


DEMOLITION NOTES:

- THE INTENT OF THIS DEMOLITION PLAN IS TO LEAVE SITES OF NEW CONSTRUCTION OPEN, CLEAR, FREE OF OBSTACLES AND READY FOR NEW CONSTRUCTION.
- REMOVE THE FOLLOWING:
 1. ALL EXISTING BUILDINGS AND STRUCTURES
 2. ALL EXISTING DRIVEWAYS, PATIOS, AND WALKWAYS
 3. ALL EXISTING FENCES AND BARRIERS
 4. ALL EXISTING UTILITIES AND SERVICES TO BE REMOVED
- PROTECT THE FOLLOWING:
 1. ALL UTILITY LINES, BODIES, AND ACCESSORIES
 2. ALL EXISTING FOUNDATIONS AND FOUNDATION WALLS
 3. ALL EXISTING CONCRETE SLABS, MAJORS, CURBS, AND DRIVEWAYS INDICATED TO REMAIN ON CIVIL DRAWINGS
- FOR ADDITIONAL INFORMATION ON THE SCOPE OF CONSTRUCTION, REFER TO CIVIL DRAWINGS.

DEMO. SITE PLAN LEGEND :

-  EXISTING BUILDING (NO DEMO)
-  EXISTING DRIVEWAY TO BE DEMOLISHED
-  EXISTING CHAIN LINK FENCE TO BE DEMOLISHED
-  PROPERTY LINE
-  EXISTING CHAIN LINK FENCE
-  EXISTING PAVED FENCE

ACCESSIBLE PATH OF TRAVEL:

THE ACCESSIBLE PATH OF TRAVEL (APT) FOR ALL NEW AND AS INDICATED ON THE SITE PLAN IS A MINIMUM WIDE ACCESS ROUTE PROVIDING ANY BARRIER, OBSTACLE, OR PROJECTION TO BE REMOVED AT 1/2 INCH RISE OR FALL OF VERTICAL SURF, UNLESS OTHERWISE SPECIFIED IN THIS PLAN AND AS NOTED BY NOTES OR OTHERWISE INDICATED.

REMOVE ALL BARRIERS, AND ALL OBSTACLES. GRASS IS NOT TO BE MAINTAINED IN AND ALONG THE ACCESSIBLE PATH OF TRAVEL. REMOVE ALL OBSTACLES, BARRIERS, AND PROJECTIONS TO BE REMOVED AS NOTED BY NOTES OR OTHERWISE INDICATED.

ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OBSTACLES, PROJECTIONS TO BE REMOVED, AND PROJECTIONS EXCEEDING 1/4 INCH PROJECTION FROM WALL AND ABOVE 27 INCHES AND LESS THAN 60 INCHES.











ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN PATH OF TRAVEL.

ALL EXISTING PERMISSIBLE BARRIERS INDICATED AS A PATH OF TRAVEL, FIG. 212 HAS BEEN REMOVED TO BE SUBJECT TO COMPLIANCE WITH THE FOLLOWING ON THE GENERAL PERMITS. THESE ARE TO COMPLY WITH THE FOLLOWING AS SHOWN IN THESE SPECIFICATIONS.

ACCESSIBLE PARKING: SEE PERMITS FOR OVERALL SIZES

2 PUBLIC IMPROVED STALLS INCLUDING ACCESSIBLE VAN SPOTS. ACCESSIBLE SPALL SHALL BE ACCESSIBLE SPALL PROVIDED.

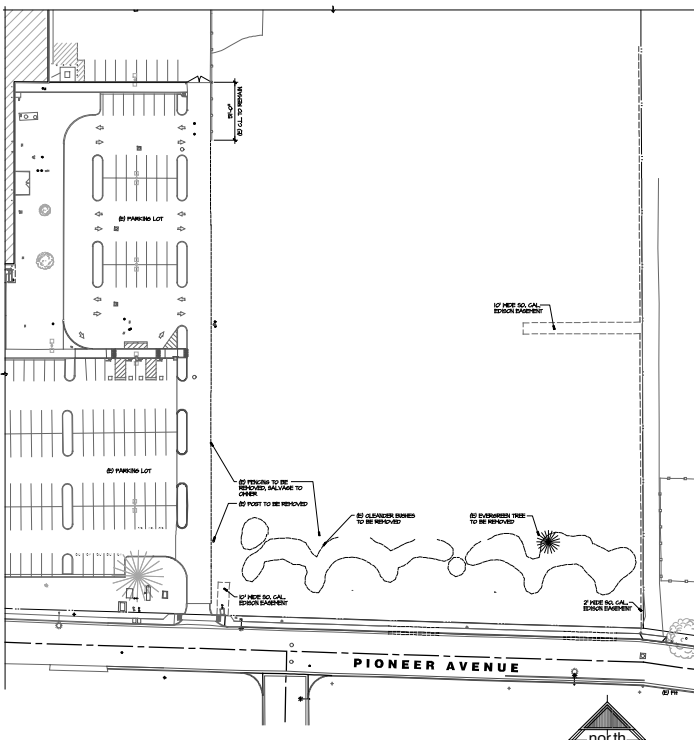
SITE PLAN LEGEND :

-  EXISTING BUILDING (NO DEMO)
-  RELOCATED BUILDING
-  NEW CONCRETE
-  ACC. TOILET / AREA
-  PROPERTY LINE
-  EXISTING CHAIN LINK FENCE
-  NEW CHAIN LINK FENCE
-  EXISTING PAVED FENCE
-  ACCESSIBLE PATH OF TRAVEL
-  EXISTING FIRE DEPARTMENT DRIVE-UP VALUE

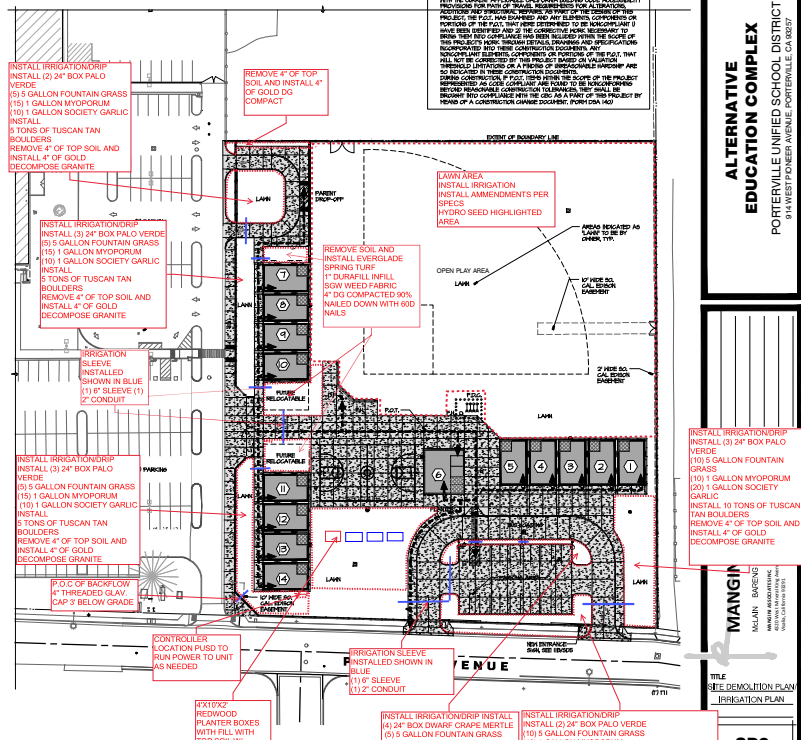
PLANTING PLAN

CERTIFIED PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT

I, DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT, HAVE REVIEWED THE PROJECT AND THE INFORMATION PROVIDED BY THE CLIENT AND I HAVE CONCLUDED THAT THE PROJECT IS IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND I HAVE CONDUCTED THE NECESSARY INVESTIGATIONS AND ANALYSES TO SUPPORT THIS STATEMENT. I AM PROVIDING THIS STATEMENT AS A PROFESSIONAL SERVICE TO THE CLIENT AND I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE PROJECT. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE PROJECT.



2 SITE DEMOLITION PLAN
 19-17726



1 SITE PLAN
 19-17726

ALTERNATIVE EDUCATION COMPLEX
 PORTERVILLE UNIFIED SCHOOL DISTRICT
 914 WEST PIONEER AVENUE, PORTERVILLE, CA 95227

MANGI
 MCLAIN BARON
 ARCHITECTURAL
 1000 S. 10TH AVENUE
 SUITE 100
 PORTERVILLE, CA 95227

SD2
 SHEET 1901

19-17726 projects\1901\Drawings\01 architectural\03 sheets\1901_S02 - Overall Site Plans revised.dwg Feb 07 2020 9:55am



ALTERNATIVE EDUCATION COMPLEX
 PORTERVILLE UNIFIED SCHOOL DISTRICT
 314 WEST PINE AVENUE, PORTERVILLE, CA 93257

REVISIONS	DATE	DESCRIPTION

MANGINI ARCHITECTURE
 MCLAIN BARONE MORIELLI
 1000 WEST PINE AVENUE, SUITE 100
 PORTERVILLE, CA 93257
 TEL: 559.385.1111
 WWW.MANGINIARCHITECTURE.COM

TITLE: ENLARGED SITE PLAN
 SD3
 PROJECT: 1901

SITE PLAN LEGEND :

- EXISTING BUILDINGS
- RELOCATED BUILDINGS
- NEW CONCRETE
- AGG. TOPPING / UNSET SLABS
- PROPERTY LINE
- EXISTING CHAIN LINK FENCE
- NEW CHAIN LINK FENCE

- NOTES (THIS SHEET ONLY)
- FOR SLAB FOUNDATION PLANS AND DETAILS OF BEAMS "V" - "W" SEE SHEET 1.
 - FOR SLAB FOUNDATION PLANS AND DETAILS OF BEAMS "T" - "U" SEE SHEET 1.
 - FOR ALL SLABS, CONCRETE TO THICKEN FROM 10" TO 12" IS ASSUMED AT EXTERIOR CORNERS AS IS NOTED TYP.
 - FOR ALL SLABS, CONCRETE TO THICKEN FROM 10" TO 12" IS ASSUMED AT ALL INTERIOR CORNERS UNLESS NOTED OTHERWISE TYP.
 - FOR INTERCOURTS, FOR UNIFORMITY, MINIMUM CURB LAYOUT, SEE SHEET 1 TYP.
 - FOR FINISHES REQUIRED AS PLANNED TO BE PROVIDED BY OWNER, TYP.

DEMOLITION OF EXISTING NON-COMPLIANT CONSTRUCTION
 IF ANY CONSTRUCTION IS DISCOVERED WHICH IS LEFT UNCORRECTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH CONSTRUCTION AT THE CONSTRUCTION SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH CONSTRUCTION.

