

# RFP 2019-105 ARSENAL WINDOW RESTORATION & RESTROOM RENOVATION

## CONTACTS

### Owner:

City of Beaufort  
1911 Boundary Street  
Beaufort, SC 29902

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Principal and Mechanical Engineer  
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## PROJECT DATA

### 1. General Information

Address: Beaufort Arsenal/Beaufort History Museum  
713 Craven Street  
Beaufort, SC 29902

Property ID: R120 004 000 819A 0000  
Flood Zone: A11  
Flood Insurance Map Panel #450026 0005D

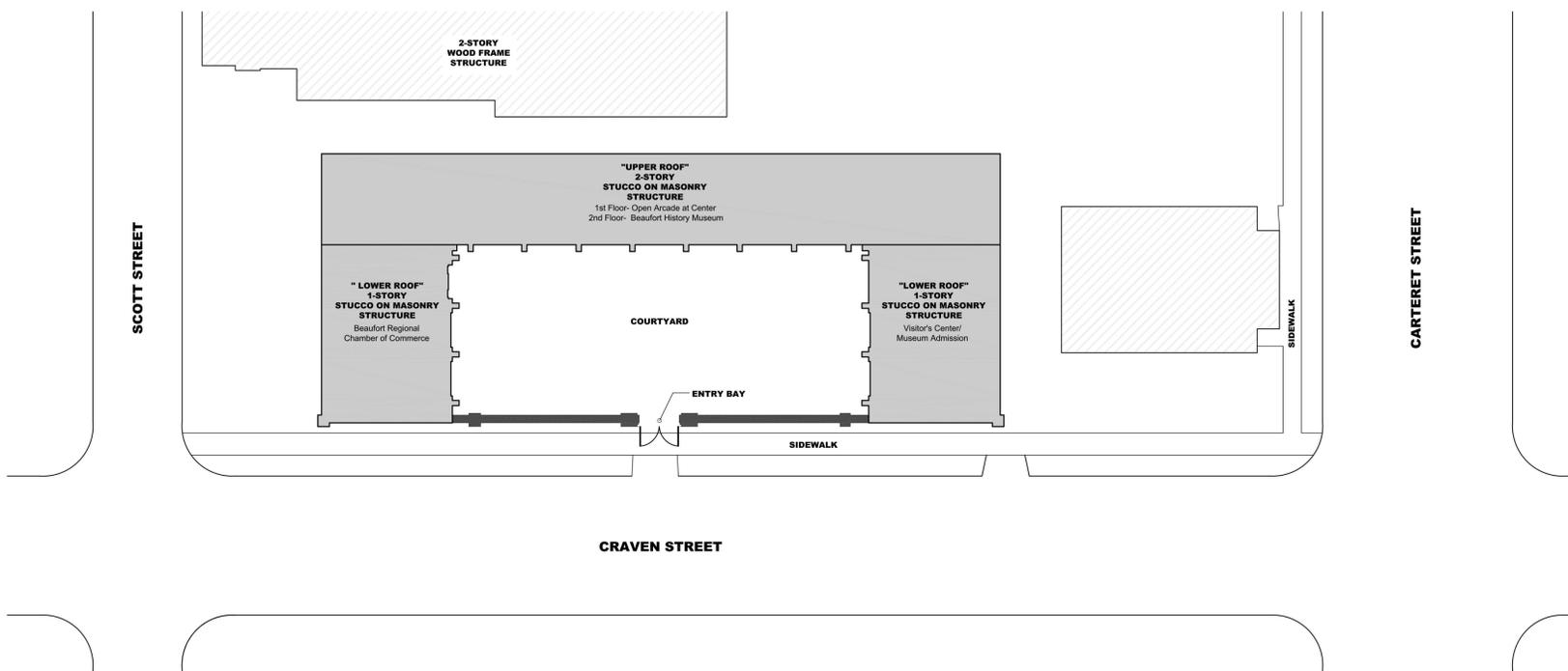
Site Area: 9,212 SF (.212 Acres)

## PROJECT DESCRIPTION

The Beaufort Arsenal is an iconic local historic site and a major contributing structure in the City of Beaufort's National Historic Landmark District. The scope of work for this project includes: window restoration, renovation of one (1) existing restroom, and construction of three (3) new restrooms.

## DRAWING LIST

A00	COVER/TITLE SHEET	M0-01	MECHANICAL NOTES, LEGENDS, & SCHEDULES
A01	NOTES & SPECIFICATIONS	M1-01	MECHANICAL PLAN
A02	EXISTING CONDITIONS	M5-01	MECHANICAL DETAILS
D101	1ST FLR DEMOLITION PLAN	P0-01	PLUMBING NOTES, LEGEND, DETAILS, & SCHEDULES
A101	1ST FLOOR PROPOSED PLAN	P1-01	PLUMBING SANITARY SEWER PLAN
A201	BUILDING ELEVATIONS	P1-02	PLUMBING DOMESTIC WATER PLAN
A202	BUILDING ELEVATIONS	E0-01	ELECTRICAL NOTES, LEGEND, & ABBREVIATIONS
A301	BUILDING & WALL SECTIONS	E1-01	ELECTRICAL LIGHTING PLAN
A601	WINDOW & DOOR SCHEDULES	E1-02	ELECTRICAL POWER PLAN
A801	INTERIOR ELEVATIONS	E6-01	ELECTRICAL DETAILS, SINGLE LINE DIAGRAM, & SCHEDULES
A802	INTERIOR ELEVATIONS	FP0-01	FIRE PROTECTION NOTES, DESIGN DATA, SCHEDULES, & DETAILS
A803	INTERIOR ELEVATIONS	FP1-01	FIRE PROTECTION PLAN
A804	INTERIOR ELEVATIONS		
A901	FINISH SCHEDULE		



1 SITE PLAN - ARSENAL COMPLEX  
SCALE: 1/8" = 1'-0"

MEADORS  
SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585

CITY OF BEAUFORT  
BEAUFORT ARSENAL  
713 CRAVEN STREET  
BEAUFORT, SC 29902

BID DRAWINGS

PROJ. 18-0125  
ISSUE DATE: 12/21/18

REVISIONS

#	DATE	NOTES

COVER/TITLE SHEET

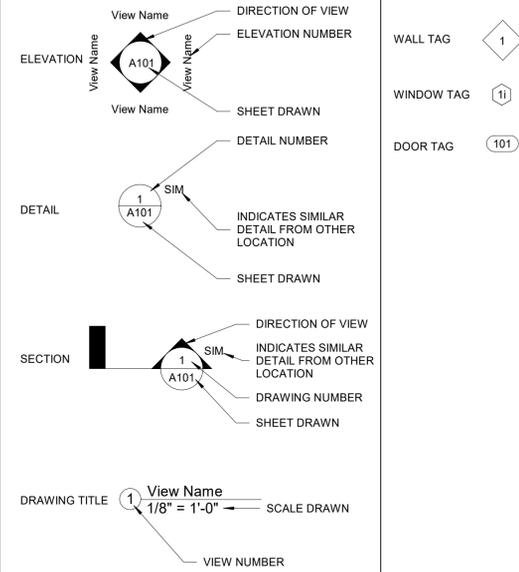
A00

NOT FOR CONSTRUCTION

# PROJECT GENERAL NOTES

- THE BUILDING IS HISTORIC, CARE SHALL BE TAKEN TO PROTECT THE BUILDING AND PROPERTY FROM DAMAGE DURING ALL WORK. ALL EFFORT SHALL BE MADE TO PROTECT, RETAIN, AND PRESERVE AS MUCH EXISTING ORIGINAL MATERIAL AS POSSIBLE. NEW MATERIAL MUST MATCH THE ORIGINAL LOCATION, SIZE, MATERIAL, PROFILE (WHERE APPLICABLE), AND INSTALLATION METHOD.
- THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
- THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUB-CONTRACTORS.
- SCOPE OF WORK. THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, TAXES, PERMITS, AND FEES AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT.
- BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- IF THE CONTRACT DRAWINGS AND SPECS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- THE ARCHITECT SHALL HAVE UNRESTRICTED ACCESS TO THE SITE DURING CONSTRUCTION OF THE PROJECT. IF A CONDITION EXISTS, THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ANY OF THE ARCHITECT'S CONSULTANTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING.
- CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY ARE THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AS OUTLINED IN THE CONTRACT DRAWINGS AND SPECIFICATIONS, AND ALL SAFETY PROCEDURES AND FOR COORDINATION OF ALL PORTIONS OF THE WORK.
- INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW AND GENERAL LIABILITY SHALL BE CARRIED BY THE CONTRACTOR, NAMING THE OWNER AND ARCHITECTS AS ADDITIONALLY INSURED.
- GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE, UNLESS NOTED OTHERWISE IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS, FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES AND SUBCONTRACTORS.
- CLEANING UP: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND, AT THE COMPLETION OF THE WORK, SHALL REMOVE ALL RUBBISH, IMPLEMENTS, AND SURPLUS MATERIALS, AND LEAVE THE PROJECT CLEAN AND IN SAFE CONDITION.
- CONTRACTOR TO PROVIDE THE OWNER WITH A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES AND OPERATIONS AND MAINTENANCE MANUALS ASSOCIATED WITH ANY COMPONENT INCLUDED AS PART OF THE SCOPE OF WORK.
- CONTRACTOR SHALL KEEP A RECORD SET OF DRAWINGS ON SITE AND NOTE DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS AND DOCUMENT SPECIAL CONDITIONS THAT ARE EXPOSED. CONTRACTOR SHALL TURN THE RECORD SET OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT.
- NO OPEN FLAME DEVICES ARE ALLOWED WITHIN THE BUILDING OR ON COMPONENTS STILL ATTACHED TO THE BUILDING. THIS INCLUDES, BUT IS NOT LIMITED TO, TORCHES, WELDERS OR CIGARETTES.
- DO NOT SCALE OFF DRAWINGS.
- THESE DOCUMENTS ARE THE COPYRIGHTED PROPERTY AND INTELLECTUAL PROPERTY OF MEADORS INC. THE DOCUMENTS ARE NOT TO BE REPRODUCED OR UTILIZED FOR ANY PURPOSE OTHER THAN ORIGINALLY INTENDED AS STIPULATED ON THE COVER SHEET AND TITLEBLOCK. USE OF THE DOCUMENTS FOR ANY PURPOSE, SPECIFICALLY STIPULATED OR NOT, SHALL BE GRANTED ONLY VIA AUTHORIZED WRITING BY MEADORS INC.
- NONE OF THE DOCUMENTS INCLUDED IN DRAWING INDEX ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. ALL PARTIES/ENTITIES UTILIZING THESE DOCUMENTS FOR BIDDING, QUANTITY SURVEY, AND/OR CONSTRUCTION SHALL CONSULT THE GENERAL NOTES AND INFORMATION LOCATED ON THIS SHEET AND ALL SHEETS FOR INFORMATION AND CONDITIONS GOVERNING WORK DESCRIBED IN DOCUMENTS LISTED IN THE DRAWING INDEX BEFORE PROCEEDING WITH PROCUREMENT AND/OR CONSTRUCTION. GENERAL INFORMATION AND DATA SHEET(S) PROVIDE CODE PROCEDURAL AND USE GUIDELINES GOVERNING ALL BID AND/OR CONSTRUCTION DOCUMENTS. ALL BIDDERS, SUB-BIDDERS, CONTRACTORS, AND SUB-CONTRACTORS SHALL UTILIZE COMPLETE SETS OF THE BIDDING AND/OR CONSTRUCTION DOCUMENTS IN QUANTIFYING AND CONSTRUCTING. NEITHER THE OWNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS, OMISSIONS, OR MISINTERPRETATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF BIDDING AND/OR CONSTRUCTION DOCUMENTS.
- ALL CONSTRUCTION, MATERIALS, AND INSTALLATIONS SHALL CONFORM TO THE CURRENT CODES NOTED ON THE COVER SHEET OF THESE DRAWINGS AS WELL AS APPLICABLE STATE AND LOCAL CODES, TRADE ASSOCIATION STANDARDS AND/OR MANUFACTURER'S STANDARDS AS ADOPTED BY THE APPLICABLE LOCAL JURISDICTION HAVING AUTHORITY.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- COORDINATE AREAS FOR LAYDOWN, STORAGE AND PARKING WITH ARCHITECT AND OWNER PRIOR TO BEGINNING THE WORK.
- FLOOR ELEVATIONS BASED ON SITE MEASUREMENTS W/ ELEVATION 0'-0" AT FIRST FLOOR. VERIFY DIMENSIONS PRIOR TO PERFORMING WORK.
- PROVIDE ADEQUATE BLOCKING FOR ALL NEW SHELVEING, BRACKETS, GRAB BARS, HANDRAILS, CABINETS, BATH ACCESSORIES, ETC.

# SYMBOLS LEGEND



Code Compliance with the Following:

- International Building Code (IBC), 2015 Edition with South Carolina Modifications
- International Existing Building Code (IEBC), 2015 Edition (*Work Area Compliance Method, Alteration Level 2*)
- International Fire Code (IFC), 2015 Edition with South Carolina Modifications
- International Mechanical Code (IMC), 2015 Edition
- International Plumbing Code (IPC), 2015 Edition
- National Electrical Code, 2014 Edition, NFPA 70
- South Carolina Energy Conservation Code (SCECC), 2009 Edition
- Federal Emergency Management Agency American with Disabilities Act (ADA) ANSI A117.1 2017 Edition - Accessible & Usable Buildings & Facilities

# GENERAL SPECIFICATIONS

**THIS DRAWING SET IS TO BE PAIRED WITH PROVIDED OUTLINE SPECIFICATIONS DOCUMENT. NEITHER THE DRAWINGS OR THE OUTLINE SPECIFICATIONS DOCUMENT ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. BOTH THE DRAWINGS AND THE OUTLINE SPECIFICATIONS DOCUMENTS ARE TO BE CONSIDERED IN THE SCOPE OF WORK FOR THIS PROJECT.**

**ADDITIONAL NOTES:**

\*\*\* Contractor is responsible to verify all dimensions and relevant bidding criteria.

# GENERAL DEMOLITION NOTES

- PLANS ARE GENERAL AND DIAGRAMMATIC IN NATURE. THE PLANS ARE NOT INTENDED TO REPRESENT THE TOTAL SCOPE OF WORK. THESE PLANS DO NOT SHOW EACH ITEM THAT IS REQUIRED TO BE REMOVED. EACH CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL CONDITIONS AS THEY EXIST IN THE FIELD THROUGH SITE INSPECTION AND REVIEW OF THESE DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND COORDINATE THE REMOVAL AND DEMOLITION WORK AS REQUIRED TO ACHIEVE THE FINAL PRODUCT AS INDICATED IN THESE DOCUMENTS.
- REMOVE, CLEAN, PATCH/REPAIR EXISTING SURFACES/FINISHES AS NECESSARY FOR THE INSTALLATION OF NEWLY SCHEDULED FINISHES. REFER TO KEYED REPAIR PLAN FOR LIMITED SCOPE.
- THE OWNER AND HIS DESIGNATED REPRESENTATIVES HAVE FIRST RIGHT OR REFUSAL REGARDING SALVAGEABLE ITEMS. CONTRACTOR SHALL COORDINATE WITH OWNER.
- EXISTING STRUCTURAL SYSTEM SHALL NOT BE REMOVED OR MODIFIED UNLESS APPROVED IN ADVANCE BY THE ARCHITECT AND/OR ENGINEER.
- REMOVE EXISTING ITEMS AS REQUIRED FOR REUSE IN THE NEW PLAN OR NEW FINISH. CATALOG AND STORE ITEMS IN A SAFE STORAGE AREA SUBJECT TO THE OWNER'S APPROVAL UNTIL THE TIME OF REINSTALLATION. LOST ITEMS SHALL BE REPLACED WITH COMPARABLE NEW ITEM AT NO COST TO THE OWNER.
- DURING THE COURSE OF DEMOLITION, IF ITEMS OR AREAS OF HISTORIC SIGNIFICANCE ARE DISCOVERED, CONTRACTOR SHALL CEASE WORK ON ITEM OR AREA OF INTEREST AND IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE AND ARCHITECT.
- SALVAGED MATERIAL: DOCUMENT ITEMS TO BE SALVAGED BEFORE PERFORMING ANY WORK. ITEMS TO BE MARKED WITH A REMOVABLE LABEL DESIGNATING ORIGINAL LOCATION AND STORED IN AN AREA TO PROTECT THEM FROM DAMAGE OR THEFT.
- EACH EXISTING HISTORICAL COMPONENT MAY VARY SLIGHTLY IN SIZE, SHAPE, AND DETAIL. VERIFY EACH COMPONENT IN THE FIELD PRIOR TO PERFORMING WORK IN THAT AREA.
- ANY ITEMS NOT SHOWN TO BE DEMOLISHED THAT ARE DAMAGED SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ANY ITEMS NOT TO BE RETAINED BY THE OWNER SHALL BE DISPOSED OF BY THE CONTRACTOR PER APPROPRIATE REGULATIONS.
- DRAWINGS ARE BASED ON UNKNOWN CONDITIONS BELOW GRADE AND WITHIN WALL AND FLOOR ASSEMBLIES. FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- COORDINATE LOCATION OF CONSTRUCTION BARRICADES AND DUMPSTER WITH OWNER. DUMPSTER SHALL HAVE A COVER TO AVOID WIND-BLOWN DEBRIS ONTO THE SITE.
- PROVIDE DUST & CONSTRUCTION DEBRIS CONTROL & CONTAINMENT IN AREAS WHERE WORK IS BEING PERFORMED.
- CLEAN AND RETURN EACH SPACE TO PRE-DEMOLITION CONDITION READY FOR USE BY OWNER PRIOR TO PROCEEDING TO NEXT WORK AREA.
- AVOID DAMAGE TO INTERIOR FINISHES DURING THE COURSE OF WORK. IF NECESSARY, A UTILITY KNIFE SHOULD BE USED TO CAREFULLY SEPARATE ELEMENTS TO BE DEMOLISHED FROM THOSE TO REMAIN. SPECIAL CARE SHOULD BE TAKEN TO PRESERVE ORIGINAL PLASTER FINISHES.
- NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK IF MATERIALS ARE EXPOSED THAT ARE DAMAGED AND WERE NOT SCHEDULED FOR REPLACEMENT.
- SALVAGE, CATALOGUE, AND STORE FOR REINSTALLING, HISTORIC BUILDING ELEMENTS THAT ARE REMOVED DURING DEMOLITION.
- GC SHALL KEEP A TRACKING LOG OF ALL HISTORIC BUILDING ELEMENTS THAT ARE SALVAGED AND REMOVED FROM THE BUILDING; LOG SHALL STATE ORIGINAL LOCATION, WHEN REMOVED & BY WHOM, WHERE TAKEN, AND WHEN RETURNED. GC SHALL UPDATE LOG REGULARLY AND PRESENT TO OWNER & ARCHITECT AS REQUIRED.
- PROVIDE SIGNAGE FOR ACCESS TO BUILDING & MAINTAIN EMERGENCY EGRESS THROUGHOUT CONSTRUCTION.
- REMOVE ALL FASTENERS, BRACKETS, CONDUITS, WIRES, ETC. THAT ARE NOT IN USE (TYP.)
- CATALOG, REMOVE, AND PROPERLY STORE ANY/ALL EQUIPMENT AS REQUIRED TO MAKE NECESSARY CHANGES.

# APPLICABLE CODES

# ABBREVIATIONS LEGEND

&	AND	KDAT	KILN DRIED AFTER TREATMENT
@	AT	LT WT	LIGHT WEIGHT
ACOUS	ACOUSTICAL	LLH	LONG LEG HORIZONTAL
ACT	ACOUSTICAL CEILING TILE	LLV	LONG LEG VERTICAL
ADA	AMERICANS WITH DISABILITY ACT	LP	LOW POINT
AFB	ABOVE FINISHED FLOOR	LVL	LAMINATED VENEER LUMBER
ALT	ALTERNATE		
ALUM	ALUMINUM	MAT'L	MATERIAL
APPROX	APPROXIMATE	MAX	MAXIMUM
ARCH	ARCHITECTURAL	MECH	MECHANICAL
		MFR	MANUFACTURER
BLDG	BUILDING	MIN	MINIMUM
BLKG	BLOCKING	MISC	MISCELLANEOUS
BM	BEAM	MO	MASONRY OPENING
B.O.	BOTTOM OF	MTL	METAL
CAT	CATALOGUE	NIC	NOT IN CONTRACT
CJ	CONTROL JOINT	NOM	NOMINAL
CL	CENTERLINE	NON-COM	NON-COMBUSTIBLE
CLG	CEILING	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT		
COL	COLUMN	OC	ON CENTER
CONC	CONCRETE	OPNG	OPENING
CONN	CONNECTION	OPP	OPPOSITE
CONST	CONSTRUCTION	OF/CI	OWNER FURNISHED - CONTRACTOR INSTALLED
CONT	CONTINUOUS	OF/OI	OWNER FURNISHED - OWNER INSTALLED
DET / DTL	DETAIL		
DIAG	DIAGONAL	PLUMB	PLUMBING
DIA	DIAMETER	PR	PAIR
DIM	DIMENSION	PRE-FAB	PRE-FABRICATED
DN	DOWN	PT	PAVER TILE
DR	DOOR	PT	PRESSURE-TREATED
DS	DOWNSPOUT	PVB	POLY VAPOR BARRIER
DWGS	DRAWINGS		
EA	EACH	RAD	RADIUS
EJ	EXPANSION JOINT	RD	ROOF DRAIN
ELEV	ELEVATION	REF	REFERENCE
EOS	EMERGENCY OVERFLOW SCUPPER	REINF	REINFORCING
EQ	EQUAL	REQ'D	REQUIRED
EQUIP	EQUIPMENT	REV	REVISION
EX/EXIST	EXISTING	RO	ROUGH OPENING
EXT	EXTERIOR		
FACP	FIRE ALARM CONTROL PANEL	SCHED	SCHEDULE
FD	FLOOR DRAIN	SEC	SECURE / SECURITY
FDN	FOUNDATION	SECT	SECTION
FE	FIRE EXTINGUISHER	SIM	SIMILAR
FEC	FIRE EXTINGUISHER & CABINET	SOG	SLAB ON GRADE
FFE	FURNITURE, FIXTURES, & EQUIPMENT	SPECS	SPECIFICATIONS
FIG	FIGURE	SQ	SQUARE
FIN	FINISH	SQ FT	SQUARE FEET
FLR	FLOOR	STD	STANDARD
FRP	FIBERGLASS REINFORCED PLASTIC	STL	STEEL
FTG	FOOTING	STRUCT	STRUCTURE / STRUCTURAL
		SYMM	SYMMETRICAL
GALV	GALVANIZED	TEMP	TEMPORARY
GA	GAUGE OR GAGE	THK'NS	THICKNESS
GYP BD	GYPSUM BOARD	T.O.	TOP OF
GIR	GIRDER	TRTD	TREATED
GRD BM	GRADE BEAM	T.T.W.	TO THE WEATHER
		TYP	TYPICAL
H/C	HANDICAPPED	UNO	UNLESS NOTED OTHERWISE
HB	HOSE BIB		
HM	HOLLOW METAL	VCT	VINYL COMPOSITION TILE
HORIZ	HORIZONTAL	VERT	VERTICAL
HP	HIGH POINT	VIF	VERIFY IN FIELD
HT	HEIGHT	VL	VINYL
HVAC	HEATING, VENTILATION, & AIR CONDITIONING		
		W/	WITH
		W/O	WITHOUT
		WP	WATERPROOFING
		WS	WATER STOP
		WT	WEIGHT
INSUL	INSULATION		
INTR	INTERIOR		
INV	INVERT		
JT	JOINT		

# FRAMING CONNECTIONS

- STRUCTURAL FRAMING SHALL BE #2 SOUTHERN YELLOW PINE WITH MINIMUM VALUES:
  - Fb = 1,200 PSI
  - Ft = 650 PSI
  - E = 1,600,000 PSI
  - Fv = 90 PSI
  - Fc parallel = 1550 PSI
  - Fc perpendicular = 565 PSI
- INSTALL ALL FRAMING CONNECTORS, TIES, AND STRAPS PER MANUFACTURER'S SPECIFICATIONS. CONNECTORS EXPOSED TO WEATHER SHALL HAVE Z-MAX GALVANIZED FINISH OR EQUAL.
- INSTALL ALL TIES AND STRAPS PER MANUFACTURER'S SPECIFICATIONS.
- PROVIDE SIMPSON JOIST HANGERS OR EQUAL AT ALL FLOOR JOISTS, BEAM CONNECTIONS & GIRDERS.
- PROVIDE SIMPSON CS16 OR EQUAL AT RAFTER TO RIDGE BOARD CONNECTION.
- PROVIDE SIMPSON HOLD DOWN TIES OR EQUAL AT THE FOLLOWING LOCATIONS:
  - FIRST FLOOR, INSTALL SIMPSON HDU5-SDS2.5 PER FIRST FLOOR FRAMING
  - 5/8" STRONG TIE ROD SYSTEM OR EQUAL MAY REPLACE HOLD DOWN STRAPPING.
  - INSTALL H2.5A SIMPSON TIE OR EQUAL AT ALL RAFTER TO WALL CONNECTIONS AND AT GABLE ROOFS
  - AT CEILING JOIST TO TOP PLATE - INSTALL (3) 8d GALV. NAILS
  - AT RAFTER TO CEILING JOISTS - INSTALL (3) 10d GALV. NAILS
  - RAFTER TO RIDGE BEAM - INSTALL (4) - 16d GALV. NAILS
  - DOUBLE TOP PLATES - 10d GALV. NAILS AT 24" O.C.
  - DOUBLE TOP PLATE - MIN. 48" OFFSET OF END JOINTS (8) 16d GALV. NAILS AT LAPPED AREA
  - TOP PLATE AND SOLE PLATE TO STUD - INSTALL (2) 16d GALV. NAILS

**MEADORS**  
SINCE 1984  
2811 AZALEA DRIVE ■ CHARLESTON, SC 29405 ■ 843.723.8585

**CITY OF BEAUFORT  
BEAUFORT ARSENAL**

713 CRAVEN STREET  
BEAUFORT, SC 29902

# BID DRAWINGS

PROJ.	18-0125
ISSUE DATE:	12/21/18

REVISIONS		
#	DATE	NOTES

NOTES & SPECIFICATIONS

**A01**

**NOT FOR CONSTRUCTION**



EXISTING CONDITIONS- EXTERIOR OF STORAGE ROOM  
NOT TO SCALE



EXISTING CONDITIONS- EXTERIOR OF ADA RESTROOM  
NOT TO SCALE



EXISTING CONDITIONS- INTERIOR OF STORAGE ROOM  
NOT TO SCALE



EXISTING CONDITIONS- INTERIOR OF ADA RESTROOM  
NOT TO SCALE

**NOT FOR CONSTRUCTION**

**GENERAL DEMOLITION NOTES**

- THE INTENT OF THE PROJECT IS TO PROVIDE COMPLETE WINDOW RESTORATION FOR ALL STRUCTURES COMPRISING THE BEAUFORT ARSENAL COMPLEX. THE EXISTING EXTERIOR ADA RESTROOM IS TO BE CONVERTED TO A MENS RESTROOM. A NEW WOMENS RESTROOM IS TO BE CONSTRUCTED ADJACENT TO THE EXISTING ADA RESTROOM. THE EXISTING STORAGE ROOM IS TO BE RENOVATED TO HOUSE TWO ADA RESTROOMS.
- ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH ALL CURRENT ADOPTED BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- PRIOR TO START OF DEMOLITION/CONSTRUCTION, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- ARSENAL COMPLEX TO REMAIN OPEN DURING CONSTRUCTION. TEMPORARY WINDOW COVERINGS TO BE INSTALLED AS REQUIRED DURING WINDOW RESTORATION. AT ALL TIMES, THE WINDOW ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS, INCLUDING THE MUSEUM COLLECTION.
- ALL DIMENSIONS TO BE FIELD VERIFIED.
- DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
- EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
- VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD-BEARING OR IS ADEQUATELY SHORED PRIOR TO STARTING ANY WORK.
- TERMINATE AND CAP ANY UTILITY TO BE REMOVED AND NOT INTENDED FOR REUSE.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT DEMO IS PERFORMED IN A SAFE MANNER.
- THE OWNER HAS FIRST RIGHT OF ALL MATERIALS REMOVED AS A RESULT OF THE DEMOLITION OF EXISTING CONDITIONS. ANY/ALL NON-CLAIMED ITEMS BY THE OWNER ARE THE RESPONSIBILITY OF THE CONTRACTOR TO BE REMOVED AND DISCARDED FROM THE PROJECT SITE ACCORDING TO EPA AND LOCAL CODES.

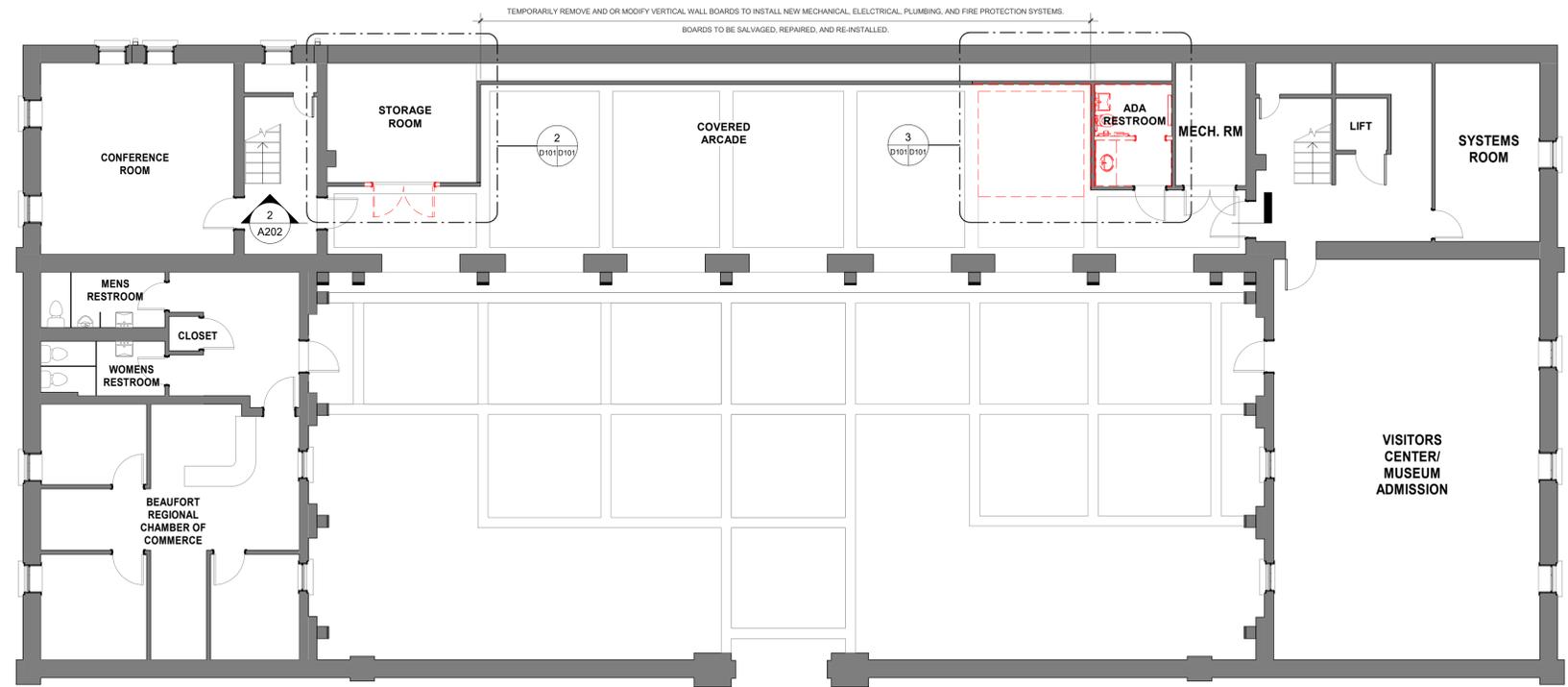
**DEMOLITION NOTES**

- D1 REMOVE WALL (ALL OR PARTIAL AS NOTED IN DRAWING).
- D2 REMOVE EXISTING PLUMBING FIXTURES. SEE PLUMBING.
- D3 REMOVE EXISTING EXHAUST EQUIPMENT. SEE MECHANICAL.
- D4 REMOVE EXISTING ELECTRICAL EQUIPMENT. SEE ELECTRICAL.
- D5 MODIFY EXISTING SPRINKLER HEADS AS REQUIRED TO INSTALL NEW AND RENOVATED RESTROOMS. SEE FIRE PROTECTION.
- D6 REMOVE ALL RESTROOM ACCESSORIES AND GRAB BARS; SEE ENLARGED RESTROOM PLANS AND ELEVATIONS.
- D7 REMOVE VANITY AND MIRROR.
- D8 REMOVE EXISTING INTERIOR FINISHES.
- D9 REMOVE WALL FINISH AND ALL TRIM. REMOVE CEILING FINISH AND ALL TRIM.
- D10 REMOVE EXTERIOR DOOR AND FRAME; REFER TO DOOR SCHEDULE.
- D11 REMOVE AND MODIFY BRICKWORK AS REQUIRED TO INSTALL NEW AND RENOVATED RESTROOMS, PATTERNING AND BORDER LAYOUTS TO MATCH EXISTING.
- D12 REMOVE TILE.
- D13 CUT, MODIFY, AND REPAIR CONCRETE AS REQUIRED FOR INSTALLATION OF NEW AND RENOVATED RESTROOMS.
- D14 TEMPORARILY REMOVE AND OR MODIFY VERTICAL WALL BOARDS TO INSTALL NEW MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS. BOARDS TO BE SALVAGED, REPAIRED, AND RE-INSTALLED.
- D15 REMOVE EXISTING RESTROOM SIGNAGE.

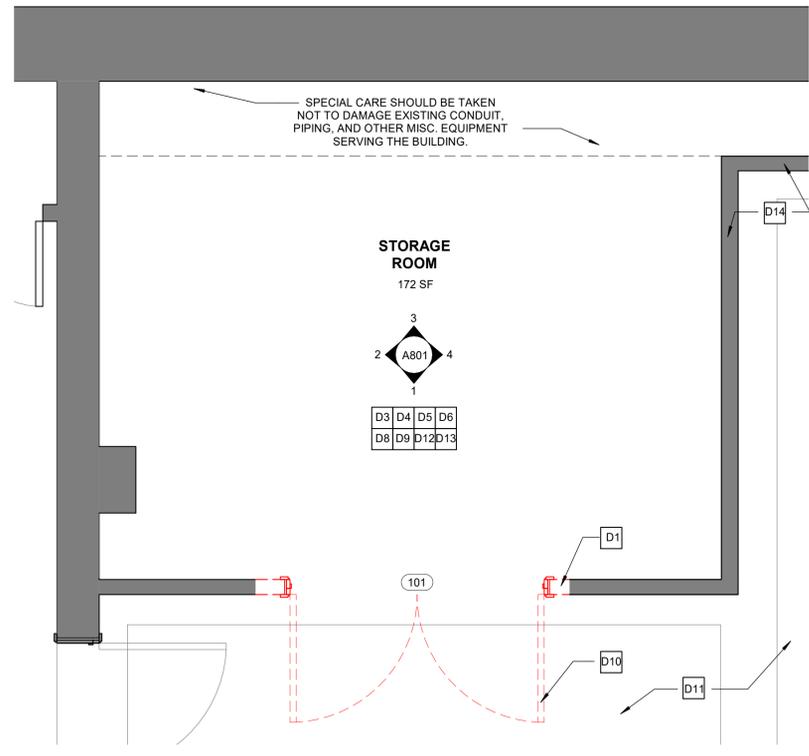
**FLOOR PLAN LEGEND**

- Room name**
- 101 ROOM NUMBER REFER TO ROOM FINISH SCHEDULE
  - 150 SF
  - 101 DOOR NUMBER REFER TO DOOR SCHEDULE
  - 11 WINDOW NUMBER REFER TO WINDOW SCHEDULE
  - EXISTING WALL CONSTRUCTION
  - DEMOLISH
  - D3 DEMOLITION NUMBERED NOTE REFER TO DESCRIPTIONS ON THIS PAGE

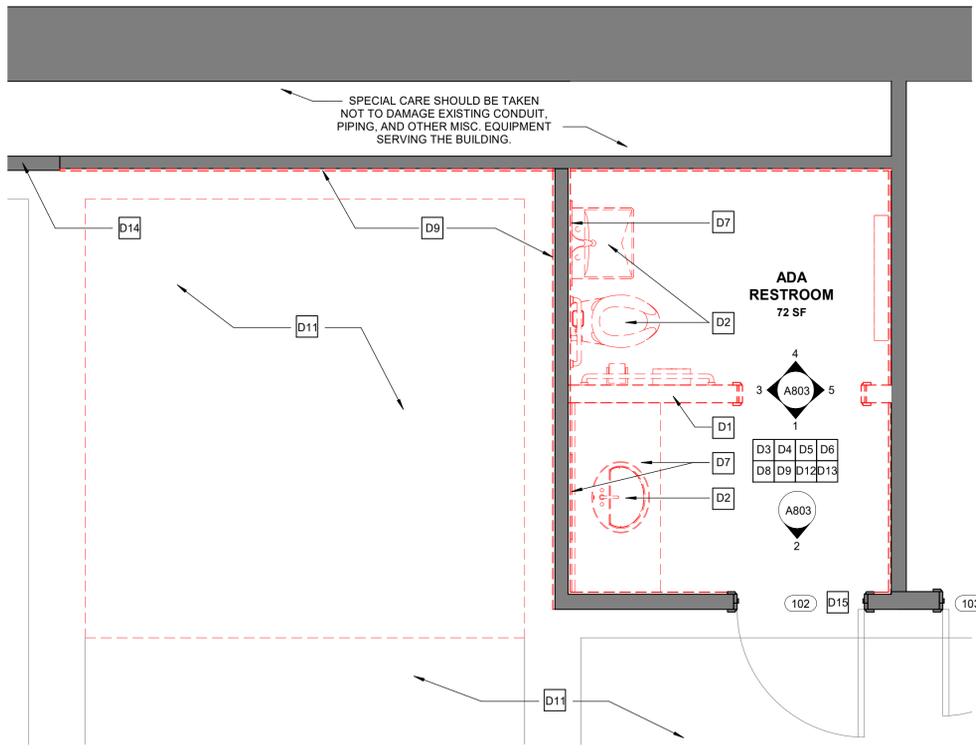
- GENERAL FLOOR PLAN NOTES:**
- A. REFER TO ROOM FINISH SCHEDULES ON SHEET A801.
  - B. REFER TO LARGE SCALE PLANS, ELEVATIONS, & DETAILS FOR MORE INFORMATION.
  - C. REFER TO GENERAL NOTES ON SHEET A01.
  - D. WALLS ARE DIMENSIONED TO FINISH FACE OF WALL. DOORS AND WINDOWS ARE DIMENSIONED TO THE FINISHED OPENING.



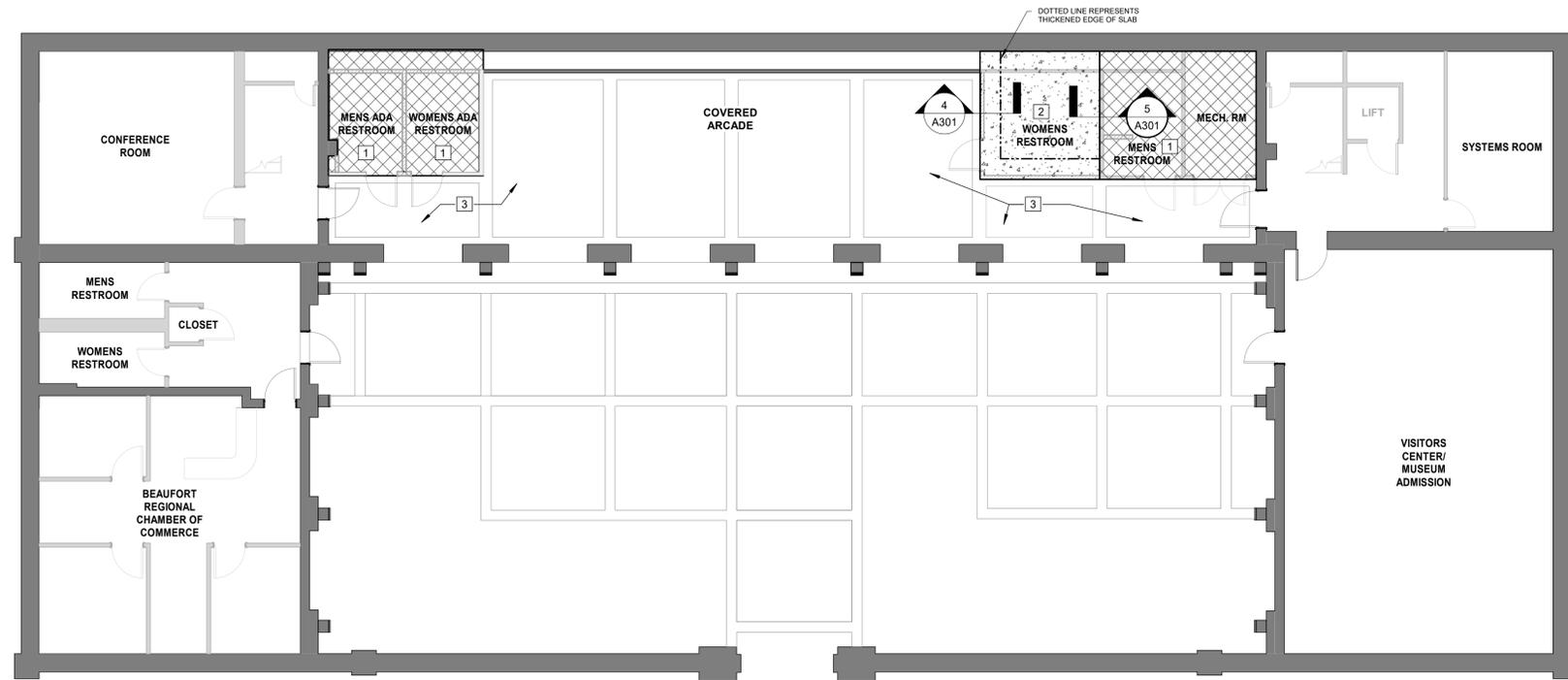
1 1ST FLR DEMOLITION PLAN  
1/8" = 1'-0"



2 1ST FLR - ENLARGED DEMOLITION PLAN STORAGE ROOM  
1/2" = 1'-0"



3 1ST FLR - ENLARGED DEMOLITION PLAN ADA RESTROOM  
1/2" = 1'-0"



1 FOUNDATION PROPOSED PLAN  
1/8" = 1'-0"

**GENERAL CONSTRUCTION NOTES**

- THE INTENT OF THE PROJECT IS TO PROVIDE COMPLETE WINDOW RESTORATION FOR ALL STRUCTURES COMPRISING THE BEAUFORT ARSENAL COMPLEX. THE EXISTING EXTERIOR ADA RESTROOM IS TO BE CONVERTED TO A MENS RESTROOM. A NEW WOMENS RESTROOM IS TO BE CONSTRUCTED ADJACENT TO THE EXISTING ADA RESTROOM. THE EXISTING STORAGE ROOM IS TO BE RENOVATED TO HOUSE TWO ADA RESTROOMS.
- ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH ALL CURRENT ADOPTED BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- PRIOR TO START OF CONSTRUCTION, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- ARSENAL COMPLEX TO REMAIN OPEN DURING CONSTRUCTION. TEMPORARY WINDOW COVERINGS TO BE INSTALLED AS REQUIRED DURING WINDOW RESTORATION. AT ALL TIMES, THE WINDOW ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS, INCLUDING THE MUSEUM COLLECTION.
- ALL DIMENSIONS TO BE FIELD VERIFIED.

**NEW CONSTRUCTION NOTES**

- GENERAL FOUNDATION SPECIFICATIONS:
- CONCRETE ANALYSIS HAS BEEN BASED ON AMERICAN CONCRETE INSTITUTE ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
  - FOUNDATIONS WERE DESIGNED BASED UPON AN ASSUMED MAXIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1500 PSI FOR WALL FOOTINGS ON NATURAL SOIL. ALL FOUNDATIONS AND FOOTINGS ON FILL SOILS HAVE BEEN BASED UPON AN ASSUMED MAXIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1500 PSI.

CONCRETE:

- SEE DETAILS ON A301.
- THE DESIGN PROFESSIONALS SHALL HAVE NO CONTROL OVER, NOR RESPONSIBILITY FOR THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES, OR PROCEDURES IN PERFORMING THE WORK. SITE, SAFETY, OR SAFETY PROGRAMS IN CONNECTION WITH THE WORK. THESE ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR, WHO IS ALSO RESPONSIBLE FOR COMPLYING WITH ALL HEALTH AND SAFETY PRECAUTIONS AS REQUIRED BY ANY REGULATORY AGENCIES.
- ALL CONCRETE AND REBAR SHALL BE INSTALLED ACCORDING TO STANDARDS SET FORTH BY THE LATEST ADDITION OF ACI-318.
- 28 DAY CONCRETE MINIMUM COMPRESSIVE STRENGTH SHALL BE AS FOLLOWS: FOOTINGS AND SLABS = 3000 PSI MIN. NO CALCIUM CHLORIDE TO BE USED IN MIX.
- THE CONTRACTOR SHALL TAKE ADDITIONAL PRECAUTIONS WHEN CONCRETE IS TO BE PLACED AND CURED DURING COLD AND HOT WEATHER. THE CONTRACTOR SHALL FOLLOW RECOMMENDATIONS PRESCRIBED BY AMERICAN CONCRETE INSTITUTE FOR COLD AND HOT WEATHER CONSTRUCTION.
- NO WATER SHALL BE ADDED TO THE CONCRETE AT THE SITE UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
- REINFORCING STEEL MEETING REQUIREMENTS OF ASTM A615 GRADE 60 DEFORMED SHALL BE PLACED AND HANDLED PER CONCRETE REINFORCING INSTITUTE 'MANUAL OF STANDARD PRACTICE'. REINFORCING STEEL SHALL HAVE A MINIMUM CLEAR DISTANCE OF 3" FROM SIDES AND BOTTOM AND 2" FROM TOP OF FOOTING UNLESS OTHERWISE NOTED.
- PROVIDE PROPERLY TIED SPACERS, CHAIRS, BOLSTERS, ETC. AS REQUIRED AND NECESSARY TO ASSEMBLE, PLACE, AND SUPPORT. ALL REINFORCING WIRE BAR TYPE SUPPORTS COMPLYING WITH CRSI RECOMMENDATIONS. USE PLASTIC TIP LEGS ON ALL EXPOSED CONCRETE.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND ENGINEERING DRAWINGS FOR LOCATIONS OF DRESSED FLOOR AREAS AND FLOOR DRAINS.

- 1 REPAIR CONCRETE AS REQUIRED FOR RESTROOM RENOVATION. TRENCHED SLAB TO HAVE ALTERNATING #3 DOWELS INSTALLED AT 16" ON CENTER.
- 2 INSTALL NEW CONCRETE FLOOR AND FOUNDATION.
- 3 MODIFY BRICKWORK AS REQUIRED TO INSTALL NEW RESTROOMS. PATTERNING, BORDER LAYOUT, AND METHOD OF INSTALLATION TO MATCH EXISTING.

**FLOOR PLAN LEGEND**

**Room name**

101 ← ROOM NUMBER  
REFER TO ROOM FINISH SCHEDULE

150 SF ← EXISTING WALL CONSTRUCTION

← NEW WALL CONSTRUCTION

← EXISTING CONCRETE SLAB

← NEW CONCRETE SLAB & FOUNDATION

3 ← NEW CONSTRUCTION NUMBERED NOTE  
REFER TO DESCRIPTIONS ON THIS PAGE

- GENERAL FLOOR PLAN NOTES:
- REFER TO ROOM FINISH SCHEDULES ON SHEET 901.
  - REFER TO LARGE SCALE PLANS, ELEVATIONS, & DETAILS FOR MORE INFORMATION.
  - REFER TO GENERAL NOTES ON SHEET A01.
  - WALLS ARE DIMENSIONED TO FINISH FACE OF WALL.
  - DOORS AND WINDOWS ARE DIMENSIONED TO THE FINISHED OPENING.

**MEADORS**  
SINCE 1984  
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585

CITY OF BEAUFORT  
BEAUFORT ARSENAL

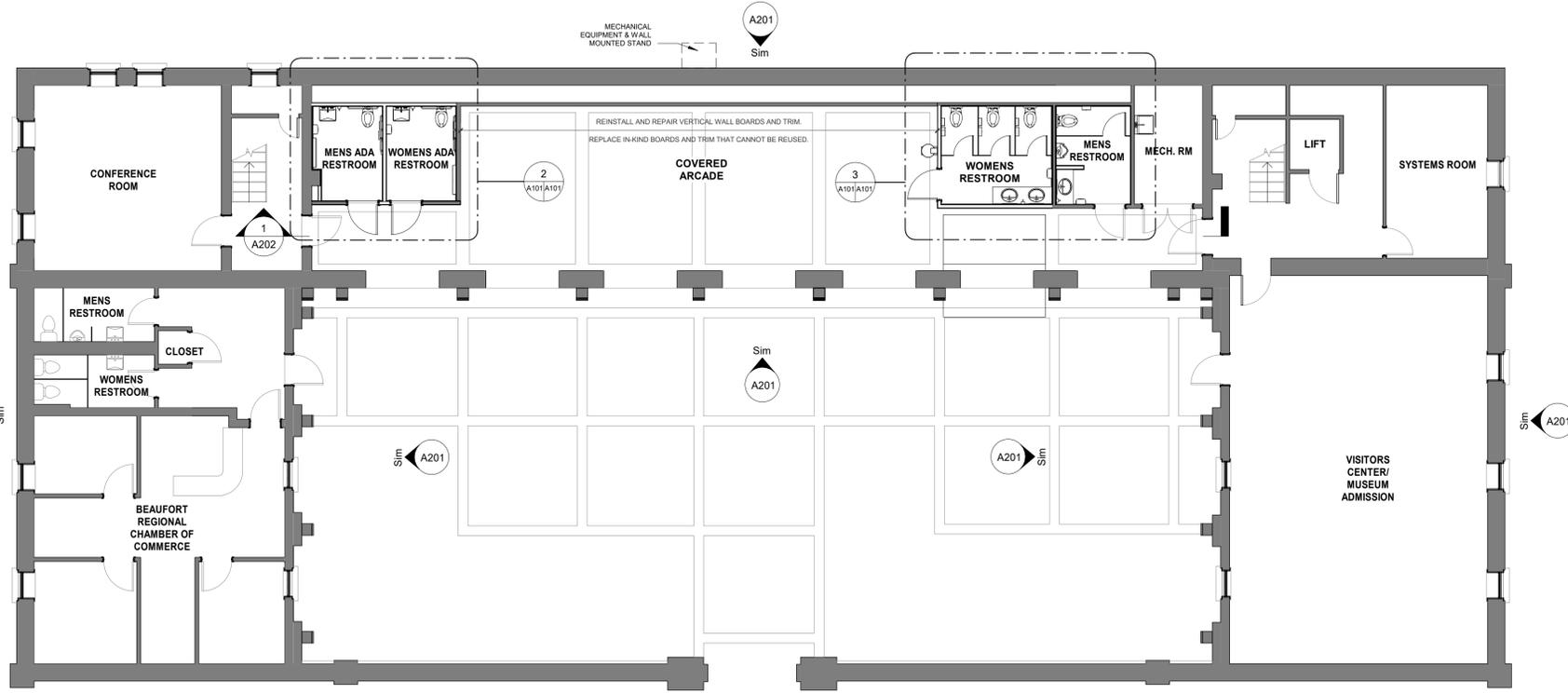
713 CRAVEN STREET  
BEAUFORT, SC 29902

**BID DRAWINGS**

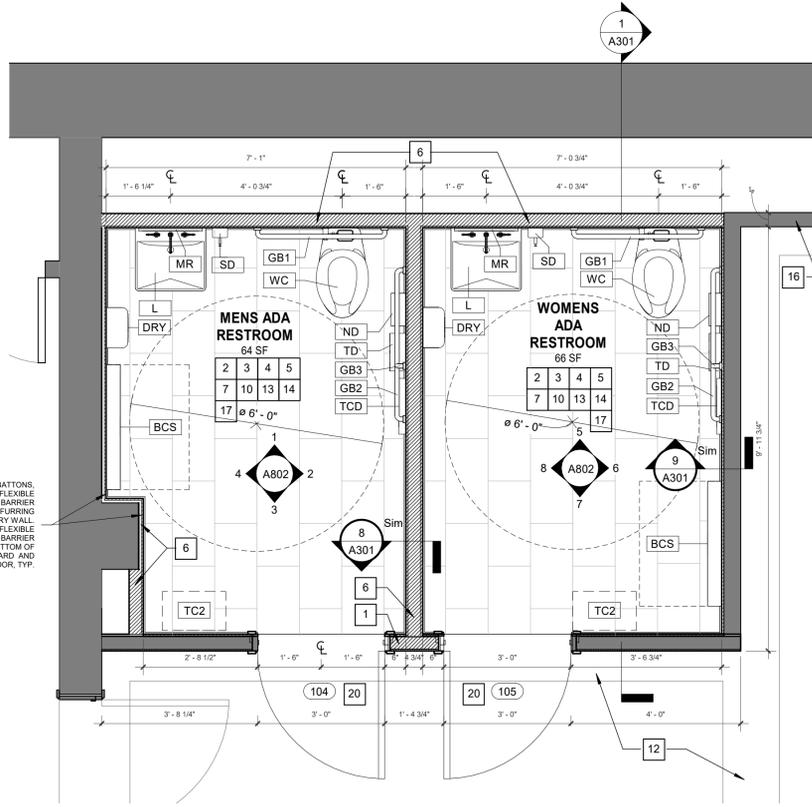
PROJ.	18-0125
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#	DATE   NOTES


FOUNDATION PROPOSED PLAN  
**A100**

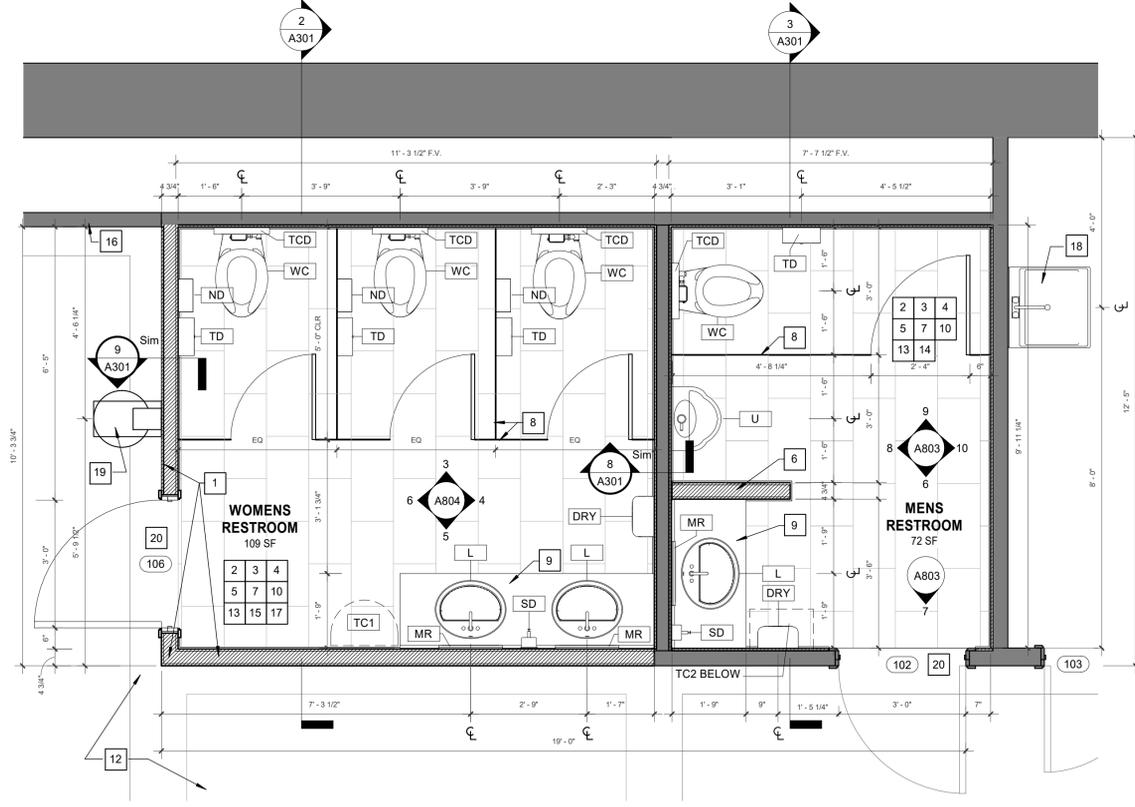
**NOT FOR CONSTRUCTION**



1 1ST FLR PROPOSED PLAN  
1/8" = 1'-0"



2 1ST FLR - ENLARGED PROPOSED PLAN MENS & WOMENS ADA RESTROOMS  
1/2" = 1'-0"



3 1ST FLR - ENLARGED PROPOSED PLAN MENS & WOMENS RESTROOMS  
1/2" = 1'-0"

**GENERAL CONSTRUCTION NOTES**

1. THE INTENT OF THE PROJECT IS TO PROVIDE COMPLETE WINDOW RESTORATION FOR ALL STRUCTURES COMPRISING THE BEAUFORT ARSENAL COMPLEX. THE EXISTING EXTERIOR ADA RESTROOM IS TO BE CONVERTED TO A MENS RESTROOM. A NEW WOMENS RESTROOM IS TO BE CONSTRUCTED ADJACENT TO THE EXISTING ADA RESTROOM. THE EXISTING STORAGE ROOM IS TO BE RENOVATED TO HOUSE TWO ADA RESTROOMS.
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4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
5. PRIOR TO START OF CONSTRUCTION, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
6. ARSENAL COMPLEX TO REMAIN OPEN DURING CONSTRUCTION. TEMPORARY WINDOW COVERINGS TO BE INSTALLED AS REQUIRED DURING WINDOW RESTORATION. AT ALL TIMES, THE WINDOW ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS, INCLUDING THE MUSEUM COLLECTION.
7. ALL DIMENSIONS TO BE FIELD VERIFIED.

**NEW CONSTRUCTION NOTES**

1. NEW EXTERIOR WALL. MATCH EXISTING FINISH AND TRIM AT ADJACENT WALLS.
2. NEW PLUMBING FIXTURES. SEE PLUMBING.
3. NEW MECHANICAL EQUIPMENT. SEE MECHANICAL.
4. NEW ELECTRICAL EQUIPMENT. SEE ELECTRICAL.
5. MODIFY EXISTING SPRINKLER HEADS AND INSTALL NEW SPRINKLER HEADS. SEE FIRE PROTECTION.
6. NEW INTERIOR WALL. REFER TO WALL SECTIONS DETAILS ON A301.
7. NEW RESTROOM ACCESSORIES AND GRAB BARS. SEE ENLARGED RESTROOM PLANS AND ELEVATIONS.
8. NEW TOILET PARTITIONS; SEE RESTROOM DRAWINGS.
9. NEW VANITY; SEE DETAIL ON RESTROOM DRAWINGS.
10. NEW INTERIOR FINISHES INSIDE EXISTING AND NEW RESTROOMS; REFER TO FINISH SCHEDULE AND SPECIFICATIONS.
11. NEW EXTERIOR DOOR AND FRAME; REFER TO DOOR SCHEDULE.
12. MODIFY BRICKWORK AS REQUIRED TO INSTALL NEW RESTROOMS. PATTERNING, BORDER LAYOUT, AND METHOD OF INSTALLATION TO MATCH EXISTING.
13. INSTALL NEW TILE FLOOR AND TILE BASE.
14. REPAIR CONCRETE AS REQUIRED FOR RESTROOM RENOVATION.
15. INSTALL NEW CONCRETE FLOOR AND FOUNDATION.
16. REINSTALL AND REPAIR VERTICAL WALL BOARDS AND TRIM. REPLACE IN-KIND BOARDS AND TRIM THAT CANNOT BE REUSED.
17. NEW CEILING. SEE FINISH SCHEDULE. PROVIDE FRAMING AND BLOCKING AS REQUIRED FOR NEW CEILING.
18. NEW UTILITY SINK. SEE PLUMBING. TEMPORARILY REMOVE AND REPLACE PLYWOOD WALL FINISH AS NECESSARY TO INSTALL UTILITY SINK.
19. NEW WATER FOUNTAIN. SEE PLUMBING.
20. INSTALL SIGNAGE ON RESTROOM DOORS.

**FLOOR PLAN LEGEND**

- Room name**
- 101 ROOM NUMBER REFER TO ROOM FINISH SCHEDULE
  - 101 DOOR NUMBER REFER TO DOOR SCHEDULE
  - 11 WINDOW NUMBER REFER TO WINDOW SCHEDULE
  - EXISTING WALL CONSTRUCTION
  - NEW WALL CONSTRUCTION
  - 3 NEW CONSTRUCTION NUMBERED NOTE REFER TO DESCRIPTIONS ON THIS PAGE

**GENERAL FLOOR PLAN NOTES:**

- REFER TO ROOM FINISH SCHEDULES ON SHEET A901.
- REFER TO LARGE SCALE PLANS, ELEVATIONS, & DETAILS FOR MORE INFORMATION.
- REFER TO GENERAL NOTES ON SHEET A01.
- WALLS ARE DIMENSIONED TO FINISH FACE OF WALL.
- DOORS AND WINDOWS ARE DIMENSIONED TO THE FINISHED OPENING.
- NEW INTERIOR WALL AND CEILING FINISHES TO BE INSTALLED IN ALL NEW AND RENOVATED RESTROOMS.

**MEADORS**  
SINCE 1984  
2811 AZALEA DRIVE ■ CHARLESTON, SC 29405 ■ 843.723.8585

CITY OF BEAUFORT  
BEAUFORT ARSENAL  
713 CRAVEN STREET  
BEAUFORT, SC 29902

BID DRAWINGS

PROJ.	18-0125	
ISSUE DATE:	12/21/18	
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#	DATE	NOTES

1ST FLOOR  
PROPOSED  
PLAN

**A101**

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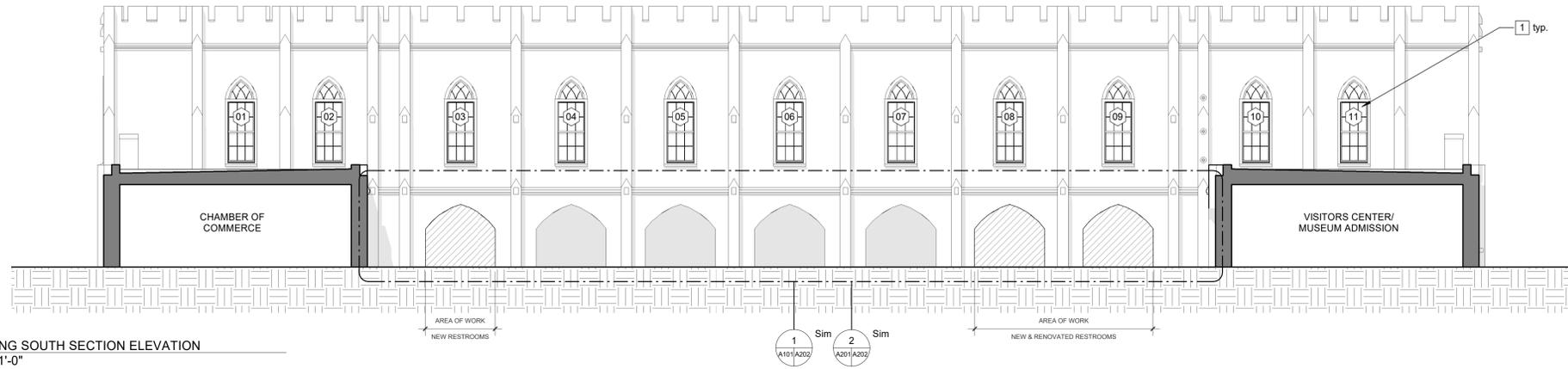
**NOT FOR CONSTRUCTION**

**GENERAL CONSTRUCTION NOTES**

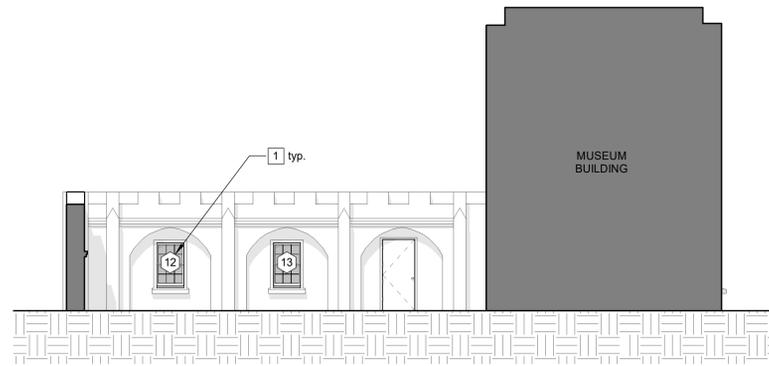
1. THE INTENT OF THE PROJECT IS TO PROVIDE COMPLETE WINDOW RESTORATION FOR ALL STRUCTURES COMPRISING THE BEAUFORT ARSENAL COMPLEX. THE EXISTING EXTERIOR ADA RESTROOM IS TO BE CONVERTED TO A MENS RESTROOM. A NEW WOMENS RESTROOM IS TO BE CONSTRUCTED ADJACENT TO THE EXISTING ADA RESTROOM. THE EXISTING STORAGE ROOM IS TO BE RENOVATED TO HOUSE TWO ADA RESTROOMS.
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4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
5. PRIOR TO START OF CONSTRUCTION, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
6. ARSENAL COMPLEX TO REMAIN OPEN DURING CONSTRUCTION. TEMPORARY WINDOW COVERINGS TO BE INSTALLED AS REQUIRED DURING WINDOW RESTORATION. AT ALL TIMES, THE WINDOW ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS, INCLUDING THE MUSEUM COLLECTION.
7. ALL DIMENSIONS TO BE FIELD VERIFIED.

**NEW CONSTRUCTION NOTES**

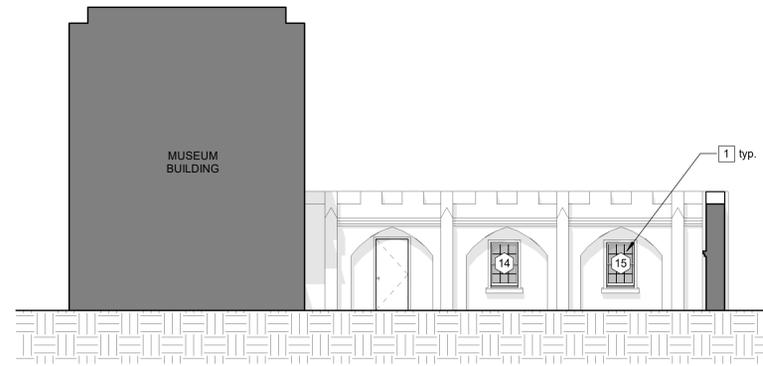
1. REPAIR AND RESTORE ALL WINDOWS. SEE WINDOW SCHEDULE.  
ALL STUCCO DAMAGED DURING RESTORATION OF THE WINDOWS TO BE RESTORED WITH COMPATIBLE STUCCO. REPOINT MASONRY SUBSTRATE AS REQUIRED. STUCCO PATCHES AND REPAIRS SHALL MATCH EXISTING TEXTURE. STUCCO DAMAGED AND REPAIRED DURING WINDOW RESTORATION TO BE PAINTED TO MATCH EXISTING WALL.  
REPLACE ALL JOINT SEALANT AT THE EXTERIOR JOINT BETWEEN WOOD CASING AND STUCCO.
2. HVAC MINI SPLIT CONDENSER MOUNTED 2'-8" ABOVE GRADE ON A PAINTED METAL PLATFORM ATTACHED TO WALL. PAINT TO MATCH WALL. SEE DETAILS ON PLUMBING DRAWINGS.



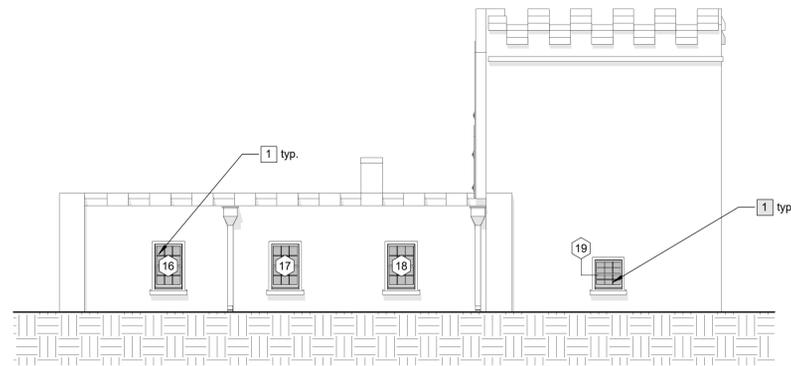
1 EXISTING SOUTH SECTION ELEVATION  
1/8" = 1'-0"



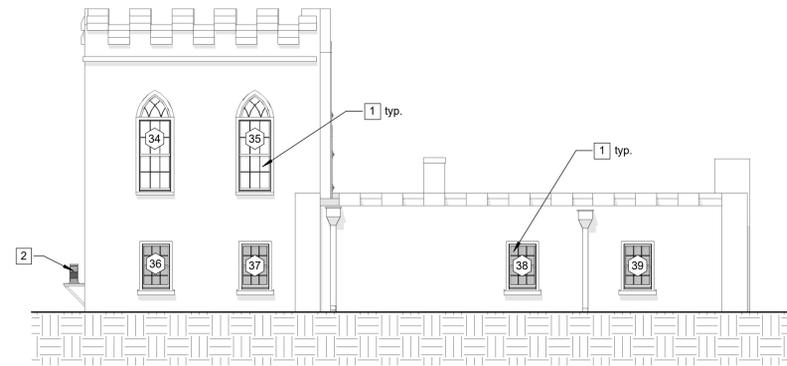
5 EXISTING EAST INTERIOR ELEVATION  
1/8" = 1'-0"



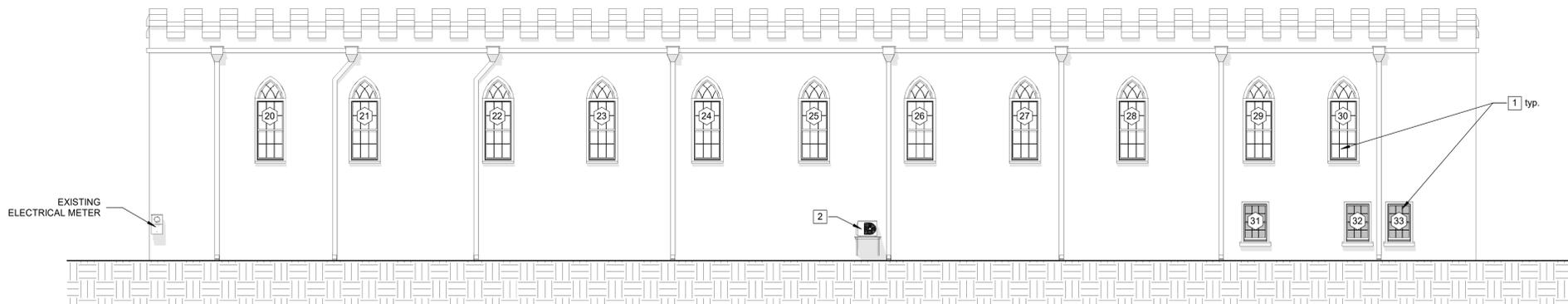
6 EXISTING WEST INTERIOR ELEVATION  
1/8" = 1'-0"



2 EXISTING EAST EXTERIOR ELEVATION  
1/8" = 1'-0"



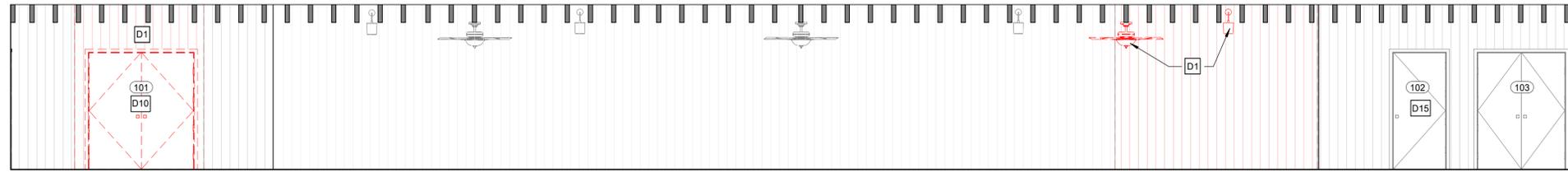
3 EXISTING WEST EXTERIOR ELEVATION  
1/8" = 1'-0"



4 EXISTING NORTH ELEVATION  
1/8" = 1'-0"



# ARCADE INFILL- DEMOLITION SECTION ELEVATION



NOTE D14: TEMPORARILY REMOVE AND OR MODIFY VERTICAL WALL BOARDS TO INSTALL NEW MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS. BOARDS TO BE SALVAGED, REPAIRED, AND RE-INSTALLED.

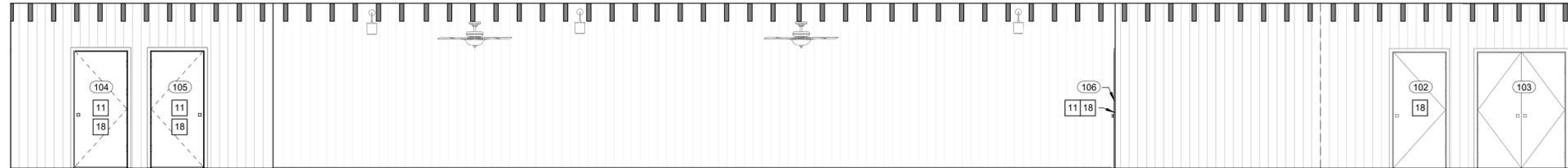
NOTE D1: REMOVE WALL FINISH

② DEMOLITION SECTION ELEVATION- ARCADE INFILL  
1/4" = 1'-0"

## DEMOLITION NOTES

- D1 REMOVE WALL (ALL OR PARTIAL AS NOTED IN DRAWING).
- D2 REMOVE EXISTING PLUMBING FIXTURES, SEE PLUMBING.
- D3 REMOVE EXISTING EXHAUST EQUIPMENT, SEE MECHANICAL.
- D4 REMOVE EXISTING ELECTRICAL EQUIPMENT, SEE ELECTRICAL.
- D5 MODIFY EXISTING SPRINKLER HEADS AS REQUIRED TO INSTALL NEW AND RENOVATED RESTROOMS. SEE FIRE PROTECTION.
- D6 REMOVE ALL RESTROOM ACCESSORIES AND GRAB BARS; SEE ENLARGED RESTROOM PLANS AND ELEVATIONS.
- D7 REMOVE VANITY AND MIRROR.
- D8 REMOVE EXISTING INTERIOR FINISHES.
- D9 REMOVE WALL FINISH AND ALL TRIM. REMOVE CEILING FINISH AND ALL TRIM.
- D10 REMOVE EXTERIOR DOOR AND FRAME; REFER TO DOOR SCHEDULE.
- D11 REMOVE AND MODIFY BRICKWORK AS REQUIRED TO INSTALL NEW AND RENOVATED RESTROOMS.
- D12 REMOVE TILE.
- D13 CUT, MODIFY, AND REPAIR CONCRETE AS REQUIRED FOR INSTALLATION OF NEW AND RENOVATED RESTROOMS.
- D14 TEMPORARILY REMOVE AND OR MODIFY VERTICAL WALL BOARDS TO INSTALL NEW MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS. BOARDS TO BE SALVAGED, REPAIRED, AND RE-INSTALLED.
- D15 REMOVE EXISTING RESTROOM SIGNAGE.

# ARCADE INFILL- PROPOSED SECTION ELEVATION



NOTE 16: REINSTALL AND REPAIR VERTICAL WALL BOARDS AND TRIM. REPLACE IN-KIND BOARDS AND TRIM THAT CANNOT BE REUSED.

NOTE 1: NEW EXTERIOR WALL. MATCH EXISTING FINISH AND TRIM AT ADJACENT WALLS

① EXISTING SECTION ELEVATION- ARCADE INFILL  
1/4" = 1'-0"

## NEW CONSTRUCTION NOTES

- 1 NEW EXTERIOR WALL. MATCH EXISTING FINISH AND TRIM AT ADJACENT WALLS.
- 2 NEW PLUMBING FIXTURES, SEE PLUMBING.
- 3 NEW MECHANICAL EQUIPMENT, SEE MECHANICAL.
- 4 NEW ELECTRICAL EQUIPMENT, SEE ELECTRICAL.
- 5 MODIFY EXISTING SPRINKLER HEADS AND INSTALL NEW SPRINKLER HEADS. SEE FIRE PROTECTION.
- 6 NEW INTERIOR WALL; REFER TO WALL TYPE LEGEND.
- 7 NEW RESTROOM ACCESSORIES AND GRAB BARS; SEE ENLARGED RESTROOM PLANS AND ELEVATIONS.
- 8 NEW FLOOR MOUNTED OVERHEAD BRACED TOILET PARTITIONS.
- 9 NEW VANITY; SEE DETAIL ON RESTROOM DRAWINGS.
- 10 NEW INTERIOR FINISHES INSIDE EXISTING AND NEW RESTROOMS, REFER TO FINISH SCHEDULE AND SPECIFICATIONS.
- 11 NEW EXTERIOR DOOR AND FRAME; REFER TO DOOR SCHEDULE.
- 12 MODIFY BRICKWORK AS REQUIRED TO INSTALL NEW RESTROOMS. PATTERNING, BORDER LAYOUT, AND METHOD OF INSTALLATION TO MATCH EXISTING.
- 13 INSTALL NEW TILE FLOOR AND TILE BASE.
- 14 REPAIR CONCRETE AS REQUIRED FOR RESTROOM RENOVATION.
- 15 INSTALL NEW CONCRETE FLOOR AND FOUNDATION.
- 16 REINSTALL AND REPAIR VERTICAL WALL BOARDS AND TRIM. REPLACE IN-KIND BOARDS AND TRIM THAT CANNOT BE REUSED.
- 17 NEW CEILING. SEE FINISH SCHEDULE. PROVIDE FRAMING AND BLOCKING AS REQUIRED FOR NEW CEILING.
- 18 INSTALL SIGNAGE ON RESTROOM DOORS.

**MEADORS**

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, ■ 843.723.8585

CITY OF BEAUFORT  
BEAUFORT ARSENAL

713 CRAVEN STREET  
BEAUFORT, SC 29902

**NOT FOR CONSTRUCTION**

## BID DRAWINGS

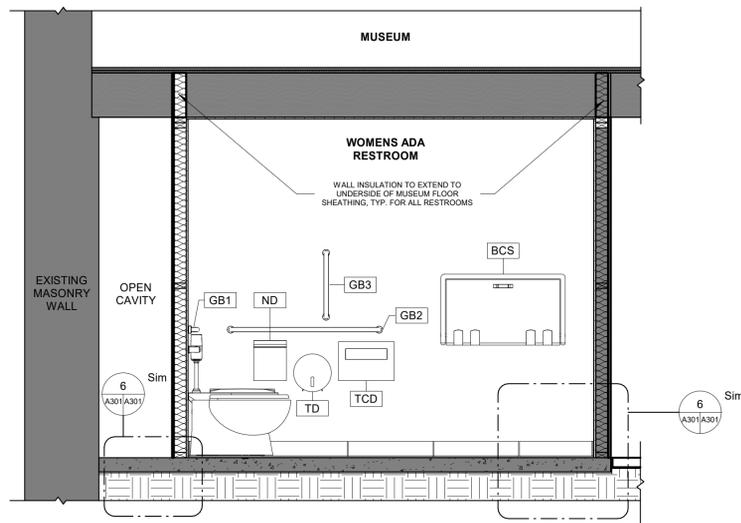
PROJ. 18-0125  
ISSUE DATE: 12/21/18

REVISIONS

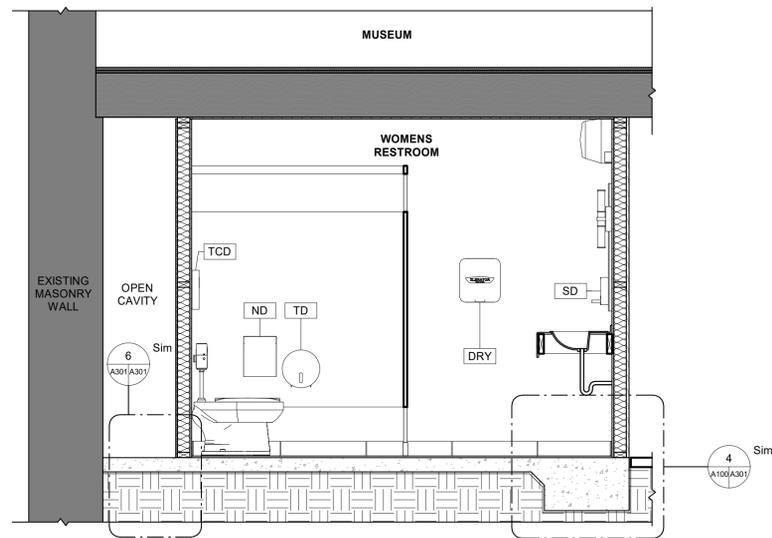
#	DATE	NOTES

BUILDING ELEVATIONS

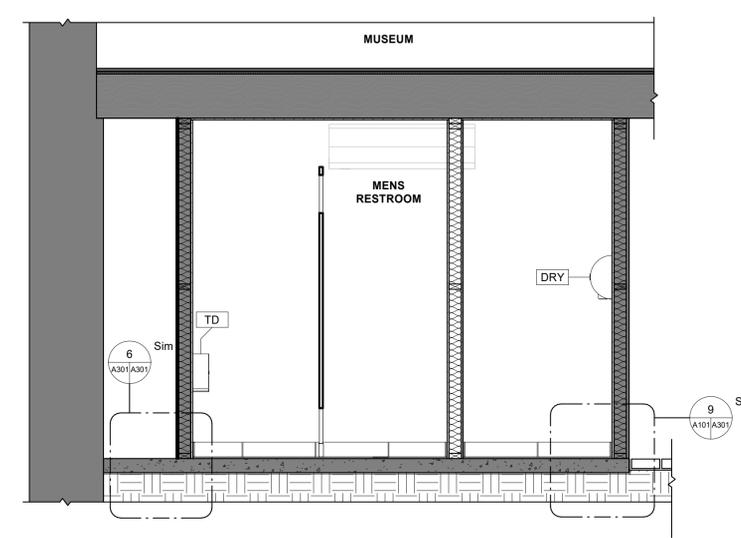
**A202**



1 NORTH-SOUTH - WOMENS ADA RESTROOM  
1/2" = 1'-0"

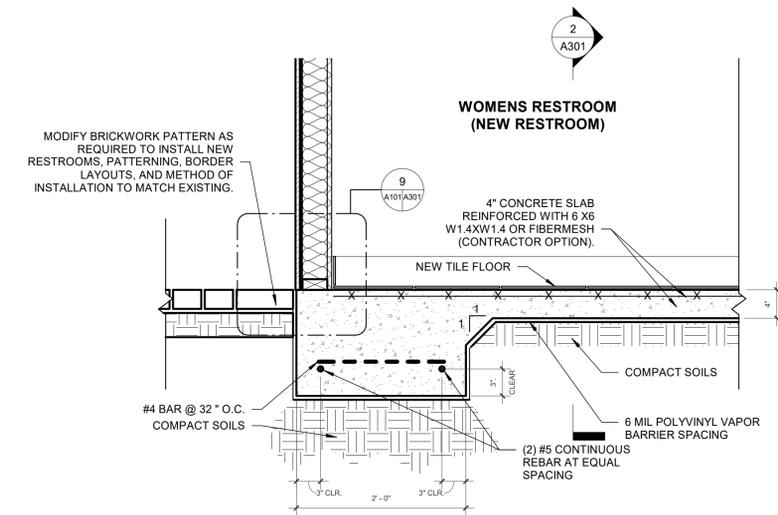


2 NORTH-SOUTH - WOMENS RESTROOM  
1/2" = 1'-0"

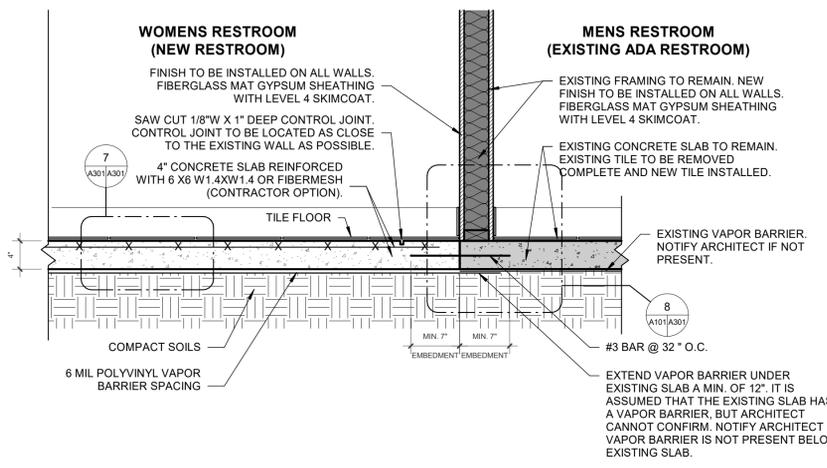


3 NORTH-SOUTH - MENS RESTROOM  
1/2" = 1'-0"

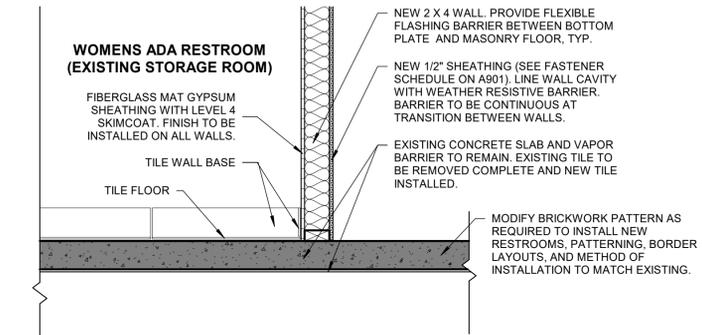
**WALL LEGEND**  
 ■ EXISTING WALL  
 □ NEW WALL



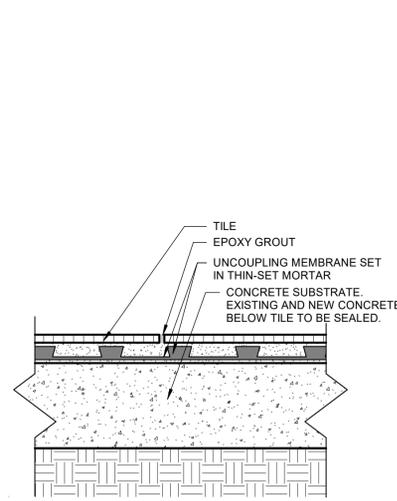
4 SLAB DETAIL  
1" = 1'-0"



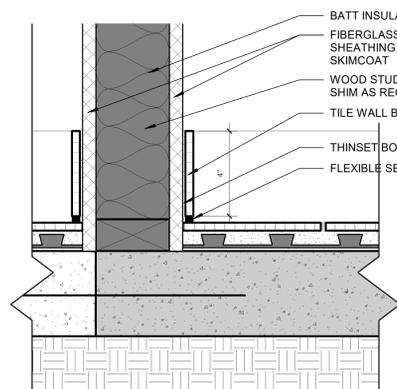
5 SLAB DETAIL 2  
1" = 1'-0"



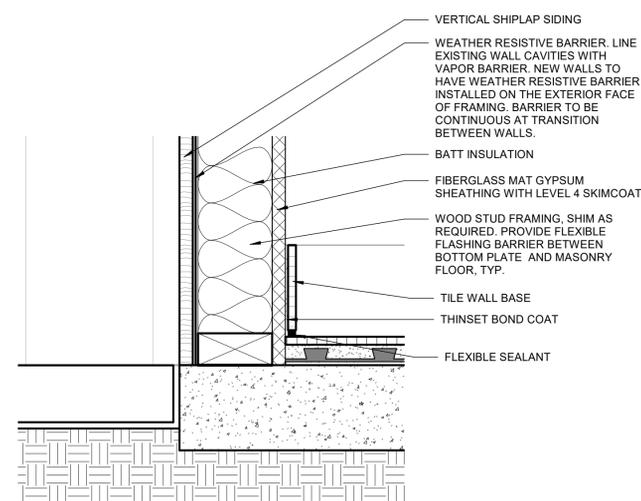
6 SLAB DETAIL 3  
1" = 1'-0"



7 UNCOUPLING MEMBRANE DETAIL  
3" = 1'-0"



8 WALL TILE DETAIL  
3" = 1'-0"



9 WALL TILE DETAIL 2  
3" = 1'-0"

**GENERAL NOTES: FOUNDATION**

1. CONCRETE ANALYSIS HAS BEEN BASED ON AMERICAN CONCRETE INSTITUTE ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
2. FOUNDATIONS WERE DESIGNED BASED UPON AN ASSUMED MAXIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1500 PSI FOR WALL FOOTINGS ON NATURAL SOIL. ALL FOUNDATIONS AND FOOTINGS ON FILL SOILS HAVE BEEN BASED UPON AN ASSUMED MAXIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1500 PSI.

**CONCRETE:**

1. THE DESIGN PROFESSIONALS SHALL HAVE NO CONTROL OVER, NOR RESPONSIBILITY FOR THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES, OR PROCEDURES IN PERFORMING THE WORK. SITE, SAFETY, OR SAFETY PROGRAMS IN CONNECTION WITH THE WORK, THESE ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR, WHO IS ALSO RESPONSIBLE FOR COMPLYING WITH ALL HEALTH AND SAFETY PRECAUTIONS AS REQUIRED BY ANY REGULATORY AGENCIES.
2. ALL CONCRETE AND REBAR SHALL BE INSTALLED ACCORDING TO STANDARDS SET FORTH BY THE LATEST ADDITION OF ACI-318.
3. 28 DAY CONCRETE MINIMUM COMPRESSIVE STRENGTH SHALL BE AS FOLLOWS: FOOTINGS AND SLABS = 3000 PSI MIN. NO CALCIUM CHLORIDE TO BE USED IN MIX.
4. THE CONTRACTOR SHALL TAKE ADDITIONAL PRECAUTIONS WHEN CONCRETE IS TO BE PLACED AND CURED DURING COLD AND HOT WEATHER. THE CONTRACTOR SHALL FOLLOW RECOMMENDATIONS PRESCRIBED BY AMERICAN CONCRETE INSTITUTE FOR COLD AND HOT WEATHER CONSTRUCTION.
5. NO WATER SHALL BE ADDED TO THE CONCRETE AT THE SITE UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
6. REINFORCING STEEL MEETING REQUIREMENTS OF ASTM A615 GRADE 60 DEFORMED SHALL BE PLACED AND HANDLED PER CONCRETE REINFORCING INSTITUTE 'MANUAL OF STANDARD PRACTICE.' REINFORCING STEEL SHALL HAVE A MINIMUM CLEAR DISTANCE OF 3" FROM SIDES AND BOTTOM AND 2" FROM TOP OF FOOTING UNLESS OTHERWISE NOTED.
7. PROVIDE PROPERLY TIED SPACERS, CHAIRS, BOLSTERS, ETC. AS REQUIRED AND NECESSARY TO ASSEMBLE, PLACE, AND SUPPORT. ALL REINFORCING WIRE BAR TYPE SUPPORTS COMPLYING WITH CRSI RECOMMENDATIONS. USE PLASTIC TIP LEGS ON ALL EXPOSED CONCRETE.
8. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND ENGINEERING DRAWINGS FOR LOCATIONS OF DRESSED FLOOR AREAS AND FLOOR DRAINS.

**GENERAL NOTES: FRAMING**

1. ALL WOODEN MATERIALS IN CONTACT WITH MASONRY OR CONCRETE MUST BE TREATED. PROVIDE FLEXIBLE FLASHING BARRIER BETWEEN ALL NEW BOTTOM PLATES AND MASONRY FLOORS. PROVIDE FLEXIBLE FLASHING BARRIER BETWEEN ALL NEW WOOD BATTENS AND MASONRY WALLS.
2. ALL WOODEN MATERIALS ON THE EXTERIOR SURFACES OF WALLS MUST BE TREATED.
3. MODIFY EXISTING FRAMING AS REQUIRED TO ACCOMPLISH WORK OUTLINED IN THE CONSTRUCTION DOCUMENTS. PROVIDE ALL BLOCKING REQUIRED TO INSTALL ALL FINISHES AND ACCESSORIES.

**MEADORS**  
SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC 29405 ■ 843.723.8585

CITY OF BEAUFORT  
BEAUFORT ARSENAL

713 CRAVEN STREET  
BEAUFORT, SC 29902

**NOT FOR CONSTRUCTION**

BID DRAWINGS

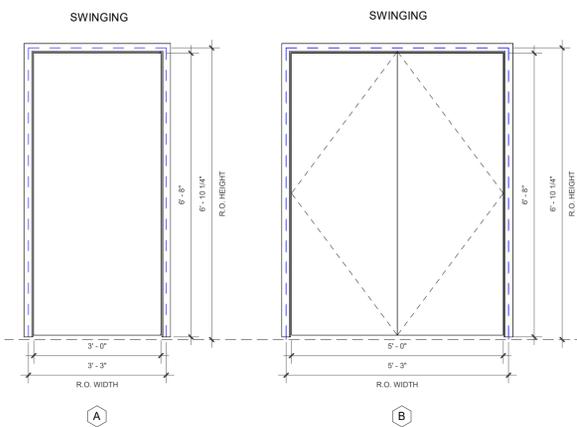
PROJ. 18-0125  
ISSUE DATE: 12/21/18

REVISIONS

#	DATE	NOTES

BUILDING & WALL SECTIONS

**A301**



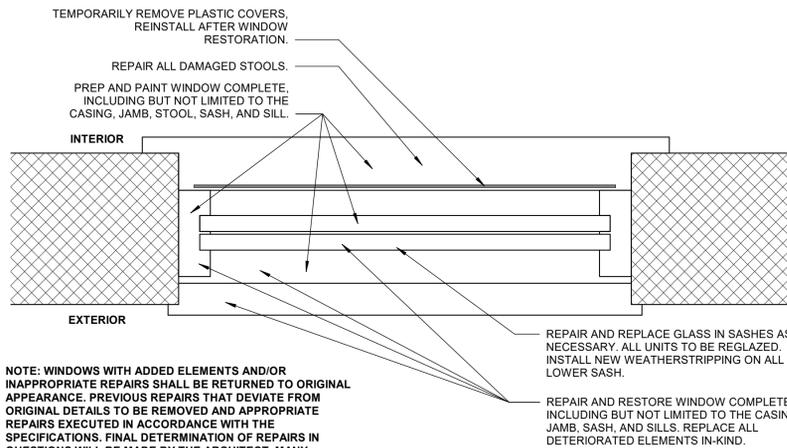
DOOR ELEVATION LEGEND  
1/2" = 1'-0"

DOOR SCHEDULE												
Door ID	Type	Width	Height	Frame & Door Finish	Function	R.O. Width	R.O. Height	Door Thickness	Description	Door Panel	Phase Demolished	Hardware (See Specification Section 087100 for Additional Hardware Information)
101	A	72"	80"	Hollow Metal	Exterior	75"	82 1/4"	1 3/4"	SWINGING, DOUBLE	Panel - Flush	2 - New Construction	N/A
102	B	36"	80"	Hollow Metal	Exterior	39"	82 1/4"	1 3/4"	SWINGING, SINGLE	Panel - Flush	None	Reuse existing Sargent 7 Line Door Hardware, replace hinges with new stainless steel hinges of the same dimensions
103	A	60"	80"	Hollow Metal	Exterior	63"	82 1/4"	1 3/4"	SWINGING, DOUBLE	Panel - Flush	None	Reuse existing Sargent 7 Line Door Hardware, replace hinges with new stainless steel hinges of the same dimensions
104	B	36"	80"	Hollow Metal	Exterior	39"	82 1/4"	1 3/4"	SWINGING, SINGLE	Panel - Flush	None	New Sargent 7 Line Door Hardware, F Entrance Lock, L Lever, L Rose, match existing hardware finish, key to match door 102, hinges to be stainless steel
105	B	36"	80"	Hollow Metal	Exterior	39"	82 1/4"	1 3/4"	SWINGING, SINGLE	Panel - Flush	None	New Sargent 7 Line Door Hardware, F Entrance Lock, L Lever, L Rose, match existing hardware finish, key to match door 102, hinges to be stainless steel

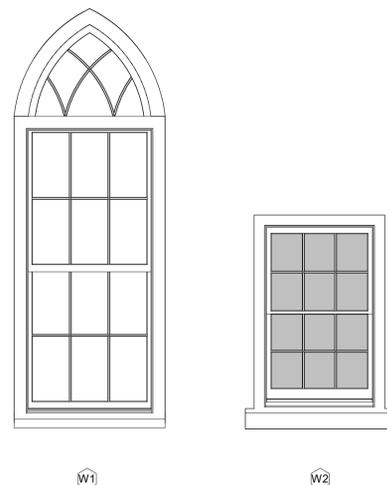
GENERAL NOTES DOORS

- THE BUILDING IS HISTORIC. CARE SHALL BE TAKEN TO PROTECT THE BUILDING AND PROPERTY FROM DAMAGE DURING THE WORK. ALL EFFORT SHALL BE MADE TO PROTECT, RETAIN, AND PRESERVE AS MUCH EXISTING ORIGINAL MATERIALS POSSIBLE. NEW MATERIAL MUST MATCH THE ORIGINAL IN LOCATION, SIZE, MATERIAL, PROFILE (WHERE APPLICABLE) AND INSTALLATION METHOD.
- BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK. CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE, AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.
- DO NOT SCALE OFF DRAWINGS.
- REFER TO SPECIFICATIONS AND DRAFT ASSESSMENT PHOTOGRAPHIC SURVEY FOR ADDITIONAL INFORMATION.
- PROVIDE ADA APPROVED NON-FERROUS METAL THRESHOLDS AT ALL PUBLIC USE EXTERIOR DOORS (APPLICABLE TO DOORS 102-105). COORDINATE ALL FINISHES THAT MEET UNDER AND AT THRESHOLDS. REVIEW CONFIGURATION WITH ARCHITECT PRIOR TO SETTING THRESHOLD.
- ALL HOLLOW METAL FRAMES AND DOORS TO RECEIVE PAINT (APPLICABLE TO DOORS 102-105).

WINDOW SCHEDULE			
Mark	Window Type	Width	Height
01	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
02	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
03	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
04	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
05	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
06	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
07	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
08	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
09	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
10	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
11	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
12	W2- Double Hung Window	2' - 6"	4' - 0"
13	W2- Double Hung Window	2' - 6"	4' - 0"
14	W2- Double Hung Window	2' - 6"	4' - 0"
15	W2- Double Hung Window	2' - 6"	4' - 0"
16	W2- Double Hung Window	2' - 6"	4' - 0"
17	W2- Double Hung Window	2' - 6"	4' - 0"
18	W2- Double Hung Window	2' - 6"	4' - 0"
19	W2- Double Hung Window	2' - 6"	4' - 0"
20	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
21	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
22	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
23	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
24	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
25	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
26	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
27	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
28	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
29	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
30	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
31	W2- Double Hung Window	2' - 6"	4' - 0"
32	W2- Double Hung Window	2' - 6"	4' - 0"
33	W2- Double Hung Window	2' - 6"	4' - 0"
34	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
35	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
36	W2- Double Hung Window	2' - 6"	4' - 0"
37	W2- Double Hung Window	2' - 6"	4' - 0"
38	W2- Double Hung Window	2' - 6"	4' - 0"
39	W2- Double Hung Window	2' - 6"	4' - 0"



DIAGRAMMATIC PLAN DETAIL - WINDOW  
1 1/2" = 1'-0"



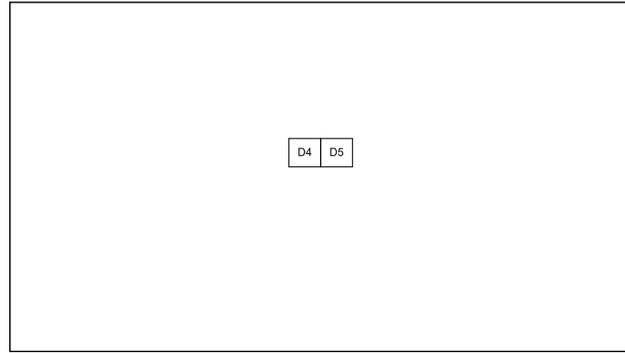
WINDOW ELEVATION LEGEND  
1/2" = 1'-0"

GENERAL NOTES WINDOWS

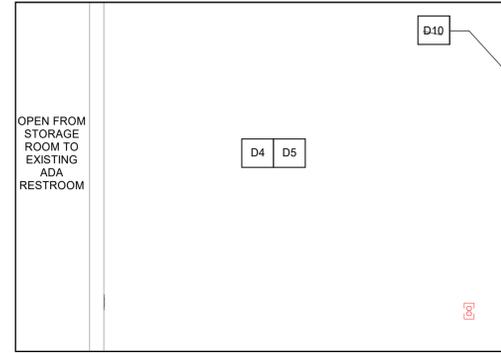
- REFER TO WINDOW ASSESSMENT DATED 11.29.17 FOR DETAILS OF EXISTING WINDOW CONDITIONS.
  - BASIS OF DESIGN: REPAIR & RESTORE ALL WINDOWS IN FULL. RESTORE LOWER SASH TO OPERABLE CONDITION, UPPER SASH FIXED. PAINT WINDOWS COMPLETE (INTERIOR AND EXTERIOR COMPONENTS). REPLACE GLAZING COMPLETE. INTERIOR PLASTIC COVERS IN MUSEUM SPACE TO BE TEMPORARILY REMOVED AND REINSTALLED FOLLOWING REPAIRS TO THE WINDOWS.**
- THE BUILDING IS HISTORIC. CARE SHALL BE TAKEN TO PROTECT THE BUILDING AND PROPERTY FROM DAMAGE DURING THE WORK. ALL EFFORT SHALL BE MADE TO PROTECT, RETAIN, AND PRESERVE AS MUCH EXISTING ORIGINAL MATERIALS POSSIBLE. NEW MATERIAL MUST MATCH THE ORIGINAL IN LOCATION, SIZE, MATERIAL, PROFILE (WHERE APPLICABLE) AND INSTALLATION METHOD.
- ASSUME THE FOLLOWING WINDOW SASH WILL NEED TO BE REPLACED IN KIND:
  - WINDOW 1 UPPER SASH
  - WINDOW 2 UPPER AND LOWER SASH
  - WINDOW 6 UPPER SASH
  - WINDOW 7 LOWER SASH
  - WINDOW 8 LOWER SASH
  - WINDOW 9 UPPER SASH
  - WINDOW 11 LOWER SASH
  - WINDOW 19 CASEMENT SASH
  - WINDOW 20 LOWER SASH
  - WINDOW 22 UPPER SASH
  - WINDOW 25 LOWER SASH
  - WINDOW 28 LOWER SASH
  - WINDOW 30 UPPER AND LOWER SASH
  - WINDOW 34 UPPER AND LOWER SASH

IT MAY BE NECESSARY TO REPLACE ADDITIONAL SASH. UNLESS NOTED HERE, SASH REPLACEMENT MUST BE APPROVED BY THE ARCHITECT.
- PROVIDE CONTINGENCY ALLOWANCE FOR REPLACING 6 ADDITIONAL SASH.
- BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK. CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE, AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.
- CHEMICAL OR PHYSICAL TREATMENTS, IF APPROPRIATE, WILL BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE. TREATMENTS THAT CAUSE DAMAGE TO HISTORIC MATERIALS WILL NOT BE USED.
- DO NOT SCALE OFF DRAWINGS.
- REFER TO SPECIFICATIONS AND ASSESSMENT PHOTOGRAPHIC SURVEY FOR ADDITIONAL INFORMATION.

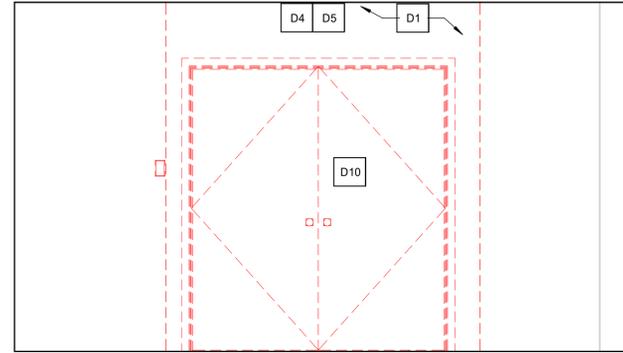
# MENS & WOMENS ADA RESTROOMS (EXISTING STORAGE ROOM)- DEMOLITION INTERIOR ELEVATIONS



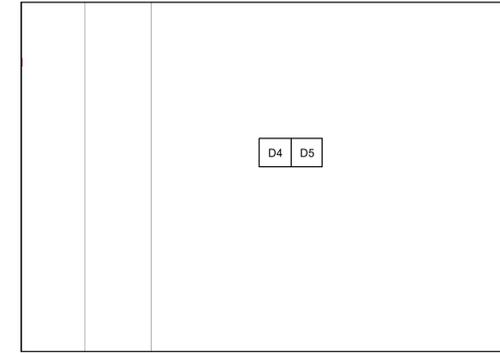
③ STORAGE ROOM- DEMOLITION SOUTH ELEVATION  
1/2" = 1'-0"



④ STORAGE ROOM- DEMOLITION WEST ELEVATION  
1/2" = 1'-0"



① STORAGE ROOM- DEMOLITION NORTH ELEVATION  
1/2" = 1'-0"



② STORAGE ROOM- DEMOLITION EAST ELEVATION  
1/2" = 1'-0"

## GENERAL RESTROOM NOTES

- ALL ACCESSIBLE TOILET STALLS AND ROOMS SHALL COMPLY WITH ADA AND ANSI A117.
- MOUNTING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR UNLESS NOTED OTHERWISE. COMPLY WITH ADA.
- PLAN DIMENSIONS ARE TO FACE OF FRAMING EXCEPT FOR EXISTING WALLS WHERE DIMENSIONS ARE TO FACE OF FINISH.
- DUE TO EXISTING FINISH CONDITIONS WITHIN EACH RESTROOM, CONTRACTOR SHALL LAYOUT DIMENSIONS ON FLOOR AND VERIFY WITH ARCHITECT PRIOR TO ERECTING RESTROOM WALLS.
- ALL ACCESSIBLE WATER CLOSETS SHALL BE LOCATED 18" FROM FINISHED WALL SURFACES TO THE CENTERLINE OF WATER CLOSET.
- REFER TO FLOOR PLANS & ELEVATIONS FOR OTHER TOILET AREA INFORMATION OR EXTENT OF ACCESSORIES NOT SHOWN ON THESE DRAWINGS.
- ONE COAT HOOK (W/ BUMPER) SHALL BE INSTALLED ON THE BACK OF ALL TOILET STALL DOORS - COLUMBIA #ZA-274-080.
- ALL RESTROOM FLOORS AND WALL BASE TO RECEIVE NEW TILE (NEW AND EXISTING). REFER TO RESTROOM ELEVATIONS FOR EXTENT OF TILE.
- TILE PATTERNS ARE A GRAPHICAL ILLUSTRATION. ACTUAL LAYOUT IN FIELD SHALL UTILIZE LARGE/WHOLE TILES TO AVOID THIN SLIVERS OF TILES AT WALL INTERSECTIONS. ALIGN SEAMS OF FLOOR TILE WITH WALL TILE.
- SEE SHEET A901 FOR FINISH SCHEDULE.
- PROVIDE BLOCKING AS REQUIRED TO INSTALL FINISHES AND ACCESSORIES.

## DEMOLITION NOTES

- D1 REMOVE WALL (ALL OR PARTIAL AS NOTED IN DRAWING).
- D2 REMOVE EXISTING PLUMBING FIXTURES. SEE PLUMBING.
- D3 REMOVE EXISTING EXHAUST EQUIPMENT. SEE MECHANICAL.
- D4 REMOVE EXISTING ELECTRICAL EQUIPMENT. SEE ELECTRICAL.
- D5 MODIFY EXISTING SPRINKLER HEADS AS REQUIRED TO INSTALL NEW AND RENOVATED RESTROOMS. SEE FIRE PROTECTION.
- D6 REMOVE ALL RESTROOM ACCESSORIES AND GRAB BARS; SEE ENLARGED RESTROOM PLANS AND ELEVATIONS.
- D7 REMOVE VANITY AND MIRROR.
- D8 REMOVE EXISTING INTERIOR FINISHES.
- D9 REMOVE WALL FINISH AND ALL TRIM. REMOVE CEILING FINISH AND ALL TRIM.
- D10 REMOVE EXTERIOR DOOR AND FRAME; REFER TO DOOR SCHEDULE.
- D11 REMOVE AND MODIFY BRICKWORK AS REQUIRED TO INSTALL NEW AND RENOVATED RESTROOMS.
- D12 REMOVE TILE.
- D13 CUT, MODIFY, AND REPAIR CONCRETE AS REQUIRED FOR INSTALLATION OF NEW AND RENOVATED RESTROOMS.
- D14 TEMPORARILY REMOVE AND OR MODIFY VERTICAL WALL BOARDS TO INSTALL NEW MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS. BOARDS TO BE SALVAGED, REPAIRED, AND RE-INSTALLED.
- D15 REMOVE EXISTING RESTROOM SIGNAGE.

**MEADORS**  
SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585

CITY OF BEAUFORT  
BEAUFORT ARSENAL

713 CRAVEN STREET  
BEAUFORT, SC 29902

**NOT FOR CONSTRUCTION**

## BID DRAWINGS

PROJ. 18-0125  
ISSUE DATE: 12/21/18

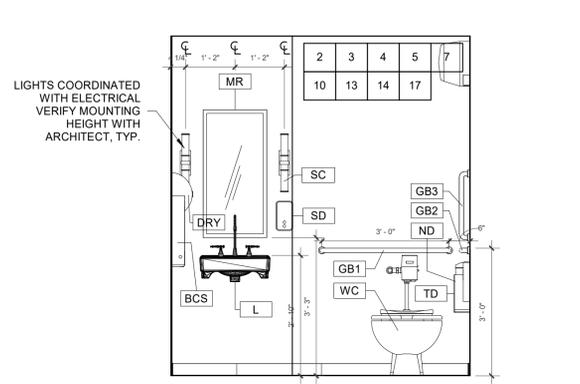
REVISIONS

#	DATE	NOTES

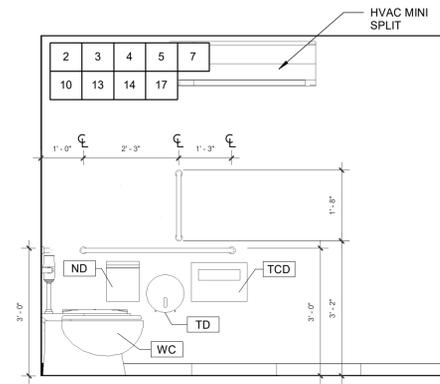
INTERIOR  
ELEVATIONS

**A801**

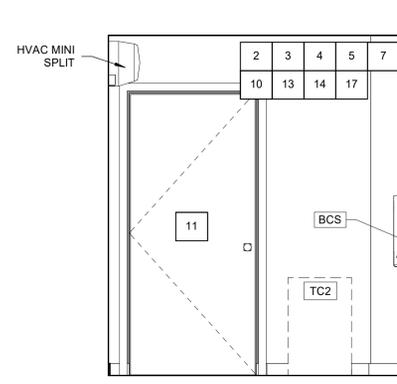
# MENS ADA RESTROOM- PROPOSED INTERIOR ELEVATIONS



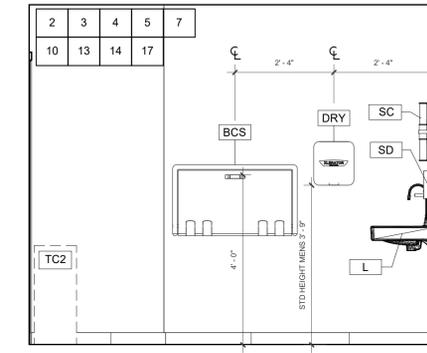
1 MENS ADA RESTROOM- PROPOSED SOUTH ELEVATION  
1/2" = 1'-0"



2 MENS ADA RESTROOM- PROPOSED WEST ELEVATION  
1/2" = 1'-0"

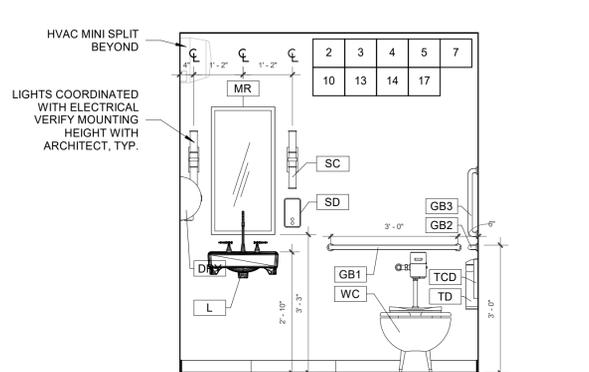


3 MENS ADA RESTROOM- PROPOSED NORTH ELEVATION  
1/2" = 1'-0"

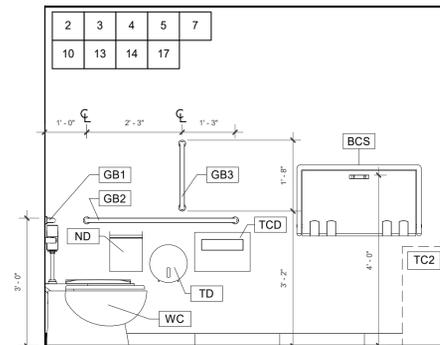


4 MENS ADA RESTROOM- PROPOSED EAST ELEVATION  
1/2" = 1'-0"

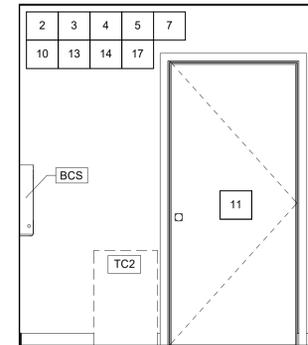
# WOMENS ADA RESTROOM- PROPOSED INTERIOR ELEVATIONS



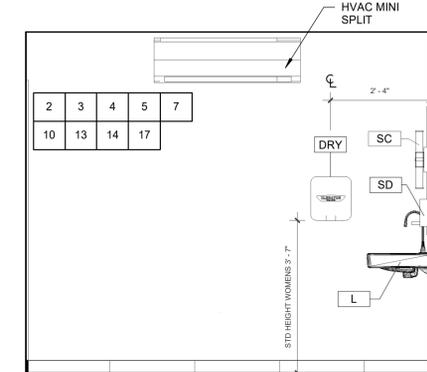
5 WOMENS ADA RESTROOM- PROPOSED SOUTH ELEVATION  
1/2" = 1'-0"



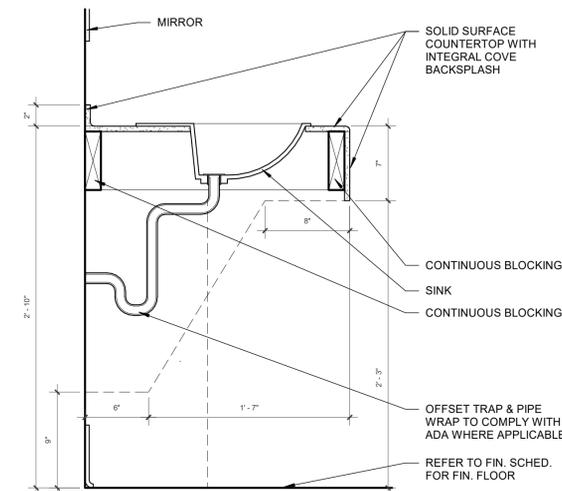
6 WOMENS ADA RESTROOM- PROPOSED WEST ELEVATION  
1/2" = 1'-0"



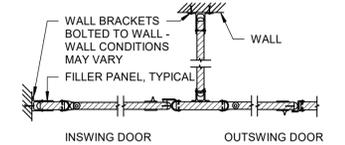
7 WOMENS ADA RESTROOM- PROPOSED NORTH ELEVATION  
1/2" = 1'-0"



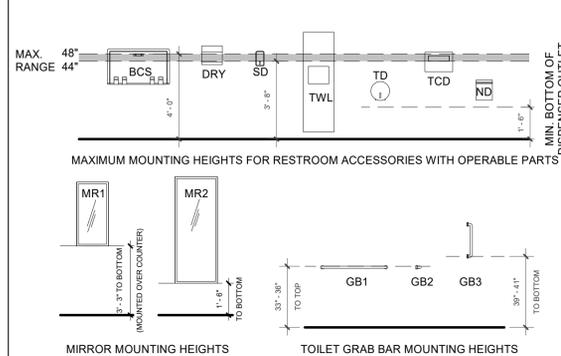
8 WOMENS ADA RESTROOM- PROPOSED EAST ELEVATION  
1/2" = 1'-0"



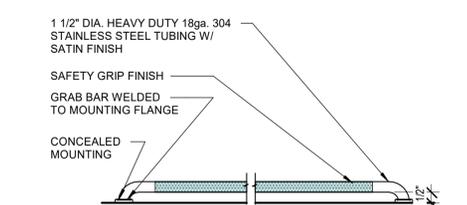
9 STANDARD LAVATORY  
1 1/2" = 1'-0"



10 TYPICAL RESTROOM DETAILS 1  
1" = 1'-0"



11 ADA MOUNTING HEIGHTS FOR RESTROOM ACCESSORIES  
1/4" = 1'-0"



12 TYPICAL RESTROOM DETAILS 2  
1" = 1'-0"

## TOILET ACCESSORY SCHEDULE

TAG	DESCRIPTION	MANUF.	MODEL NO.	NOTES
BCS	BABY CHANGING STATION	KOALA KARE	KB-200	HORIZONTAL, SURFACE MOUNTED, GRAY
DRY	HAND DRYER	XLERATOR	XL-BW	SURFACE MOUNTED, WHITE
GB1	36" GRAB BAR	PSISC	GB-171	1 1/2" SNAP ON FLANGE MOUNTING, SATIN FINISH
GB2	42" GRAB BAR	PSISC	GB-181	1 1/2" SNAP ON FLANGE MOUNTING, SATIN FINISH
GB3	18" GRAB BAR	PSISC	GB-231	1 1/2" SNAP ON FLANGE MOUNTING, SATIN FINISH
MR1	COUNTERTOP MIRROR	PSISC	MR-341	CHANNEL FRAME MIRROR 18" W X 36" H
ND	NAPKIN DISPOSAL	PSISC	ND-111	SURFACE MOUNT, LIFT DOOR
SD	SOAP DISPENSER	PSISC	SD-111	VERTICAL, SURFACE MOUNTED
TCD	TOILET SEAT COVER DISPENSER	PSISC	TC-111	SURFACE MOUNTED
TD	TISSUE DISPENSER	PSISC	TC-171	SURFACE MOUNTED
TC1	TRASH CAN	ULINE	H-4454	STAINLESS STEEL, 16 GALLON HALF ROUND
TC2	TRASH CAN	ULINE	H-3621	STAINLESS STEEL, 13 GALLON SLIM

## LEGEND

SYMBOL	DESCRIPTION
◇	WALL TYPE, SEE LEGEND ON SHEET A002
▒	PORCELAIN TILE FLOORS
▓	PORCELAIN TILE BASEBOARD
FD	FLOOR DRAIN
XX	TOILET ACCESSORY TAG

ABBREVIATIONS	
L	LAVATORY
WC	WATER CLOSET
U	URINAL

WALL ELEVATION DESIGNATIONS:

## GENERAL RESTROOM NOTES

- ALL ACCESSIBLE TOILET STALLS AND ROOMS SHALL COMPLY WITH ADA AND ANSI A117.
- MOUNTING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR UNLESS NOTED OTHERWISE. COMPLY WITH ADA.
- PLAN DIMENSIONS ARE TO FACE OF FRAMING EXCEPT FOR EXISTING WALLS WHERE DIMENSIONS ARE TO FACE OF FINISH.
- DUE TO EXISTING FINISH CONDITIONS WITHIN EACH RESTROOM, CONTRACTOR SHALL LAYOUT DIMENSIONS ON FLOOR AND VERIFY WITH ARCHITECT PRIOR TO ERECTING RESTROOM WALLS.
- ALL ACCESSIBLE WATER CLOSETS SHALL BE LOCATED 18" FROM FINISHED WALL SURFACES TO THE CENTERLINE OF WATER CLOSET.
- REFER TO FLOOR PLANS & ELEVATIONS FOR OTHER TOILET AREA INFORMATION OR EXTENT OF ACCESSORIES NOT SHOWN ON THESE DRAWINGS.
- ONE COAT HOOK (W/ BUMPER) SHALL BE INSTALLED ON THE BACK OF ALL TOILET STALL DOORS - COLUMBIA #ZA-274-080.
- ALL RESTROOM FLOORS AND WALL BASE TO RECEIVE NEW TILE (NEW AND EXISTING). REFER TO RESTROOM ELEVATIONS FOR EXTENT OF TILE.
- TILE PATTERNS ARE A GRAPHICAL ILLUSTRATION, ACTUAL LAYOUT IN FIELD SHALL UTILIZE LARGE/WHOLE TILES TO AVOID THIN SLIVERS OF TILES AT WALL INTERSECTIONS. ALIGN SEAMS OF FLOOR TILE WITH WALL TILE.
- SEE SHEET A901 FOR FINISH SCHEDULE.
- PROVIDE BLOCKING AS REQUIRED TO INSTALL FINISHES AND ACCESSORIES.

## NEW CONSTRUCTION NOTES

- NEW EXTERIOR WALL. MATCH EXISTING FINISH AND TRIM AT ADJACENT WALLS.
- NEW PLUMBING FIXTURES. SEE PLUMBING.
- NEW MECHANICAL EQUIPMENT. SEE MECHANICAL.
- NEW ELECTRICAL EQUIPMENT. SEE ELECTRICAL.
- MODIFY EXISTING SPRINKLER HEADS AND INSTALL NEW SPRINKLER HEADS. SEE FIRE PROTECTION.
- NEW INTERIOR WALL; REFER TO WALL TYPE LEGEND.
- NEW RESTROOM ACCESSORIES AND GRAB BARS; SEE ENLARGED RESTROOM PLANS AND ELEVATIONS.
- NEW FLOOR MOUNTED OVERHEAD BRACED TOILET PARTITIONS.
- NEW VANITY; SEE DETAIL ON RESTROOM DRAWINGS.
- NEW INTERIOR FINISHES INSIDE EXISTING AND NEW RESTROOMS; REFER TO FINISH SCHEDULE AND SPECIFICATIONS.
- NEW EXTERIOR DOOR AND FRAME; REFER TO DOOR SCHEDULE.
- MODIFY BRICKWORK AS REQUIRED TO INSTALL NEW RESTROOMS, PATTERNING, BORDER LAYOUT, AND METHOD OF INSTALLATION TO MATCH EXISTING.
- INSTALL NEW TILE FLOOR AND TILE BASE.
- REPAIR CONCRETE AS REQUIRED FOR RESTROOM RENOVATION.
- INSTALL NEW CONCRETE FLOOR AND FOUNDATION.
- REINSTALL AND REPAIR VERTICAL WALL BOARDS AND TRIM. REPLACE IN-KIND BOARDS AND TRIM THAT CANNOT BE REUSED.
- NEW CEILING. SEE FINISH SCHEDULE. PROVIDE FRAMING AND BLOCKING AS REQUIRED FOR NEW CEILING.
- INSTALL SIGNAGE ON RESTROOM DOORS.

## RESTROOM MATERIAL SELECTIONS

TAG	DESCRIPTION	MANUF.	MODEL NO.	NOTES
PART	PARTITION	COLUMBIA PHENOLIC	72835 CLASS A	STAINLESS STEEL ACCESSORIES AND FASTENERS. COLOR: 1097 CITADEL, MATTE FINISH
VC	VANITY COUNTERTOP	CORIAN	N/A	NATURAL GRAY
SC	SCONCE	ROBERT ABBEY, INC.	C1311	RODERICK DOUBLE SCONCE, ANTIQUE SILVER, COMPACT FLUORESCENT

MEADORS

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC 29405

CITY OF BEAUFORT  
BEAUFORT ARSENAL

713 CRAVEN STREET  
BEAUFORT, SC 29902

BID DRAWINGS

PROJ. 18-0125  
ISSUE DATE: 12/21/18

REVISIONS

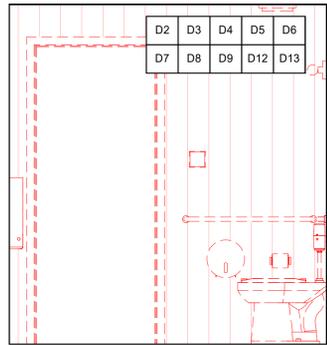
# DATE NOTES

INTERIOR ELEVATIONS

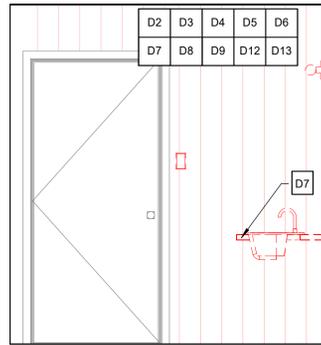
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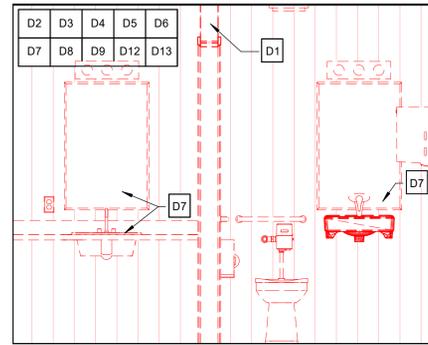
# MENS RESTROOM (EXISTING ADA RESTROOM)- DEMOLITION INTERIOR ELEVATIONS



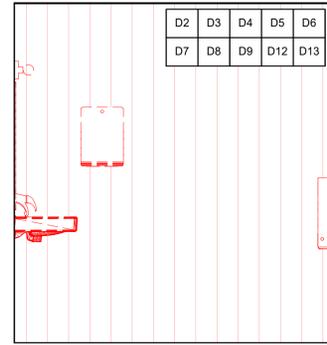
1 ADA RESTROOM- DEMOLITION NORTH ELEVATION  
1/2" = 1'-0"



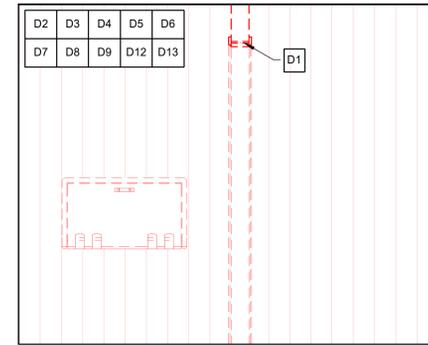
2 ADA RESTROOM- DEMOLITION ELEVATION  
1/2" = 1'-0"



3 ADA RESTROOM- DEMOLITION EAST ELEVATION  
1/2" = 1'-0"



4 ADA RESTROOM- DEMOLITION SOUTH ELEVATION  
1/2" = 1'-0"

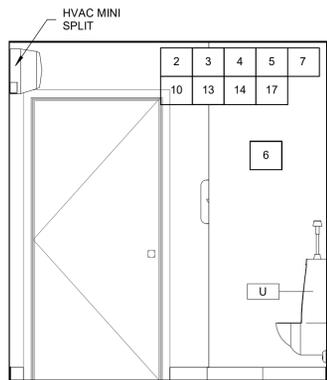


5 ADA RESTROOM- DEMOLITION WEST ELEVATION  
1/2" = 1'-0"

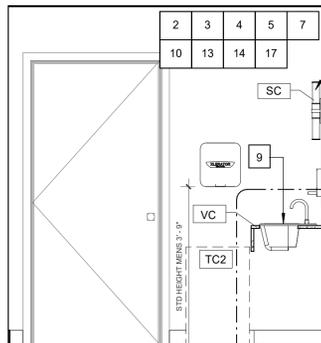
## DEMOLITION NOTES

- D1 REMOVE WALL (ALL OR PARTIAL AS NOTED IN DRAWING).
- D2 REMOVE EXISTING PLUMBING FIXTURES, SEE PLUMBING.
- D3 REMOVE EXISTING EXHAUST EQUIPMENT, SEE MECHANICAL.
- D4 REMOVE EXISTING ELECTRICAL EQUIPMENT, SEE ELECTRICAL.
- D5 MODIFY EXISTING SPRINKLER HEADS AS REQUIRED TO INSTALL NEW AND RENOVATED RESTROOMS. SEE FIRE PROTECTION.
- D6 REMOVE ALL RESTROOM ACCESSORIES AND GRAB BARS; SEE ENLARGED RESTROOM PLANS AND ELEVATIONS.
- D7 REMOVE VANITY AND MIRROR.
- D8 REMOVE EXISTING INTERIOR FINISHES.
- D9 REMOVE WALL FINISH AND ALL TRIM. REMOVE CEILING FINISH AND ALL TRIM.
- D10 REMOVE EXTERIOR DOOR AND FRAME, REFER TO DOOR SCHEDULE.
- D11 REMOVE AND MODIFY BRICKWORK AS REQUIRED TO INSTALL NEW AND RENOVATED RESTROOMS.
- D12 REMOVE TILE.
- D13 CUT, MODIFY, AND REPAIR CONCRETE AS REQUIRED FOR INSTALLATION OF NEW AND RENOVATED RESTROOMS.
- D14 TEMPORARILY REMOVE AND OR MODIFY VERTICAL WALL BOARDS TO INSTALL NEW MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS. BOARDS TO BE SALVAGED, REPAIRED, AND RE-INSTALLED.
- D15 REMOVE EXISTING RESTROOM SIGNAGE.

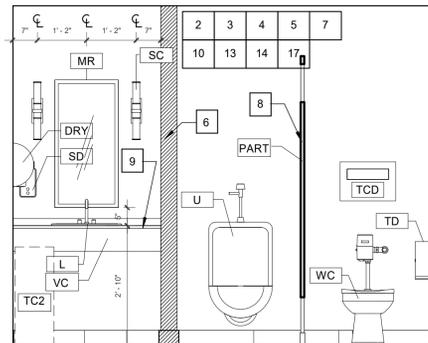
# MENS RESTROOM- PROPOSED INTERIOR ELEVATIONS



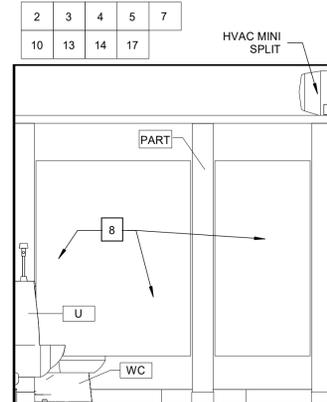
6 MENS RESTROOM- PROPOSED NORTH ELEVATION  
1/2" = 1'-0"



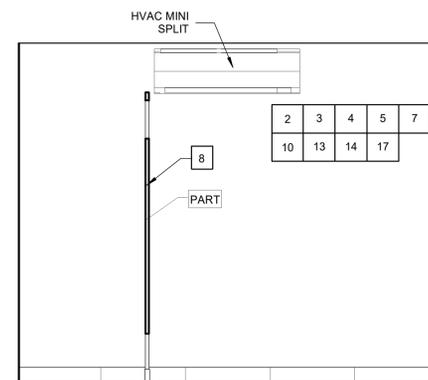
7 MENS RESTROOM- PROPOSED ELEVATION  
1/2" = 1'-0"



8 MENS RESTROOM- PROPOSED WEST ELEVATION  
1/2" = 1'-0"



9 MENS RESTROOM- PROPOSED SOUTH ELEVATION  
1/2" = 1'-0"



10 MENS RESTROOM- PROPOSED EAST ELEVATION  
1/2" = 1'-0"

## NEW CONSTRUCTION NOTES

- 1 NEW EXTERIOR WALL. MATCH EXISTING FINISH AND TRIM AT ADJACENT WALLS.
- 2 NEW PLUMBING FIXTURES, SEE PLUMBING.
- 3 NEW MECHANICAL EQUIPMENT, SEE MECHANICAL.
- 4 NEW ELECTRICAL EQUIPMENT, SEE ELECTRICAL.
- 5 MODIFY EXISTING SPRINKLER HEADS AND INSTALL NEW SPRINKLER HEADS. SEE FIRE PROTECTION.
- 6 NEW INTERIOR WALL; REFER TO WALL TYPE LEGEND.
- 7 NEW RESTROOM ACCESSORIES AND GRAB BARS; SEE ENLARGED RESTROOM PLANS AND ELEVATIONS.
- 8 NEW FLOOR MOUNTED OVERHEAD BRACED TOILET PARTITIONS.
- 9 NEW VANITY; SEE DETAIL ON RESTROOM DRAWINGS.
- 10 NEW INTERIOR FINISHES INSIDE EXISTING AND NEW RESTROOMS; REFER TO FINISH SCHEDULE AND SPECIFICATIONS.
- 11 NEW EXTERIOR DOOR AND FRAME; REFER TO DOOR SCHEDULE.
- 12 MODIFY BRICKWORK AS REQUIRED TO INSTALL NEW RESTROOMS, PATTERNING, BORDER LAYOUT, AND METHOD OF INSTALLATION TO MATCH EXISTING.
- 13 INSTALL NEW TILE FLOOR AND TILE BASE.
- 14 REPAIR CONCRETE AS REQUIRED FOR RESTROOM RENOVATION.
- 15 INSTALL NEW CONCRETE FLOOR AND FOUNDATION.
- 16 REINSTALL AND REPAIR VERTICAL WALL BOARDS AND TRIM. REPLACE IN-KIND BOARDS AND TRIM THAT CANNOT BE REUSED.
- 17 NEW CEILING. SEE FINISH SCHEDULE. PROVIDE FRAMING AND BLOCKING AS REQUIRED FOR NEW CEILING.
- 18 INSTALL SIGNAGE ON RESTROOM DOORS.

TOILET ACCESSORY SCHEDULE				
TAG	DESCRIPTION	MANUF.	MODEL NO.	NOTES
BCS	BABY CHANGING STATION	KOALA KARE	KB-200	HORIZONTAL, SURFACE MOUNTED, GRAY
DRY	HAND DRYER	XLERATOR	XL-BW	SURFACE MOUNTED, WHITE
GB1	36" GRAB BAR	PSISC	GB-171	1 1/2" SNAP ON FLANGE MOUNTING, SATIN FINISH
GB2	42" GRAB BAR	PSISC	GB-181	1 1/2" SNAP ON FLANGE MOUNTING, SATIN FINISH
GB3	18" GRAB BAR	PSISC	GB-231	1 1/2" SNAP ON FLANGE MOUNTING, SATIN FINISH
MR1	COUNTERTOP MIRROR	PSISC	MR-341	CHANNEL FRAME MIRROR 18" W X 36" H
ND	NAPKIN DISPOSAL	PSISC	ND-111	SURFACE MOUNT, LIFT DOOR
SD	SOAP DISPENSER	PSISC	SD-111	VERTICAL, SURFACE MOUNTED
TCD	TOILET SEAT COVER DISPENSER	PSISC	TC-111	SURFACE MOUNTED
TD	TISSUE DISPENSER	PSISC	TC-171	SURFACE MOUNTED
TC1	TRASH CAN	ULINE	H-4454	STAINLESS STEEL, 16 GALLON HALF ROUND
TC2	TRASH CAN	ULINE	H-3621	STAINLESS STEEL, 13 GALLON SLIM

RESTROOM MATERIAL SELECTIONS				
TAG	DESCRIPTION	MANUF.	MODEL NO.	NOTES
PART	PARTITION	COLUMBIA PHENOLIC	72835 CLASS A	STAINLESS STEEL ACCESSORIES AND FASTENERS, COLOR: 1097 CITADEL, MATTE FINISH
VC	VANITY COUNTERTOP	CORIAN	N/A	NATURAL GRAY
SC	SCONCE	ROBERT ABBEY, INC.	C1311	RODERICK DOUBLE SCONCE, ANTIQUE SILVER, COMPACT FLUORESCENT

## GENERAL RESTROOM NOTES

- 1. ALL ACCESSIBLE TOILET STALLS AND ROOMS SHALL COMPLY WITH ADA AND ANSI A117.
- 2. MOUNTING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR UNLESS NOTED OTHERWISE. COMPLY WITH ADA.
- 3. PLAN DIMENSIONS ARE TO FACE OF FRAMING EXCEPT FOR EXISTING WALLS WHERE DIMENSIONS ARE TO FACE OF FINISH.
- 4. DUE TO EXISTING FINISH CONDITIONS WITHIN EACH RESTROOM, CONTRACTOR SHALL LAYOUT DIMENSIONS ON FLOOR AND VERIFY WITH ARCHITECT PRIOR TO ERECTING RESTROOM WALLS.
- 5. ALL ACCESSIBLE WATER CLOSETS SHALL BE LOCATED 18" FROM FINISHED WALL SURFACES TO THE CENTERLINE OF WATER CLOSET.
- 6. REFER TO FLOOR PLANS & ELEVATIONS FOR OTHER TOILET AREA INFORMATION OR EXTENT OF ACCESSORIES NOT SHOWN ON THESE DRAWINGS.
- 7. ONE COAT HOOK (W/ BUMPER) SHALL BE INSTALLED ON THE BACK OF ALL TOILET STALL DOORS - COLUMBIA #ZA-274-080.
- 8. ALL RESTROOM FLOORS AND WALL BASE TO RECEIVE NEW TILE (NEW AND EXISTING). REFER TO RESTROOM ELEVATIONS FOR EXTENT OF TILE.
- 9. TILE PATTERNS ARE A GRAPHICAL ILLUSTRATION. ACTUAL LAYOUT IN FIELD SHALL UTILIZE LARGE/WHOLE TILES TO AVOID THIN SLIVERS OF TILES AT WALL INTERSECTIONS. ALIGN SEAMS OF FLOOR TILE WITH WALL TILE.
- 10. SEE SHEET A901 FOR FINISH SCHEDULE.
- 11. PROVIDE BLOCKING AS REQUIRED TO INSTALL FINISHES AND ACCESSORIES.

MEADORS

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585

CITY OF BEAUFORT  
BEAUFORT ARSENAL

713 CRAVEN STREET  
BEAUFORT, SC 29902

NOT FOR CONSTRUCTION

BID DRAWINGS

PROJ. 18-0125  
ISSUE DATE: 12/21/18

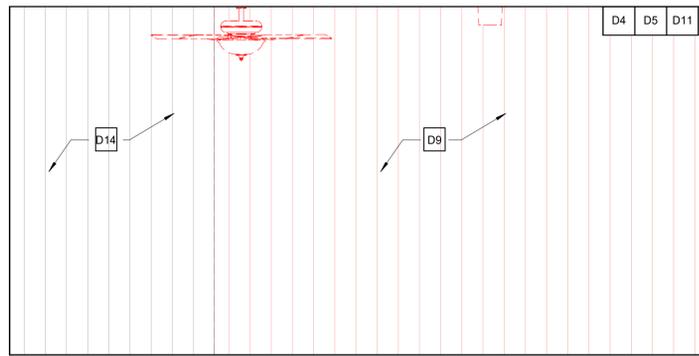
REVISIONS

# DATE NOTES

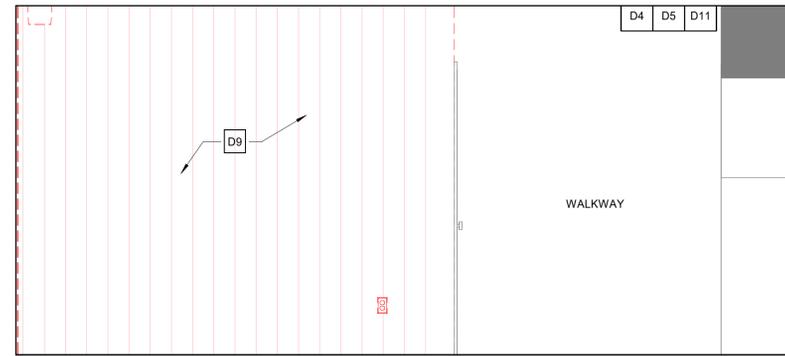
INTERIOR  
ELEVATIONS

A803

# WOMENS RESTROOM (EXISTING OPEN ARCADE)- DEMOLITION INTERIOR ELEVATIONS



1 FUTURE WOMENS RESTROOM- DEMOLITION SOUTH ELEVATION  
1/2" = 1'-0"

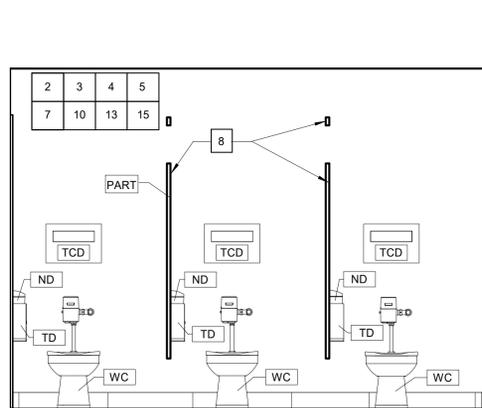


2 FUTURE WOMENS RESTROOM- DEMOLITION WEST ELEVATION  
1/2" = 1'-0"

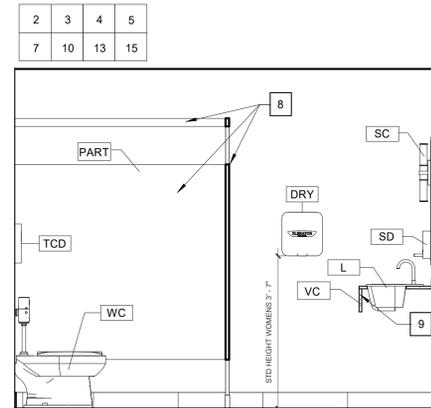
## DEMOLITION NOTES

- D1 REMOVE WALL (ALL OR PARTIAL AS NOTED IN DRAWING).
- D2 REMOVE EXISTING PLUMBING FIXTURES. SEE PLUMBING.
- D3 REMOVE EXISTING EXHAUST EQUIPMENT. SEE MECHANICAL.
- D4 REMOVE EXISTING ELECTRICAL EQUIPMENT. SEE ELECTRICAL.
- D5 MODIFY EXISTING SPRINKLER HEADS AS REQUIRED TO INSTALL NEW AND RENOVATED RESTROOMS. SEE FIRE PROTECTION.
- D6 REMOVE ALL RESTROOM ACCESSORIES AND GRAB BARS; SEE ENLARGED RESTROOM PLANS AND ELEVATIONS.
- D7 REMOVE VANITY AND MIRROR.
- D8 REMOVE EXISTING INTERIOR FINISHES.
- D9 REMOVE WALL FINISH AND ALL TRIM. REMOVE CEILING FINISH AND ALL TRIM.
- D10 REMOVE EXTERIOR DOOR AND FRAME. REFER TO DOOR SCHEDULE.
- D11 REMOVE AND MODIFY BRICKWORK AS REQUIRED TO INSTALL NEW AND RENOVATED RESTROOMS.
- D12 REMOVE TILE.
- D13 CUT, MODIFY, AND REPAIR CONCRETE AS REQUIRED FOR INSTALLATION OF NEW AND RENOVATED RESTROOMS.
- D14 TEMPORARILY REMOVE AND OR MODIFY VERTICAL WALL BOARDS TO INSTALL NEW MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS. BOARDS TO BE SALVAGED, REPAIRED, AND RE-INSTALLED.
- D15 REMOVE EXISTING RESTROOM SIGNAGE.

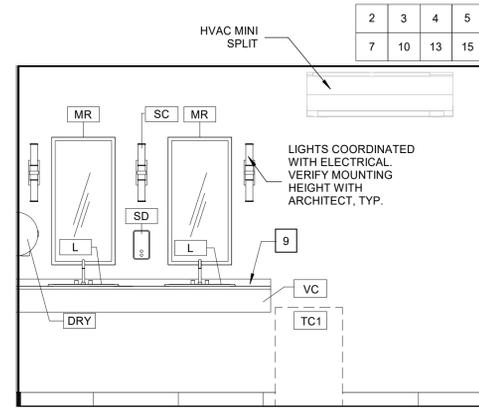
# WOMENS RESTROOM- PROPOSED INTERIOR ELEVATIONS



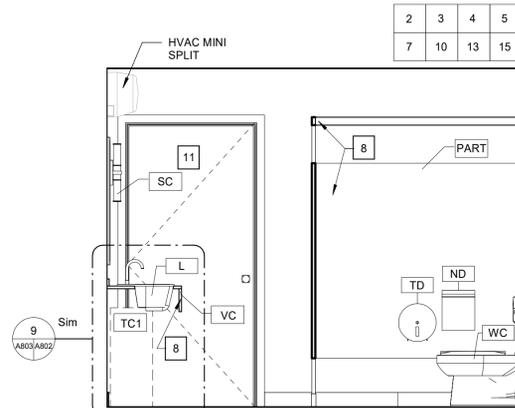
3 WOMENS RESTROOM- PROPOSED SOUTH ELEVATION  
1/2" = 1'-0"



4 WOMENS RESTROOM- PROPOSED WEST ELEVATION  
1/2" = 1'-0"



5 WOMENS RESTROOM- PROPOSED NORTH ELEVATION  
1/2" = 1'-0"



6 WOMENS RESTROOM- PROPOSED EAST ELEVATION  
1/2" = 1'-0"

## NEW CONSTRUCTION NOTES

- 1 NEW EXTERIOR WALL. MATCH EXISTING FINISH AND TRIM AT ADJACENT WALLS.
- 2 NEW PLUMBING FIXTURES. SEE PLUMBING.
- 3 NEW MECHANICAL EQUIPMENT. SEE MECHANICAL.
- 4 NEW ELECTRICAL EQUIPMENT. SEE ELECTRICAL.
- 5 MODIFY EXISTING SPRINKLER HEADS AND INSTALL NEW SPRINKLER HEADS. SEE FIRE PROTECTION.
- 6 NEW INTERIOR WALL; REFER TO WALL TYPE LEGEND.
- 7 NEW RESTROOM ACCESSORIES AND GRAB BARS; SEE ENLARGED RESTROOM PLANS AND ELEVATIONS.
- 8 NEW FLOOR MOUNTED OVERHEAD BRACED TOILET PARTITIONS.
- 9 NEW VANITY; SEE DETAIL ON RESTROOM DRAWINGS.
- 10 NEW INTERIOR FINISHES INSIDE EXISTING AND NEW RESTROOMS; REFER TO FINISH SCHEDULE AND SPECIFICATIONS.
- 11 NEW EXTERIOR DOOR AND FRAME; REFER TO DOOR SCHEDULE.
- 12 MODIFY BRICKWORK AS REQUIRED TO INSTALL NEW RESTROOMS. PATTERNING, BORDER LAYOUT, AND METHOD OF INSTALLATION TO MATCH EXISTING.
- 13 INSTALL NEW TILE FLOOR AND TILE BASE.
- 14 REPAIR CONCRETE AS REQUIRED FOR RESTROOM RENOVATION.
- 15 INSTALL NEW CONCRETE FLOOR AND FOUNDATION.
- 16 REINSTALL AND REPAIR VERTICAL WALL BOARDS AND TRIM. REPLACE IN-KIND BOARDS AND TRIM THAT CANNOT BE REUSED.
- 17 NEW CEILING. SEE FINISH SCHEDULE. PROVIDE FRAMING AND BLOCKING AS REQUIRED FOR NEW CEILING.
- 18 INSTALL SIGNAGE ON RESTROOM DOORS.

MEADORS

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC 29405 ■ 843.723.8585

CITY OF BEAUFORT  
BEAUFORT ARSENAL

713 CRAVEN STREET  
BEAUFORT, SC 29902

NOT FOR CONSTRUCTION

## BID DRAWINGS

### TOILET ACCESSORY SCHEDULE

TAG	DESCRIPTION	MANUF.	MODEL NO.	NOTES
BCS	BABY CHANGING STATION	KOALA KARE	KB-200	HORIZONTAL, SURFACE MOUNTED, GRAY
DRY	HAND DRYER	XLERATOR	XL-BW	SURFACE MOUNTED, WHITE
GB1	36" GRAB BAR	PSISC	GB-171	1 1/2" SNAP ON FLANGE MOUNTING, SATIN FINISH
GB2	42" GRAB BAR	PSISC	GB-181	1 1/2" SNAP ON FLANGE MOUNTING, SATIN FINISH
GB3	18" GRAB BAR	PSISC	GB-231	1 1/2" SNAP ON FLANGE MOUNTING, SATIN FINISH
MR1	COUNTERTOP MIRROR	PSISC	MR-341	CHANNEL FRAME MIRROR 18" W X 36" H
ND	NAPKIN DISPOSAL	PSISC	ND-111	SURFACE MOUNT, LIFT DOOR
SD	SOAP DISPENSER	PSISC	SD-111	VERTICAL, SURFACE MOUNTED
TCD	TOILET SEAT COVER DISPENSER	PSISC	TC-111	SURFACE MOUNTED
TD	TISSUE DISPENSER	PSISC	TC-171	SURFACE MOUNTED
TC1	TRASH CAN	ULINE	H-4454	STAINLESS STEEL, 16 GALLON HALF ROUND
TC2	TRASH CAN	ULINE	H-3621	STAINLESS STEEL, 13 GALLON SLIM

### RESTROOM MATERIAL SELECTIONS

TAG	DESCRIPTION	MANUF.	MODEL NO.	NOTES
PART	PARTITION	COLUMBIA PHENOLIC	72835 CLASS A	STAINLESS STEEL ACCESSORIES AND FASTENERS, COLOR: 1097 CITADEL, MATTE FINISH
VC	VANITY COUNTERTOP	CORIAN	N/A	NATURAL GRAY
SC	SCONCE	ROBERT ABBEY, INC.	C1311	RODERICK DOUBLE SCONCE, ANTIQUE SILVER, COMPACT FLUORESCENT

### GENERAL RESTROOM NOTES

- 1. ALL ACCESSIBLE TOILET STALLS AND ROOMS SHALL COMPLY WITH ADA AND ANSI A117.
- 2. MOUNTING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR UNLESS NOTED OTHERWISE. COMPLY WITH ADA.
- 3. PLAN DIMENSIONS ARE TO FACE OF FRAMING EXCEPT FOR EXISTING WALLS WHERE DIMENSIONS ARE TO FACE OF FINISH.
- 4. DUE TO EXISTING FINISH CONDITIONS WITHIN EACH RESTROOM, CONTRACTOR SHALL LAYOUT DIMENSIONS ON FLOOR AND VERIFY WITH ARCHITECT PRIOR TO ERECTING RESTROOM WALLS.
- 5. ALL ACCESSIBLE WATER CLOSETS SHALL BE LOCATED 18" FROM FINISHED WALL SURFACES TO THE CENTERLINE OF WATER CLOSET.
- 6. REFER TO FLOOR PLANS & ELEVATIONS FOR OTHER TOILET AREA INFORMATION OR EXTENT OF ACCESSORIES NOT SHOWN ON THESE DRAWINGS.
- 7. ONE COAT HOOK (W/ BUMPER) SHALL BE INSTALLED ON THE BACK OF ALL TOILET STALL DOORS - COLUMBIA #ZA-274-080.
- 8. ALL RESTROOM FLOORS AND WALL BASE TO RECEIVE NEW TILE (NEW AND EXISTING). REFER TO RESTROOM ELEVATIONS FOR EXTENT OF TILE.
- 9. TILE PATTERNS ARE A GRAPHICAL ILLUSTRATION. ACTUAL LAYOUT IN FIELD SHALL UTILIZE LARGE/WHOLE TILES TO AVOID THIN SLIVERS OF TILES AT WALL INTERSECTIONS. ALIGN SEAMS OF FLOOR TILE WITH WALL TILE.
- 10. SEE SHEET A901 FOR FINISH SCHEDULE.
- 11. PROVIDE BLOCKING AS REQUIRED TO INSTALL FINISHES AND ACCESSORIES.

PROJ. 18-0125  
ISSUE DATE: 12/21/18

REVISIONS

# DATE NOTES

#	DATE	NOTES

INTERIOR ELEVATIONS

A804

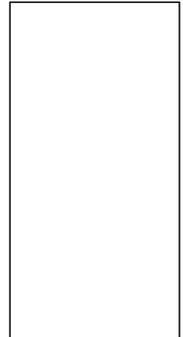
ROOM FINISH SCHEDULE									
Room Name	Floor		Walls		Ceilings		Trim	Base Finish	Area (Conditioned)
	Material	Finish	Material	Finish (Color)	Material	Finish (Color)	Base/Wainscot		
							Type		
MENS ADA RESTROOM	SEAL CONC, TILE	12 x 24, Mosa Quartz Product #: 4104 RQ, Grout: Spectralock Pro, Raven 45	FMG	Level 4 skim on all walls, PNT, Semi- Gloss, Color: Benjamin Moore Horizon Gray 2141-50	FMG	Level 4 skim on all ceilings, Satin, PNT, Color: Benjamin Moore Distant Gray – 2124-70	TILE	4 x 24, Mosa Quartz Product #: 4104 RQ, Grout: Spectralock Pro, Raven 45	63 sq. ft.
WOMENS ADA RESTROOM	SEAL CONC, TILE	12 x 24, Mosa Quartz Product #: 4104 RQ, Grout: Spectralock Pro, Raven 45	FMG	Level 4 skim on all walls, PNT, Semi- Gloss, Color: Benjamin Moore Horizon Gray 2141-50	FMG	Level 4 skim on all ceilings, Satin, PNT, Color: Benjamin Moore Distant Gray – 2124-70	TILE	4 x 24, Mosa Quartz Product #: 4104 RQ, Grout: Spectralock Pro, Raven 45	66 sq. ft.
MENS RESTROOM	SEAL CONC, TILE	12 x 24, Mosa Quartz Product #: 4104 RQ, Grout: Spectralock Pro, Raven 45	FMG	Level 4 skim on all walls, PNT, Semi- Gloss, Color: Benjamin Moore Horizon Gray 2141-50	FMG	Level 4 skim on all ceilings, Satin, PNT, Color: Benjamin Moore Distant Gray – 2124-70	TILE	4 x 24, Mosa Quartz Product #: 4104 RQ, Grout: Spectralock Pro, Raven 45	72 sq. ft.
WOMENS RESTROOM	SEAL CONC, TILE	12 x 24, Mosa Quartz Product #: 4104 RQ, Grout: Spectralock Pro, Raven 45	FMG	Level 4 skim on all walls, PNT, Semi- Gloss, Color: Benjamin Moore Horizon Gray 2141-50	FMG	Level 4 skim on all ceilings, Satin, PNT, Color: Benjamin Moore Distant Gray – 2124-70	TILE	4 x 24, Mosa Quartz Product #: 4104 RQ, Grout: Spectralock Pro, Raven 45	109 sq. ft.

FINISH LEGEND	
Key Name	Comments
CONC	Concrete
FMG	Fiberglass Mat Gypsum
N/A	Not Applicable
PNT	Painted
SEAL	Sealed
SND	SOUND MAT
TILE	Tile
WD	Wood

FASTENER SCHEDULE		
CONNECTIONS*	FASTENERS*	NUMBER/SPACING*
WOOD STRUCTURAL PANEL + PART. BOARD SUBFLOOR	SEE NOTE #7	
1 1/2" - 1"	6d COMMON ANNULAR OR SPIRAL THREAD	6' o.c. EDGES AND 12' o.c. INTERMEDIATE
1 1/2" - 2"	8d COMMON OR 6d ANNULAR OR SPIRAL THREAD	6' o.c. EDGES AND 12' o.c. INTERMEDIATE
1" - 1 1/2"	10d COMMON OR 8d ANNULAR OR SPIRAL THREAD	6' o.c. EDGES AND 6' o.c. INTERMEDIATE
1 1/2" - 1"	16ga GALV. WIRE STAPLES 3/8" MIN. CROWN 1 1/2" LENGTH	4' o.c. EDGES AND 7' o.c. INTERMEDIATE
1 1/2" - 1"	16ga GALV. WIRE STAPLES 3/8" MIN. CROWN 1 1/2" LENGTH	2'-0" o.c. EDGES AND 4' INTERMEDIATE
WOOD STRUCTURAL PANEL AND PART. BOARD ROOF + WALL SHEATHING		
1/2" OR LESS	6d COMMON (WALL) 8d COMMON (ROOF)	6' o.c. EDGES AND 12' o.c. INTERMEDIATE
1 1/2" OR GREATER	8d COMMON	6' o.c. EDGES AND 12' o.c. INTERMEDIATE
5/8" - 1"	16ga GALV. WIRE STAPLES 3/8" MIN. CROWN LENGTH OF 1' PLUS THICKNESS	4' o.c. EDGES AND 8' o.c. INTERMEDIATE
1 1/2" - 2"	16ga GALV. WIRE STAPLES 3/8" MIN. CROWN LENGTH OF 1' PLUS THICKNESS	2' o.c. EDGES AND 5' o.c. INTERMEDIATE

FINISH SCHEDULE NOTES
1. REFER TO SPECIFICATIONS FOR FURTHER INFORMATION ON FINISHES.
2. FINISH SCHEDULE STATES INTENDED WALL FINISH FOR EACH OF FOUR WALLS IN EACH ROOM.
3. ALL PLASTER & GYPSUM BOARD CEILINGS SHALL RECEIVE SATIN WHITE PAINT FINISH. REFER TO PAINT SCHEDULE IN SPECIFICATIONS.
4. REFER TO PLANS & ELEVATIONS AND SPECIFICATIONS FOR FINISHES REQUIRED.
6. ALL INTERIOR PAINTING SHALL NOT COMMENCE UNTIL BUILDING IS COMPLETELY DRIED IN, MADE WATERTIGHT AND IS ENVIRONMENTALLY CONTROLLED INCLUDING TEMPERATURE AND HUMIDITY. THIS NOTE SUPERSEDES THE MANUFACTURER'S SPECIFICATIONS.
7. WHEREVER PORCELAIN TILE (PT) FLOORING MEETS A CHANGE IN FLOOR FINISH, PROVIDE A THRESHOLD.
8. WHERE CONC. IS NOTED ON THE FINISH SCHEDULE, PROVIDE A CLEAR PENETRATING SEALER FOR CONCRETE FLOORS, SEE SPECS. SUBMIT MANUF. PRODUCT INFORMATION PRIOR TO APPLICATION.
9. ASSUME ALL PLASTER AND GYPSUM WALLS TO BE NEWLY PAINTED.
10. ASSUME ALL NEW AND EXISTING PAINTED VERTICAL WOOD WALLS TO BE NEWLY PAINTED. MATCH EXISTING PAINT COLOR.
11. STUCCO DAMAGED AND REPAIRED DURING WINDOW RESTORATION TO BE PAINTED TO MATCH EXISTING WALL.
12. PROVIDE BLOCKING AS REQUIRED TO INSTALL ALL FINISHES.

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BID DRAWINGS

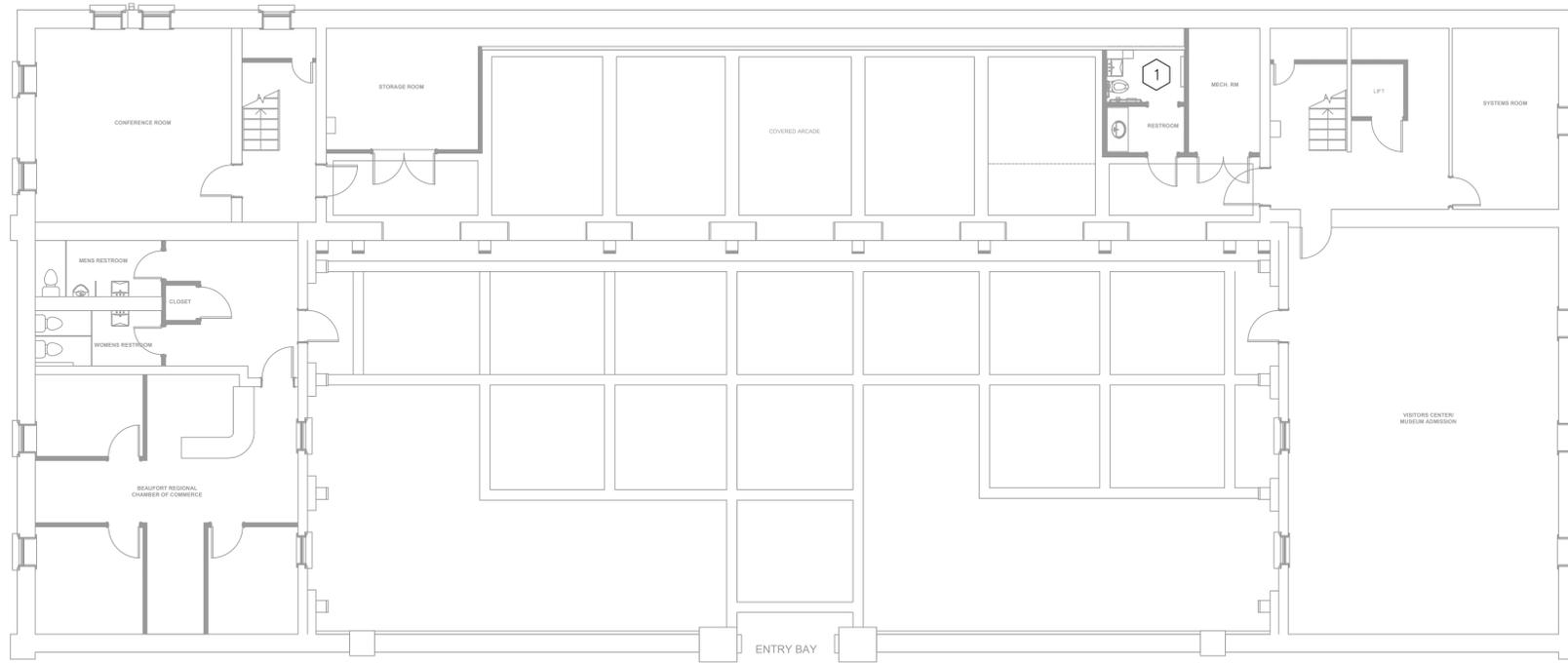
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ISSUE DATE: 12/21/18

REVISIONS		
#	DATE	NOTES

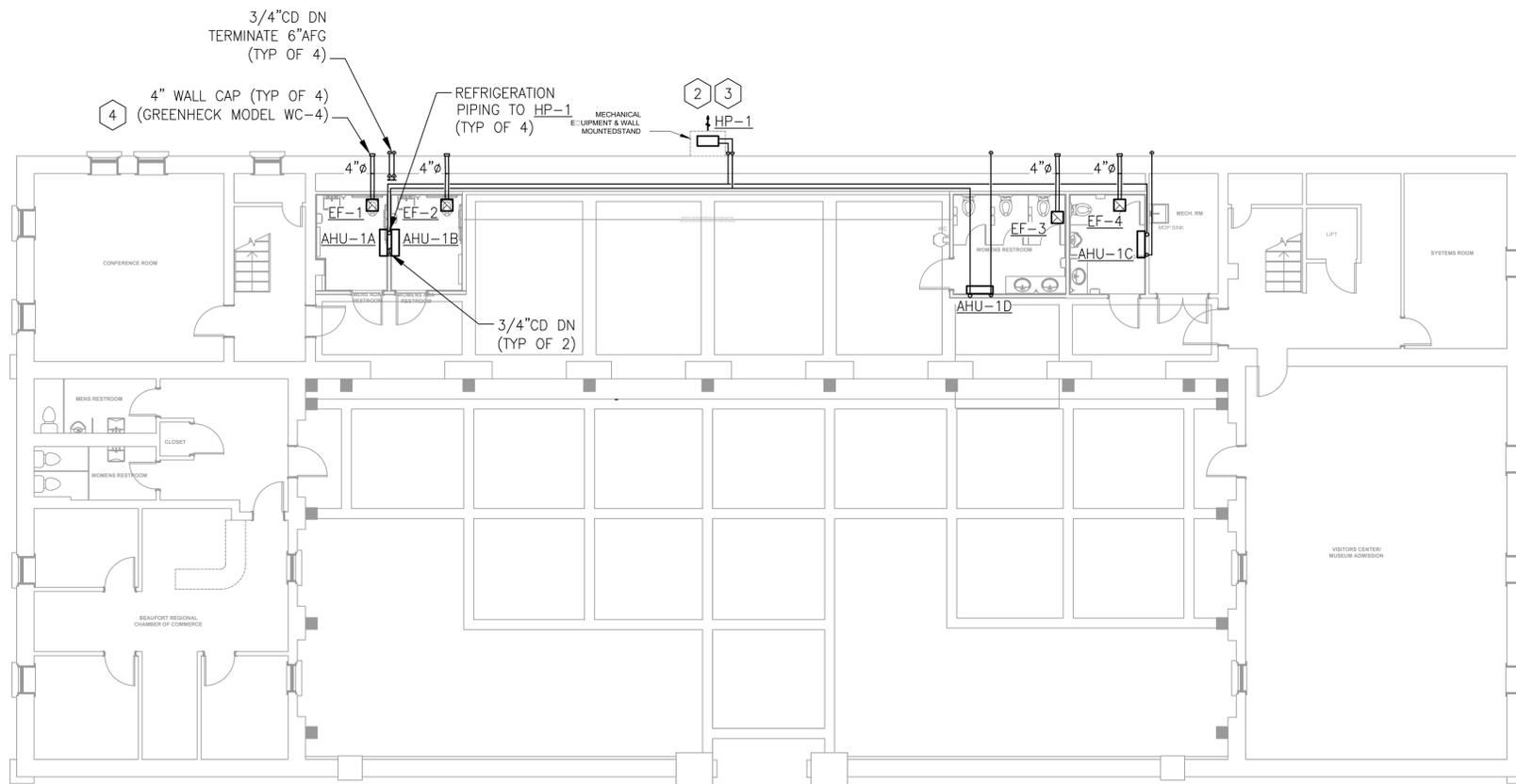
FINISH SCHEDULE  
**A901**

**NOT FOR CONSTRUCTION**





**MECHANICAL DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"



**MECHANICAL PLAN**  
SCALE: 1/8"=1'-0"

**KEYED NOTES:**

- 1 DEMOLITION THE EXISTING CEILING FAN.
- 2 MOUNT HP-1 TO WALL ABOUT 8' AFG. SEE BRACKET DETAIL ON SHEET M5-01. PAINT STEEL BRACKET. SEE ARCHITECTURAL DRAWINGS FOR COLOR AND PAINTING REQUIREMENTS.
- 3 INSTALL REFRIGERANT PIPING IN ACCORDANCE WITH THE MANUFACTURER'S DESIGN REQUIREMENTS.
- 4 FIELD PAINT THE WALL CAPS TO MATCH THE BUILDING COLOR. SEE ARCHITECTURAL DRAWINGS FOR COLOR AND PAINT REQUIREMENTS.

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LLC  
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SOUTH CAROLINA  
PROFESSIONAL ENGINEER  
Gerald R. Ulmer  
No. 18377  
12/19/18  
Gerald R. Ulmer

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0	12/19/18	KLS
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ISSUE FOR CONSTRUCTION

REV.	DATE	REV. BY
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REVISION INFORMATION

PROJ. MANAGER: G. ULMER  
DESIGNED BY: K. STEPHENS  
DRAWN BY: K. STEPHENS  
APPROVED BY: G. ULMER  
SCALE: AS SHOWN  
PROJ. NUMBER: 20180174  
CAD FILE:

DRAWING TITLE:  
**Beaufort Arsenal**  
713 Craven St., Beaufort, SC

MECHANICAL PLAN

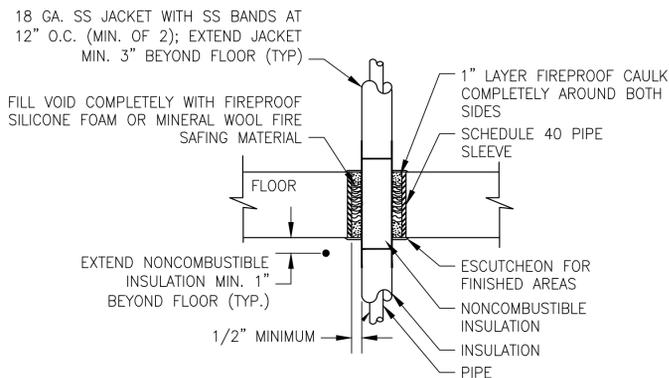
DRAWING NO.:

**M1-01**



**GENERAL NOTES:**

- PROVIDE ALL MATERIALS AND LABOR NECESSARY FOR COMPLETE AND PROPERLY FUNCTIONING PLUMBING SYSTEMS.
- WORK SHALL CONFORM TO OR MEET THE REQUIREMENTS OF THE MOST CURRENT EDITION OF:
  - INTERNATIONAL PLUMBING CODE
  - ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES WHICH APPLY TO THIS WORK.
- DRAWING IS DIAGRAMMATIC IN NATURE AND IS NOT INTENDED TO BE SCALED FOR DIMENSIONS.
- ALL MATERIALS SHALL MEET THE REQUIREMENTS OF UL WHERE UL STANDARDS ARE ESTABLISHED FOR THOSE ITEMS. ALL ITEMS SHALL BE CLASSIFIED BY UL AS SUITABLE FOR THE PURPOSE USED.
- ALL ITEMS SHALL BE NEW AND ALL MATERIALS/EQUIPMENT/DEVICES SHALL BE CURRENT PRODUCTS BY MANUFACTURERS REGULARLY ENGAGED IN THE PRODUCTION OF SUCH PRODUCTS.
- COORDINATE LOCATION OF PLUMBING WORK WITH OTHER TRADES TO AVOID CONFLICTS AND INTERFERENCES.
- INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS.
- COORDINATE AND OBTAIN PERMITS AND INSPECTIONS FROM AUTHORITY HAVING JURISDICTION.
- PROVIDE OWNER WITH CERTIFICATE OF FINAL INSPECTION AND ACCEPTANCE FROM AUTHORITY HAVING JURISDICTION.
- WHERE PIPES PENETRATE FIRE RATED WALLS, FLOORS OR CEILING, SEAL OPENING AROUND PIPES WITH U.L. LISTED FIRE STOPPING MATERIAL TO MAINTAIN THE FIRE RATING OF THE WALL, FLOOR OR CEILING IN ACCORDANCE WITH U.L. LISTED DESIGN FOR 1 HOUR PENETRATIONS. SUBMIT U.L. DESIGN FOR FIRE RATED PENETRATIONS SEALS TO ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO START OF WORK.
- CLEANOUTS, LINE SIZE, UNLESS NOTED OTHERWISE.
- VALVES SHALL BE LINE SIZE UNLESS NOTED OTHERWISE.
- ABOVE GROUND WATER PIPING SHALL BE TYPE L COPPER. UNDERGROUND WATER PIPING SHALL BE TYPE K COPPER.
- WASTE, DRAIN, AND VENT PIPING SHALL BE STANDARD WEIGHT, TYPE 1, PVC. INSTALLED IN ACCORDANCE WITH ASTM D2321. ANY EXPOSED WASTE OR VENT PIPING SHALL BE HUB-LESS CAST IRON. PAINT THE CAST IRON PIPING TO MATCH THE BUILDING COLOR. SEE ARCHITECTURAL DRAWINGS FOR COLOR AND PAINT REQUIREMENTS.
- COLD AND HOT WATER PIPING SHALL BE INSULATED WITH 1" THICK AEROCEL.
- VERIFY ALL EXISTING PIPE SIZES. NOTIFY ENGINEER IF EXISTING AS BUILT PIPE SIZES VARY.
- PROVIDE ALL OPERATION AND MAINTENANCE MANUALS FOR PLUMBING EQUIPMENT TO BUILDING OWNER.



- NOTES:**
- FINAL METHOD OF INSTALLATION SHALL BE A UL RATED FIRESTOP SYSTEM. SEE ARCHITECTURAL DRAWINGS FOR CONSTRUCTION TYPES.
  - THIS DETAIL TYPICAL FOR CHILLED WATER, CONDENSER WATER AND ALL CONDENSATE WATER.

PIPE THROUGH FLOOR  
**1** **DETAIL**  
 PO-01 N.T.S.

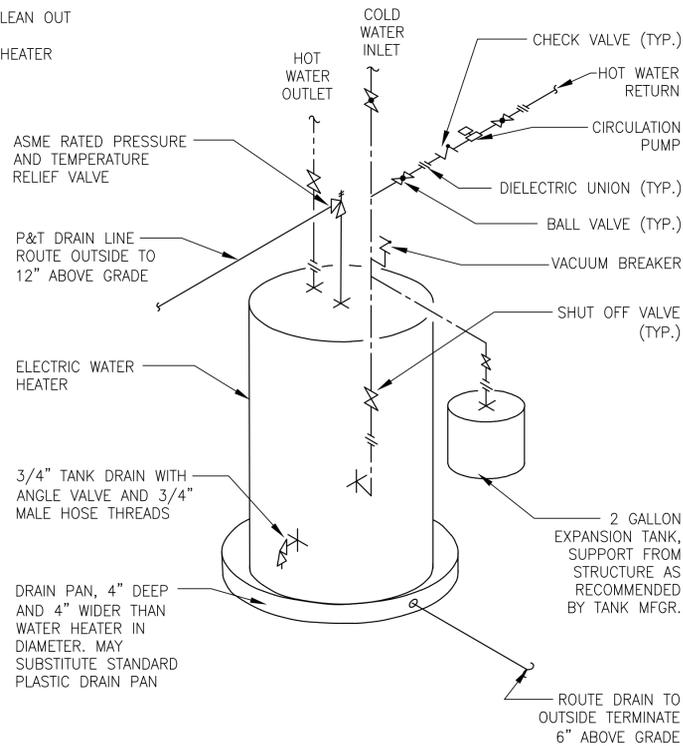
**LEGEND:**

- WASTE (W)
- - - - - VENT (V)
- COLD WATER (CW)
- HOT WATER (HW)
- HOT WATER RETURN (HWR)
- (E) EXISTING
- END CAP
- ⊗ GATE VALVE
- + HOSE BIBB (HB)
- ⊗ P-TRAP
- ⊗ SHUT-OFF VALVE
- ⊗ TIE-IN POINT
- UNION
- ⊗ WATER HAMMER ARRESTOR (LETTER INDICATES P.D.I. RATING)
- AFF ABOVE FINISH FLOOR
- AFG ABOVE FINISH GRADE
- CO CLEAN OUT
- DN DOWN
- FCO FLOOR CLEAN OUT
- FCV FLOW CONTROL VALVE
- FD FLOOR DRAIN
- GCO GRADE CLEAN OUT
- VTR VENT THRU ROOF
- WCO WALL CLEAN OUT
- WH WATER HEATER

**WATER HEATER SCHEDULE**

MARK	WH-(E)	WH-1
STORAGE (GAL)	55	20
RECOVERY (GPH @ ΔT.)	21 @ 90°F	13 @ 80°F
TOTAL KW	9.0	2.5
# OF ELEMENTS	2	1
KW OF EACH ELEMENT	4.5	2.5
ELECTRICAL V/φ/Hz	240/1/60	208/1/60
MANUFACTURER	EXISTING	A.O. SMITH
MODEL NO.	-	DEL-20
NOTES:	-	1,2,3

- NOTES:**
- MOUNT UNIT ABOVE DROP CEILING. PROVIDE SUPPORTS AS REQUIRED.
  - ELECTRIC HEAT ELEMENTS SHALL NOT OPERATE SIMULTANEOUSLY.
  - PROVIDE SEISMIC RESTRAINTS.



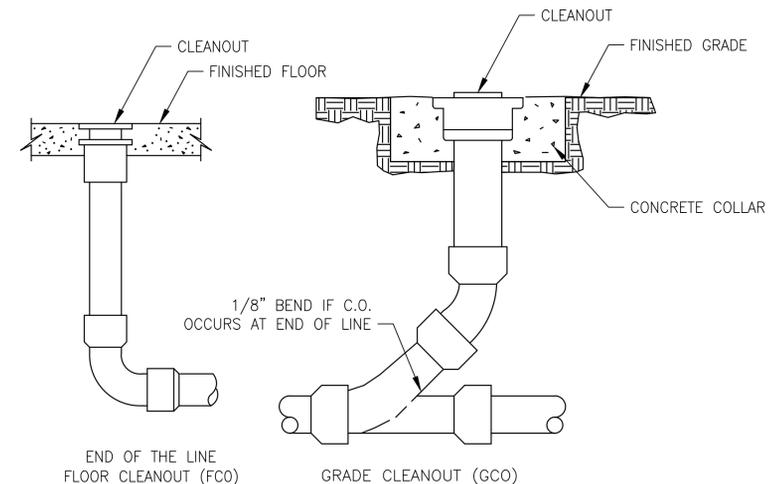
- NOTES:**
- PROVIDE AN INLINE CIRCULATING PUMP WITH FLOW RANGE 0-8 GPM AND HEAD RANGE 0-34 FEET; 115V/1PH/60HZ, BRONZE CONSTRUCTION. (TACO 009 OR APPROVED EQUAL) CONTROL WITH AQUASTAT AND SET TO OPERATE WHEN TEMPERATURE DROPS BELOW 100°F.

ELECTRIC WATER HEATER WITH CIRCULATION PUMP  
**2** **DETAIL**  
 PO-01 N.T.S.

**PLUMBING FIXTURE SCHEDULE**

MARK	DESCRIPTION	CONNECTIONS			
		CW	HW	WASTE	VENT
P-1	WATER CLOSET: TOTO MODEL CT705EN(G); ECOPOWER FLUSH VALVE MODEL TET1LA32#CP; 1.28GPF; FLOOR MOUNTED; ELONGATED FRONT BOWL.	1/2"	-	3"	2"
P-2	WATER CLOSET (ADA): TOTO MODEL CT705ELN(G); ECOPOWER FLUSH VALVE MODEL TET1LA32#CP; 1.28GPF; FLOOR MOUNTED; ELONGATED FRONT BOWL.	1/2"	-	3"	2"
P-3	URINAL: TOTO MODEL UT447EX; ECOPOWER FLUSH VALVE MODEL TEU1LAX12#CP; WALL-MOUNTED ADA COMPLIANT; PROVIDE WALL HANGER.	3/4"	-	2"	2"
P-4	COUNTERTOP SINK: TOTO MODEL LT401; VITREOUS CHINA; MOUNTING ASSEMBLY INCLUDED; PROVIDE GRID DRAIN MODEL THP5067#CP; SELF-RIMMING; SLOAN FAUCET MODEL SF-2350; ADA COMPLIANT.	1/2"	1/2"	1-1/2"	2"
P-5	WALL-MOUNT SINK: TOTO MODEL LT307; VITREOUS CHINA; MOUNTING ASSEMBLY INCLUDED; PROVIDE GRID DRAIN MODEL THP5067#CP; SLOAN FAUCET MODEL SF-2350; ADA COMPLIANT.	1/2"	1/2"	1-1/2"	1-1/4"
P-6	MOP/JANITORS SINK: FIAT MODEL FL-1; 21.5"W x 23"L x 13"D x 33.5"H; FLOOR MOUNTED TUB WITH WHITE BAKED ENAMEL ANGLE LEGS; PROVIDE FIAT MODEL A-1 DECK TYPE FAUCET. SEE NOTE 3.	1/2"	1/2"	2"	2"
FCO	FLOOR CLEANOUT: ZURN MODEL ZN1400; "LEVEL-TROL" ADJUSTABLE; CAST IRON.	-	-	4"	-
WF	WATER FOUNTAIN: (ADA) WALL-MOUNTED FOUNTAIN AND BOTTLE FILLER; HAWS MODEL 1001/BP15/1920/BP6/6700; DRINKING FOUNTAIN WITH SS BACK PANEL, BOTTLE FILLER WITH SS BACK PLATE, AND FOUNTAIN MOUNTING PLATE.	1/2"	-	1-1/2"	1-1/4"

- NOTES:**
- PROVIDE "TRUEBRO" INC, HANDI-LAV GUARD INSULATION KITS FOR ADA COMPLIANCE.
  - PROVIDE 17 GAUGE TUBULAR BRASS P-TRAP AND OFFSET TAIL PIECE, ANGLED STOP VALVES WITH RIGID TUBE RISERS AND ESCUTCHEONS.
  - PROVIDE 17 GAUGE TUBULAR BRASS P-TRAP, TAILPIECE, ANGLED STOP VALVES WITH RIGID TUBE RISERS AND ESCUTCHEONS.
  - PROVIDE ANGLED STOP VALVE AND RIGID TUBE RISER.
  - PROVIDE MODEL SPECIFIED OR APPROVED EQUAL.



FLOOR & GRADE CLEANOUTS  
**3** **DETAIL**  
 PO-01 N.T.S.

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 12/19/18  
 GERALD R. ULMER

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**MEADORS**  
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 Charleston, SC 29405

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ISSUE FOR CONSTRUCTION

REV.	DATE	REV. BY

REVISION INFORMATION  
 PROJ. MANAGER: G. ULMER  
 DESIGNED BY: K.STEPHENS  
 DRAWN BY: K.STEPHENS  
 APPROVED BY: G. ULMER  
 SCALE: AS SHOWN  
 PROJ. NUMBER: 20180174  
 CAD FILE:

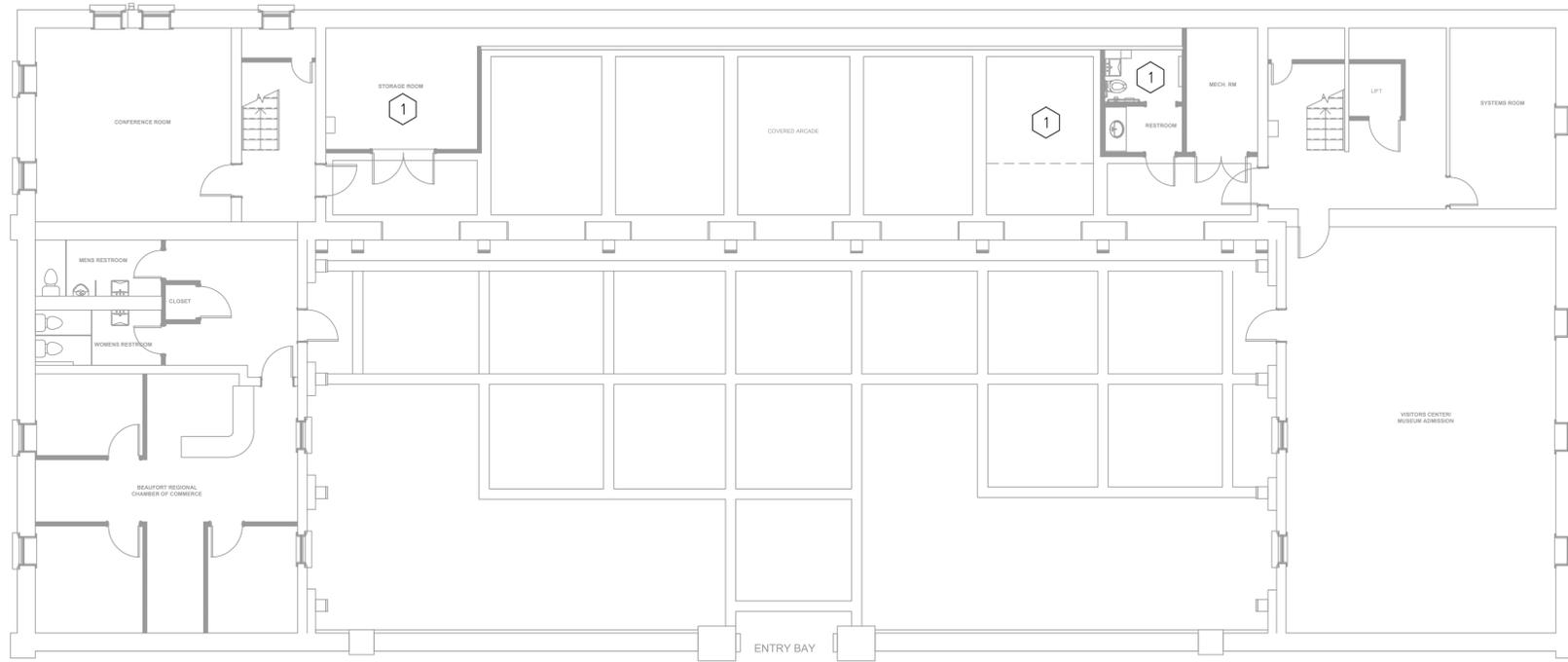
DRAWING TITLE:  
**Beaufort Arsenal**  
**713 Craven St., Beaufort, SC**  
**PLUMBING NOTES, LEGEND, DETAILS, & SCHEDULES**

DRAWING NO.:  
**P0-01**

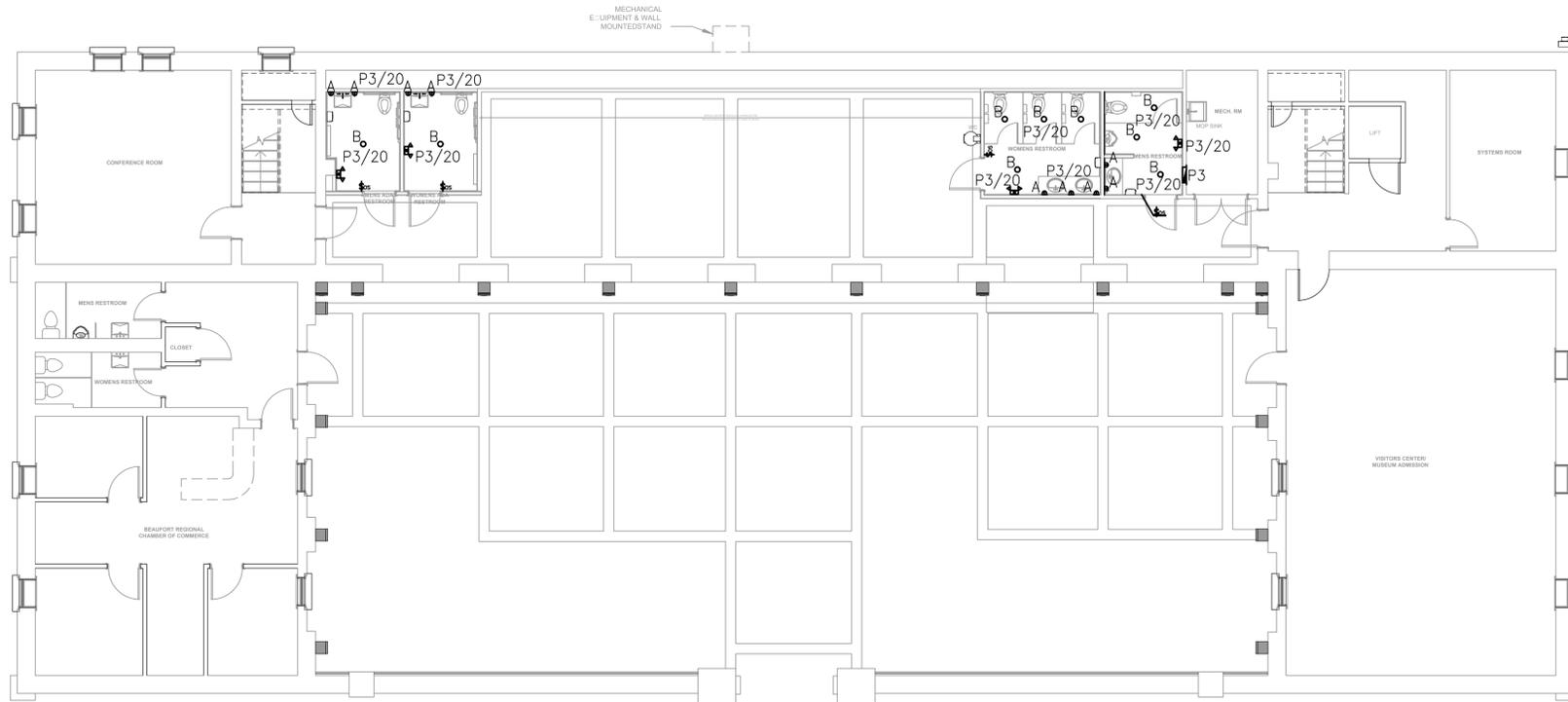








**LIGHTING DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"



**LIGHTING PLAN**  
SCALE: 1/8"=1'-0"

**GENERAL NOTES:**

1. REFER TO DRAWING E0-01 FOR ELECTRICAL NOTES, LEGENDS & ABBREVIATIONS.

**KEYED NOTES:**

1 CONTRACTOR SHALL DEMOLISH EXISTING LIGHTS, CONDUIT AND FEEDERS FROM FIXTURES BACK TO POWER PANEL.

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12/19/18  
ROBERT N. BAIRD

CLIENT:

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0 12/19/18 DAG

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REV. DATE REV. BY

REVISION INFORMATION

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DRAWN BY: D. GRANGER  
APPROVED BY: N. BAIRD  
SCALE: AS SHOWN  
PROJ. NUMBER: 20180174  
CAD FILE: 20180174E1-01.dwg

DRAWING TITLE:  
**Beaufort Arsenal**  
713 Craven St., Beaufort, SC

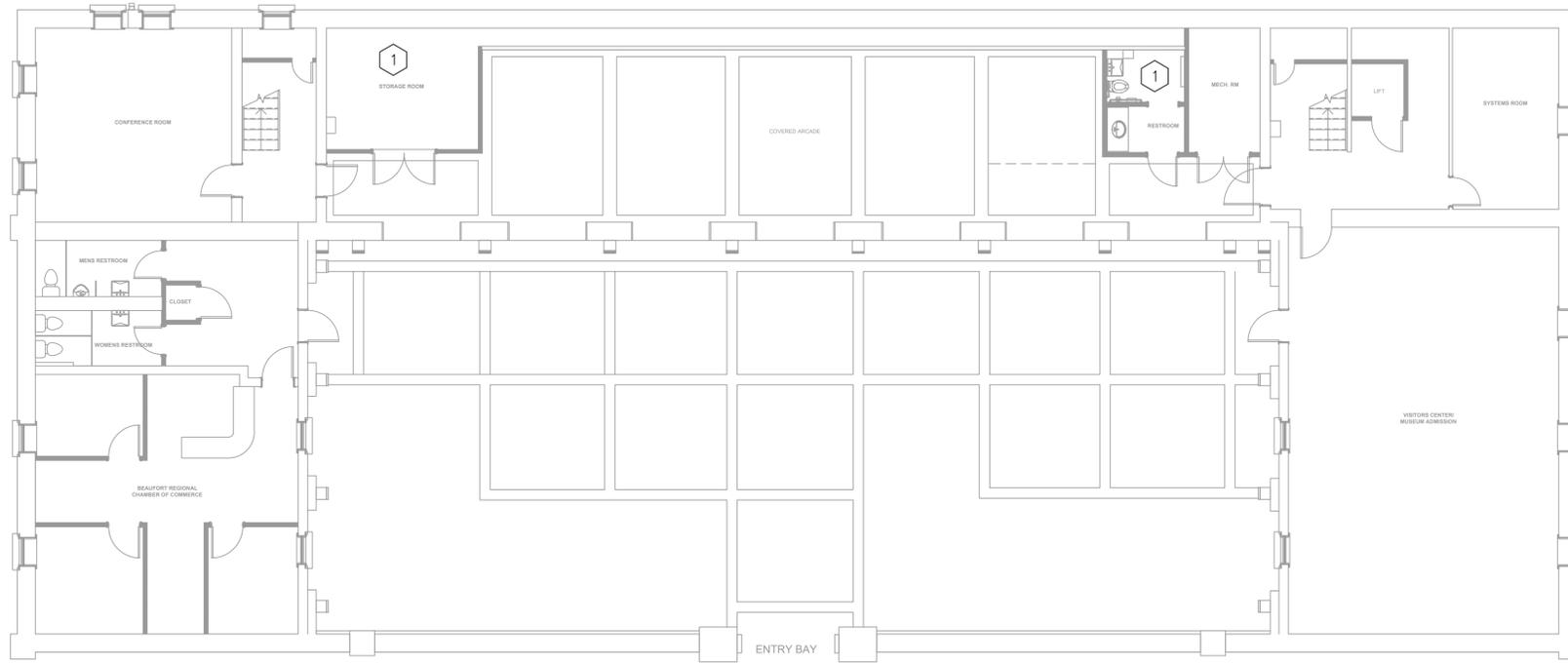
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LIGHTING PLAN**

DRAWING NO.:

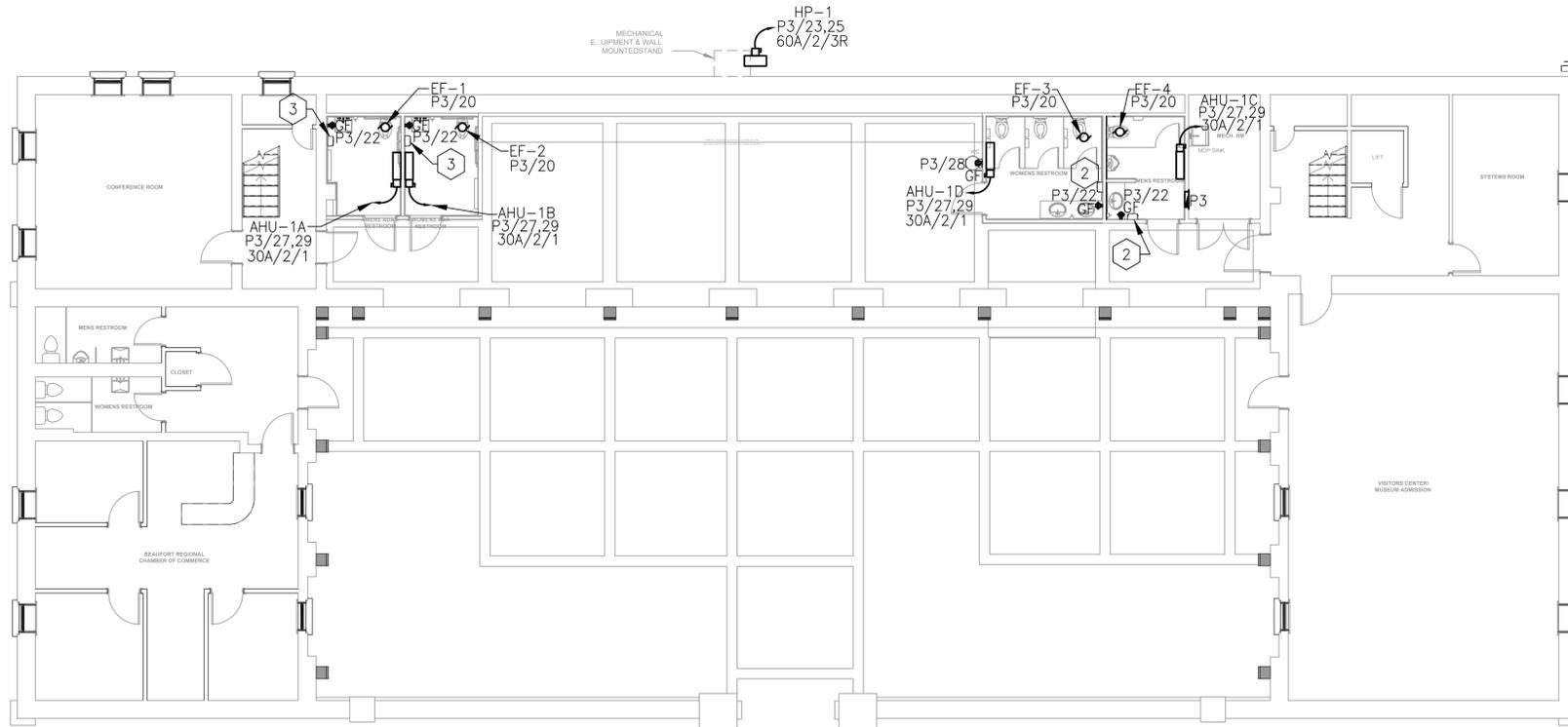
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LAST UPDATE: 12/19/2018 9:57 AM  
PLOTTED: 12/19/2018 11:28 AM  
PATH: F:\Meadors Conservation Architecture\20180174 - Historic Arsenal in Beaufort\Drawings\Electrical

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**POWER DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"



**POWER PLAN**  
SCALE: 1/8"=1'-0"

**GENERAL NOTES:**

1. REFER TO DRAWING E0-01 FOR ELECTRICAL NOTES, LEGENDS & ABBREVIATIONS.
2. CONTRACTOR SHALL SWITCH RESTROOM LIGHTS AND EXHAUST FANS TOGETHER.

**KEYED NOTES:**

1. CONTRACTOR SHALL DEMOLISH EXISTING EXHAUST FANS AND RECEPTACLES, CONDUIT AND FEEDERS FROM DEVICE BACK TO EXISTING POWER PANEL.
2. CONTRACTOR SHALL INSTALL NEW HAND DRYERS IN BATHROOMS AND ROUTE FEEDERS FROM EXISTING POWER PANEL "P3" CIRCUIT #24.
3. CONTRACTOR SHALL INSTALL NEW HAND DRYERS IN BATHROOMS AND ROUTE FEEDERS FROM EXISTING POWER PANEL "P3" CIRCUIT #26.

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CLIENT:  
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ISSUED FOR CONSTRUCTION

REV.	DATE	REV. BY

REVISION INFORMATION

PROJ. MANAGER:	G. ULMER
DESIGNED BY:	D. GRANGER
DRAWN BY:	D. GRANGER
APPROVED BY:	N. BAIRD
SCALE:	AS SHOWN
PROJ. NUMBER:	20180174
CAD FILE:	20180174E1-02.dwg

DRAWING TITLE:  
**Beaufort Arsenal**  
713 Craven St., Beaufort, SC

**ELECTRICAL  
POWER PLAN**

DRAWING NO.:  
**E1-02**

FILE NAME: 20180174e1-02.dwg  
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