RFP 2019-105 ARSENAL WINDOW RESTORATION & RESTROOM RENOVATION

CONTACTS

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PROJECT DATA

1. General Information

Address: Beaufort Arsenal/Beaufort History Museum

713 Craven Street Beaufort, SC 29902

Property ID: R120 004 000 819A 0000

Flood Zone:

Flood Insurance Map Panel #450026 0005D

Site Area: 9,212 SF (.212 Acres)

PROJECT DESCRIPTION

The Beaufort Arsenal is an iconic local historic site and a major contributing structure in the City of Beaufort's National Historic Landmark District. The scope of work for this project includes: window restoration, renovation of one (1) existing restroom, and construction of three (3) new restrooms.

DRAWING LIST

A00 COVER/TITLE SHEET
A01 NOTES & SPECIFICATIONS
A02 EXISTING CONDITIONS
D101 1ST FLR DEMOLITION PLAN
A101 1ST FLOOR PROPOSED PLAN
A201 BUILDING ELEVATIONS
A202 BUILDING ELEVATIONS
A301 BUILDING & WALL SECTIONS
A601 WINDOW & DOOR SCHEDULES
A801 INTERIOR ELEVATIONS
A802 INTERIOR ELEVATIONS
A803 INTERIOR ELEVATIONS
A804 INTERIOR ELEVATIONS

FINISH SCHEDULE

M0-01 MECHANICAL NOTES, LEGENDS, & SCHEDULES

M1-01 MECHANICAL PLAN

M5-01 MECHANICAL DETAILS

P0-01 PLUMBING NOTES, LEGEND, DETAILS, & SCHEDULES

SCHEDULES

P1-01 PLUMBING SANITARY SEWER PLAN

P1-02 PLUMBING DOMESTIC WATER PLAN

E0-01 ELECTRICAL NOTES, LEGEND, &

ABBREVIATIONS

E1-01 ELECTRICAL LIGHTING PLAN

E1-02 ELECTRICAL POWER PLAN
E6-01 ELECTRICAL DETAILS, SINGLE LINE

DIAGRAM, & SCHEDULES

FP0-01 FIRE PROTECTION NOTES, DESIGN DATA, SCHEDULES, & DETAILS

FP1-01 FIRE PROTECTION PLAN

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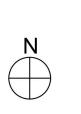
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PROJ. 18-0125
ISSUE DATE: 12/21/18

REVISIONS

DATE NOTES

COVER/TITLE SHEET

A00

THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS. SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT

THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUB-CONTRACTORS.

SCOPE OF WORK. THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, TAXES, PERMITS, AND FEES AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT

BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

IF THE CONTRACT DRAWINGS AND SPECS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK

THE ARCHITECT SHALL HAVE UNRESTRICTED ACCESS TO THE SITE DURING CONSTRUCTION OF THE PROJECT. IF A CONDITION EXISTS, THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ANY OF THE ARCHITECT'S CONSULTANTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING

CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN

THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY ARE THE CONTRACTOR'S RESPONSIBILITY.

CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AS OUTLINED IN THE CONTRACT DRAWINGS AND SPECIFICATIONS, AND ALL SAFETY PROCEDURES AND FOR COORDINATION OF ALL PORTIONS OF THE WORK.

INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW AND GENERAL LIABILITY SHALL BE CARRIED BY THE CONTRACTOR, NAMING THE OWNER AND ARCHITECTS AS ADDITIONALLY INSURED.

12. GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE, UNLESS NOTED OTHERWISE IN THE DRAWINGS AND SPECIFICATIONS THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS, FOR LOSSES AND DAMAGES TO EQUIPMENT. TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES AND SUBCONTRACTORS.

14. CLEANING UP: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND. AT THE COMPLETION OF THE WORK, SHALL REMOVE ALL RUBBISH. IMPLEMENTS, AND SURPLUS MATERIALS, AND LEAVE THE PROJECT CLEAN AND IN SAFE CONDITION.

15. CONTRACTOR TO PROVIDE THE OWNER WITH A LIST OF ALL SUBCONTRACTORS USED. COMPLETE WITH ADDRESSES. PHONE NUMBERS AND COPIES OF ALL WARRANTIES AND OPERATIONS AND MAINTENANCE MANUALS ASSOCIATED WITH ANY COMPONENT INCLUDED AS PART OF THE SCOPE OF WORK.

16. CONTRACTOR SHALL KEEP A RECORD SET OF DRAWINGS ON SITE AND NOTE DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS AND DOCUMENT SPECIAL CONDITIONS THAT ARE EXPOSED. CONTRACTOR SHALL TURN THE RECORD SET OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT.

17. NO OPEN FLAME DEVICES ARE ALLOWED WITHIN THE BUILDING OR ON COMPONENTS STILL ATTACHED TO THE BUILDING, THIS INCLUDES, BUT IS NOT LIMITED TO, TORCHES, WELDERS OR CIGARETTES,

18. DO NOT SCALE OFF DRAWINGS.

19. THESE DOCUMENTS ARE THE COPYRIGHTED PROPERTY AND INTELLECTUAL PROPERTY OF MEADORS INC THE DOCUMENTS ARE NOT TO BE REPRODUCED OR UTILIZED FOR ANY PURPOSE OTHER THAN ORIGINALLY INTENDED AS STIPULATED ON THE COVER SHEET AND TITLEBLOCK. USE OF THE DOCUMENTS FOR ANY PURPOSE, SPECIFICALLY STIPULATED OR NOT, SHALL BE GRANTED ONLY VIA AUTHORIZED WRITING BY MEADORS INC.

20. NONE OF THE DOCUMENTS INCLUDED IN DRAWING INDEX ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. ALL PARTIES/ENTITIES UTILIZING THESE DOCUMENTS FOR BIDDING, QUANTITY SURVEY, AND/OR CONSTRUCTION SHALL CONSULT THE GENERAL NOTES AND INFORMATION LOCATED ON THIS SHEET AND ALL SHEETS FOR INFORMATION AND CONDITIONS GOVERNING WORK DESCRIBED IN DOCUMENTS LISTED IN THE DRAWING INDEX BEFORE PROCEEDING WITH PROCUREMENT AND/OR CONSTRUCTION. GENERAL INFORMATION AND DATA SHEET(S) PROVIDE CODE PROCEDURAL AND USE GUIDELINES GOVERNING ALL BID AND/OR CONSTRUCTION DOCUMENTS. ALL BIDDERS, SUB-BIDDERS, CONTRACTORS, AND SUB-CONTRACTORS SHALL UTILIZE COMPLETE SETS OF THE BIDDING AND/OR CONSTRUCTION DOCUMENTS IN QUANTIFYING AND CONSTRUCTING. NEITHER THE OWNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS, OMISSIONS, OR MISINTERPRETATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF BIDDING AND/OR CONSTRUCTION DOCUMENTS.

21. ALL CONSTRUCTION, MATERIALS, AND INSTALLATIONS SHALL CONFORM TO THE CURRENT CODES NOTED ON THE COVER SHEET OF THESE DRAWINGS AS WELL AS APPLICABLE STATE AND LOCAL CODES, TRADE ASSOCIATION STANDARDS AND/OR MANUFACTURER'S STANDARDS AS ADOPTED BY THE APPLICABLE LOCAL JURISDICTION HAVING AUTHORITY.

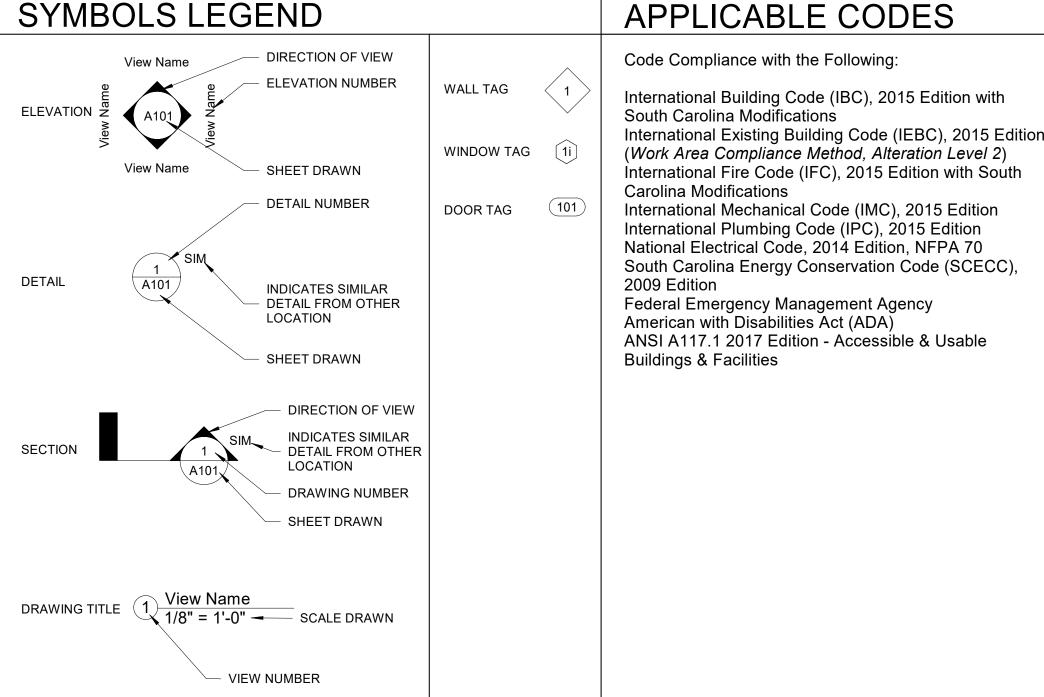
22. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.

23. COORDINATE AREAS FOR LAYDOWN, STORAGE AND PARKING WITH ARCHITECT AND OWNER PRIOR TO BEGINNING THE WORK.

24. FLOOR ELEVATIONS BASED ON SITE MEASUREMENTS W/ ELEVATION 0'-0" AT FIRST FLOOR. VERIFY DIMENSIONS PRIOR TO PERFORMING WORK.

25. PROVIDE ADEQUATE BLOCKING FOR ALL NEW SHELVING, BRACKETS, GRAB BARS, HANDRAILS, CABINETS, BATH ACCESSORIES, ETC.

SYMBOLS LEGEND



GENERAL SPECIFICATIONS

THIS DRAWING SET IS TO BE PAIRED WITH PROVIDED OUTLINE SPECIFICATIONS DOCUMENT. NEITHER THE DRAWINGS OR THE OUTLINE SPECIFICATIONS DOCUMENT ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. BOTH THE DRAWINGS AND THE OUTLINE SPECIFICATIONS DOCUMENTS ARE TO BE CONSIDERED IN THE SCOPE OF WORK FOR THIS PROJECT

ADDITIONAL NOTES

*** Contractor is responsible to verify all dimensions and relevant bidding criteria.

GENERAL DEMOLITION NOTES

A. PLANS ARE GENERAL AND DIAGRAMMATIC IN NATURE. THE PLANS ARE NOT INTENDED TO REPRESENT THE TOTAL SCOPE OF WORK. THESE PLANS DO NOT SHOW EACH ITEM THAT IS REQUIRED TO BE REMOVED. EACH CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL CONDITIONS AS THEY EXIST IN THE FIELD THROUGH SITE INSPECTION AND REVIEW OF THESE DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND COORDINATE THE REMOVAL AND DEMOLITION WORK AS REQUIRED TO ACHIEVE THE FINAL PRODUCT AS INDICATED IN THESE DOCUMENTS.

B. REMOVE, CLEAN, PATCH/REPAIR EXISTING SURFACES/FINISHES AS NECESSARY FOR THE INSTALLATION OF NEWLY SCHEDULED FINISHES. REFER TO KEYED REPAIR PLAN FOR LIMITED SCOPE

THE OWNER AND HIS DESIGNATED REPRESENTATIVES HAVE FIRST RIGHT OR REFUSAL REGARDING SALVAGEABLE ITEMS. CONTRACTOR SHALL COORDINATE WITH OWNER.

EXISTING STRUCTURAL SYSTEM SHALL NOT BE REMOVED OR MODIFIED UNLESS APPROVED IN ADVANCE BY THE

ARCHITECT AND/OR ENGINEER. E. REMOVE EXISTING ITEMS AS REQUIRED FOR REUSE IN THE NEW PLAN OR NEW FINISH. CATALOG AND STORE ITEMS IN A SAFE STORAGE AREA SUBJECT TO THE OWNER'S APPROVAL UNTIL THE TIME OF REINSTALLATION. LOST ITEMS

SHALL BE REPLACED WITH COMPARABLE NEW ITEM AT NO COST TO THE OWNER. DURING THE COURSE OF DEMOLITION, IF ITEMS OR AREAS OF HISTORIC SIGNIFICANCE ARE DISCOVERED. CONTRACTOR SHALL CEASE WORK ON ITEM OR AREA OF INTEREST AND IMMEDIATELY NOTIFY OWNER'S

REPRESENTATIVE AND ARCHITECT SALVAGED MATERIAL: DOCUMENT ITEMS TO BE SALVAGED BEFORE PERFORMING ANY WORK. ITEMS TO BE MARKED WITH A REMOVABLE LABEL DESIGNATING ORIGINAL LOCATION AND STORED IN AN AREA TO PROTECT THEM FROM

DAMAGE OR THEFT. EACH EXISTING HISTORICAL COMPONENT MAY VARY SLIGHTLY IN SIZE, SHAPE, AND DETAIL. VERIFY EACH

COMPONENT IN THE FIELD PRIOR TO PERFORMING WORK IN THAT AREA. ANY ITEMS NOT SHOWN TO BE DEMOLISHED THAT ARE DAMAGED SHALL BE REPAIRED BY THE CONTRACTOR AT HIS

OWN EXPENSE.

ANY ITEMS NOT TO BE RETAINED BY THE OWNER SHALL BE DISPOSED OF BY THE CONTRACTOR PER APPROPRIATE REGULATIONS. DRAWINGS ARE BASED ON UNKNOWN CONDITIONS BELOW GRADE AND WITHIN WALL AND FLOOR ASSEMBLIES. FIELD

VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK AND NOTIFY ARCHITECT IN WRITING OF ANY

DISCREPANCIES BEFORE PROCEEDING WITH THE WORK COORDINATE LOCATION OF CONSTRUCTION BARRICADES AND DUMPSTER WITH OWNER. DUMPSTER SHALL HAVE A

COVER TO AVOID WIND-BLOWN DEBRIS ONTO THE SITE.

PROVIDE DUST & CONSTRUCTION DEBRIS CONTROL & CONTAINMENT IN AREAS WHERE WORK IS BEING PERFORMED. CLEAN AND RETURN EACH SPACE TO PRE-DEMOLITION CONDITION READY FOR USE BY OWNER PRIOR TO Ο. PROCEEDING TO NEXT WORK AREA

P. AVOID DAMAGE TO INTERIOR FINISHES DURING THE COURSE OF WORK. IF NECESSARY, A UTILITY KNIFE SHOULD BE USED TO CAREFULLY SEPARATE ELEMENTS TO BE DEMOLISHED FROM THOSE TO REMAIN. SPECIAL CARE SHOULD BE TAKEN TO PRESERVE ORIGINAL PLASTER FINISHES.

NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK IF MATERIALS ARE EXPOSED THAT ARE DAMAGED AND WERE NOT SCHEDULED FOR REPLACEMENT.

SALVAGE, CATALOGUE, AND STORE FOR REINSTALLING, HISTORIC BUILDING ELEMENTS THAT ARE REMOVED DURING DEMOLITION. GC SHALL KEEP A TRACKING LOG OF ALL HISTORIC BUILDING ELEMENTS THAT ARE SALVAGED AND REMOVED FROM

THE BUILDING; LOG SHALL STATE ORIGINAL LOCATION, WHEN REMOVED & BY WHOM, WHERE TAKEN, AND WHEN RETURNED. GC SHALL UPDATE LOG REGULARLY AND PRESENT TO OWNER & ARCHITECT AS REQUIRED. PROVIDE SIGNAGE FOR ACCESS TO BUILDING & MAINTAIN EMERGENCY EGRESS THROUGHOUT CONSTRUCTION

REMOVE ALL FASTENERS, BRACKETS, CONDUITS, WIRES, ETC. THAT ARE NOT IN USE (TYP.) U. CATALOG, REMOVE, AND PROPERLY STORE ANY/ALL EQUIPMENT AS REQUIRED TO MAKE NECESSARY CHANGES. ABBREVIATIONS LEGEND

KILN DRIED AFTER TREATMENT ΑT **ACOUS** ACOUSTICAL LIGHT WEIGHT ACOUSTICAL CEILING TILE LONG LEG HORIZONTAL LLH AMERICANS WITH DISABILITY ACT LLV LONG LEG VERTICAL AFF ABOVE FINISHED FLOOR **LOW POINT** ALT LAMINATED VENEER LUMBER **ALTERNATE** LVL ALUM ALUMINUM APPROXIMATE APPROX MATERIAL MAXIMUM **ARCH ARCHITECTURAL** MAX **MECH MECHANICAL BLDG** MANUFACTURER **BUILDING BLKG BLOCKING** MIN MINIMUM **MISCELLANEOUS** BMBEAM B.O. **BOTTOM OF** MO MASONRY OPENING MTL METAL CATALOGUE CJ **CONTROL JOINT** NOT IN CONTRACT CL NOM CENTERLINE NOMINAL CLG CEILING NON-COMBUSTIBLE NON-COM CMU CONCRETE MASONRY UNIT NOT TO SCALE COL COLUMN CONC CONCRETE ON CENTER CONN CONNECTION OPNG **OPENING** CONS₁ CONSTRUCTION OPP **OPPOSITE** CONT CONTINUOUS OWNER FURNISHED - CONTRACTOR **INSTALLED** DET / DT DETAIL OWNER FURNISHED - OWNER INSTALLED DIAG DIAGONAL DIA **PLUMBING** DIAMETER PLUMB DIM DIMENSION PAIR DN PRE-FABRICATED DOWN PRE-FAB DR DOOR **PAVER TILE** DS **DOWNSPOUT** PRESSURE-TREATED DWGS DRAWINGS POLY VAPOR BARRIER EΑ EACH RADIUS **EXPANSION JOINT** EJ **ROOF DRAIN** RD REF **ELEV ELEVATION** REFERENCE EOS **EMERGENCY OVERFLOW SCUPPER** REINFORCING EQ **EQUAL** REQUIRED **EQUIP EQUIPMENT REV REVISION** EX./EXIS **EXISTING** RO **ROUGH OPENING** EXT **EXTERIOR** SCHED **SCHEDULE FACP** FIRE ALARM CONTROL PANEL SECURE / SECURITY FD **FLOOR DRAIN** SECT SECTION FDN SIM **FOUNDATION** SIMILAR SOG FΕ FIRE EXTINGUISHER **SLAB ON GRADE**

FEC FIRE EXTINGUISHER & CABINET **SPECS SPECIFICATIONS** FFE FURNITURE, FIXTURES, & EQUIPMENT SQ SQUARE FIG SQ FT SQUARE FEET **FIGURE** FIN **FINISH** STD STANDARD FLR **FLOOR** STEEL FIBERGLASS REINFORCED PLASTIC STRUCTURE / STRUCTURAL FTG FOOTING SYMMETRICAL GALVANIZED **TEMPORARY** GΑ **GAUGE OR GAGE** THK'NS **THICKNESS** GYP BD GYPSUM BOARD TOP OF T.O. **GIRDER** TRTD **TREATED** GRD BM **GRADE BEAM** T.T.W. TO THE WEATHER TYP TYPICAL **HANDICAPPED** HOSE BIB UNO **UNLESS NOTED OTHERWISE** НМ **HOLLOW METAL** HORIZ

HORIZONTAL VINYL COMPOSITION TILE **HIGH POINT VERT VERTICAL** HEIGHT VIF VERIFY IN FIELD HVAC HEATING, VENTILATION, & AIR VL VINYL CONDITIONING WITH

INSUL INSULATION WITHOUT INTR INTERIOR WATERPROOFING INV INVERT WS WATER STOP WEIGHT

FRAMING CONNECTIONS

JOINT

HT

STRUCTURAL FRAMING SHALL BE #2 SOUTHERN YELLOW PINE WITH MINIMUM VALUES:

A. Fb = 1.200 PSIFt = 650 PSI

E = 1.600.000 PSIFv = 90 PSI

Fc parallel = 1550 PSI

Fc perpindicular = 565 PSI

INSTALL ALL FRAMING CONNECTORS, TIES, AND STRAPS PER MANUFACTURER'S SPECIFICATIONS. CONNECTORS EXPOSED TO WEATHER SHALL HAVE Z-MAX GALVANIZED FINISH OR EQUAL.

INSTALL ALL TIES AND STRAPS PER MANUFACTURER'S SPECIFICATIONS.

PROVIDE SIMPSON JOIST HANGERS OR EQUAL AT ALL FLOOR JOISTS. BEAM CONNECTIONS & GIRDERS

PROVIDE SIMPSON CS16 OR EQUAL AT RAFTER TO RIDGE BOARD CONNECTION.

PROVIDE SIMPSON HOLD DOWN TIES OR EQUAL AT THE FOLLOWING LOCATIONS: A. FIRST FLOOR, INSTALL SIMPSON HDU5-SDS2.5 PER FIRST FLOOR FRAMING

5/8" STRONG TIE ROD SYSTEM OR EQUAL MAY REPLACE HOLD DOWN STRAPPING.

INSTALL H2.5A SIMPSON TIE OR EQUAL AT ALL RAFTER TO WALL CONNECTIONS AND AT GABLE ROOFS

AT CEILING JOIST TO TOP PLATE - INSTALL (3) 8d GALV. NAILS

AT RAFTER TO CEILING JOISTS - INSTALL (3) 10d GALV. NAILS

RAFTER TO RIDGE BEAM - INSTALL (4) - 16d GALV. NAILS DOUBLE TOP PLATES - 10d GALV. NAILS AT 24" O.C.

DOUBLE TOP PLATE - MIN. 48" OFFSET OF END JOINTS (8) 16d GALV. NAILS AT LAPPED AREA

14. TOP PLATE AND SOLE PLATE TO STUD - INSTALL (2) 16d GALV. NAILS

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ISSUE DATE: 12/21/18 REVISIONS

DATE NOTES

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NOTES & SPECIFICATIONS







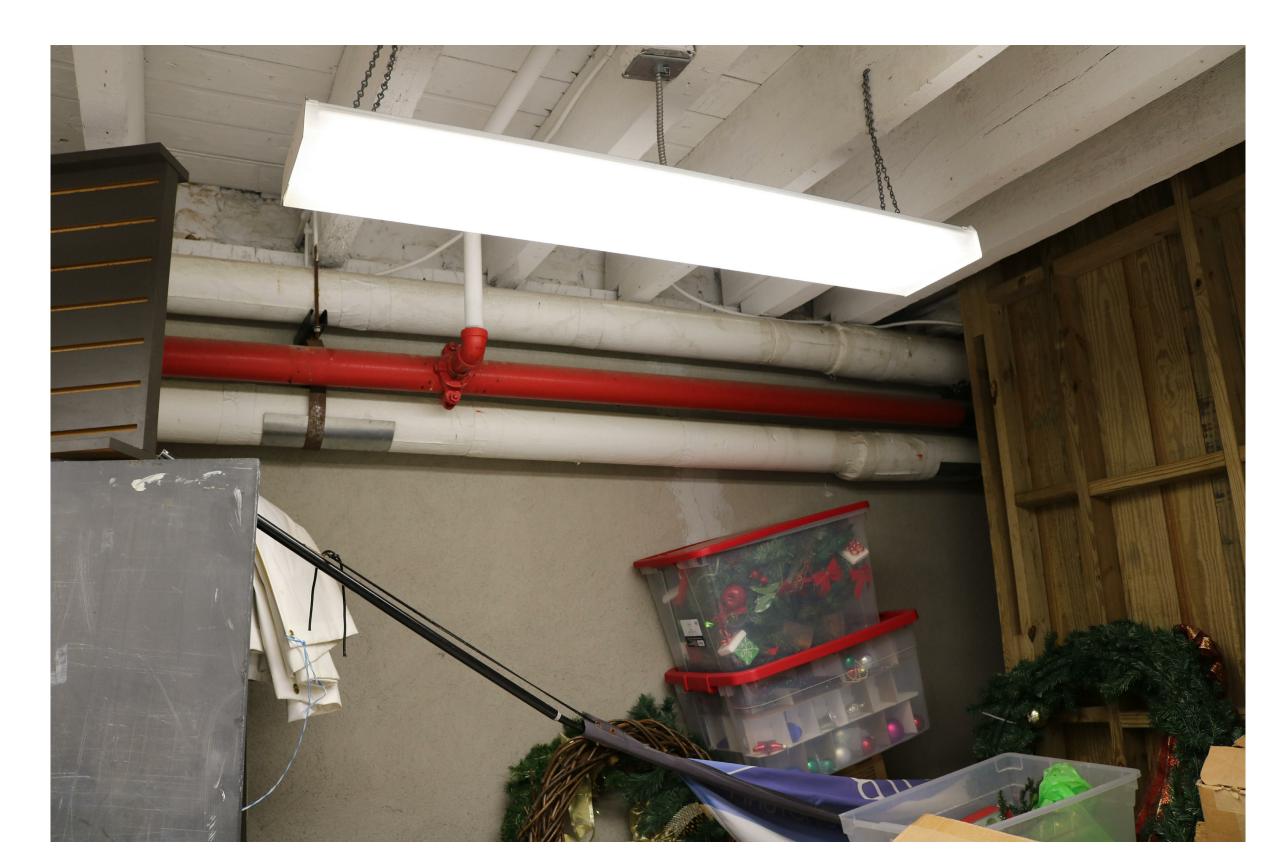
EXISTING CONDITIONS- EXTERIOR OF ADA RESTROOM NOT TO SCALE



EXISTING CONDITIONS- INTERIOR OF ADA RESTROOM NOT TO SCALE



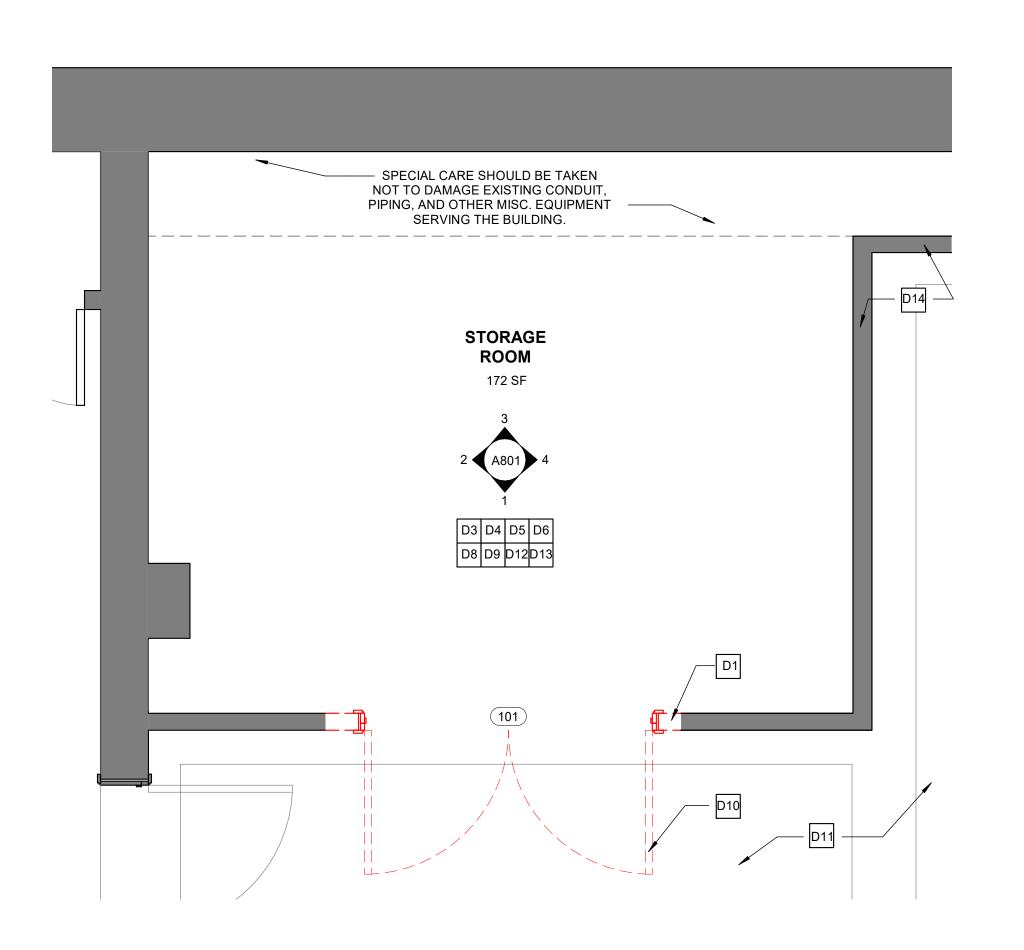
EXISTING CONDITIONS- EXTERIOR OF STORAGE ROOM NOT TO SCALE



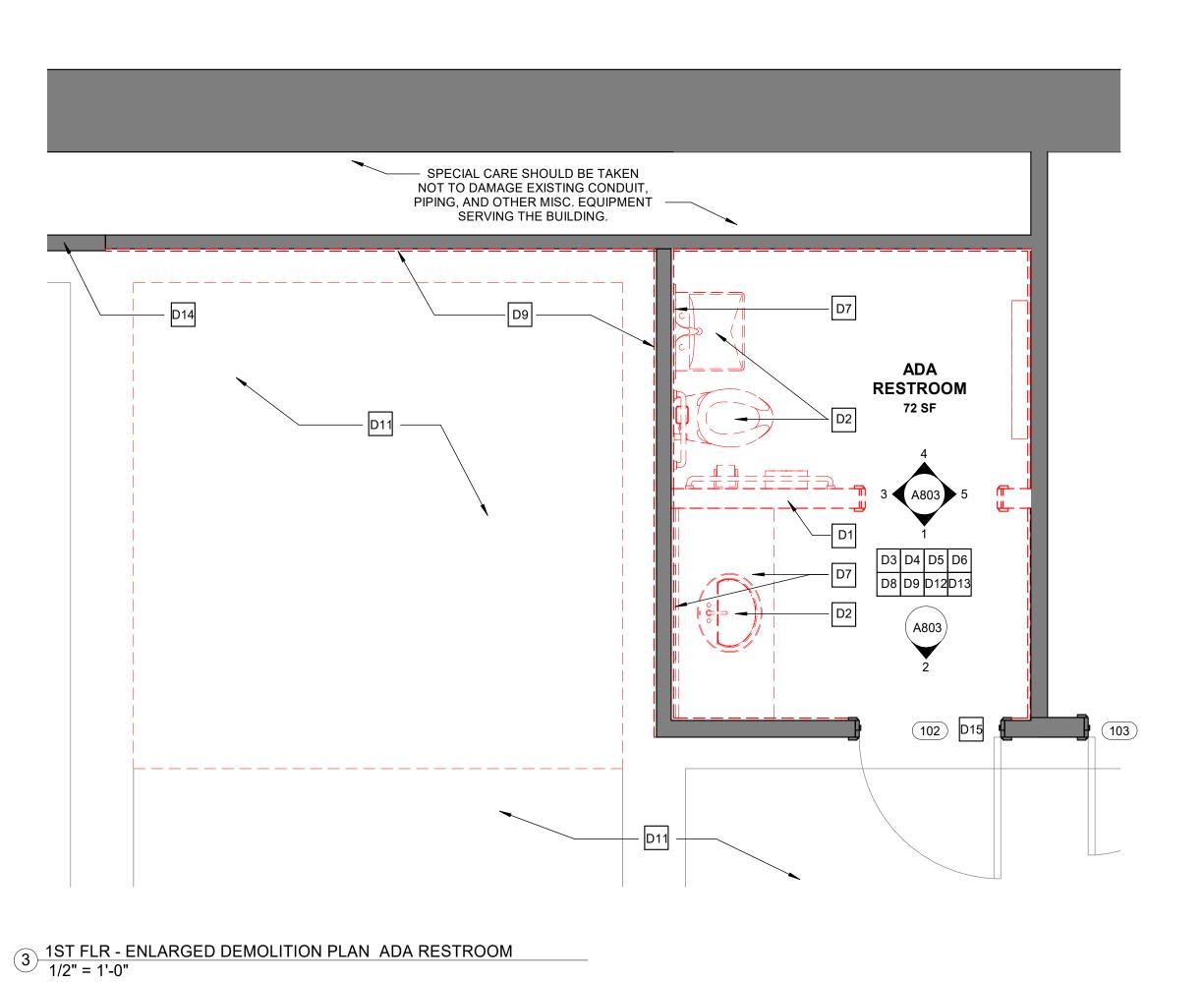
EXISTING CONDITIONS- INTERIOR OF STORAGE ROOM NOT TO SCALE

A02

EXISTING CONDITIONS



2 1ST FLR - ENLARGED DEMOLITION PLAN STORAGE ROOM 1/2" = 1'-0"



GENERAL DEMOLITION NOTES

- THE INTENT OF THE PROJECT IS TO PROVIDE COMPLETE WINDOW RESTORATION FOR ALL STRUCTURES COMPRISING THE BEAUFORT ARSENAL COMPLEX. THE EXISTING EXTERIOR ADA RESTROOM IS TO BE CONVERTED TO A MENS RESTROOM. A NEW WOMENS RESTROOM IS TO BE CONSTRUCTED ADJACENT TO THE EXISTING ADA RESTROOM. THE EXISTING STORAGE ROOM IT TO BE RENOVATED TO HOUSE TWO ADA RESTROOMS.
- ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH ALL CURRENT ADOPTED BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- PRIOR TO START OF DEMOLITION/CONSTRUCTION, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- ARSENAL COMPLEX TO REMAIN OPEN DURING CONSTRUCTION. TEMPORARY WINDOW COVERINGS TO BE INSTALLED AS REQUIRED DURING WINDOW RESTORATION. AT ALL TIMES, THE WINDOW ENVELOPE IS TO REMAIN WATERTIGHT, SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS, INCLUDING THE MUSEUM COLLECTION.
- 7. ALL DIMENSIONS TO BE FIELD VERIFIED.
- DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
- EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
- 10. VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD-BEARING OR IS ADEQUATELY SHORED PRIOR TO STARTING ANY WORK.
- 11. TERMINATE AND CAP ANY UTILITY TO BE REMOVED AND NOT INTENDED FOR REUSE.
- 12. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT DEMO IS PERFORMED IN A SAFE MANNER.
- THE OWNER HAS FIRST RIGHT OF ALL MATERIALS REMOVED AS A RESULT OF THE DEMOLITION OF EXISTING CONDITIONS. ANY/ALL NON-CLAIMED ITEMS BY THE OWNER ARE THE RESPONSIBILITY OF THE CONTRACTOR TO BE REMOVED AND DISCARDED FROM THE PROJECT SITE ACCORDING TO EPA AND LOCAL CODES.

DEMOLITION NOTES

- D1 REMOVE WALL (ALL OR PARTIAL AS NOTED IN DRAWING).
- D2 REMOVE EXISTING PLUMBING FIXTURES, SEE PLUMBING.
- D3 REMOVE EXISTING EXHAUST EQUIPMENT, SEE MECHANICAL.
- D4 REMOVE EXISTING ELECTRICAL EQUIPMENT, SEE ELECTRICAL.
- $_{
 m 7}$ MODIFY EXISTING SPRINKLER HEADS AS REQUIRED TO INSTALL NEW AND RENOVATED RESTROOMS. SEE FIRE PROTECTION.
- REMOVE ALL RESTROOM ACCESSORIES AND GRAB BARS; SEE ENLARGED RESTROOM PLANS AND ELEVATIONS.
- D7 REMOVE VANITY AND MIRROR.
- D8 REMOVE EXISTING INTERIOR FINISHES.
- D9 REMOVE WALL FINISH AND ALL TRIM. REMOVE CEILING FINISH AND ALL TRIM.
- REMOVE EXTERIOR DOOR AND FRAME; REFER TO DOOR
- SCHEDULE.
- REMOVE AND MODIFY BRICKWORK AS REQUIRED TO INSTALL
- NEW AND RENOVATED RESTROOMS, PATTERNING AND BORDER
- D12 REMOVE TILE.
- CUT, MODIFY, AND REPAIR CONCRETE AS REQUIRED FOR ⁰¹³ INSTALLATION OF NEW AND RENOVATED RESTROOMS.
- TEMPORARILY REMOVE AND OR MODIFY VERTICAL WALL BOARDS TO INSTALL NEW MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS. BOARDS TO BE SALVAGED,
- D15 REMOVE EXISTING RESTROOM SIGNAGE.

REPAIRED, AND RE-INSTALLED.

LAYOUTS TO MATCH EXISTING.

FLOOR PLAN LEGEND

Room name

ROOM NUMBER REFER TO ROOM FINISH SCHEDULE

DOOR NUMBER
REFER TO DOOR SCHEDULE WINDOW NUMBER REFER TO WINDOW SCHEDULE

- EXISTING WALL CONSTRUCTION

DEMOLISH

DEMOLITION NUMBERED NOTE REFER TO DESCRIPTIONS ON THIS PAGE

GENERAL FLOOR PLAN NOTES:

- REFER TO ROOM FINISH SCHEDULES ON SHEET A901. REFER TO LARGE SCALE PLANS, ELEVATIONS, & DETAILS FOR MORE INFORMATION.
- REFER TO GENERAL NOTES ON SHEET A01. WALLS ARE DIMENSIONED TO FINISH FACE OF WALL. DOORS AND WINDOWS ARE DIMENSIONED TO THE FINISHED OPENING.

BID DRAWINGS

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PROJ. 18-0125 ISSUE DATE: 12/21/18

> REVISIONS DATE NOTES

1ST FLR **DEMOLITION** PLAN

GENERAL CONSTRUCTION NOTES

- THE INTENT OF THE PROJECT IS TO PROVIDE COMPLETE WINDOW RESTORATION FOR ALL STRUCTURES COMPRISING THE BEAUFORT ARSENAL COMPLEX. THE EXISTING EXTERIOR ADA RESTROOM IS TO BE CONVERTED TO A MENS RESTROOM. A NEW WOMENS RESTROOM IS TO BE CONSTRUCTED ADJACENT TO THE EXISTING ADA RESTROOM. THE EXISTING STORAGE ROOM IT TO BE RENOVATED TO HOUSE TWO ADA RESTROOMS.
- THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH ALL CURRENT ADOPTED BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- PRIOR TO START OF CONSTRUCTION, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- ARSENAL COMPLEX TO REMAIN OPEN DURING CONSTRUCTION. TEMPORARY WINDOW COVERINGS TO BE INSTALLED AS REQUIRED DURING WINDOW RESTORATION. AT ALL TIMES, THE WINDOW ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS, INCLUDING THE MUSEUM COLLECTION.

NEW CONSTRUCTION NOTES

GENERAL FOUNDATION SPECIFICATIONS:

- CONCRETE INSTITUTE ACI 318 'BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- ASSUMED MAXIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1500 PSI FOR WALL FOOTINGS ON NATURAL SOIL. ALL FOUNDATIONS AND FOOTINGS ON FILL SOILS HAVE BEEN BASED UPON AN ASSUMED MAXIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1500 PSI.

CONCRETE:

- 1. SEE DETAILS ON A301.
- THE DESIGN PROFESSIONALS SHALL HAVE NO CONTROL OVER, NOR RESPONSIBITY FOR THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES, OR PROCEDURES IN PERFORMING THE WORK. SITE, SAFTEY, OR SAFTRY PROGRAMS IN CONNECTION WITH THE WORK. THESE ARE SOLEY THE RESPONSILIBY OF THE CONTRACTOR., WHO IS ALSO RESPONSIBLE FOR COMPLYING WITH ALL HEALTH AND SAFETY PRECAUSIONS AS REQUIRED BY ANY REGULATORY
- ALL CONCRETE AND REBAR SHALL BE INSTALLED ACCORDING TO STANDARDS SET FORTH BY THE LATEST ADDTION OF ACI-318.
- 4. 28 DAY CONCRETE MINIMUM COMPRESSIVE STRENGTH SHALL BE AS FOLLOWS: FOOTINGS AND SLABS = 3000 PSI MIN. NO CALCIYM CHLORIDE TO BE USED IN MIX.
- THE CONTRACTOR SHALL TAKE ADDITIONAL PRECAUSIONS WHEN CONCRETE IS TO BE PLACED AND CURED DURING COLD AND HOT WEATHER. THE CONTRACTOR SHALL FOLLOW RECOMMENDATIONS PRESCRIBED BY AMERICAN CONCRETE INSTITUTE FOR
- NO WATER SHALL BE ADDED TO THE CONCRETE AT THE SITE UNLESS APPROVED BY THE STRUCTURAL
- UNLESS OTHERWISE NOTED.
- PROVIDE PROPERLY TIED SPACERS, CHAIRS, BOLSTERS, SUPPORTS COMPLYING WITH CRSI EXPOSED CONCRETE.
- THE CONTRACTOR SHALL REFER TO THE
- REPAIR CONCRETE AS REQUIRED FOR RESTROOM RENOVATION. TRENCHED SLAB TO HAVE ALTERNATING #3 DOWELS INSTALLED AT 16" ON CENTER.
- 2 | INSTALL NEW CONCRETE FLOOR AND FOUNDATION.
- INSTALLATION TO MATCH EXISTING.

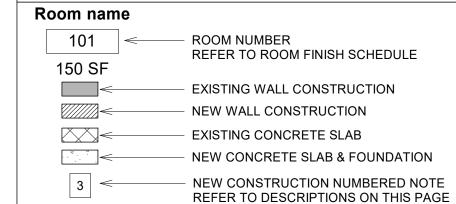
REFER TO GENERAL NOTES ON SHEET A01. WALLS ARE DIMENSIONED TO FINISH FACE OF WALL. DOORS AND WINDOWS ARE DIMENSIONED TO THE FINISHED OPENING.

- ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR
- 7. ALL DIMENSIONS TO BE FIELD VERIFIED.

- CONCRETE ANALYSIS HAS BEEN BASED ON AMERICAN
- FOUNDATIONS WERE DESIGNED BASED UPON AN

- COLD AND HOT WEATHER CONSTRUCTION.
- REINFORCING STEEL MEETING REQUIREMENTS OF ASTM A615 GRADE 60 DEFORMED SHALL BE PLACED AND HANDLED PER CONCRETE REINFORCING INSTITUTE 'MANUAL OF STNADAR PRACTICE.' RIENFORCING STEEL SHALL HAVE A MINIMUM CLEAR DISTANCE OF 3" FROM SIDES AND BOTTOM AND 2" FROM TOP OF FOOTING
- ETC. AS REQUIRED AND NECCESSARY TO ASSEMBLE, PLACE, AND SUPPORT. ALL REINFORCING WIRE BAR TYPE RECOMMMENDATIONS. USE PLASTIC TIP LEGS ON ALL
- ARCHITECTURAL AND ENGINEERING DRAWINGS FOR LOCATIONS OF DRESSED FLOOR AREAS AND FLOOR
- MODIFY BRICKWORK AS REQUIRED TO INSTALL NEW RESTROOMS, PATTERNING, BORDER LAYOUT, AND METHOD OF

FLOOR PLAN LEGEND



GENERAL FLOOR PLAN NOTES:

REFER TO ROOM FINISH SCHEDULES ON SHEET 901. REFER TO LARGE SCALE PLANS, ELEVATIONS, & DETAILS FOR MORE INFORMATION.

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REVISIONS

DATE NOTES

18-0125

12/21/18

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ISSUE DATE:

FOUNDATION

PROPOSED

PLAN

GENERAL CONSTRUCTION NOTES

- 1. THE INTENT OF THE PROJECT IS TO PROVIDE COMPLETE WINDOW RESTORATION FOR ALL STRUCTURES COMPRISING THE BEAUFORT ARSENAL COMPLEX. THE EXISTING EXTERIOR ADA RESTROOM IS TO BE CONVERTED TO A MENS RESTROOM. A NEW WOMENS RESTROOM IS TO BE CONSTRUCTED ADJACENT TO THE EXISTING ADA RESTROOM. THE EXISTING STORAGE ROOM IT TO BE RENOVATED TO HOUSE TWO ADA RESTROOMS.
- ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH ALL CURRENT ADOPTED BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- PRIOR TO START OF CONSTRUCTION, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- ARSENAL COMPLEX TO REMAIN OPEN DURING CONSTRUCTION. TEMPORARY WINDOW COVERINGS TO BE INSTALLED AS REQUIRED DURING WINDOW RESTORATION. AT ALL TIMES, THE WINDOW ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS, INCLUDING THE MUSEUM COLLECTION.
- 7. ALL DIMENSIONS TO BE FIELD VERIFIED.

NEW CONSTRUCTION NOTES

- NEW EXTERIOR WALL. MATCH EXISTING FINISH AND TRIM AT ADJACENT WALLS.
- 2 NEW PLUMBING FIXTURES, SEE PLUMBING.
- 3 NEW MECHANICAL EQUIPMENT, SEE MECHANICAL.
- 4 NEW ELECTRICAL EQUIPMENT, SEE ELECTRICAL.
- MODIFY EXISTING SPRINKLER HEADS AND INSTALL NEW SPRINKLER HEADS. SEE FIRE PROTECTION.
- NEW INTERIOR WALL; REFER TO WALL SECTIONS DETAILS ON
- NEW RESTROOM ACCESSORIES AND GRAB BARS; SEE
- ENLARGED RESTROOM PLANS AND ELEVATIONS.
- 8 NEW TOILET PARTITIONS; SEE RESTROOM DRAWINGS.
- 9 NEW VANITY; SEE DETAIL ON RESTROOM DRAWINGS.
- NEW INTERIOR FINISHES INSIDE EXISTING AND NEW RESTROOMS; REFER TO FINISH SCHEDULE AND SPECIFICATIONS.
- 11 NEW EXTERIOR DOOR AND FRAME; REFER TO DOOR SCHEDULE.
- 12 MODIFY BRICKWORK AS REQUIRED TO INSTALL NEW RESTROOMS, PATTERNING, BORDER LAYOUT, AND METHOD OF
- INSTALLATION TO MATCH EXISTING.
- 13 INSTALL NEW TILE FLOOR AND TILE BASE.
- 14 REPAIR CONCRETE AS REQUIRED FOR RESTROOM RENOVATION.
- 15 INSTALL NEW CONCRETE FLOOR AND FOUNDATION.
- REINSTALL AND REPAIR VERTICAL WALL BOARDS AND TRIM.
- REPLACE IN-KIND BOARDS AND TRIM THAT CANNOT BE REUSED.
- NEW CEILING. SEE FINISH SCHEDULE. PROVIDE FRAMING AND BLOCKING AS REQUIRED FOR NEW CEILING. NEW UTILITY SINK. SEE PLUMBING. TEMPORARILY REMOVE AND
- REPLACE PLYWOOD WALL FINISH AS NECCESSARY TO INSTALL UTILITY SINK.
- 19 NEW WATER FOUNTAIN. SEE PLUMBING. $|\,^{20}\,|\,$ INSTALL SIGNAGE ON RESTROOM DOORS.

FLOOR PLAN LEGEND

Room name 101

ROOM NUMBER REFER TO ROOM FINISH SCHEDULE

EXISTING WALL CONSTRUCTION

REFER TO DESCRIPTIONS ON THIS PAGE

150 SF

REFER TO DOOR SCHEDULE WINDOW NUMBER REFER TO WINDOW SCHEDULE

DOOR NUMBER

NEW WALL CONSTRUCTION NEW CONSTRUCTION NUMBERED NOTE

GENERAL FLOOR PLAN NOTES:

- REFER TO ROOM FINISH SCHEDULES ON SHEET A901. REFER TO LARGE SCALE PLANS, ELEVATIONS, & DETAILS
- FOR MORE INFORMATION. REFER TO GENERAL NOTES ON SHEET A01. WALLS ARE DIMENSIONED TO FINISH FACE OF WALL. DOORS AND WINDOWS ARE DIMENSIONED TO THE
- NEW INTERIOR WALL AND CEILING FINISHES TO BE INSTALLED IN ALL NEW AND RENOVATED RESTROOMS.

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PROJ. 18-0125 ISSUE DATE: 12/21/18

REVISIONS # DATE NOTES

> 1ST FLOOR PROPOSED

> > PLAN

4 EXISTING NORTH ELEVATION 1/8" = 1'-0"

GENERAL CONSTRUCTION NOTES

- THE INTENT OF THE PROJECT IS TO PROVIDE COMPLETE WINDOW RESTORATION FOR ALL STRUCTURES COMPRISING THE BEAUFORT ARSENAL COMPLEX. THE EXISTING EXTERIOR ADA RESTROOM IS TO BE CONVERTED TO A MENS RESTROOM. A NEW WOMENS RESTROOM IS TO BE CONSTRUCTED ADJACENT TO THE EXISTING ADA RESTROOM. THE EXISTING STORAGE ROOM IT TO BE RENOVATED TO HOUSE TWO ADA RESTROOMS.
- ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH ALL CURRENT ADOPTED BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- PRIOR TO START OF CONSTRUCTION, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- ARSENAL COMPLEX TO REMAIN OPEN DURING CONSTRUCTION. TEMPORARY WINDOW COVERINGS TO BE INSTALLED AS REQUIRED DURING WINDOW RESTORATION. AT ALL TIMES, THE WINDOW ENVELOPE IS TO REMAIN WATERTIGHT. SPECIAL CARE SHOULD BE TAKEN TO PROTECT ALL INTERIOR CONTENTS, INCLUDING THE MUSEUM COLLECTION.
- ALL DIMENSIONS TO BE FIELD VERIFIED.

NEW CONSTRUCTION NOTES

REPAIR AND RESTORE ALL WINDOWS, SEE WINDOW SCHEDULE.

ALL STUCCO DAMAGED DURING RESTORATION OF THE WINDOWS TO BE RESTORED WITH COMPATIBLE STUCCO. REPOINT MASONRY SUBSTRATE AS REQUIRED. STUCCO PATCHES AND REPAIRS SHALL MATCH EXISTING TEXTURE STUCCO DAMAGED AND REPAIRED DURING WINDOW RESTORATION TO BE PAINTED TO MATCH EXISTING WALL.

REPLACE ALL JOINT SEALANT AT THE EXTERIOR JOINT BETWEEN WOOD CASING AND STUCCO.

HVAC MINI SPLIT CONDENSER MOUNTED 2'-8" ABOVE GRADE ON A PAINTED METAL PLATFORM ATTACHED TO WALL. PAINT TO MATCH WALL. SEE DETAILS ON PLUMBING DRAWINGS.

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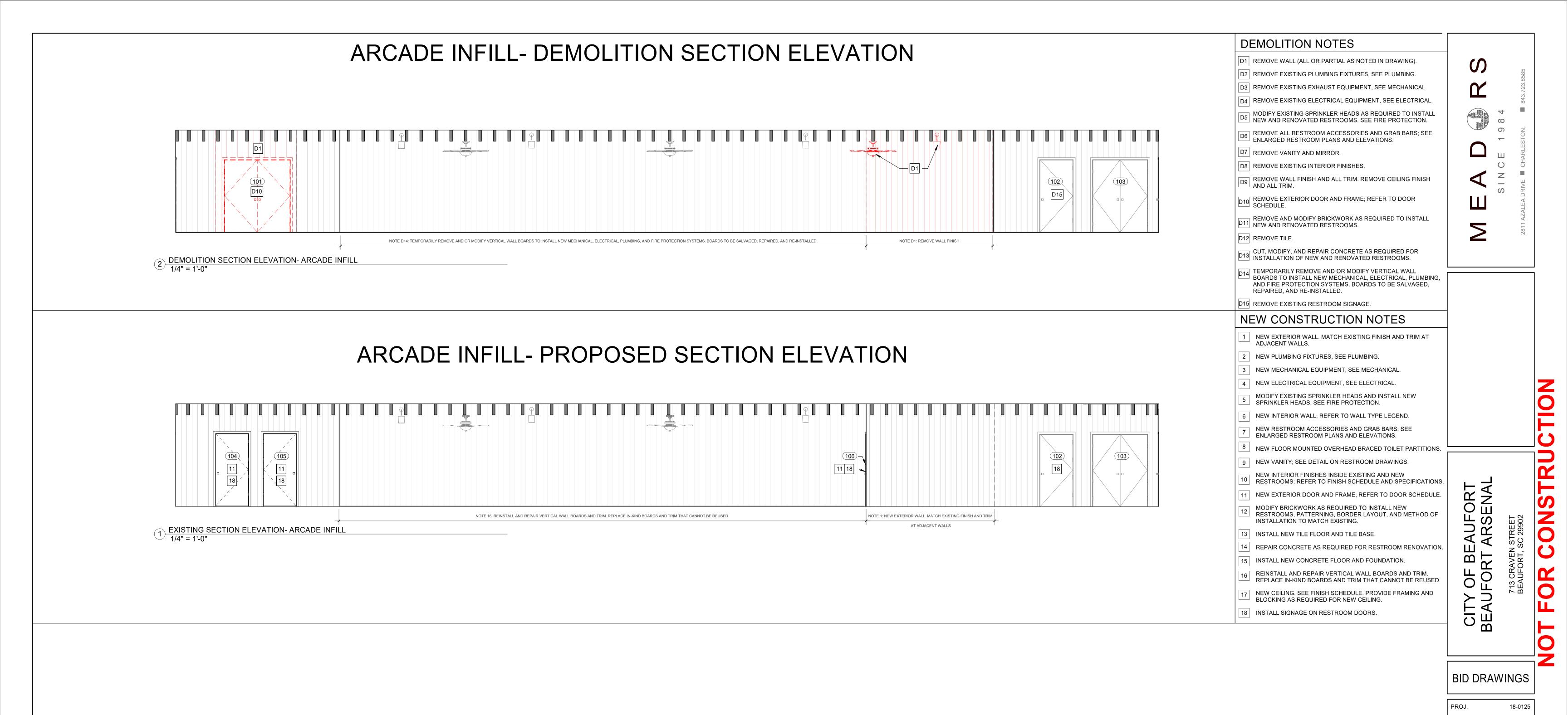
BID DRAWINGS

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BUILDING **ELEVATIONS**

A201



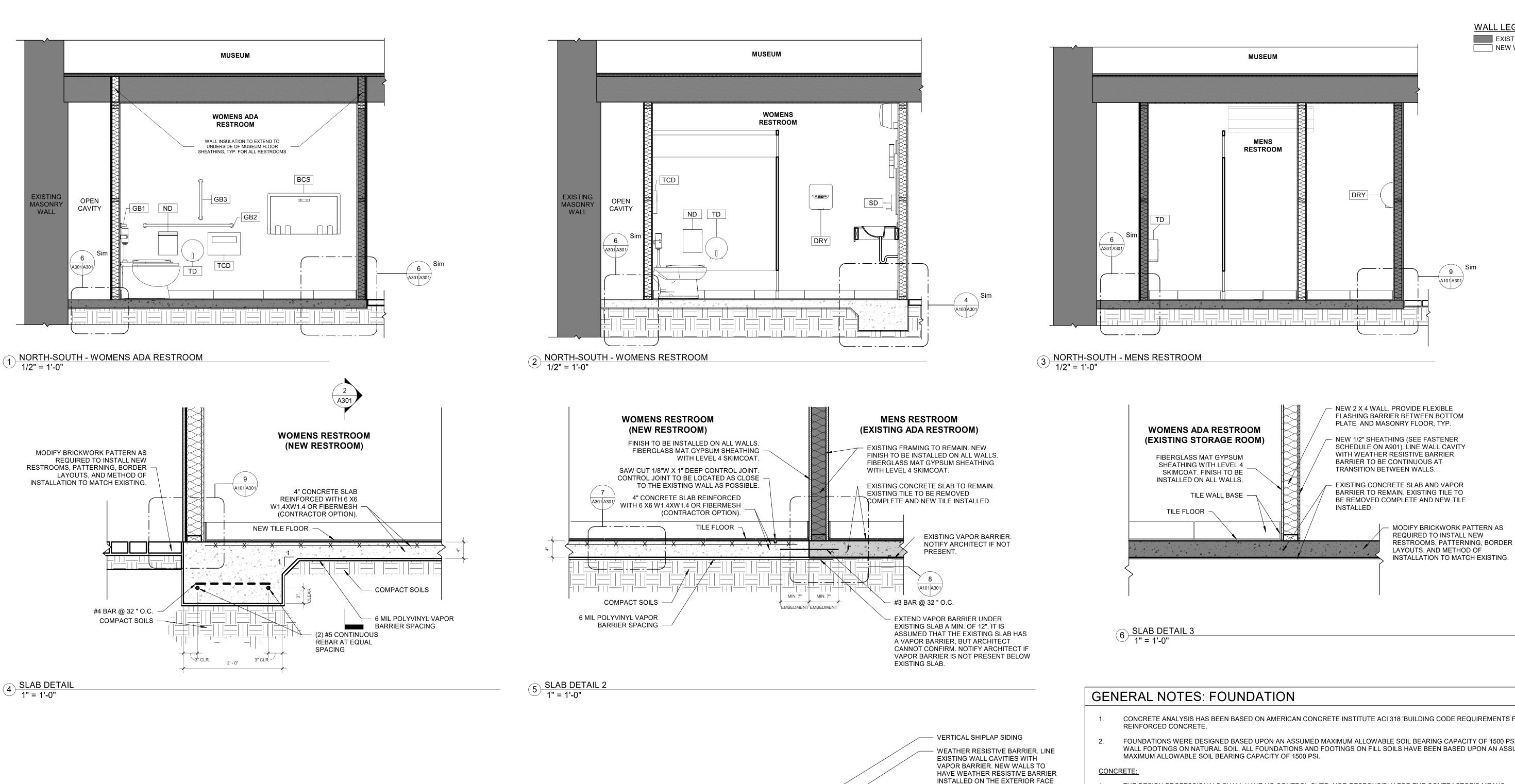
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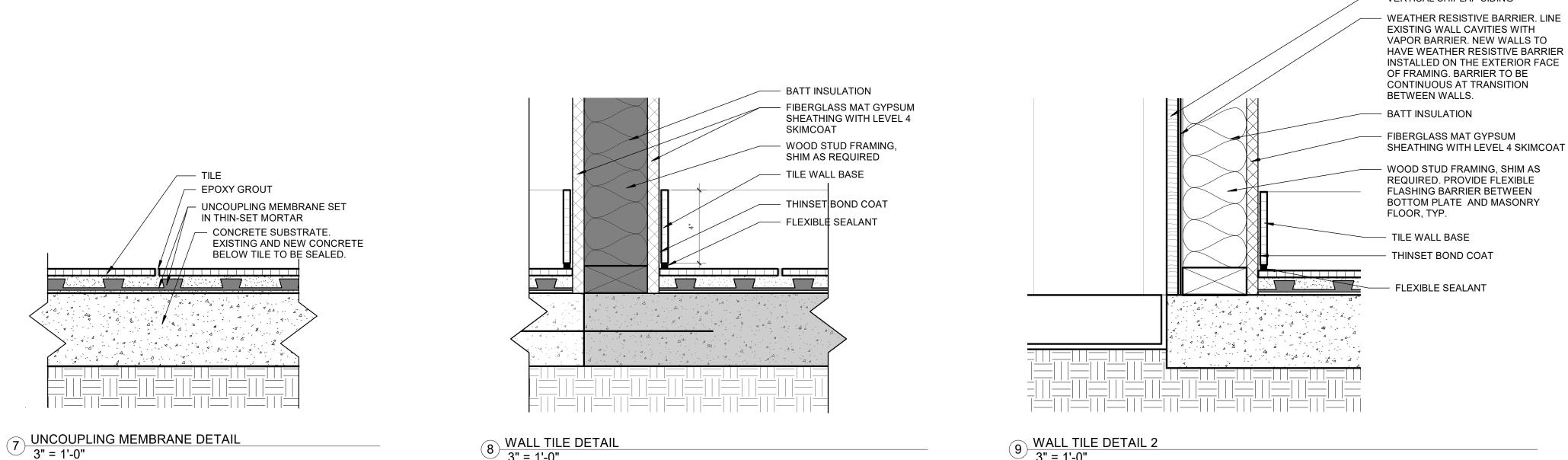
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BUILDING ELEVATIONS

A202





- CONCRETE ANALYSIS HAS BEEN BASED ON AMERICAN CONCRETE INSTITUTE ACI 318 'BUILDING CODE REQUIREMENTS FOR
- FOUNDATIONS WERE DESIGNED BASED UPON AN ASSUMED MAXIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1500 PSI FOR WALL FOOTINGS ON NATURAL SOIL. ALL FOUNDATIONS AND FOOTINGS ON FILL SOILS HAVE BEEN BASED UPON AN ASSUMED
- THE DESIGN PROFESSIONALS SHALL HAVE NO CONTROL OVER, NOR RESPONSIBLY FOR THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES, OR PROCEDURES IN PERFORMING THE WORK. SITE, SAFETY, OR SAFETY PROGRAMS IN CONNECTION WITH THE WORK. THESE ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR., WHO IS ALSO RESPONSIBLE FOR COMPLYING WITH ALL HEALTH AND SAFETY PRECAUTIONS AS REQUIRED BY ANY REGULATORY AGENCIES.
- ALL CONCRETE AND REBAR SHALL BE INSTALLED ACCORDING TO STANDARDS SET FORTH BY THE LATEST ADDITION OF
- 28 DAY CONCRETE MINIMUM COMPRESSIVE STRENGTH SHALL BE AS FOLLOWS: FOOTINGS AND SLABS = 3000 PSI MIN. NO CALCIUM CHLORIDE TO BE USED IN MIX.
- THE CONTRACTOR SHALL TAKE ADDITIONAL PRECAUTIONS WHEN CONCRETE IS TO BE PLACED AND CURED DURING COLD AND HOT WEATHER. THE CONTRACTOR SHALL FOLLOW RECOMMENDATIONS PRESCRIBED BY AMERICAN CONCRETE INSTITUTE FOR COLD AND HOT WEATHER CONSTRUCTION.
- NO WATER SHALL BE ADDED TO THE CONCRETE AT THE SITE UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
- REINFORCING STEEL MEETING REQUIREMENTS OF ASTM A615 GRADE 60 DEFORMED SHALL BE PLACED AND HANDLED PER CONCRETE REINFORCING INSTITUTE 'MANUAL OF STANDARD PRACTICE.' REINFORCING STEEL SHALL HAVE A MINIMUM CLEAR DISTANCE OF 3" FROM SIDES AND BOTTOM AND 2" FROM TOP OF FOOTING UNLESS OTHERWISE NOTED.
- PROVIDE PROPERLY TIED SPACERS, CHAIRS, BOLSTERS, ETC. AS REQUIRED AND NECESSARY TO ASSEMBLE, PLACE, AND SUPPORT. ALL REINFORCING WIRE BAR TYPE SUPPORTS COMPLYING WITH CRSI RECOMMENDATIONS. USE PLASTIC TIP LEGS ON ALL EXPOSED CONCRETE.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND ENGINEERING DRAWINGS FOR LOCATIONS OF DRESSED FLOOR AREAS AND FLOOR DRAINS.

GENERAL NOTES: FRAMING

- ALL WOODEN MATERIALS IN CONTACT WITH MASONRY OR CONCRETE MUST BE TREATED. PROVIDE FLEXIBLE FLASHING BARRIER BETWEEN ALL NEW BOTTOM PLATES AND MASONRY FLOORS. PROVIDE FLEXIBLE FLASHING BARRIER BETWEEN ALL NEW WOOD BATTENS AND MASONRY WALLS.
- ALL WOODEN MATERIALS ON THE EXTERIOR SURFACES OF WALLS MUST BE TREATED.
- MODIFY EXISTING FRAMING AS REQUIRED TO ACCOMPLISH WORK OUTLINED IN THE CONSTRUCTION DOCUMENTS. PROVIDE ALL BLOCKING REQUIRED TO INSTALL ALL FINISHES AND ACCESSORIES.

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WALL LEGEND EXISTING WALL NEW WALL

PROJ. 18-0125 ISSUE DATE: 12/21/18

REVISIONS # DATE NOTES

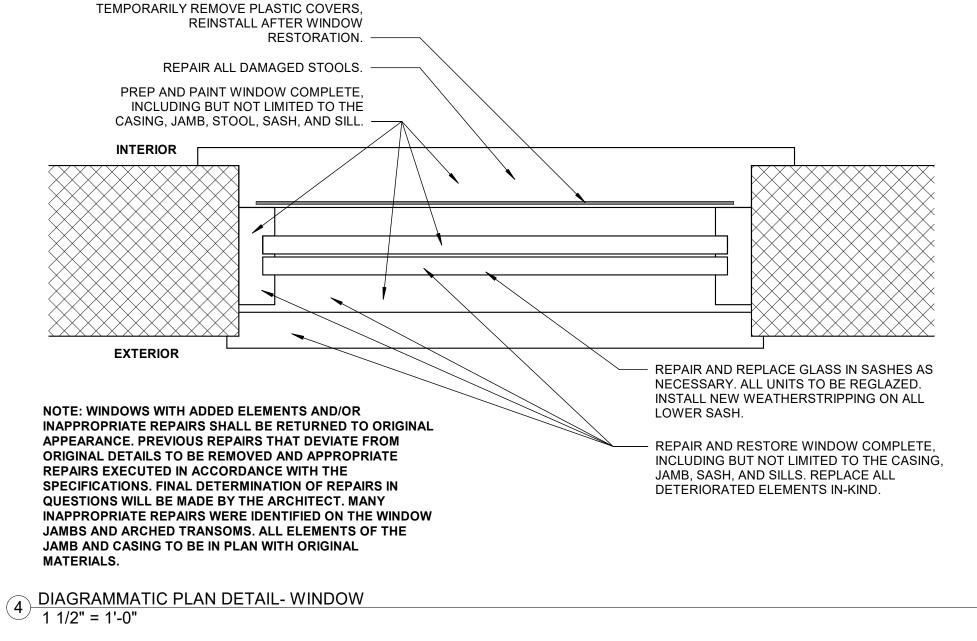
BUILDING & WALL SECTIONS

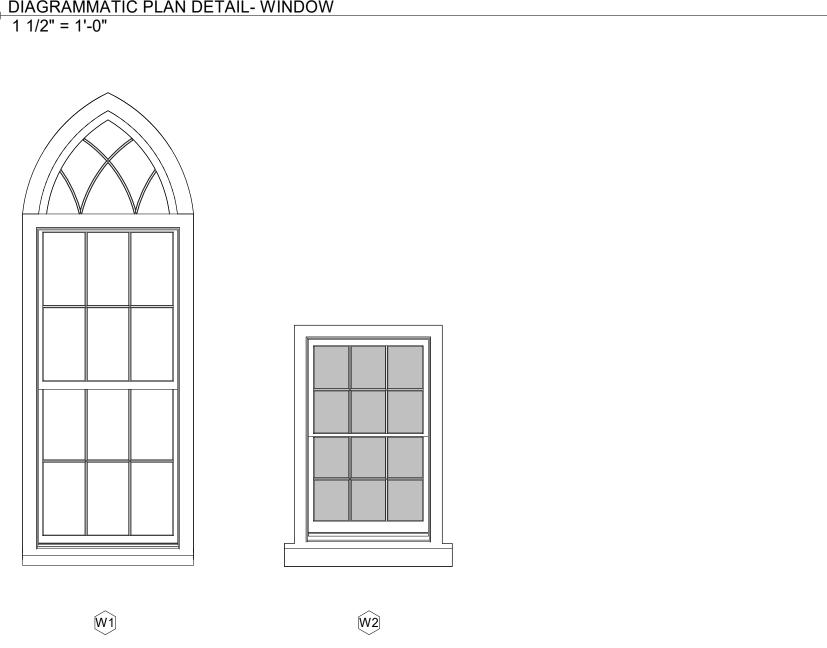
SUB FLOOR

LEVEL

									DOOR SCHED	ULE		
Door ID	Туре	Width	Height	Frame & Door Finish	Function	R.O. Width	R.O. Height	Door Thickness	Description	Door Panel	Phase Demolished	Hardware (See Specification Section 087100 for Additional Hardware Information)
101	Δ.	72"	00"	I I allow Matal	Exterior	75"	00.4/4"	4 2/4"	CWINCING DOUBLE	Danal Fluck	O. Now	NI/A
101	A	12	80"	Hollow Metal	Exterior	75	82 1/4"	1 3/4"	SWINGING, DOUBLE	Panel - Flush	2 - New Construction	N/A
102	В	36"	80"	Hollow Metal	Exterior	39"	82 1/4"	1 3/4"	SWINGING, SINGLE	Panel - Flush	None	Reuse existing Sargent 7 Line Door Hardware, replace hinges with new stainless steel hinges of the same dimensions
103	A	60"	80"	Hollow Metal	Exterior	63"	82 1/4"	1 3/4"	SWINGING, DOUBLE	Panel - Flush	None	Reuse existing Sargent 7 Line Door Hardware, replace hinges with new stainless steel hinges of the same dimensions
104	В	36"	80"	Hollow Metal	Exterior	39"	82 1/4"	1 3/4"	SWINGING, SINGLE	Panel - Flush	None	New Sargent 7 Line Door Hardware, F Entrance Lock, L Lever, L Rose, match existing hardware finish, key to match door 102, hinges to be stainless steel
105	В	36"	80"	Hollow Metal	Exterior	39"	82 1/4"	1 3/4"	SWINGING, SINGLE	Panel - Flush	None	New Sargent 7 Line Door Hardware, F Entrance Lock, L Lever, L Rose, match existing hardware finish, key to match door 102, hinges to be stainless steel

	WINDOW SCHEDULE		
Mark	Window Type	Width	Height
01	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
02	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
03	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
04	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
05	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
06	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
07	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
80	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
09	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
10	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
11	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
12	W2- Double Hung Window	2' - 6"	4' - 0"
13	W2- Double Hung Window	2' - 6"	4' - 0"
14	W2- Double Hung Window	2' - 6"	4' - 0"
15	W2- Double Hung Window	2' - 6"	4' - 0"
16	W2- Double Hung Window	2' - 6"	4' - 0"
17	W2- Double Hung Window	2' - 6"	4' - 0"
18	W2- Double Hung Window	2' - 6"	4' - 0"
19	W2- Double Hung Window	2' - 6"	2' - 6"
20	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
21	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
22	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
23	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
24	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
25	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
26	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
27	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
28	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
29	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
30	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
31	W2- Double Hung Window	2' - 6"	4' - 0"
32	W2- Double Hung Window	2' - 6"	4' - 0"
33	W2- Double Hung Window	2' - 6"	4' - 0"
34	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
35	W1- Double Hung Window With Arched Transom	2' - 10 3/4"	6' - 6"
36	W2- Double Hung Window	2' - 6"	4' - 0"
37	W2- Double Hung Window	2' - 6"	4' - 0"
38	W2- Double Hung Window	2' - 6"	4' - 0"
39	W2- Double Hung Window	2' - 6"	4' - 0"





WINDOW ELEVATION LEGEND

′ 1/2" = 1'-0"

GENERAL NOTES DOORS

- THE BUILDING IS HISTORIC. CARE SHALL BE TAKEN TO PROTECT THE BUILDING AND PROPERTY FROM DAMAGE DURING THE WORK. ALL EFFORT SHALL BE MADE TO PROTECT, RETAIN, AND PRESERVE AS MUCH EXISTING ORIGINAL MATERIALS POSSIBLE. NEW MATERIAL MUST MATCH THE ORIGINAL IN LOCATION, SIZE, MATERIAL, PROFILE (WHERE APPLICABLE) AND INSTALLATION METHOD.
- BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE
- IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK. CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE
- OF THE WORK WITH ALL LOCAL, STATE, AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.
- DO NOT SCALE OFF DRAWINGS.
- REFER TO SPECIFICATIONS AND DRAFT ASSESSMENT PHOTOGRAPHIC SURVEY FOR ADDITIONAL INFORMATION. PROVIDE ADA APPROVED NON-FERROUS METAL THRESHOLDS AT ALL PUBLIC USE EXTERIOR DOORS (APPLICABLE TO DOORS 102-105). COORDINATE ALL FINISHES THAT MEET UNDER AND AT THRESHOLDS. REVIEW CONFIGURATION WITH
- ARCHITECT PRIOR TO SETTING THRESHOLD. ALL HOLLOW METAL FRAMES AND DOORS TO RECEIVE PAINT (APPLICABLE TO DOORS 102-105).

GENERAL NOTES WINDOWS

- REFER TO WINDOW ASSESSMENT DATED 11.29.17 FOR DETAILS OF EXISTING WINDOW CONDITIONS. BASIS OF DESIGN: REPAIR & RESTORE ALL WINDOWS IN FULL. RESTORE LOWER SASH TO OPERABLE
- CONDITION, UPPER SASH FIXED. PAINT WINDOWS COMPLETE (INTERIOR AND EXTERIOR COMPONENTS). REPLACE GLAZING COMPLETE. INTERIOR PLASTIC COVERS IN MUSEUM SPACE TO BE TEMPORARILY REMOVED AND REINSTALLED FOLLOWING REPAIRS TO THE WINDOWS.
- THE BUILDING IS HISTORIC. CARE SHALL BE TAKEN TO PROTECT THE BUILDING AND PROPERTY FROM DAMAGE DURING THE WORK. ALL EFFORT SHALL BE MADE TO PROTECT, RETAIN, AND PRESERVE AS MUCH EXISTING ORIGINAL MATERIALS POSSIBLE. NEW MATERIAL MUST MATCH THE ORIGINAL IN LOCATION, SIZE, MATERIAL, PROFILE (WHERE APPLICABLE) AND INSTALLATION METHOD.
- ASSUME THE FOLLOWING WINDOW SASH WILL NEED TO BE REPLACED IN KIND:
 - WINDOW 1 UPPER SASH WINDOW 2 UPPER AND LOWER SASH
 - **WINDOW 6 UPPER SASH**
 - **WINDOW 7 LOWER SASH**
 - **WINDOW 8 LOWER SASH WINDOW 9 UPPER SASH**
 - **WINDOW 11 LOWER SASH WINDOW 19 CASEMENT SASH**
 - **WINDOW 20 LOWER SASH**

 - **WINDOW 22 UPPER SASH**
 - WINDOW 25 LOWER SASH
 - **WINDOW 28 LOWER SASH**
 - WINDOW 30 UPPER AND LOWER SASH
 - **WINDOW 34 UPPER AND LOWER SASH**
 - IT MAY BE NECESSARY TO REPLACE ADDITIONAL SASH. UNLESS NOTED HERE, SASH REPLACEMENT MUST BE APPROVED BY THE ARCHITECT.
 - PROVIDE CONTINGENCY ALLOWANCE FOR REPLACING 6 ADDITIONAL SASH.
- BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND
- CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE
- IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK. CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE, AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE
- STRINGENT SHALL GOVERN. CHEMICAL OR PHYSICAL TREATMENTS, IF APPROPRIATE, WILL BE UNDERTAKEN USING THE GENTLEST MEANS
- POSSIBLE. TREATMENTS THAT CAUSE DAMAGE TO HISTORIC MATERIALS WILL NOT BE USED. DO NOT SCALE OFF DRAWINGS.
- REFER TO SPECIFICATIONS AND ASSESSMENT PHOTOGRAPHIC SURVEY FOR ADDITIONAL INFORMATION.

BID DRAWINGS

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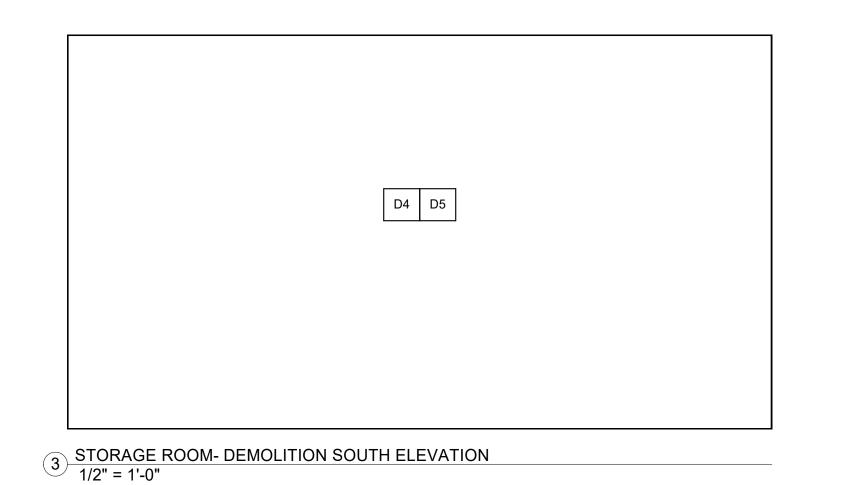
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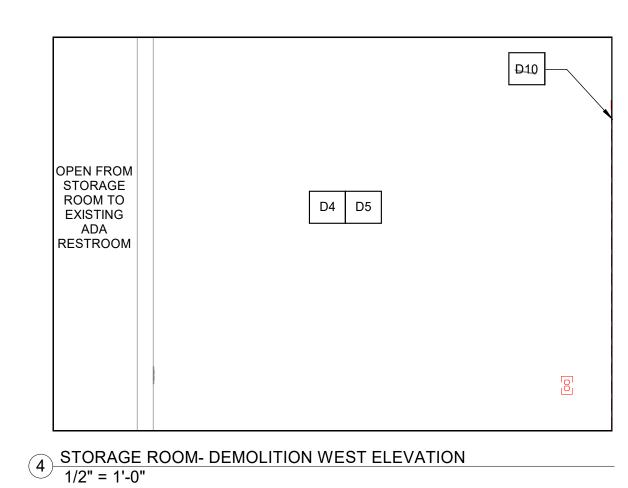
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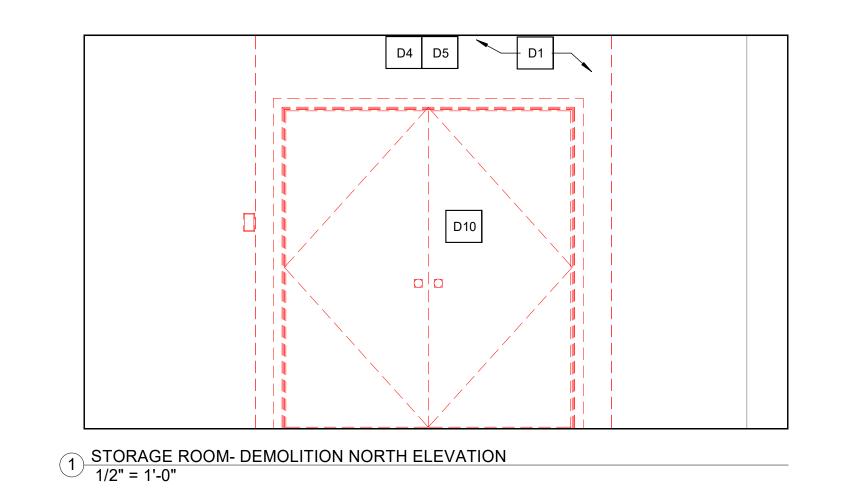
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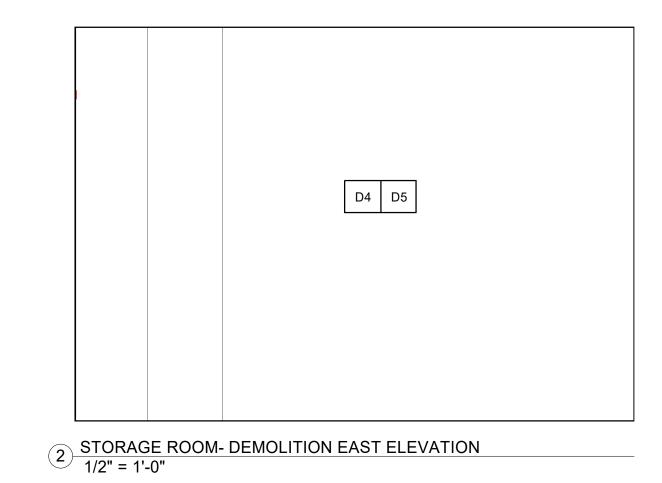
WINDOW & DOOR SCHEDULES

MENS & WOMENS ADA RESTROOMS (EXISTING STORAGE ROOM)- DEMOLITION INTERIOR ELEVATIONS









GENERAL RESTROOM NOTES

- 1. ALL ACCESSIBLE TOILET STALLS AND ROOMS SHALL COMPLY WITH ADA AND ANSI A117.
- 2. MOUNTING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR UNLESS NOTED OTHERWISE. COMPLY WITH ADA.
- PLAN DIMENSIONS ARE TO FACE OF FRAMING EXCEPT FOR EXISTING WALLS WHERE DIMENSIONS ARE TO FACE OF FINISH.
- 4. DUE TO EXISTING FINISH CONDITIONS WITHIN EACH RESTROOM, CONTRACTOR SHALL LAYOUT DIMENSIONS ON FLOOR AND VERIFY WITH ARCHITECT PRIOR TO ERECTING RESTROOM WALLS.
- ALL ACCESSIBLE WATER CLOSETS SHALL BE LOCATED 18" FROM FINISHED WALL SURFACES TO THE CENTERLINE OF
- 6. REFER TO FLOOR PLANS & ELEVATIONS FOR OTHER TOILET AREA INFORMATION OR EXTENT OF ACCESSORIES NOT SHOWN ON THESE DRAWINGS.
- 7. ONE COAT HOOK (W/ BUMPER) SHALL BE INSTALLED ON THE BACK OF ALL TOILET STALL DOORS - COLUMBIA
- 8. ALL RESTROOM FLOORS AND WALL BASE TO RECEIVE NEW TILE (NEW AND EXISTING). REFER TO RESTROOM ELEVATIONS FOR EXTENT OF TILE.
- 9. TILE PATTERNS ARE A GRAPHICAL ILLUSTRATION. ACTUAL LAYOUT IN FIELD SHALL UTILIZE LARGE/WHOLE TILES TO AVOID THIN SLIVERS OF TILES AT WALL INTERSECTIONS. ALIGN SEEMS OF FLOOR TILE WITH WALL TILE.
- 10. SEE SHEET A901 FOR FINISH SCHEDULE.
- 11. PROVIDE BLOCKING AS REQUIRED TO INSTALL FINISHES AND ACCESSORIES.

- D1 REMOVE WALL (ALL OR PARTIAL AS NOTED IN DRAWING).
- D2 REMOVE EXISTING PLUMBING FIXTURES, SEE PLUMBING.
- D3 REMOVE EXISTING EXHAUST EQUIPMENT, SEE MECHANICAL.
- $\frac{\mathsf{D5}}{\mathsf{NEW}}$ NEW AND RENOVATED RESTROOMS. SEE FIRE PROTECTION.
- REMOVE ALL RESTROOM ACCESSORIES AND GRAB BARS; SEE

- REMOVE EXTERIOR DOOR AND FRAME; REFER TO DOOR
- D10 SCHEDULE.
- REMOVE AND MODIFY BRICKWORK AS REQUIRED TO INSTALL NEW AND RENOVATED RESTROOMS.
- D14 TEMPORARILY REMOVE AND OR MODIFY VERTICAL WALL REPAIRED, AND RE-INSTALLED.
- D15 REMOVE EXISTING RESTROOM SIGNAGE.

DEMOLITION NOTES

- CUT, MODIFY, AND REPAIR CONCRETE AS REQUIRED FOR INSTALLATION OF NEW AND RENOVATED RESTROOMS.
- BOARDS TO INSTALL NEW MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS. BOARDS TO BE SALVAGED,

- D4 REMOVE EXISTING ELECTRICAL EQUIPMENT, SEE ELECTRICAL.
- MODIFY EXISTING SPRINKLER HEADS AS REQUIRED TO INSTALL
- 2 ENLARGED RESTROOM PLANS AND ELEVATIONS.
- D7 REMOVE VANITY AND MIRROR.
- D8 REMOVE EXISTING INTERIOR FINISHES.
- REMOVE WALL FINISH AND ALL TRIM. REMOVE CEILING FINISH AND ALL TRIM.
- D12 REMOVE TILE.

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EAUFORT ARSENAL

BID DRAWINGS

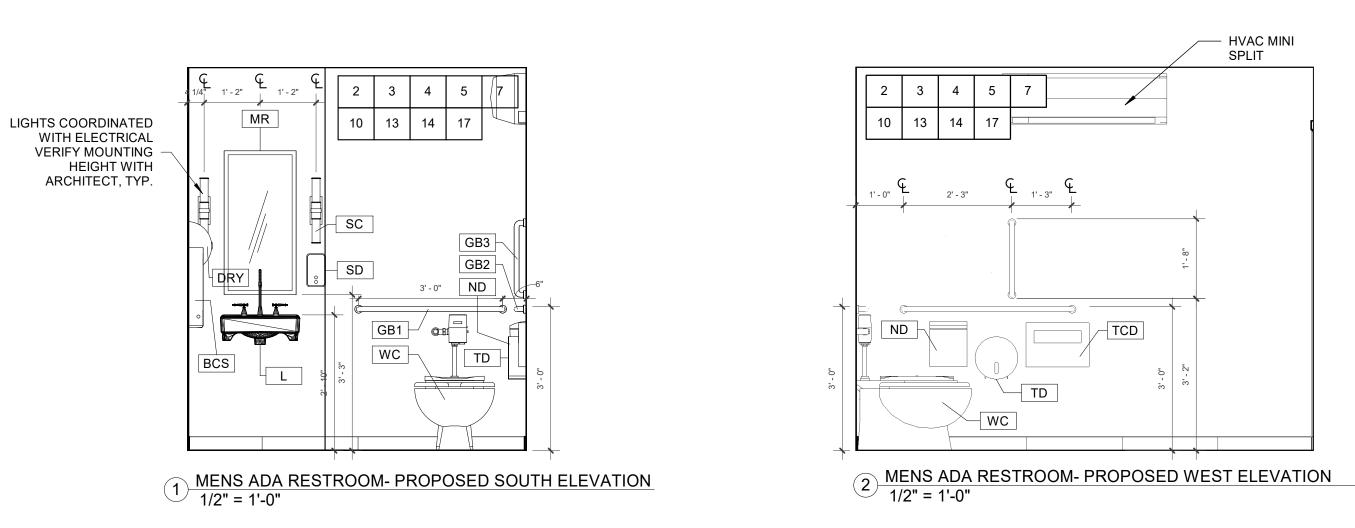
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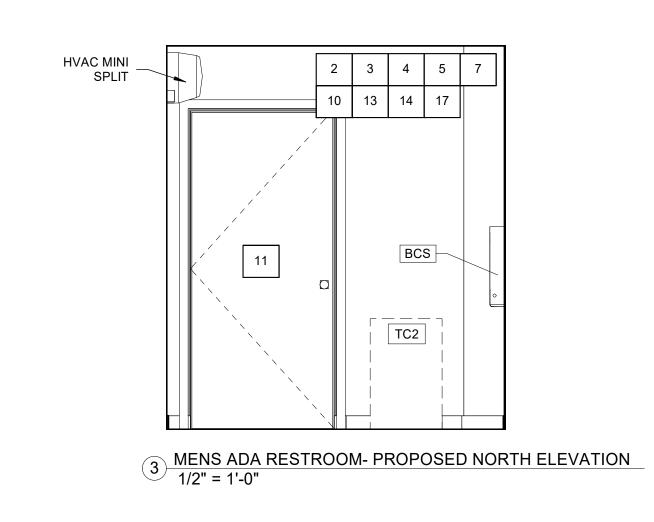
DATE NOTES

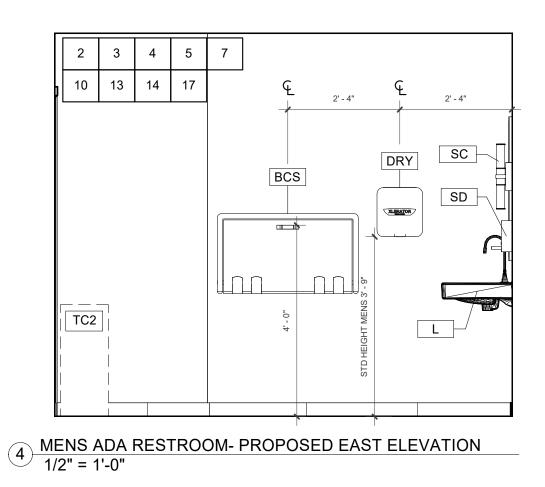
ISSUE DATE: 12/21/18

INTERIOR **ELEVATIONS**

MENS ADA RESTROOM- PROPOSED INTERIOR ELEVATIONS







EAUFORT ARSENAL

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BID DRAWINGS

DATE NOTES

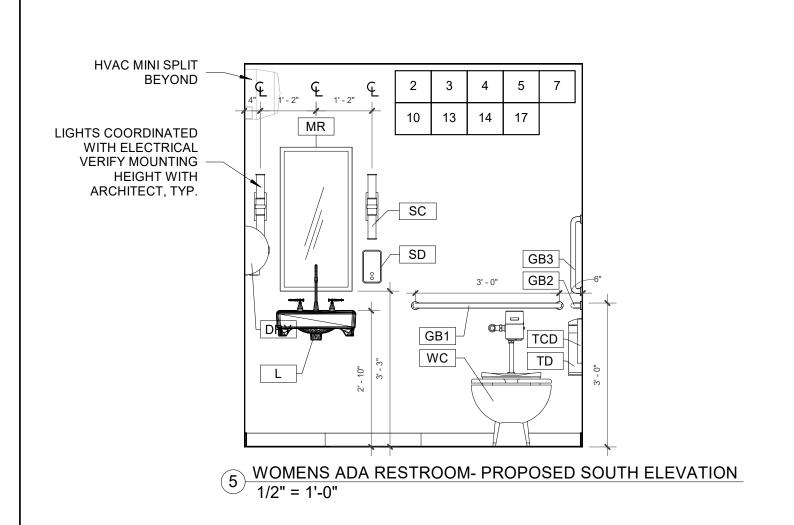
18-0125

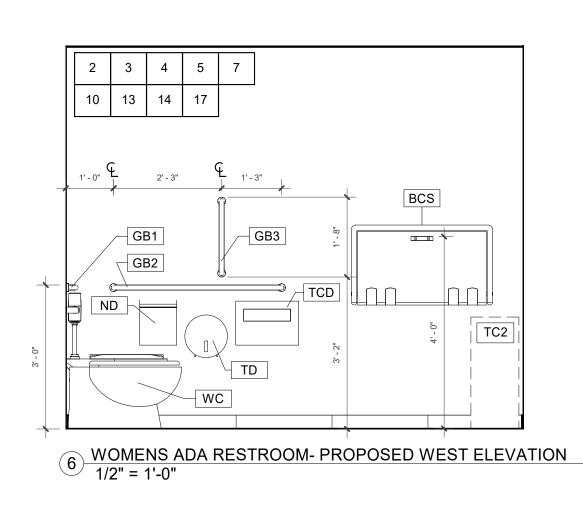
12/21/18

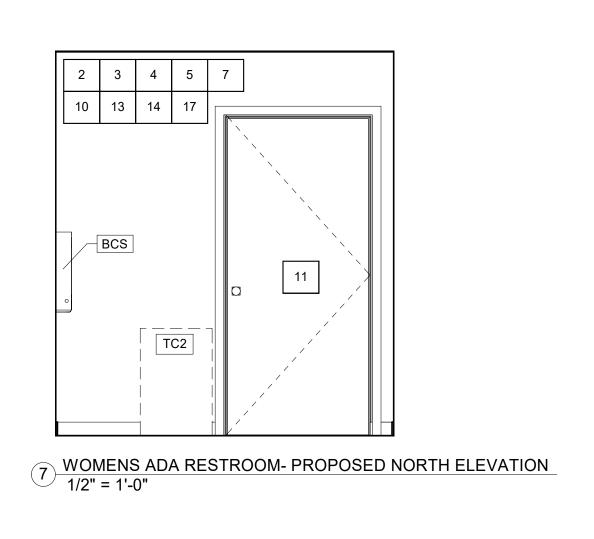
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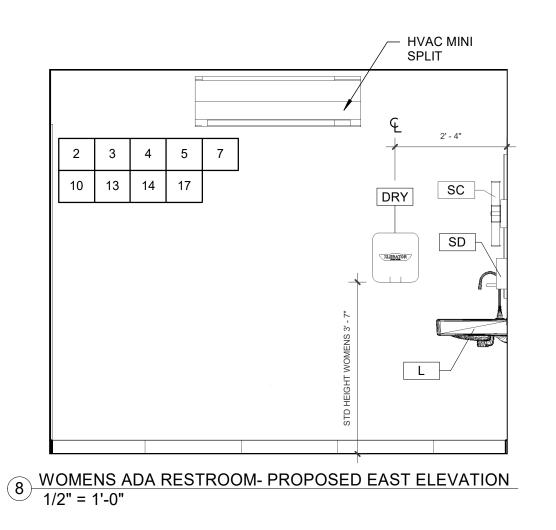
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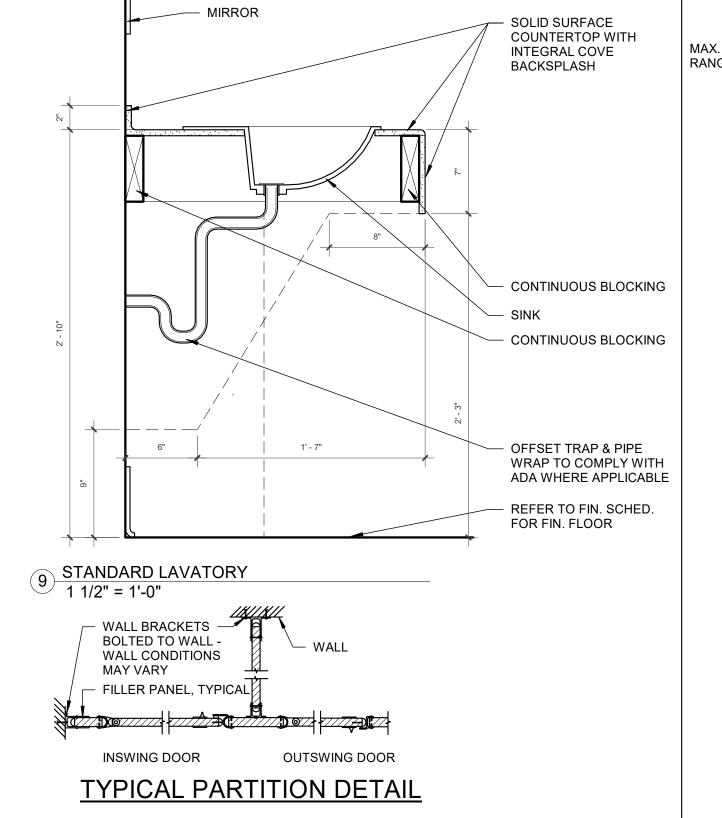
WOMENS ADA RESTROOM- PROPOSED INTERIOR ELEVATIONS





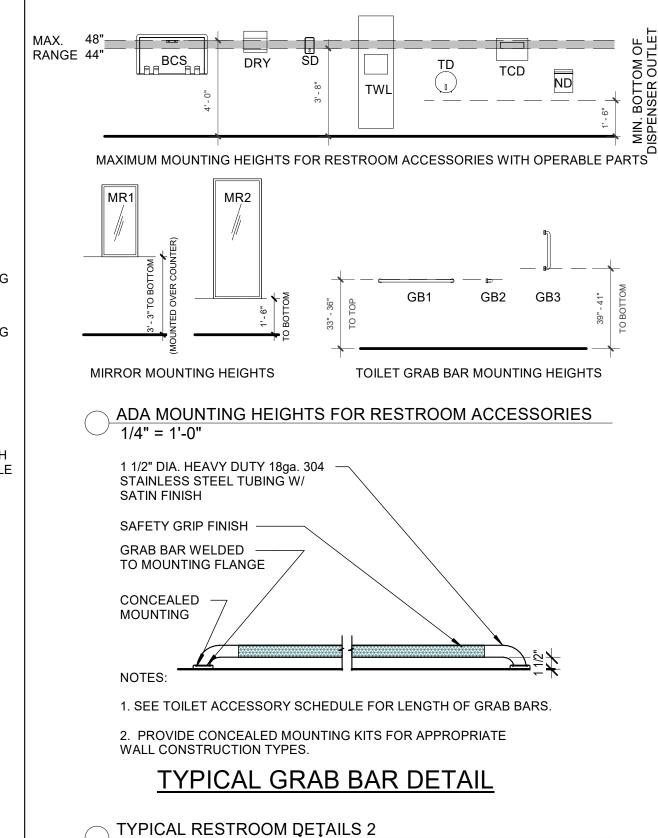






TYPICAL RESTROOM DETAILS 1

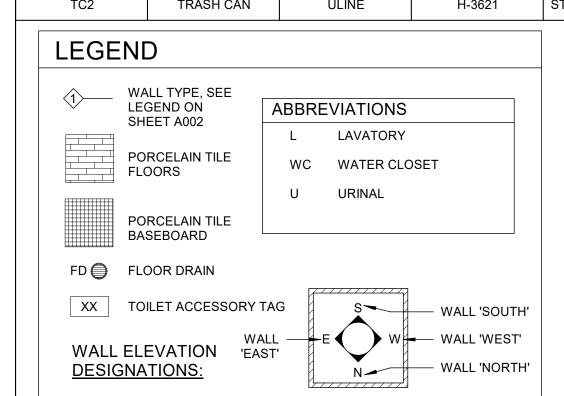
1" = 1'-0"



<u> 1" = 1'-0"</u>

_	TAG	DESCRIPTION	MANUF.	MODEL NO.	NOTES
00 LE	BCS	BABY CHANGING STATION	KOALA KARE	KB-200	HORIZONTAL, SURFACE MOUNTED, GRAY
DISF ENGEN	DRY	HAND DRYER	XLERATOR	XL-BW	SURFACE MOUNTED, WHITE
2	GB1	36" GRAB BAR	PSISC	GB-171	1 1/2" SNAP ON FLANGE MOUNTING, SATIN FINISH
1	GB2	42" GRAB BAR	PSISC	GB-181	1 1/2" SNAP ON FLANGE MOUNTING, SATIN FINISH
	GB3	18" GRAB BAR	PSISC	GB-231	1 1/2" SNAP ON FLANGE MOUNTING, SATIN FINISH
	MR1	COUNTERTOP MIRROR	PSISC	MR-341	CHANNEL FRAME MIRROR 18" W X 36" H
	ND	NAPKIN DISPOSAL	PSISC	ND-111	SURFACE MOUNT, LIFT DOOR
	SD	SOAP DISPENSER	PSISC	SD-111	VERTICAL, SURFACE MOUNTED
	TCD	TOILET SEAT COVER DISPENSER	PSISC	TC-111	SURFACE MOUNTED
	TD	TISSUE DISPENSER	PSISC	TC-171	SURFACE MOUNTED
	TC1	TRASH CAN	ULINE	H-4454	STAINLESS STEEL, 16 GALLON HALF ROUND
	TC2	TRASH CAN	ULINE	H-3621	STAINLESS STEEL, 13 GALLON SLIM

TOILET ACCESSORY SCHEDULE



GENERAL RESTROOM NOTES

- 1. ALL ACCESSIBLE TOILET STALLS AND ROOMS SHALL COMPLY WITH ADA AND ANSI A117.
- MOUNTING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR UNLESS NOTED OTHERWISE. COMPLY WITH ADA.
- PLAN DIMENSIONS ARE TO FACE OF FRAMING EXCEPT FOR EXISTING WALLS WHERE DIMENSIONS ARE TO FACE
- DUE TO EXISTING FINISH CONDITIONS WITHIN EACH RESTROOM, CONTRACTOR SHALL LAYOUT DIMENSIONS ON FLOOR AND VERIFY WITH ARCHITECT PRIOR TO ERECTING RESTROOM WALLS.
- ALL ACCESSIBLE WATER CLOSETS SHALL BE LOCATED 18" FROM FINISHED WALL SURFACES TO THE CENTERLINE OF WATER CLOSET.
- 6. REFER TO FLOOR PLANS & ELEVATIONS FOR OTHER TOILET AREA INFORMATION OR EXTENT OF ACCESSORIES
- NOT SHOWN ON THESE DRAWINGS. ONE COAT HOOK (W/BUMPER) SHALL BE INSTALLED ON THE BACK OF ALL TOILET STALL DOORS - COLUMBIA
- ALL RESTROOM FLOORS AND WALL BASE TO RECEIVE NEW TILE (NEW AND EXISTING). REFER TO RESTROOM
- 9. TILE PATTERNS ARE A GRAPHICAL ILLUSTRATION. ACTUAL LAYOUT IN FIELD SHALL UTILIZE LARGE/WHOLE TILES TO AVOID THIN SLIVERS OF TILES AT WALL INTERSECTIONS.
- 10. SEE SHEET A901 FOR FINISH SCHEDULE.

ELEVATIONS FOR EXTENT OF TILE.

11. PROVIDE BLOCKING AS REQUIRED TO INSTALL FINISHES AND ACCESSORIES.

ALIGN SEEMS OF FLOOR TILE WITH WALL TILE.

NEW CONSTRUCTION	NOTES

- NEW EXTERIOR WALL. MATCH EXISTING FINISH AND TRIM AT
- ADJACENT WALLS.
- 2 NEW PLUMBING FIXTURES, SEE PLUMBING.
- NEW MECHANICAL EQUIPMENT, SEE MECHANICAL.
- NEW ELECTRICAL EQUIPMENT, SEE ELECTRICAL.
- MODIFY EXISTING SPRINKLER HEADS AND INSTALL NEW SPRINKLER HEADS. SEE FIRE PROTECTION.
- 6 NEW INTERIOR WALL; REFER TO WALL TYPE LEGEND.
- NEW RESTROOM ACCESSORIES AND GRAB BARS; SEE
- ENLARGED RESTROOM PLANS AND ELEVATIONS.
- NEW FLOOR MOUNTED OVERHEAD BRACED TOILET PARTITIONS.
- 9 NEW VANITY; SEE DETAIL ON RESTROOM DRAWINGS.
- NEW INTERIOR FINISHES INSIDE EXISTING AND NEW 10 RESTROOMS; REFER TO FINISH SCHEDULE AND SPECIFICATIONS.
- 11 NEW EXTERIOR DOOR AND FRAME; REFER TO DOOR SCHEDULE.
- MODIFY BRICKWORK AS REQUIRED TO INSTALL NEW RESTROOMS, PATTERNING, BORDER LAYOUT, AND METHOD OF INSTALLATION TO MATCH EXISTING.
- 13 INSTALL NEW TILE FLOOR AND TILE BASE.
- 14 REPAIR CONCRETE AS REQUIRED FOR RESTROOM RENOVATION.
- 15 INSTALL NEW CONCRETE FLOOR AND FOUNDATION.

BLOCKING AS REQUIRED FOR NEW CEILING.

REINSTALL AND REPAIR VERTICAL WALL BOARDS AND TRIM. REPLACE IN-KIND BOARDS AND TRIM THAT CANNOT BE REUSED.

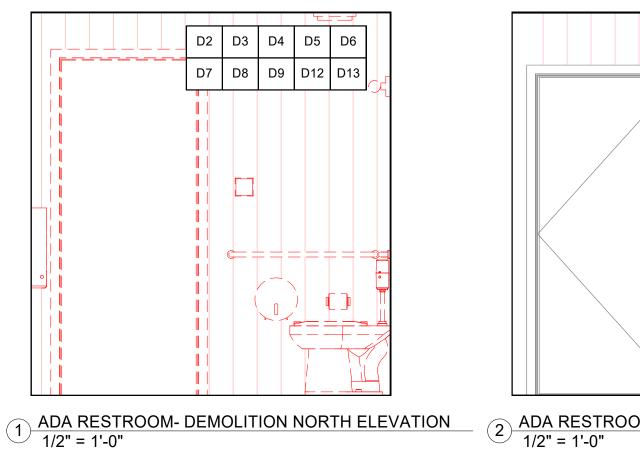
17 NEW CEILING. SEE FINISH SCHEDULE. PROVIDE FRAMING AND

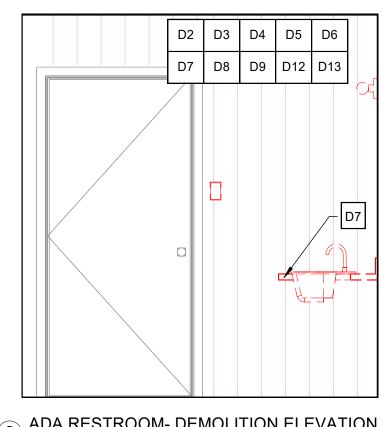
1401	INSTALL SIGNAGE ON RESTROOM DOORS
1181	INSTALL SIGNAGE ON RESTROOM DOORS
101	

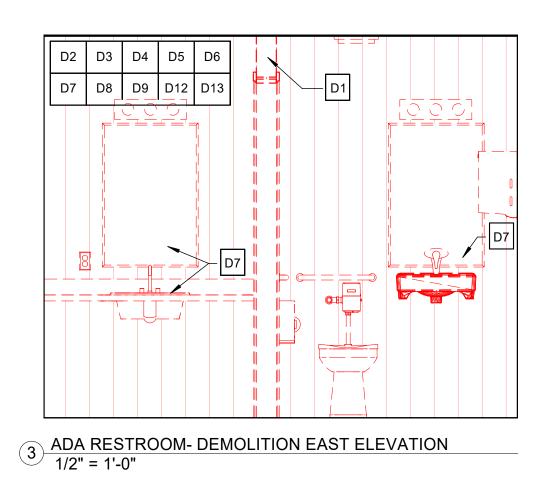
			18 INS	STALL SIGNAGE ON RESTROOM DOORS.				
RESTROOM MATERIAL SELECTIONS								
TAG	DESCRIPTION	MANUF.	MODEL NO.	NOTES				
PART	PARTITION	COLUMBIA PHENOLIC	72835 CLASS A	STAINLESS STEEL ACCESSORIES AND FASTENERS, COLOR: 1097 CITADEL, MATTE FINISH				
VC	VANITY COUNTERTOP	CORIAN	N/A	NATURAL GRAY				
SC	SCONCE	ROBERT ABBEY, INC.	C1311	RODERICK DOUBLE SCONCE, ANTIQUE SILVER, COMPACT FLUORESCENT				

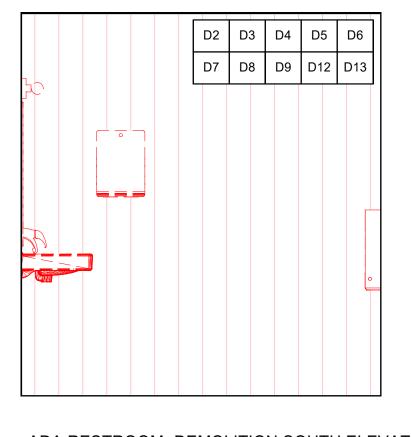
INTERIOR **ELEVATIONS**

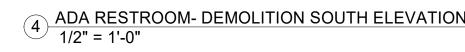
MENS RESTROOM (EXISTING ADA RESTROOM)- DEMOLITION INTERIOR ELEVATIONS

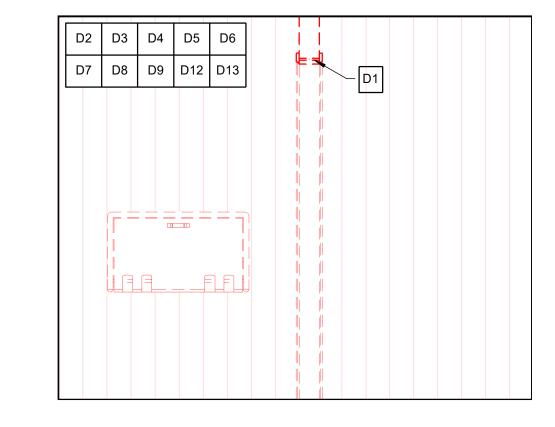












ADA RESTROOM- DEMOLITION WEST ELEVATION

DEMOLITION NOTES

- D1 REMOVE WALL (ALL OR PARTIAL AS NOTED IN DRAWING).
- D2 REMOVE EXISTING PLUMBING FIXTURES, SEE PLUMBING.

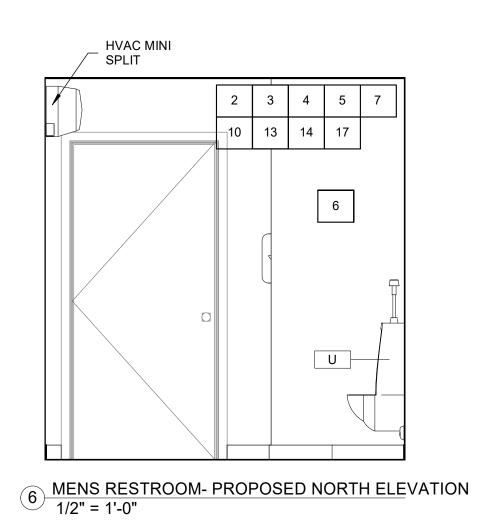
- MODIFY EXISTING SPRINKLER HEADS AS REQUIRED TO INSTAL
- REMOVE ALL RESTROOM ACCESSORIES AND GRAB BARS; SEE ENLARGED RESTROOM PLANS AND ELEVATIONS.
- D7 REMOVE VANITY AND MIRROR
- D8 REMOVE EXISTING INTERIOR FINISHES

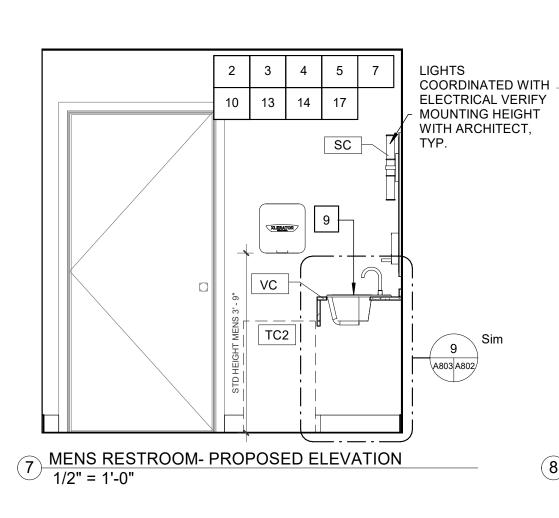
NEW AND RENOVATED RESTROOMS.

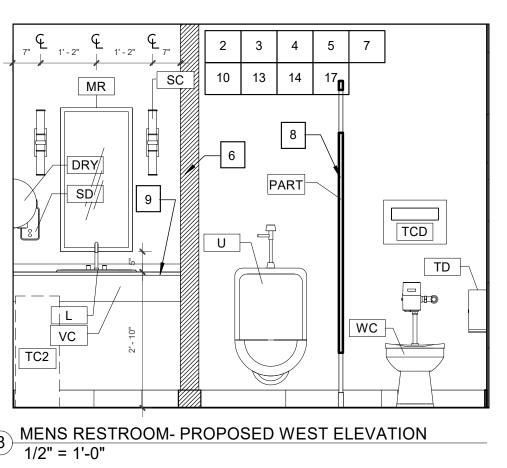
- REMOVE WALL FINISH AND ALL TRIM. REMOVE CEILING FINISH
- D10 REMOVE EXTERIOR DOOR AND FRAME; REFER TO DOOR SCHEDULE.
- REMOVE AND MODIFY BRICKWORK AS REQUIRED TO INSTALL

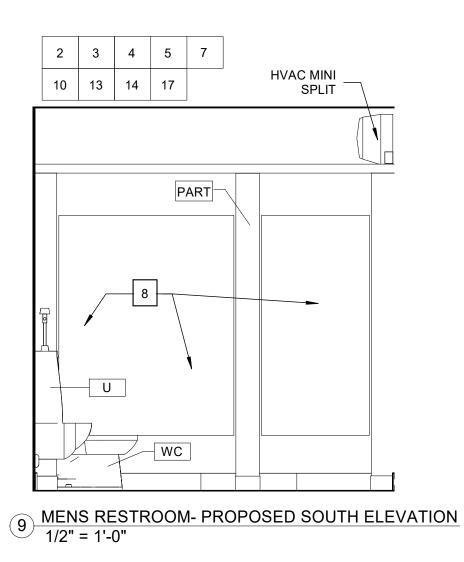
- TEMPORARILY REMOVE AND OR MODIFY VERTICAL WALL AND FIRE PROTECTION SYSTEMS. BOARDS TO BE SALVAGED, REPAIRED, AND RE-INSTALLED.
- D15 REMOVE EXISTING RESTROOM SIGNAGE.

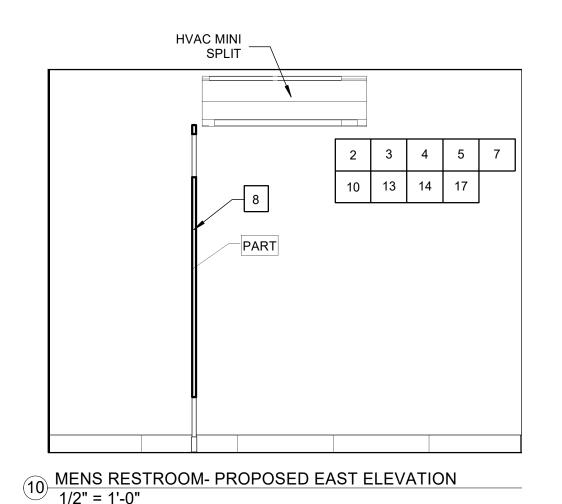
MENS RESTROOM- PROPOSED INTERIOR ELEVATIONS











NEW CONSTRUCTION NOTES

- NEW EXTERIOR WALL. MATCH EXISTING FINISH AND TRIM AT ADJACENT WALLS.
- NEW PLUMBING FIXTURES, SEE PLUMBING.
- NEW MECHANICAL EQUIPMENT, SEE MECHANICAL

- NEW RESTROOM ACCESSORIES AND GRAB BARS; SEE
- ENLARGED RESTROOM PLANS AND ELEVATIONS.
- NEW FLOOR MOUNTED OVERHEAD BRACED TOILET PARTITIONS
- NEW VANITY; SEE DETAIL ON RESTROOM DRAWINGS
- NEW INTERIOR FINISHES INSIDE EXISTING AND NEW RESTROOMS; REFER TO FINISH SCHEDULE AND SPECIFICATIONS
- 11 NEW EXTERIOR DOOR AND FRAME; REFER TO DOOR SCHEDULE
- MODIFY BRICKWORK AS REQUIRED TO INSTALL NEW RESTROOMS, PATTERNING, BORDER LAYOUT, AND METHOD OF INSTALLATION TO MATCH EXISTING.
- 13 INSTALL NEW TILE FLOOR AND TILE BASE.
- 14 REPAIR CONCRETE AS REQUIRED FOR RESTROOM RENOVATION.
- 15 INSTALL NEW CONCRETE FLOOR AND FOUNDATION.
- REINSTALL AND REPAIR VERTICAL WALL BOARDS AND TRIM.
- NEW CEILING. SEE FINISH SCHEDULE. PROVIDE FRAMING AND BLOCKING AS REQUIRED FOR NEW CEILING.

REPLACE IN-KIND BOARDS AND TRIM THAT CANNOT BE REUSED.

18 INSTALL SIGNAGE ON RESTROOM DOORS.

BID DRAWINGS

ISSUE DATE:

18-0125

12/21/18

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TOILET ACCESSORY SCHEDULE DESCRIPTION MODEL NO. NOTES TAG MANUF. HORIZONTAL, SURFACE MOUNTED, **KOALA KARE** KB-200 STATION DRY HAND DRYER XLERATOR SURFACE MOUNTED, WHITE 1 1/2" SNAP ON FLANGE MOUNTING, GB1 **PSISC** 36" GRAB BAR SATIN FINISH 1 1/2" SNAP ON FLANGE MOUNTING, GB2 42" GRAB BAR **PSISC** SATIN FINISH 1 1/2" SNAP ON FLANGE MOUNTING, GB3 18" GRAB BAR **PSISC** SATIN FINISH COUNTERTOP CHANNEL FRAME MIRROR 18" W X **PSISC** MR-341 MIRROR NAPKIN DISPOSAL PSISC SURFACE MOUNT, LIFT DOOR **PSISC** SOAP DISPENSER VERTICAL, SURFACE MOUNTED TCD PSISC SURFACE MOUNTED COVER DISPENSER TISSUE DISPENSER **PSISC** SURFACE MOUNTED STAINLESS STEEL, 16 GALLON HALF TC1 TRASH CAN ROUND TC2 TRASH CAN ULINE STAINLESS STEEL, 13 GALLON SLIM

RESTROOM MATERIAL SELECTIONS								
TAG	DESCRIPTION	MANUF.	MODEL NO.	NOTES				
PART	PARTITION	COLUMBIA PHENOLIC	72835 CLASS A	STAINLESS STEEL ACCESSORIES AND FASTENERS, COLOR: 1097 CITADEL, MATTE FINISH				
VC	VANITY COUNTERTOP	CORIAN	N/A	NATURAL GRAY				
sc	SCONCE	ROBERT ABBEY,	C1311	RODERICK DOUBLE SCONCE, ANTIQUE				

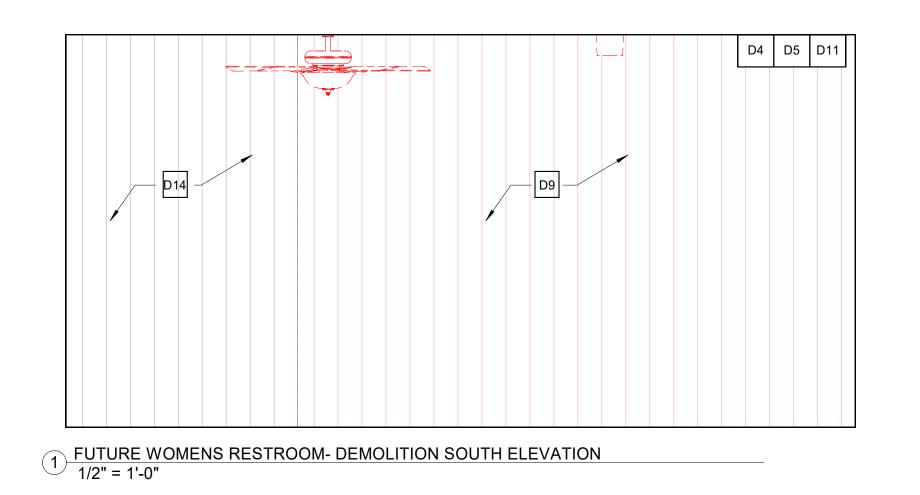
GENERAL RESTROOM NOTES

- ALL ACCESSIBLE TOILET STALLS AND ROOMS SHALL COMPLY WITH ADA AND ANSI A117.
- MOUNTING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR UNLESS NOTED OTHERWISE. COMPLY WITH ADA.
- PLAN DIMENSIONS ARE TO FACE OF FRAMING EXCEPT FOR EXISTING WALLS WHERE DIMENSIONS ARE TO FACE
- DUE TO EXISTING FINISH CONDITIONS WITHIN EACH RESTROOM, CONTRACTOR SHALL LAYOUT DIMENSIONS ON FLOOR AND VERIFY WITH ARCHITECT PRIOR TO ERECTING RESTROOM WALLS.
- ALL ACCESSIBLE WATER CLOSETS SHALL BE LOCATED 18" FROM FINISHED WALL SURFACES TO THE CENTERLINE OF WATER CLOSET.
- REFER TO FLOOR PLANS & ELEVATIONS FOR OTHER TOILET AREA INFORMATION OR EXTENT OF ACCESSORIES NOT SHOWN ON THESE DRAWINGS.
- ONE COAT HOOK (W/BUMPER) SHALL BE INSTALLED ON THE BACK OF ALL TOILET STALL DOORS - COLUMBIA
- ALL RESTROOM FLOORS AND WALL BASE TO RECEIVE NEW TILE (NEW AND EXISTING). REFER TO RESTROOM ELEVATIONS FOR EXTENT OF TILE.
- TILE PATTERNS ARE A GRAPHICAL ILLUSTRATION. ACTUAL LAYOUT IN FIELD SHALL UTILIZE LARGE/WHOLE TILES TO AVOID THIN SLIVERS OF TILES AT WALL INTERSECTIONS. ALIGN SEEMS OF FLOOR TILE WITH WALL TILE.
- 10. SEE SHEET A901 FOR FINISH SCHEDULE.
- 11. PROVIDE BLOCKING AS REQUIRED TO INSTALL FINISHES AND ACCESSORIES.

REVISIONS

INTERIOR **ELEVATIONS**

WOMENS RESTROOM (EXISTING OPEN ARCADE)- DEMOLITION INTERIOR ELEVATIONS



TCD

PART

TCD

WOMENS RESTROOM- PROPOSED SOUTH ELEVATION
1/2" = 1'-0"

7 | 10 | 13 | 15

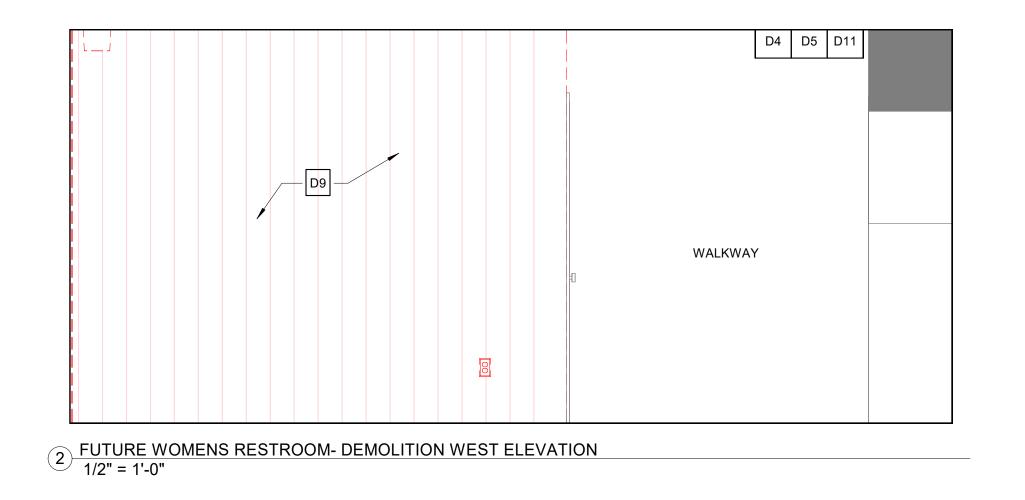
PART

— WC

WOMENS RESTROOM- PROPOSED WEST ELEVATION

SC

VC



WOMENS RESTROOM- PROPOSED INTERIOR ELEVATIONS

HVAC MINI

(5) WOMENS RESTROOM- PROPOSED NORTH ELEVATION

7 | 10 | 13 | 15

TAG

GB1

GB2

GB3

MR1

SD

TCD

TD

TC1

TC2

DESCRIPTION

BABY CHANGING

STATION

HAND DRYER

36" GRAB BAR

42" GRAB BAR

18" GRAB BAR

COUNTERTOP

MIRROR

NAPKIN DISPOSAL

SOAP DISPENSER

TOILET SEAT

COVER DISPENSER

TISSUE DISPENSER

TRASH CAN

TRASH CAN

LIGHTS COORDINATED

WITH ELECTRICAL.

VERIFY MOUNTING

HEIGHT WITH

ARCHITECT, TYP.

DEMOLITION NOTES

- D1 REMOVE WALL (ALL OR PARTIAL AS NOTED IN DRAWING).
- D2 REMOVE EXISTING PLUMBING FIXTURES, SEE PLUMBING.
- D3 REMOVE EXISTING EXHAUST EQUIPMENT, SEE MECHANICAL
- D4 REMOVE EXISTING ELECTRICAL EQUIPMENT, SEE ELECTRICAL.
- MODIFY EXISTING SPRINKLER HEADS AS REQUIRED TO INSTALL
- REMOVE ALL RESTROOM ACCESSORIES AND GRAB BARS; SEE
- ENLARGED RESTROOM PLANS AND ELEVATIONS.

D7 REMOVE VANITY AND MIRROR

- D8 REMOVE EXISTING INTERIOR FINISHES
- REMOVE WALL FINISH AND ALL TRIM. REMOVE CEILING FINISH AND ALL TRIM.
- D10 REMOVE EXTERIOR DOOR AND FRAME; REFER TO DOOR
- REMOVE AND MODIFY BRICKWORK AS REQUIRED TO INSTALL D11 NEW AND RENOVATED RESTROOMS.
- D12 REMOVE TILE
- CUT, MODIFY, AND REPAIR CONCRETE AS REQUIRED FOR
- TEMPORARILY REMOVE AND OR MODIFY VERTICAL WALL BOARDS TO INSTALL NEW MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS. BOARDS TO BE SALVAGED, REPAIRED, AND RE-INSTALLED.
- D15 REMOVE EXISTING RESTROOM SIGNAGE.

WOMENS RESTROOM- PROPOSED EAST ELEVATION

STAINLESS STEEL, 13 GALLON SLIM

- HVAC MINI

SPLIT

NEW CONSTRUCTION NOTES

- NEW EXTERIOR WALL. MATCH EXISTING FINISH AND TRIM AT ADJACENT WALLS.
- NEW PLUMBING FIXTURES, SEE PLUMBING.
- NEW MECHANICAL EQUIPMENT, SEE MECHANICAL
- NEW ELECTRICAL EQUIPMENT, SEE ELECTRICAL

- NEW RESTROOM ACCESSORIES AND GRAB BARS; SEE ENLARGED RESTROOM PLANS AND ELEVATIONS.
- NEW FLOOR MOUNTED OVERHEAD BRACED TOILET PARTITIONS
- NEW VANITY; SEE DETAIL ON RESTROOM DRAWINGS
- RESTROOMS; REFER TO FINISH SCHEDULE AND SPECIFICATIONS
- NEW EXTERIOR DOOR AND FRAME; REFER TO DOOR SCHEDULE
- MODIFY BRICKWORK AS REQUIRED TO INSTALL NEW RESTROOMS, PATTERNING, BORDER LAYOUT, AND METHOD OF INSTALLATION TO MATCH EXISTING.
- 13 INSTALL NEW TILE FLOOR AND TILE BASE.
- 14 REPAIR CONCRETE AS REQUIRED FOR RESTROOM RENOVATION.
- 15 INSTALL NEW CONCRETE FLOOR AND FOUNDATION.
- REINSTALL AND REPAIR VERTICAL WALL BOARDS AND TRIM. REPLACE IN-KIND BOARDS AND TRIM THAT CANNOT BE REUSED.
- NEW CEILING. SEE FINISH SCHEDULE. PROVIDE FRAMING AND BLOCKING AS REQUIRED FOR NEW CEILING.
- 18 INSTALL SIGNAGE ON RESTROOM DOORS.

BID DRAWINGS

18-0125

12/21/18

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ISSUE DATE:

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SENERAL RESTROOM NOTES

- COMPLY WITH ADA AND ANSI A117.
- FLOOR UNLESS NOTED OTHERWISE. COMPLY WITH ADA.
- RESTROOM, CONTRACTOR SHALL LAYOUT DIMENSIONS ON FLOOR AND VERIFY WITH ARCHITECT PRIOR TO ERECTING RESTROOM WALLS.
- FROM FINISHED WALL SURFACES TO THE CENTERLINE OF
- REFER TO FLOOR PLANS & ELEVATIONS FOR OTHER TOILET AREA INFORMATION OR EXTENT OF ACCESSORIES
- ALL RESTROOM FLOORS AND WALL BASE TO RECEIVE NEW TILE (NEW AND EXISTING). REFER TO RESTROOM
- TILE PATTERNS ARE A GRAPHICAL ILLUSTRATION. ACTUAL LAYOUT IN FIELD SHALL UTILIZE LARGE/WHOLE TILES TO AVOID THIN SLIVERS OF TILES AT WALL INTERSECTIONS.
- 10. SEE SHEET A901 FOR FINISH SCHEDULE.
- 11. PROVIDE BLOCKING AS REQUIRED TO INSTALL FINISHES AND ACCESSORIES.

DULE	G
NOTES	1.
HORIZONTAL, SURFACE MOUNTED, GRAY	2.
SURFACE MOUNTED, WHITE	
1 1/2" SNAP ON FLANGE MOUNTING, SATIN FINISH	3.
1 1/2" SNAP ON FLANGE MOUNTING, SATIN FINISH	4.
1 1/2" SNAP ON FLANGE MOUNTING, SATIN FINISH	
CHANNEL FRAME MIRROR 18" W X 36" H	5.
SURFACE MOUNT, LIFT DOOR	
VERTICAL, SURFACE MOUNTED	6.
SURFACE MOUNTED	7.
SURFACE MOUNTED	
STAINLESS STEEL, 16 GALLON HALF	8

	RESTR	OOM MATE	RIAL SELE	CTIONS
TAG	DESCRIPTION	MANUF.	MODEL NO.	NOTES
PART	PARTITION	COLUMBIA PHENOLIC	72835 CLASS A	STAINLESS STEEL ACCESSORIES AND FASTENERS, COLOR: 1097 CITADEL, MATTE FINISH
VC	VANITY COUNTERTOP	CORIAN	N/A	NATURAL GRAY
SC	SCONCE	ROBERT ABBEY, INC.	C1311	RODERICK DOUBLE SCONCE, ANTIQUE SILVER, COMPACT FLUORESCENT

TOILET ACCESSORY SCHEDULE

KOALA KARE

XLERATOR

PSISC

PSISC

PSISC

PSISC

PSISC

PSISC

PSISC

PSISC

ULINE

ULINE

MODEL NO.

KB-200

XL-BW

GB-231

SD-111

TC-111

H-4454

H-3621

- ALL ACCESSIBLE TOILET STALLS AND ROOMS SHALL
- MOUNTING HEIGHT DIMENSIONS ARE FROM FINISHED
- PLAN DIMENSIONS ARE TO FACE OF FRAMING EXCEPT FOR EXISTING WALLS WHERE DIMENSIONS ARE TO FACE
- DUE TO EXISTING FINISH CONDITIONS WITHIN EACH
- ALL ACCESSIBLE WATER CLOSETS SHALL BE LOCATED 18"
- NOT SHOWN ON THESE DRAWINGS.
- ONE COAT HOOK (W/BUMPER) SHALL BE INSTALLED ON THE BACK OF ALL TOILET STALL DOORS - COLUMBIA #ZA-274-080.
- ELEVATIONS FOR EXTENT OF TILE.
- ALIGN SEEMS OF FLOOR TILE WITH WALL TILE.

INTERIOR

ELEVATIONS

				ROOM FINISH SCHEDU	ILE				
		Floor		Walls		Ceilings	Trim		A
							Base/Wainscot		Area (Conditioned)
Room Name	Material	Finish	Material	Finish (Color)	Material	Finish (Color)	Туре	Base Finish	(Conditioned)
MENS ADA RESTROOM	SEAL CONC, TILE	12 x 24, Mosa Quartz Product #: 4104 RQ, Grout: Spectralock Pro, Raven 45	FMG	Level 4 skim on all walls, PNT, Semi- Gloss, Color: Benjamin Moore Horizon Gray 2141-50	FMG	Level 4 skim on all ceilings, Satin, PNT, Color: Benjamin Moore Distant Gray – 2124-70	TILE	4 x 24, Mosa Quartz Product #: 4104 RQ, Grout: Spectralock Pro, Raven 45	63 sq. ft.
WOMENS ADA RESTROOM	SEAL CONC, TILE	12 x 24, Mosa Quartz Product #: 4104 RQ, Grout: Spectralock Pro, Raven 45	FMG	Level 4 skim on all walls, PNT, Semi- Gloss, Color: Benjamin Moore Horizon Gray 2141-50	FMG	Level 4 skim on all ceilings, Satin, PNT, Color: Benjamin Moore Distant Gray – 2124-70	TILE	4 x 24, Mosa Quartz Product #: 4104 RQ, Grout: Spectralock Pro, Raven 45	66 sq. ft.
MENS RESTROOM	SEAL CONC, TILE	12 x 24, Mosa Quartz Product #: 4104 RQ, Grout: Spectralock Pro, Raven 45	FMG	Level 4 skim on all walls, PNT, Semi- Gloss, Color: Benjamin Moore Horizon Gray 2141-50	FMG	Level 4 skim on all ceilings, Satin, PNT, Color: Benjamin Moore Distant Gray – 2124-70	TILE	4 x 24, Mosa Quartz Product #: 4104 RQ, Grout: Spectralock Pro, Raven 45	72 sq. ft.
WOMENS RESTROOM	SEAL CONC, TILE	12 x 24, Mosa Quartz Product #: 4104 RQ, Grout: Spectralock Pro, Raven 45	FMG	Level 4 skim on all walls, PNT, Semi- Gloss, Color: Benjamin Moore Horizon Gray 2141-50	FMG	Level 4 skim on all ceilings, Satin, PNT, Color: Benjamin Moore Distant Gray – 2124-70	TILE	4 x 24, Mosa Quartz Product #: 4104 RQ, Grout: Spectralock Pro, Raven 45	109 sq. ft.

	FINISH LEGEND
Key Name	Comments
CONC	Concrete
FMG	Fiberglass Mat Gypsum
N/A	Not Applicable
PNT	Painted
SEAL	Sealed
SND	SOUND MAT
TILE	Tile
WD	Wood

CONNECTIONS:	FASTENERS:	NUMBER/SPACING:
WOOD STRUCTURAL PANEL + PART. BOARD SUBFLOOR	SEE NOTE #7	
15 · 1 · 32 · 2	Gd COMMON, ANNULAR OR SPIRAL THREAD	6° o.c. EDGES AND 12° o.c. INTERMEDIATE
19. 3. 32. 4	8d COMMON OR Gd ANNULAR OR SPIRAL THREAD	6° o.c. EDGES AND 12° o.c. INTERMEDIATE
1°, ½°	10d COMMON OR 8d ANNULAR OR SPIRAL THREAD	6° o.c. EDGES AND 6° o.c. INTERMEDIATE
15 · 1 · 32 · 2	16ga GALV. WIRE STAPLES § MIN. CROWN 15 LENGTH	4° o.c. EDGES AND 7° o.c. INTERMEDIATE
19 · 5 · 32 · 8	16ga GALV. WIRE STAPLES g. MIN. CROWN 15 LENGTH	$2-\frac{1}{2}$ o.c. EDGES AND 4' INTERMEDIATE
WOOD STRUCTURAL PANEL AND PART, BOARD ROOF + WALL SHEATHING		
2 OR LESS	Gd COMMON (WALL) 8d COMMON (ROOF)	6° o.c. EDGES AND 12° o.c. INTERMEDIATE
19. OR GREATER	8d COMMON	6° o.c. EDGES AND 12° o.c. INTERMEDIATE
5 1. 1. 2	16ga GALV. WIRE STAPLES 3. MIN. CROWN LENGTH OF	4° o.c. EDGES AND 8° o.c. INTERMEDIATE
193. 324.	1° PLUS THICKNESS 16ga GALV. WIRE STAPLES 3° MIN. CROWN LENGTH OF	2° o.c. EDGES AND 5° o.c. INTERMEDIATE

FINISH SCHEDULE NOTES

REFER TO SPECIFICATIONS FOR FURTHER INFORMATION ON FINISHES

2. FINISH SCHEDULE STATES INTENDED WALL FINISH FOR EACH OF FOUR WALLS IN EACH ROOM.

3. ALL PLASTER & GYPSUM BOARD CEILINGS SHALL RECEIVE SATIN WHITE PAINT FINISH. REFER TO PAINT SCHEDULE IN SPECIFICATIONS.

4. REFER TO PLANS & ELEVATIONS AND SPECIFICATIONS FOR FINISHES REQUIRED.

6. ALL INTERIOR PAINTING SHALL NOT COMMENCE UNTIL BUILDING IS COMPLETELY DRIED IN, MADE WATERTIGHT AND IS ENVIRONMENTALLY CONTROLLED INCLUDING TEMPERATURE AND HUMIDITY. THIS NOTE SUPERSEDES THE MANUFACTURER'S SPECIFICATIONS.

7. WHEREVER PORCELAIN TILE (PT) FLOORING MEETS A CHANGE IN FLOOR FINISH, PROVIDE A THRESHOLD.

8. WHERE CONC. IS NOTED ON THE FINISH SCHEDULE, PROVIDE A CLEAR PENETRATING SEALER FOR CONCRETE FLOORS; SEE SPECS. SUBMIT MANUF. PRODUCT INFORMATION PRIOR TO APPLICATION.

9. ASSUME ALL PLASTER AND GYPSUM WALLS TO BE NEWLY PAINTED.

10. ASSUME ALL NEW AND EXISTING PAINTED VERTICAL WOOD WALLS TO BE NEWLY PAINTED. MATCH EXISTING PAINT COLOR.

11. STUCCO DAMAGED AND REPAIRED DURING WINDOW RESTORATION TO BE PAINTED TO MATCH EXISTING WALL.

12. PROVIDE BLOCKING AS REQUIRED TO INSTALL ALL FINISHES.

<u>M</u>

2811,

RUCTIO

CITY OF BEAUFORT
BEAUFORT ARSENAL
713 CRAVEN STREET
BEAUFORT, SC 29902

BID DRAWINGS

PROJ. ISSUE DATE:

REVISIONS
DATE NOTES

FINISH SCHEDULE

4901

GENERAL NOTES:

- 1. PROVIDE ALL MATERIALS AND LABOR FOR COMPLETE AND PROPERLY FUNCTIONING MECHANICAL SYSTEMS. WARRANTY ALL WORK AND ALL MATERIALS, EQUIPMENT AND DEVICES FOR A PERIOD OF ONE YEAR AFTER OWNER'S ACCEPTANCE.
- 2. WORK SHALL CONFORM TO OR MEET THE REQUIREMENTS OF THE MOST CURRENT EDITION OF:
 - A: INTERNATIONAL MECHANICAL CODE
 - B: SMACNA
 - C: ASHRAE
 - D: ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES WHICH APPLY TO THIS WORK.
- 3. DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO BE SCALED FOR DIMENSIONS.
- 4. ALL MATERIALS, EQUIPMENT AND DEVICES SHALL MEET THE REQUIREMENTS OF UL WHERE UL STANDARDS ARE ESTABLISHED FOR THOSE ITEMS. ALL ITEMS SHALL BE CLASSIFIED BY UL AS SUITABLE FOR THE PURPOSE USED.
- 5. COORDINATE LOCATION OF MECHANICAL WORK WITH OTHER TRADES TO AVOID CONFLICTS AND INTERFERENCES.
- 6. INSTALL ALL EQUIPMENT AND MATERIAL IN ACCORDANCE WITH MANUFACTURE'S WRITTEN, PRINTED INSTRUCTIONS AND RECOMMENDATIONS.
- 7. PROVIDE OWNER WITH CERTIFICATES OF FINAL INSPECTION AND ACCEPTANCE FROM AUTHORITY HAVING JURISDICTION.
- 8. ALL EQUIPMENT, PIPE AND DUCTWORK ABOVE CEILING SHALL BE SUPPORTED FROM BUILDING STRUCTURE ABOVE.
- 9. WHERE PIPES PENETRATE FIRE RATED WALLS, FLOORS OR CEILING, SEAL OPENING AROUND PIPES WITH U.L. LISTED FIRE STOPPING MATERIAL TO MAINTAIN THE FIRE RATING OF THE WALL, FLOOR OR CEILING IN ACCORDANCE WITH U.L. LISTED DESIGN FOR 1 HOUR PENETRATIONS. SUBMIT U.L. DESIGN FOR FIRE RATED PENETRATIONS SEALS TO ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO START OF WORK.
- 10. ALL ROOF PENETRATIONS SHALL BE COORDINATED WITH ROOFING CONTRACTOR TO ENSURE ROOF BOND WILL BE MAINTAINED.
- 11. ALL CONDENSATE DRAIN AND REFRIGERANT PIPING SHALL BE INSULATED WITH 3/4" AEROCEL INSULATION.
- 12. PROVIDE ALL OPERATION AND MAINTENANCE MANUALS FOR MECHANICAL EQUIPMENT TO BUILDING OWNER.

LEGEND:

\bowtie	SUPPL`
	301 I L

□ RETURN

Z EXHAUST

— MANUAL VOLUME DAMPER (MVD)

FIRE DAMPER

(T) THERMOSTAT

A/### AIR DEVICE MARK/CFM

RG RETURN AIR GRILL

REFRIG. REFRIGERANT

CD CONDENSATE DRAIN

HP HEAT PUMP

AHU AIR HANDLING UNIT

O.A. OUTSIDE AIR

>>> TURNING VANE

OBD OPPOSED BLADE DAMPER

S SMOKE DETECTOR

MOTORIZED DAMPER ACTUATOR

AFF ABOVE FINISH FLOOR

AFG ABOVE FINISH GRADE

(E) EXISTING

FAN SCHEDULE		
MARK	EF-1,2,4	EF-3
FAN TYPE	CEILING CABINET EXHAUST	CEILING CABINET EXHAUST
AIR QUANTITY — CFM	75	225
EXT. S.P IN. W.G.	0.25	0.25
DRIVE	DIRECT	DIRECT
SONES (MAXIMUM)	0.4	2.5
MOTOR - HP (WATTS)	(15)	(54.7)
ELECTRICAL - V/Ø/Hz	120/1/60	120/1/60
MANUFACTURER	GREENHECK	GREENHECK
MODEL NO.	SP-A90	SP-A200
NOTES	1,2,4	1,2,4

NOTES:

- 1. PROVIDE GREENHECK OR APPROVED EQUAL BY COOK, ACME, CARNES, BRIEDERT, OR TWIN CITY FANS.
- 2. PROVIDE A UNIT MOUNTED DISCONNECT SWITCH,
 BACKDRAFT DAMPER, ENERGY EFFICIENT VARIGREEN MOTOR,
 AND ROOF/WALL CAP.
- 3. CONTROL WITH LOCAL SWITCH.4. CONTROL WITH LOCAL LIGHT SWITCH.

M	ULTI-SPLIT SYSTEM HEAT PUMPS	SCHEDULE					
	MARK	AHU-1A	AHU-1B	AHU-1C	AHU-1D		
	SUPPLY AIR - CFM	280	280	290	500		
	OUTSIDE AIR - CFM	_	_	_	_		
	EXT. S.P. – IN. W.G.	_	_	_	_		
FAN	BLOWER MOTOR — KW	0.008	0.008	0.008	0.008		
	MINIMUM CIRCUIT AMPACITY	0.40	0.40	0.40	0.5		
_	ELECTRICAL - V/Ø/Hz	208/1/60	208/1/60	208/1/60	208/1/60		
	APPROXIMATE WEIGHT — LB.	26	26	26	31		
ROOUNI ROOUNI	TOTAL CAPACITY — MBTUH	9.5	9.5	12.0	18.0		
	SENSIBLE CAPACITY — MBTUH	7.3	7.3	8.9	13.7		
	ENT. AIR TEMP. — °F dB/wB	80/67	80/67	80/67	80/67		
HEATING	HIGH TEMP. HEATING — MBTUH AT ARI	10.5	10.5	13.5	20.0		
	AUXILIARY HEATER-KW/STEPS *	_	_	_	_		
	MARK	HP-1					
-	TOTAL CAPACITY — MBTUH	45.5					
	AMBIENT AIR TEMP. — °F db	95°F (COOLING) / 47°F (HEATING)					
	COMPRESSORS — NO.	1					
	ELECTRICAL — V/Ø/Hz	208/1/60					
	APPROXIMATE WEIGHT — LB.	176					
	MINIMUM CIRCUIT AMPACITY	29.1					
	PROT. RTG. RECMD. (AMPS)	35					
SYS	TEM SEER AT ARI	18.0					
SYST	EM HSPF — HIGH TEMP. HEATING AT ARI	10.0					
JNIT	TYPE	WALL MOUNT CONSOLE	WALL MOUNT CONSOLE	WALL MOUNT CONSOLE	WALL MOUNT CONSOLE		
/AN	UFACTURER (SEE NOTE 5)	DAIKIN	DAIKIN	DAIKIN	DAIKIN		
NDC	OOR UNIT MODEL NO.	FXAQ09PVJU	FXAQ09PVJU	FXAQ12PVJU	FXAQ18PVJU		
HEA	T PUMP MODEL NO.	RXTQ48TAVJU					

NOTES:

NOTES

1. THE INSTALLER SHALL BE CERTIFIED BY THE EQUIPMENT MANUFACTURER, AND SHALL PROVIDE REFRIGERANT PIPING,
THAT SHALL BE SIZED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

1,2,3,4,5

1,2,3,4,5

1,2,3,4,5

1,2,3,4,5

- 2. PROVIDE WITH THE STANDARD FILTER TYPE.
- 3. PROVIDE WITH A WIRELESS REMOTE CONTROLLER WITH A WALL MOUNT BRACKET.
- 4. PROVIDE WITH DAIKIN "SEACOAST" COIL PROTECTION TREATMENT.
- 5. PROVIDE UNITS BY DAIKIN OR APPROVED EQUAL BY MITSUBISHI ELECTRIC, SAMSUNG, OR LG.

 * KW RATING AT THE SPECIFIED VOLTAGE.

LIVE OAK CONSULTANTS Engineers, Project Managers & Planners PO Box 60490 North Charleston, SC 29419 MAIN: (843) 529-9428 FAX: (800) 915-0341 www.LiveOakConsultants.com Email: Info@LiveOakConsultants.com
LIVE OAK CONSULTANTS LLC NO. 3886 NO. 3886 CLIENT:
MEAD RS 2811 Azalea Drive Charleston, SC 29405

12/19/18	KLS	

REV. DATE REV. BY
REVISION INFORMATION

ISSUE FOR CONSTRUCTION

PROJ. MANAGER: G. ULMER
DESIGNED BY: K.STEPHENS
DRAWN BY: K.STEPHENS
APPROVED BY: G. ULMER
SCALE: AS SHOWN
PROJ. NUMBER: 20180174

DRAWING TITLE:

CAD FILE:

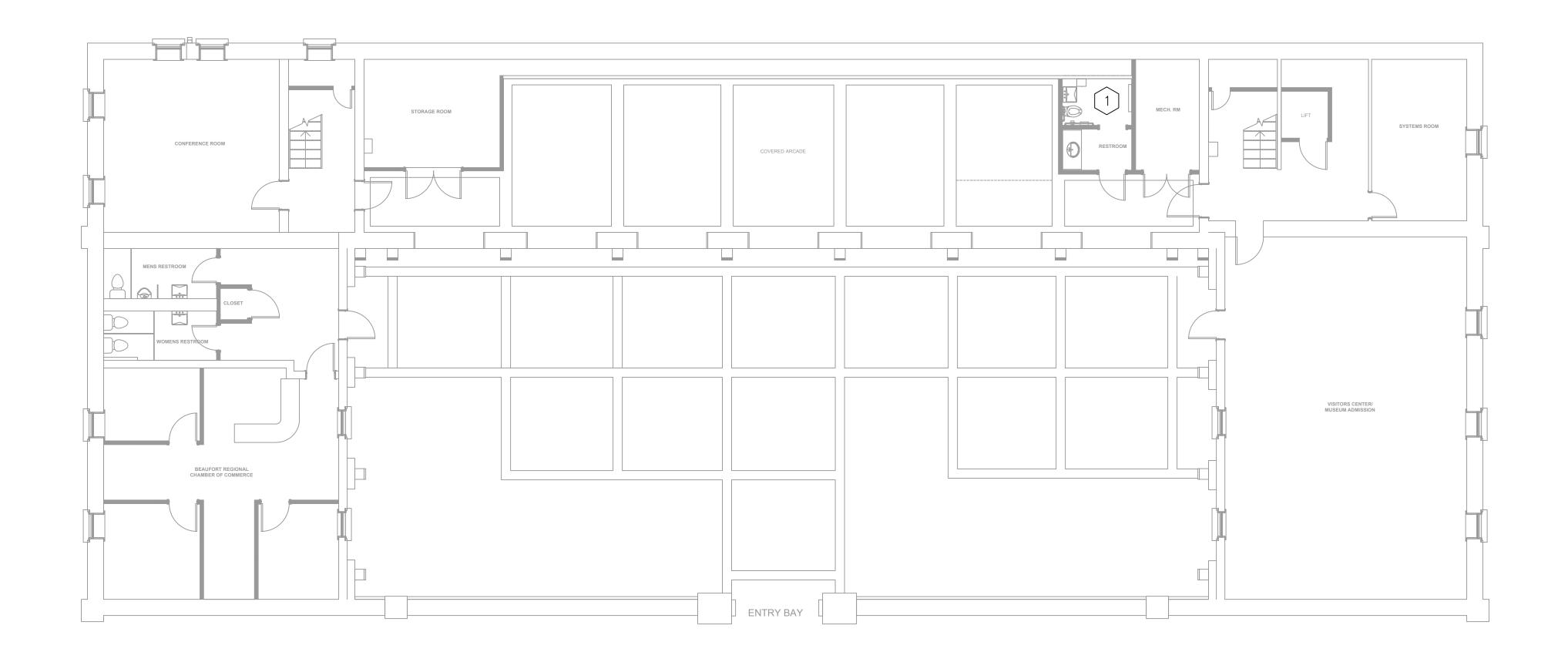
Beaufort Arsenal
713 Craven St., Beaufort, SC

MECHANICAL NOTES, LEGEND, & SCHEDULES

DRAWING NO.:

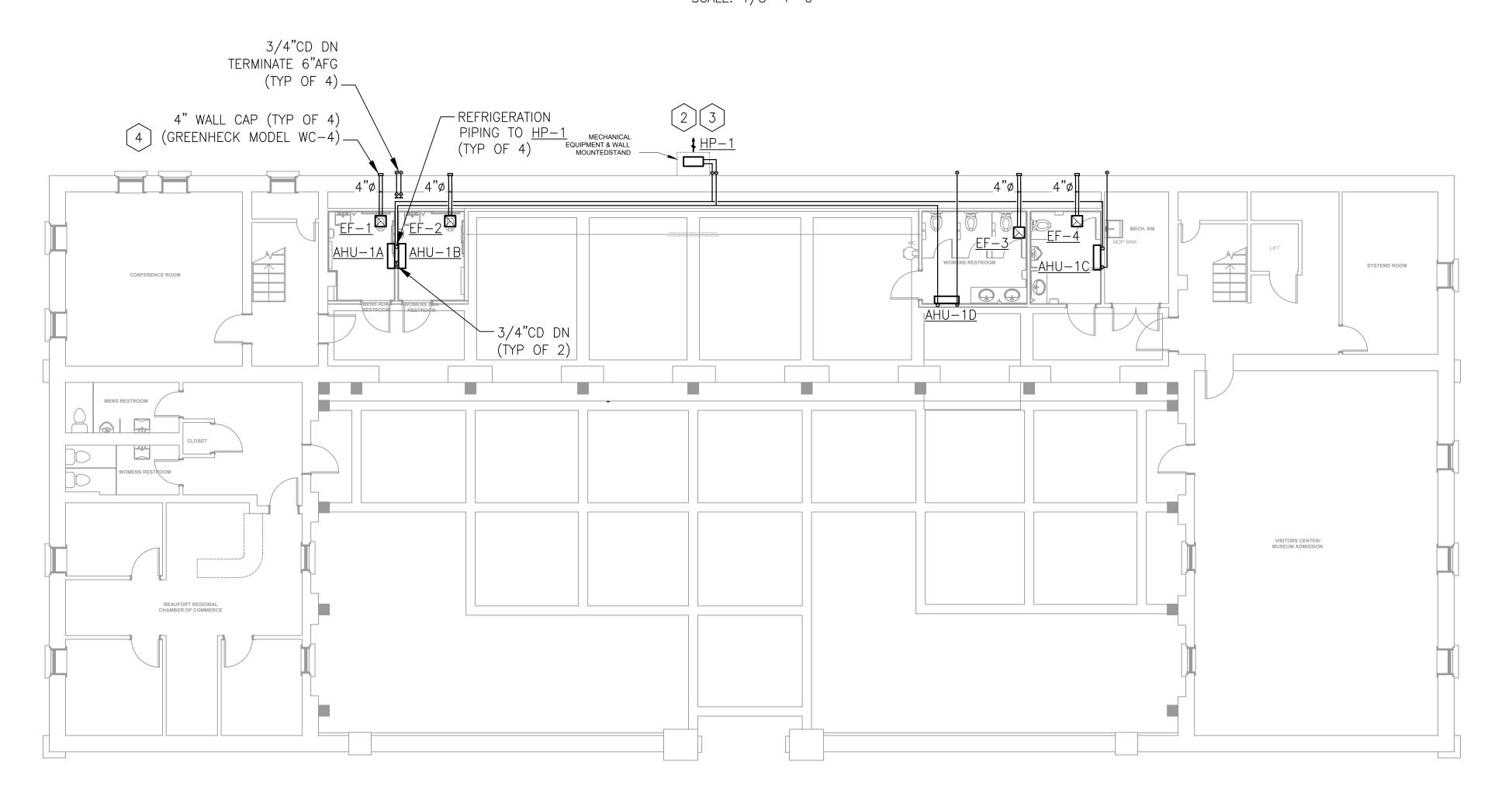
M0-01





MECHANICAL DEMOLITION PLAN

SCALE: 1/8"=1'-0"



KEYED NOTES:

1 DEMOLITION THE EXISTING CEILING FAN.

MOUNT <u>HP-1</u> TO WALL ABOUT 8' AFG. SEE BRACKET DETAIL ON SHEET M5-01. PAINT STEEL BRACKET. SEE ARCHITECTURAL DRAWINGS FOR COLOR AND PAINTING REQUIREMENTS.

3 INSTALL REFRIGERANT PIPING IN ACCORDANCE WITH THE MANUFACTURER'S DESIGN REQUIREMENTS.

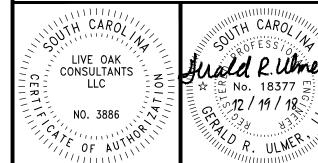
4 FIELD PAINT THE WALL CAPS TO MATCH THE BUILDING COLOR. SEE ARCHITECTURAL DRAWINGS FOR COLOR AND PAINT REQUIREMENTS.



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CLIENT

MEAD

2811 Azalea Drive Charleston, SC 29405

12/19/18 KLS

ISSUE FOR CONSTRUCTION

REV. DATE REV. BY

REVISION INFORMATION

PROJ. MANAGER: G. ULMER
DESIGNED BY: K. STEPHENS
DRAWN BY: K. STEPHENS
APPROVED BY: G. ULMER
SCALE: AS SHOWN
PROJ. NUMBER: 20180174
CAD FILE:

DRAWING TITLE:

Beaufort Arsenal
713 Craven St., Beaufort, SC

MECHANICAL PLAN

DRAWING NO.:

M1-01

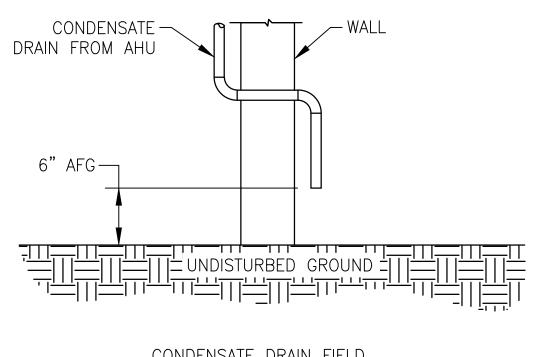
MECHANICAL PLAN

SCALE: 1/8"=1'-0"

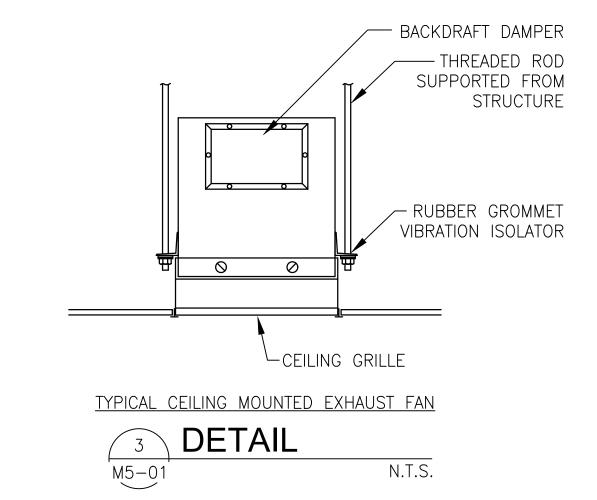
1. FIELD PAINT ALL METAL SURFACES. 2. REFRIGERANT LINES SHALL RUN DOWN INSIDE EXTERIOR WALL.

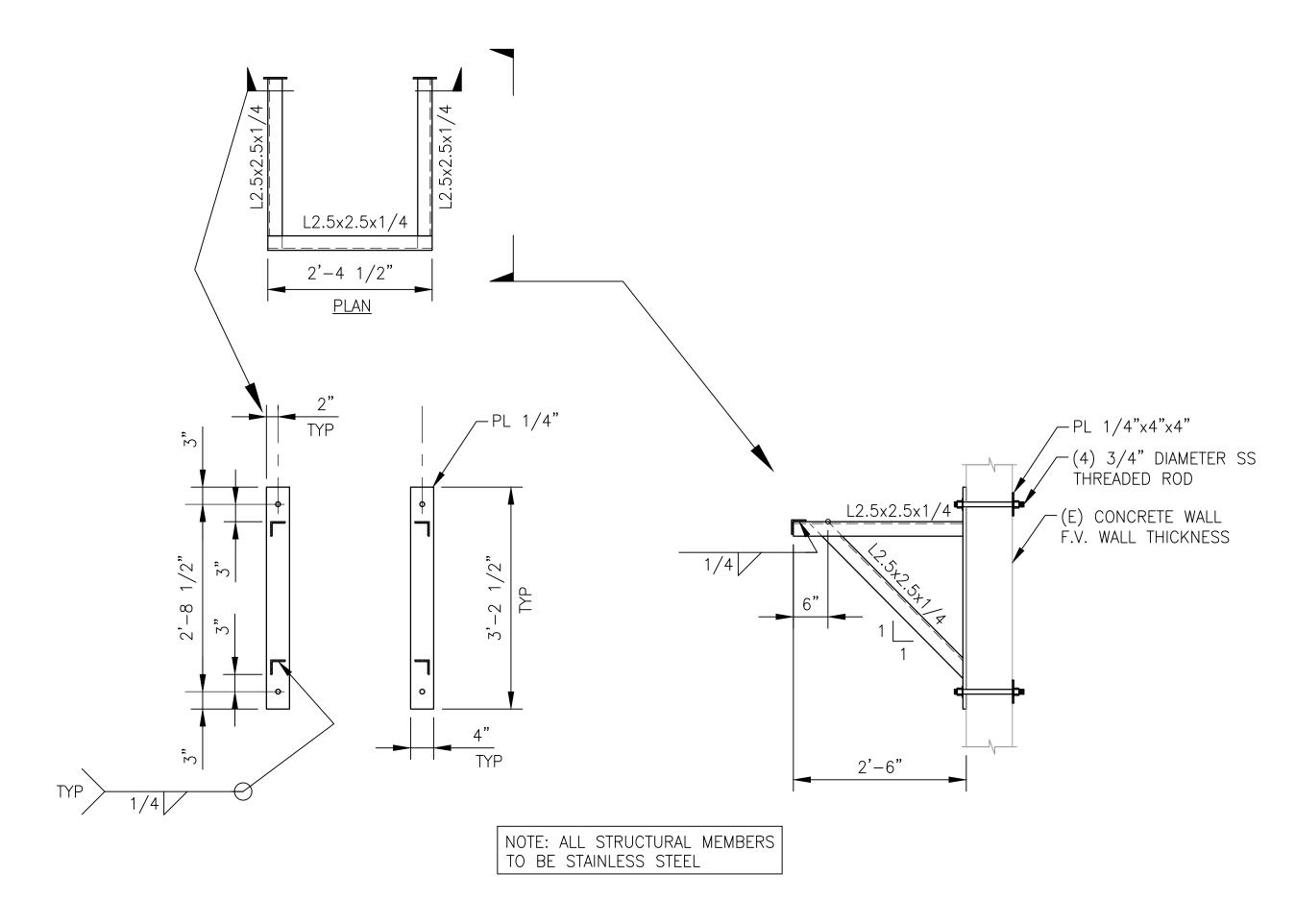
REFRIGERANT PIPE THROUGH EXTERIOR WALL





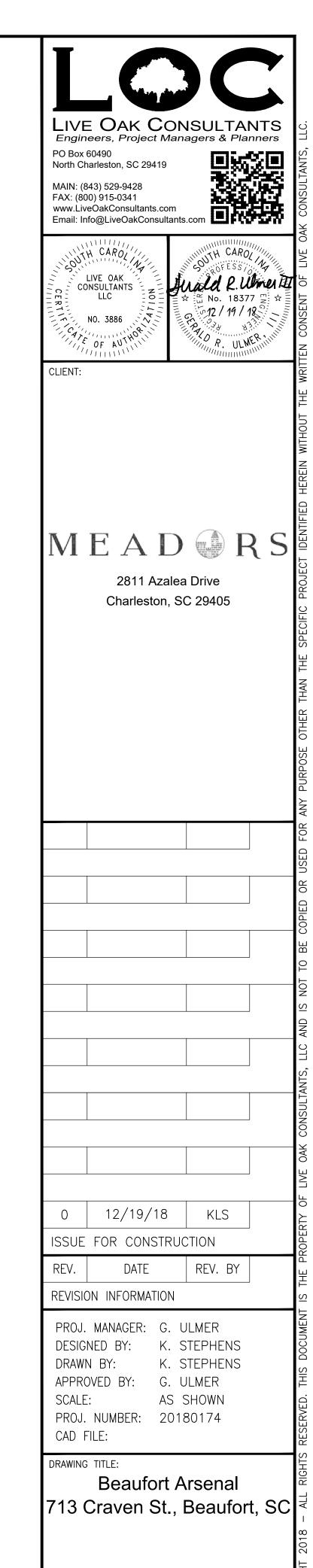






HEAT PUMP SUPPORT





M5-01

DRAWING NO.:

MECHANICAL DETAILS

2. WORK SHALL CONFORM TO OR MEET THE REQUIREMENTS OF THE MOST CURRENT EDITION OF:

A. INTERNATIONAL PLUMBING CODE

B. ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES WHICH APPLY TO THIS WORK.

3. DRAWING IS DIAGRAMMATIC IN NATURE AND IS NOT INTENDED TO BE SCALED FOR DIMENSIONS.

4. ALL MATERIALS SHALL MEET THE REQUIREMENTS OF UL WHERE UL STANDARDS ARE ESTABLISHED FOR THOSE ITEMS. ALL ITEMS SHALL BE CLASSIFIED BY UL AS SUITABLE FOR THE PURPOSE USED.

5. ALL ITEMS SHALL BE NEW AND ALL MATERIALS/EQUIPMENT/DEVICES SHALL BE CURRENT PRODUCTS BY MANUFACTURERS REGULARLY ENGAGED IN THE PRODUCTION OF SUCH PRODUCTS.

6. COORDINATE LOCATION OF PLUMBING WORK WITH OTHER TRADES TO AVOID CONFLICTS AND INTERFERENCES.

7. INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS.

8. COORDINATE AND OBTAIN PERMITS AND INSPECTIONS FROM AUTHORITY HAVING JURISDICTION.

9. PROVIDE OWNER WITH CERTIFICATE OF FINAL INSPECTION AND ACCEPTANCE FROM AUTHORITY HAVING JURISDICTION.

10. WHERE PIPES PENETRATE FIRE RATED WALLS, FLOORS OR CEILING, SEAL OPENING AROUND PIPES WITH U.L. LISTED FIRE STOPPING MATERIAL TO MAINTAIN THE FIRE RATING OF THE WALL, FLOOR OR CEILING IN ACCORDANCE WITH U.L. LISTED DESIGN FOR 1 HOUR PENETRATIONS. SUBMIT U.L. DESIGN FOR FIRE RATED PENETRATIONS SEALS TO ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO START OF WORK.

11. CLEANOUTS, LINE SIZE, UNLESS NOTED OTHERWISE.

12. VALVES SHALL BE LINE SIZE UNLESS NOTED OTHERWISE.

13. ABOVE GROUND WATER PIPING SHALL BE TYPE L COPPER. UNDERGROUND WATER PIPING SHALL BE TYPE K COPPER.

14. WASTE, DRAIN, AND VENT PIPING SHALL BE STANDARD WEIGHT, TYPE 1, PVC. INSTALLED IN ACCORDANCE WITH ASTM D2321. ANY EXPOSED WASTE OR VENT PIPING SHALL BE HUB-LESS CAST IRON. PAINT THE CAST IRON PIPING TO MATCH THE BUILDING COLOR. SEE ARCHITECTURAL DRAWINGS FOR COLOR AND PAINT REQUIREMENTS.

15. COLD AND HOT WATER PIPING SHALL BE INSULATED WITH 1" THICK AEROCEL.

16. VERIFY ALL EXISTING PIPE SIZES. NOTIFY ENGINEER IF EXISTING AS BUILT PIPE SIZES VARY.

17. PROVIDE ALL OPERATION AND MAINTENANCE MANUALS FOR PLUMBING EQUIPMENT TO BUILDING OWNER.

18 GA. SS JACKET WITH SS BANDS AT 12" O.C. (MIN. OF 2); EXTEND JACKET MIN. 3" BEYOND FLOOR (TYP) — -1" LAYER FIREPROOF CAULK COMPLETELY AROUND BOTH FILL VOID COMPLETELY WITH FIREPROOF SIDES SILICONE FOAM OR MINERAL WOOL FIRE - SCHEDULE 40 PIPE SAFING MATERIAL — SLEEVE FLOOR EXTEND NONCOMBUSTIBLE ESCUTCHEON FOR INSULATION MIN. 1" — FINISHED AREAS BEYOND FLOOR (TYP.) NONCOMBUSTIBLE INSULATION 1/2" MINIMUM → - INSULATION

> 1. FINAL METHOD OF INSTALLATION SHALL BE A UL RATED FIRESTOP SYSTEM. SEE ARCHITECTURAL DRAWINGS FOR CONSTRUCTION TYPES. 2. THIS DETAIL TYPICAL FOR CHILLED WATER, CONDENSER WATER AND ALL CONDENSATE WATER.

> > PIPE THROUGH FLOOR



LEGEND:

------ WASTE (W) ----- VENT (V) ----- COLD WATER (CW) ------ HOT WATER (HW) ----- HOT WATER RETURN (HWR)

EXISTING

GATE VALVE

HOSE BIBB (HB)

P-TRAP

SHUT-OFF VALVE

END CAP

TIE-IN POINT UNION

WATER HAMMER ARRESTOR (LETTER INDICATES P.D.I. RATING)

ABOVE FINISH FLOOR

ABOVE FINISH GRADE

CO CLEAN OUT

DOWN DN

FLOOR CLEAN OUT

FLOW CONTROL VALVE

FLOOR DRAIN

GRADE CLEAN OUT

WATER HEATER IN

SUBSTITUTE STANDARD

DIAMETER. MAY

VENT THRU ROOF

WALL CLEAN OUT WATER HEATER

OUTLET RETURN - CIRCULATION ASME RATED PRESSURE — AND TEMPERATURE RELIEF VALVE DIELECTRIC UNION (TYP.) BALL VALVE (TYP.) P&T DRAIN LINE — ROUTE OUTSIDE TO VACUUM BREAKER 12" ABOVE GRADE - SHUT OFF VALVE (TYP.) ELECTRIC WATER -HEATER 3/4" TANK DRAIN WITH —— ANGLE VALVE AND 3/4" MALE HOSE THREADS — 2 GALLON EXPANSION TANK, SUPPORT FROM STRUCTURE AS RECOMMENDED DRAIN PAN, 4" DEEP BY TANK MFGR. AND 4" WIDER THAN

COLD

WATER

INLET

WATER

PLASTIC DRAIN PAN - ROUTE DRAIN TO OUTSIDE TERMINATE 6" ABOVE GRADE 1. PROVIDE AN INLINE CIRCULATING PUMP WITH FLOW RANGE 0-8 GPM AND HEAD RANGE 0-34 FEET; 115V/1PH/60HZ, BRONZE CONSTRUCTION. (TACO

009 OR APPROVED EQUAL) CONTROL WITH AQUASTAT AND SET TO OPERATE

ELECTRIC WATER HEATER WITH CIRCULATION PUMP

WHEN TEMPERATURE DROPS BELOW 100°F.



WATER HEATER SCHEDULE		
MARK	WH-(E)	WH-1
STORAGE (GAL)	55	20
RECOVERY (GPH @ Δ.T.)	21 @ 90°F	13 @ 80°F
TOTAL KW	9.0	2.5
# OF ELEMENTS	2	1
KW OF EACH ELEMENT	4.5	2.5
ELECTRICAL V/ø/Hz	240/1/60	208/1/60
MANUFACTURER	EXISTING	A.O. SMITH
MODEL NO.	_	DEL-20

NOTES:

1. MOUNT UNIT ABOVE DROP CEILING, PROVIDE SUPPORTS AS REQUIRED.

2. ELECTRIC HEAT ELEMENTS SHALL NOT OPERATE

— CHECK VALVE (TYP.)

→HOT WATER

SIMULTANEOUSLY. 3. PROVIDE SEISMIC RESTRAINTS.

MARK P-1 P-2 P-3 P-4	DECODIDATION	CONNECTIONS					
	DESCRIPTION	CW	HW	WASTE	VENT		
P-1	WATER CLOSET: TOTO MODEL CT705EN(G); ECOPOWER FLUSH VALVE MODEL TET1LA32#CP; 1.28GPF; FLOOR MOUNTED; ELONGATED FRONT BOWL.	1/2"	_	3"	2"		
P-2	WATER CLOSET (ADA): TOTO MODEL CT705ELN(G); ECOPOWER FLUSH VALVE MODEL TET1LA32#CP; 1.28GPF; FLOOR MOUNTED; ELONGATED FRONT BOWL.	1/2"	_	3"	2"		
P-3	URINAL: TOTO MODEL UT447EX; ECOPOWER FLUSH VALVE MODEL TEU1LAX12#CP; WALL-MOUNTED ADA COMPLIANT; PROVIDE WALL HANGER.	3/4"	_	2"	2"		
P-4	COUNTERTOP SINK: TOTO MODEL LT401; VITREOUS CHINA; MOUNTING ASSEMBLY INCLUDED; PROVIDE GRID DRAIN MODEL THP5067#CP; SELF-RIMMING; SLOAN FAUCET MODEL SF-2350; ADA COMPLIANT.	1/2"	1/2"	1-1/2"	2"		
P-5	WALL-MOUNT SINK: TOTO MODEL LT307; VITREOUS CHINA; MOUNTING ASSEMBLY INCLUDED; PROVIDE GRID DRAIN MODEL THP5067#CP; SLOAN FAUCET MODEL SF-2350; ADA COMPLIANT.	1/2"	1/2"	1-1/2"	1-1/4"		
⊃-6	MOP/JANITORS SINK: FIAT MODEL FL-1; 21.5"W x 23"L x 13"D x 33.5"H; FLOOR MOUNTED TUB WITH WHITE BAKED ENAMEL ANGLE LEGS; PROVIDE FIAT MODEL A-1 DECK TYPE FAUCET. SEE NOTE 3.	1/2"	1/2"	2"	2"		
FCO	FLOOR CLEANOUT: ZURN MODEL ZN1400; "LEVEL—TROL" ADJUSTABLE; CAST IRON.	_	_	4"	_		
WF	WATER FOUNTAIN: (ADA) WALL-MOUNTED FOUNTAIN AND BOTTLE FILLER; HAWS MODEL 1001/BP15/1920/BP6/6700; DRINKING FOUNTAIN WITH SS BACK PANEL, BOTTLE FILLER WITH SS BACK PLATE, AND FOUNTAIN MOUNTING PLATE.	1/2"	_	1-1/2"	1-1/4"		

1,2,3

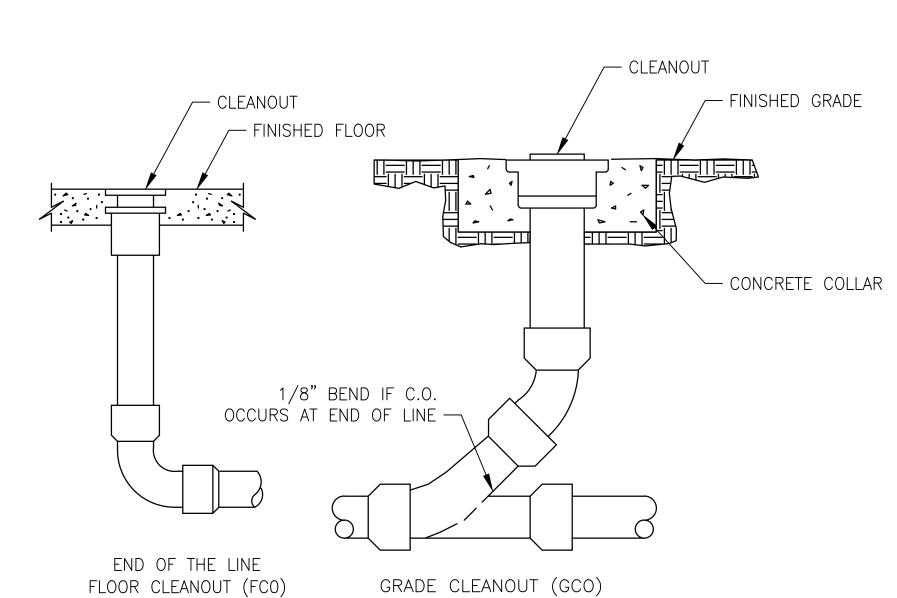
1. PROVIDE "TRUEBRO" INC, HANDI-LAV GUARD INSULATION KITS FOR ADA COMPLIANCE. 2. PROVIDE 17 GAUGE TUBULAR BRASS P-TRAP AND OFFSET TAIL PIECE, ANGLED STOP VALVES

WITH RIGID TUBE RISERS AND ESCUTCHEONS. 3. PROVIDE 17 GAUGE TUBULAR BRASS P-TRAP, TAILPIECE, ANGLED STOP VALVES WITH RIGID

TUBE RISERS AND ESCUTCHEONS.

PLUMBING FIXTURE SCHEDULE

4. PROVIDE ANGLED STOP VALVE AND RIGID TUBE RISER. 5. PROVIDE MODEL SPECIFIED OR APPROVED EQUAL.



FLOOR, & GRADE CLEANOUTS





North Charleston, SC 29419 MAIN: (843) 529-9428 FAX: (800) 915-0341 www.LiveOakConsultants.com Email: Info@LiveOakConsultants.com CARO! TH CAROL

funda R. White II CONSULTANTS NO. 3886

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Charleston, SC 29405

12/19/18 KLS ISSUE FOR CONSTRUCTION REV. BY REV. DATE

REVISION INFORMATION

PROJ. MANAGER: G. ULMER DESIGNED BY: K.STEPHENS DRAWN BY: K.STEPHENS APPROVED BY: G. ULMER SCALE: AS SHOWN PROJ. NUMBER: 20180174 CAD FILE:

DRAWING TITLE:

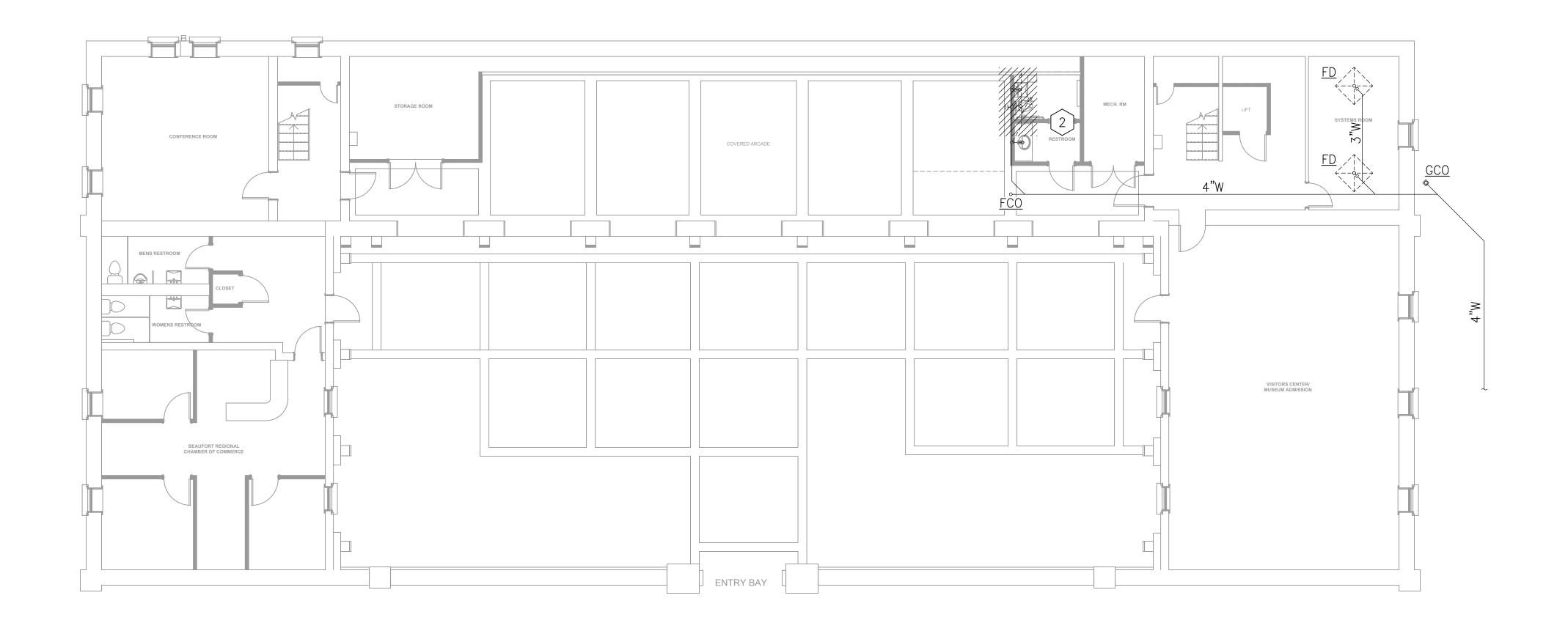
Beaufort Arsenal 713 Craven St., Beaufort, SC

PLUMBING NOTES, LEGEND, DETAILS, & SCHEDULES

DRAWING NO.:

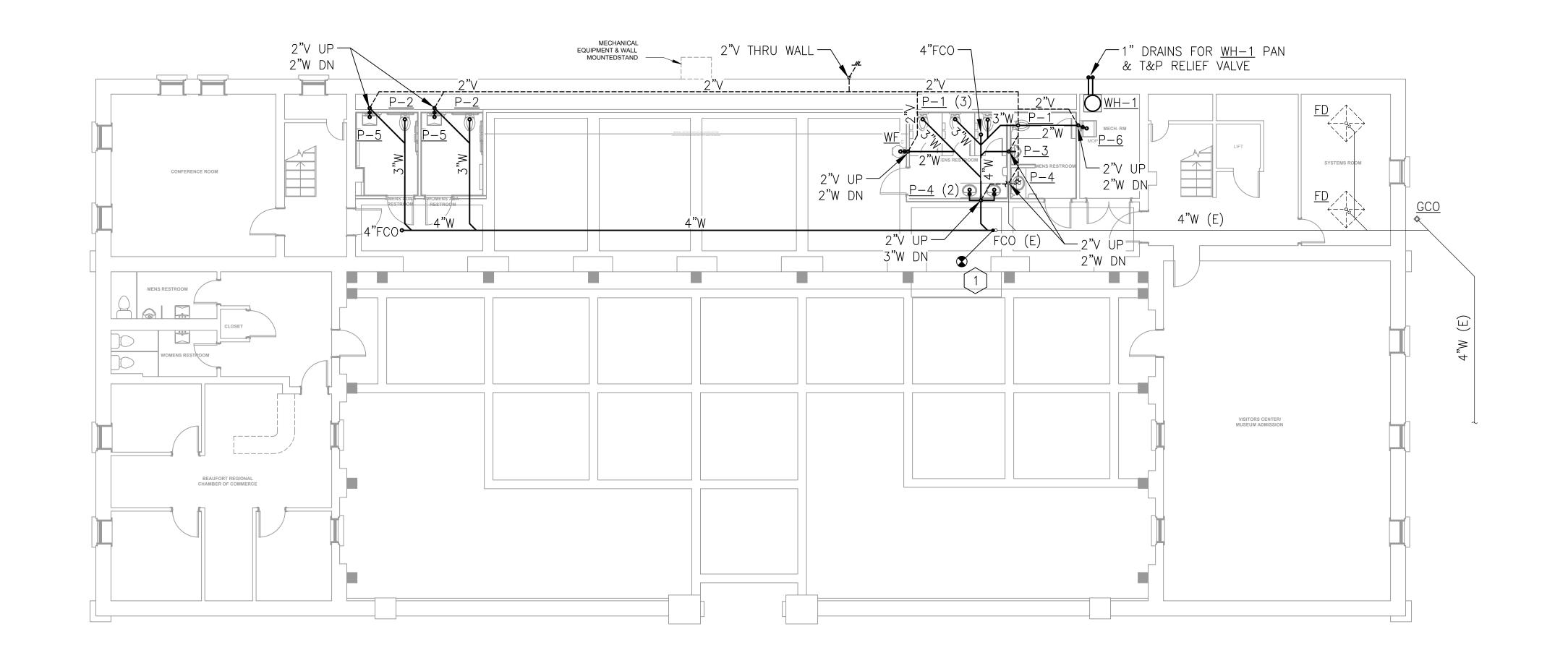
P0-01





SANITARY SEWER DEMOLITION PLAN

SCALE: 1/8"=1'-0"



KEYED NOTES:

- 1 TIE INTO THE EXISTING 4"W LINE UNDER THE FLOOR SLAB. NOTIFY THE ENGINEER IF THE PLUMBING ELEVATIONS ARE NOT DEEP ENOUGH TO TIE IN THE NEW WASTE PIPING.
- 2 REMOVE THE EXISTING PLUMBING LINES.



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DRAWING TITLE:

Beaufort Arsenal
713 Craven St., Beaufort, SC

PLUMBING SANITARY SEWER PLAN

DRAWING NO.:

P1-01

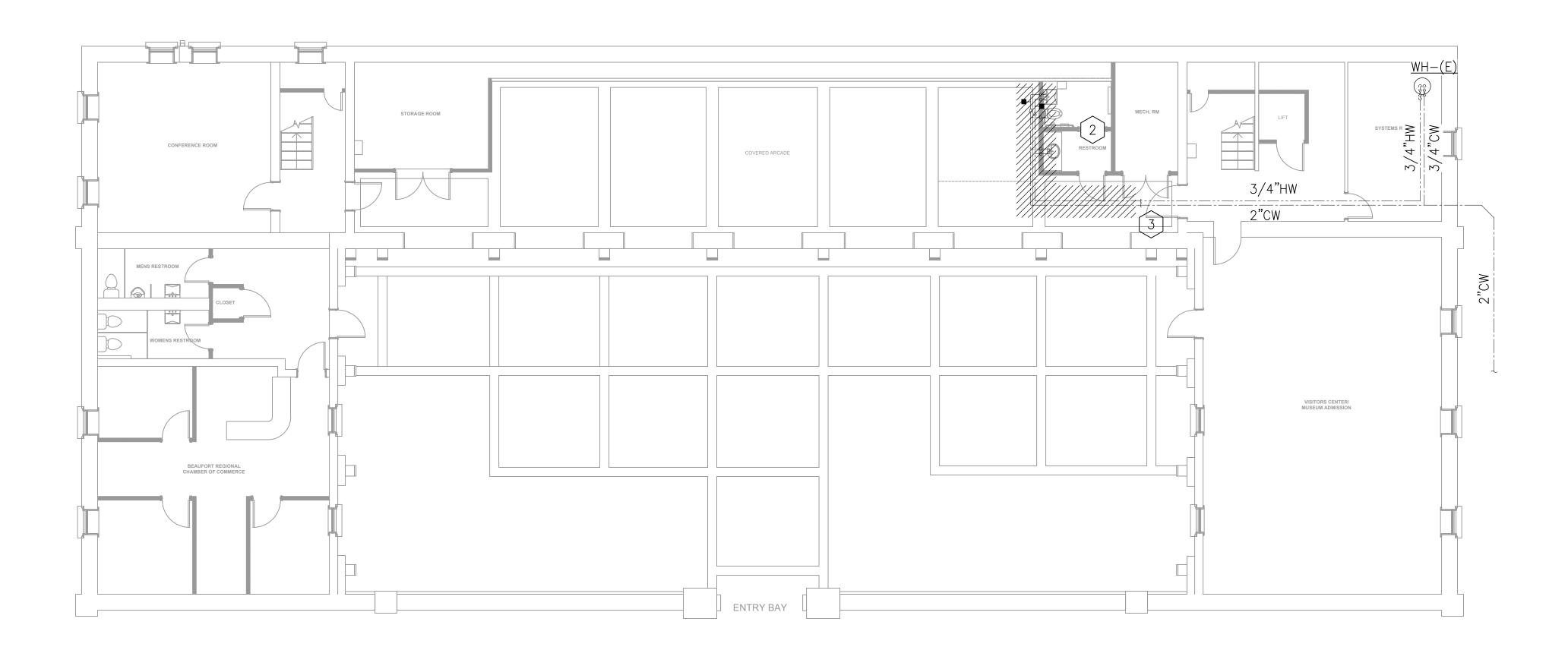
SANITARY SEWER PLAN

SCALE: 1/8"=1'-0"

USER NAME LAST UPDATE

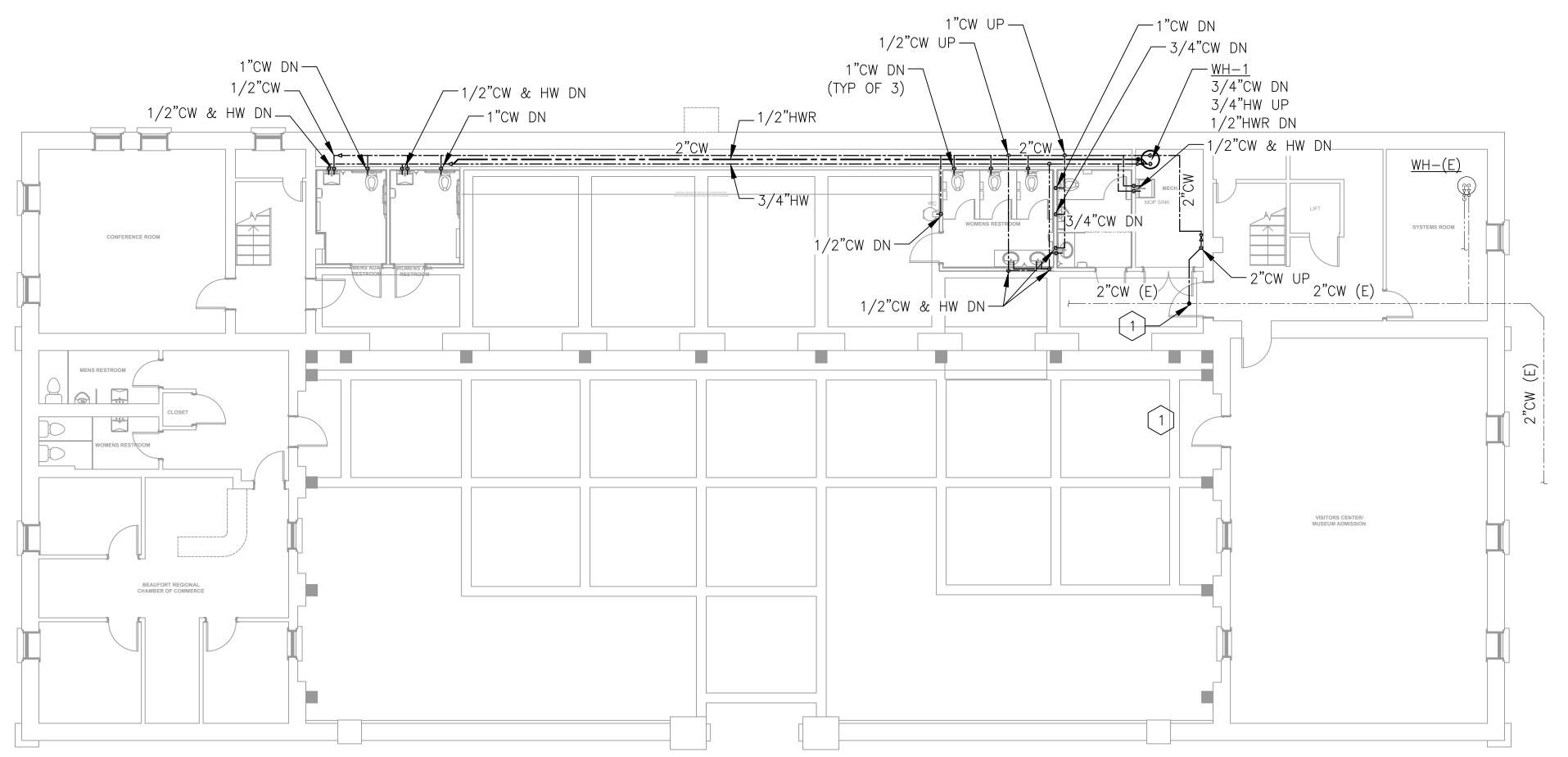
E NAME USER N





DOMESTIC WATER DEMOLITION PLAN

SCALE: 1/8"=1'-0"



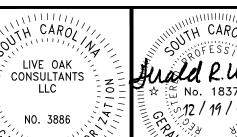
KEYED NOTES:

- 1 TIE INTO THE EXISTING 2"CW LINE UNDER THE FLOOR SLAB.
- 2 REMOVE THE EXISTING PLUMBING FIXTURES.
- 3 LOCATE AND CAP THE EXISTING HOT AND COLD WATER UNDER THE FLOOR IN THIS AREA.



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SCALE: AS SHOWN
PROJ. NUMBER: 20180174
CAD FILE:

DRAWING TITLE:

Beaufort Arsenal
713 Craven St., Beaufort, SC

PLUMBING
DOMESTIC WATER PLAN

DRAWING NO.:

P1-02

DOMESTIC WATER PLAN

SCALE: 1/8"=1'-0"

UPDATE PLOTTED PATH 12/20/2018 1:06 PM P:\Med

USER NAME LAST UPDATE PLOTT Kimberly Stephens 12/20/2018 11:06 AM 12/20

NAMF TISER

- 2. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE LOCAL AND STATE CODES AND WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
- 3. PROVIDE ADDITIONAL SUPPORT FOR SWITCHES, STARTERS, FIXTURES, RACEWAYS AND OTHER ELECTRICAL EQUIPMENT WHEREVER THE BUILDING STRUCTURE IS NOT SUITABLE FOR DIRECT MOUNTING
- 4. DO NOT INSTALL MATERIALS OTHER THAN SPECIFIED EXCEPT FOR ALTERNATES ACCEPTED BY OWNER.
- 5. FIRESTOP, DRAFT STOP AND/OR PROTECT THE ANNULAR SPACE AROUND ALL PIPE, TUBE, CONDUIT, WIRE, CABLE, VENT AND DUCT PENETRATION THROUGH WALLS, PARTITIONS, FLOORS, CEILINGS AND ROOFS IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND UL LISTING REQUIREMENTS. ALL OPENINGS SHALL BE SEALED TO MATCH FIRE OR SMOKE RATING OF WALL PENETRATIONS.
- 6. VERIFY CEILING SUSPENSION SYSTEMS IN THE VARIOUS AREAS AND PROVIDE THE PROPER MOUNTING ACCESSORIES. TRIMS, ETC., TO SUIT THE PARTICULAR AREA.
- 7. SYMBOLS IN THE LEGENDS ARE APPLICABLE GENERALLY. FOR EXACT REQUIREMENTS REFER TO THE SCHEDULES. LAYOUTS. DETAILS AND TO THE SPECIFICATIONS SINCE THE APPEARANCE OF A PARTICULAR SYMBOL IN THE LEGEND DOES NOT NECESSARILY IMPLY THAT THE ITEM IS INCLUDED IN THE CONTRACT.
- 8. EXCEPT WHERE NOTED OTHERWISE, LIMIT LIGHTING AND RECEPTACLE BRANCH CIRCUIT HOMERUNS TO 7 CONDUCTORS. 3 PHASE WIRES. 3 NEUTRAL AND 1 GROUND.
- 9. PROVIDE INDEPENDENT NEUTRALS FOR ALL NEW LIGHTING AND RECEPTACLE CIRCUITS.
- 10. ALL POWER CIRCUITS SHALL CONTAIN AN EQUIPMENT GROUNDING CONDUCTOR (GREEN COLOR INSULATION) ROUTED IN CONDUIT AND SIZED AS INDICATED ON DRAWINGS (MINIMUM SIZE - #12AWG).
- 11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
- 12. ROUTE CONDUITS CONCEALED IN FINISHED SPACES, UNLESS NOTED OTHERWISE ON PLANS. INSTALL ALL DEVICES RECESSED FLUSH IN WALL, UNLESS NOTED OTHERWISE ON PLANS.
- 13. PROVIDE EXPANSION JOINT FITTINGS FOR ALL RACEWAYS CROSSING EXPANSION JOINTS.
- 14. FOR ALL RECEPTACLES: PROVIDE AN EQUIPMENT BONDING JUMPER FROM THE GROUNDING TERMINAL OF THE RECEPTACLE TO THE METAL BOX.
- 15. DO NOT INSTALL DEVICE OUTLET BOXES BACK-TO-BACK IN COMMON WALL. OFFSET 6". ALTERNATE CIRCUITS TO ADJACENT DEVICES IN MULTI-OUTLET RACEWAY
- 16. LABEL ALL RECEPTACLE FACEPLATES WITH PANEL NAME AND CIRCUIT NUMBER FEEDING THAT RECEPTACLE.
- 17. COORDINATE ALL WORK AND POWER OUTAGES WITH OWNER.
- 18. PROVIDE STRIPING ON THE FLOOR AROUND ELECTRICAL PANELS TO IDENTIFY THE CODE REQUIRED WORKING CLEARANCE.
- 19. PHASE IDENTIFICATION FOR CIRCUITS SHALL BE ACCOMPLISHED BY COLOR CODE AS FOLLOWS:

CIRCUITS RATED (480/277V): CIRCUITS RATED (208/120V): PHASE "A" = BROWN PHASE "A" = BLACK PHASE "B" = ORANGE PHASE "B" = RED PHASE "C" = YELLOW PHASE "C" = BLUE NEUTRAL = GRAYNEUTRAL = WHITE

- 20. ALL WIRING CONDUCTORS SHALL BE COPPER (CU) WITH THWN INSULATION AS A MINIMUM REQUIREMENT.
- 21. DATA WIRING SHALL BE CAT6 WITH DUAL PORT OUTLETS IN EACH OFFICE UNLESS NOTED OTHERWISE.
- 21. PROVIDE PERMANENT PADLOCKABLE MEANS FOR TRANSFORMER SUPPLY BREAKERS IN UPSTREAM PANELBOARD WHEN LOCAL TRANSFORMER LINE SIDE DISCONNECT IS NOT SPECIFIED.

TYPICAL DEVICE MOUNTING HEIGHT

RECEPTACLES ______ 18" AFF LIGHT SWITCHES _____ 48" AFF

NOTE: DIMENSIONS ARE TO DEVICE CENTERLINE UNLESS NOTED OTHERWISE.

LEGEND:

237 CART INDICATES ROOM NUMBER

DISCONNECT SWITCH. REFER TO PLANS FOR ADDITIONAL INFORMATION. "30A" INDICATES AMPACITY, "3" INDICATES PHASES, "3R" INDICATES NEMA CLASSIFICATION. WHERE USED ON A MOTOR CIRCUIT, SWITCH SHALL BE HORSEPOWER RATED GREATER THAN THE HORSEPOWER.

2' x 4' LED LIGHT FIXTURE. SEE LIGHT FIXTURE SCHEDULE. 'a,b' LOWER CASE LETTERS INDICATES BI-LEVEL SWITCHING SCHEME. 'A' INDICATES FIXTURE TYPE, REFER TO FIXTURE SCHEDULE. 'N' INDICATES NIGHT LIGHT (PERMANENTLY ENERGIZED.) "H1/1,3" INDICATES FEEDER CIRCUIT, I.E. FROM PANEL "H1" CKT. NO. "1,3" 4' LED LIGHT FIXTURE. SEE LIGHT FIXTURE SCHEDULE. SAME AS ABOVE.

4' LED HI BAY LIGHT FIXTURE. SEE LIGHT FIXTURE SCHEDULE. SAME AS ABOVE. B/N a 2' x 2' LED LIGHT FIXTURE. SEE LIGHT FIXTURE SCHEDULE. SAME AS ABOVE.

LED EXIT SIGN WITH BATTERY PACK EMERGENCY LIGHTING UNIT WITH NUMBER OF HEADS INDICATED. SEE LIGHT FIXTURE SCHEDULE. CONNECT TO UN-SWITCHED ROOM LIGHTING

EMERGENCY LED EXIT LIGHT FIXTURE (CEILING OR WALL MOUNT). SEE LIGHTING FIXTURE SCHEDULE. ARROW INDICATES EGRESS DIRECTION. CONNECT TO UN-SWITCHED ROOM LIGHTING

RECESSED DOWNLIGHT LED FIXTURE. "H" INDICATES FIXTURE TYPE, REFER TO

LED WALLPACK LIGHT FIXTURE, "W" INDICATED FIXTURE TYPE, SEE LIGHT FIXTURE SCHEDULE.

TOGGLE TYPE LIGHT SWITCH, 120V/20A. MOUNTED 48" A.F.F. (UNLESS NOTED OTHERWISE). NONE INDICATES SINGLE-POLE, SINGLE-THROW.

"3" INDICATES THREE WAY. 'a' LOWER CASE LATTER INDICATES SWITCHING SCHEME.

"D" INDICATES DIMMER TYPE SWITCH. (1000 WATTS UNLESS NOTED OTHERWISE) COORDINATE SWITCH TYPE WITH FIXTURE TO BE DIMMED.

"OS" INDICATES PIR OCCUPANCY/DIMMER SENSOR. MATCH OCCUPANCY SENSOR WITH TYPE OF LIGHTING TO BE CONTROLLED. "M" INDICATES TO PROVIDE MOTOR-RATED SWITCH WITH OVERLOADS IF REQUIRED

CEILING MOUNT OCCUPANCY SENSOR.

"b" LOWER CASE LETTER INDICATES SWITCHING SCHEME.

CEILING MOUNT DAYLIGHT SENSOR. "b" LOWER CASE LETTER INDICATES SWITCHING SCHEME.

WALL MOUNT OCCUPANCY SENSOR.

120V/20A DUPLEX RECEPTACLE. MOUNTED 18" A.F.F. (UNLESS NOTED OTHERWISE). P1/1,3 "GF" INDICATES SELF-TEST GROUND FAULT CIRCUIT INTERRUPTER TYPE. "WP" INDICATES WEATHER PROOF WHILE IN USE COVER WITH WEATHER RESISTANT RECEPTACLE "C" COUNTER TOP. MOUNTED 42" UP OR 6" ABOVE COUNTER. USE GFCI TYPE. "DW" DISHWASHER RECEPTACLE, MOUNTED INSIDE CABINET UNDER SINK, GFCI TYPE.

"M" MICROWAVE RECEPTACLE, COORDINATE MOUNTING HGT. WITH CABINET INSTALLER. "P1/1,3" INDICATES FEEDER CIRCUIT, I.E. FROM PANEL "P1" CKT. NO. "1,3"

220V/30A DUPLEX RECEPTACLE. MOUNTED 18" A.F.F. (UNLESS NOTED OTHERWISE).

120V/20A QUAD RECEPTACLE. MOUNTED 18" A.F.F. (UNLESS NOTED OTHERWISE).

COMBINATION TELEPHONE/DATA OUTLET MOUNTED 18" A.F.F (UNLESS NOTED OTHERWISE) PROVIDE AND INSTALL 4"x4"x1 1/2" BOX WITH SINGLE GANG EXTENSION RING AND 3/4" EMPTY CONDUIT WITH PULLWIRE TERMINATED AT CABLE TRAY.

TELEPHONE/TV OUTLET MOUNTED 18" A.F.F (UNLESS NOTED OTHERWISE) PROVIDE AND INSTALL 4"x4"x1 1/2" BOX WITH SINGLE GANG EXTENSION RING AND 3/4" EMPTY CONDUIT WITH PULLWIRE TERMINATED AT CABLE TRAY. "TV" INDICATES TV OUTLET MOUNTED 60" AFF.

ELECTRIC MOTOR

BRANCH CIRCUIT RACEWAY - CONCEALED IN WALL OR CEILING

P1 POWER PANEL "P1"

ABBREVIATIONS: ABOVE FINISHED FLOOR ABOVE FINISHED GRADE AIR HANDLING UNIT AMPS INTERRUPTING RATING AUTOMATIC TRANSFER SWITCH AMERICAN WIRE GAUGE BOTTOM OF FIXTURE BOTTOM OF STEEL CONDUIT CATALOG CIRCUIT BREAKER CIRCUIT CURRENT TRANSFORMER CONSTANT WATTAGE AUTOTRANSFORMER DOUBLE TWIN TUBE DRAWING(S) ELECTRONIC BALLAST EMPTY CONDUIT ENCLOSED CIRCUIT BREAKER EXHAUST FAN ENERGY EFFICIENT **EXPANSION JOINT EMERGENCY** ELECTRICAL METALLIC TUBING EQUIPMENT ELECTRIC WATER COOLER ELECTRIC WATER HEATER **EXISTING** EXISTING TO REMAIN EXPLOSION PROOF FIRE ALARM ANNUNCIATOR PANEL FIRE ALARM CONTROL PANEL FURNISHED BY OTHERS FAN COIL UNIT FACILITY MANAGEMENT SYSTEM FULL VOLTAGE NON-REVERSING FURNISHED WITH EQUIPMENT GROUND FAULT CIRCUIT INTERRUPTER GROUND HORSEPOWER HIGH POWER FACTOR HEATING/AIR CONDITIONING RATED INCANDESCENT JUNCTION BOX KILOWATTS LIGHTING MAGNETIC MAIN CIRCUIT BREAKER MOTOR CONTROL CENTER MOLDED CASE CIRCUIT BREAKER MOLDED CASE SWITCH MAIN LUGS ONLY MOUNT MT MOUNTED MOUNTING NEUTRAL NATIONAL ELECTRICAL CODE NON-FUSED NOT IN CONTRACT NOT TO SCALE NO WORK REQUIRED OWNER FURNISHED OWNER FURNISHED, CONTRACTOR INSTALLED OWNER FURNISHED. OWNER INSTALLED PUSH BUTTON PAD MOUNTED TRANSFORMER PANEL(S) RECEPTACLE REQUIRED ROOM RIGID GALVANIZED STEEL CONDUIT SURFACE MOUNTED RACEWAY SHUNT TRIP ROOF TOP UNIT SHIELDED TWISTED PAIR SINGLE-POLE, SINGLE-THROW TBB TELEPHONE BACKBOARD TELEPHONE TOC TOP OF CONCRETE TOF TOP OF FIXTURE TVSS TRANSIENT VOLTAGE SURGE SUPPRESSION TYPICAL UNIT HEATER UNO UNLESS NOTED OTHERWISE UG UNDERGROUND UNDERGROUND POWER UNDERGROUND TELEPHONE UNSHIELDED TWISTED PAIR VOLTS VOLT-AMPERES VARIABLE FREQUENCY DRIVE WEATHERPROOF

XFMR

TRANSFORMER

2 SPEED, 1 WINDING

MEAD 🗐 R S 🖺

2811 Azalea Drive Charleston, SC 29405

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REVISION INFORMATION

PROJ. MANAGER: G. ULMER DESIGNED BY: D. GRANGER DRAWN BY: D. GRANER APPROVED BY: N. BAIRD AS SHOWN SCALE: PROJ. NUMBER: 20180174

20180174E0-01.dwg CAD FILE: DRAWING TITLE: Beaufort Arsenal

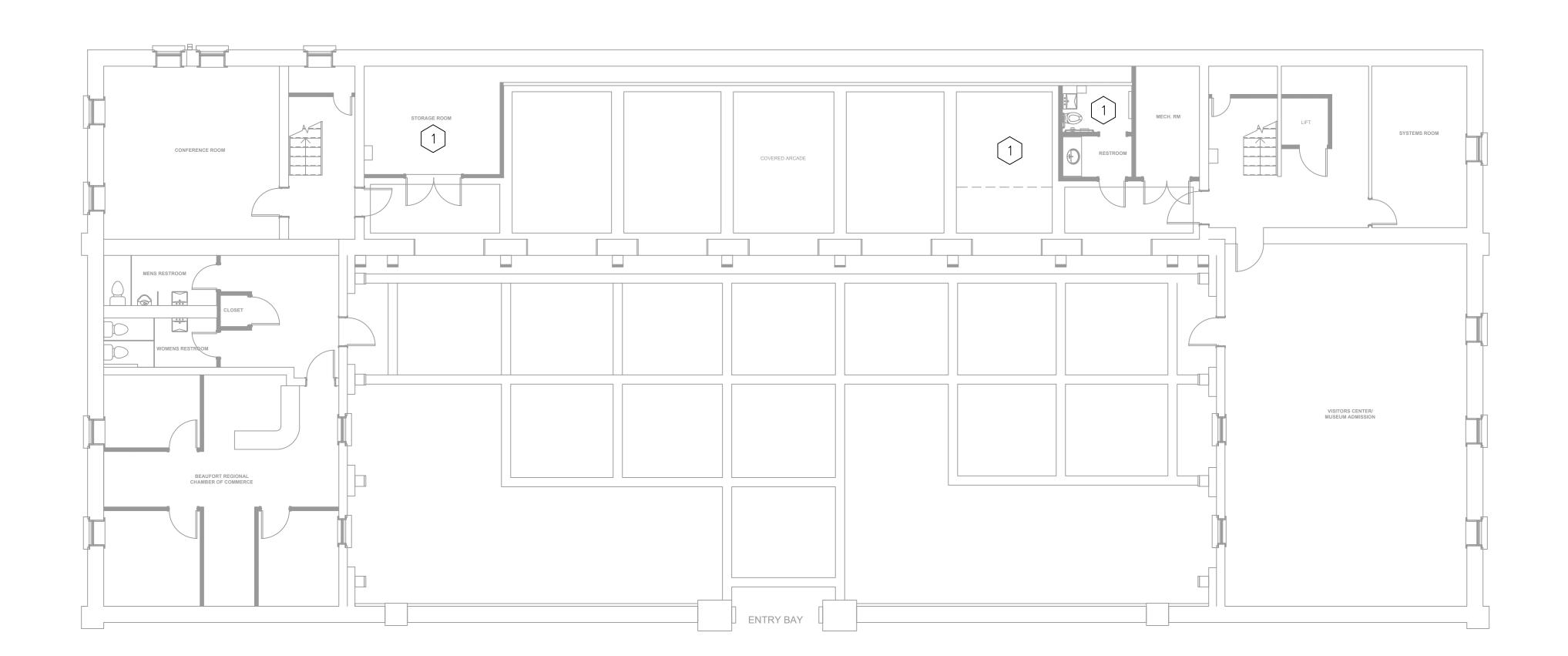
713 Craven St., Beaufort, SC

ELECTRICAL NOTES, LEGEND, & ABBREVIATIONS

DRAWING NO.:

E0-01

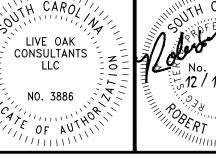


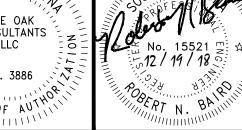


GENERAL NOTES:

REFER TO DRAWING E0-01 FOR ELECTRICAL NOTES, LEGENDS & ABBREVIATIONS.







KEYED NOTES:

1 CONTRACTOR SHALL DEMOLISH EXISTING LIGHTS, CONDUIT AND FEEDERS FROM FIXTURES BACK TO POWER PANEL.

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SCALE: AS SHOWN PROJ. NUMBER: 20180174 CAD FILE: 20180174E1-01.dwg

DRAWING TITLE:

Beaufort Arsenal 713 Craven St., Beaufort, SC

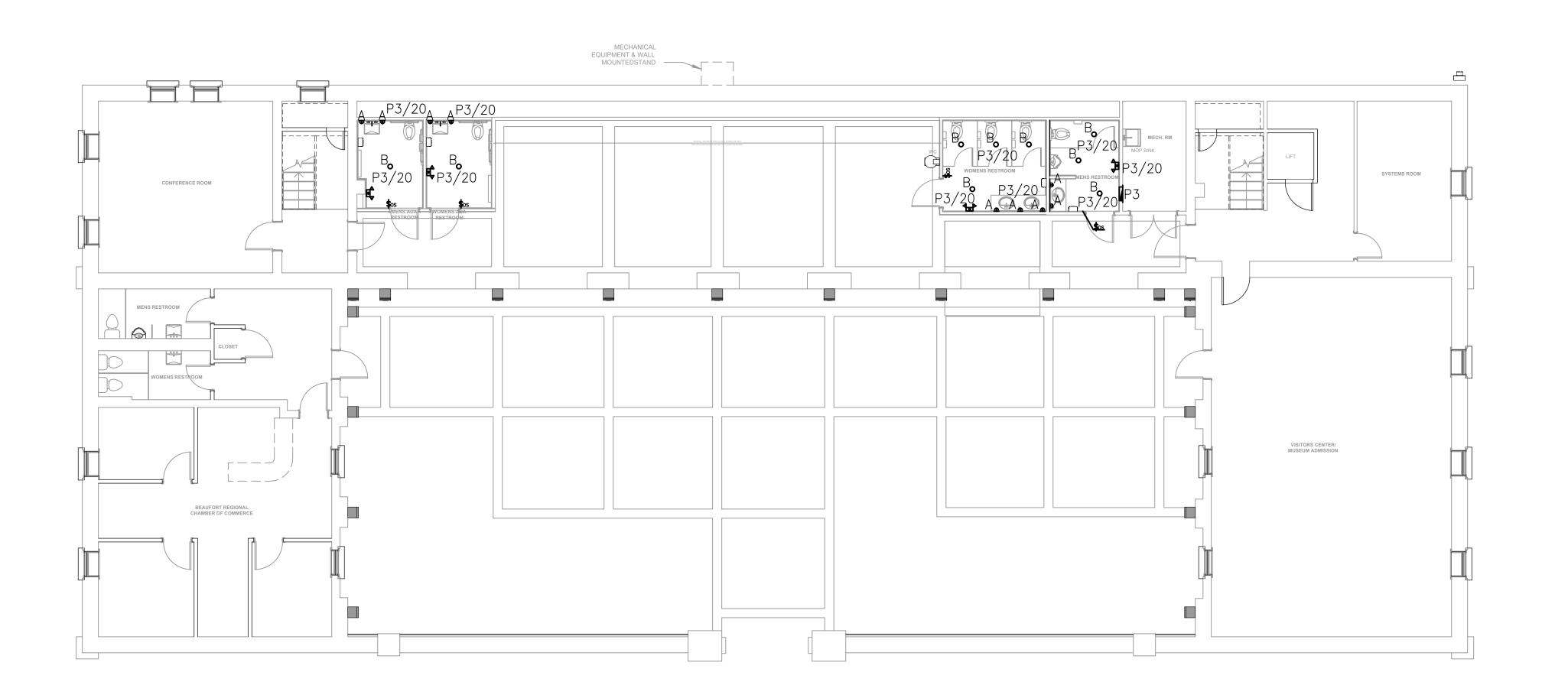
> ELECTRICAL LIGHTING PLAN

DRAWING NO.:

E1-01

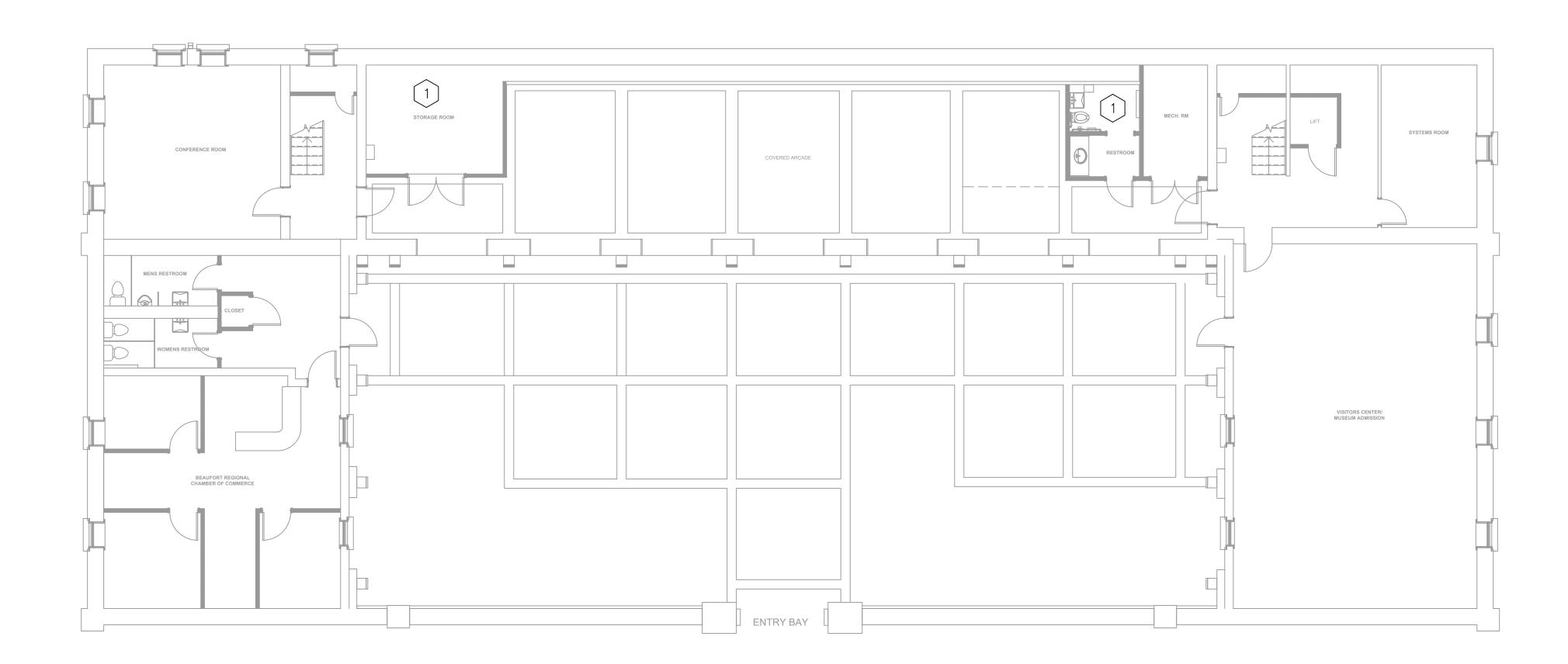
LIGHTING DEMOLITION PLAN

SCALE: 1/8"=1'-0"



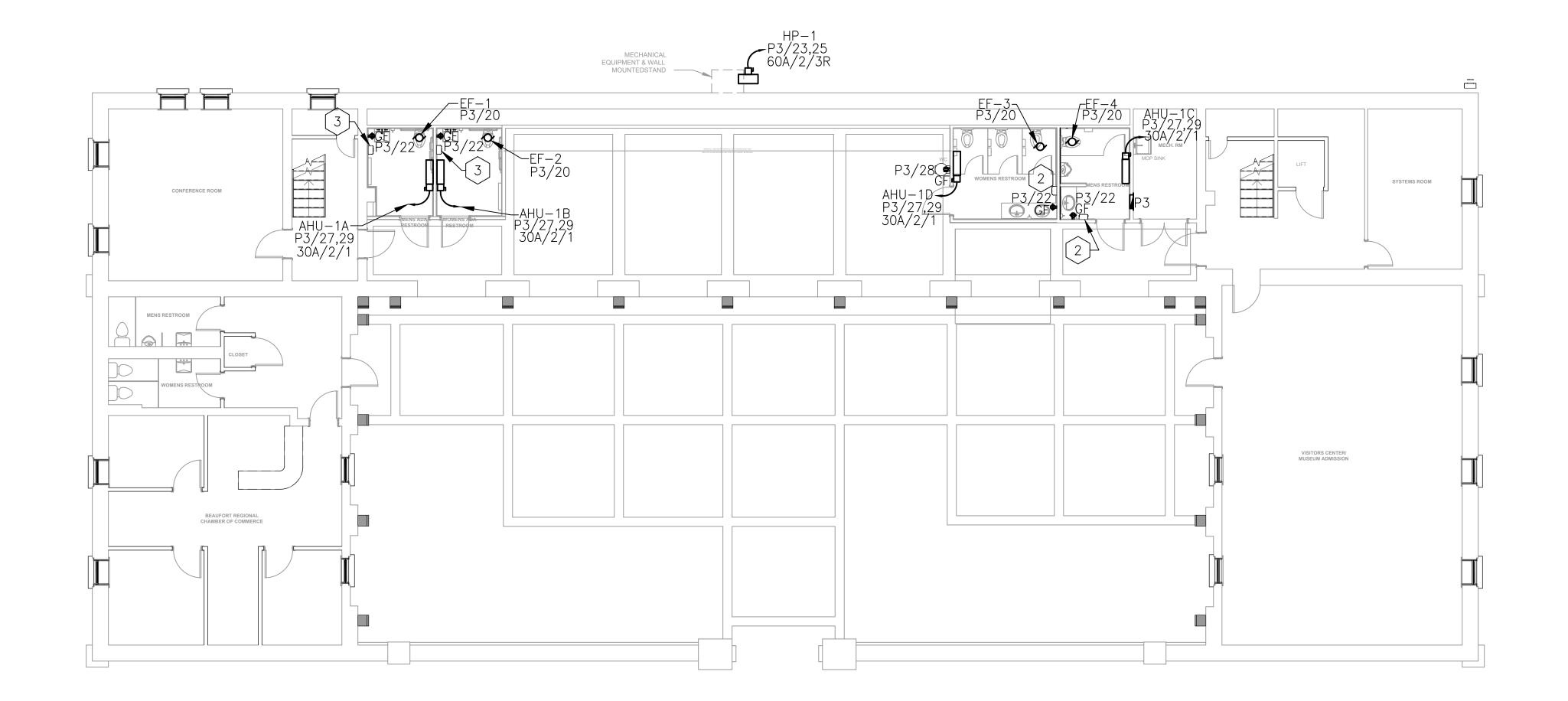
LIGHTING PLAN SCALE: 1/8"=1'-0"





POWER DEMOLITION PLAN

SCALE: 1/8"=1'-0"



GENERAL NOTES:

- REFER TO DRAWING E0-01 FOR ELECTRICAL NOTES, LEGENDS & ABBREVIATIONS.
- 2. CONTRACTOR SHALL SWITCH RESTROOM LIGHTS AND EXHAUST FANS TOGETHER.

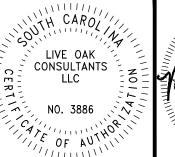


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KEYED NOTES:

- 1 CONTRACTOR SHALL DEMOLISH EXISTING EXHAUST FANS AND RECEPTACLES, CONDUIT AND FEEDERS FROM DEVICE BACK TO EXISTING POWER PANEL.
- 2 CONTRACTOR SHALL INSTALL NEW HAND DRYERS IN BATHROOMS AND ROUTE FEEDERS FROM EXISTING POWER PANEL "P3" CIRCUIT #24.
- 3 CONTRACTOR SHALL INSTALL NEW HAND DRYERS IN BATHROOMS AND ROUTE FEEDERS FROM EXISTING POWER PANEL "P3" CIRCUIT #26.

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713 Craven St., Beaufort, SC

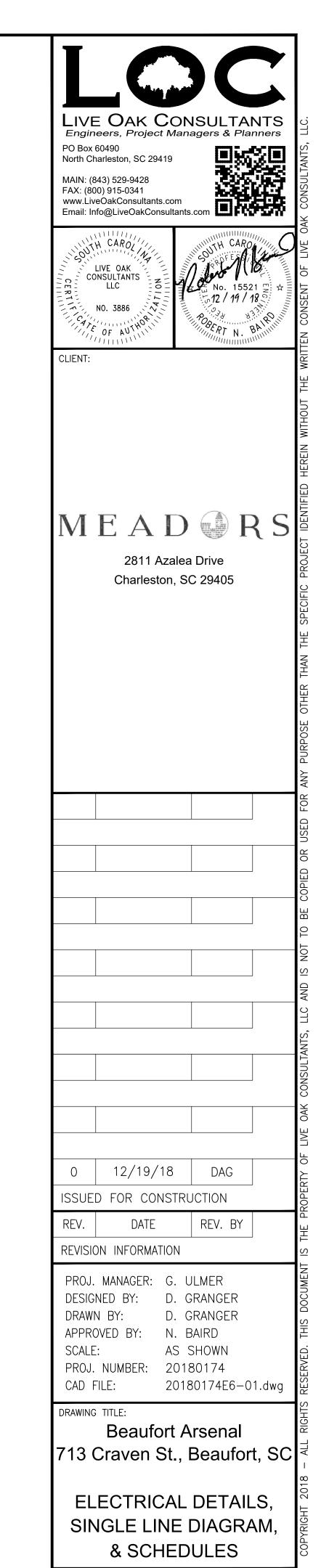
ELECTRICAL POWER PLAN

DRAWING NO.:

E1-02

POWER PLAN
SCALE: 1/8"=1'-0"

	LIGHTING FIXTURE SCHEDULE							
SYMBOL DESCRIPTION MANUFACTURER CATALOG NUMBER VOLTAGE LAMPS FIXTURE WATTAGE NOTES								
А	WALL MOUNT	YLIGHTING	PAAAIAHCIEBMDFCP	120V	FLUORESCENT	18W	2-9 WATT COMPACT FLUORESCENT	
В	RECESSED	LITHONIA LIGHTING	LK5BMW LED	120V	LED	10W	RECESSED LED	



FILE NAME USE

E6-01

DRAWING NO.:

GENERAL NOTES:

- 1. PROVIDE A REVISED DRY PIPE SPRINKLER LAYOUT FOR THE RENOVATED AREAS OF THE NEW RESTROOMS. SYSTEM SHALL MEET THE REQUIREMENTS OF NFPA 13, IFC, AND LOCAL, CITY, AND STATE FIRE MARSHAL REQUIREMENTS.
- 2. THE SPRINKLER CONTRACTOR SHALL REVIEW ARCHITECTURAL DRAWINGS, INCLUDING ALL REFLECTED CEILING PLANS PRIOR TO PREPARING THE BID.
- 3. FINAL LOCATIONS AND ALIGNMENT OF SPRINKLER PIPING AND HEADS SHALL BE COORDINATED WITH ALL TRADES (ARCHITECTURAL, MECHANICAL AND ELECTRICAL). REFER TO ARCHITECTURAL DRAWINGS FOR CEILING DESIGN. REFER TO ELECTRICAL DRAWINGS FOR CABLE TRAY AND LIGHTING LOCATIONS.
- 4. FIRE PROTECTION PIPE HANGERS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13.
- 5. PROVIDE FIRE STOPPING OF ALL PENETRATIONS OF FIRE RATED ASSEMBLIES. REFER TO ARCHITECTURAL DRAWINGS FOR RATINGS.
- 6. THE SPRINKLER CONTRACTOR SHALL SUBMIT DRAWINGS, WITH THE LAYOUT REVISIONS AND SUBMITTALS FOR APPROVAL TO THE STATE OR LOCAL FIRE MARSHAL.
- 7. PROVIDE SEISMIC PROTECTION IN ACCORDANCE WITH NFPA 13.
- 8. PROVIDE SEMI-RECESSED PENDENT TYPE HEAD WITH TWO-PIECE ESCUTCHEONS WITH CHROME FINISH IN AREAS WITH SUSPENDED CEILINGS.
- 9. ALL NEW SPRINKLER PIPING SHALL MEET ANSI/ASTM STANDARDS FOR SEAMLESS PIPE, BE UL LISTED AND FM APPROVED. SPRINKLER PIPING SHALL BE SCH-10/SCH-40 BLACK IRON AND COATED WITH AN ANTIBACTERIAL FORMULA AS MANUFACTURED BY ALLIED TUBE AND CONDUIT (OR OWNER APPROVED EQUAL). ALL FITTINGS SHALL BE UL LISTED AND FM APPROVED FOR FIRE PROTECTION.
- 10. ONLY APPROVED SPRINKLER WRENCHES ARE TO BE USED WHEN INSTALLING SPRINKLERS.

LEGEND:

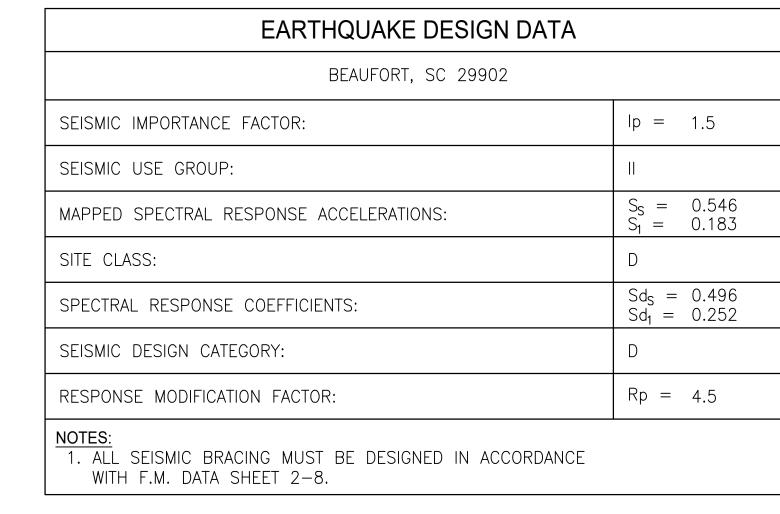
ZONE AREA DESIGNATION

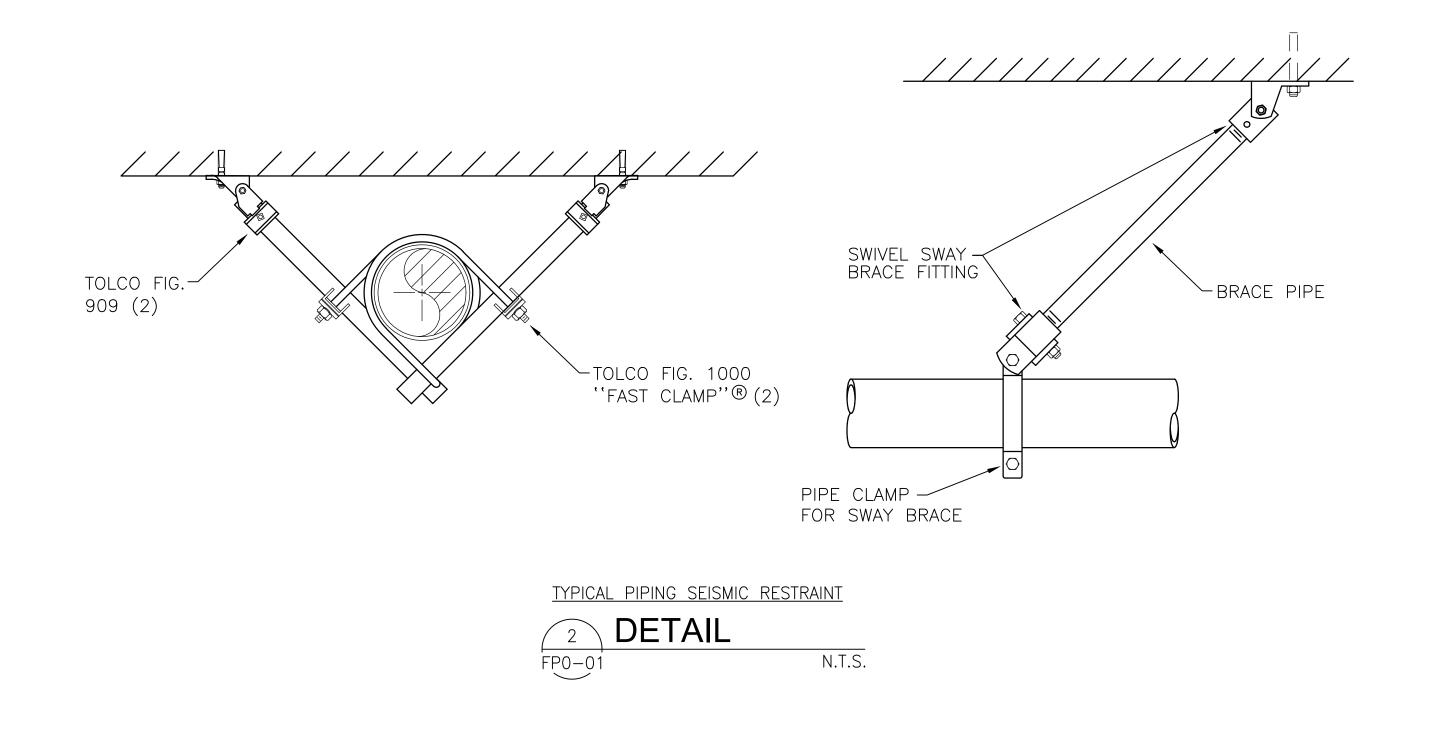
FIRE HYDRANT (FH)

FIRE DEPARTMENT CONNECTION

FIRE PROT	TECTION SPRINKLER SCHEDULE								
AREA DESIGNATION	SPACE NAME/FUNCTION	DESCRIPTION	BASIS OF DESIGN	HOSE STREAM GPM	SYSTEM TYPE	DENSITY GPM/SQ FT.	REMOTE AREA (SQ. FT.)	HEAD TYPE	FINISH
ZONE (1)	RESTROOMS/DISPLAY AREA	LIGHT	NFPA 13	100	WET	0.10	1500	PENDENT/UPRIGHT	WHITE/BRASS

EARTHQUAKE DESIGN DATA	
BEAUFORT, SC 29902	
SEISMIC IMPORTANCE FACTOR:	lp = 1.5
SEISMIC USE GROUP:	II
MAPPED SPECTRAL RESPONSE ACCELERATIONS:	$S_S = 0.546$ $S_1 = 0.183$
SITE CLASS:	D
SPECTRAL RESPONSE COEFFICIENTS:	$Sd_S = 0.496$ $Sd_1 = 0.252$
SEISMIC DESIGN CATEGORY:	D
RESPONSE MODIFICATION FACTOR:	Rp = 4.5
NOTES: 1. ALL SEISMIC BRACING MUST BE DESIGNED IN ACCORDANCE WITH F.M. DATA SHEET 2-8.	







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MEAD RS

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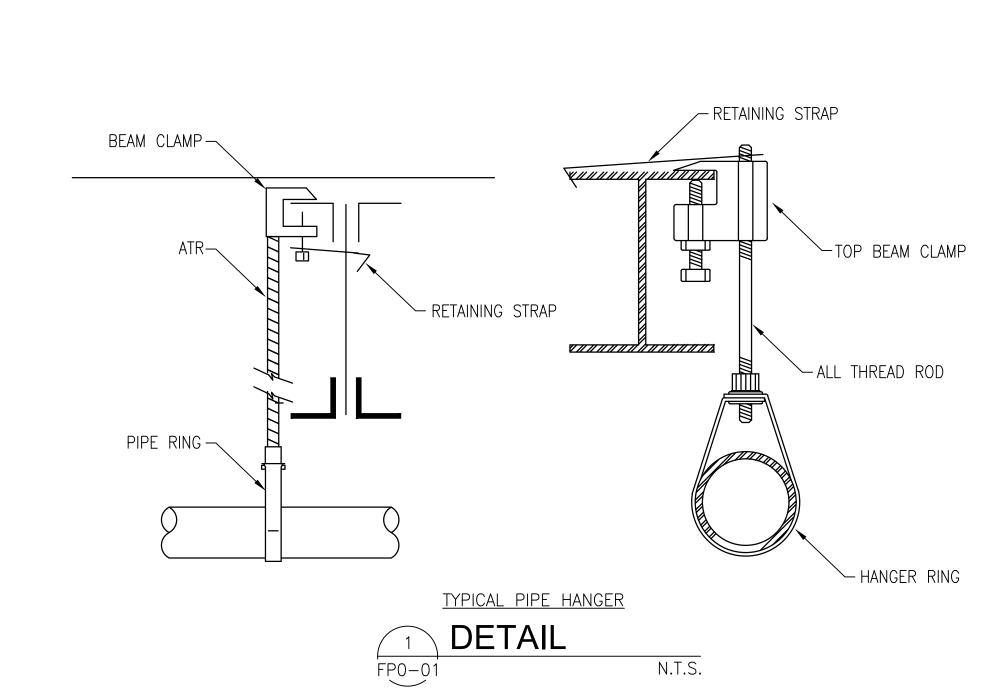
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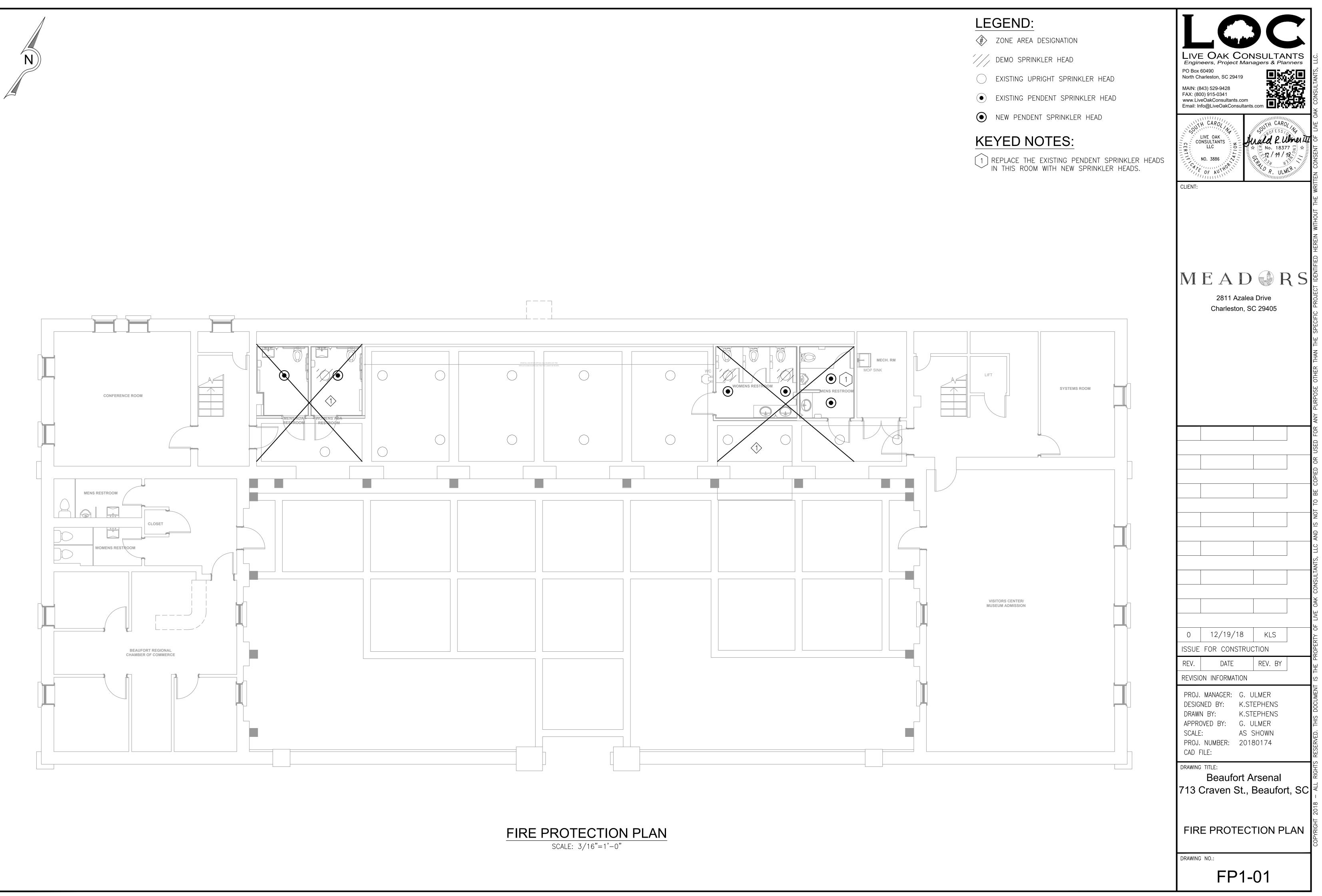
Beaufort Arsenal 713 Craven St., Beaufort, SC

FIRE PROTECTION NOTES, DESIGN DATA, SCHEDULE, & DETAILS

DRAWING NO .:

FP0-01





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