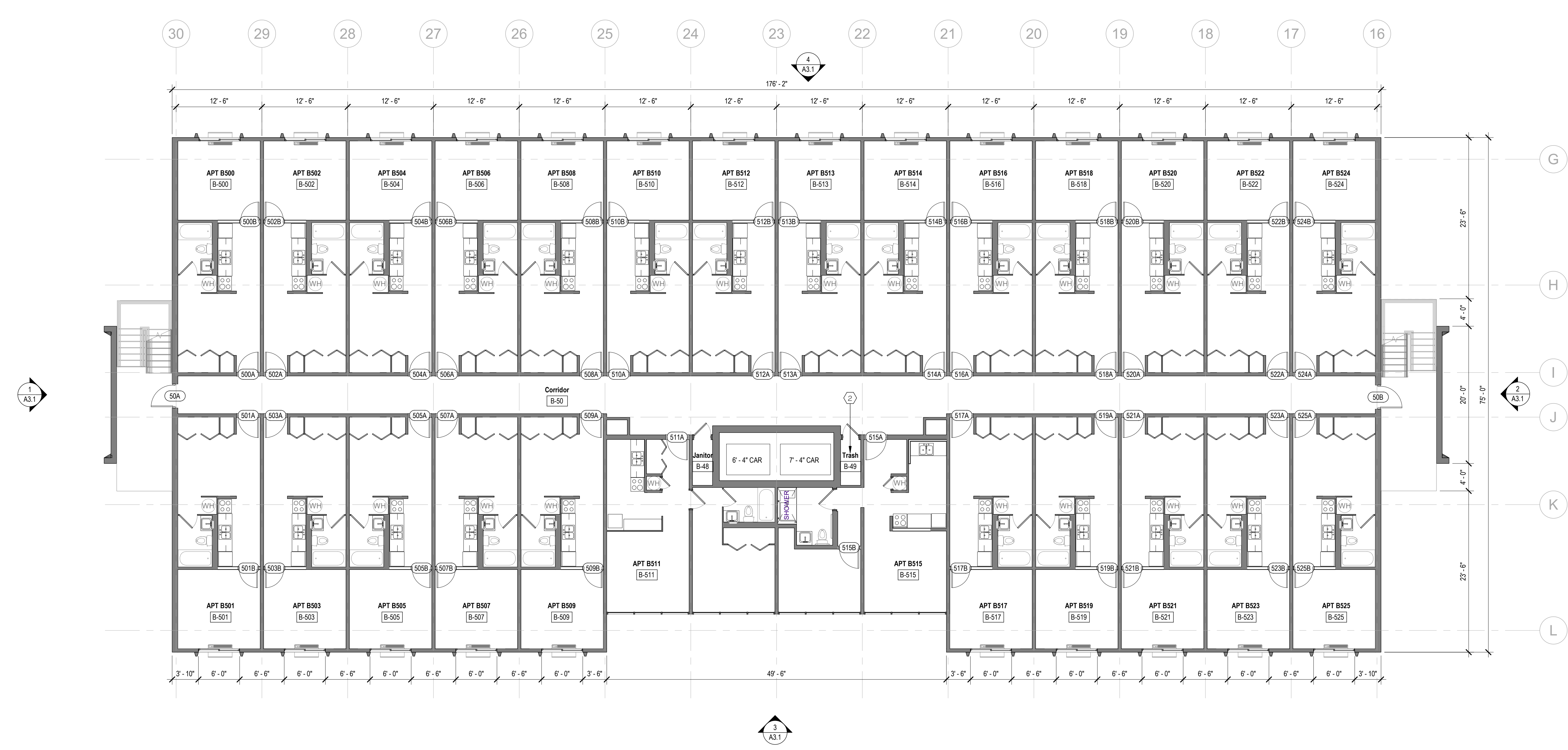
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- ① INSTALL NEW CANOPY. SEE CANOPY DETAILS ON SHEET A3.2.
- ② ALL EXISTING TRASH CHUTES TO BE REPLACED ON EVERY LEVEL. SEE SIA.61

4 5th Floor Building A
1/8" = 1'-0"

2 General Notes
N.T.S.



3 5th Floor Building B
1/8" = 1'-0"

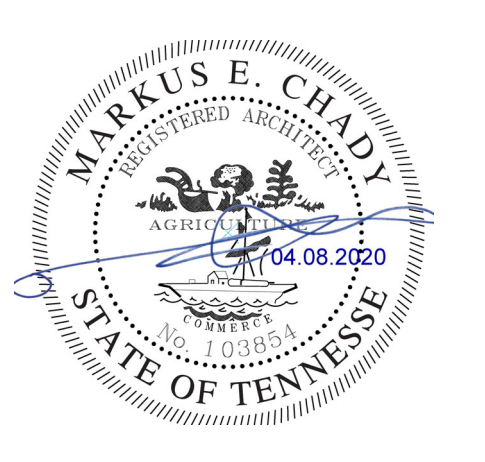
1 Key Plan
1" = 30'-0"

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 File: C:\Revit Local Files\19136_00_KCDC Cagle Terrace_Central.ground.rvt

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KCDC - Cagle Terrace

515 Renford Rd
Knoxville, TN 37919



Project Phase: Construction Documents

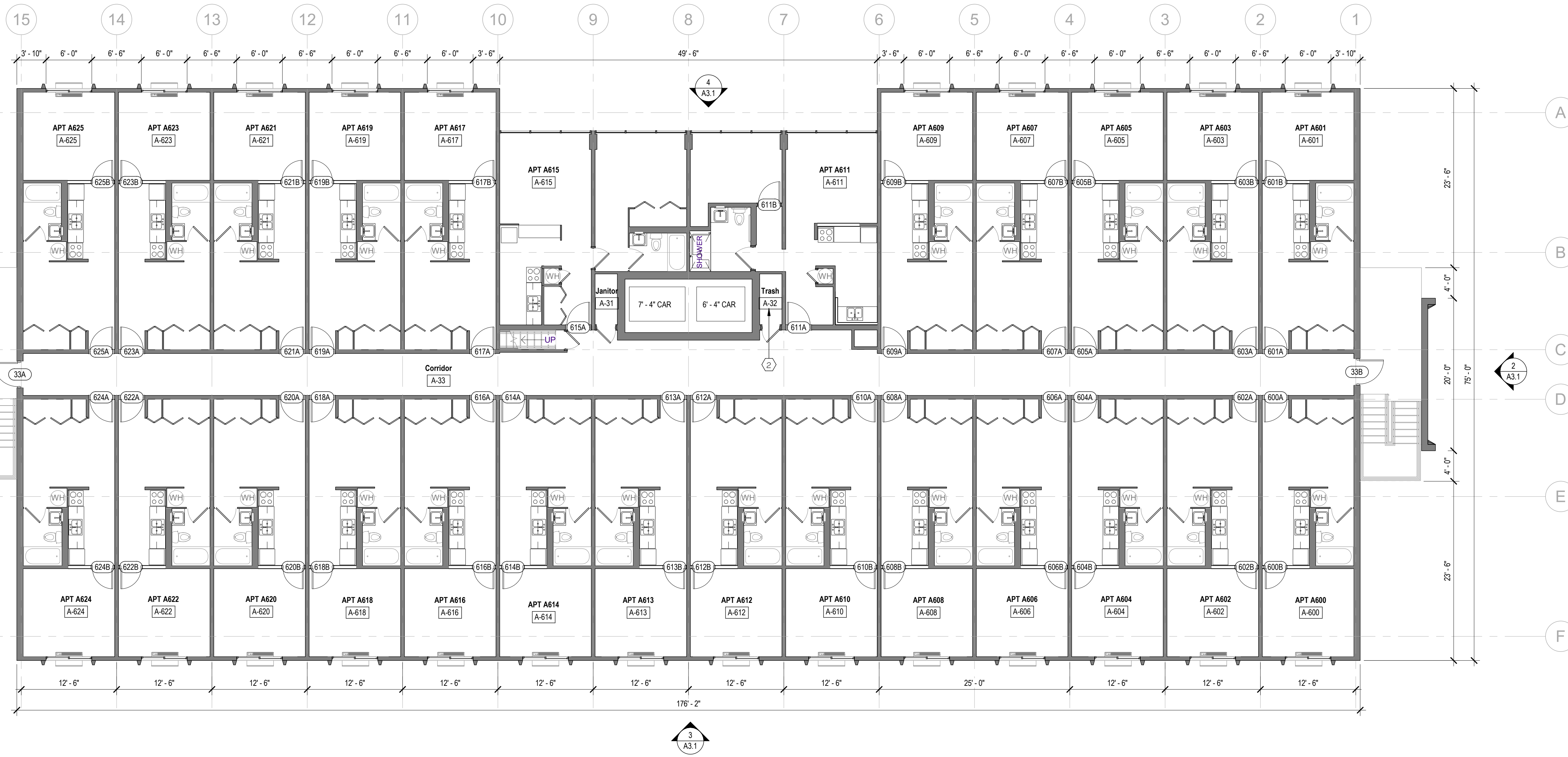
Issue Date: 04.08.2020

Revisions

No.	Description	Date

Job Number: 19136.00
5th Floor Plans

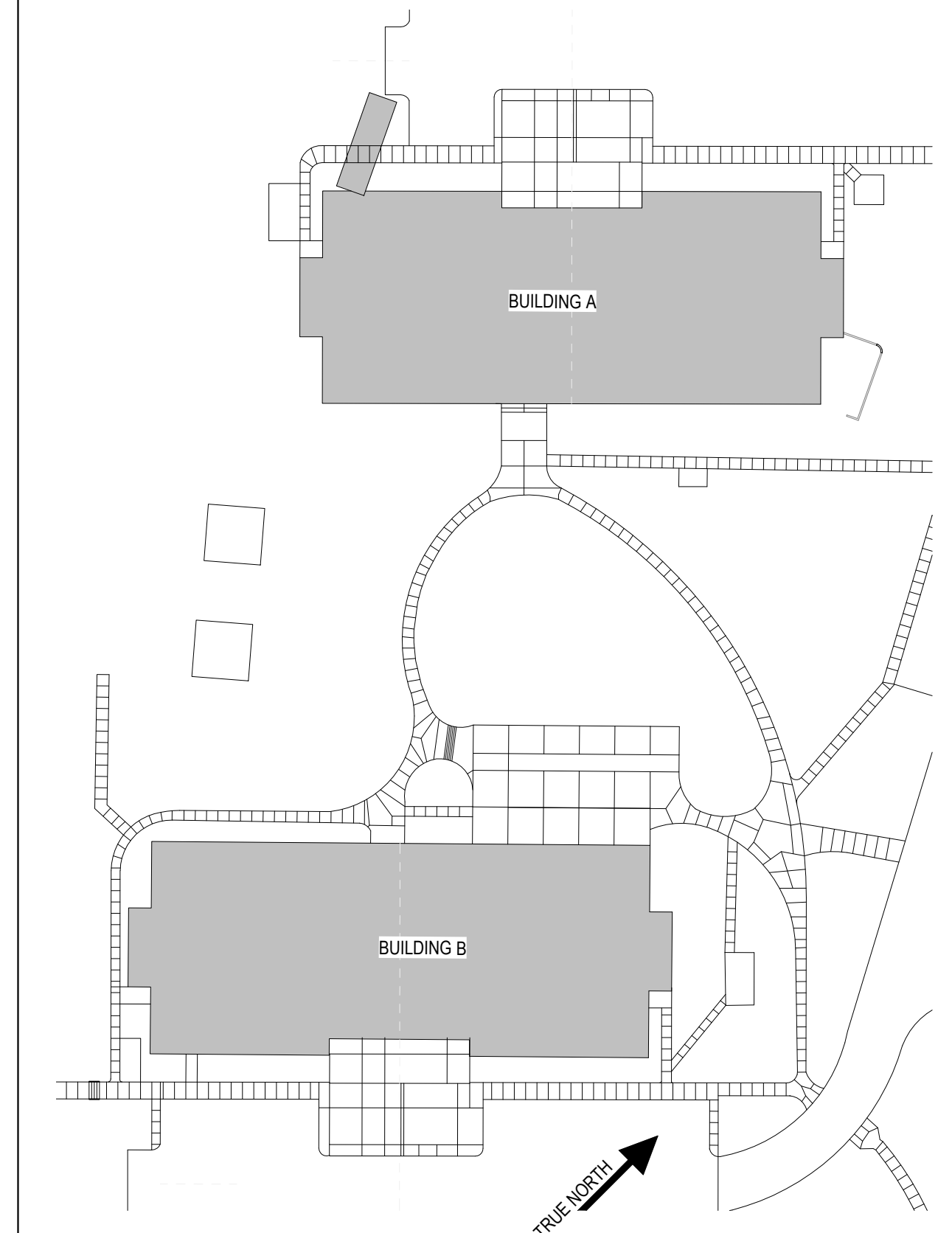
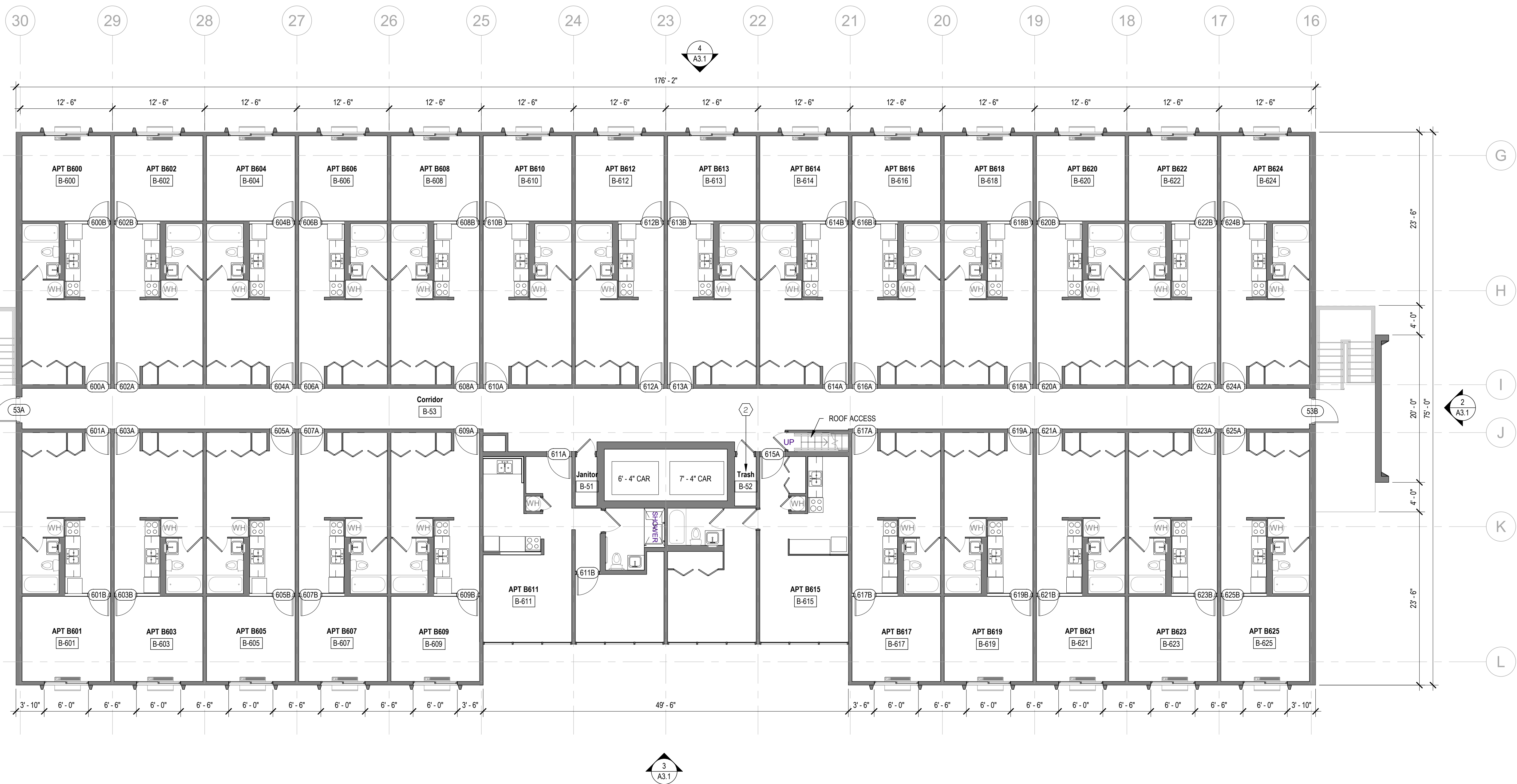
A1.5



- ① INSTALL NEW CANOPY. SEE CANOPY DETAILS ON SHEET A3.2.
- ② ALL EXISTING TRASH CHUTES TO BE REPLACED ON EVERY LEVEL. SEE 516.1

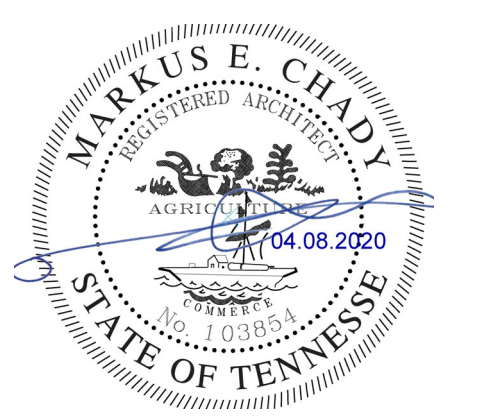
4 6th Floor Building A
1/8" = 1'-0"

2 General Notes
NTS



KCDC - Cagle Terrace

515 Renford Rd
Knoxville, TN 37919



Project Phase: Construction Documents

Issue Date: 04.08.2020

Revisions		
No.	Description	Date

Job Number: 19136.00
6th Floor Plans

A1.6

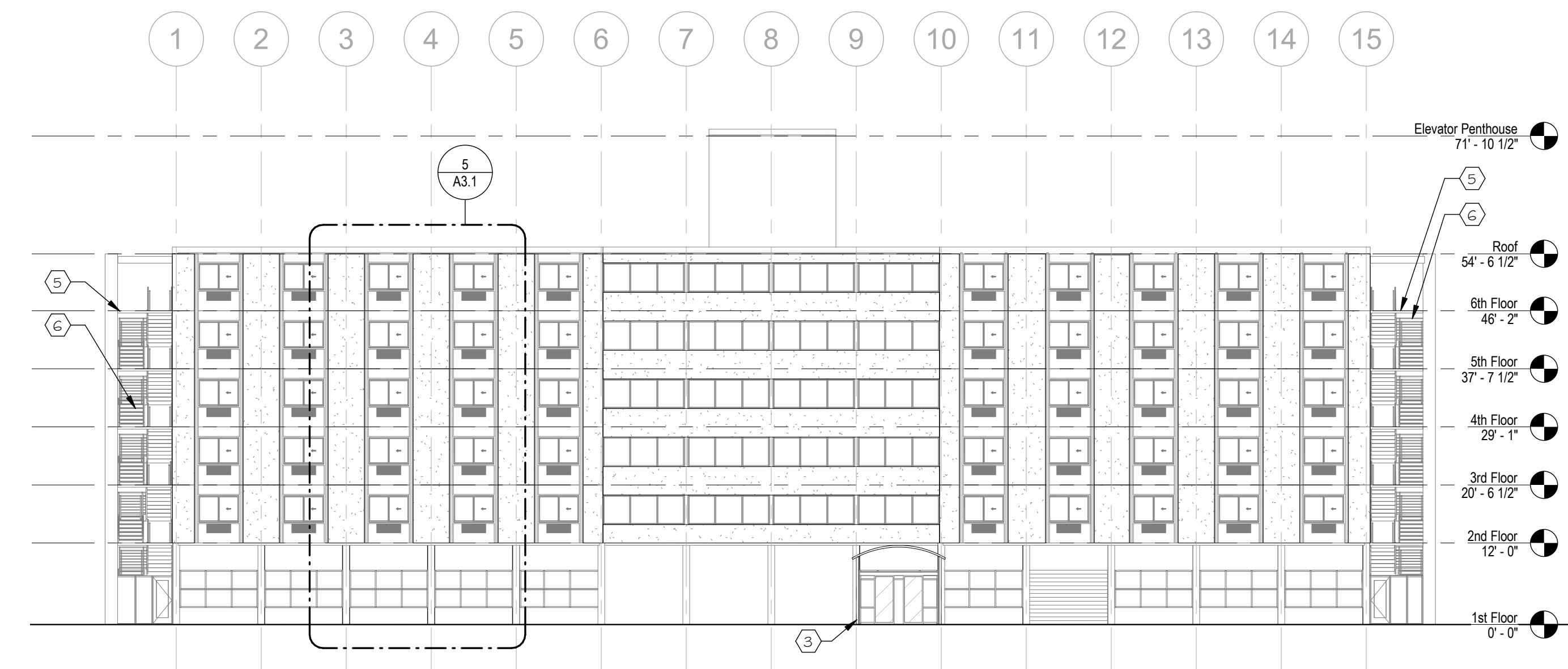
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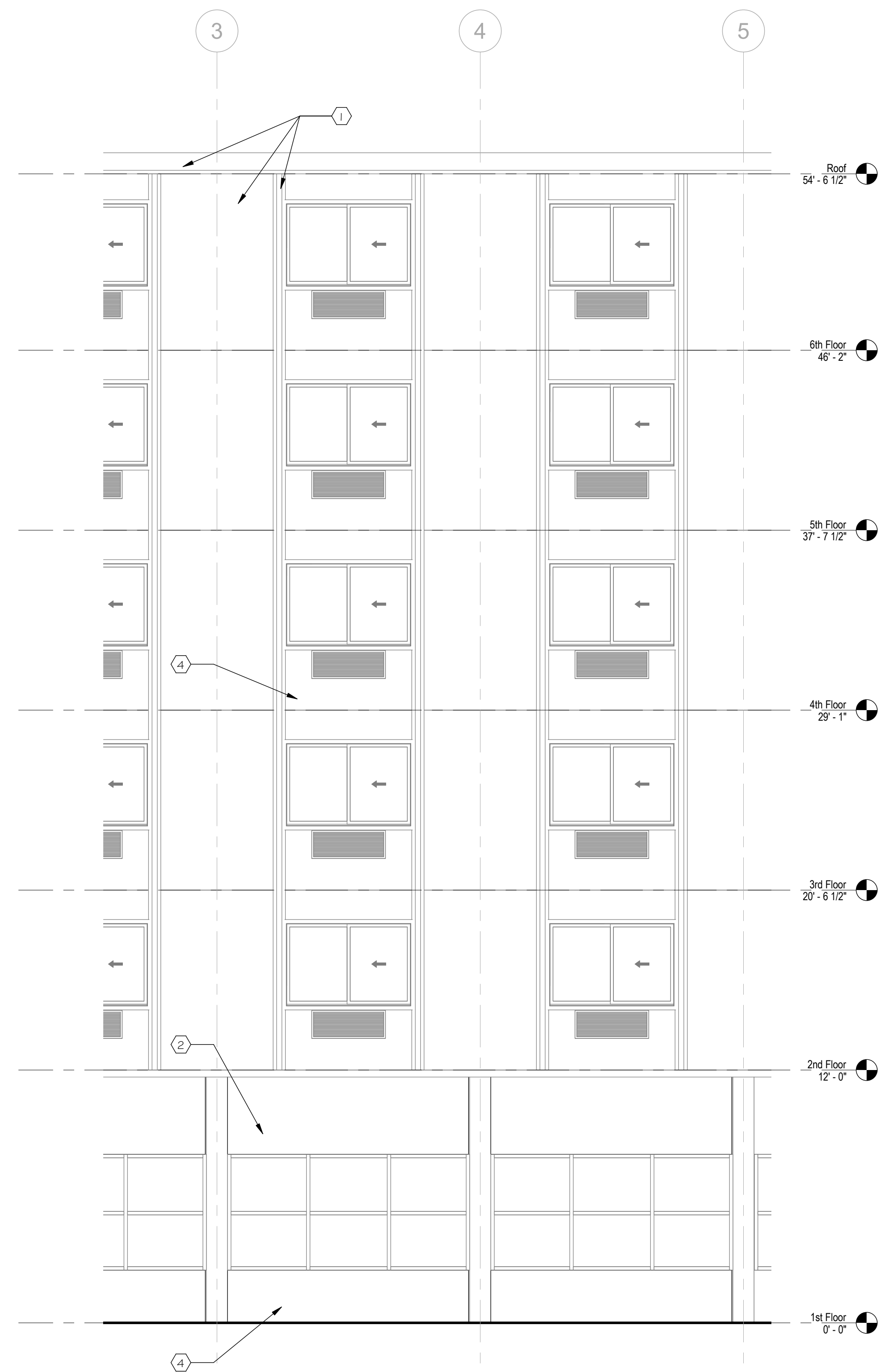
3 6th Floor Building B
1/8" = 1'-0"

1 Key Plan
1" = 50'-0"

- ① POWERWASH ALL EXISTING CONCRETE PANELING ON EXTERIOR ELEVATION. TYPICAL OF ALL CONCRETE PANELS AND COPING STRIPS.
- ② POWERWASH AND PREPARE CONCRETE SURFACE TO BE PRIMED AND PAINTED ON FIRST LEVEL. COLOR SELECTED BY ARCHITECT. TYPICAL OF ALL CONCRETE SURFACE BELOW SECOND LEVEL.
- ③ REPLACE EXISTING FABRIC CANOPY, IN KIND, WITH NEW METAL CANOPY. SEE SPECS. CANOPIES INCLUDE (2) AT THE MAIN ENTRIES OF BUILDING 'A' AND BUILDING 'B', APPROXIMATELY 33 ft LONG x 11 ft WIDE, V.I.F., AND (2) AT THE REAR ENTRIES OF BUILDING 'A' AND BUILDING 'B', APPROXIMATELY 10 ft LONG x 11 ft WIDE, V.I.F., FOR A TOTAL OF (4) NEW METAL CANOPIES.
- ④ POWERWASH AND PREPARE PORCELAIN SURFACE TO BE PRIMED AND PAINTED. COLOR TO BE SELECTED BY ARCHITECT. TYPICAL OF ALL PORCELAIN. PAINT ASSOCIATED DRIP EDGE TO MATCH.
- ⑤ POWERWASH AND PREPARE STAIR LANDING EDGES TO BE PRIMED AND PAINTED. COLOR SELECTED BY ARCHITECT. TYPICAL OF ALL STAIR LANDING EDGES.
- ⑥ REMOVE WOOD FROM RAILING AND REPAINT RAIL COMPLETE.

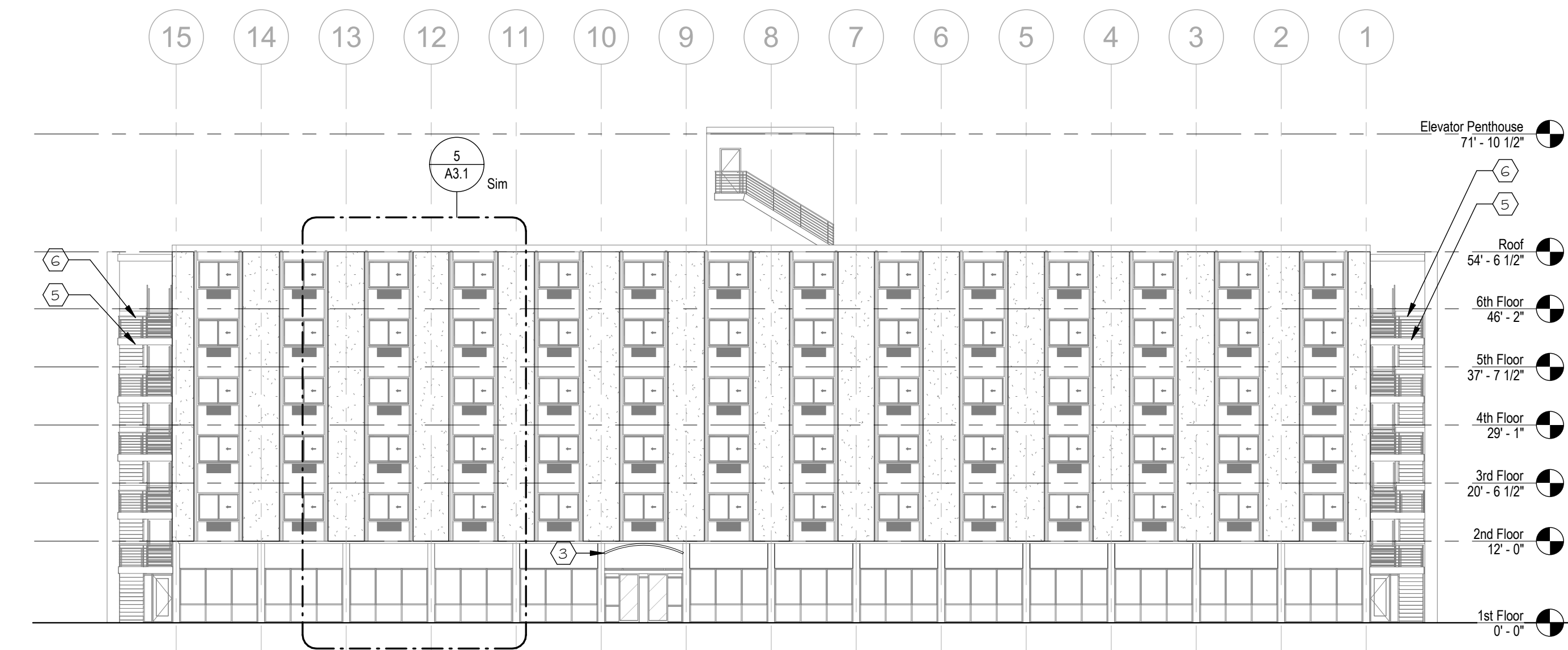


6 Elevation Notes
NTS

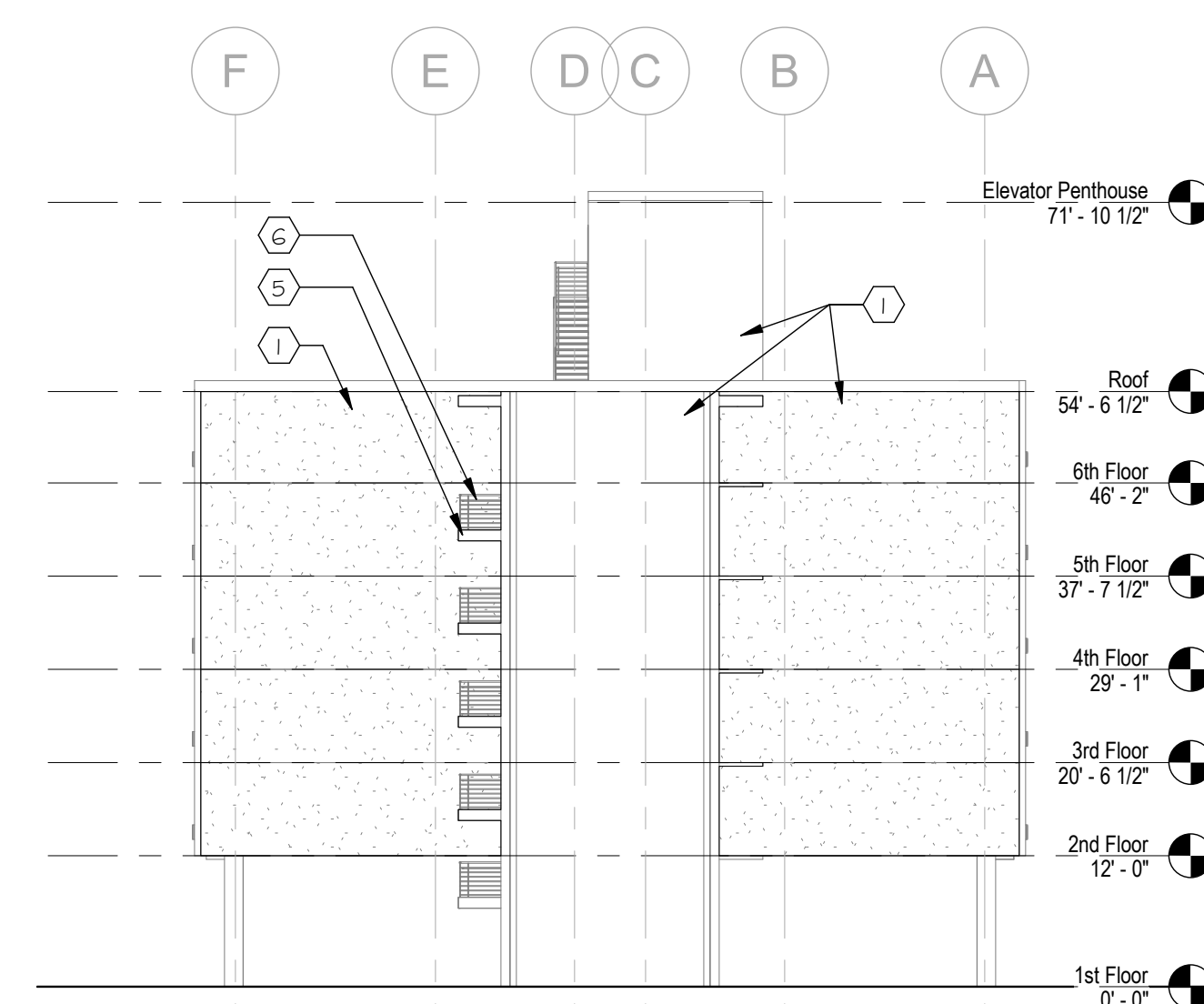


5 Enlarged Typical Building Elevation
1/4" = 1'-0"

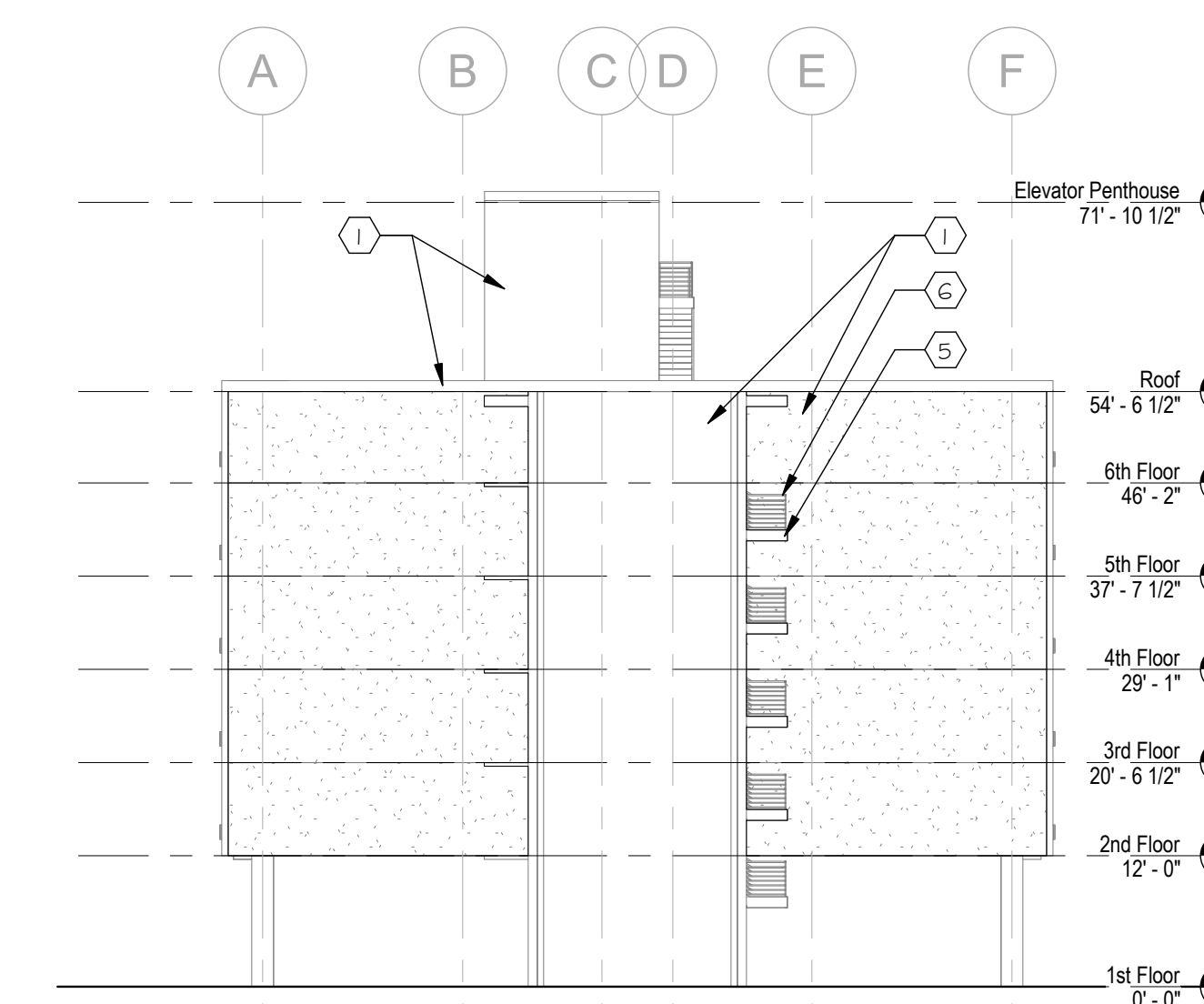
4 Typical North Elevation
1/16" = 1'-0"



3 Typical South Elevation
1/16" = 1'-0"



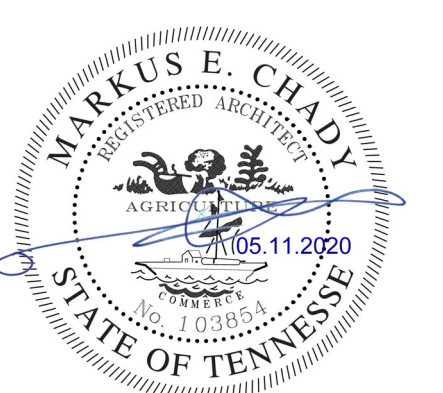
2 Typical East Elevation
1/16" = 1'-0"



1 Typical West Elevation
1/16" = 1'-0"

KCDC - Cagle Terrace

515 Renford Rd
Knoxville, TN 37919



Project Phase: Construction Documents

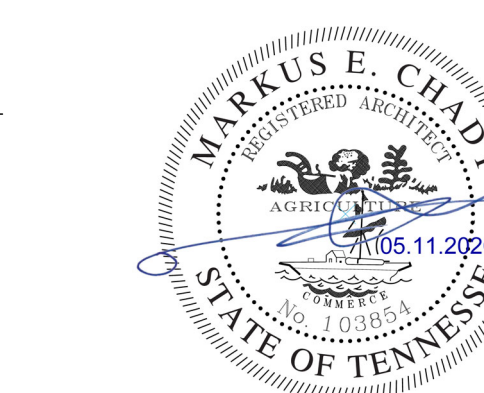
Revisions		
No.	Description	Date
1	City & Owner Comments	05.11.2020

Job Number: 19136.00
Typical Exterior Elevations

A3.1

Building A Finish Schedule									
ROOM NUMBER	ROOM NAME	FLOOR FINISH	BASE & TRIM FINISH		MILLWORK		CEILING FINISH	COMMENTS	
			WALL FINISH	HORIZONTAL	VERTICAL				
A-1	Entry	LVT 2	WD 1	PTD 1			ACT 1		
A-001	Elevator 1	LVT 2	---	WVC 1	---	---	ACT 1	WVC 1 TO EXTEND TO MEET CEILING GRID	
A-2	Lobby	LVT 2	WD 1	PTD 1	---	---	ACT 1		
A-002	Elevator 2	LVT 2	---	WVC 1	---	---	ACT 1	WVC 1 TO EXTEND TO MEET CEILING GRID	
A-3	Mail Room	LVT 1	WD 1	PTD 1	---	---	ACT 1	V.I.F. EXISTING CEILING TYPE	
A-4	Trash Room	LVT 1	WD 1	PTD 1	---	---	ACT 1	V.I.F. EXISTING CEILING TYPE	
A-5	Corridor	LVT 2	WD 1	PTD 1	---	---	ACT 1		
A-6	Corridor	LVT 2	WD 1	PTD 1	---	---	ACT 1		
A-7	Entry	LVT 2	WD 1	PTD 1	---	---	ACT 1		
A-8	Maintenance	ETR	ETR	ETR	---	---	ETR		
A-9	Storage	ETR	ETR	ETR	---	---	ETR		
A-10	Storage	ETR	ETR	ETR	---	---	ETR		
A-11	Electrical	LVT 1	WD 1	PTD 1	---	---	ETR		
A-12	Laundry	LVT 2	WD 1	PTD 1	---	---	ACT 1		
A-13	Office	ETR	ETR	ETR	---	---	ACT 1		
A-14	Trash	LVT 2	WD 1	PTD 1	---	---	PTD 2	V.I.F. EXISTING CEILING TYPE	
A-15	Storage	LVT 1	WD 1	PTD 1	---	---	PTD 2	V.I.F. EXISTING CEILING TYPE	
A-16	Office	LVT 1	WD 1	PTD 1	---	---	ACT 1		
A-17	Restroom	ETR	WD 1	PTD 1	ETR	ETR	PTD 2		
A-18	Storage	LVT 1	WD 1	PTD 1	---	---	ACT 1		
A-19	Janitor	LVT 2	WD 1	PTD 1	---	---	PTD 2	V.I.F. EXISTING CEILING TYPE	
A-20	Trash	LVT 2	WD 1	PTD 1	---	---	PTD 2	V.I.F. EXISTING CEILING TYPE	
A-21	Corridor	LVT 2	WD 1	PTD 1	---	---	ACT 1		
A-22	Janitor	LVT 2	WD 1	PTD 1	---	---	PTD 2	V.I.F. EXISTING CEILING TYPE	
A-23	Trash	LVT 2	WD 1	PTD 1	---	---	PTD 2	V.I.F. EXISTING CEILING TYPE	
A-24	Corridor	LVT 2	WD 1	PTD 1	---	---	ACT 1		
A-25	Janitor	LVT 2	WD 1	PTD 1	---	---	PTD 2	V.I.F. EXISTING CEILING TYPE	
A-26	Trash	LVT 2	WD 1	PTD 1	---	---	PTD 2	V.I.F. EXISTING CEILING TYPE	
A-27	Corridor	LVT 2	WD 1	PTD 1	---	---	PTD 2		
A-28	Janitor	LVT 2	WD 1	PTD 1	---	---	PTD 2	V.I.F. EXISTING CEILING TYPE	
A-29	Trash	LVT 2	WD 1	PTD 1	---	---	PTD 2	V.I.F. EXISTING CEILING TYPE	
A-30	Corridor	LVT 2	WD 1	PTD 1	---	---	ACT 1		
A-31	Janitor	LVT 2	WD 1	PTD 1	---	---	PTD 2	V.I.F. EXISTING CEILING TYPE	
A-32	Trash	LVT 2	WD 1	PTD 1	---	---	PTD 2	V.I.F. EXISTING CEILING TYPE	
A-33	Corridor	LVT 2	WD 1	PTD 1	---	---	ACT 1		
A-101	APT A101	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-102	APT A102	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-103	APT A103	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-104	APT A104	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-105	APT A105	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-106	APT A106	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-107	APT A107	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-108	APT A108	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-109	APT A109	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-111	APT A111	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-112	APT A112	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-113	APT A113	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-114	APT A114	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-200	APT A200	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-201	APT A201	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-202	APT A202	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-203	APT A203	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-204	APT A204	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-205	APT A205	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-206	APT A206	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-207	APT A207	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-208	APT A208	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
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A-210	APT A210	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-211	APT A211	LVT 2	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-212	APT A212	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-213	APT A213	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-214	APT A214	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-215	APT A215	LVT 2	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-216	APT A216	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-217	APT A217	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-218	APT A218	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-219	APT A219	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-220	APT A220	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
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A-222	APT A222	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-223	APT A223	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
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A-225	APT A225	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-300	APT A300	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-301	APT A301	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-302	APT A302	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-303	APT A303	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-304	APT A304	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-305	APT A305	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-306	APT A306	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-307	APT A307	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-308	APT A308	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-309	APT A309	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-310	APT A310	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-311	APT A311	LVT 2	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-312	APT A312	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-313	APT A313	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-314	APT A314	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		

Building A Finish Schedule									
ROOM NUMBER	ROOM NAME	FLOOR FINISH	BASE & TRIM FINISH		MILLWORK		CEILING FINISH	COMMENTS	
			WALL FINISH	HORIZONTAL	VERTICAL				
A-315	APT A315	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-316	APT A316	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-317	APT A317	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-318	APT A318	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-319	APT A319	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-320	APT A320	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-321	APT A321	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-322	APT A322	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-323	APT A323	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-324	APT A324	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-325	APT A325	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-400	APT A400	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-401	APT A401	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-402	APT A402	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-403	APT A403	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-404	APT A404	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-405	APT A405	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-406	APT A406	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-407	APT A407	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-408	APT A408	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-409	APT A409	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-410	APT A410	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-411	APT A411	LVT 2	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-412	APT A412	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-413	APT A413	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-414	APT A414	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-415	APT A415	LVT 2	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-416	APT A416	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
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A-418	APT A418	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-419	APT A419	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-420	APT A420	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-421	APT A421	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-422	APT A422	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-423	APT A423	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-424	APT A424	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-425	APT A425	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-500	APT A500	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-501	APT A501	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-502	APT A502	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-503	APT A503	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-504	APT A504	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-505	APT A505	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-506	APT A506	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-507	APT A507	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-508	APT A508	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-509	APT A509	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-510	APT A510	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-511	APT A511	LVT 2	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-512	APT A512	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-513	APT A513	LVT 1	WD 1	PTD 1	PLAM 1, SSM 1	STN WD	PTD 2		
A-514	APT								



Project Phase: Construction Documents

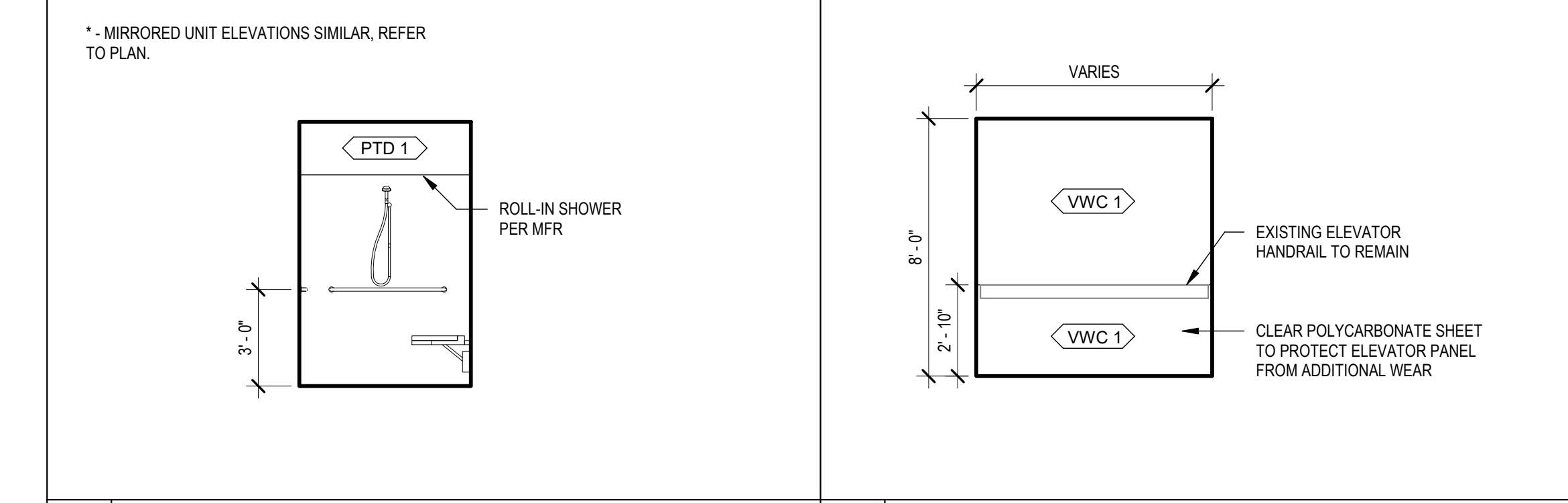
Issue Date: 04.08.2020

No.	Description	Date
1	City & Owner Comments	05.11.2020

Job Number: 19136.00

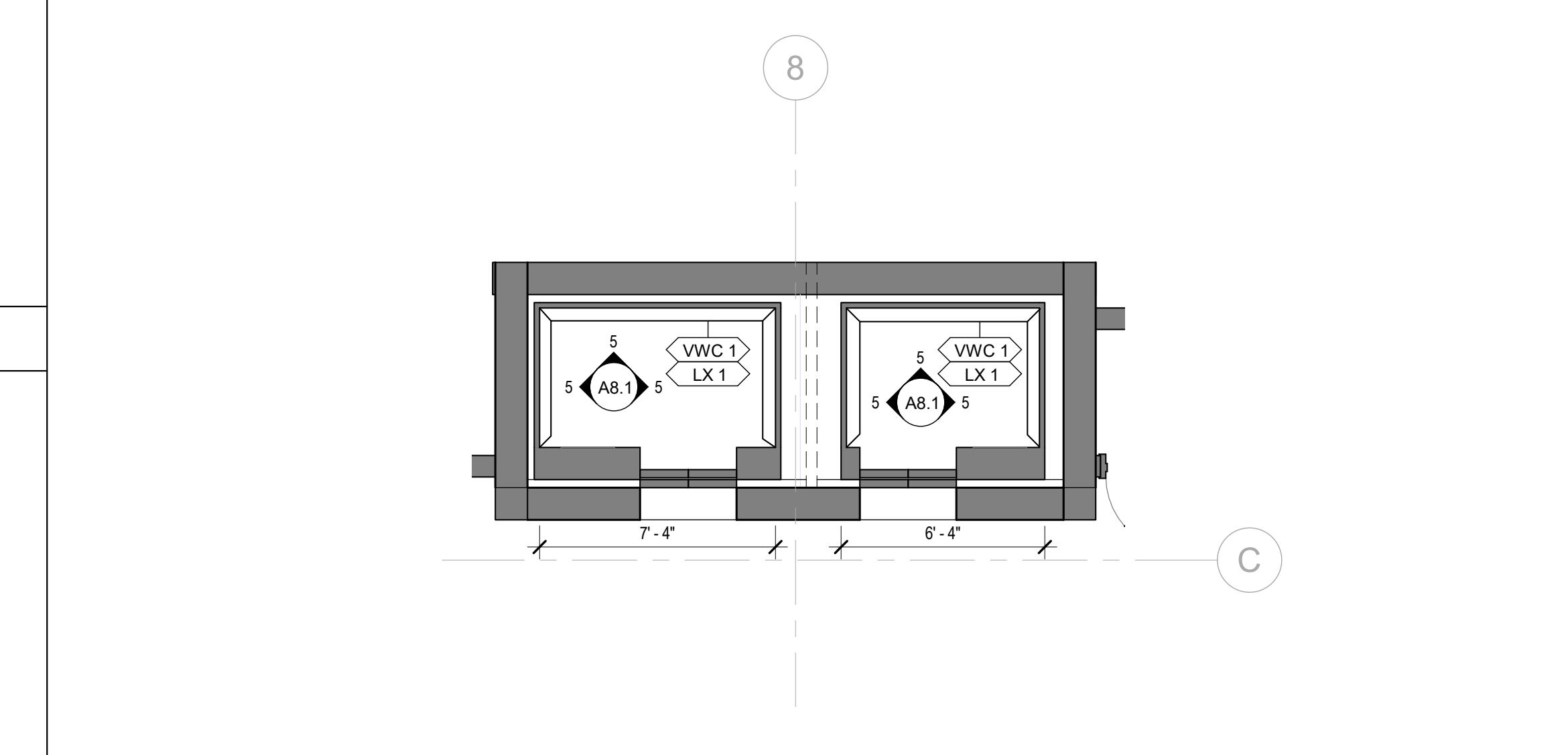
Enlarged Restroom Plans & Elevations

A8.1



1 Typical Roll-In Shower Elevation
1/4" = 1'-0"

5 Typical Elevator Elevation
1/4" = 1'-0"



4 Enlarged Elevator Plan
1/4" = 1'-0"

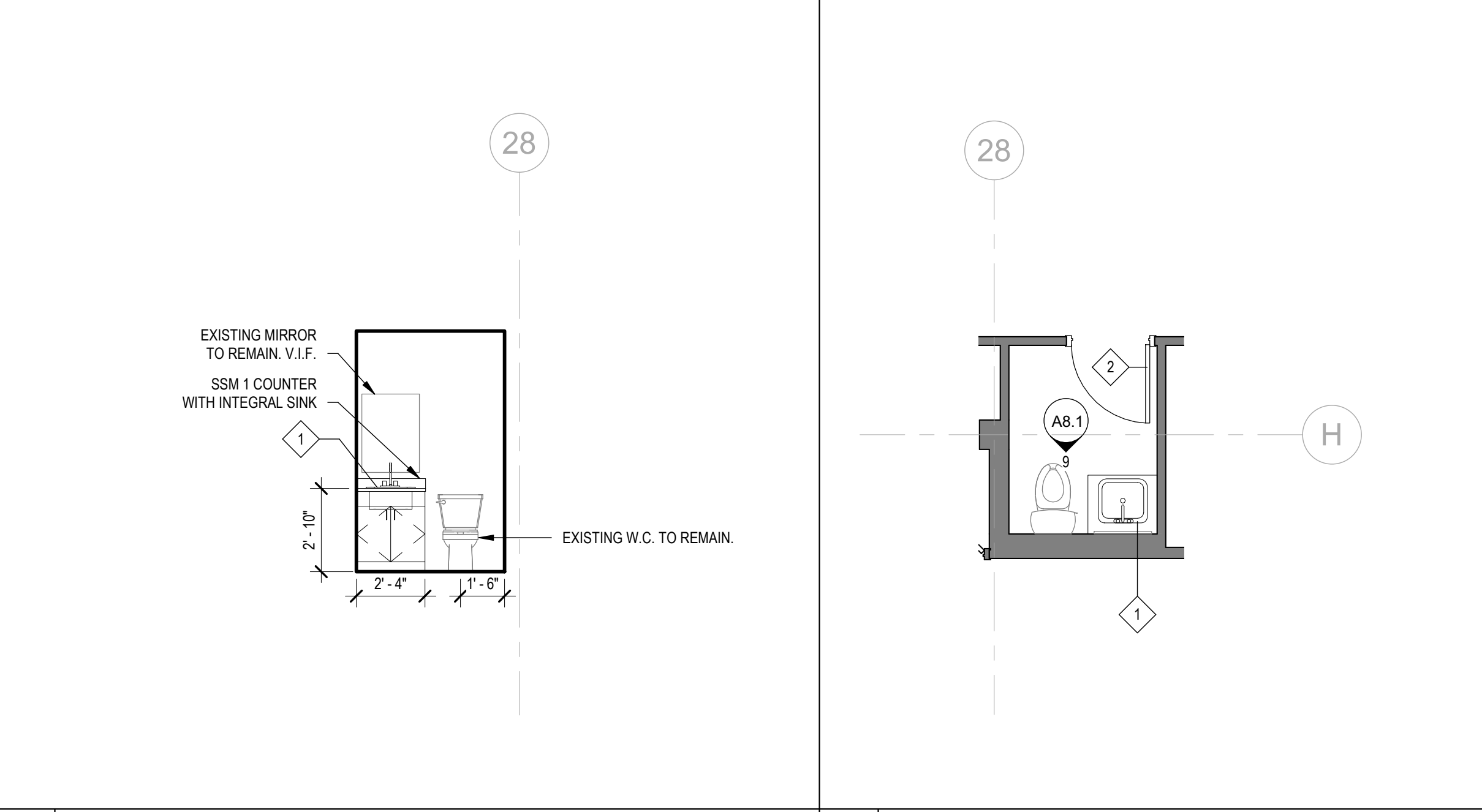
- 1 LAVATORY. SEE PLUMBING FIXTURE SCHEDULE. INSULATE ALL WATER PIPES AS REQ'D
- 2 DOOR. SEE A6.1 & A6.2 FOR HARDWARE
- 3 GRAB BAR. 1 1/2" DIA. REFER TO ELEVATIONS AND NOTES THIS SHEET FOR LENGTH. INSTALLATION MUST COMPLY WITH ALL STATE AND LOCAL CODES. SEE NOTE 6.
- 4 ROLL-TYPE TOILET PAPER DISPENSER. OUTLET AT 15" MIN. TOP AT 1 1/2" MIN TO GRAB BAR. SEE NOTE 6.
- 5 FEMININE HYGIENE PRODUCT DISPOSAL. MOUNT PER ACCESSIBILITY REQUIREMENTS
- 6 TOILET PARTITION. SEE FINISH INDEX
- 7 ROLL-IN SHOWER. SEE PLUMBING FIXTURE SCHEDULE
- 8 GENERAL CONTRACTOR TO PROVIDE AND INSTALL HANDICAP EQUIPMENT AS NEEDED TO COMPLY WITH GOVERNING CODES.
- 9 GENERAL CONTRACTOR TO PROVIDE SOLID IN-WALL FIRE-TREATED BLOCKING FOR ALL WALL-MOUNTED ITEMS.
- 10 SEE PLUMBING SHEETS FOR FIXTURES AND SPECIFICATIONS.
- 11 GRAB BAR FASTENERS AND MOUNTING SUPPORT SHALL BE ABLE TO WITHSTAND 250 LB. POINT LOAD BEARING SHEAR AND TORSION.
- 12 ALL TRENCHES TO BE BACKFILLED AND COMPACTED TO MINIMUM 95% WITH WATERPROOF MEMBRANE BELOW CONCRETE. DOWELS SHALL BE #4 BARS, EPOXY INTO EXISTING CONCRETE SLAB.
- 13 ALL RESTROOM ACCESSORIES (TOILET PAPER, PAPER TOWEL, AND SOAP DISPENSERS OR OTHER SIMILAR ITEMS) SHALL MATCH IN FINISH, AND BE SIMILAR TO LAVATORY HARDWARE WHERE POSSIBLE, TYP.
- 14 PER ANSI 117.1 SECTION 603.2.3, EXCEPTION 2 DOOR SWING MAY OVERLAP FLOOR SPACE.
- 15 ALL WALLS TO RECEIVE MOISTURE RESISTANT GYP BD.

3 Restroom Keynotes
NTS

2 Restroom General Notes
NTS

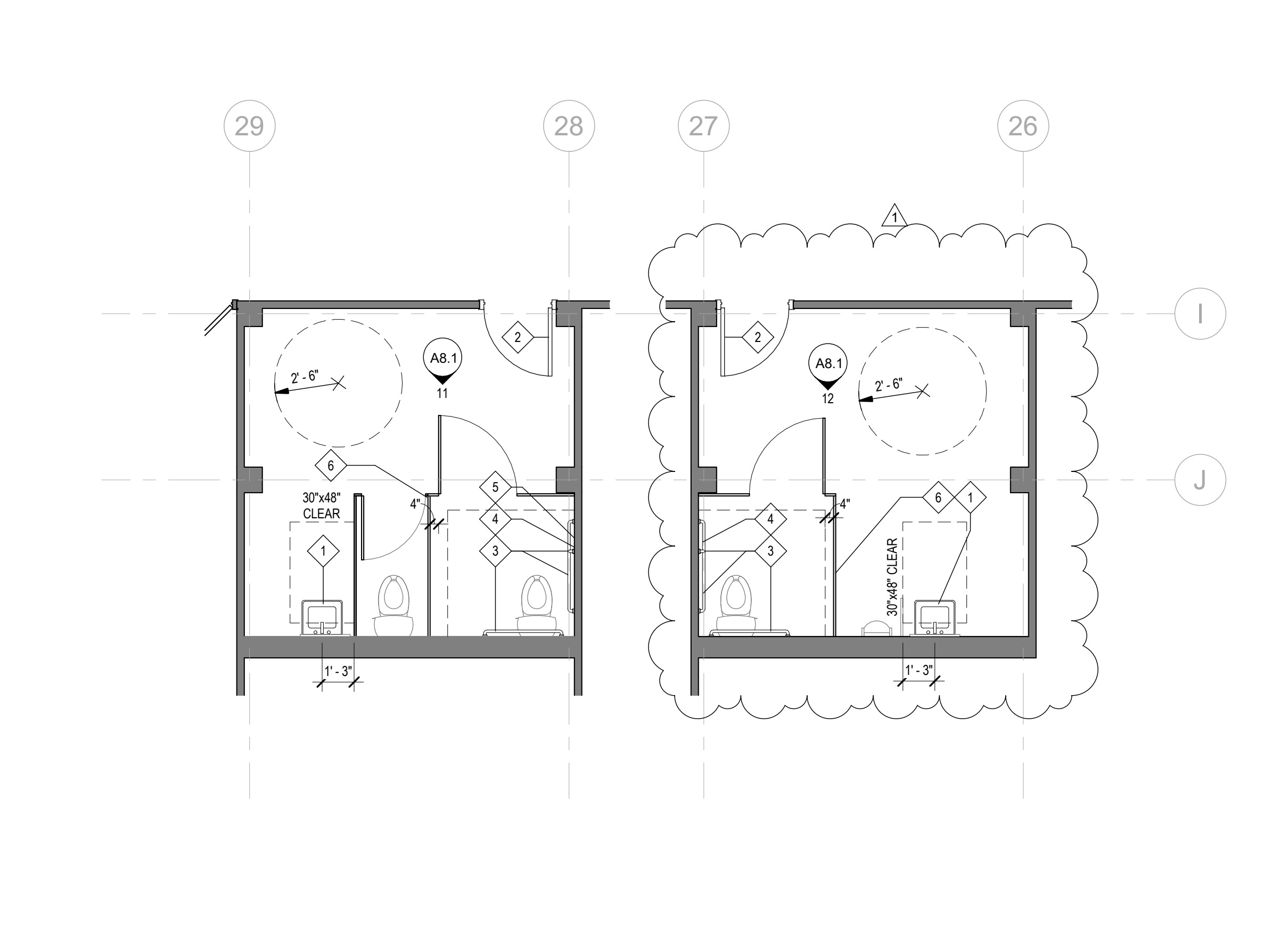
Description	Manufacturer	Model #	Notes
Multi-Roll Toilet Tissue Dispenser	Bobrick	B-4288	Mount Center @ 7'-9" in Front of Toilet Rim and 15-48" A.F.F.
1 1/2" Dia. Stainless Steel Grab Bar	Bobrick	B-6806x24"	Mount Center of Bar 34" A.F.F.
1 1/2" Dia. Stainless Steel Grab Bar	Bobrick	B-6806x36"	Mount Center of Bar 34" A.F.F.
1 1/2" Dia. Stainless Steel Grab Bar	Bobrick	B-6806x42"	Mount Center of Bar 34" A.F.F.

1 Restroom Accessory Schedule
NTS

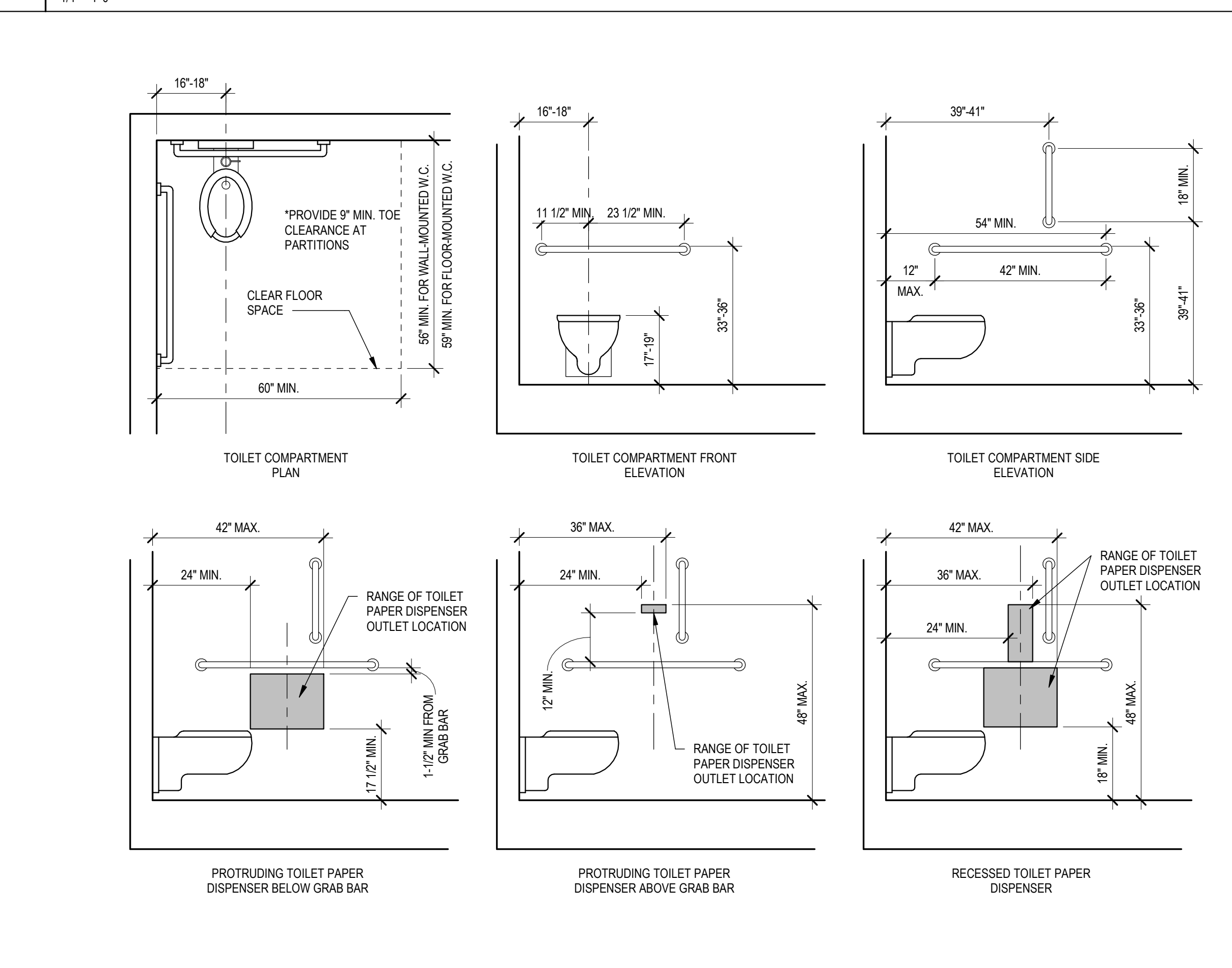


9 First-Aid Restroom Elevation
1/4" = 1'-0"

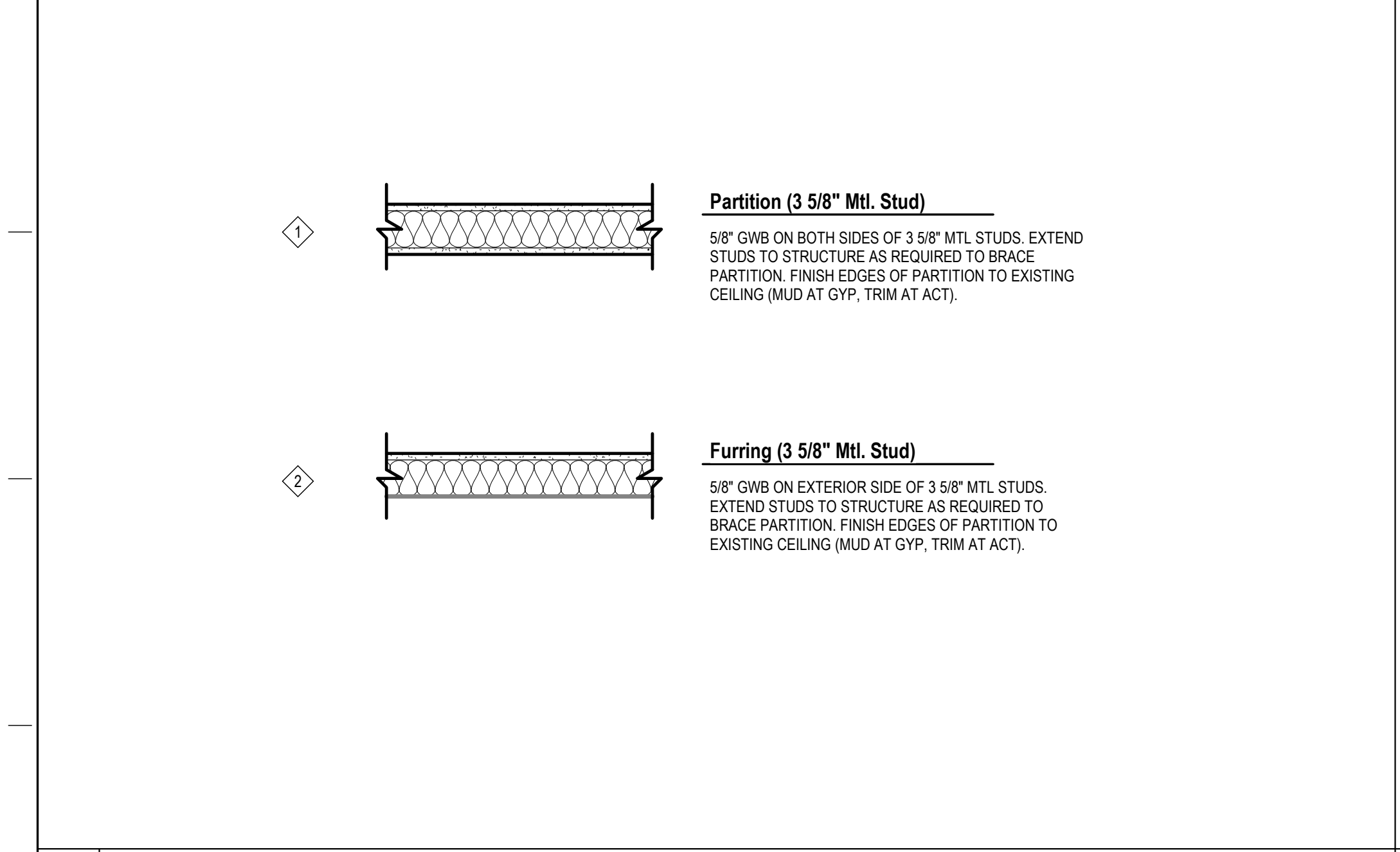
8 Enlarged First-Aid Restroom Plan
1/4" = 1'-0"



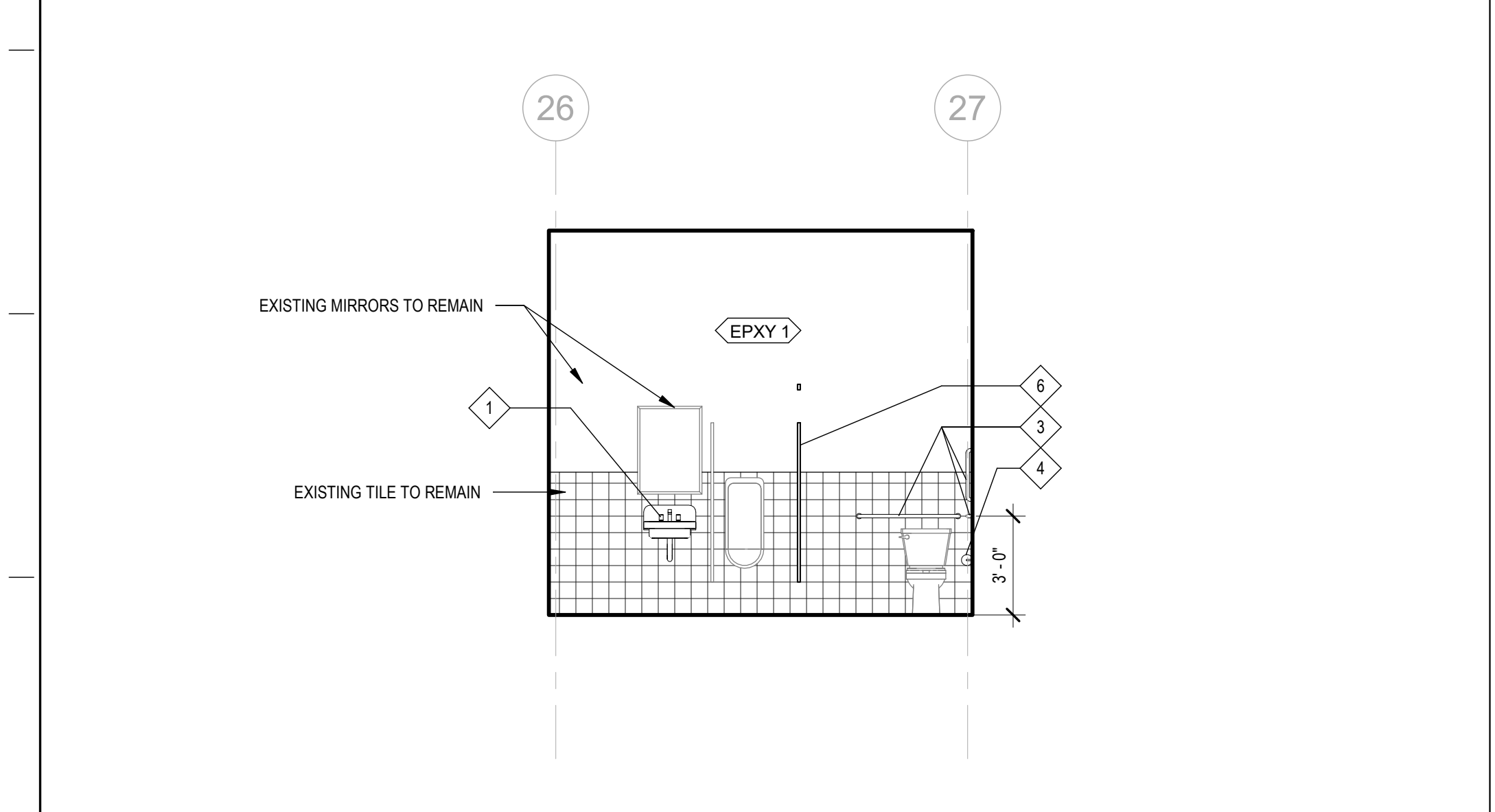
7 1st Floor Building B - Enlarged Restroom Plan
1/4" = 1'-0"



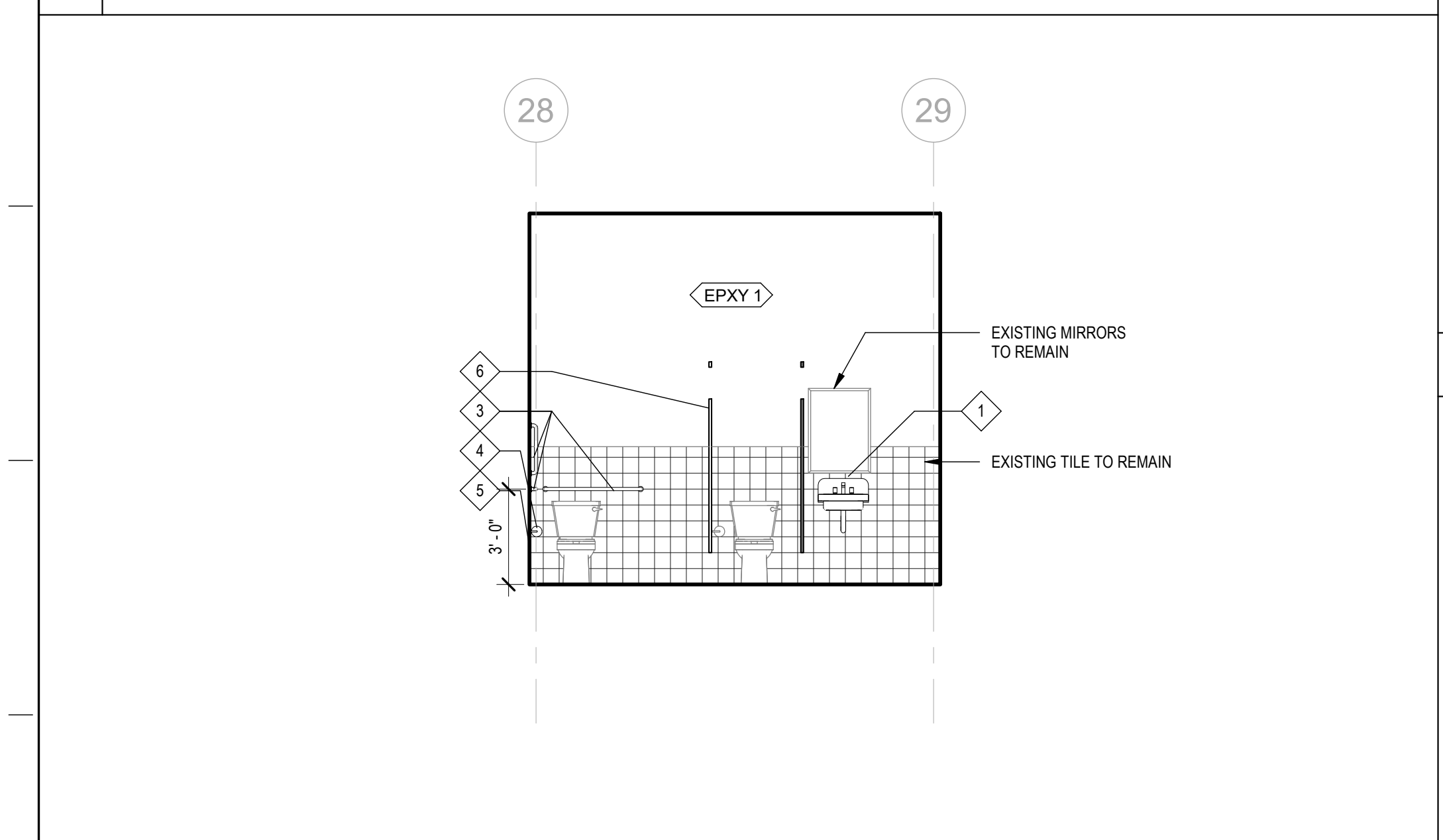
6 Access - Toilet Compartments
1/2" = 1'-0"



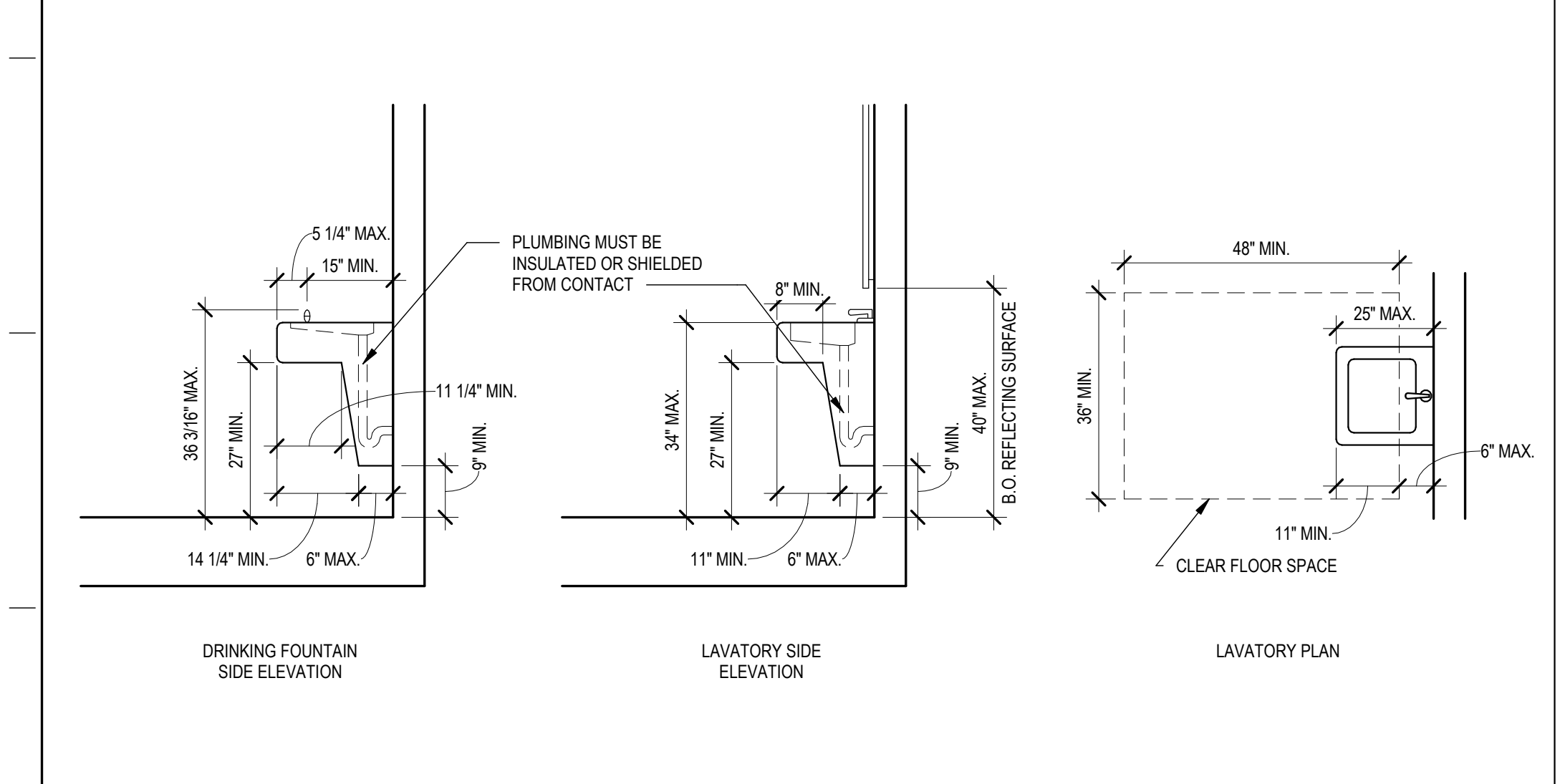
13 Wall Types
1/4" = 1'-0"



12 1st Floor Building B - Men's Restroom Elevation
1/4" = 1'-0"



11 1st Floor Building B - Women's Restroom Elevation
1/4" = 1'-0"

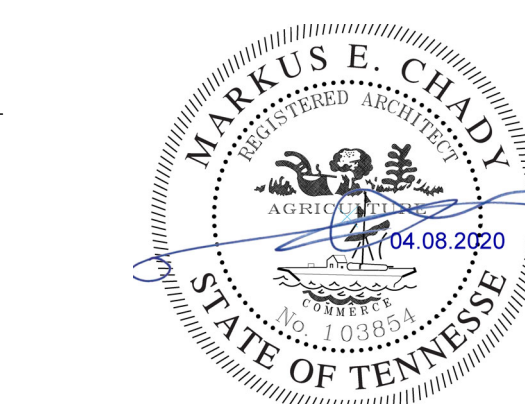


10 Access - Lavatories and Fountains
1/2" = 1'-0"

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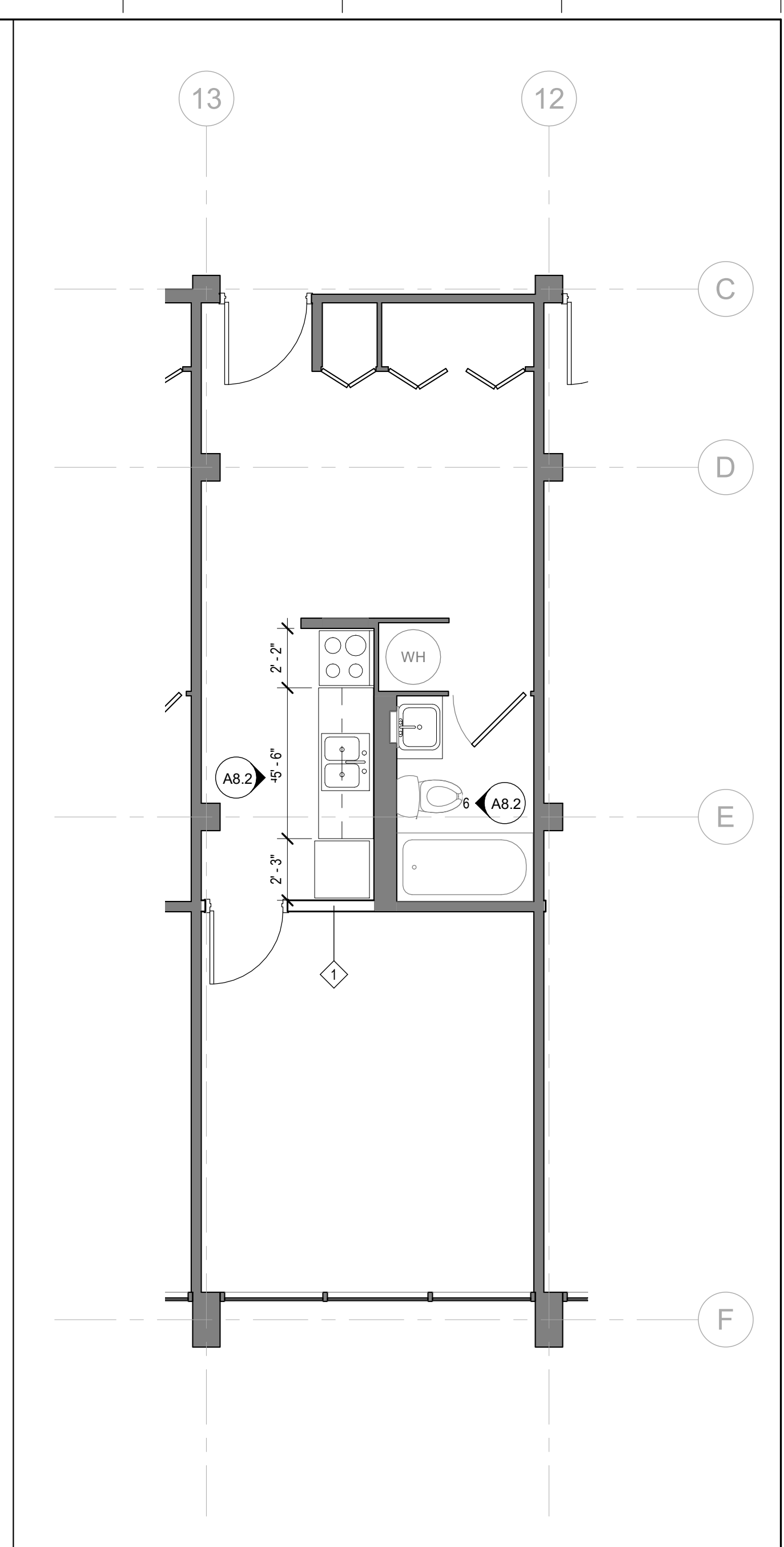
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No.	Description	Date

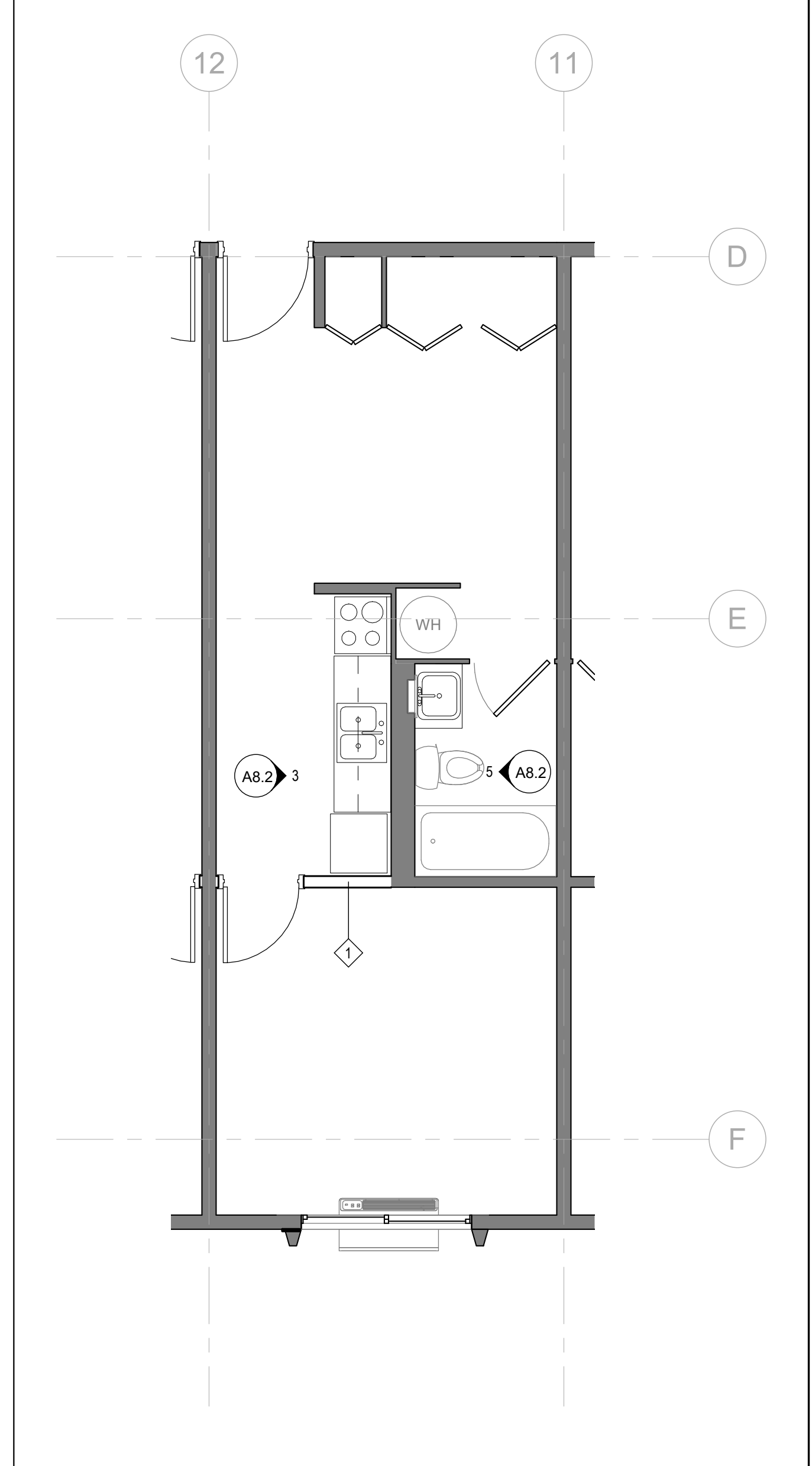
Job Number: 19136.00

Enlarged Unit Floor Plans
& Interior Elevations

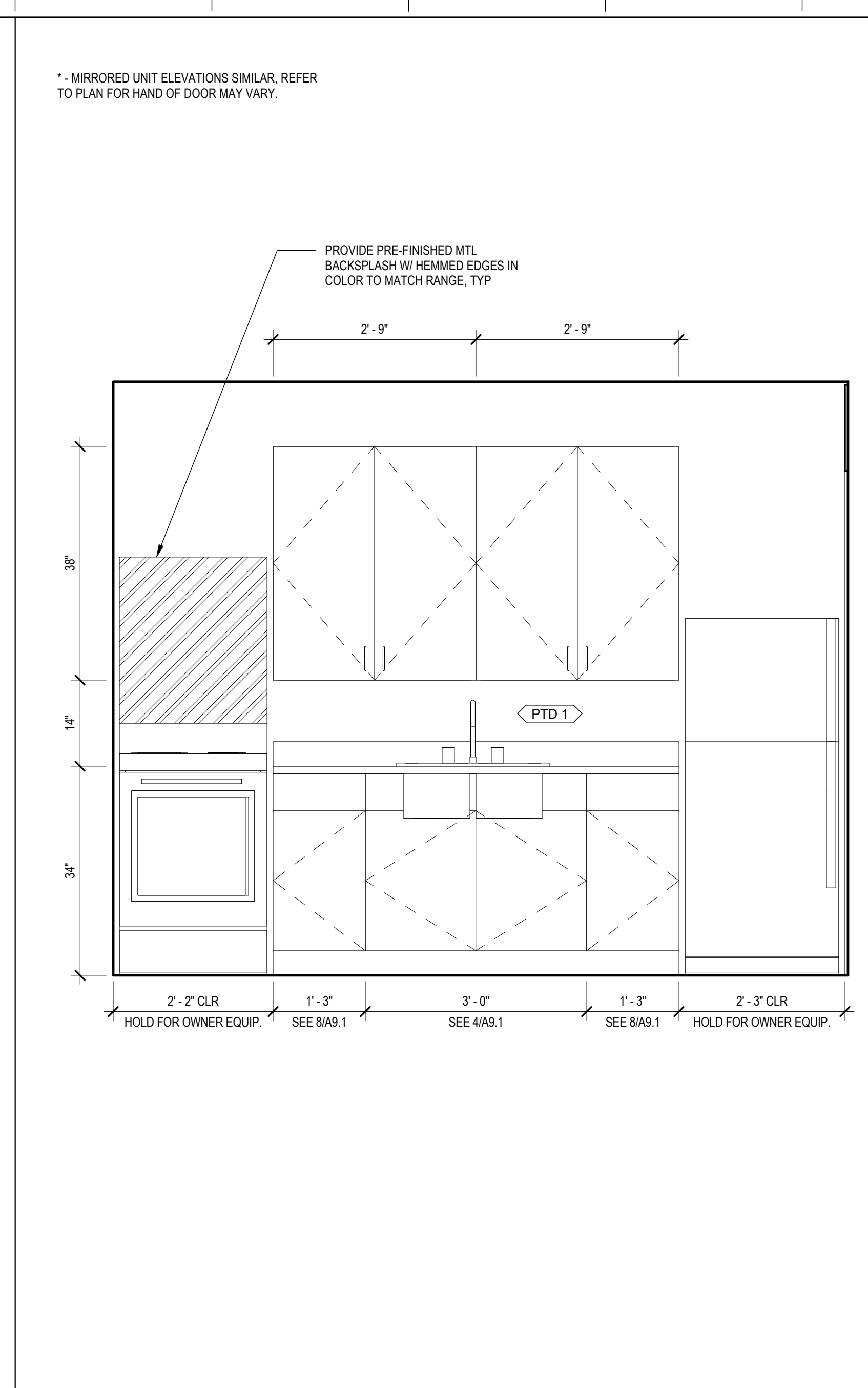
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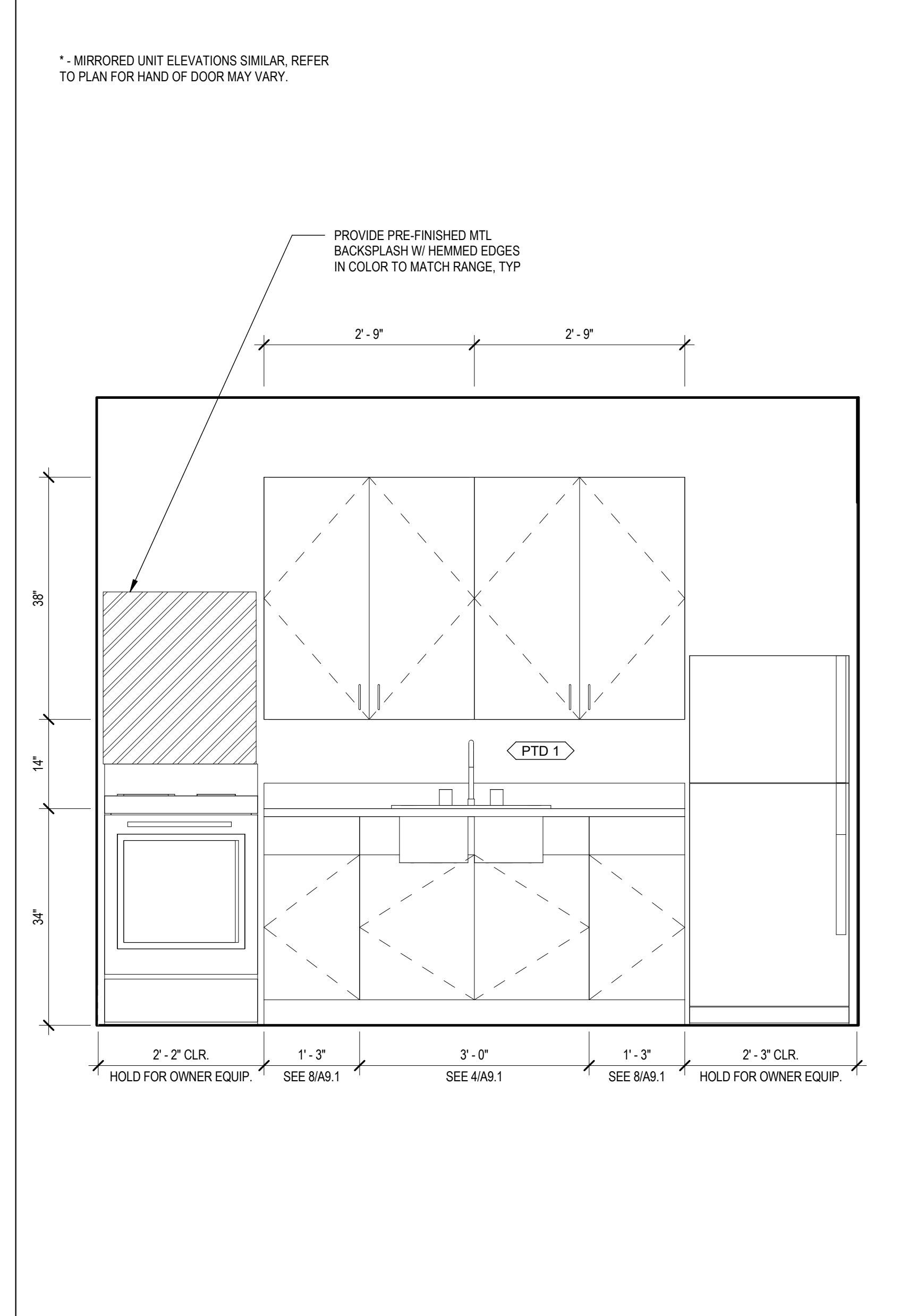
2 Type 1 - Enlarged Plan
1/4" = 1'-0"



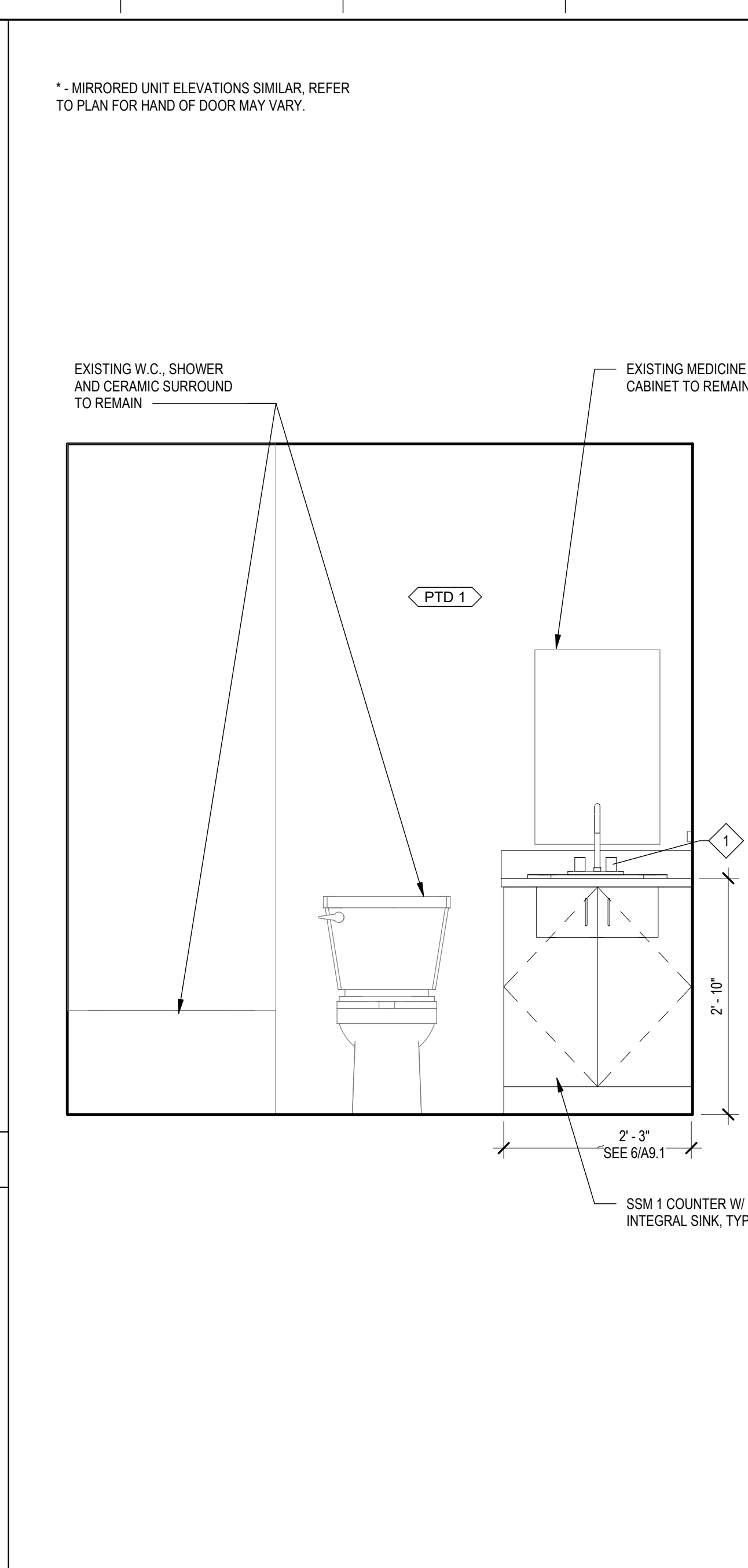
1 Type 4 - Enlarged Plan
1/4" = 1'-0"



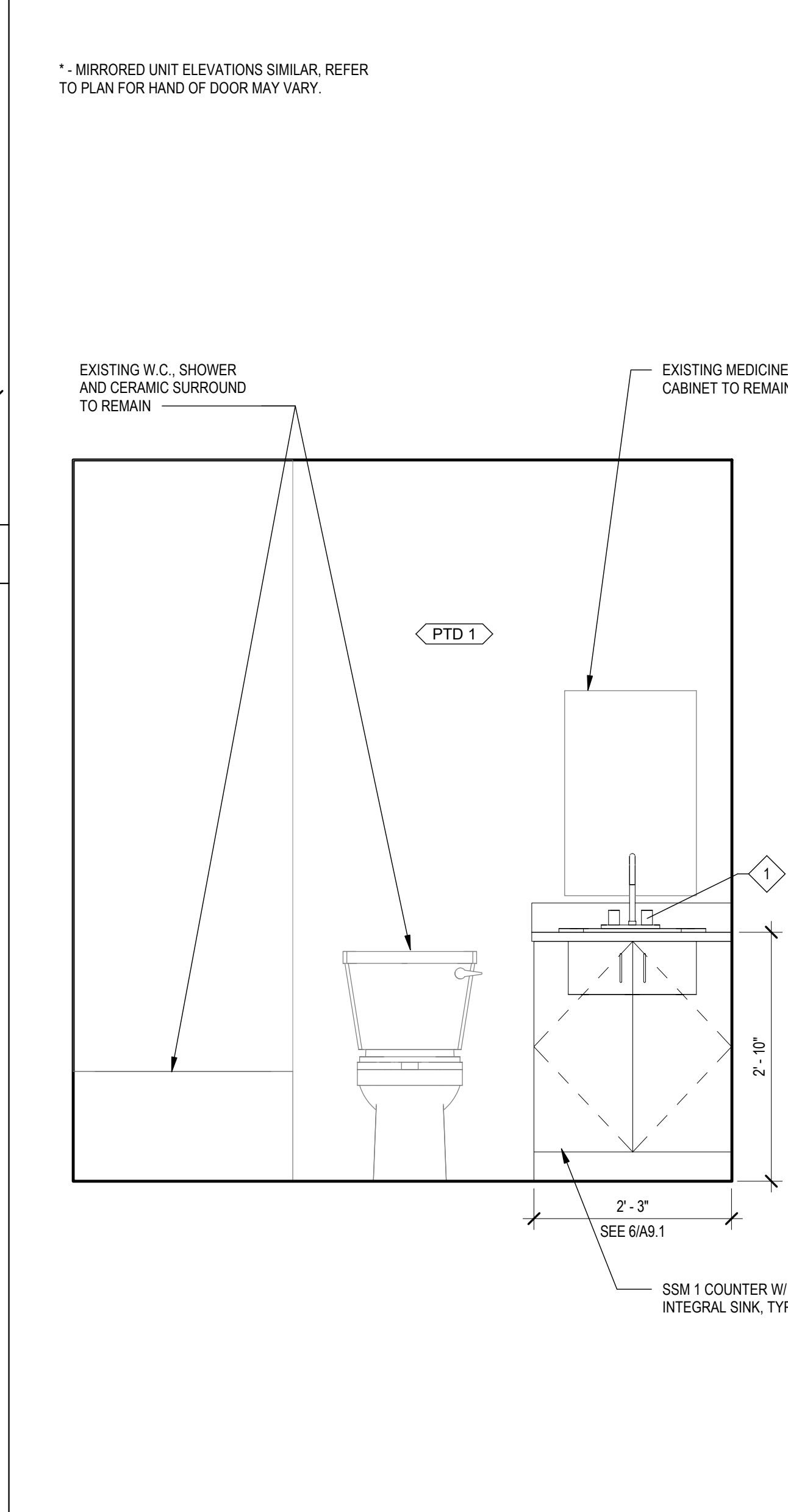
4 Type 1 - Kitchen Elevation
3/4" = 1'-0"



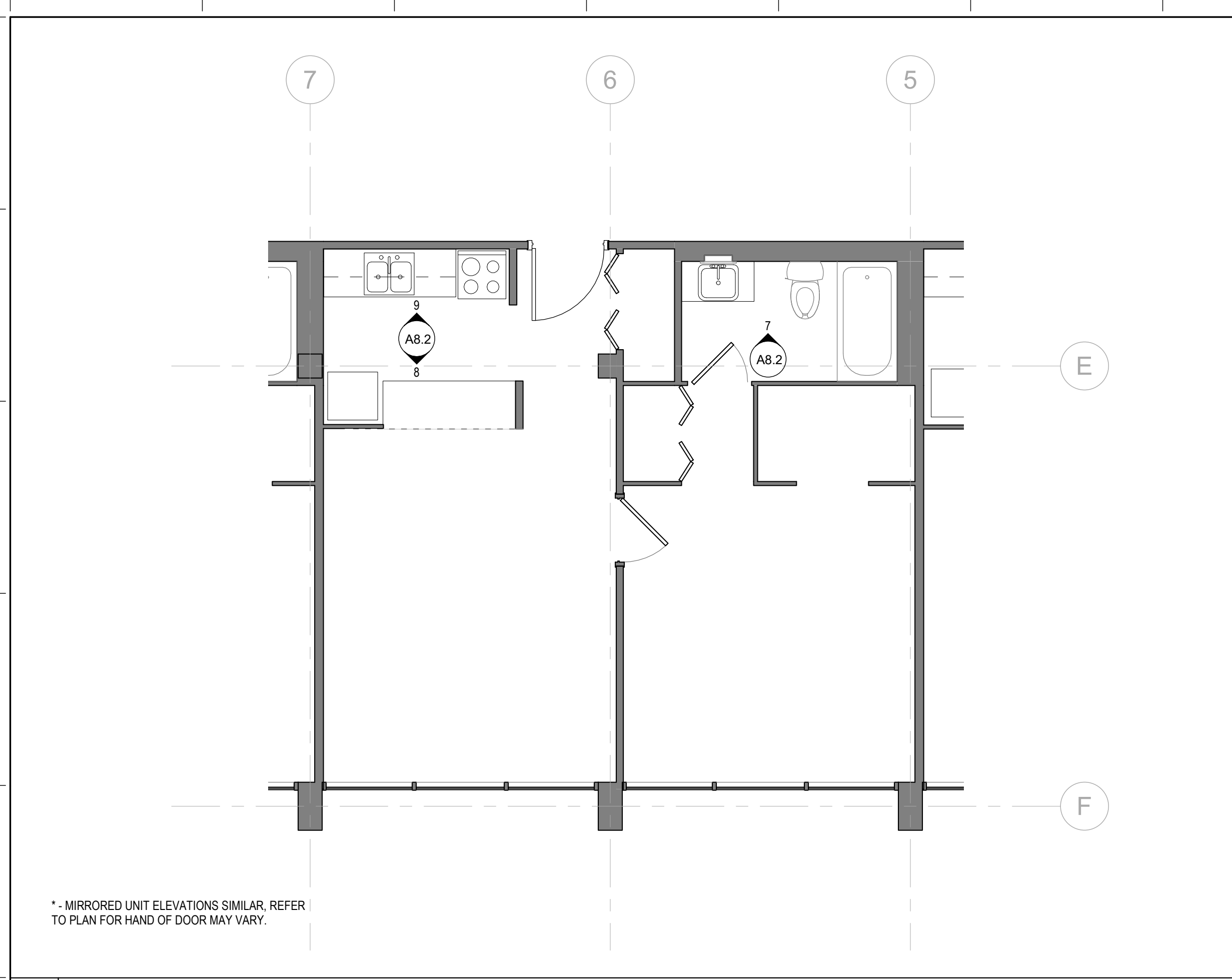
3 Type 4 - Kitchen Elevation
3/4" = 1'-0"



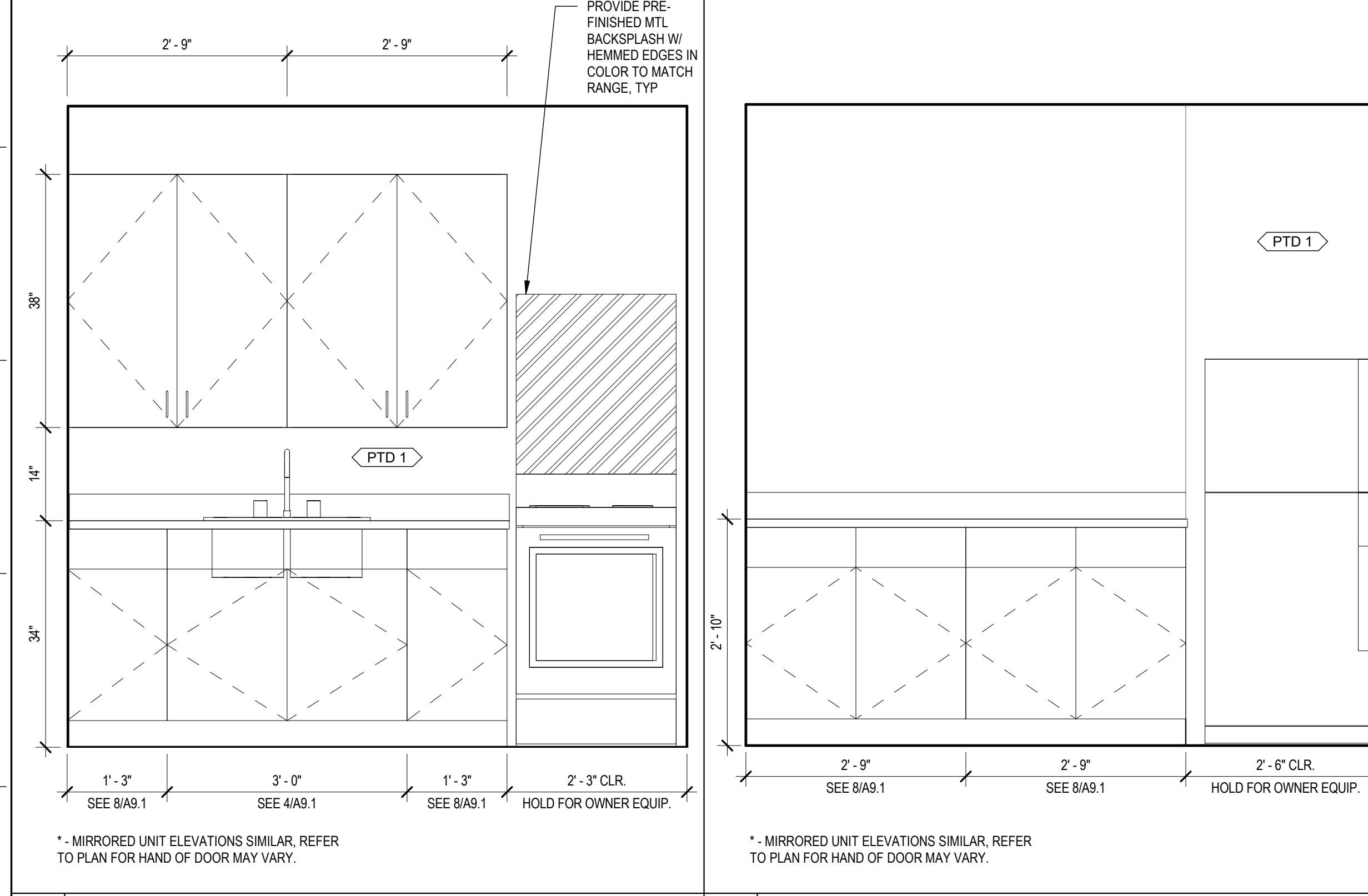
6 Type 1 - Bathroom Elevation
3/4" = 1'-0"



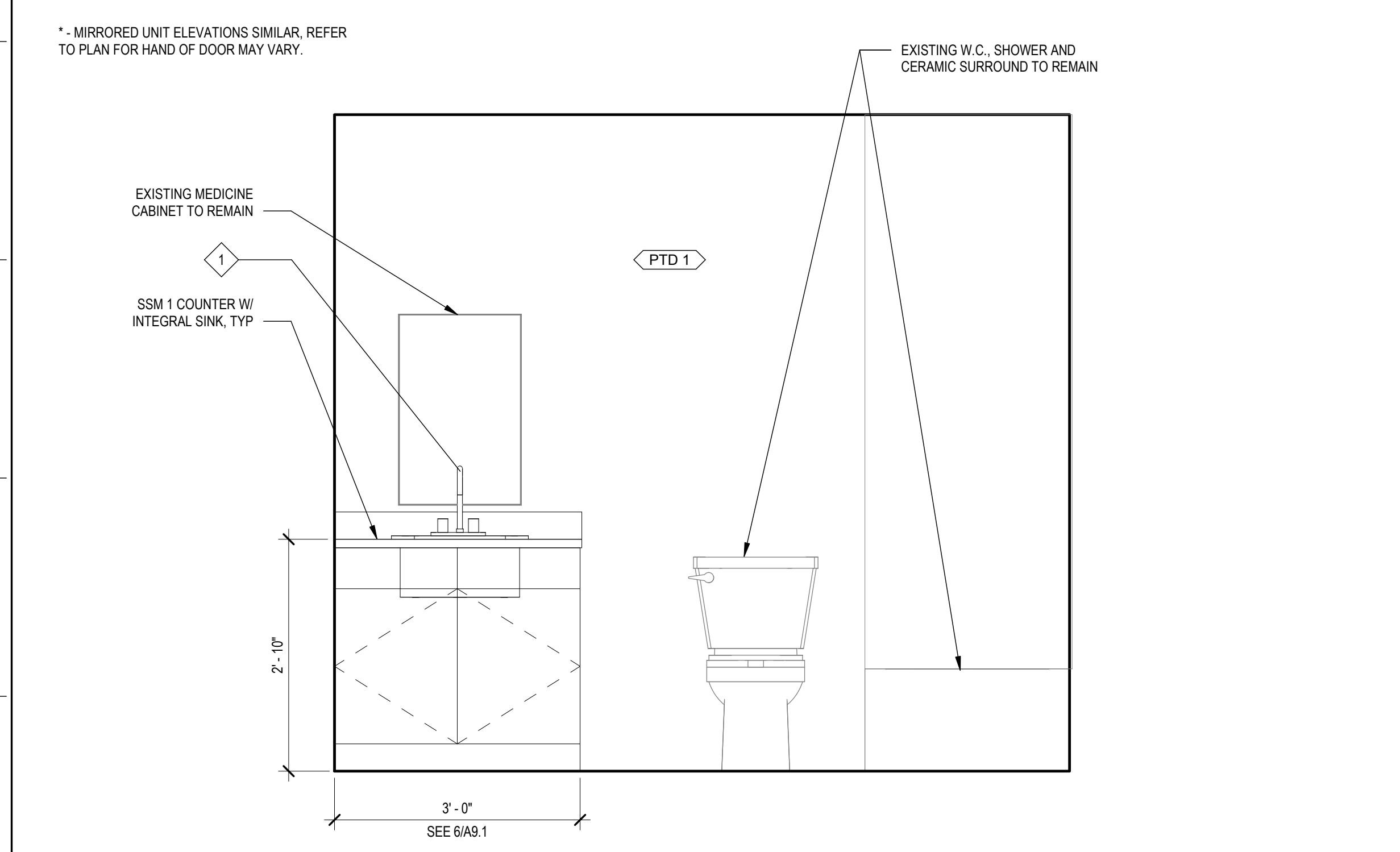
5 Type 4 - Bathroom Elevation
3/4" = 1'-0"



10 Type 2 - Enlarged Plan
1/4" = 1'-0"



9 Type 2 - Kitchen Elevation 1
3/4" = 1'-0"

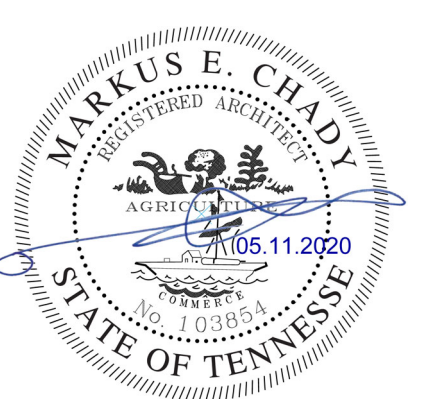


7 Type 2 - Bathroom Elevation
3/4" = 1'-0"

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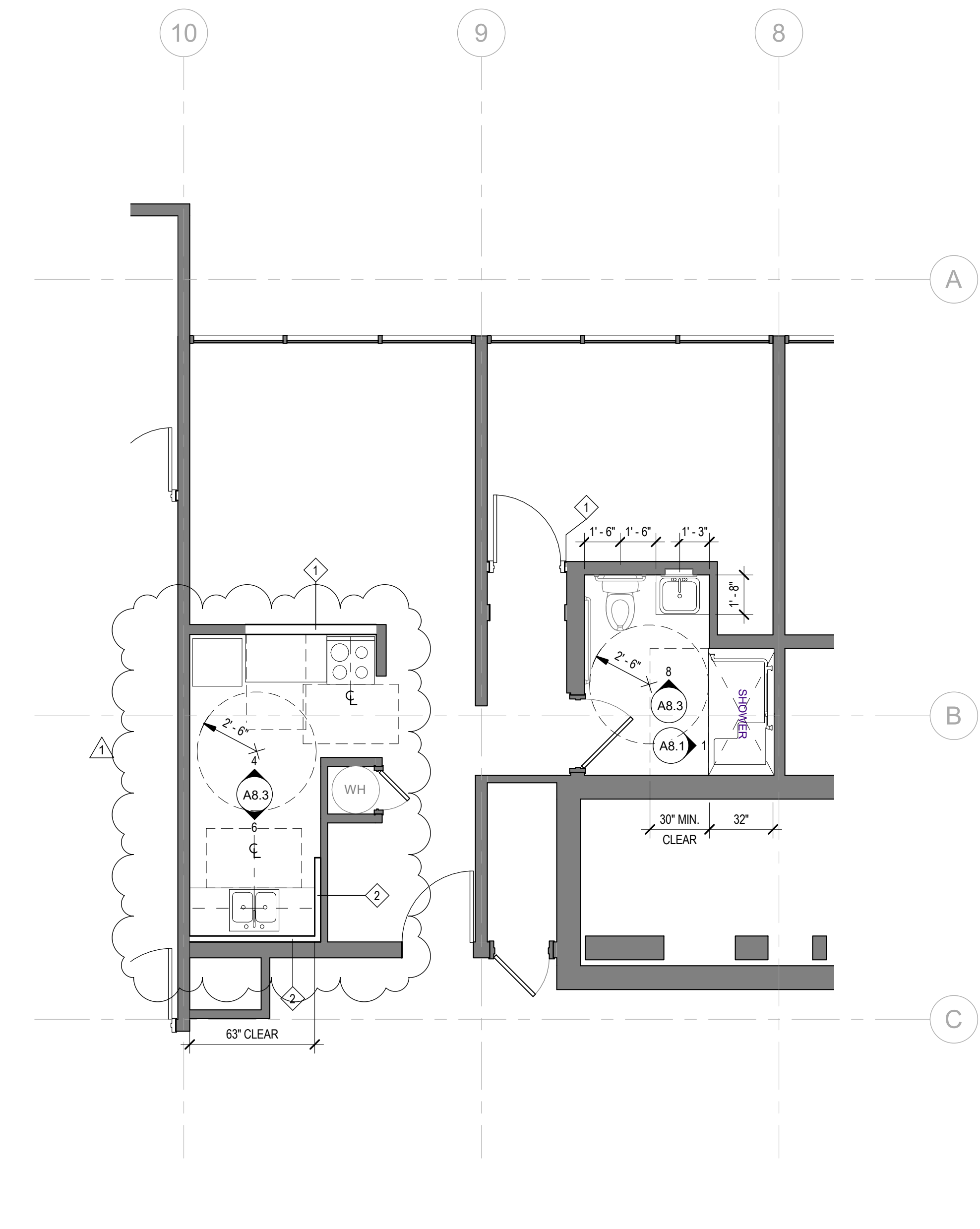


Project Phase: Construction Documents

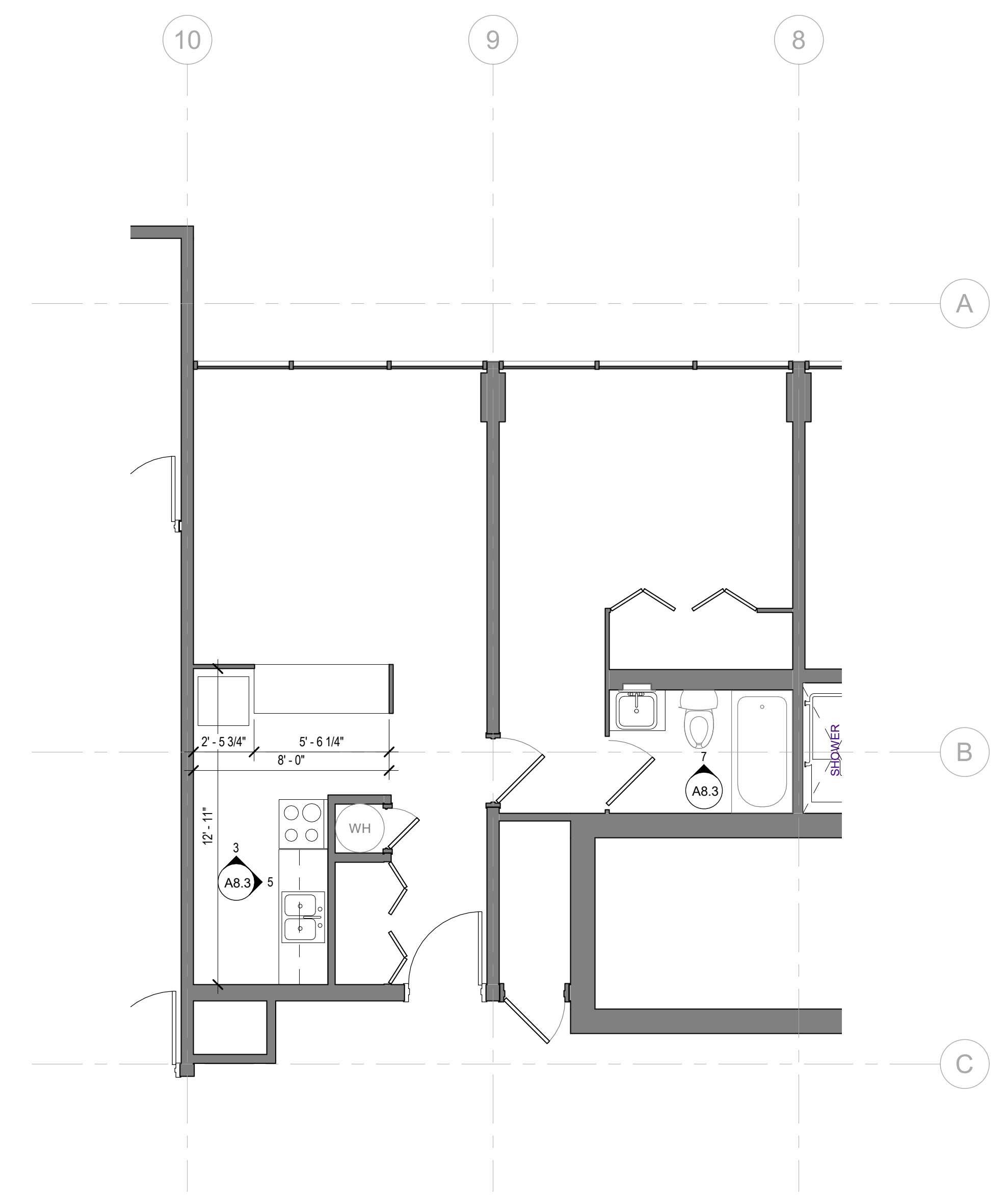
Issue Date: 04.08.2020		
Revisions		
No.	Description	Date
1	City & Owner Comments	05.11.2020

Job Number: 19136.00
Enlarged Unit Floor Plans
& Interior Elevations

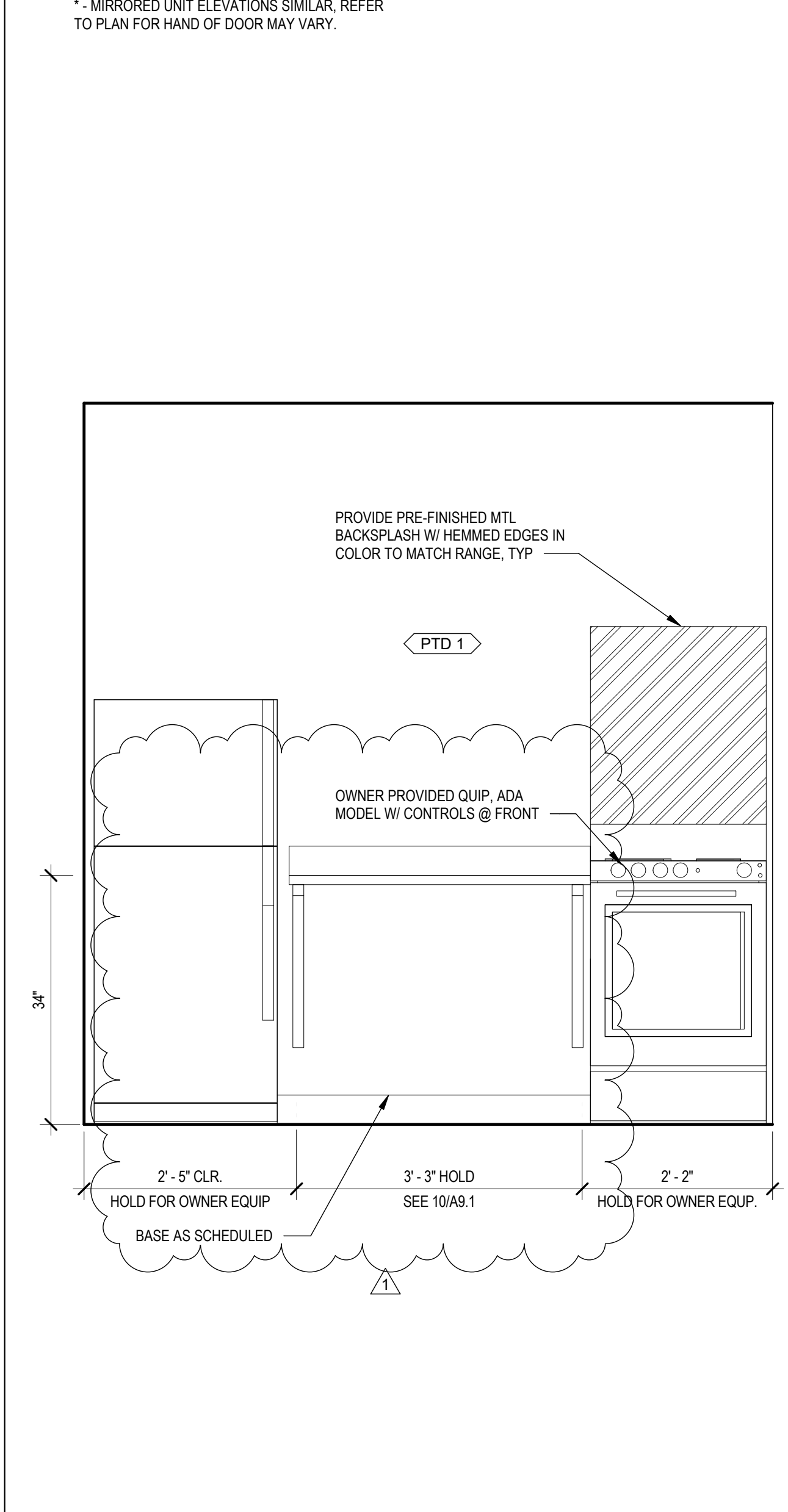
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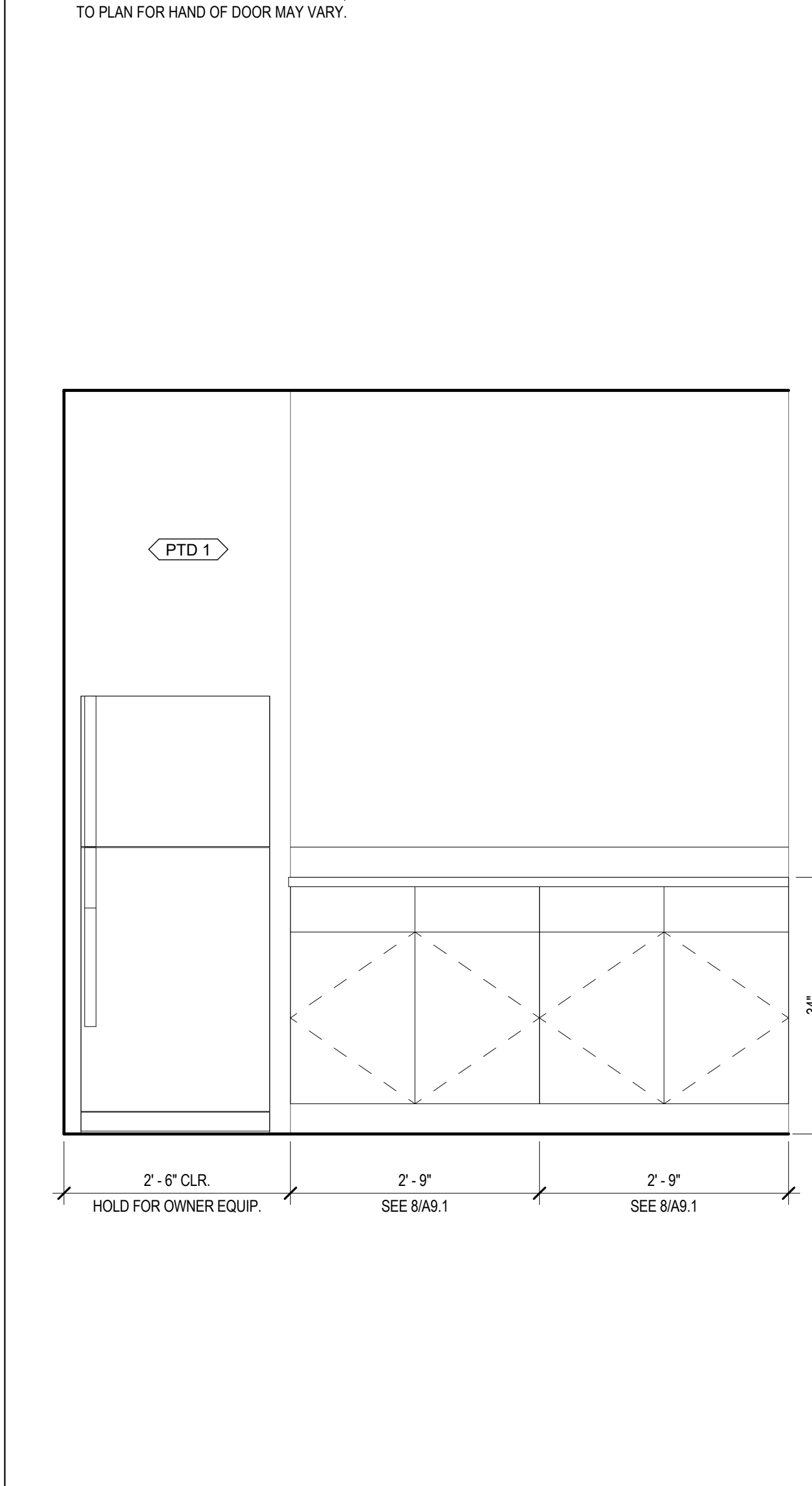
2 Type 3 UFAS - Enlarged Plan
1/4" = 1'-0"



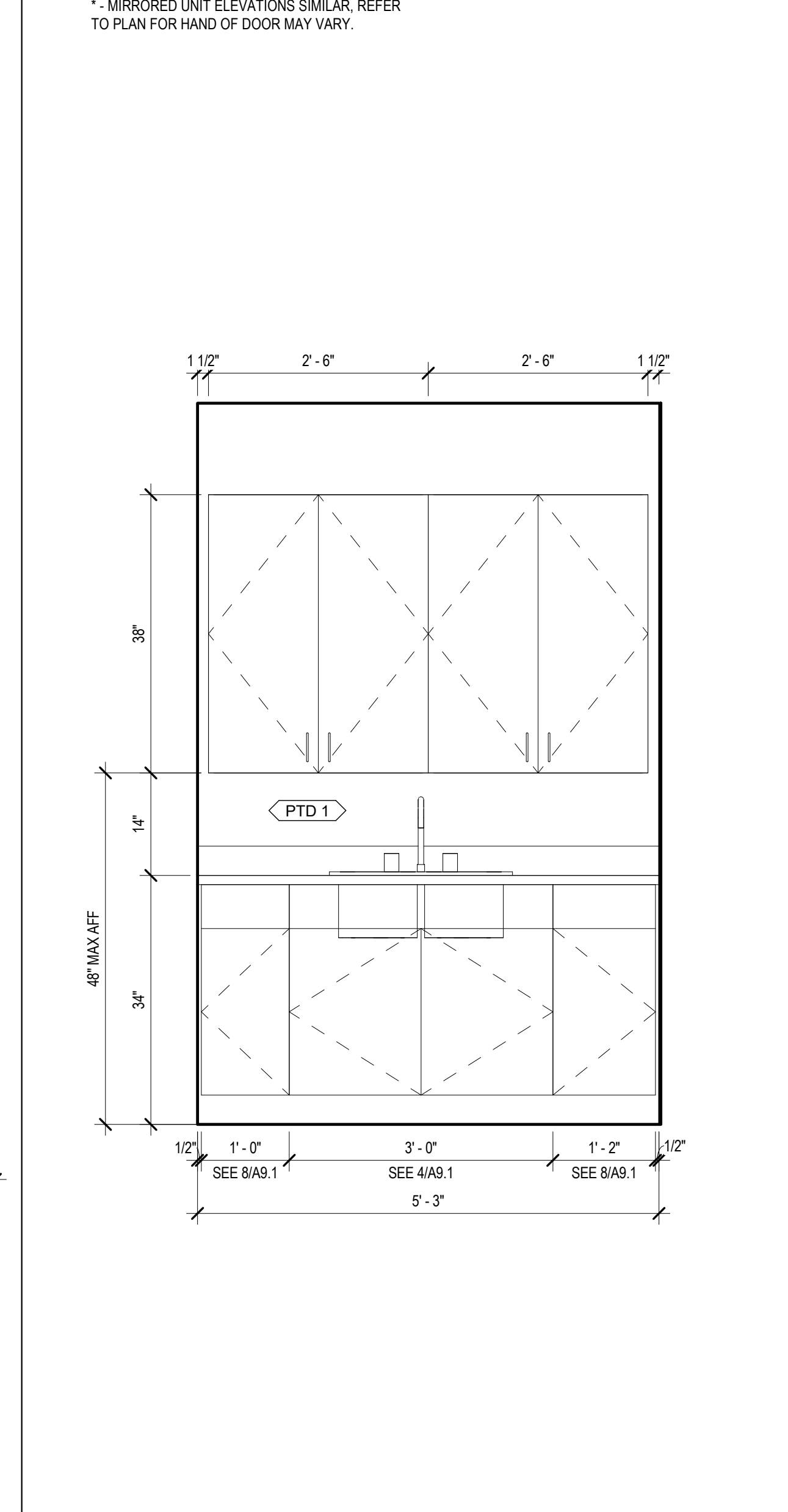
1 Type 3 - Enlarged Plan
1/4" = 1'-0"



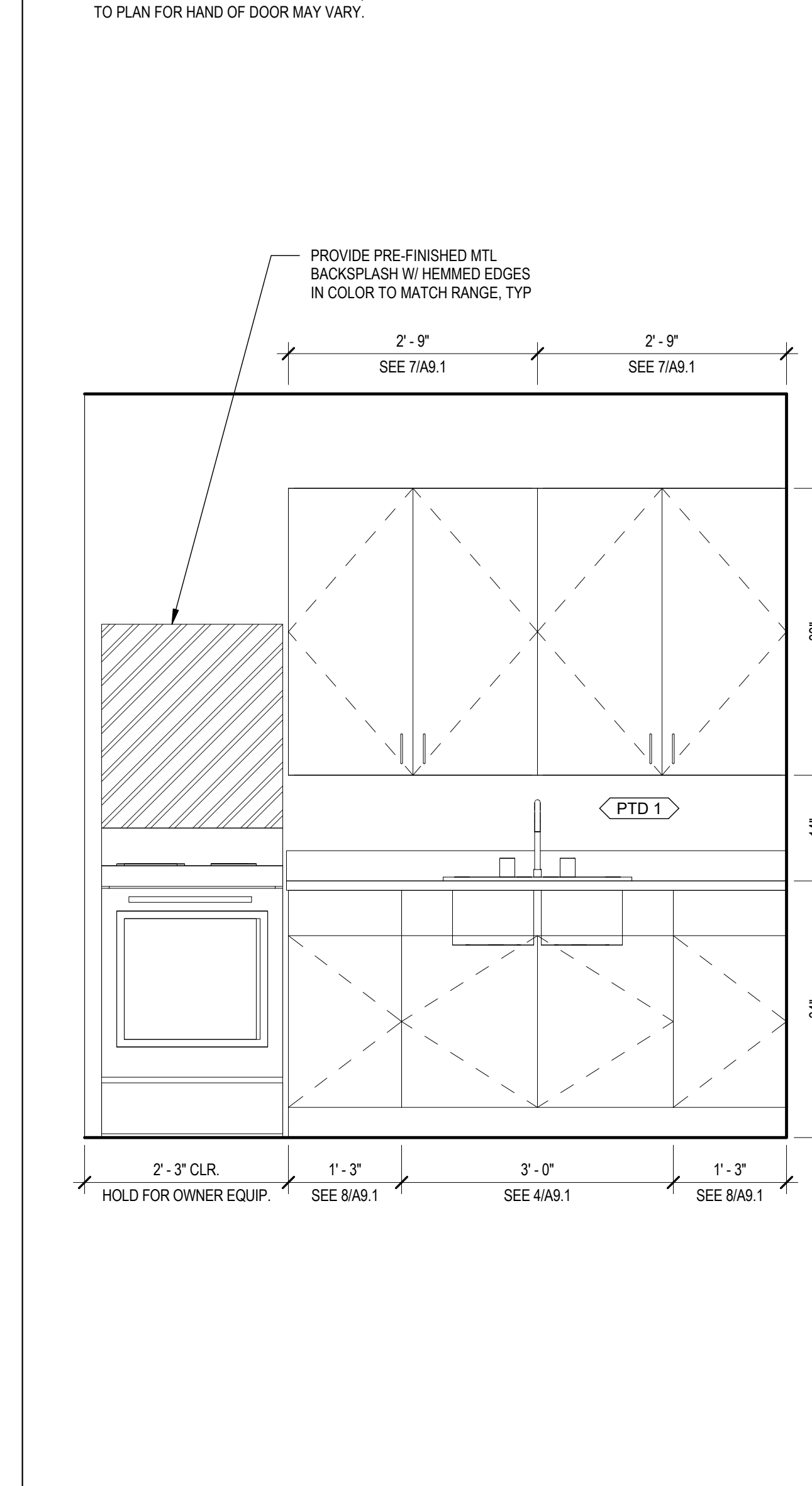
4 Type 3 UFAS - Kitchen Elevation 1
3/4" = 1'-0"



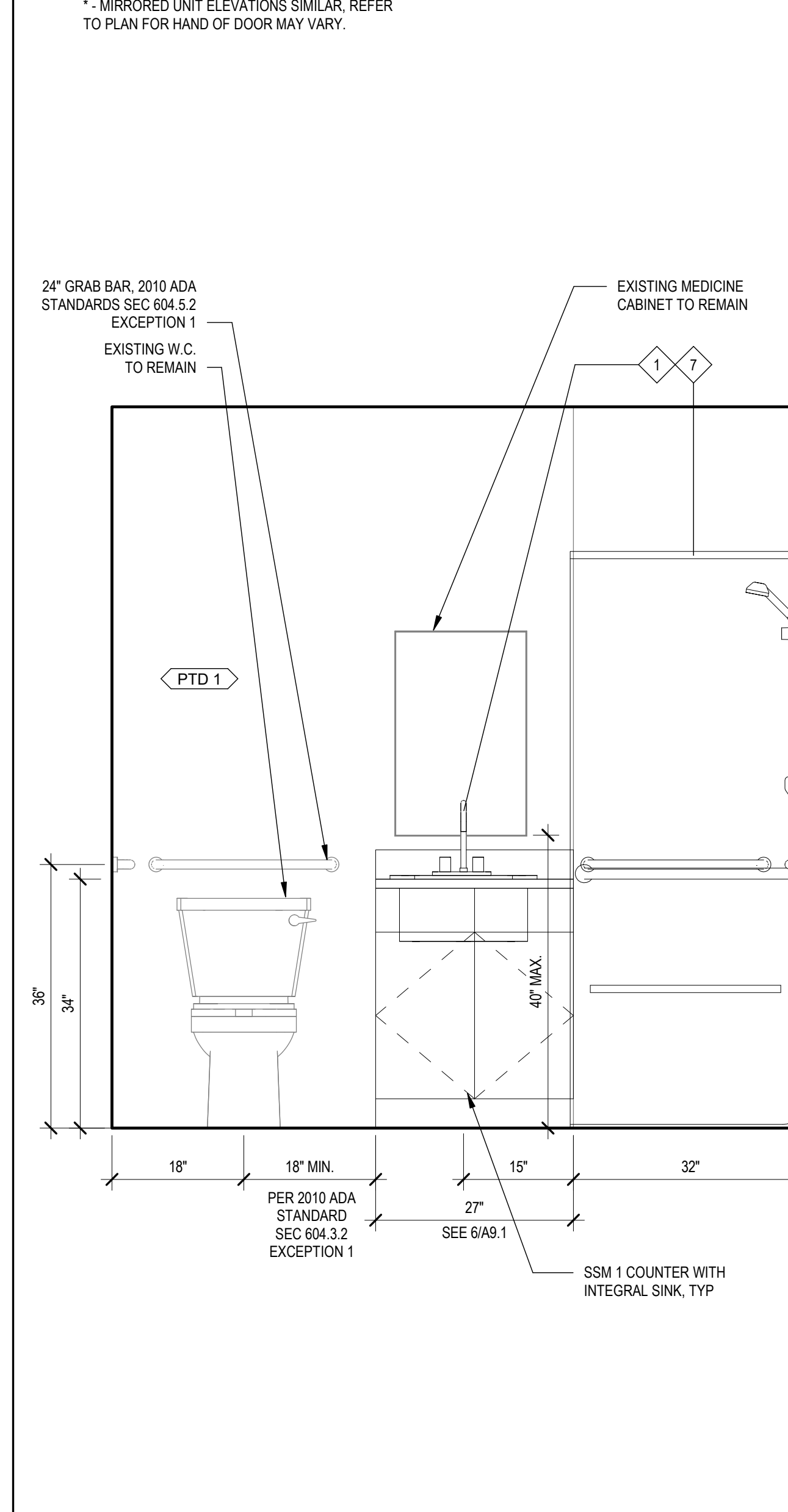
3 Type 3 - Kitchen Elevation 1
3/4" = 1'-0"



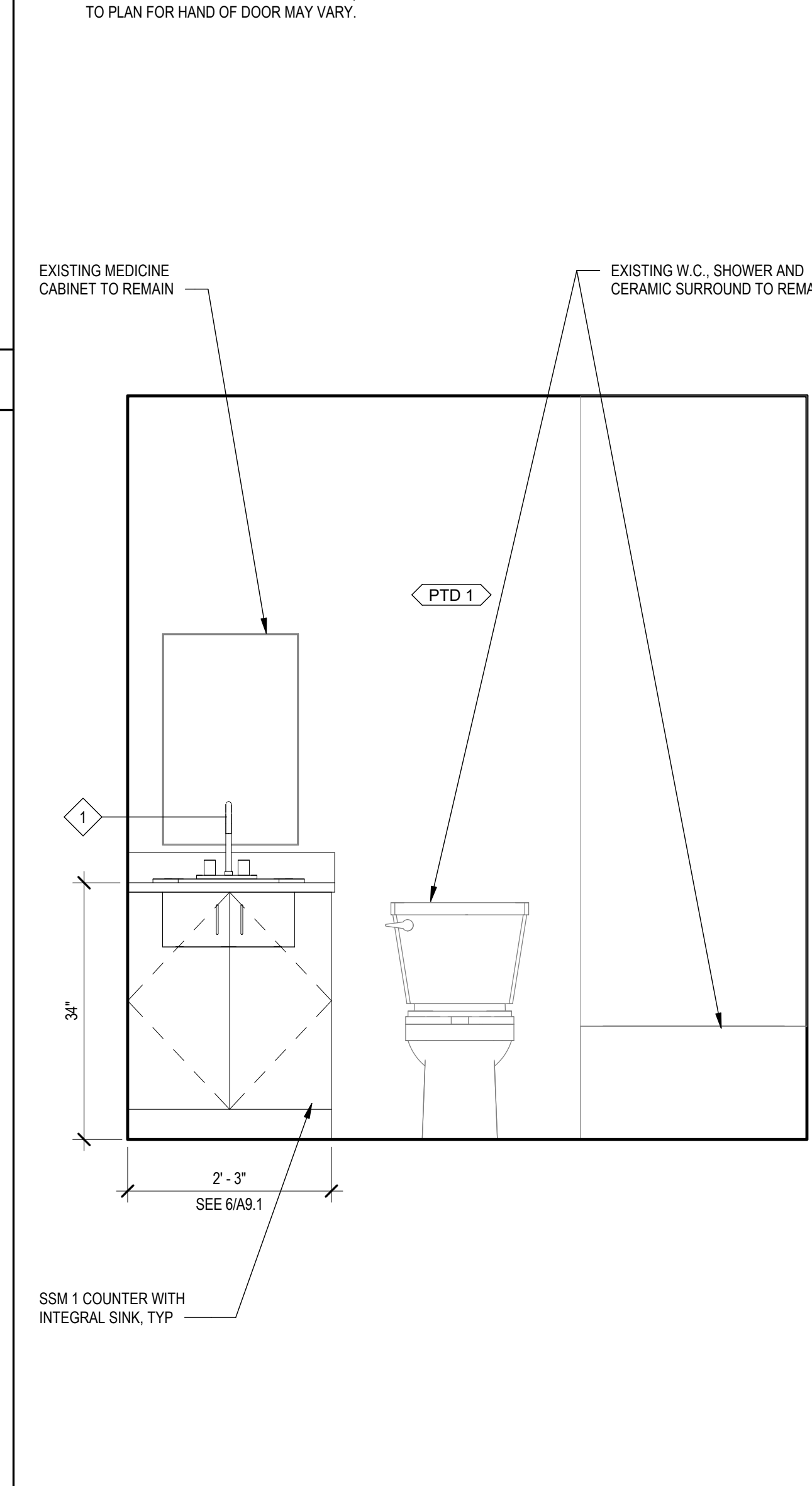
6 Type 3 UFAS - Kitchen Elevation 2
3/4" = 1'-0"



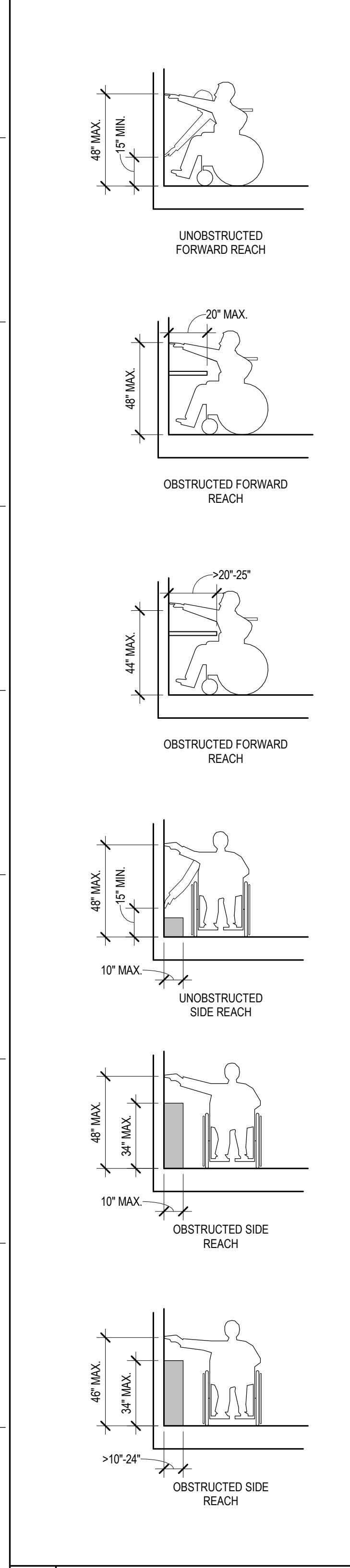
5 Type 3 - Kitchen Elevation 2
3/4" = 1'-0"



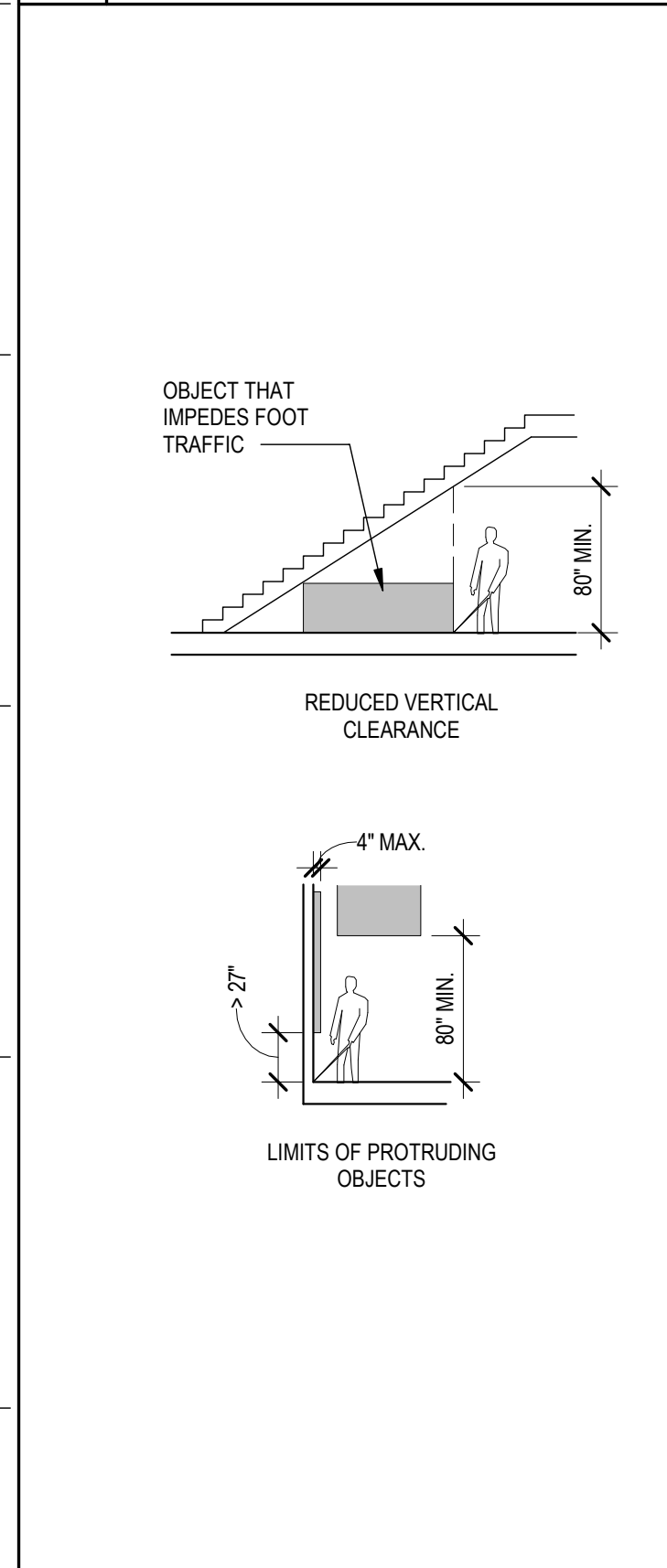
8 Type 3 UFAS - Bathroom Elevation
3/4" = 1'-0"



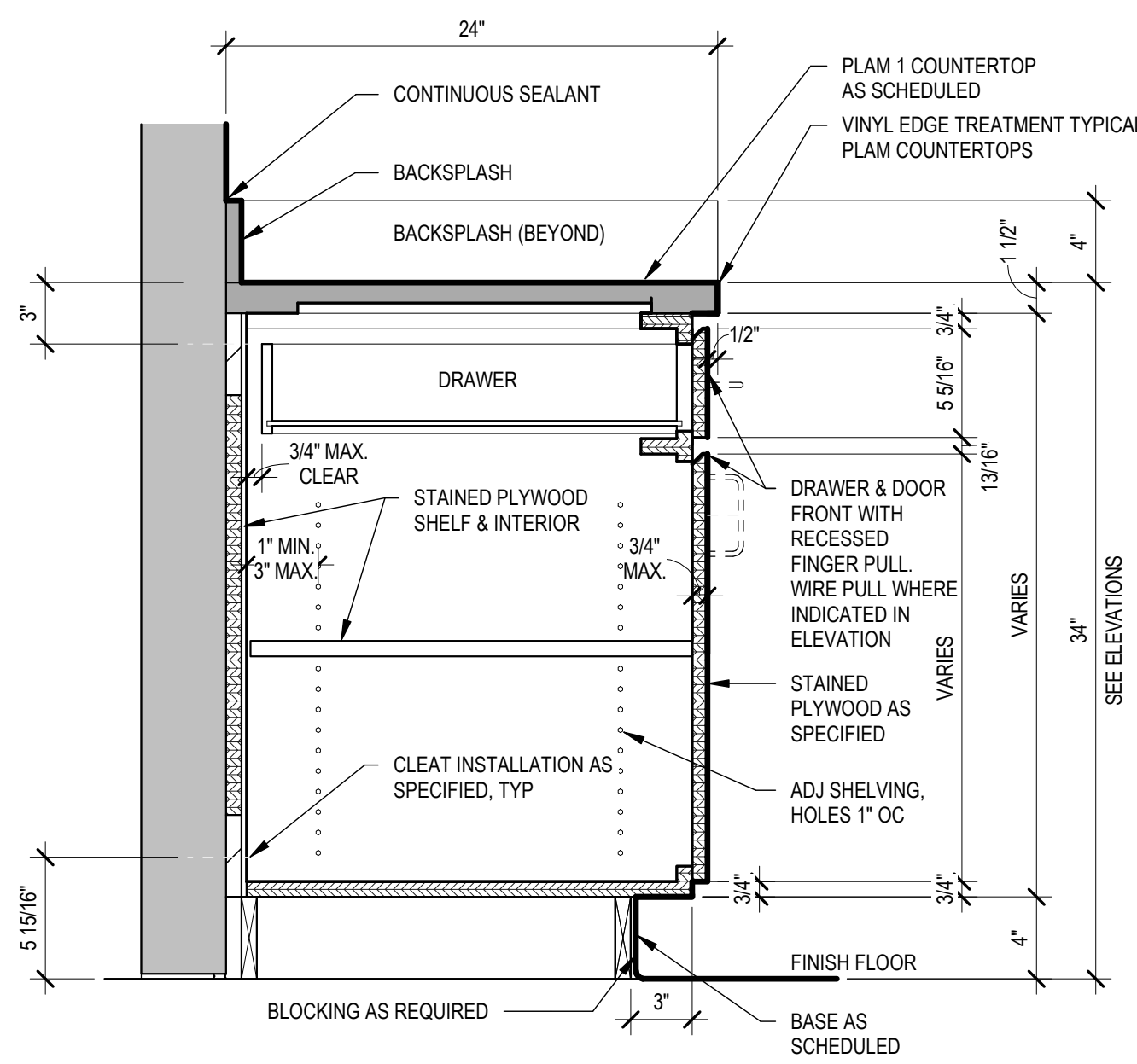
7 Type 3 - Bathroom Elevation
3/4" = 1'-0"



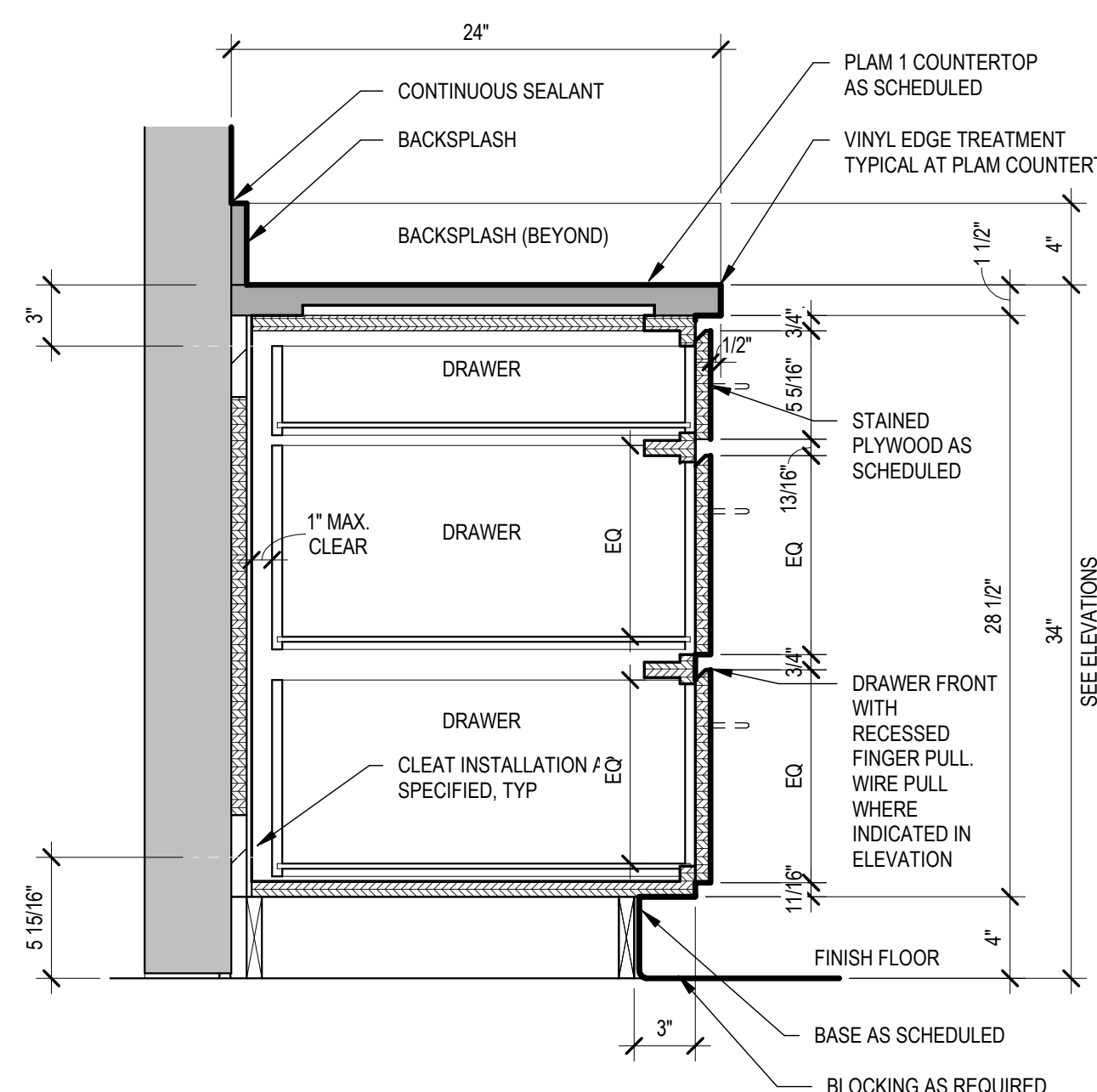
10 Access - Reach Ranges
1/4" = 1'-0"



9 Access - Protruding Objects
1/4" = 1'-0"

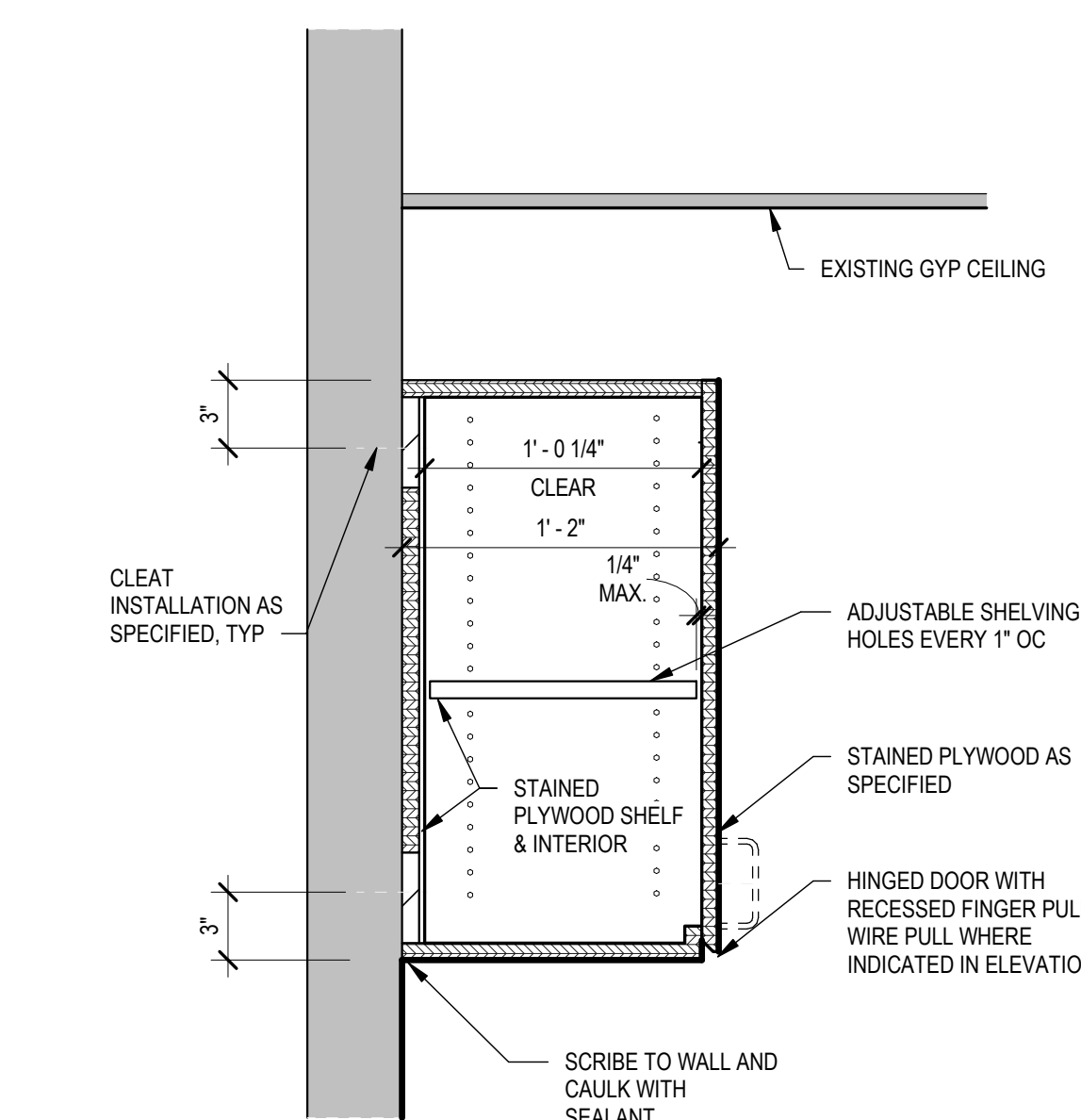


8 Typical Base Millwork Section
 1/12" = 1'-0"

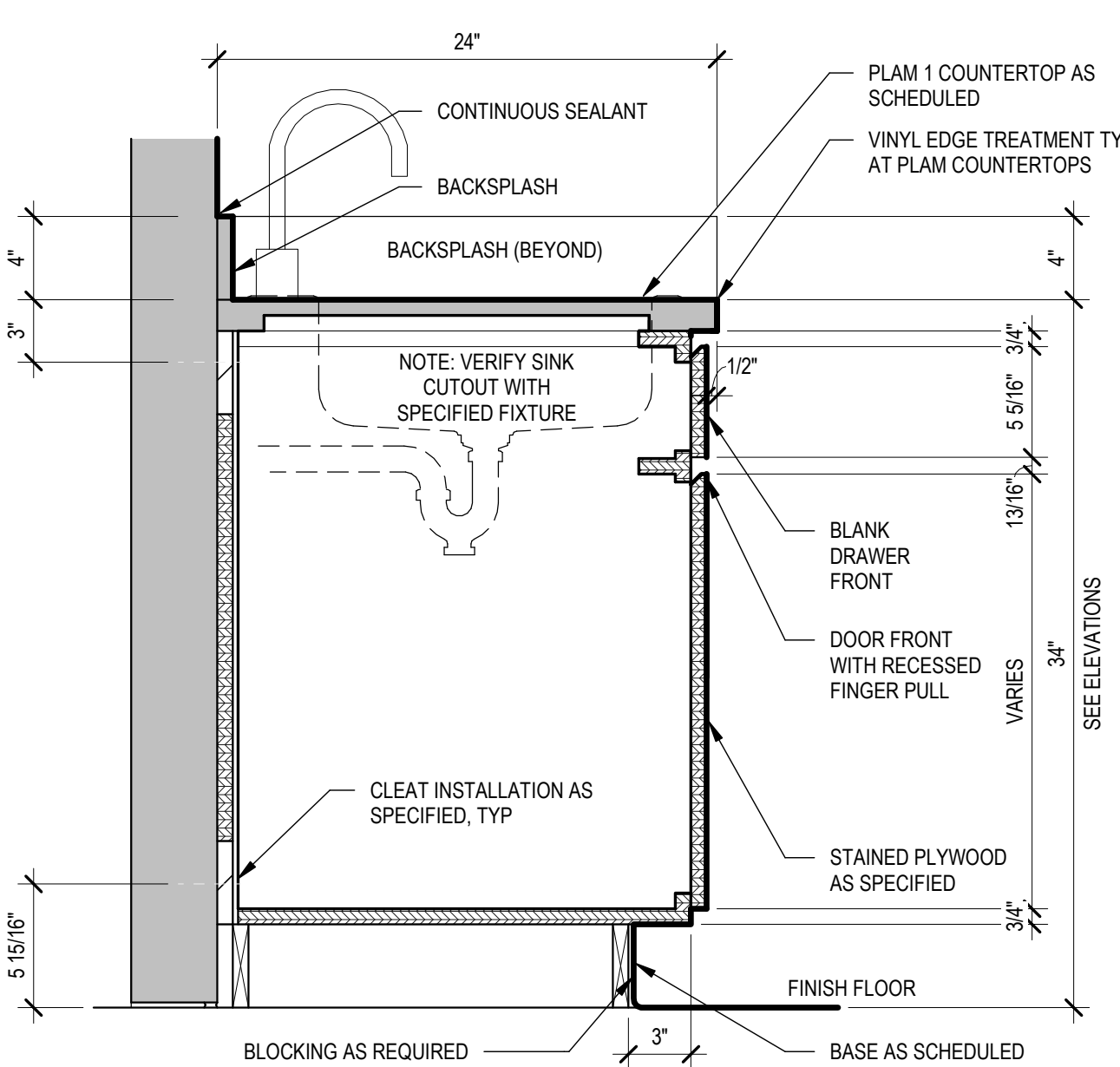


5 Typical Base Millwork Section With Drawers
 1/12" = 1'-0"

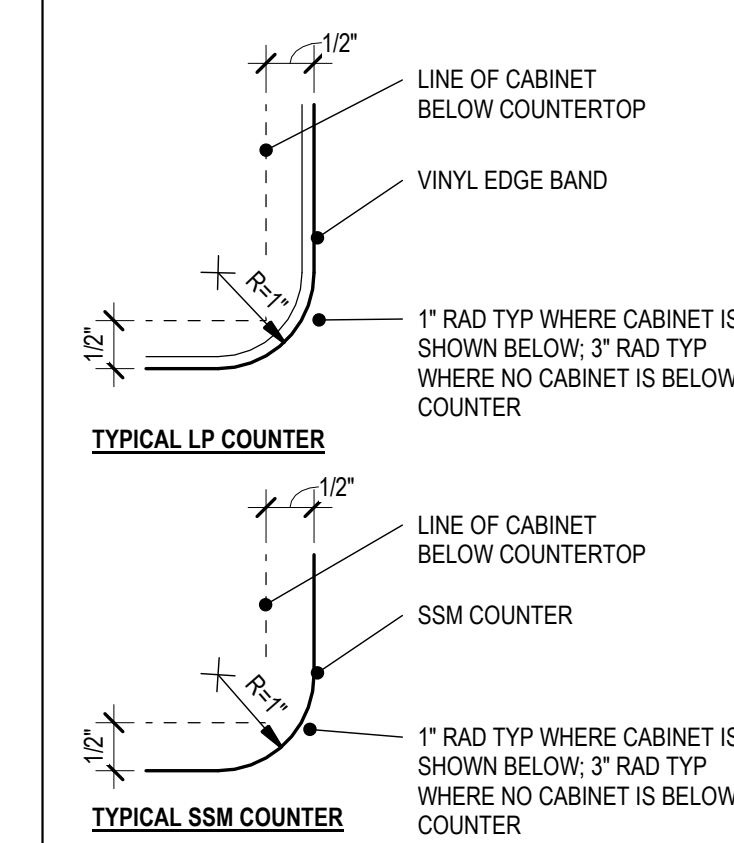
- CASEWORK GENERAL NOTES:**
1. PROVIDE FINISHED END PANELS WHERE CASEWORK DOES NOT ABUT WALL.
 2. PROVIDE FILLER BETWEEN CABINET AND WALL CONSTRUCTION. EXTEND COUNTERTOPS TO FINISHED WALL. SEE CASEWORK DETAILS.
 3. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION AND INSTALLATION.
 4. AT OPEN ENDS OF CABINETS WITH VALANCES, EXTEND SIDE PANEL DOWN TO ALIGN WITH BOTTOM OF VALANCE.
 5. SCRIBE FILLER PIECE TO SOFFIT AND WALL (TYP.), SEE CASEWORK DETAILS.
 6. PROVIDE GROMMETS IN COUNTERTOPS ABOVE ELECTRICAL AND COMMUNICATION OUTLETS. COORDINATE EXACT LOCATIONS WITH OWNER.
 7. SEE SHEET INTERIOR FINISH INDEX SHEET FOR ADDITIONAL FINISH INFORMATION.
 8. WALL BASE TO BE INSTALLED ON THE KICK OF BASE CABINETS AND CONTINUE ALONG ALL EXPOSED EDGES OF CASEWORK U.N.O.



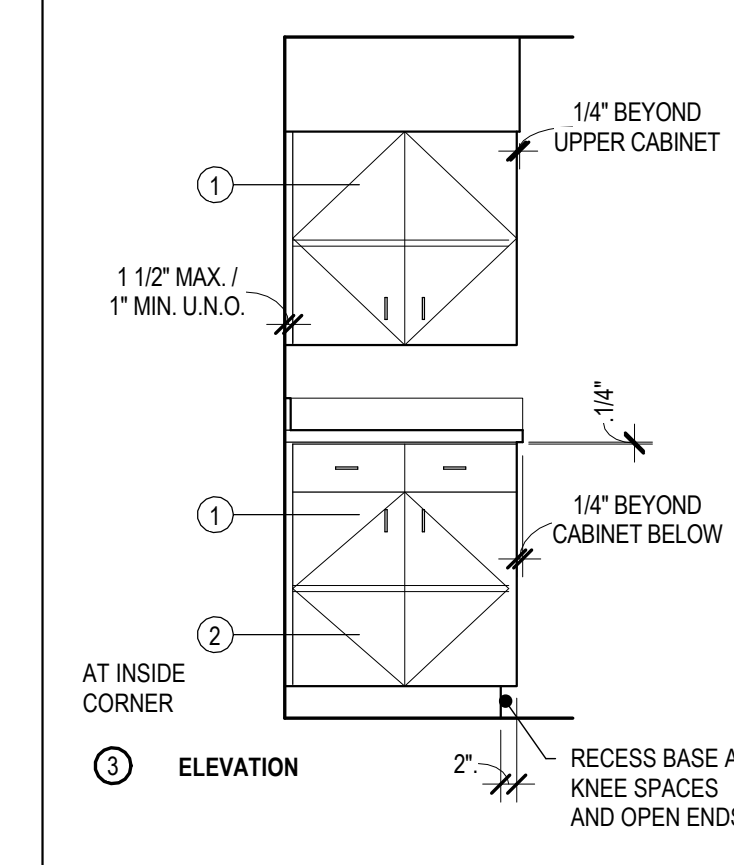
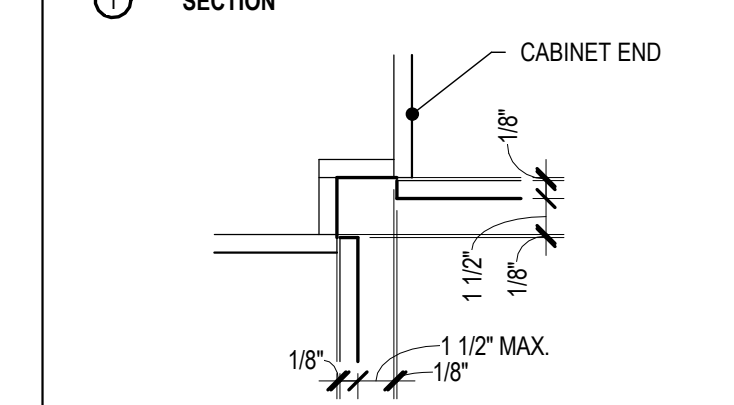
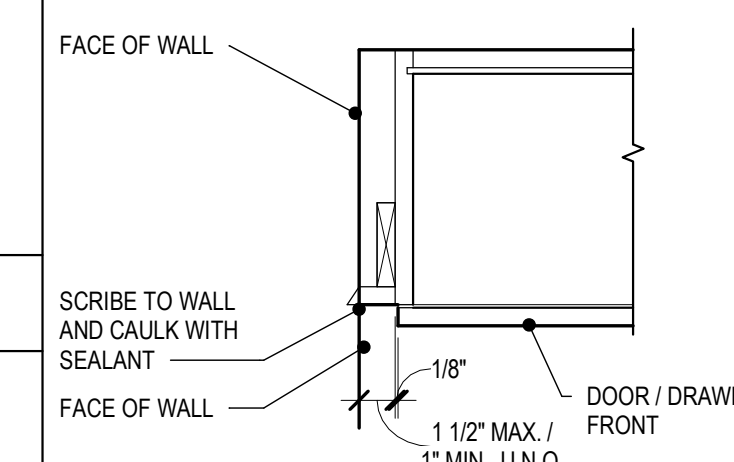
7 Typical Upper Millwork Section
 1/12" = 1'-0"



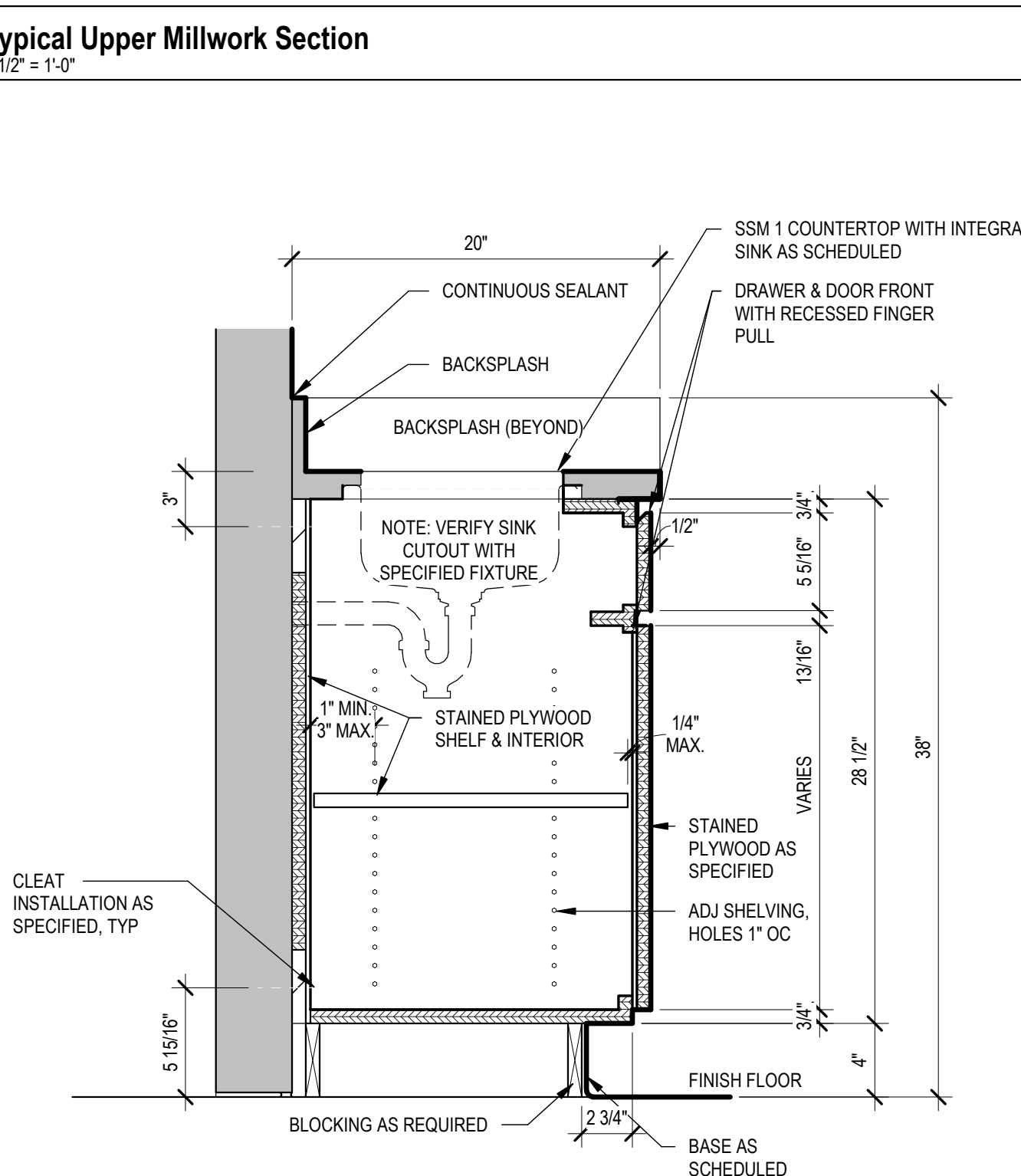
4 Typical Sink Cabinet Section
 1/12" = 1'-0"



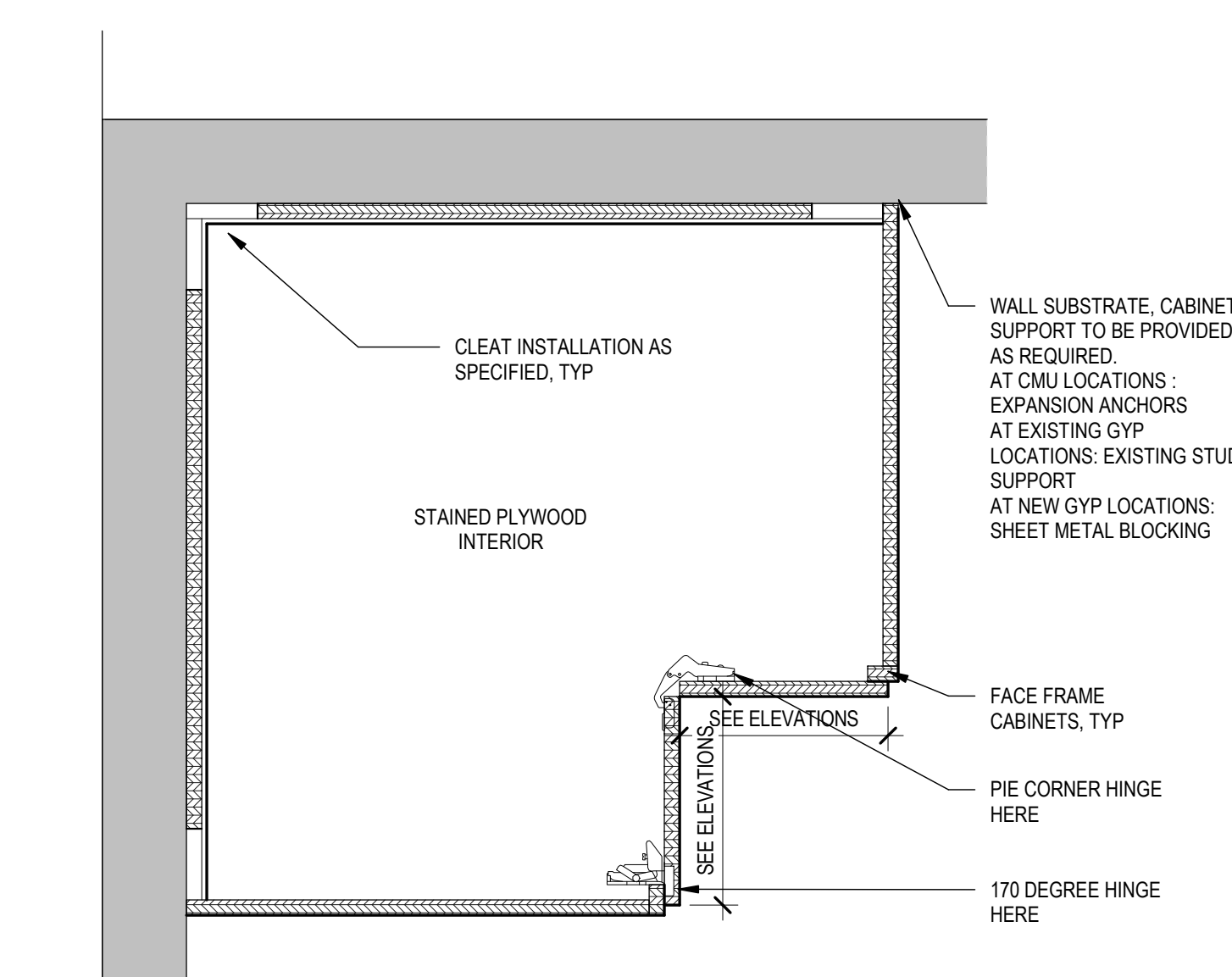
2 Typical Counter Edge Details
 6" = 1'-0"



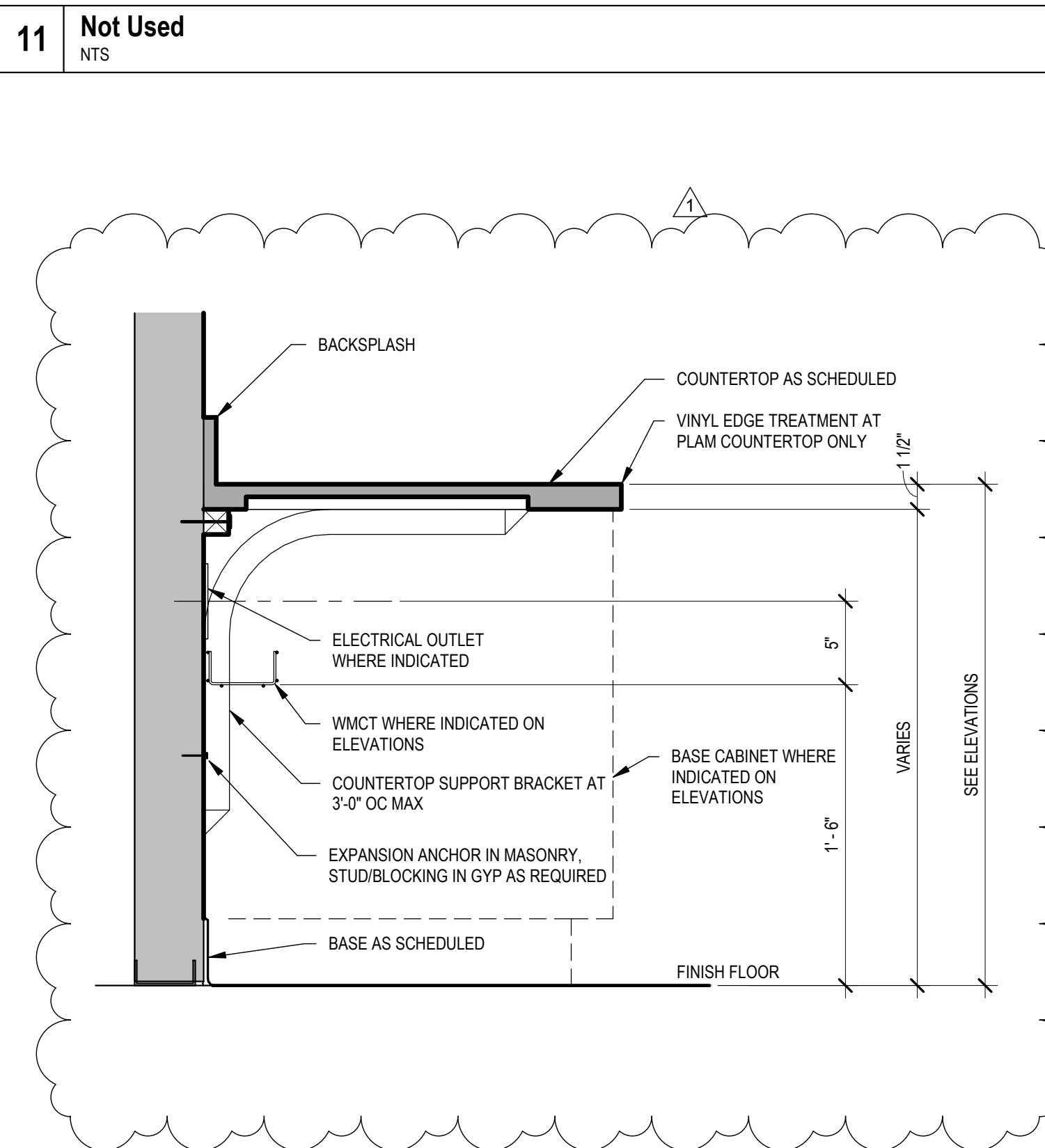
1 Typical Millwork Installation Details
 1/12" = 1'-0"



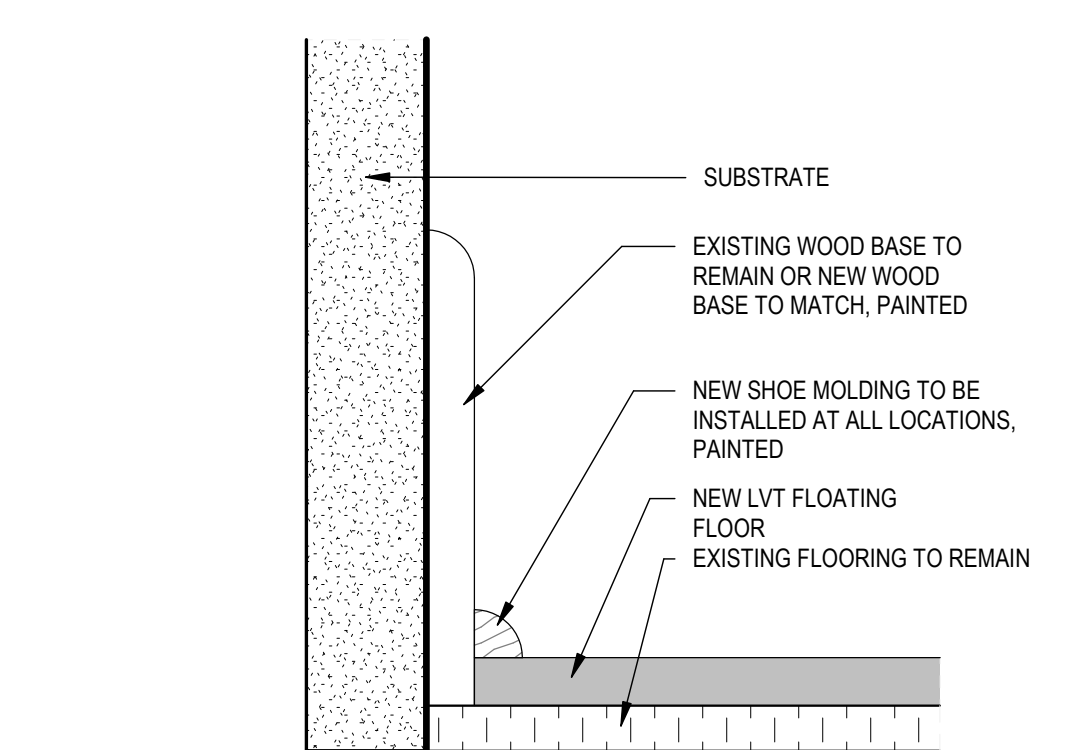
6 Typical Vanity Millwork Section
 1/12" = 1'-0"



3 Typical Millwork Corner
 1/12" = 1'-0"



10 Typical Countertop With Support Bracket
 1/12" = 1'-0"



9 Typical Wood Base Detail
 1/2" = 1'-0"

11 Not Used

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Project Phase: Construction Documents

Revisions		Issue Date: 04.08.2020
No.	Description	Date
1	City & Owner Comments	05.11.2020

Job Number: 19136.00
 Interior Details

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ROOM TO ROOM TRANSFER FAN SCHEDULE								
DRAWING SYMBOL	HL CFM	WATTS	AMPS	CONTROL	VOLTAGE	WEIGHT LBS	MANUFACTURER & MODEL NO.	NOTES
	100/40	40	0.75	MANUAL SWITCH	120/1	6	SUNGOURT TW208	1,2
ACCESSORIES AND FEATURES: 1. UL CERTIFIED. 2. THERMAL CUTOFF PROTECTION. ALTERNATE MANUFACTURERS: BROWN								
NOTE: TO BE INSTALLED IN RENOVATED APARTMENTS ONLY.								

AIR DISTRIBUTION SCHEDULE				
SYM.	SERVICE	DESCRIPTION	MATERIAL	ACCESSORIES & FEATURES
ED-1	ESSENTIAL EXHAUST GRILLE	FREE PATTERN	ALUMINUM CONSTRUCTION WITH WHITE SMOOTH ENAMEL FINISH	PRICE IS 160.00 1" MAX FACE VELOCITY -500 FPM
* SEE ARCHITECTURAL REFERENCED CEILING PLANS FOR MOUNTING TYPE REQUIRED. PROVIDE PLASTER FRAME FOR ALL AIR DEVICES LOCATED IN GYP. BOARD CEILINGS. * VERIFY THE MOUNTING OF ALL CEILING AIR DISTRIBUTION DEVICES COMPLY WITH BUILDING STRUCTURE PRIOR TO PURCHASE.				

HVAC LEGEND & SYMBOLS	
	A. RECTANGULAR DUCT: * MANUAL OPERATED BLADE DAMPER WITH LOCKING QUADRANT, LEVER OPERATOR, OF STEEL CONSTRUCTION * LOUVERS & DAMPERS MODEL CD-400; KRUEGER MODEL 880-DM TYPE 2 OPERATION FOR LESS THAN 10" WIDE.
	A. ROUND DUCT: * ROUND BLADE CONTROL DAMPER OF STEEL CONSTRUCTION WITH MANUAL OPERATOR * LOUVERS AND DAMPERS MODEL CD-600.
	RECTANGULAR ELBOW WITH SINGLE THICKNESS TURNING VANES OF STEEL CONSTRUCTION.
	CONSTRUCT ALL BRANCH CONNECTIONS WITH 45° FITTING PER SMACNA STANDARDS. DIMENSION: L = 1/4W, 4" MINIMUM
	SHEET METAL CONNECTORS, INC. HIGH EFFICIENCY TAKEOFF WITH DAMPER AND LOCKING QUADRANT FOR ROUND DUCT TAKEOFFS FROM RECTANGULAR DUCTWORK. INCREASE MAIN DUCT SIZE AT FITTING TO ACCOMMODATE ITS INSTALLATION IF REQUIRED TO MEET SMACNA AND MANUFACTURER'S INSTRUCTIONS. DIMENSION: D = RUNOUT DIAMETER (R*1/4")
	DUCT RISER
	DUCT DROP
	ROUND DUCT RISER
	ROUND DUCT DROP
	FLEXIBLE DUCT EQUAL TO FLEXMASTER TYPE 3 INSULATED FLEXIBLE DUCT WITH ALUMINUM FOIL JACKET AND ALUMINUM FOIL FIBERGLASS POLYESTER LAMINATE LINER. INSTALL IN ACCORDANCE WITH SECTION III OF SMACNA'S "HVAC DUCT CONSTRUCTION STANDARDS, METAL AND FLEXIBLE."
	EXHAUST DUCT
	EXISTING DUCT
	INDICATES NEW HVAC EQUIPMENT
	INDICATES EXISTING HVAC EQUIPMENT
	DUCT TRANSITION
	EXHAUST GRILLE OR EXHAUST FAN (REFER TO DRAWINGS FOR CLARIFICATION)
	EXISTING EXHAUST GRILLE OR EXHAUST FAN (REFER TO DRAWINGS FOR CLARIFICATION)

GENERAL NOTES:	
1.	CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATION OF H.V.A.C. COMPONENTS OR PURCHASE OF EQUIPMENT.
2.	CONTRACTOR SHALL COORDINATE ALL OTHER TRADES WITH THE INSTALLATION OF H.V.A.C. SYSTEM.
3.	H.V.A.C. LEGEND MAY CONTAIN SYMBOLS AND ABBREVIATIONS NOT USED ON THIS SPECIFIC PROJECT. LEGEND SHALL BE USED FOR REFERENCE PURPOSES.
4.	CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE H.V.A.C. SYSTEM AS IT RELATES TO DRAWINGS AND SPECIFICATIONS.
5.	CONTRACTOR IS REQUIRED TO REVIEW ARCHITECTURAL PLANS FOR HIDDEN ASSEMBLIES. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF FIRE AND/OR SMOKE DAMPERS IN ACCORDANCE WITH THE SPECIFICATIONS AND APPLICABLE BUILDING CODES.
6.	* STANDARD ACCESSORIES OR CONTROLS ON H.V.A.C. EQUIPMENT SHALL BE THOSE WHICH MANUFACTURER PROVIDES ON THE MAJORITY OF STOCK MERCHANDISE.
7.	BRAND NAMES AND MODEL NUMBERS ARE PROVIDED TO ESTABLISH A LEVEL OF QUALITY AND PERFORMANCE. EQUAL TO ITEMS MAY BE SUBMITTED FOR CONSIDERATION BY THE ENGINEER AND OWNER.
8.	THE DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATE THE APPROXIMATE ROUTING OF PIPING AND DUCTWORK. CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES. MINOR OFFSETS AND ADJUSTMENTS SHALL BE PROVIDED WHERE REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
9.	COORDINATE CEILING OFFISERS AND REGISTER LOCATIONS WITH ARCHITECT'S REFLECTED CEILING PLAN.
HVAC NOTES:	
1.	THE CONTRACTOR IS RESPONSIBLE TO PROVIDE SUPPLY, RETURN AND EXHAUST DUCT AS FOLLOWS: DUCTWORK TO BE DESIGNED, BRACED, AND SUPPORTED IN ACCORDANCE WITH SMACNA FOR LOW PRESSURE APPLICATIONS. SEAL CLASS C PER SMACNA HVAC DUCT CONSTRUCTION STANDARDS. METAL AND FLEXIBLE DUCTWORK FLEXIBLE DUCT (MAX. 5') SMACNA 90. SINGLE WIRE HANGERS SHALL NOT BE ALLOWED FOR FLEXIBLE DUCTWORK SUPPORT. FLEXIBLE DUCTWORK SHALL BE SUPPORTED IN A MANNER THAT PREVENTS CONSTRUCTION OR OPS. INSULATION SHALL AS NOTED BELOW.
2.	ALL DUCT ELBOWS SHALL BE 15 R/O, UNLESS NOTED OTHERWISE.
3.	MANUAL OPERATED BLADE DAMPERS SHALL BE PLACED IN EACH BRANCH OF SUPPLY DUCTWORK FOR FINAL BALANCING PURPOSES. BALANCING DEVICES SHALL BE IN ACCORDANCE WITH IMC 2019, 603.18.
4.	CONTRACTOR SHALL FIELD VERIFY ALL DUCT ROUTING DIMENSIONS AND TERMINAL DEVICES TO AVOID INTERFERENCES. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SUPPORTS FOR PIPING AND DUCTWORK.
5.	CONDENSATE DRAIN PIPING SHALL BE FULL SIZE PER EQUIPMENT CONNECTION WITH PVC ROUTED TO INDIRECT CONNECTION WITHOUT CREATING AN OBSTRUCTION. ALL SUPPORTS FOR THE CONDENSATE DRAIN PIPING IS BY THE MECHANICAL HVAC CONTRACTOR.
6.	THE MECHANICAL SYSTEMS SHALL HAVE TESTING AND BALANCING PERFORMED BY THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF THE SYSTEMS. THE CONTRACTOR SHALL PREPARE AND SUBMIT A COMPLETE REPORT IDENTIFYING ALL MAJOR PIECES OF HVAC EQUIPMENT AND AIR DISTRIBUTION DEVICES WITH PERFORMANCE AND FINAL AIR BALANCE OF EACH. SUBMITTAL SHALL BE PRESENTED TO THE ENGINEER AND BUILDING OWNER OR TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL. KITCHEN HOOD AND FANS TO BE BALANCED BY ITS SUPPLIER. BOTH PROCEDURES ARE TO BE DONE AT THE SAME TIME AND TO BE COORDINATED TO OBTAIN DESIRABLE RESULTS.
7.	PROVIDE MINIMUM 10 FEET SEPARATION BETWEEN OUTSIDE AIR INTAKES AND EXHAUST VENTS, PLUMBING VENTS, ETC.
8.	PROVIDE SMOKE DETECTORS IN THE SUPPLY AND RETURN AIR DUCTS OF ALL UNITS 2000 CFM AND OVER. LOCATE DETECTOR IN THE RETURN AIR DUCT, UPSTREAM OF FRESH AIR INTAKE, AND UPSTREAM OF EXHAUST IN ACCORDANCE WITH IMC 606.1. LOCATE DETECTOR IN THE SUPPLY AIR DUCT DOWNSTREAM OF THE FILTERS AND UPSTREAM OF THE FIRST BRANCH CONNECTION IN ACCORDANCE WITH NFPA 96A. DETECTORS SHALL BE WIRED INTO BUILDING FIRE ALARM SYSTEM AND SHALL BE WIRED TO SHUT UNITS DOWN UPON DETECTION OF SMOKE.
9.	THERMOSTATS SHALL BE MOUNTED 48" ABOVE FINISHED FLOOR UNLESS INDICATED OTHERWISE.
10.	PROVIDE ACCESS DOOR (12X12" MIN) AS REQUIRED FOR DAMPER AND CONTROL ACCESS IN WALLS AND CEILINGS.
DUCT SEALING:	
1.	PRESSURE SENSITIVE TAPE USED AS THE PRIMARY SEALANT IS CERTIFIED AND SHALL COMPLY WITH UL-181A OR UL-181B.
2.	PROVIDE LONGITUDINAL SEAMS ON RIGID DUCT AND TRANSVERSE SEAMS ON ALL DUCTS.
3.	PROVIDE MECHANICAL FASTENERS AND SEALANTS SHALL BE USED TO CONNECT DUCTS AND AIR DISTRIBUTION DEVICES.
INSULATION:	
1.	DUCTWORK SHALL BE INSULATED IN ACCORDANCE WITH THE FOLLOWING:
A.	NO INSULATION FOR EXHAUST DUCTWORK.
B.	ALL OTHER DUCTWORK PROVIDE 2" FIBERGLASS BLANKET TYPE INSULATION WITH FOIL VAPOR BARRIER COVER IN ACCORDANCE WITH SMACNA HVAC DUCT CONSTRUCTION STANDARDS.
C.	INSULATION FOR KITCHEN HOOD EXHAUST DUCTWORK SHALL BE 3M FLEXMASTER DUCTWRAP (MIN. 2 HR. FIRE RESISTANCE RATING) OR APPROVED EQUAL.
PENETRATIONS:	
1.	SLEEVES SHALL BE INSTALLED WHERE DUCTS, LOUVERS, OR PIPING PENETRATE NON-RATED EXTERIOR WALLS, PARTITIONS, FLOORS, OR ROOF. PACK AROUND SLEEVES AND SEAL WEATHER TIGHT. INSTALL FLASHING AS REQUIRED. SLEEVES SHALL BE MINIMUM #6 GAUGE GALVANIZED STEEL AND SHALL BE FIRMLY SET IN BUILDING STRUCTURE.
SUBMITTALS AND ACCEPTANCE:	
1.	UNLESS OTHERWISE INSTRUCTED, THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF HVAC SHOP DRAWINGS TO THE PROJECT MANAGER WHO SHALL THEN RELAY THEM TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE PURCHASE OF EQUIPMENT.
2.	OPERATION AND MAINTENANCE MANUALS FOR ALL MECHANICAL EQUIPMENT SHALL BE COMPILED INTO A THREE RING BINDER AND TURNED OVER TO BUILDING OWNER UPON PROJECT COMPLETION.

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No.	Description	Date

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HVAC NOTES, LEGEND, SCHEDULES AND DETAILS

M0.1



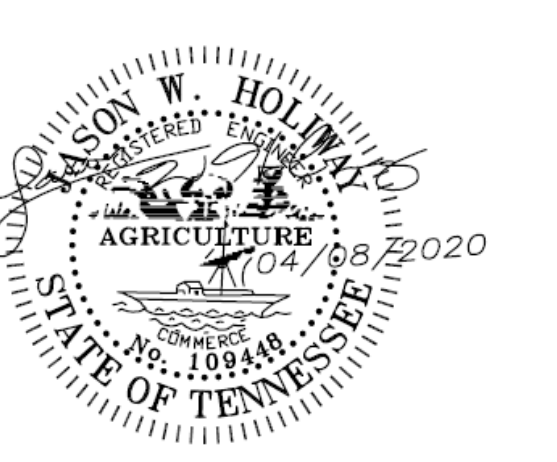
1 1st FLOOR BUILDING A HVAC
1/8" = 1'-0"
GENERAL NOTE:
REPLACE ALL EXISTING EXHAUST GRILLES IN RESTROOM CEILINGS WITH NEW
EQUAL TO PRICE MODEL 80.12x12.

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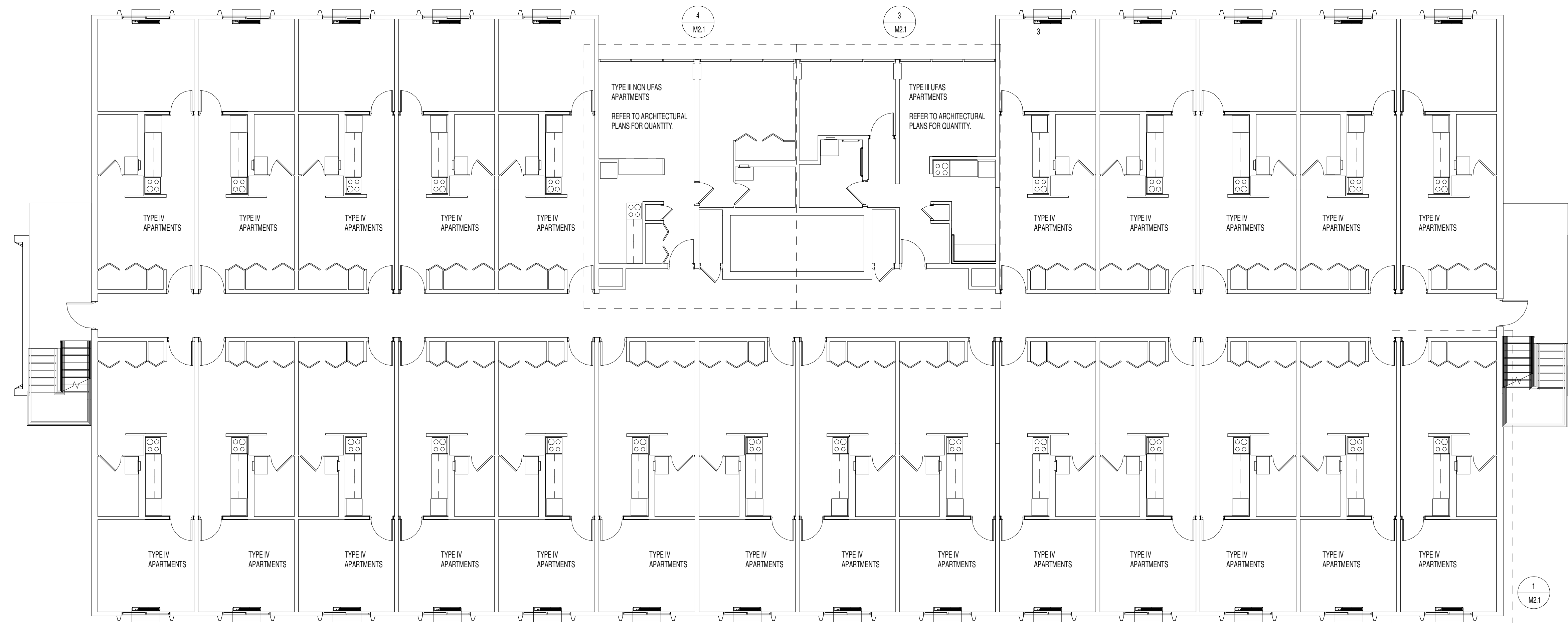
Project Phase: Construction Document

Issue Date: 4/28/20

No.	Description	Date

Job Number: 19136.00
BUILDING A & B - FIRST
FLOOR HVAC PLANS

M1.1



② TYPICAL HVAC FLOOR PLAN (2ND THRU 6TH) BUILDINGS A & B
1/8" = 1'-0"

GENERAL NOTES:
1. REPLACE ALL EXISTING EXHAUST GRILLES IN RESTROOM CEILINGS WITH NEW EQUAL TO TYPE INDEX 99.12412
2. FLOOR PLAN SHOWS ONE TYPE II UFAS AND ONE TYPE II NON-UFAS APARTMENT. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS AND QUANTITIES FOR EACH.

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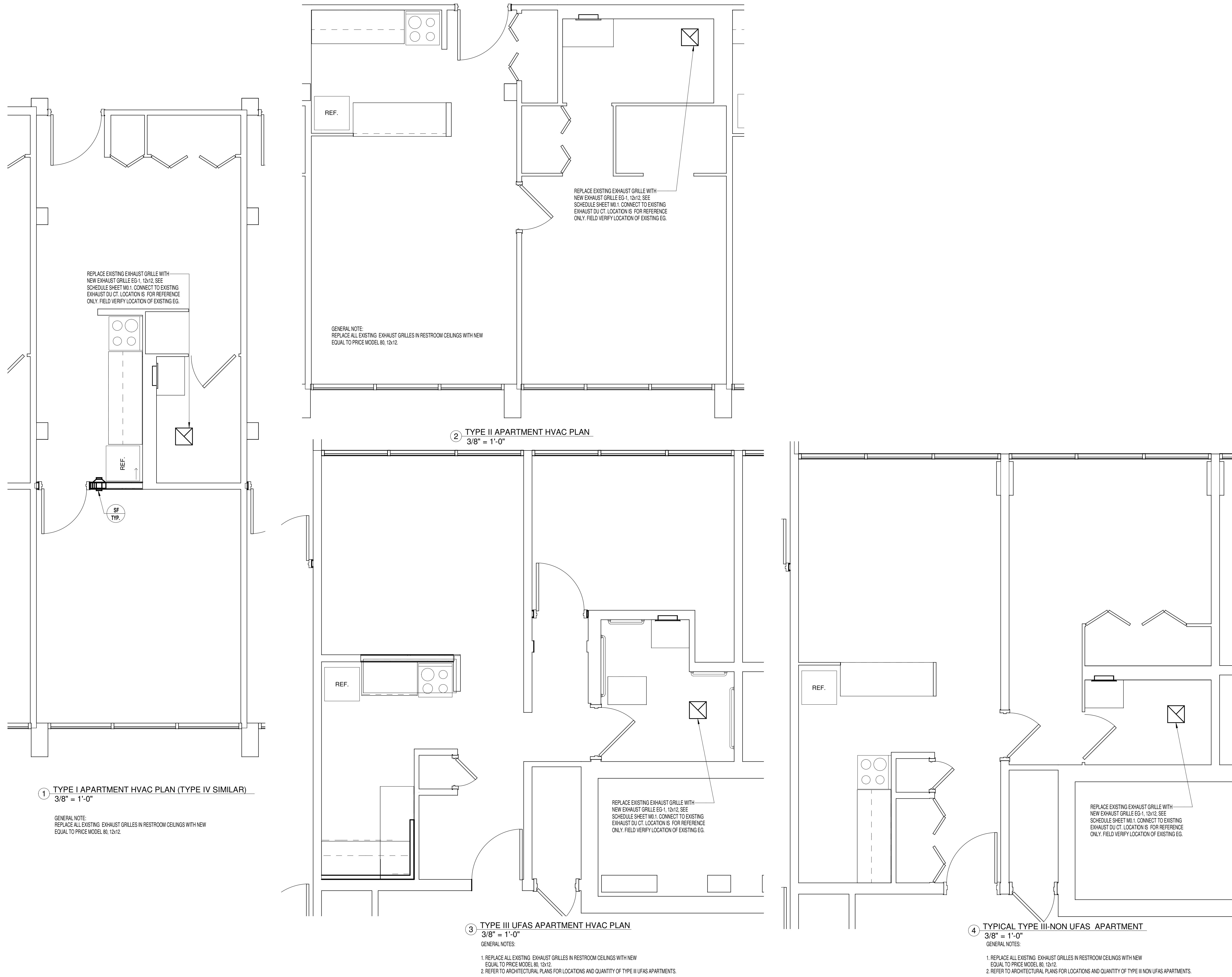


Project Phase: Construction Document

Issue Date: 04/28/20

No.	Description	Date

Job Number: 19136.00
TYPICAL HVAC FLOOR PLAN (2ND THRU 6TH) BUILDINGS A & B
M1.2



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TYPICAL APARTMENTS - HVAC

M2.1



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PLUMBING NOTES
LEGENDS & SCHEDULES

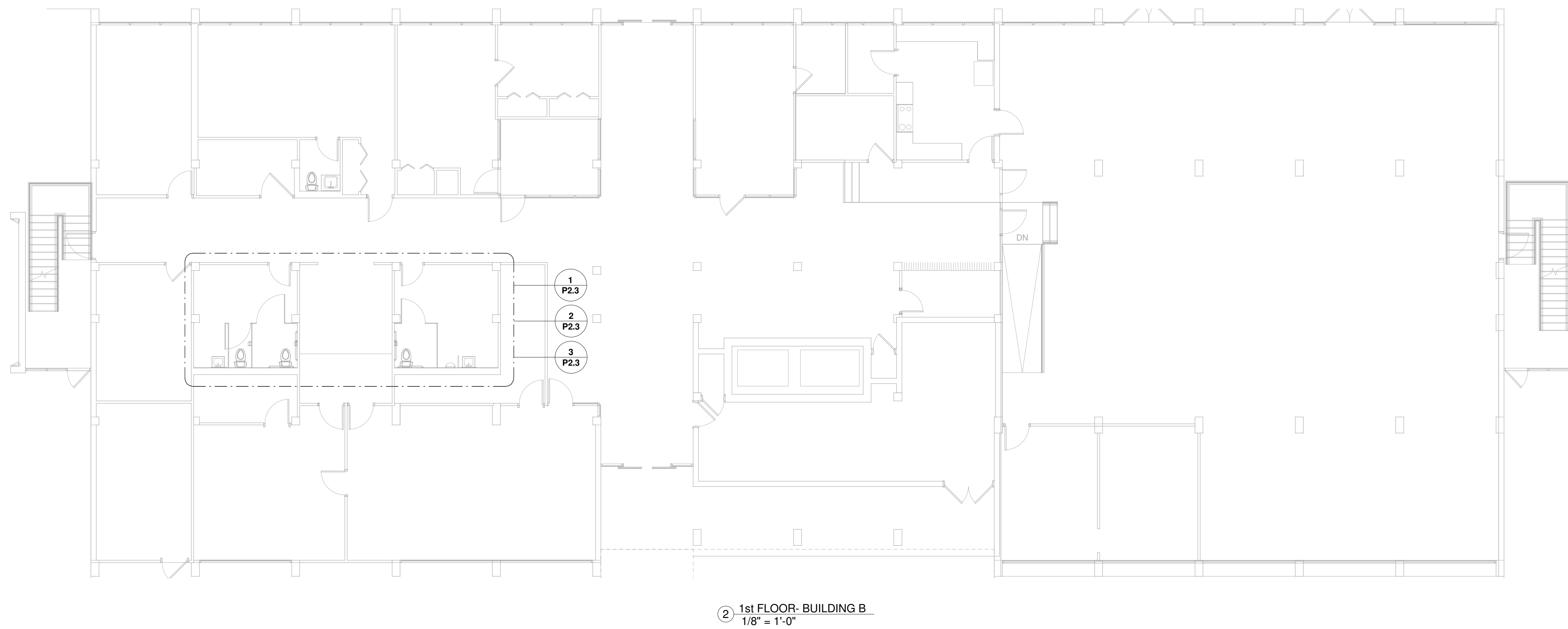
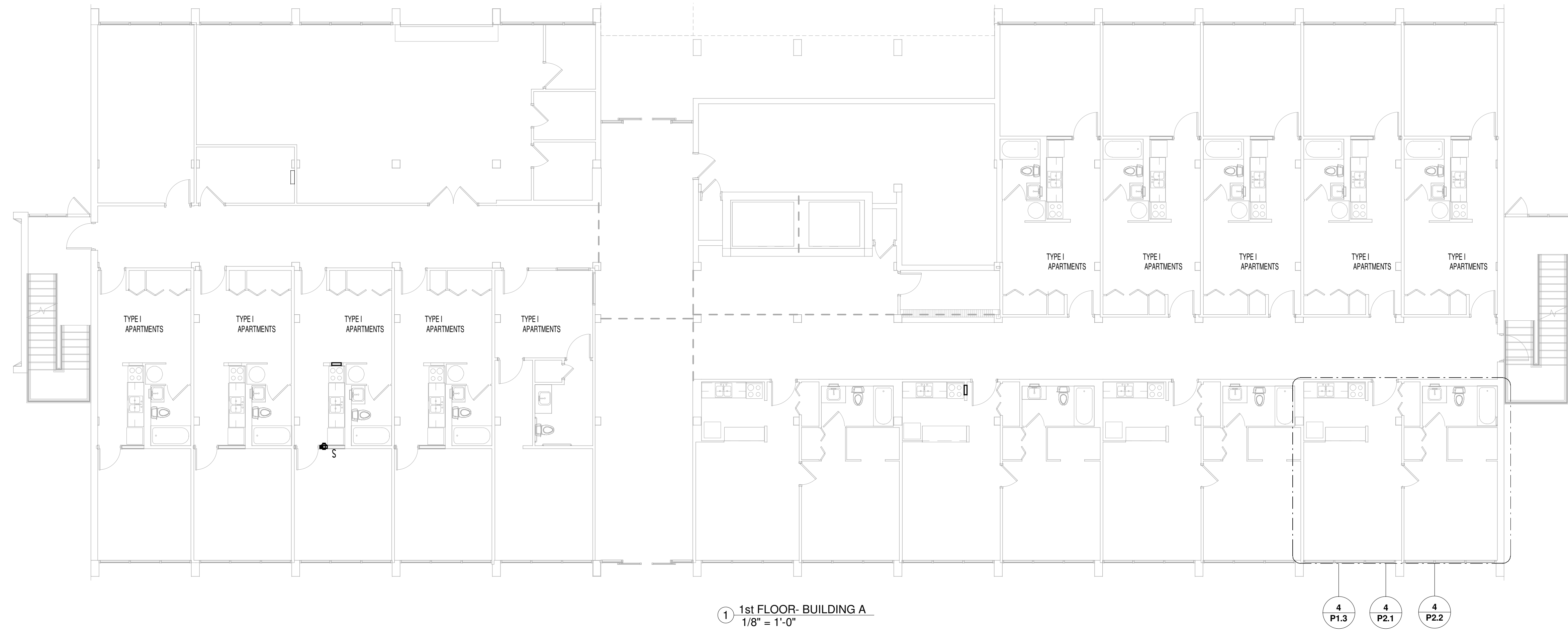
PLUMBING FIXTURE SCHEDULE					
DESIGNATION	FIXTURE TYPE	MANUFACTURER	MODEL#	DESCRIPTION	NOTES
L1	SINK FAUCET DRAIN TRAP SUPPLIES CARRIER CONNECTION SIZES	REFER TO ARCH TBS BRASS	SS-3003 6-2710-9F03	30" W. INTEGRAL TO COUNTER TOP PROVIDED BY GC. SINGLE LEVER CHROME PLATED FACET - STANDARD, 3 GPM FLOW. GROUND STRAINER W/ 1/2" TALLFACE. 1/2" CAST BRASS P-TWAP W/ C.O. PLUG. ANGLE SUPPLIES W/ LOOSE KEYS. CONCEALED ARM SUPPORT. WASTE 1/2" VENT 1/2" HX3CM 1/2"	
L2	SINK FAUCET DRAIN TRAP SUPPLIES CARRIER CONNECTION SIZES	SLOAN TBS BRASS	SS-3003 6-2710-9F03	30" W. INTEGRAL CHINA MULL HUNG W/ BACKPLASH - SINGLE HOLE SINGLE LEVER CHROME PLATED FACET - STANDARD, 3 GPM FLOW. GROUND STRAINER W/ 1/2" TALLFACE. 1/2" CAST BRASS P-TWAP W/ C.O. PLUG. ANGLE SUPPLIES W/ LOOSE KEYS. CONCEALED ARM SUPPORT. WASTE 1/2" VENT 1/2" HX3CM 1/2"	
L3	SINK ADA FAUCET DRAIN TRAP SUPPLIES CARRIER INSTALLATION KIT CONNECTION SIZES	SLOAN TBS BRASS	SS-3004 6-2710-9F03	30" W. INTEGRAL CHINA MULL HUNG W/ WHEELCHAIR - 4" CENTERSET SINGLE LEVER CHROME PLATED FACET - STANDARD, 3 GPM FLOW. GROUND STRAINER W/ 1/2" TALLFACE. 1/2" CAST BRASS P-TWAP W/ C.O. PLUG. ANGLE SUPPLIES W/ LOOSE KEYS. CONCEALED ARM SUPPORT. HAND-GUARD, MOLDED CLOSED CELL WING INSULATION. WASTE 1/2" VENT 1/2" HX3CM 1/2"	
K10	SINK FAUCET DRAIN P-TWAP CONTINUOUS WASTE SUPPLIES CONNECTION SIZES	DAYTON ZURN	06E1332 2870-AL 2870-AL 2870-PC 2870-PC 2884-AL-GR-0-PC	DOUBLE COMPARTMENT, 8 GAUGE STAINLESS STEEL 33 X 22 X 8-1/8" DROP-IN ADA DEPTH KITCHEN SINK. 8" CAST BRASS SPOUT, CERAMIC DIX CARTRIDGE AND METAL SINGLE LEVER HANDLE. HEAVY DUTY BASKET STRAINER WITH CAST BRASS LOCK AND COUPLING NUT. 1/2" CAST BRASS IF GAUGE P-TWAP WITH CLEANOUT. 1/2" OF GAUGE CONTINUOUS WASTE END OUTLET WITH CAST BRASS TEE. 1/2" X 3/8" COPP A COPP LAMINATE SUPPLY KIT WITH ESCUTCHEONS. 1/4" TURN CHROME PLATED STOPS AND CHROME PLATED COPPER TUBE SUPPLY LINES. ON 1/2" AM 1/2" WASTE 1/2" VENT 1/2"	
K12	SINK ADA FAUCET DRAIN P-TWAP CONTINUOUS WASTE SUPPLIES CONNECTION SIZES	DAYTON ZURN	06E1332 2870-AL 2870-AL 2870-PC 2870-PC 2884-AL-GR-0-PC	DOUBLE COMPARTMENT, 8 GAUGE STAINLESS STEEL 33 X 22 X 8-1/8" DROP-IN ADA DEPTH KITCHEN SINK. 8" CAST BRASS SPOUT, CERAMIC DIX CARTRIDGE. TWO 2" METAL HANDLES. HEAVY DUTY BASKET STRAINER WITH CAST BRASS LOCK AND COUPLING NUT. 1/2" CAST BRASS IF GAUGE P-TWAP WITH CLEANOUT. 1/2" OF GAUGE CONTINUOUS WASTE END OUTLET WITH CAST BRASS TEE. 1/2" X 3/8" COPP A COPP LAMINATE SUPPLY KIT WITH ESCUTCHEONS. 1/4" TURN CHROME PLATED STOPS AND CHROME PLATED COPPER TUBE SUPPLY LINES. ON 1/2" AM 1/2" WASTE 1/2" VENT 1/2"	INSTALL AS REQUIRED TO MEET ADA COMPLIANCE
M1	WATER CLOSET ADA SEAT SUPPLY CONNECTION SIZES	ZURN	Z955-4LWR04-K HT Z9555S-EL-STS 2884-AL-GR-0-PC	1/8" OFF FLOOR MOUNTED TANK TYPE HIGH PERFORMANCE 1000:1 MP RATING 2" FLUSH ACTION ADA HEIGHT WATER CLOSET WITH TANK LEVER TO BE DETERMINED BY OPEN AREA. 6" FLOOR TOY. 6" LIFT AND 1 1/2" TALL FLUSH TRIM. ELONGATED WHITE OPEN FRONT TOILET SEAT. LESS COVER WITH SELF SUSTAINING STAINLESS STEEL CHECK WING. 1/2" X 3/8" SUPPLY KIT COMPLETE WITH QUARTER TURN STOP, CHROME PLATED COPPER TUBE SUPPLY AND ESCUTCHEON. ON 1/2" WASTE 1/2" VENT 2"	
S1	SHOWER VALVE	LAUREL MOUNTAIN MEXEN	LM4203HSEF-LR 832	87304" WHITE ACRYLIC ADA COMPLIANT ROLL IN SHOWER (PRECIP L OR R FOR DRAIN LOCATION) COMMERCIAL FOLDED CHROME THREE FUNCTION SHOWER/HAND SHOWER SYSTEM. ADA 30" X 60" SHOWER PAN AND SHOWER. 1/4" FLEXIBLE METAL HOSE, ADA HAND SHOWER, 2.5 GPM. WASTE 2" VENT 1/4" HX3CM 1/2"	

- PLUMBING NOTES:**
- SANITARY WASTE AND VENT PIPING BOTH ABOVE AND BELOW GRADE SHALL BE SCHEDULE 40 PVC-DWV PLASTIC PIPE AND FITTINGS WITH SOLVENT WELD JOINTS. PLASTIC PIPING AND PIPING COMPONENTS SHALL BE LISTED AS CONFORMING WITH ANSIS/ASTM STD. 14 AND ASTM D 2868. CAST IRON WHERE INDICATED.
 - UNLESS INDICATED OTHERWISE ON DRAWINGS, INTERNAL WATER PIPING IS TO BE ROUTED IN CEILING SPACES, ATTICS, CRAWL SPACES AND IN AND BETWEEN WALL STUDS, ETC. (AS AND WHERE APPLICABLE) AND ON INSIDE OF INSULATED BUILDING ENVELOPE. THIS PIPING SHALL BE TYPE "C" COPPER AND INSTALLED IN ACCORDANCE WITH 2018 INTERNATIONAL PLUMBING CODE. TYPE "K" (REHAU) OR UPONOR PEX IS PERMISSIBLE UPON OWNERS APPROVAL ONLY ON WATER LINES 2" AND SMALLER. WHERE PEX IS USED COOLD AND HOT WATER MAINS SHALL BE TYPE L COPPER WITH BRANCH PIPING BEING PEX. WHERE PEX IS USED AS MAINS IN LEGS OF COPPER PIPING SHALL BE A PIPE SIZE LARGER THAN WHAT IS SHOWN ON PLANS.
 - ALL VENT PIPING TO PENETRATE ROOF A MINIMUM OF 12" ABOVE ROOF. FLASH AND SEAL TO ROOF WEATHERTIGHT. PAINT VENT PIPING ABOVE ROOF AND WITH 2 COATS EPOXY BASED PAINT. COLOR TO MATCH ROOF.
 - CONTRACTOR SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS WHICH MAY AFFECT WORK, INCLUDING VERIFICATION OF LOCATIONS AND RELATIONSHIP BETWEEN FIXTURES AND CONNECTIONS.
 - PIPING PLACED IN TRENCHES SHALL BE EMBEDDED IN 6" OF LOOSE AGGREGATE FILL, TAMP FILL MATERIAL ON EACH SIDE IN 6" LAYERS. ALL PIPING UNDER SLAB SHALL HAVE A MINIMUM 1" COVER FROM BOTTOM OF SLAB TO TOP OF PIPE AT HIGH POINT. PROTECT PIPING FROM BEING CRUSHED OR OTHERWISE CONSTRICTED.
 - EACH SINK, WATER CLOSET, ETC. SHALL HAVE SHUT OFF VALVES LOCATED AT THE FIXTURE.
 - THE PLUMBING SYSTEM IN ITS ENTIRETY SHALL NOT BE COVERED UNTIL IT HAS BEEN INSPECTED, TESTED, AND APPROVED BY THE OWNER.
 - PRIOR TO COVERING THE WATER SUPPLY SYSTEM, IT SHALL BE PRESSURE TESTED AND PROVED TIGHT UNDER A WATER PRESSURE NOT LESS THAN 20 P.S.I. ABOVE THE WORKING PRESSURE UNDER WHICH IT IS TO BE OPERATED. THIS TEST SHALL BE COMPLETED AND APPROVED IN THE PRESENCE OF THE OWNER.
 - ALL SOLDERED JOINTS SHALL BE CLEANED BRIGHT AND ALL BURRS SHALL BE REMOVED AND THE SHALL BE RETURNED TO FULL BORE.
 - ALL SOLDER AND FILL USED IN THE INSTALLATION OR REPAIR OF THE WATER SUPPLY OR DISTRIBUTION SYSTEM SHALL BE LEAD FREE.
 - ALL SOLDERED JOINT MATERIAL SUCH AS FITTINGS, SOLDER, TUBING SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.
 - ALL MATERIALS, METHODS, AND PRACTICES SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL PLUMBING CODE.
 - CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED FITTINGS TO CREATE A COMPLETE AND FUNCTIONAL PLUMBING SYSTEM. CONTRACTOR SHALL DETERMINE ANY FITTINGS REQUIRED FOR CONNECTION TO FIXTURES SPECIFIED.
 - PROVIDE REMOVABLE PVC COVERS ON ALL EXPOSED SUPPLY AND WASTE FITTINGS TO COMPLY WITH ANSI STD. A117.1 REQUIREMENTS.
 - CLEANOUTS:
 - INTERIOR FINISHED FLOOR AREAS (FOI) - LACQUERED CAST IRON BODY WITH ANCHOR FLANGE, REVERSIBLE CLAMPING COLLAR, THREADED TOP ASSEMBLY AND ROUND GASKETED DEPRESSION COVER TO ACCEPT FLOOR FINISH.
 - INTERIOR FINISHED WALL AREAS (MCO) - LINE TYPE WITH LACQUERED CAST IRON BODY AND ROUND EPOXY COATED GASKET COVER, AND ROUND STAINLESS STEEL ACCESS COVER SECURED WITH MACHINE SCREW.
 - EXTERIOR SURFACED AREAS - ROUND CAST NICKEL BRONZE ACCESS FRAME AND NON-SKID COVER.
 - EXTERIOR UN-SURFACED AREAS - LINE TYPE WITH LACQUERED CAST IRON BODY AND ROUND EPOXY COATED GASKET COVER.
 - ALL HOT WATER PIPE ABOVE GRADE SHALL BE INSULATED WITH 1" THICK FIBERGLASS, LOW PRESSURE INSULATION WITH WHITE UNIVERSAL JACKET. ALL COLD WATER PIPE ABOVE GRADE SHALL BE INSULATED WITH 1/2" FIBERGLASS, LOW PRESSURE INSULATION WITH WHITE UNIVERSAL JACKET. ALL INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
 - ALL BALL CONTROL BALANCING VALVES WHICH ARE NOT READILY ACCESSIBLE VIA LAY IN CEILING OR OPEN TO SPACE SHALL BE PROVIDED WITH AN ACCESSIBLE LOOKING PANEL EQUAL TO MF618 TYPE CAD-FL ACCESS PANEL SHALL BE PAINTED TO MATCH CEILING OR WALL FINISH.
 - ALL CONDENSATE PIPING SHALL BE INSULATED WITH 1" THICK ARMAFLEX INSULATION WITH GLEUED JOINTS, OR 1 1/2" THICK FIBERGLASS INSULATION WITH VAPOR BARRIER MASTIC WRAP.
 - ALL HORIZONTAL PAN WATER PIPING ABOVE GRADE SHALL BE INSULATED WITH 1" THICK FIBERGLASS INSULATION WITH VAPOR BARRIER MASTIC WRAP.
 - PROVIDE VACUUM BREAKERS WHERE ANY THREADED CONNECTIONS ARE PRESENT ON WATER SUPPLY LINE.
 - WATER HAMMER ARRESTORS TO BE INSTALLED ON EQUIPMENT PER MANUFACTURER RECOMMENDATIONS.

PLUMBING LEGEND	
	COLD WATER SUPPLY
	HOT WATER SUPPLY
	HOT WATER RETURN
	HOT WATER SUPPLY - 140°
	HOT WATER RETURN - 140°
	SANITARY SEWER
	GREASE WASTE
	NATURAL GAS
	LIQUID PROPANE
	VENT LINE
	CONDENSATE
	RAINWATER PIPING
	NITROGEN
	NITROUS OXIDE
	OXYGEN
	VACUUM
	AIR
	FILTERED WATER
	POINT OF CONNECTION TO EXISTING PLUMBING
	FLOOR DRAIN
	FLOOR SINK
	ROOF DRAIN
	WATER CLOSET CONNECTION
	FLOOR/GRADE CLEAN-OUT
	WALL CLEAN-OUT
	FIXTURE CONNECTION
	HOSE BIBB
	WATER HAMMER ARRESTOR

PIPING SYMBOLS	
	THREE WAY VALVE
	BALL VALVE
	BUTTERFLY VALVE
	GATE VALVE
	CHECK VALVE
	GAS COCK PLUG VALVE
	GLOBE VALVE
	UNION
	CIRCUIT SETTER
	PRESSURE REGULATING VALVE
	PRESSURE RELIEF VALVE
	PIPE TURN DOWN
	PIPE TURN UP
	PIPE TEE DOWN
	PIPE TEE UP
	STRAINER
	CLEAN-OUT

ABBREVIATIONS	
BV	BALL VALVE
CV	CAST IRON
CO	CLEAN OUT
CON	CONDENSATE
CW	COLD WATER
CHK V	CHECK VALVE
EX	EXISTING
FD	FLOOR DRAIN
FS	FLOOR SINK
GW	GREASY WASTE
HS	HOSE BOW WALL W/DRM/T
HW	HOT WATER
HWS	HOT WATER SUPPLY
HWR	HOT WATER RETURN
PI	FIXTURE NUMBER (SEE SCHEDULE)
SS	SANITARY SEWER
VS	VENT STACK
VT	VENT LINE
VTR	VENT THROUGH ROOF
VB	VACUUM BREAKER
WH	WATER HEATER
WS	WASTE STACK



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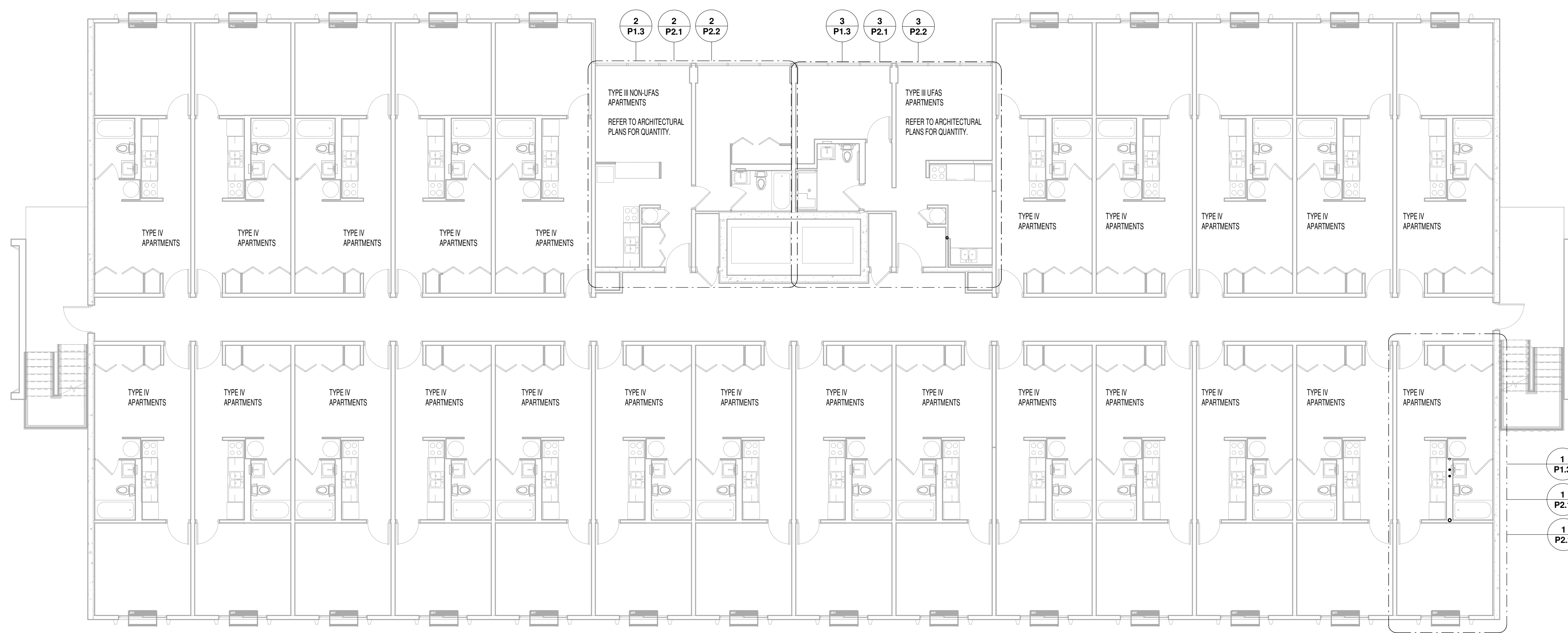
Job Number: 19136.00

BUILDING A & B - FIRST
FLOOR PLAN

P1.1

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1 TYPICAL FLOOR PLAN (2ND THRU 6TH) BUILDINGS A & B
1/8" = 1'-0"

Date: 4/20/20, 3:31:00 PM
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Checked By: JWH
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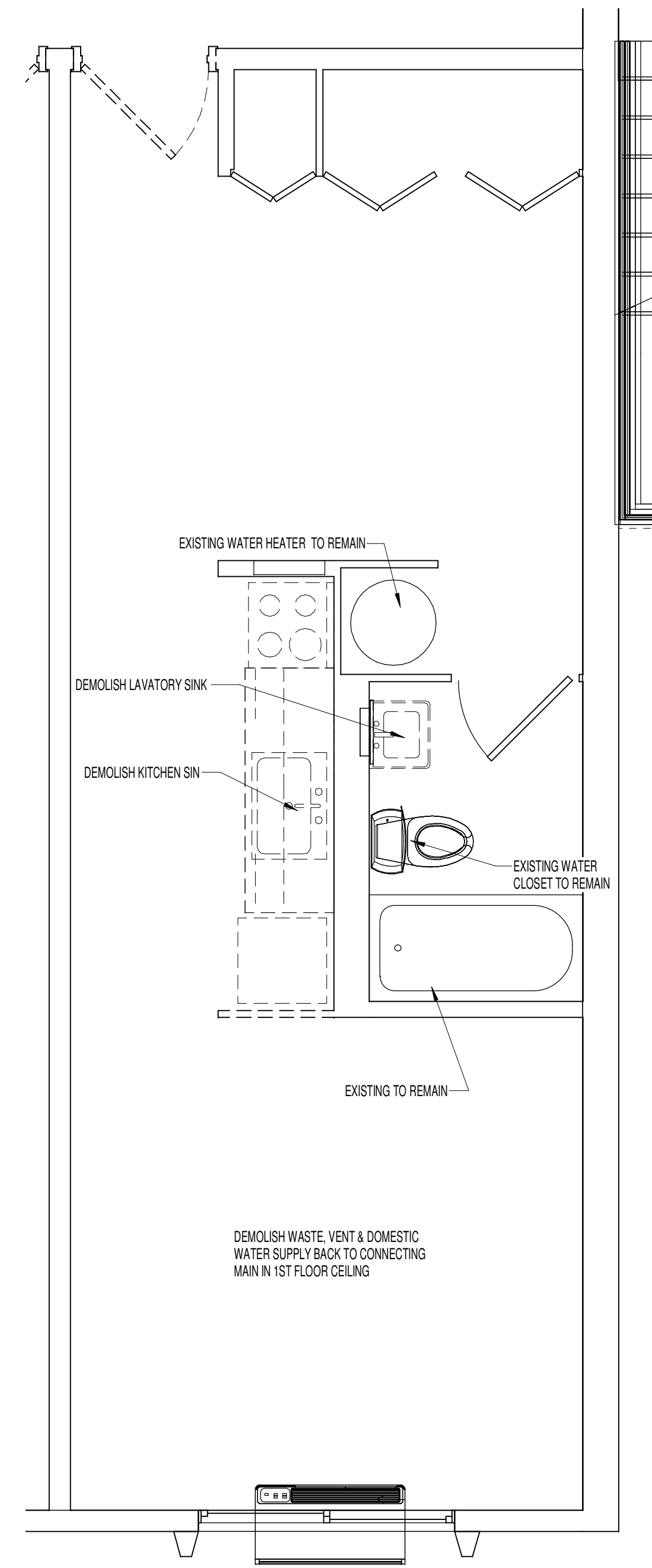


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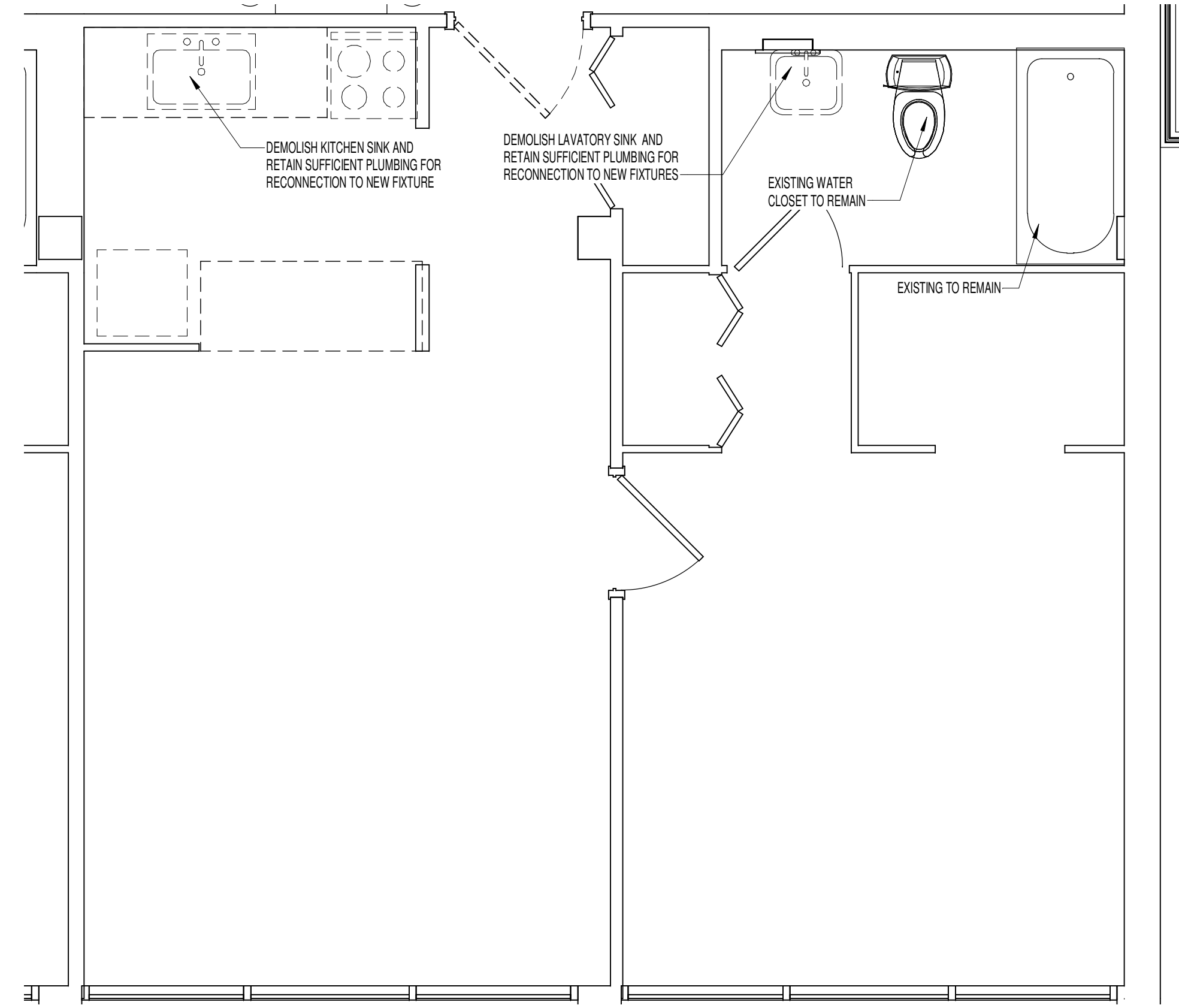
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TYPICAL FLOOR PLAN
(2ND THRU 6TH)
BUILDINGS A & B
P1.2

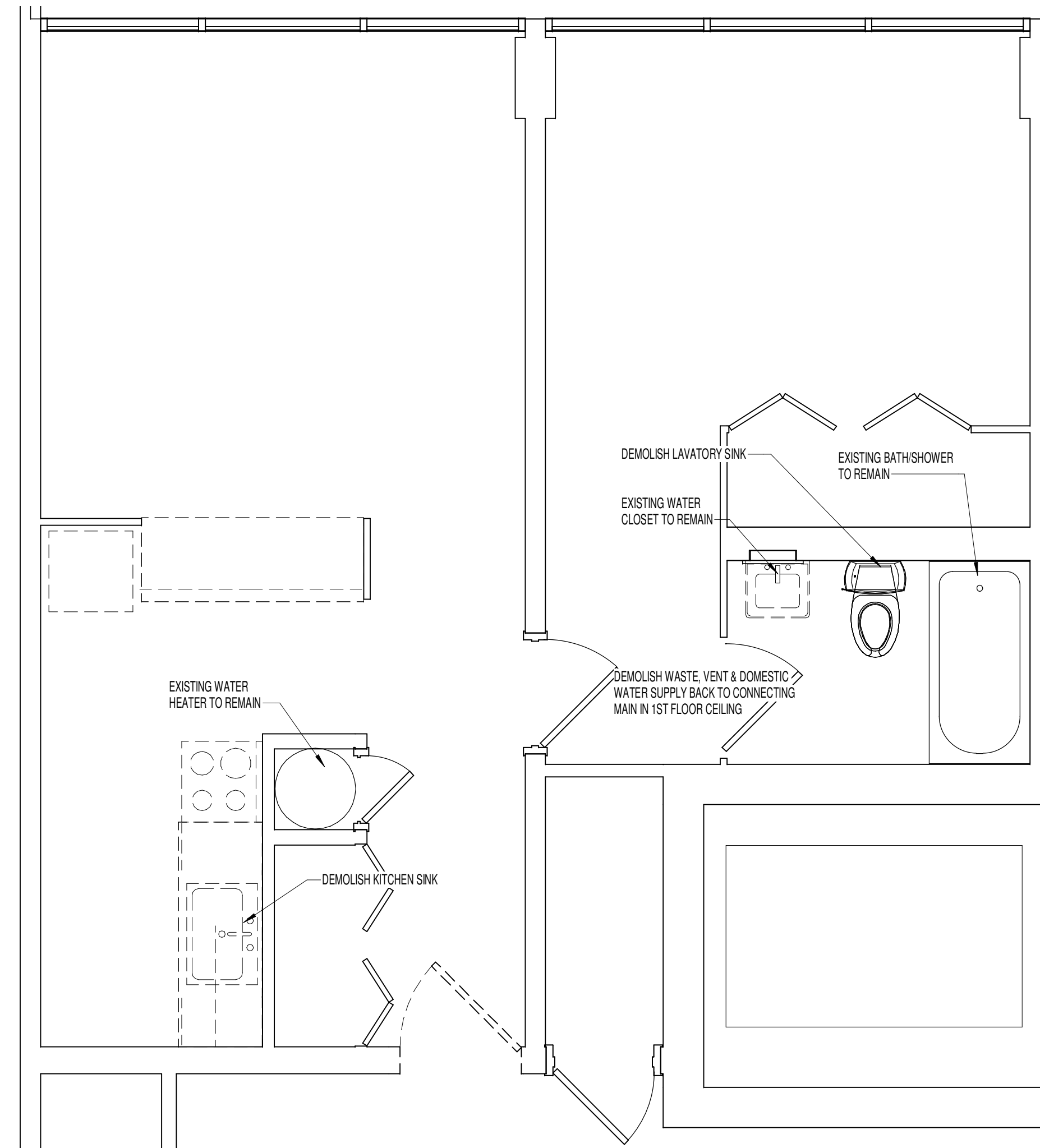


1 TYPE IV APARTMENT DEMOLITION PLAN (TYPE I SIMILAR)
3/8" = 1'-0"

NOTE: TYPE I UNIT - DEMO FIXTURES ONLY
NOTE: DUCT ALTERNATE - SANITARY WASTE AND VENT RISERS AND WATER SUPPLY RISERS. PIPE REPLACEMENT ENDS WITHIN CHASE. REFER TO GENERAL SPECIFICATIONS FOR FIXTURE REPLACEMENT AND PIPING REQUIRED FOR REPLACEMENT TO REMAIN IN BASE BID.

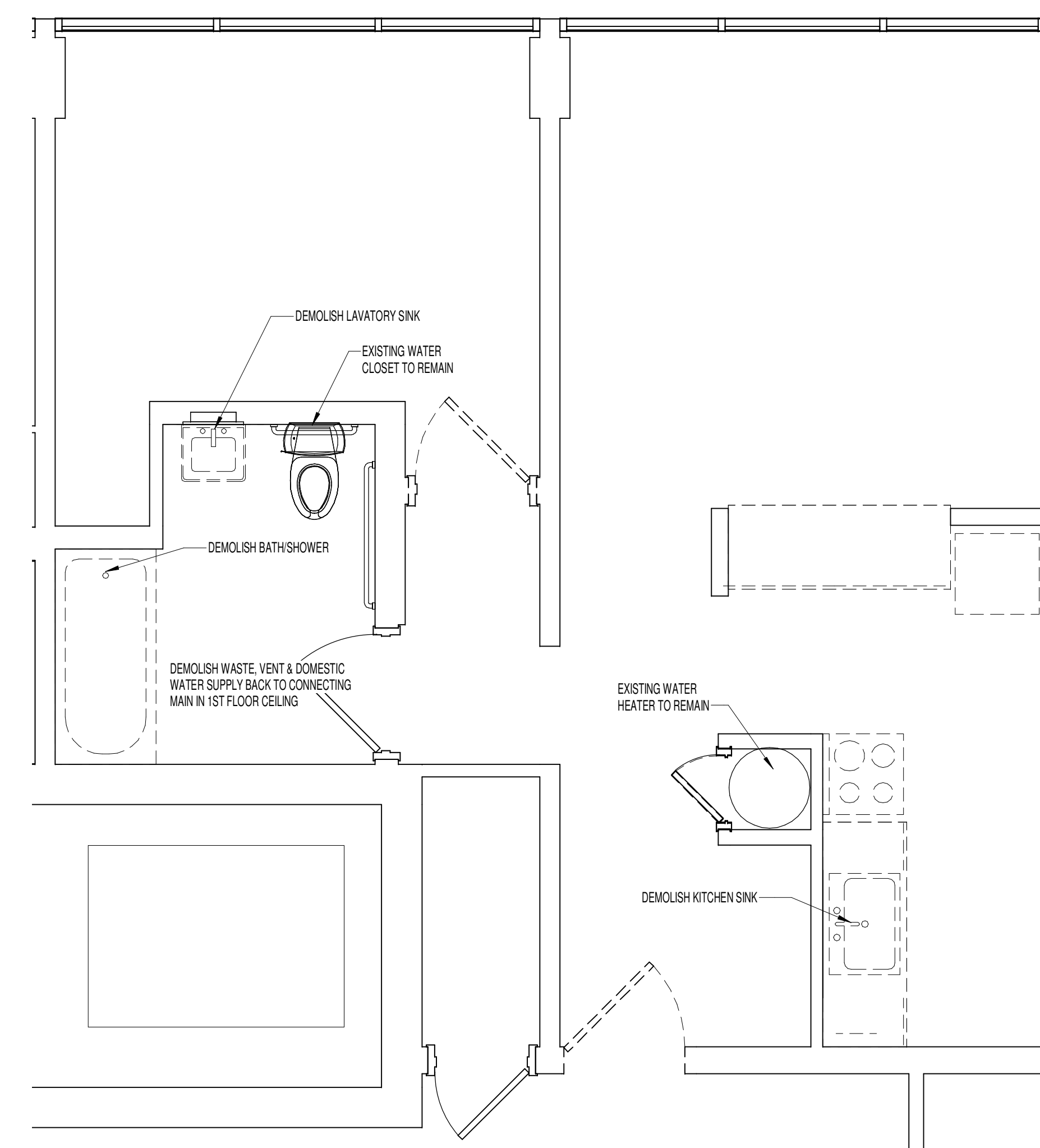


4 TYPE II APARTMENT DEMOLITION PLAN
3/8" = 1'-0"



2 TYPE III APARTMENT DEMOLITION PLAN
3/8" = 1'-0"

NOTE: DUCT ALTERNATE - SANITARY WASTE AND VENT RISERS AND WATER SUPPLY RISERS. PIPE REPLACEMENT ENDS WITHIN CHASE. REFER TO GENERAL SPECIFICATIONS FOR FIXTURE REPLACEMENT AND PIPING REQUIRED FOR REPLACEMENT TO REMAIN IN BASE BID.



3 TYPE III USAF APARTMENT DEMOLITION PLAN
3/8" = 1'-0"

NOTE: DUCT ALTERNATE - SANITARY WASTE AND VENT RISERS AND WATER SUPPLY RISERS. PIPE REPLACEMENT ENDS WITHIN CHASE. REFER TO GENERAL SPECIFICATIONS FOR FIXTURE REPLACEMENT AND PIPING REQUIRED FOR REPLACEMENT TO REMAIN IN BASE BID.

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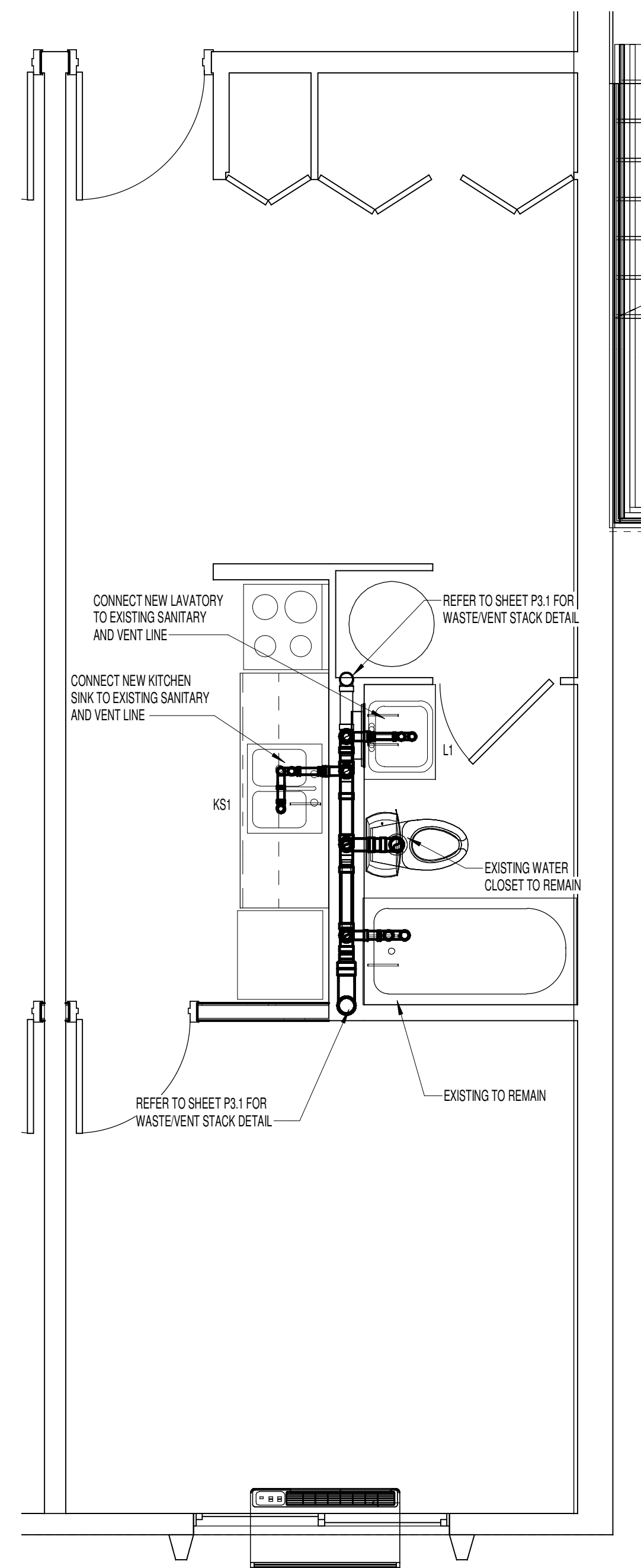
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No.	Description	Date

Job Number: 19136.00

ENLARGED DEMOLITION
- TYPICAL APARTMENTS

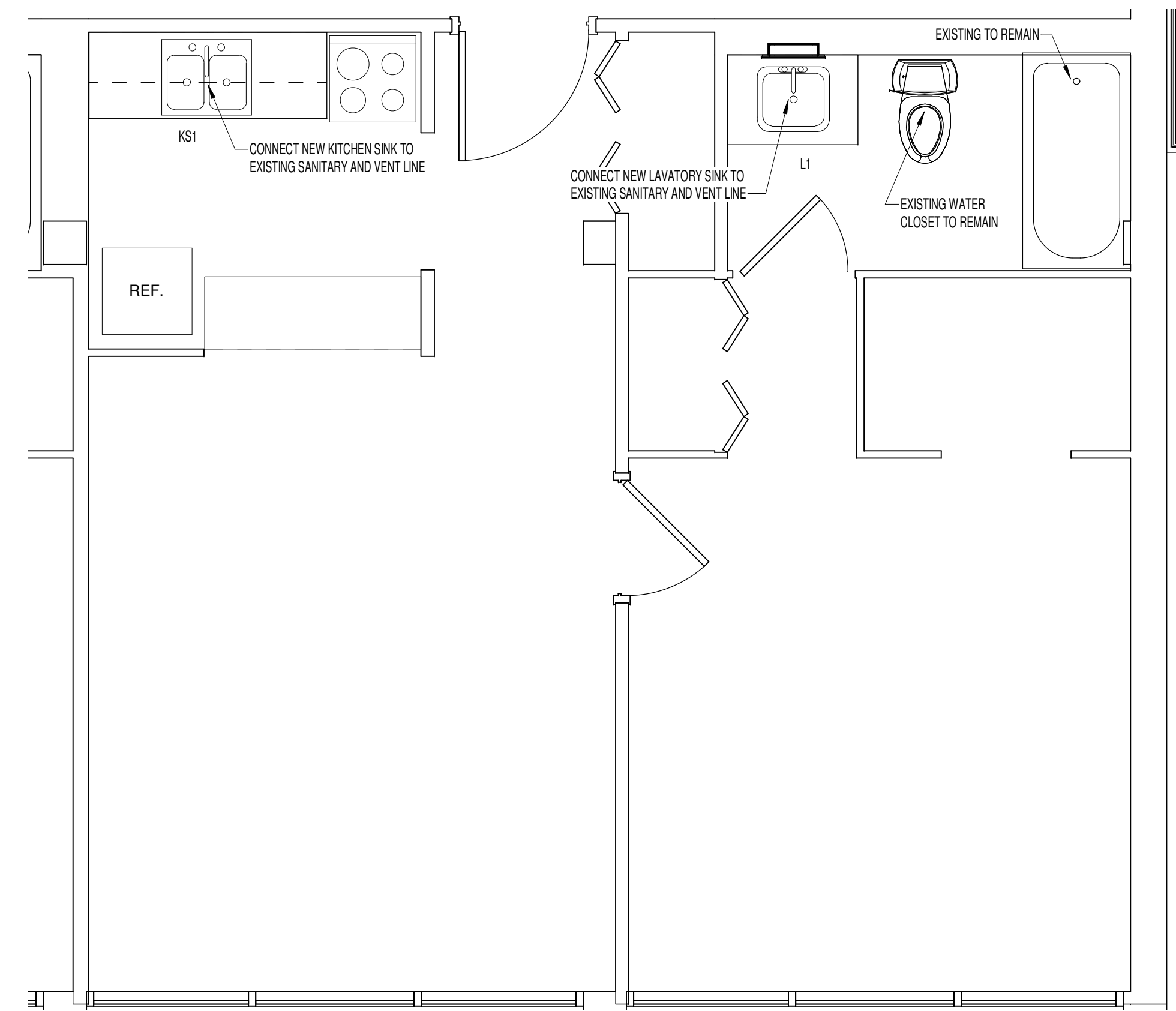
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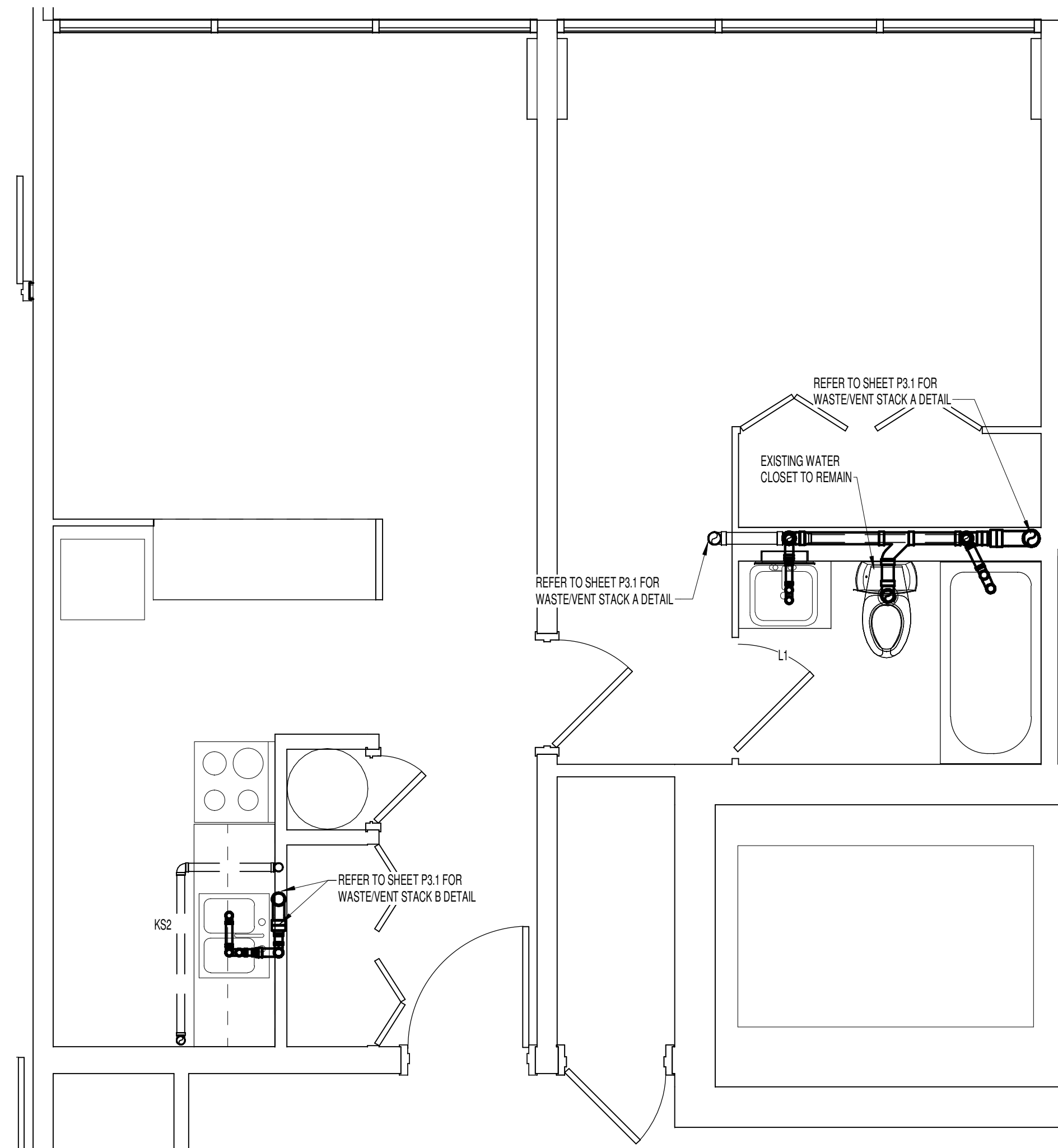
1 TYPE IV APARTMENT SANITARY PLAN (TYPE I SIMILAR)
3/8" = 1'-0"

NOTE: TYPE I UNIT - DEMO FIXTURES ONLY

NOTE: DEDUCT ALTERNATE AT RISERS. PIPE REPLACEMENT ENDS WITHIN CHASE. REFER TO GENERAL SPECIFICATIONS FOR FIXTURE REPLACEMENT AND PIPING REQUIRED FOR REPLACEMENT TO REMAIN IN BASE BID.

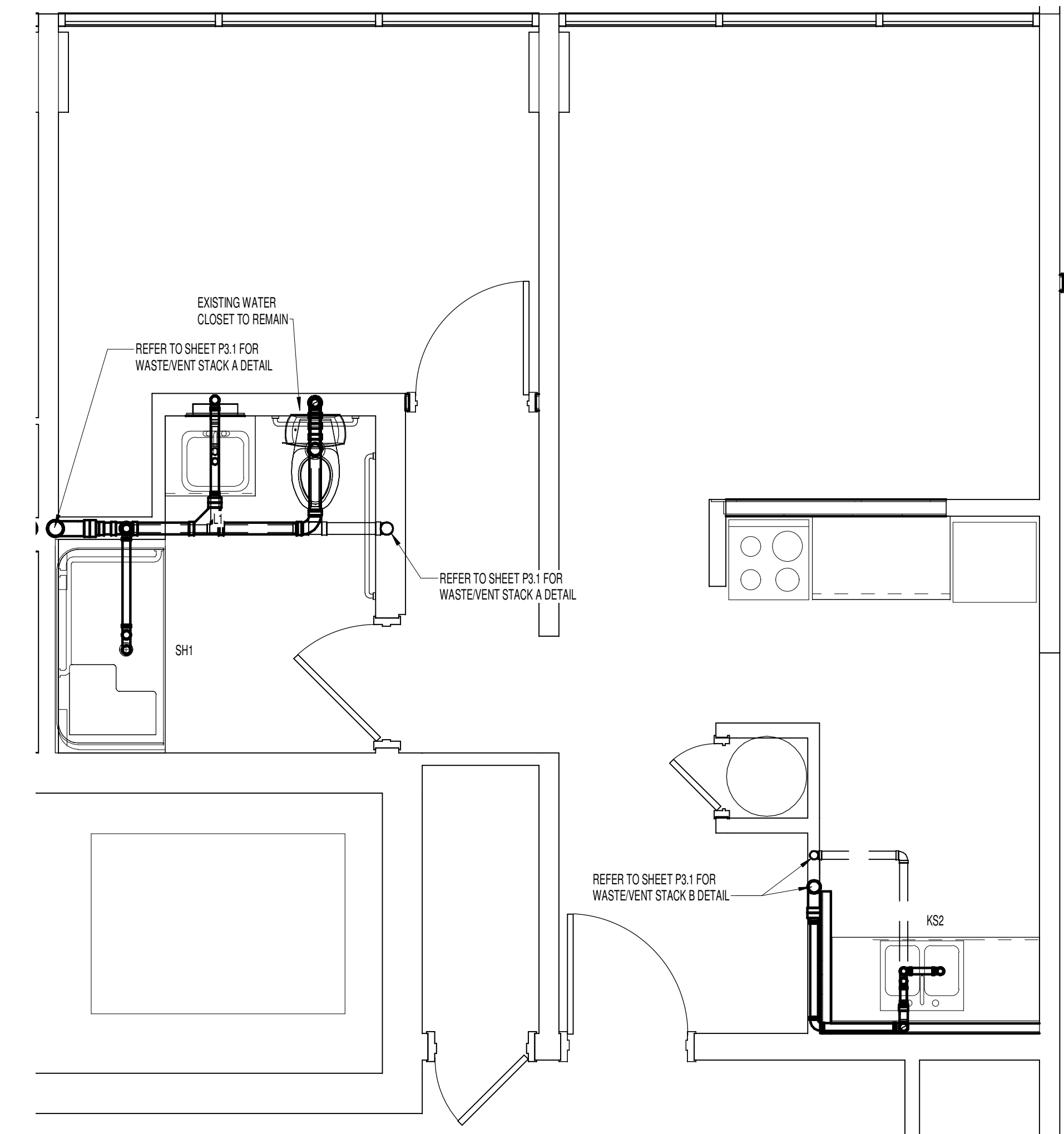


4 TYPE II APARTMENT SANITARY PLAN
3/8" = 1'-0"



2 TYPE III APARTMENT SANITARY PLAN
3/8" = 1'-0"

NOTE: DEDUCT ALTERNATE AT RISERS. PIPE REPLACEMENT ENDS WITHIN CHASE. REFER TO GENERAL SPECIFICATIONS FOR FIXTURE REPLACEMENT AND PIPING REQUIRED FOR REPLACEMENT TO REMAIN IN BASE BID.



3 TYPE III USAF APARTMENT SANITARY PLAN
3/8" = 1'-0"

NOTE: DEDUCT ALTERNATE AT RISERS. PIPE REPLACEMENT ENDS WITHIN CHASE. REFER TO GENERAL SPECIFICATIONS FOR FIXTURE REPLACEMENT AND PIPING REQUIRED FOR REPLACEMENT TO REMAIN IN BASE BID.

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Issue Date: 04/08/20

Revisions		
No.	Description	Date

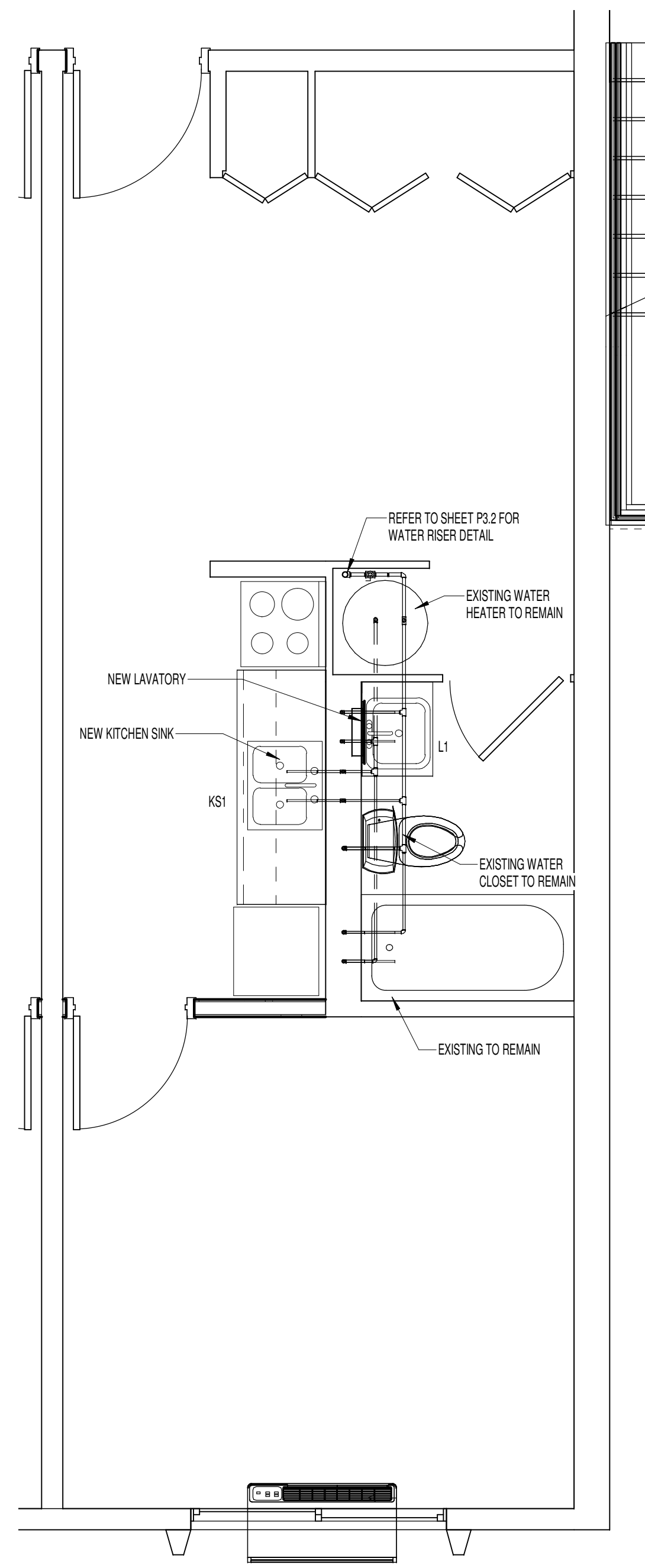
Job Number: 19136.00

ENLARGED SANITARY-TYPICAL APARTMENTS

P2.1

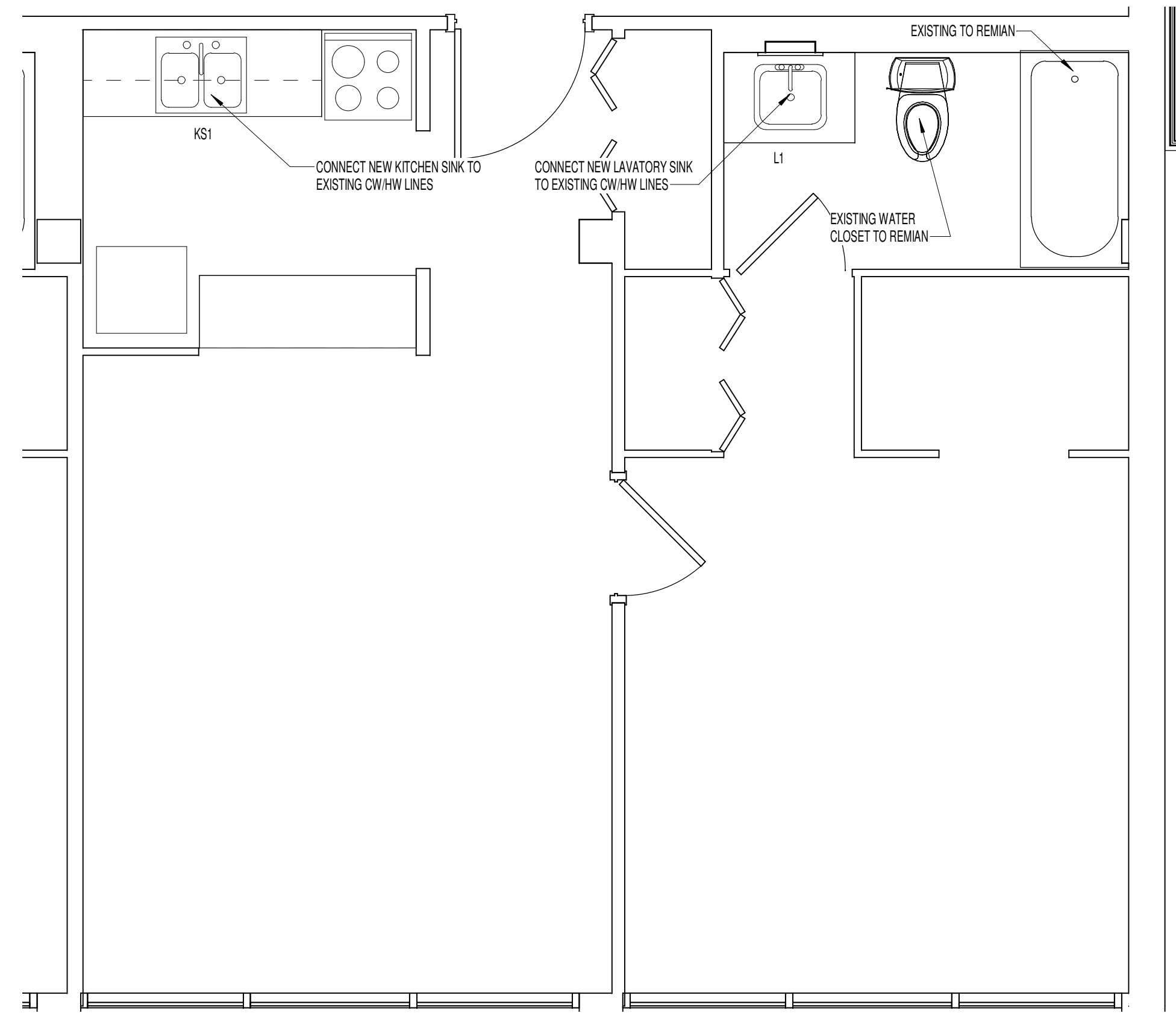
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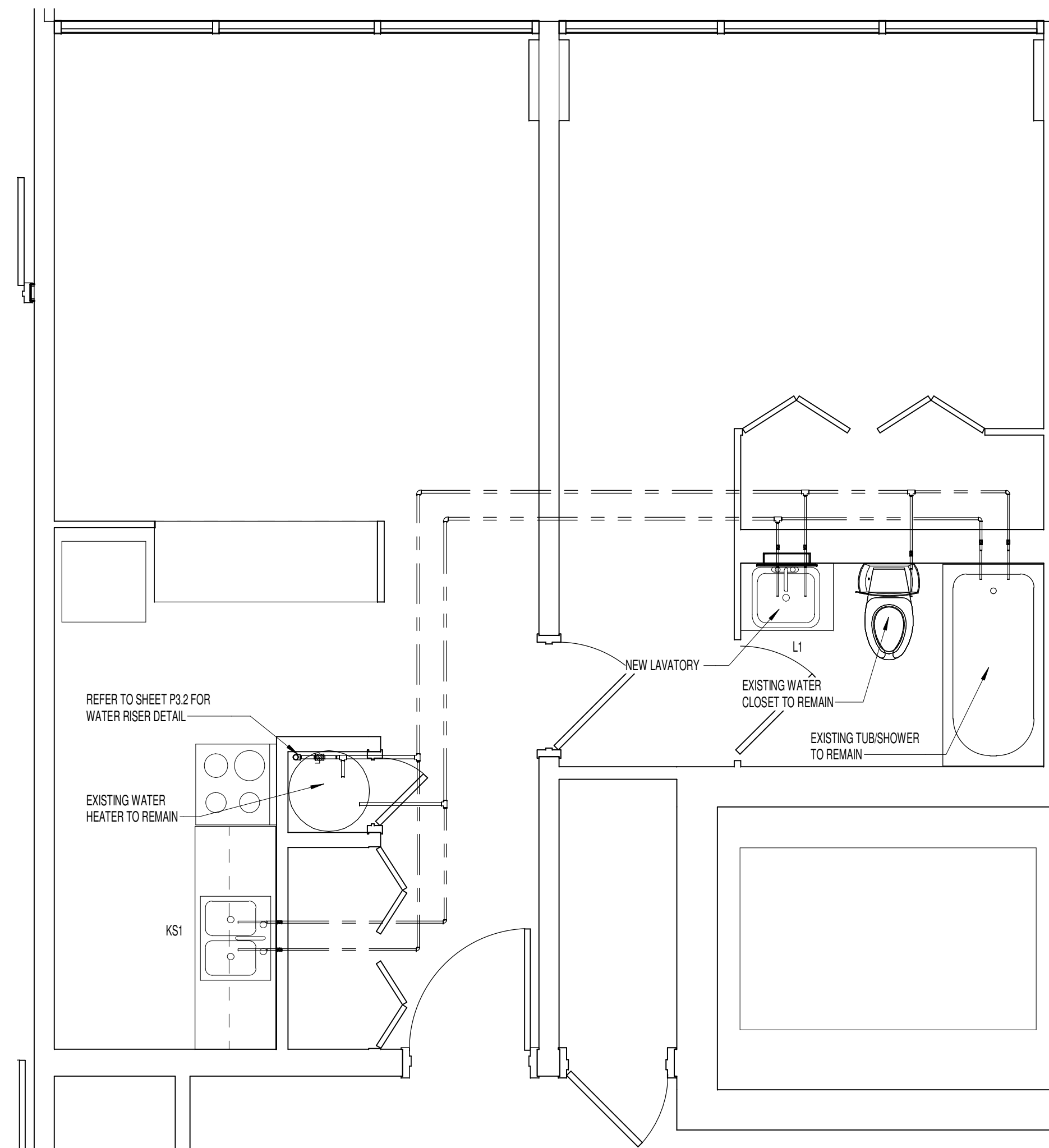


1 TYPE IV APARTMENT DOMESTIC WATER PLAN (TYPE I SIMILAR)
3/8" = 1'-0"

NOTE: TYPE UNIT - DEMO FIXTURES ONLY
NOTE: DEDUCT ALTERNATE AT RISERS, PIPE REPLACEMENT ENDS WITHIN CHASE. REFER TO GENERAL SPECIFICATIONS FOR FUTURE REPLACEMENT AND PIPING REQUIRED FOR REPLACEMENT TO REMAIN IN BASE BID.

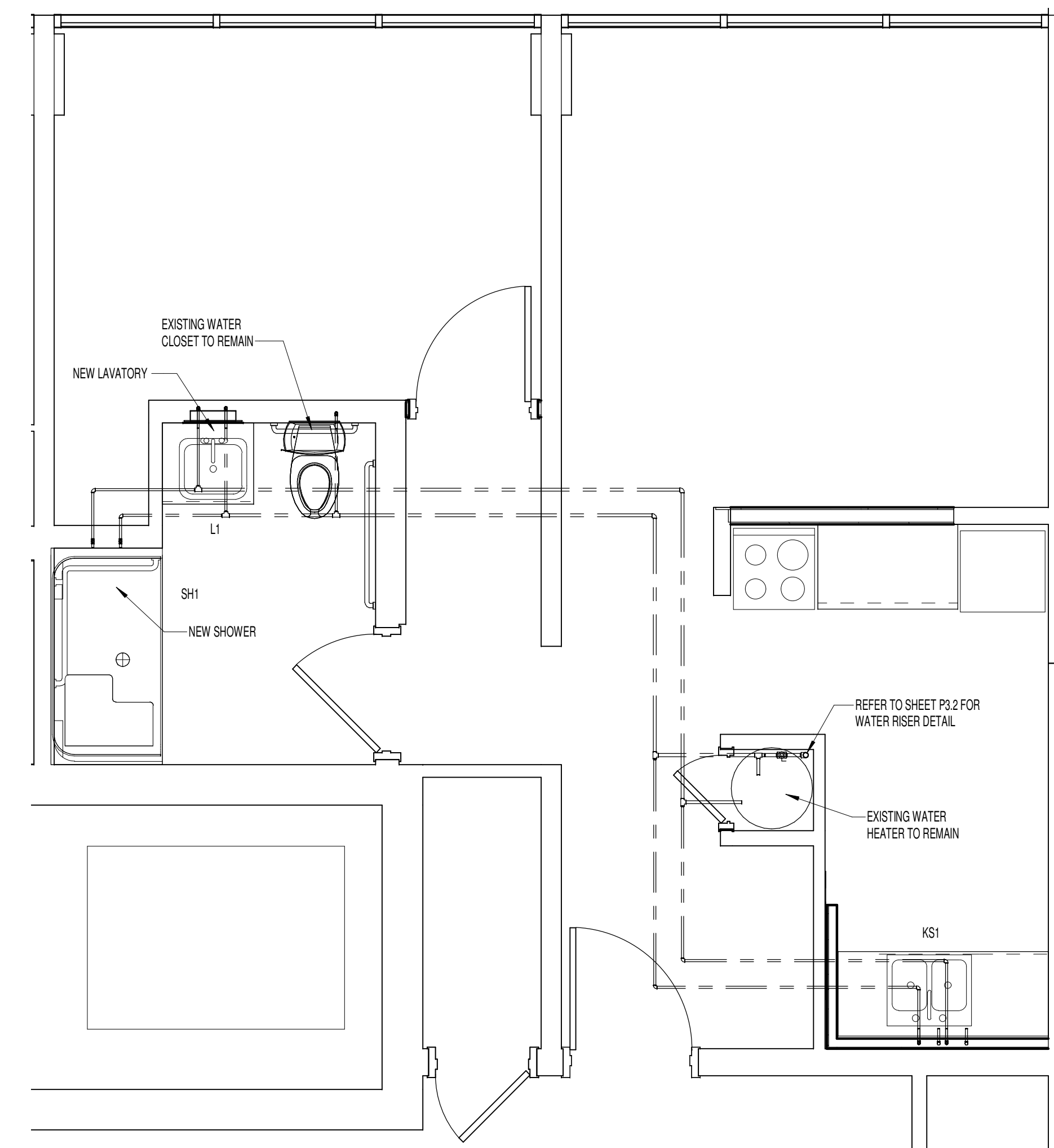


4 TYPE II APARTMENT DOMESTIC WATER PLAN
3/8" = 1'-0"



2 TYPE III APARTMENT DOMESTIC WATER PLAN
3/8" = 1'-0"

NOTE: DEDUCT ALTERNATE AT RISERS, PIPE REPLACEMENT ENDS WITHIN CHASE. REFER TO GENERAL SPECIFICATIONS FOR FUTURE REPLACEMENT AND PIPING REQUIRED FOR REPLACEMENT TO REMAIN IN BASE BID.



3 TYPE III USAF APARTMENT DOMESTIC WATER PLAN
3/8" = 1'-0"

NOTE: DEDUCT ALTERNATE AT RISERS, PIPE REPLACEMENT ENDS WITHIN CHASE. REFER TO GENERAL SPECIFICATIONS FOR FUTURE REPLACEMENT AND PIPING REQUIRED FOR REPLACEMENT TO REMAIN IN BASE BID.

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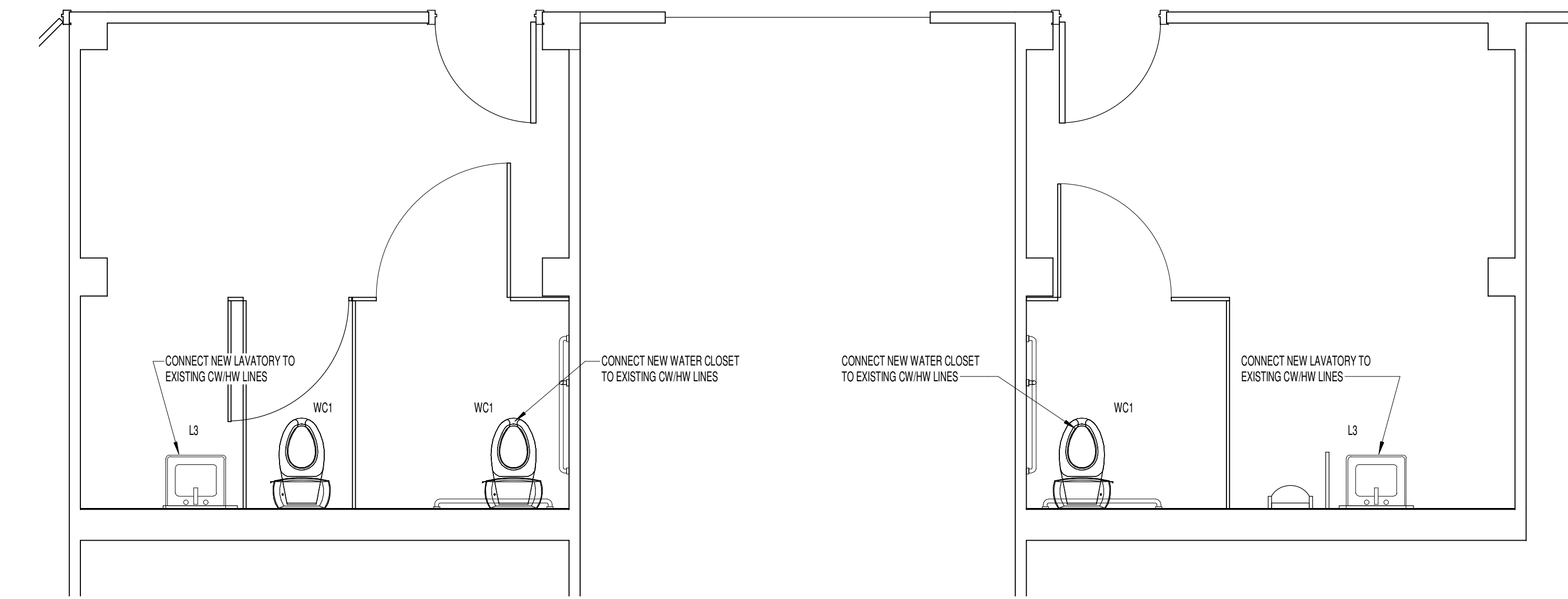
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ENLARGED DOMESTIC
WATER - TYPICAL
APARTMENTS

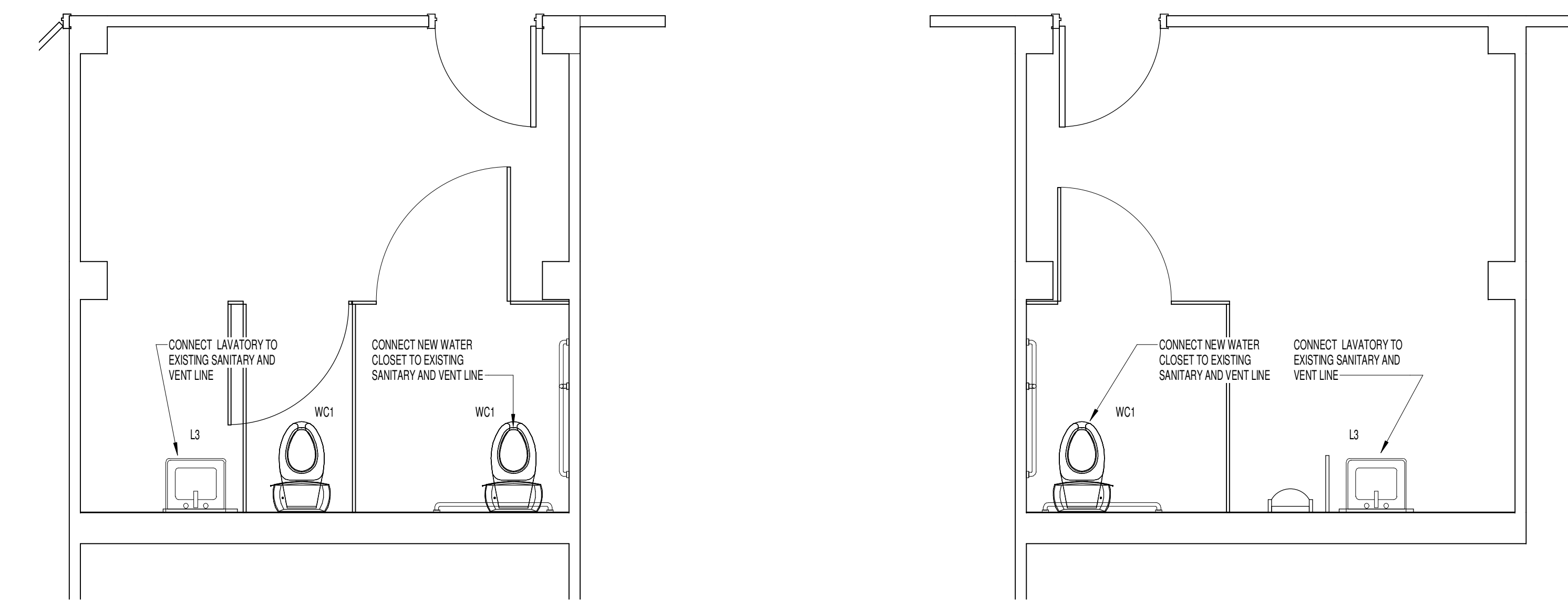
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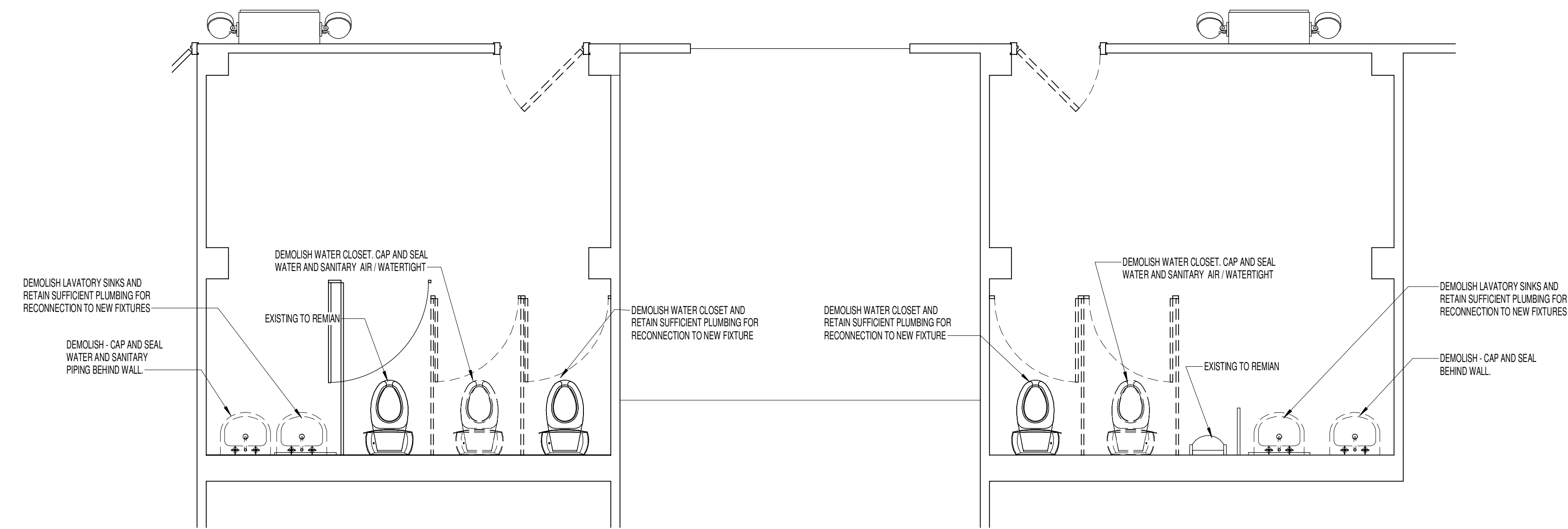
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3 PUBLIC RESTROOM DOMESTIC WATER PLAN
3/8" = 1'-0"



2 PUBLIC RESTROOM SANITARY PLAN
3/8" = 1'-0"



1 PUBLIC RESTROOM DEMOLITION PLAN
3/8" = 1'-0"

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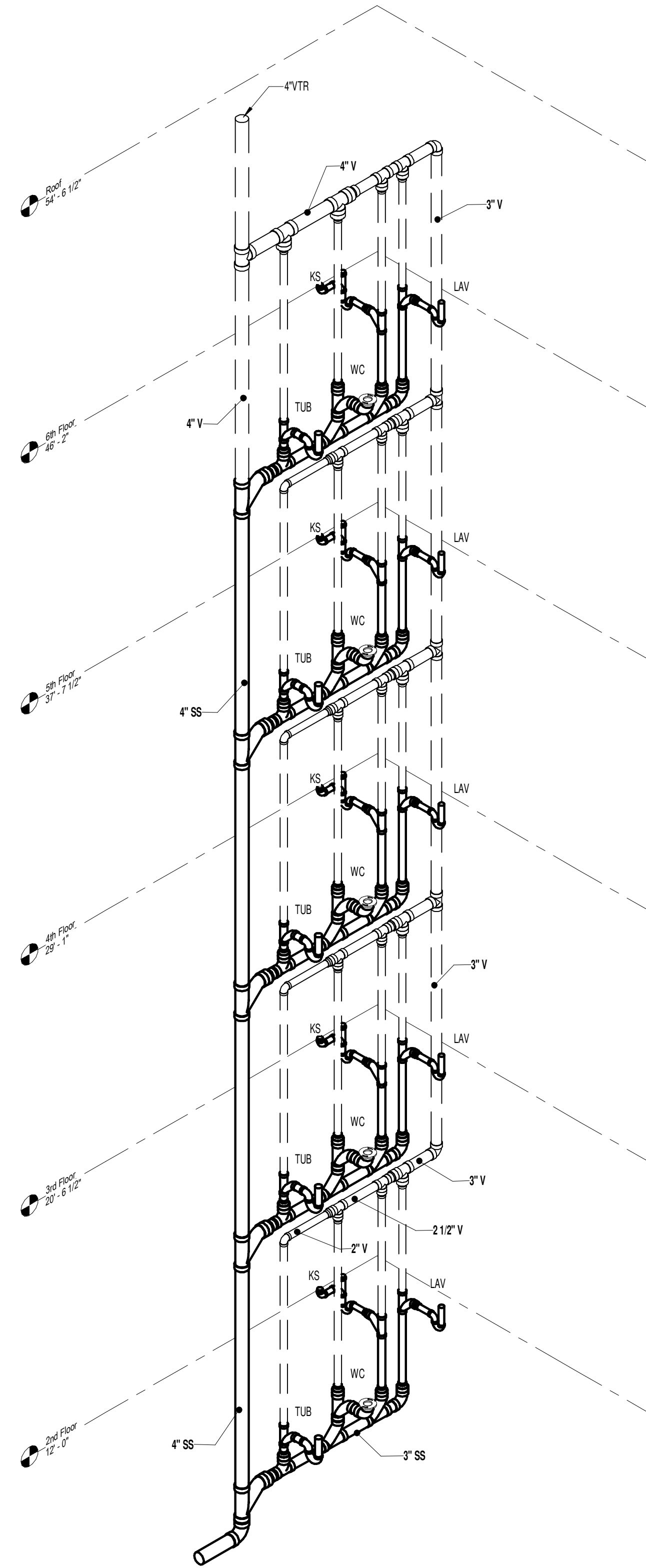
Job Number: 19136.00

ENLARGED DEMO &
PLUMBING - PUBLIC
RESTROOMS

P2.3

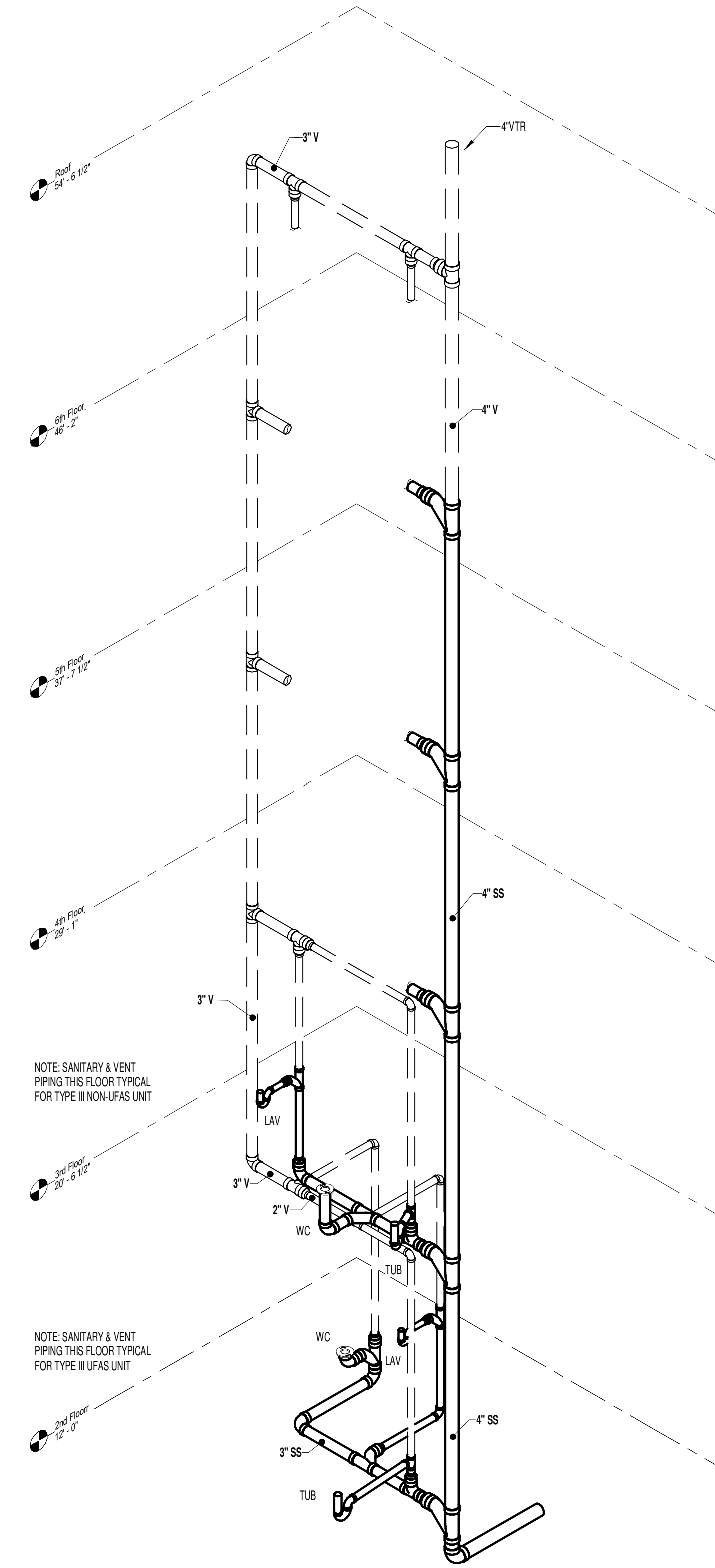
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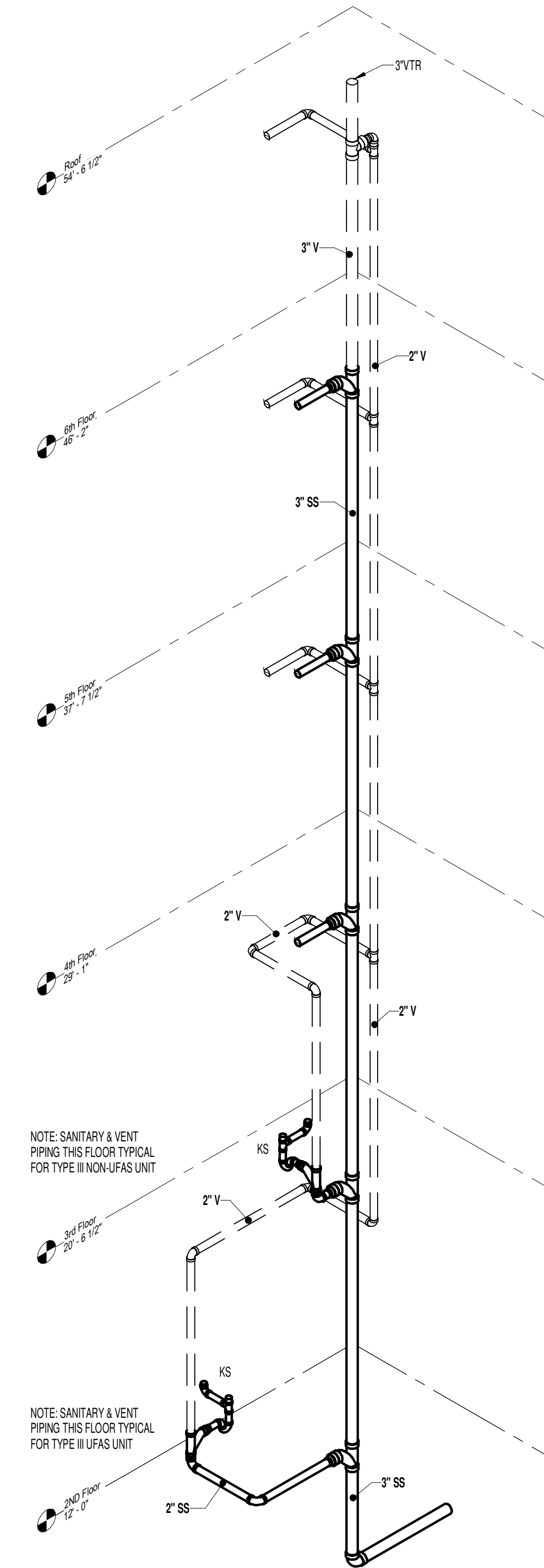
1 TYPE IV UNIT - TYPICAL WASTE STACK

NOTE: REFER TO PLANS FOR EXISTING TO REMAIN



2 TYPE III UNIT - TYPICAL WASTE STACK A

NOTE: REFER TO PLANS FOR EXISTING TO REMAIN



3 TYPE III UNIT - TYPICAL WASTE STACK B

NOTE: REFER TO PLANS FOR EXISTING TO REMAIN

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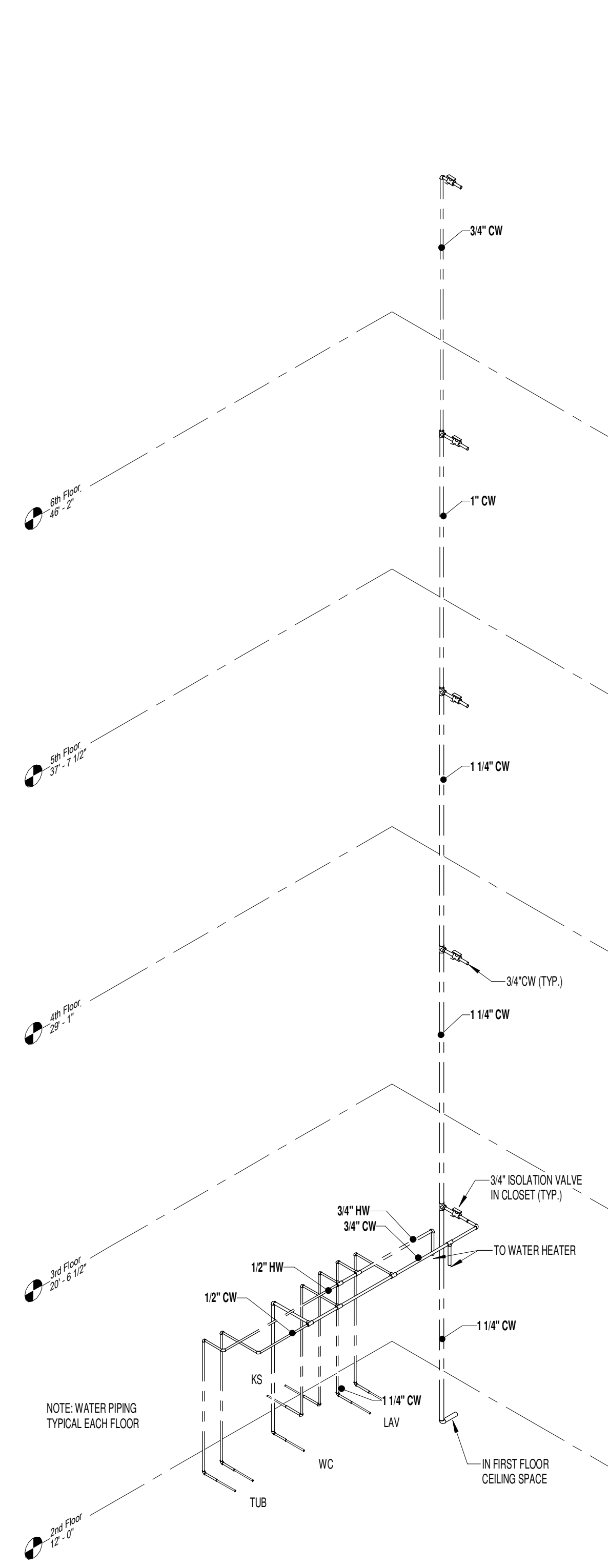
Job Number: 19136.00

SANITARY RISER
DIAGRAMS

P3.1

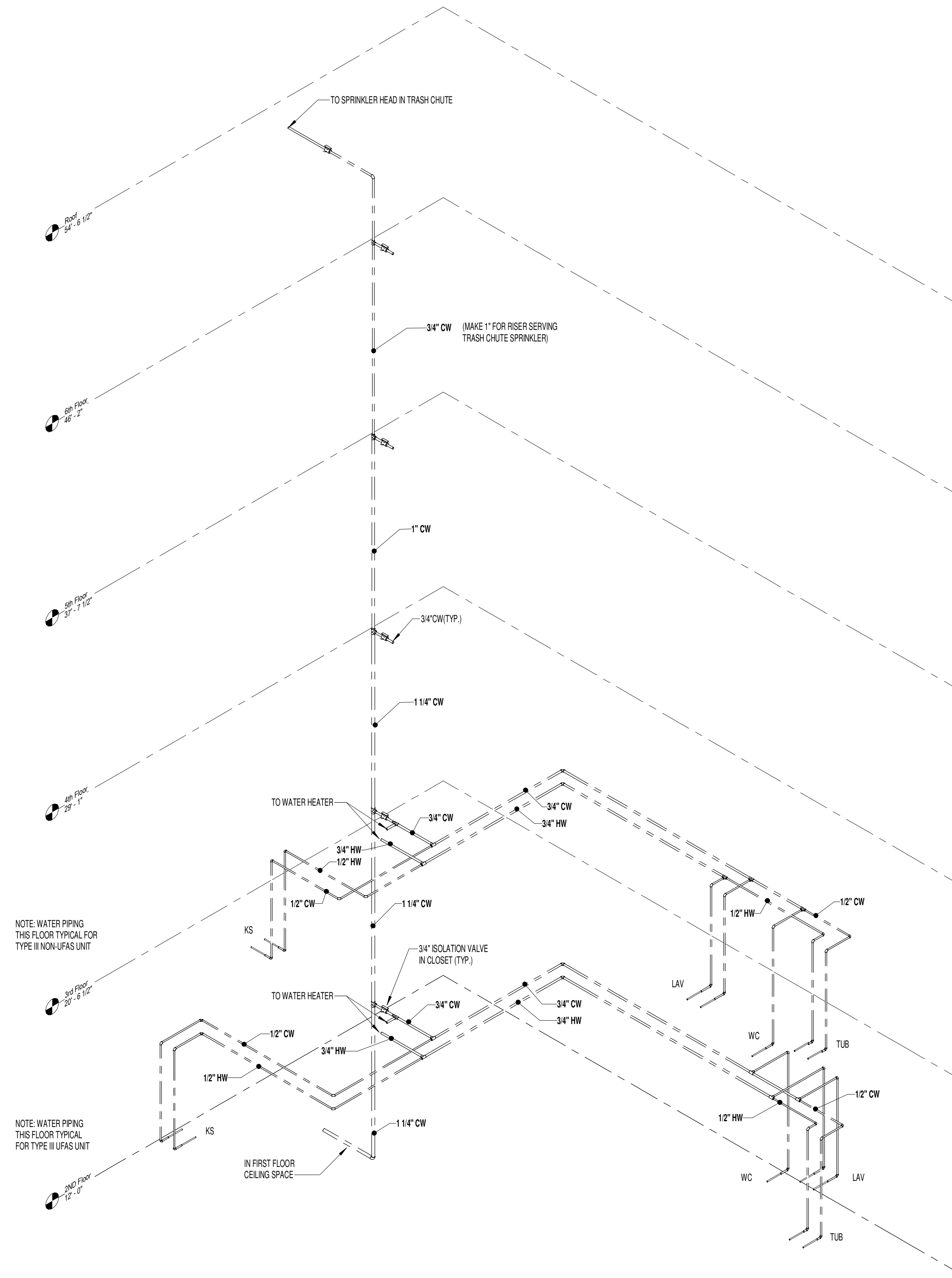
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1 TYPE IV UNIT - TYPICAL WATER RISER

NOTE: REFER TO PLANS FOR EXISTING TO REMAIN



2 TYPE III UNIT - TYPICAL WATER RISER

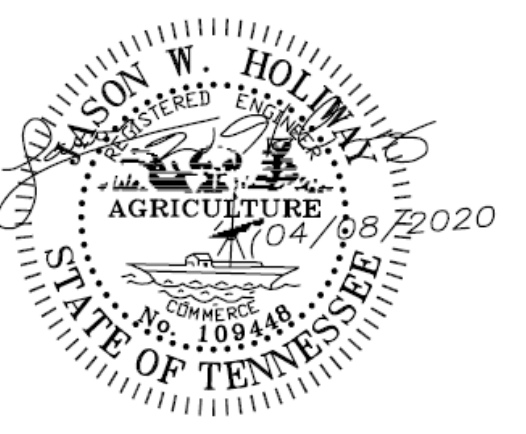
NOTE: REFER TO PLANS FOR EXISTING TO REMAIN

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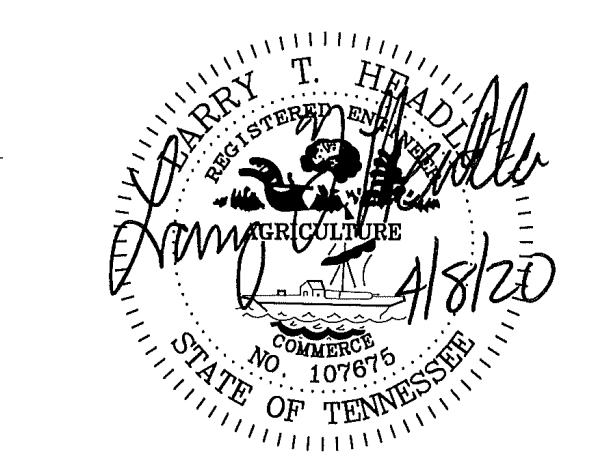
Issue Date: 04/08/20

No.	Description	Date

Job Number: 19136.00

DOMESTIC WATER
RISER DIAGRAMS

P3.2



Project Phase: Construction Document

Issue Date: 04/08/20

Revisions	No.	Description	Date

SYMBOL	DESCRIPTION
	EXISTING PANEL/RAMP
	20A, 125V, 2 POLE, 3 WIRE GROUNDING DUPLEX RECEPTACLE MTD. 42" AFF. LND.
	50A, 250V, 3 POLE, 4 WIRE GROUNDING, SINGLE RECEPTACLE, NEMA 14-50R
	SINGLE STATION ALARM COMBINATION SMOKE/CARBON MONOXIDE DETECTOR WALL OR CEILING MOUNTED AS INDICATED ON PLANS. CONNECT TO 120V MOUNT TOP OF DETECTOR OR BELOW CEILING WHERE WALL MOUNTED. INTERLOCK ALL DETECTORS IN UNITS. KIDDE MODEL NO. KN-COPE1. CONNECT TO CIRCUIT SHOWN TO CORRESPONDING APARTMENT PANEL.
	SINGLE STATION ALARM STROBE, ADA COMPLIANT, WALL OR CEILING MOUNTED AS INDICATED ON PLANS. CONNECT TO 120V MOUNT TOP OF DETECTOR OR BELOW CEILING WHERE WALL MOUNTED. INTERLOCK ALL DETECTORS IN UNITS. 50W BRAND MODEL NO. 70193SL. CIRCUIT TO DROUOT SHOWN CORRESPONDING APARTMENT PANEL.
	WIRELESS EMERGENCY CALL SYSTEM PULLCORD. PROVIDE SINGLE GANG PLASTIC BOX AND MOUNT PULLCORD AT HEIGHT TO WHERE CORD HANDS WITHIN 2' OF FLOOR. RCARE BP 719WR OR EQUAL. PROVIDE BATTERIES AS NECESSARY.
	WIRELESS EMERGENCY CALL SYSTEM LOCATOR MOUNTED UP HIGH ON WALL. MUST CLEAR OF CEILING. PROVIDE MOUNTING BRACKET AND POWER SUPPLY. RCARE LT-49-G4 OR EQUAL.
	WIRELESS EMERGENCY CALL SYSTEM HUB WITH BUILT-IN MASTER RECEIVER. PROVIDE SHELF AND MOUNT ABOVE EMERGENCY CALL SYSTEM MONITOR. RCARE RCUBE OR EQUAL.
	WIRELESS EMERGENCY CALL SYSTEM CONSOLE WITH TOUCHSCREEN. PROVIDE VESA WALL MOUNT BRACKET AND MOUNT AT HEIGHT CONFIRMED BY OWNER. RCARE C206T OR EQUAL.
	EMERGENCY LIGHT, WHERE WALL MOUNTED, INSTALL 96" AFF. UNIT SHALL BE EQUIPPED WITH INTEGRAL BATTERY BACK-UP. REFER TO TYPE EM IN LIGHTING FIXTURE SCHEDULE.
	DOOR BELL, BUTTON MOUNT 42" AFF. USE NITFONE CO. MODEL NO. 8K125LWH
	DOOR BELL CHIME, MOUNT 84" AFF. INCLUDED WITH DOOR BELL.

ABBREVIATIONS	DESCRIPTION
A	AMPERE
AF	ABOVE FINISHED FLOOR - MEASURED FROM FLOOR TO CENTER OF DEVICE, EXCEPT AS OTHERWISE SPECIFICALLY NOTED.
ADA	AMERICANS WITH DISABILITIES ACT OF 1990
C	CONDUIT
G	GROUND
GF	INDICATES RECEPTACLE OR CIRCUIT BREAKER, AS APPLICABLE, TO HAVE GROUND FAULT PROTECTION
Kcmil	(THOUSAND CIRCULAR MILS)
NEC	NATIONAL ELECTRICAL CODE
PH	PHASE
RE	INDICATES DEVICE IS EXISTING TO BE REPLACED
S.O.	SPACE ONLY
UNO	UNLESS NOTED OTHERWISE
VF	VERIFY IN FIELD
WP	INDICATES DEVICE TO HAVE WEATHERPROOF COVER, TAYMAC MODEL NO. MX3200 OR EQUAL.

GENERAL ELECTRICAL NOTES:

- THE CONTRACTOR SHALL VISIT THE JOB SITE AND CAREFULLY EXAMINE THOSE PORTIONS OF THE SITE AFFECTED BY THIS WORK SO AS TO BECOME FAMILIAR WITH EXISTING CONDITIONS THAT WILL AFFECT EXECUTION OF THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND PAYING ALL UTILITY CO. AID TO CONSTRUCTION FEES.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE NATIONAL ELECTRICAL CODE, NFPA 70, LOCAL CODES/ORDINANCES AND THE APPLICABLE ACCESSIBILITY CODE. SHOULD PLANS AND CODES CONFLICT, THE CODE TAKES PRECEDENCE. MAKE NO CHANGES, EVEN IN THE CASE OF CONFLICT, WITHOUT FIRST OBTAINING APPROVAL OF THE ARCHITECT/ENGINEER.
- PROVIDE AS USED HERE AND IN THE DRAWINGS IS ALL INCLUSIVE ITEM REQUIRING CONTRACTOR TO FURNISH, INSTALL, WIRE, AND CONNECT ALL SPECIFIED EQUIPMENT AS WELL AS COMPONENTS, ACCESSORIES, AND MOUNTING HARDWARE TO ENSURE THAT SPECIFIED EQUIPMENT FUNCTIONS TO MEET SYSTEM REQUIREMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT OTHER FACILITIES AND EQUIPMENT FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE FOR REPAIR OR REPLACEMENT OF FACILITIES, EQUIPMENT, OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONNECTION WITH THE COMPLETION OF THIS WORK. ELECTRICAL CONTRACTOR SHALL GIVE ADEQUATE NOTIFICATION TO TENNESSEE ONE CALL (800) 351-1111 PRIOR TO COMMENCEMENT OF ANY EXCAVATION.
- PROVIDE SPECIFIED EQUIPMENT, AS NOTED ON DRAWINGS, OR APPROVED EQUAL. ADDITIONAL EQUIPMENT AND MATERIAL MAY BE REQUIRED OTHER THAN THAT SHOWN ON DRAWINGS TO INSTALL THE SPECIFIED EQUIPMENT SUCH AS HANGERS, SUPPORTS, ETC. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, AND EQUIPMENT REQUIRED.
- THE CONTRACTOR SHALL VERIFY THAT THE ACTUAL EQUIPMENT SUPPLIED HAS THE SAME ELECTRICAL SPECIFICATIONS AS THE EQUIPMENT USED AS THE BASIS OF DESIGN. IF THE EQUIPMENT IS DIFFERENT, THE CONTRACTOR SHALL MAKE ADJUSTMENTS TO THE PANELS AND CIRCUITS AND INCLUDE THEM IN SUBMITTALS.
- ALL ITEMS SHALL BE NEW, USED EQUIPMENT AND MATERIALS WILL NOT BE ALLOWED UNLESS SPECIFICALLY NOTED TO BE EXISTING OR LOCATED ON RESPECTIVE PROJECT SITE.
- ALL MATERIALS SHALL BE LISTED AND LABELED BY UNDERWRITERS LABORATORY, INC.
- THIS DESIGN IS BASED OFF AN EXISTING 120/208 VOLT, 3 PHASE SERVICE TO REMAIN.
- UNLESS OTHERWISE INSTRUCTED, THE CONTRACTOR SHALL SUBMIT A DIGITAL, PDF COPY OF ELECTRICAL SHOP DRAWINGS TO THE PROJECT MANAGER WHO SHALL RELAY THEM TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE PURCHASE OF EQUIPMENT. THE SUBMITTAL SHALL INCLUDE LIGHTING FIXTURES, SWITCHGEAR, GENERATOR AND FIRE ALARM EQUIPMENT WHEN INCLUDED IN THE PROJECT. OPERATION AND MAINTENANCE MANUALS FOR ALL ELECTRICAL EQUIPMENT SHALL BE COMPLETED AND SUBMITTED IN DIGITAL (PDF) TO THE BUILDING OWNER UPON PROJECT COMPLETION.
- ALL WIRES SHALL BE TERMINATED AND LABELED. ALL JUNCTION BOXES SHALL BE LABELED TO INDICATE THE CIRCUITS CONTAINED IN THE BOX.
- UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER AND BE A MINIMUM WITH THIN THIN, 600 VOLT INSULATION.
- PROVIDE A SEPARATE NEUTRAL CONDUCTOR FOR EACH UNGROUNDED CONDUCTOR. SHARING OF NEUTRALS IS PROHIBITED.
- DO NOT INSTALL MORE THAN THREE CIRCUITS SIX CURRENT CARRYING CONDUCTORS IN A CONDUIT.
- THE MINIMUM CONDUIT SIZE SHALL BE 1" INTERIOR CONDUITS SHALL BE EMT. UNDERGROUND CONDUIT AND CONCRETE ENCASED CONDUIT SHALL BE SCHEDULE 40 PVC EXTERIOR EXPOSED CONDUIT SHALL BE SCHEDULE 40 PVC. UNLESS NOTED OTHERWISE.
- MC CABLE MAY BE USED FOR CONCEALED BRANCH CIRCUIT WIRING IN INTERIOR DRY LOCATIONS.
- A GREEN COPPER GROUND WIRE SHALL BE INSTALLED IN ALL CONDUIT SYSTEMS AND SHALL BE BONDED TO ALL ENCLOSURES, BOXES, AND EQUIPMENT.
- BONDING JUNCTIONS SHALL BE USED TO BOND CONDUIT TO ENCLOSURES, BOXES, AND EQUIPMENT WHERE KNOCKOUTS ARE USED.
- ALL DIMENSIONS ARE MEASURED TO THE CENTER OF THE DEVICE.
- THE CONTRACTOR SHALL PROVIDE PRESTOPPING OF ALL RATED PENETRATIONS PER DETAILS. ELECTRICAL BOXES INSTALLED ON OPPOSITE SIDES OF A FIRE RATED WALL SHALL HAVE A TWO FOOT MINIMUM HORIZONTAL SEPARATION.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY POWER AND LIGHT, EQUIVALENT TO ONE 150-WATT INCANDESCENT LAMP PER 200 SQ. FT.
- THE CONTRACTOR SHALL GUARANTEE ALL WORK TO BE FREE OF DEFECTS IN WORKMANSHIP AND MATERIALS FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION.

LIGHTING NOTES:

- CONNECT ALL EXIT AND EMERGENCY LIGHTS TO UNSWITCHED LIGHTING CIRCUITS. UNITS SHALL OPERATE AUTOMATICALLY UPON LOSS OF POWER.
- PRIOR TO ORDERING THE SPECIFIED LIGHT FIXTURES, THE CONTRACTOR SHALL VERIFY THE FIXTURE IS SUITABLE FOR THE CEILING TYPE. FOR EXAMPLE, A FIRE RATED FIXTURE SHALL BE INSTALLED IN A FIRE RATED ASSEMBLY. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER PRIOR TO PROCEEDING.
- MATCH EXISTING REMAINING ELEVATOR FIXTURES TO RECENTLY UPDATED ELEVATOR FIXTURE.

POWER NOTES:

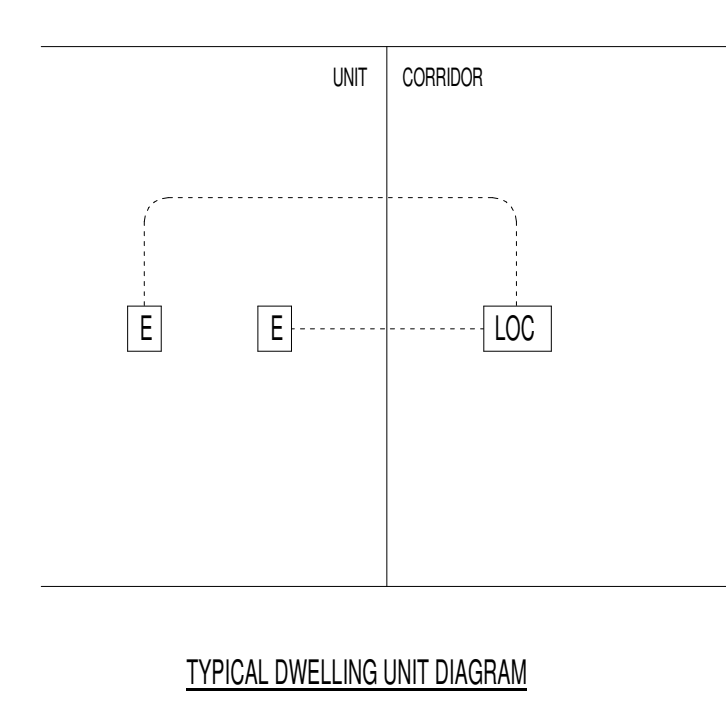
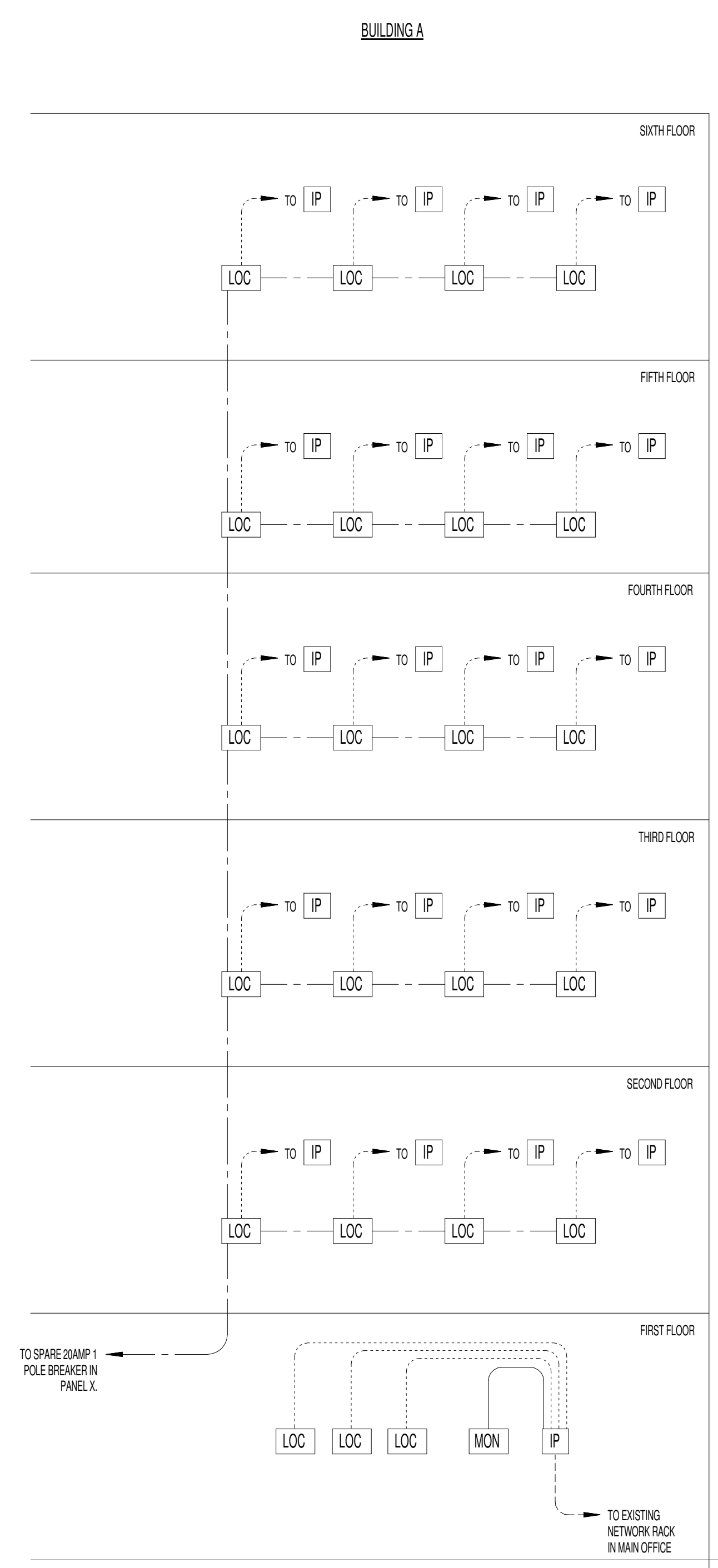
- MOUNT ALL SWITCHES AND OTHER ELECTRICAL EQUIPMENT IN COMPLIANCE WITH APPLICABLE PROVISIONS OF THE APPLICABLE ACCESSIBILITY CODE.
- ALL RESTROOM, EXTERIOR, COUNTER TOP, AND ROOF TOP AREA SERVICE RECEPTACLES SHALL BE 50A.

COMMUNICATIONS NOTES:

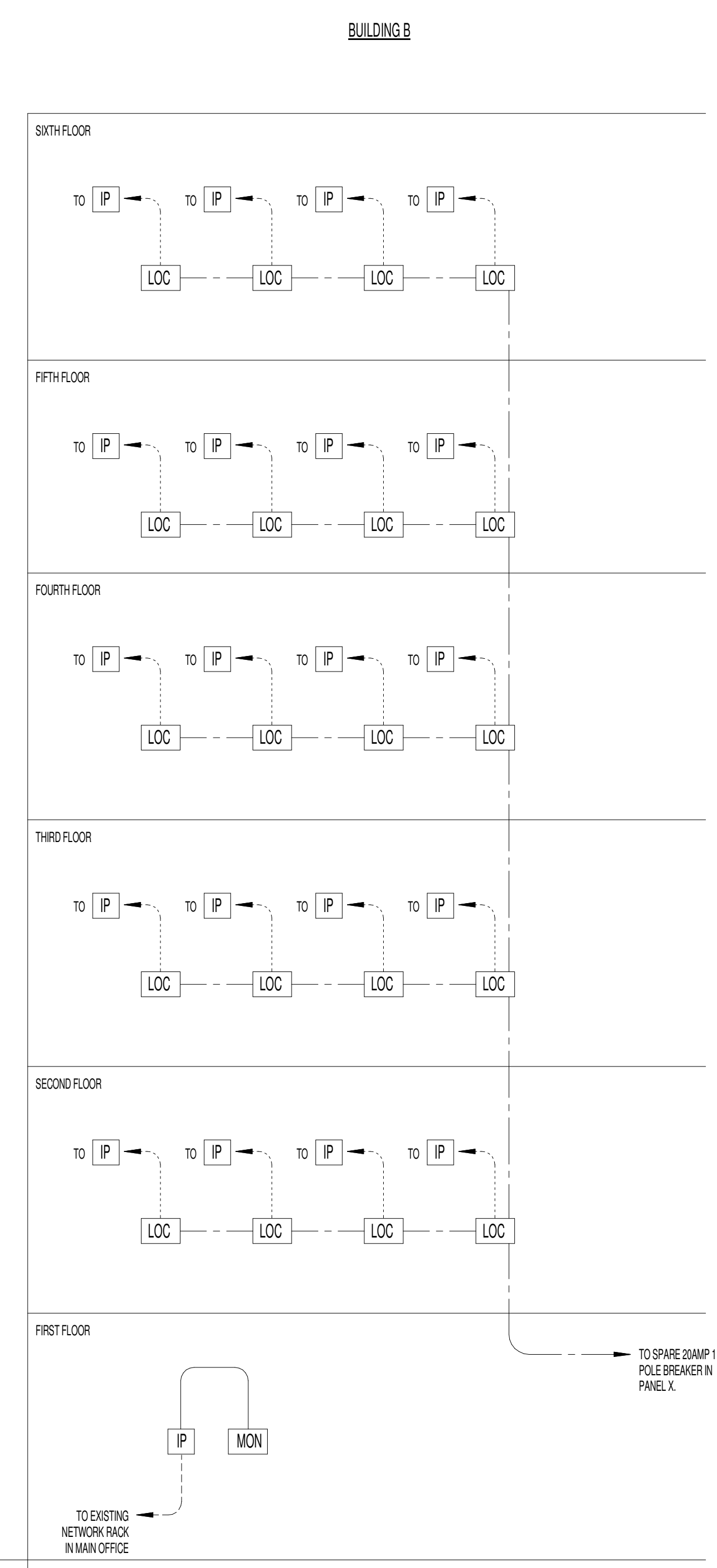
- CONTRACTOR SHALL FURNISH AND INSTALL ALL COMBINATION TELEPHONE AND DATA CONDUITS, BOXES, PLYWOOD TERMINAL BOARD, ETC.
- ACTIVE EQUIPMENT AND CABLEING TO BE PROVIDED BY OTHERS.
- PROVIDE APPROPRIATE NYLON PULLSTRING ROPE IN ALL EMPTY CONDUITS.
- EMERGENCY CALL SYSTEM TO BE MONITORED AT HEAD END MONITOR DURING NORMAL BUSINESS HOURS AND MONITORED VIA 9PD PARTY OFF-SITE MONITORING COMPANY OUTSIDE OF NORMAL BUSINESS HOURS. OFF-SITE MONITORING TO AT MINIMUM INCLUDE NOTIFICATION THAT A PROPERTY CALL STATION/PULL CHORD HAS BEEN ACTIVATED.

DEMOLITION NOTES:

- REMOVE ALL EXISTING DEVICES IN WALL AND CEILINGS BEING REMOVED AND PROPERLY ABANDON CONDUIT SYSTEM. REMOVE ALL EXISTING UNUSED OR ABANDONED CONDUIT, WIRING, JUNCTION BOXES, ETC. ABOVE CEILING. REMOVE ALL LIGHT FIXTURES IN AREAS WHERE NEW FIXTURES ARE ILLUSTRATED. PROPERLY DISPOSE OF OR TURN OVER TO OWNER AS DIRECTED.



2 EMERGENCY CALL SYSTEM DIAGRAM
N.T.S.



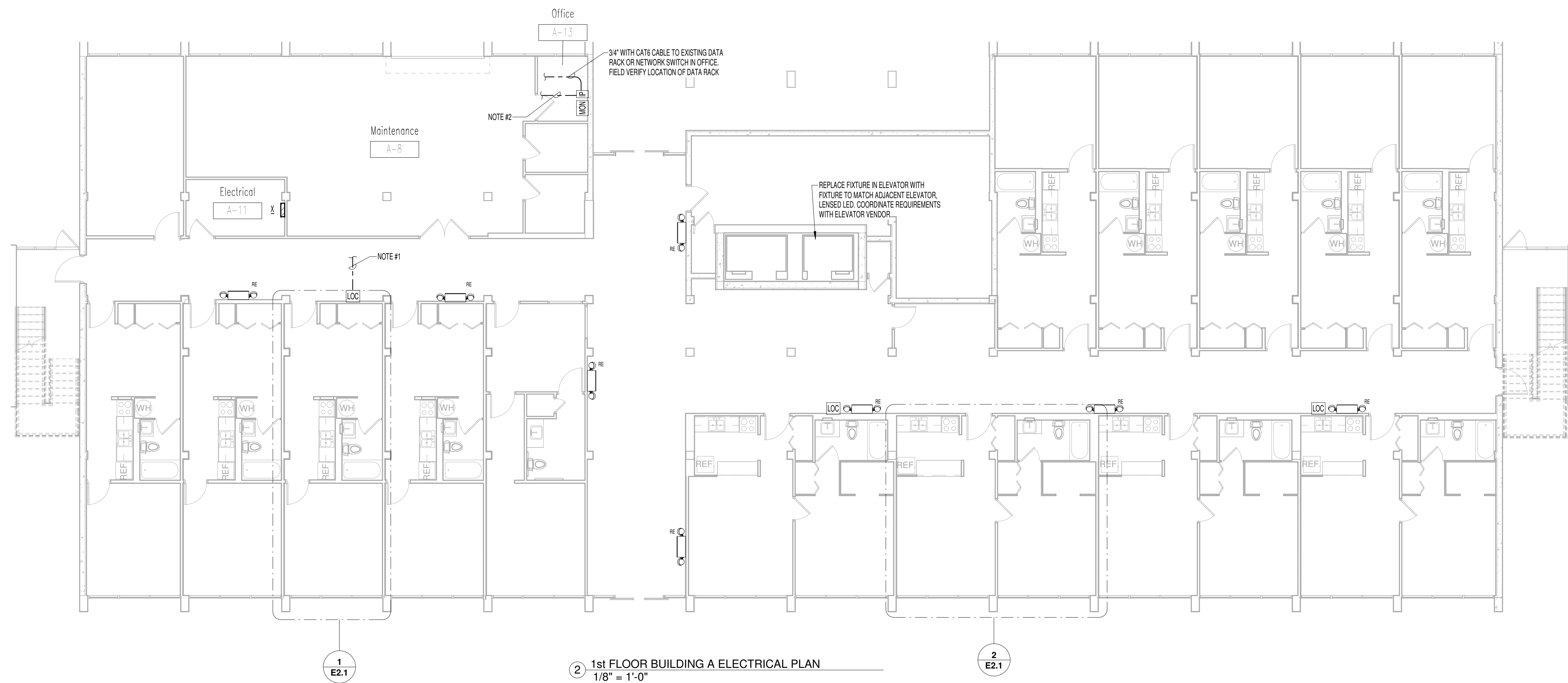
GENERAL NOTES:

- EMERGENCY CALL CONTRACTOR TO PROVIDE EQUIPMENT LAYOUT PROVIDING RELIABLE WIRELESS NETWORK COMMUNICATION FROM ALL EMERGENCY CALL STATIONS/PULLCORDS IN UNITS TO EMERGENCY CALL SYSTEM HUB ON FIRST FLOOR OF TOWER. DEVIATION FROM CURRENT LAYOUT SHALL NOT BE CAUSE FOR INCREASE IN COST. POWER RECEPTACLES PROVIDED AT EMERGENCY CALL EQUIPMENT AS SHOWN ON POWER PLANS.
- REFER TO ENLARGED FLOOR PLANS FOR CALL STATION/PULLCORD LOCATIONS IN DWELLING UNITS.
- ALL CONNECTIONS FROM LOC TO IP IS WIRELESS SIGNAL. LINES SHOWN FOR CLARITY.
- CONNECTIONS FROM IP TO NETWORK RACK IS ETHERNET (CAT5).
- CONNECTIONS FROM MON TO IP IS USB.
- CONNECTIONS FROM E TO LOC IN TYPICAL DIAGRAM IS WIRELESS SIGNAL.
- CONNECTIONS FROM LOC TO LOC IS 120 VOLT WIRING.

----- WIRELESS SIGNAL
----- USB
----- ETHERNET (CAT5)
----- 120 VOLT WIRING

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Checked By: Checker
File: C:\Users\jgund\Documents\SF000-1MEP-200_1mpm.dwg

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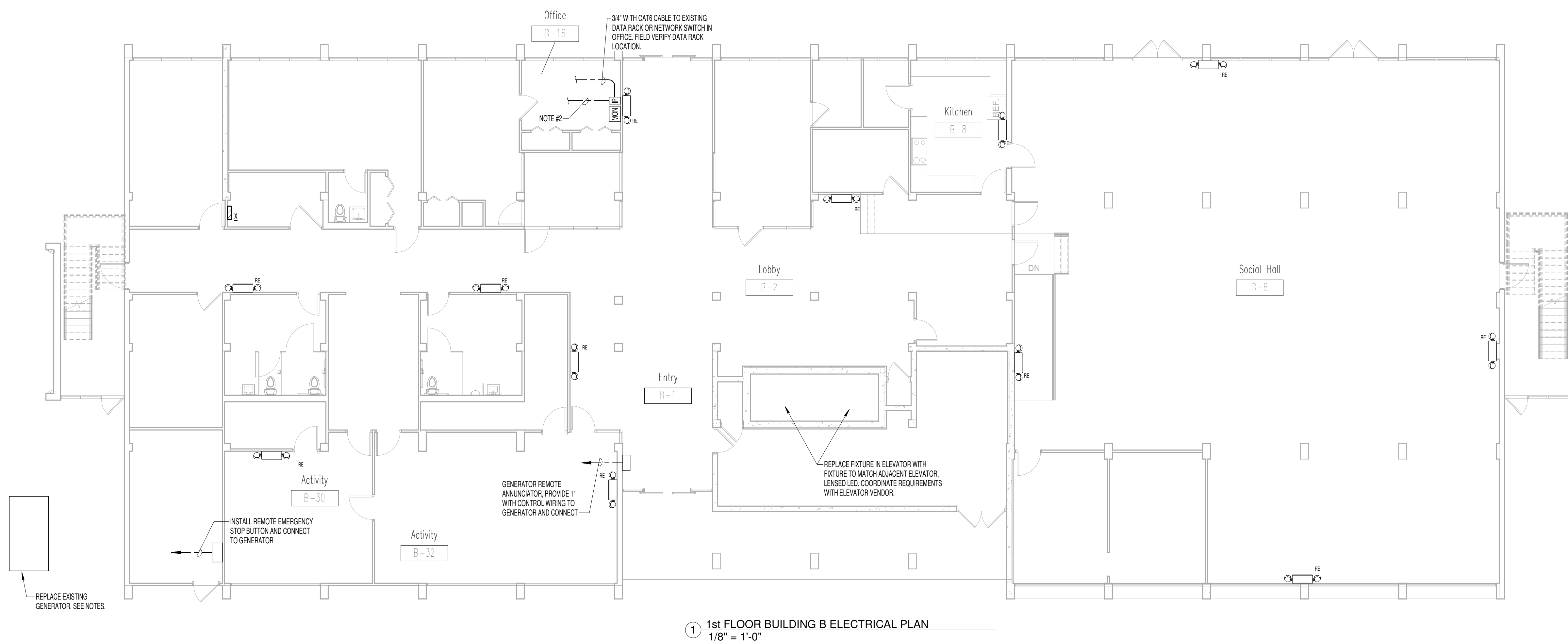


REFERENCE NOTES:

- CONNECT TO PANEL "Y" REFER TO CALL SYSTEM DIAGRAM.
- PROVIDE SURFACE MOUNTED DUPLEX RECEPTACLE BETWEEN HUB AND MONITOR. PROVIDE 3/4" CAT5E FROM DUPLEX TO NEW 20A POLE BREAKER IN EXISTING PANEL "X" IN ELECTRICAL ROOM.

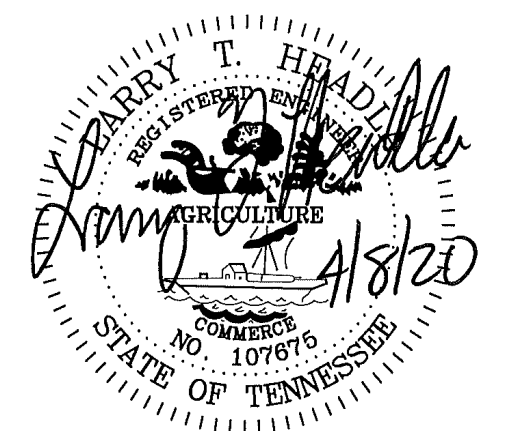
GENERATOR NOTES:

- REPLACE THE EXISTING EMERGENCY GENERATOR. WEATHERPROOF HOUSING. THE UNIT SHALL BE TESTED AND INSTALLED IN ACCORDANCE WITH NFPA 110 AND ALL EPA EMISSIONS REGULATIONS.
- RECONNECT THE EXISTING 1,200 AMP 120/208V 3P 4W EMERGENCY DISTRIBUTION PANEL SERVING THE FIRE PUMP AND ELEVATORS. RE-USE EXISTING FEEDER. EXISTING TRANSFER SWITCHES FOR ELEVATOR AND FIRE PUMP TO REMAIN.
- PROVIDE 24 HOUR SUB BASE FUEL TANK. DOUBLE WALL WITH LEAK DETECTION.
- PROVIDE A REMOTE ANNUNCIATOR AND EMERGENCY STOP BUTTON WHERE INDICATED ON DRAWINGS.
- THE GENERATOR ENCLOSURE SHALL BE WEATHERPROOF. LEVEL 1 SOUND ATTENUATED.



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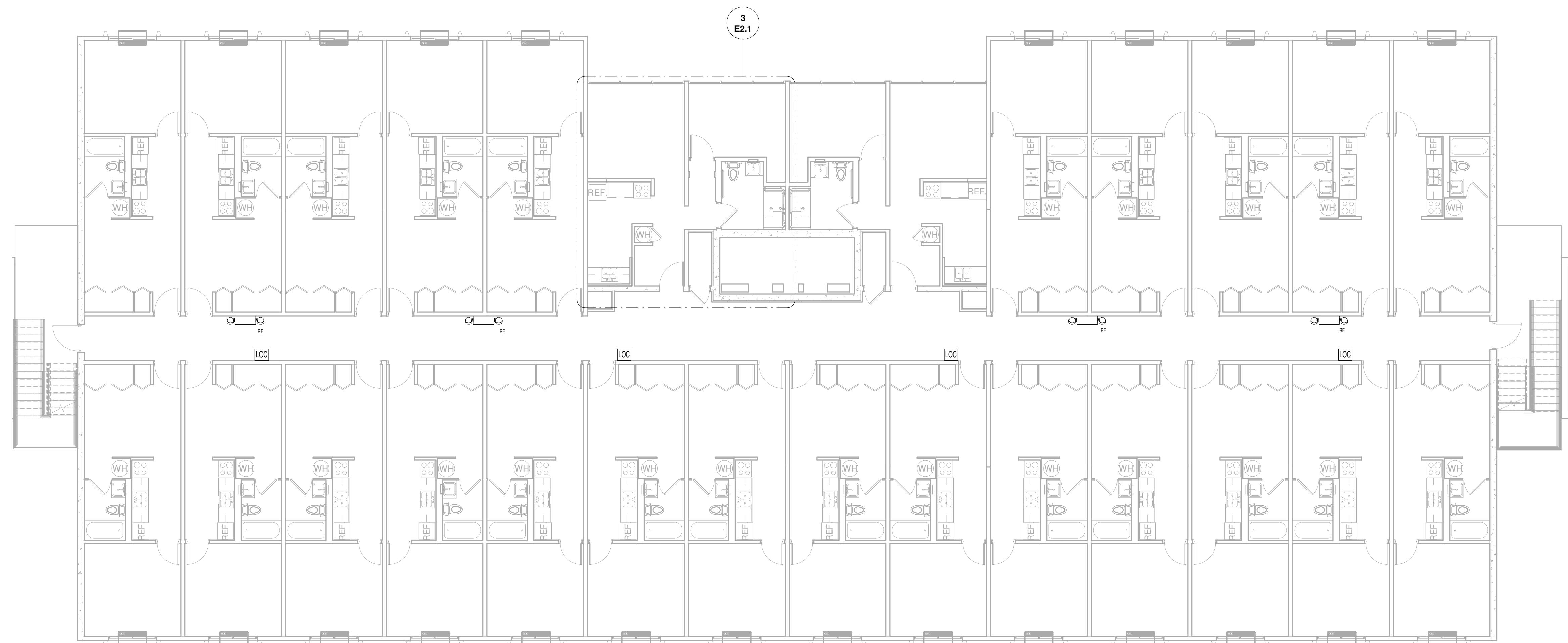
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Revisions		
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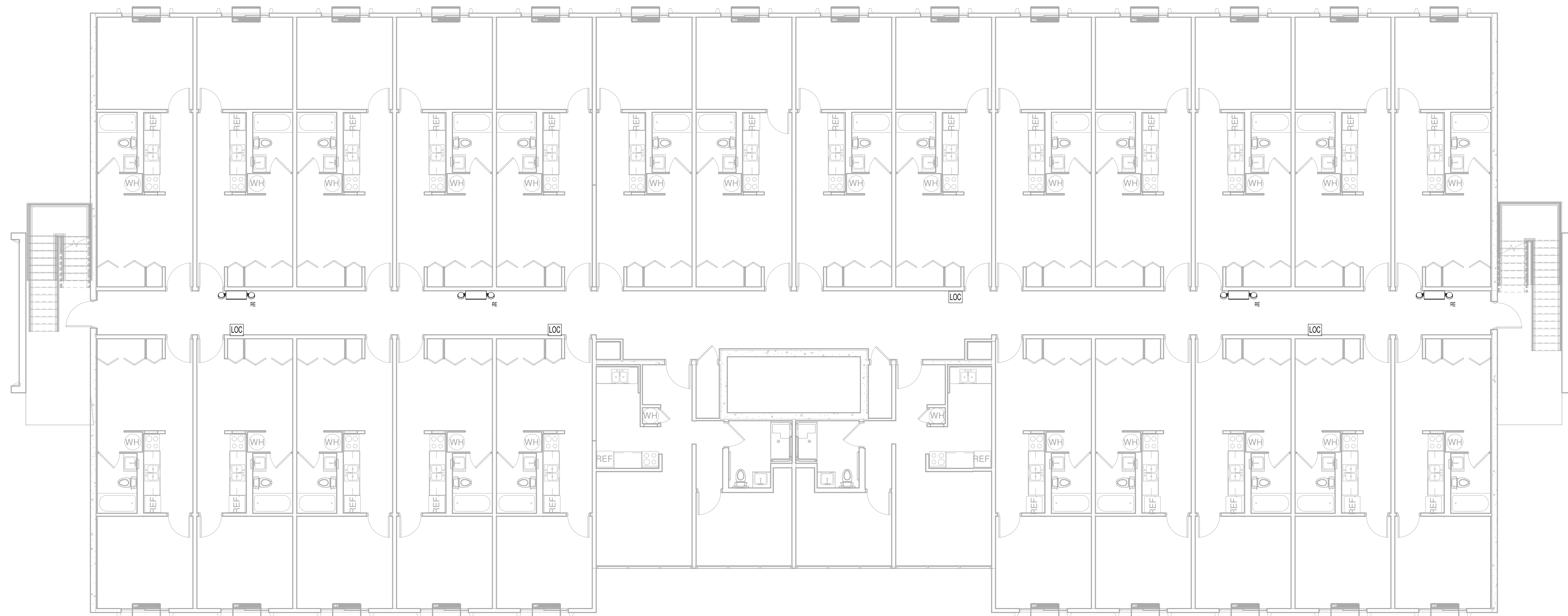
Job Number: 19136.00

BUILDING A & B - FIRST
FLOOR ELECTRICAL
PLANS

E1.1



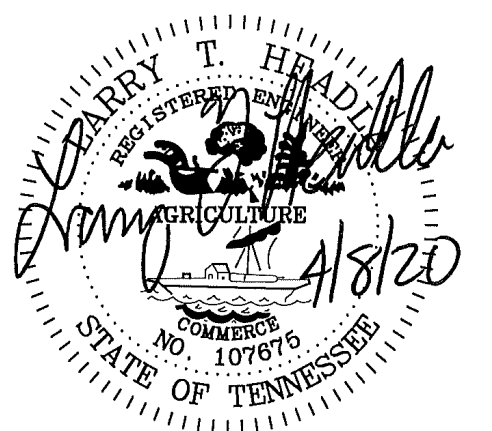
① ELECTRICAL FLOOR PLAN 2ND AND 4TH BUILDING A
1/8" = 1'-0"



② ELECTRICAL FLOOR PLAN 2ND AND 4TH BUILDING B
1/8" = 1'-0"

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Knoxville, TN 37919



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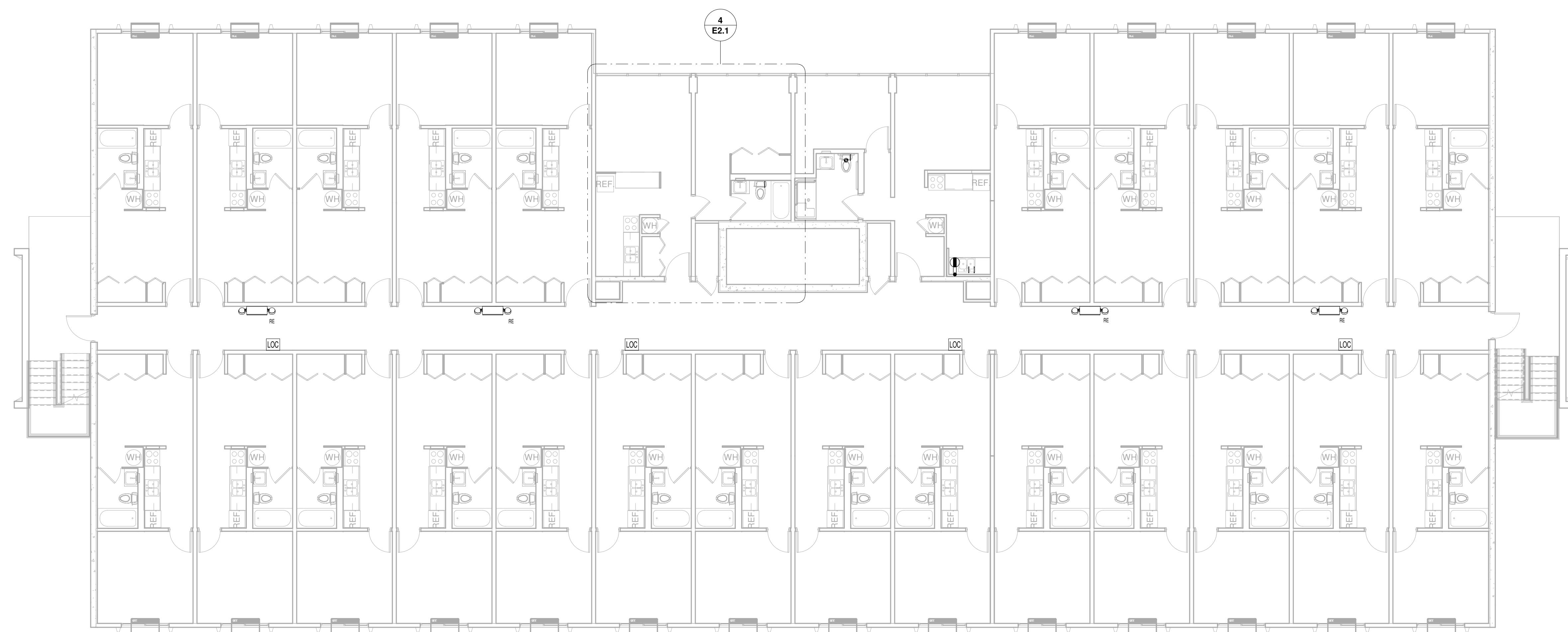
Issue Date: 04/08/20

Revisions		
No.	Description	Date

Job Number: 19136.00

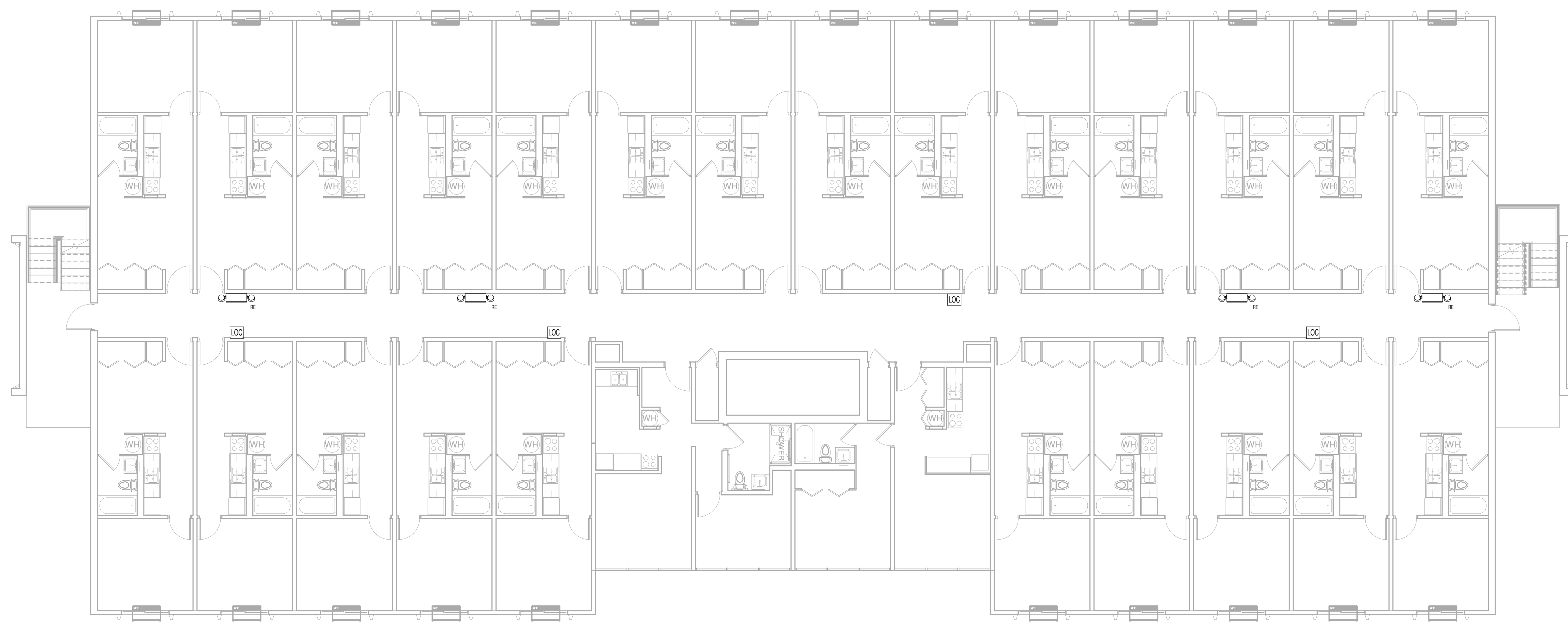
BUILDING A & B - 2ND
AND 4TH FLOOR

E1.2



1 ELECTRICAL FLOOR PLAN 3RD, 5TH AND 6TH BUILDING A
1/8" = 1'-0"

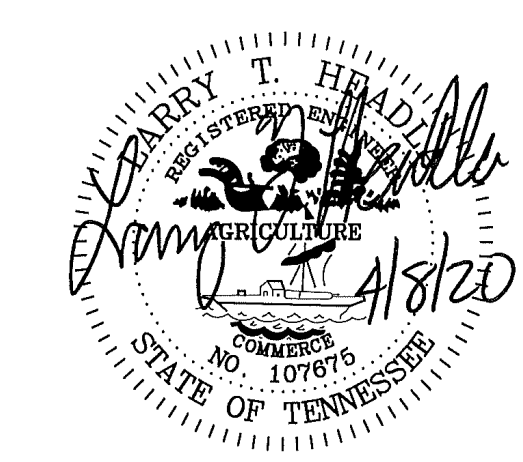
GENERAL NOTES:
1. FIFTH FLOOR HAS UFAS UNITS AS UNIT 511 IN BUILDING A AND UNIT 515 IN BUILDING B.



2 ELECTRICAL FLOOR PLAN 3RD, 5TH AND 6TH BUILDING B
1/8" = 1'-0"

KCDC - Cagle Terrace

515 Renford Rd
Knoxville, TN 37919



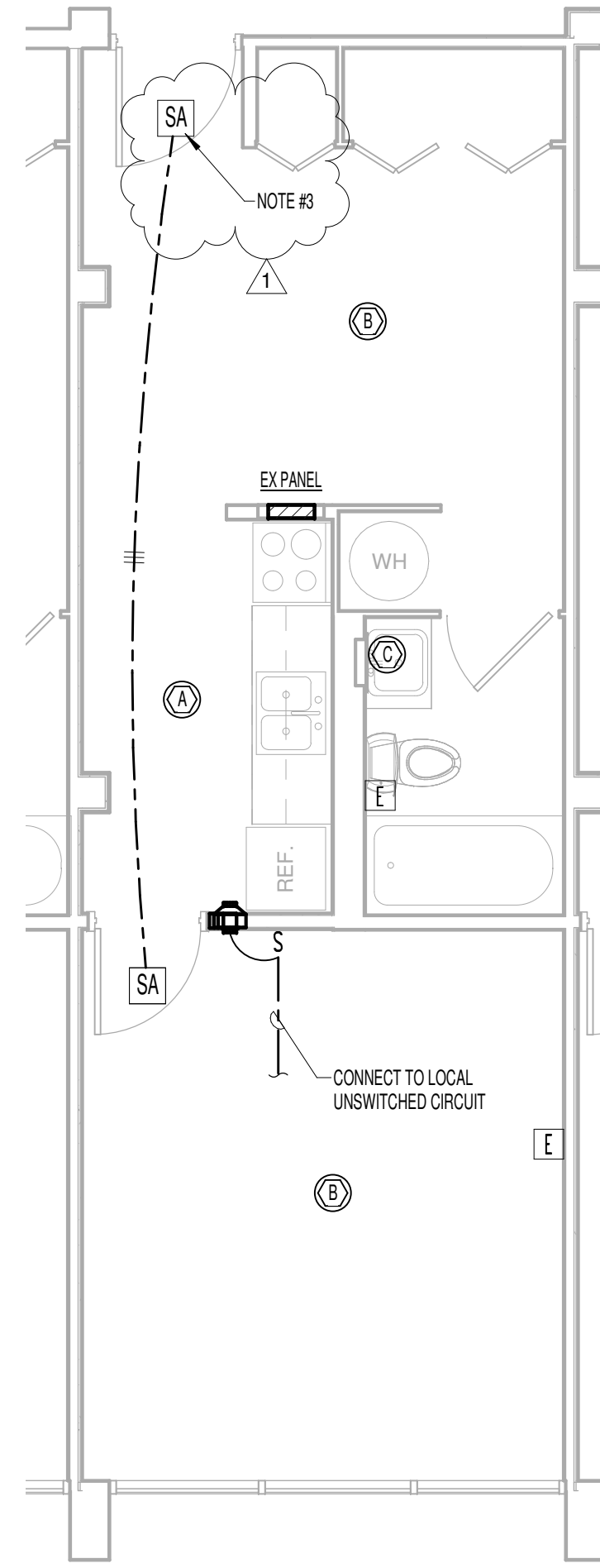
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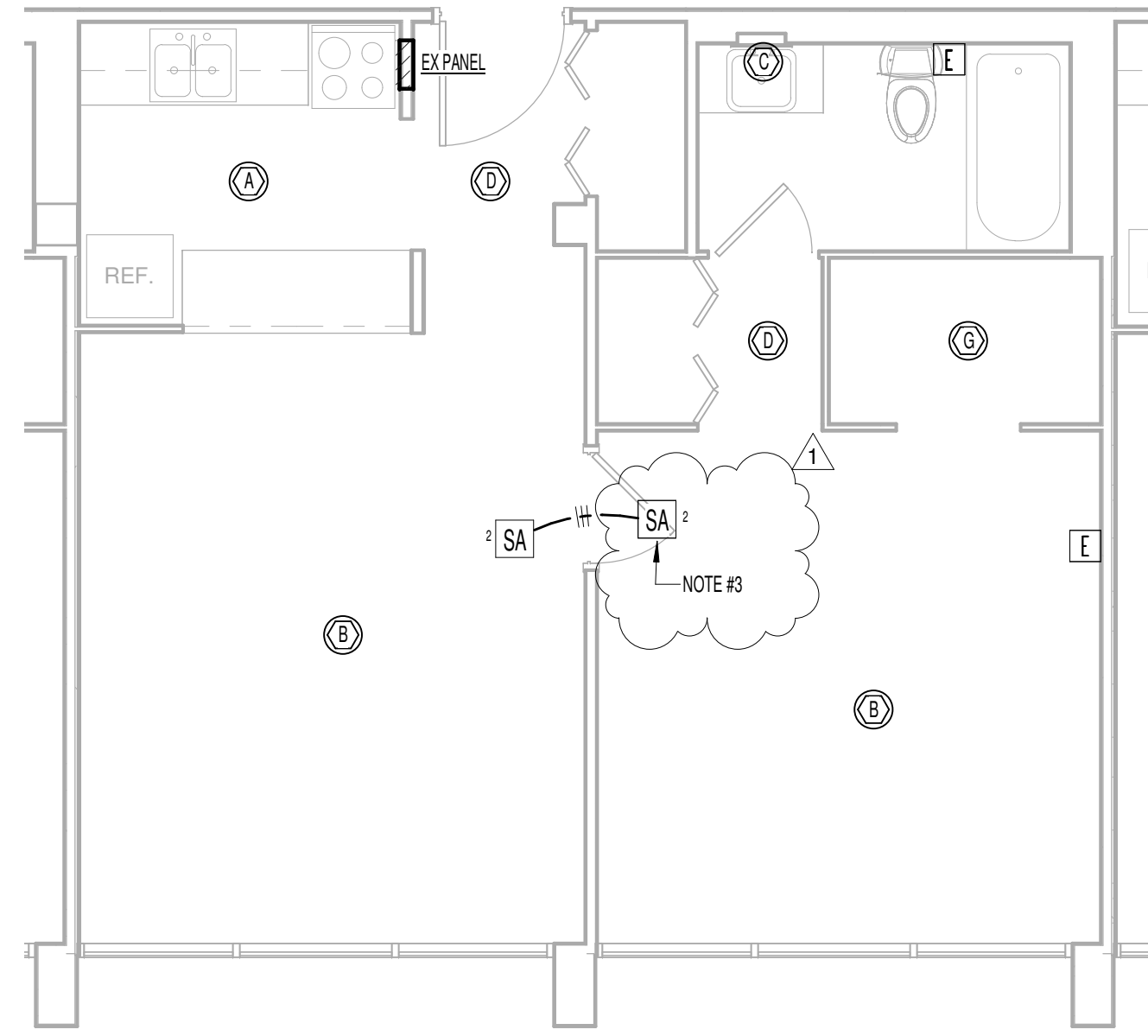
Revisions		
No.	Description	Date

Job Number: 19136.00
BUILDING A & B - 3RD,
5TH AND 6TH FLOOR

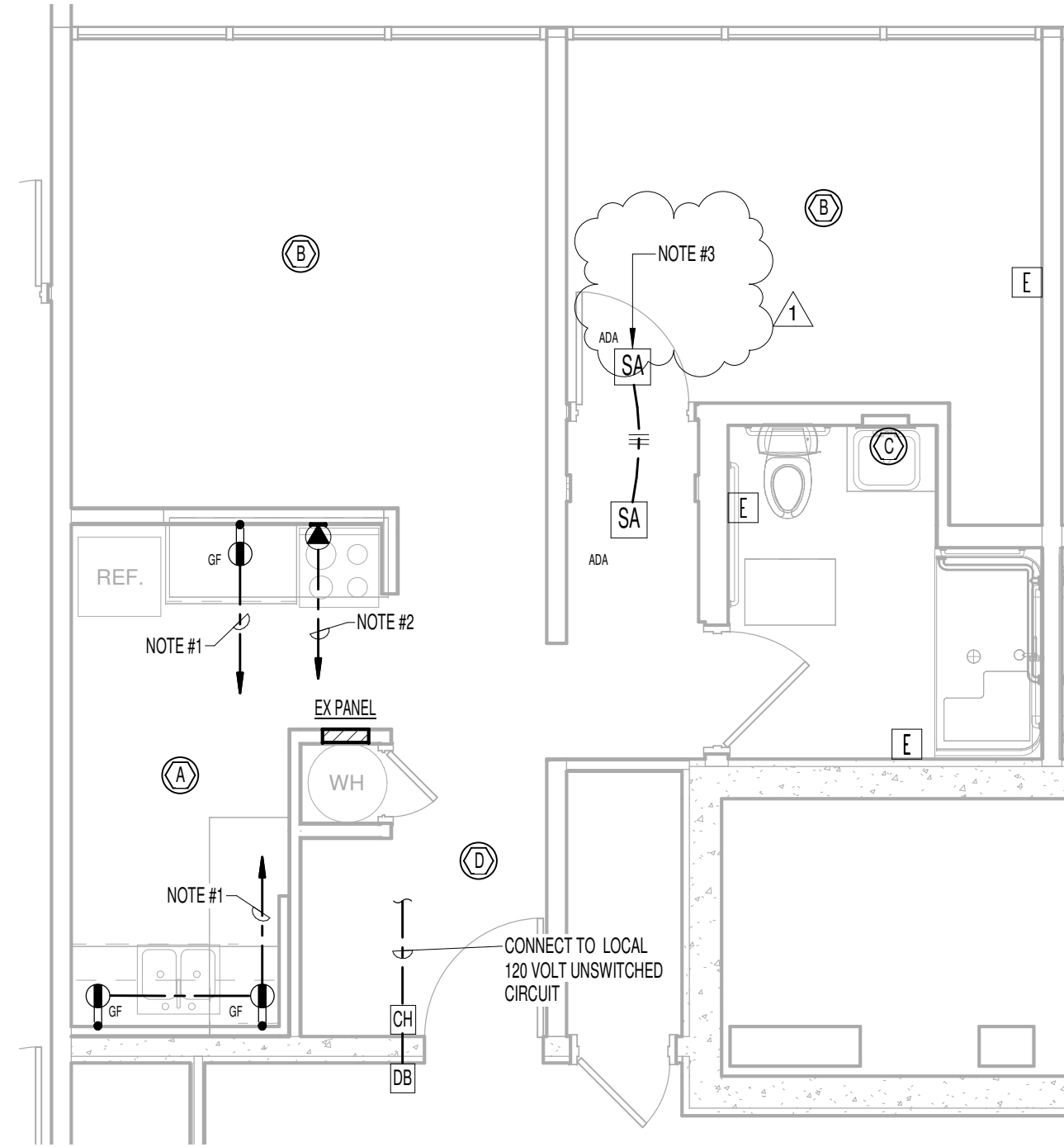
E1.3



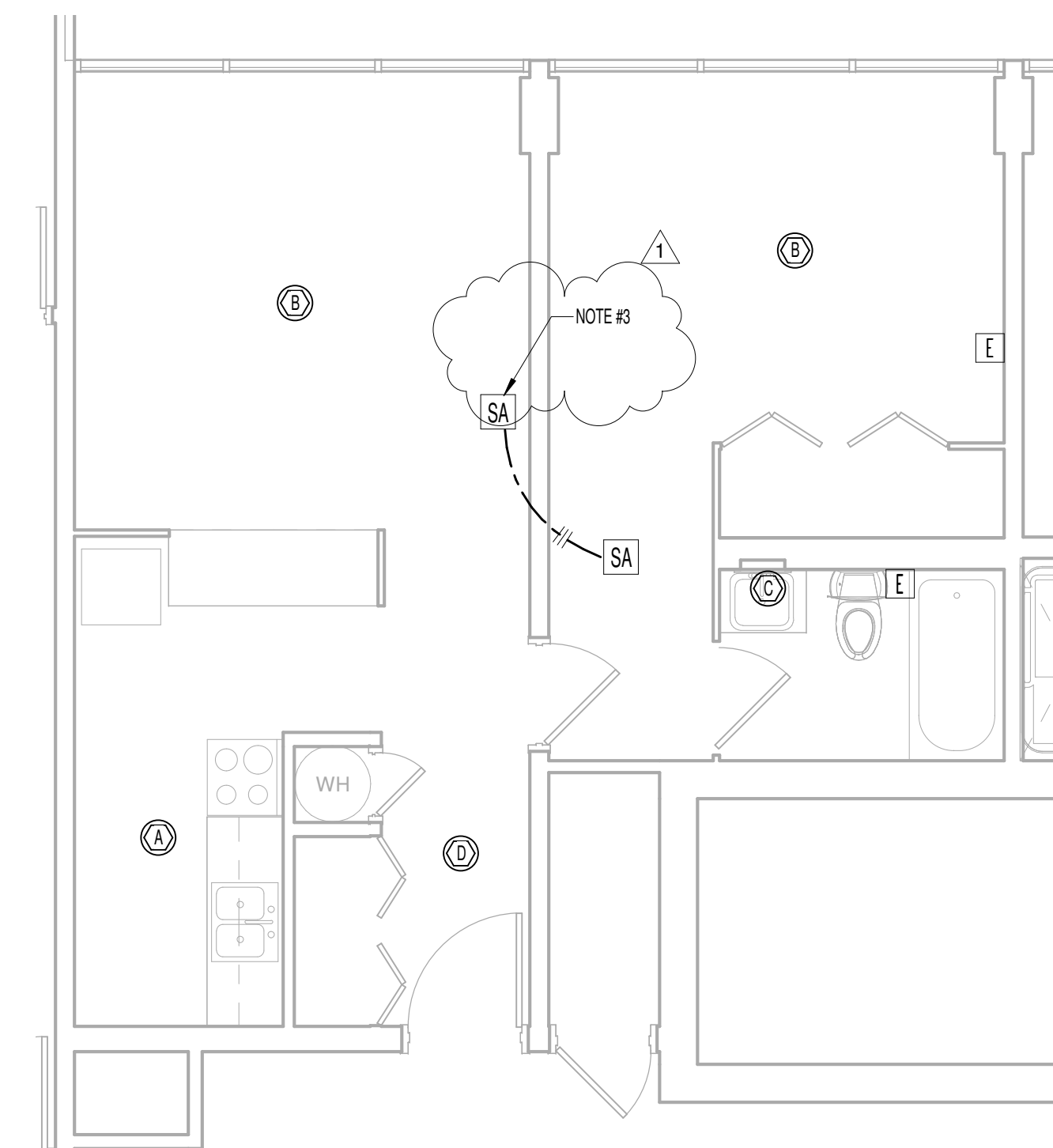
1 TYPE I APARTMENT ELECTRICAL PLAN (TYPE IV SIMILAR)
1/4" = 1'-0"



2 TYPE II APARTMENT ELECTRICAL PLAN
1/4" = 1'-0"



3 TYPE III UFAS APARTMENT ELECTRICAL PLAN
1/4" = 1'-0"



4 TYPICAL TYPE III-NON UFAS APARTMENT ELECTRICAL PLAN
1/4" = 1'-0"

- GENERAL NOTES:**
1. RELAMP ALL FIXTURE "X" IN KITCHEN WITH 1 LED RETROFIT LAMP, 3000K, 80 CRI MIN, 1000 LUMEN.
 2. RELAMP ALL FIXTURE "P" IN BEDROOM/LIVING ROOM WITH 1 LED RETROFIT LAMP, 3000K, 80 CRI MIN, 1000 LUMEN.
 3. RELAMP ALL FIXTURE "C" IN TOILET ABOVE MIRROR WITH 2 LED RETROFIT LAMP, 3000K, 80 CRI MIN, 750 LUMEN MIN.
 4. RELAMP ALL FIXTURE "D" IN ENTRY HALL WITH 1 LED RETROFIT LAMP, 3000K, 80 CRI MIN, 750 LUMEN.
 5. RELAMP ALL FIXTURE "Q" IN APARTMENT TYPE I WITH 1 LED RETROFIT LAMP, 3000K, 80 CRI MIN, 1000 LUMEN.
 6. RETROFIT LAMPS SHALL BE SIMILAR TO SATCO CO. S28P11 SERIES.

- REFERENCE NOTES:**
1. PROVIDE 1/2" 2#12 TO PANEL AND RECONNECT, PROVIDE NEW ARC FAULT TYPE BREAKER.
 2. PROVIDE 3/4" 2#8 TO PANEL AND RECONNECT TO EXISTING BREAKER.
 3. CONNECT TO LOCAL 120 VOLT RECEPTACLE CIRCUIT AND REPLACE CORRESPONDING BREAKER WITH NEW ARC FAULT TYPE BREAKER.

Date: 5/11/2020 3:27:41 PM
Drawn By: Author
Checked By: Checker
File: C:\Users\stufour\Documents\SP2001-MEP-R20_04\refl.rvt

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Revisions		
No.	Description	Date
1	CITY & OWNER COMMENTS	05/11/2020

Job Number: 19136.00
TYPICAL APARTMENTS -
ELECTRICAL PLAN

E2.1