

Beaufort Arsenal Window Restoration and Restroom Renovation
Meadors Project number: 18-0125

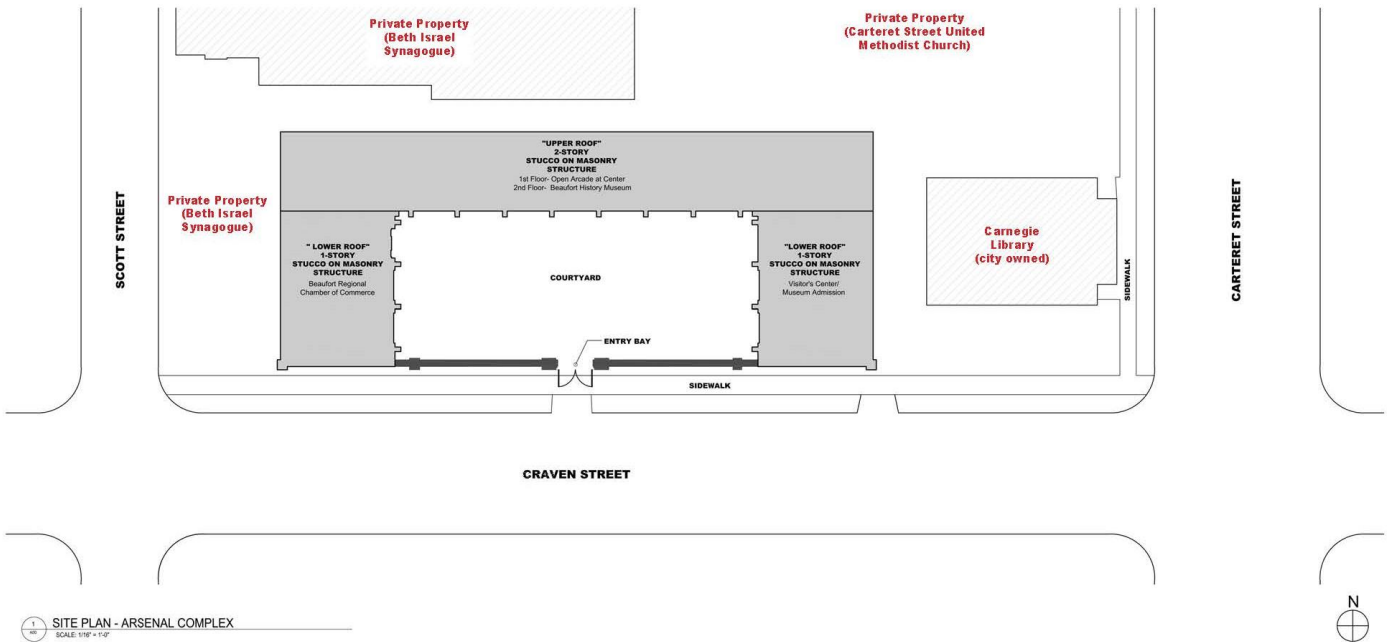
Meeting Topic: Construction Pre-Bid Meeting

Date: February 14, 2019 9:00 AM

Meeting Notes

- **Attendance:**
 - Paul McGee (City of Beaufort Procurement Administrator), Linda Roper (City of Beaufort Director of Downtown Operations & Community Services), Betty Prime (Meadors, Inc., Project Architect)
 - Contractors in Attendance (see sign in sheet)
 - Members of Nix Construction and Huss, Inc. attended the pre-bid conference.
- **Grant Requirements:**
 - Grant required completion date- March 2020.
- **Project Start Date:**
 - Following award, the City of Beaufort would like to begin construction within 30-60 days.
- **Construction Meetings:**
 - Construction meetings will be held weekly with the City of Beaufort project manager. Meadors, Inc. (Project Architect) and Live Oak (Project Engineer) will attend meetings at project milestones and at the request of the owner.
- **Work Hours and Access:**
 - Owner to provide key(s) to access site.
 - Tenant Hours of Operation:
 - Museum open M-Sat. 10:00 AM – 4:00 PM
 - Visitors Center M- Sat. 9:00 AM – 5:00 PM
 - Contractor can work on weekends. Notify owner in advance when planning to work Sundays. No loud noises on Sundays due to proximity to churches.
 - Contractor can begin work at 7:30 AM.
 - No work can be done after 10:30 PM due to noises ordinance.
 - Coordinate loud work with owner and tenants.
- **Site Constraints:**
 - Parking
 - Reference Specification Section 015000 Temporary Facilities and Controls Part 3, 3.3.
 - Storage and Dumpsters

- Reference Specification Section 015000 Temporary Facilities and Controls Part 2, 2.1.
- Adjacencies
 - Property surrounding the arsenal is not owned by the City of Beaufort (with the exception of the Carnegie Library). Synagogue property adjacent to the Chamber of Commerce should not be used for material laydown. The surrounding properties must be returned to their current condition at the close of construction.



- **Drawings:**
 - All Mechanical, Electrical, Plumbing, and Sprinkler specifications are on the drawings.

City of Beaufort
Banking Services (RFP 2019-105)
Questions and Answers Submitted by Feb 28, 2019

- 1) On Appendix C (Price Summary Form) a line item is listed as Contingency. Who is to have use of this contingency? The contractor or the owner? **The contingency line is used for an amount you have set aside for any unplanned expenses and should be a part of your bid proposal.**
- 2) The specifications do not list Builder's Risk, is this required? If so, who will need to provide the Builder's Risk? **Builders Risk is not required.**
- 3) Where there any asbestos tests taken, and reports created? If so, may we please have access to those findings. **See Addendum #4 for the Hazardous Materials Testing.**
- 4) Is the AIA contract the preferred form for this project? In addition, will the owner provide the contract? **The City will provide a contract when a vendor has been selected.**
- 5) One of our subcontractors is asking if the project is considered a "Buy America Act" or BAA project, can you please confirm? **This is not a Buy America Act project.**