

# IRC Hosie Schumann Park Restroom

1760 39th St.  
Vero Beach, FL 32960

## INDEX TO DRAWINGS

### ARCHITECTURAL

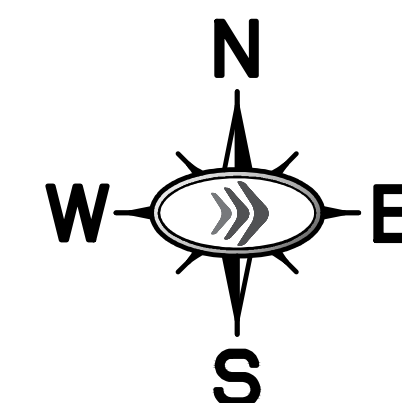
- ACC ACCESSIBILITY DETAILS
- A-1 FLOOR PLAN/ELEVATIONS
- A-2 SECTION
- A-3 DETAILS
- S-1 STRUCTURAL PLANS
- MEP-1 MECHANICAL/ELECTRICAL/PLUMBING PLANS

### CIVIL

- C-000 COVER SHEET
- S-1 SURVEY
- C-100 SITE PLAN
- C-200 PAVING AND GRADING PLAN
- C-300 UTILITY PLAN
- C-350 DETAIL SHEET
- C-351 DETAIL SHEET



VICINITY MAP  
NOT TO SCALE

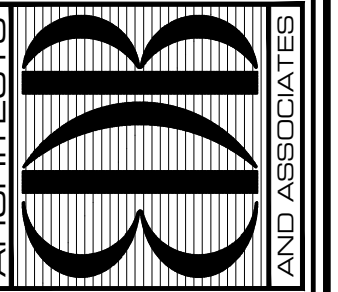


ARCHITECT



Kimley-Horn and Associates, Inc.  
445 24th Street Suite 200  
Vero Beach, FL 32960  
PHONE (772) 794-4100  
FAX (772) 794-4130

EDLUND · DRITENBAS · BINKLEY  
ARCHITECTS AND ASSOCIATES, P.A.  
AR-1A 0000886  
65 ROYAL PALM POINTE, SUITE "D"  
VERO BEACH, FLORIDA 32960  
PHONE: (772) 569-4320



SEAL:

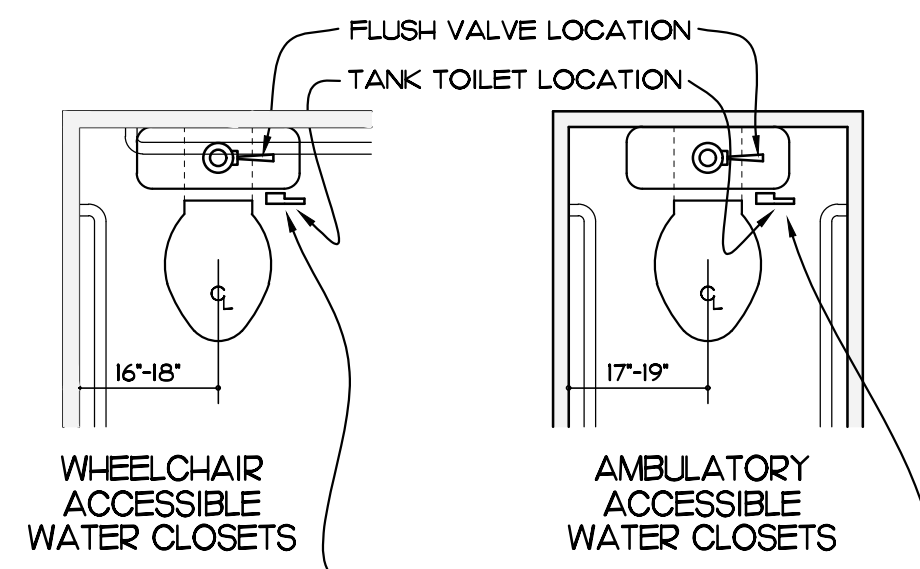
PROJECT: IRC HOSE SCHUMANN PARK  
RESTROOM  
INDIAN RIVER COUNTY  
FOR: 1760 39TH ST.  
VERO BEACH, FL 32960

NO.	DATE	REVISIONS

© JAN '23. THESE PLANS AND THE INFORMATION SHOWN HEREIN ARE THE PROPERTY OF EDLUND DRITENBAS BINKLEY ARCHITECTS, P.A. AND REPRODUCTION, DISSEMINATION OR USE THEREOF IN WHOLE OR IN PART IS EXPRESSLY PROHIBITED WITHOUT WRITTEN PERMISSION.

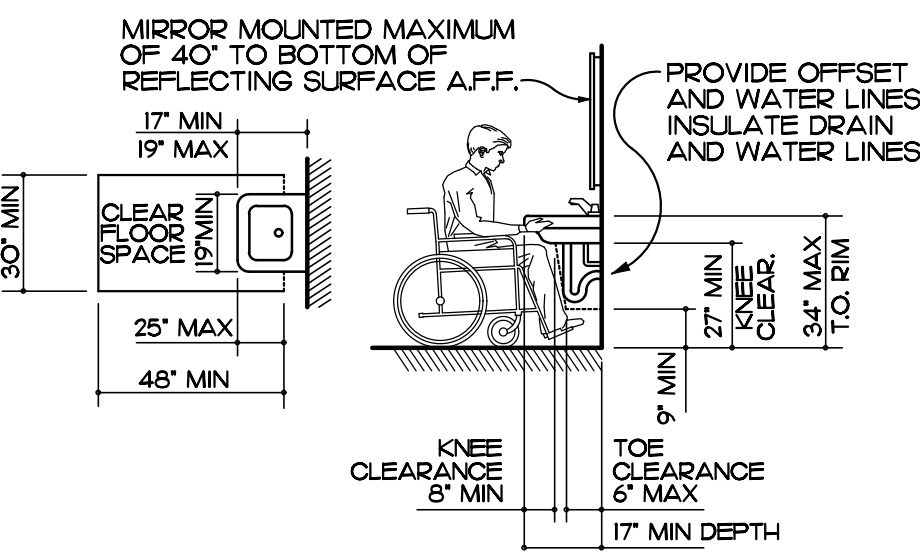
COMM. NO: 100222VB  
DATE: JANUARY 13, 2023  
BY: LJB  
CHK'D: JFB

SHEET NO.  
**COVER**  
OF ONE

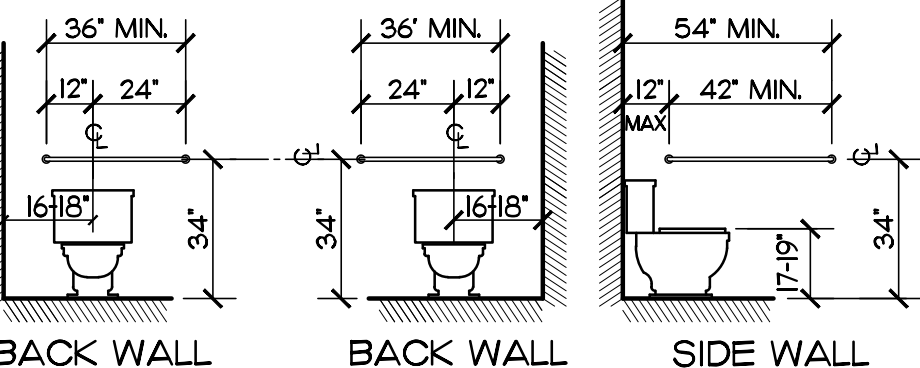


FIXTURE LOCATIONS AND FLUSH VALVE LOCATION

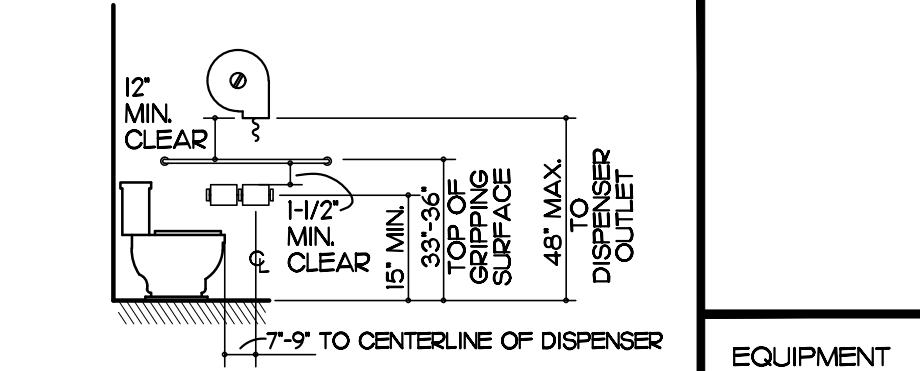
CONTROLS FOR FLUSH VALVES SHALL BE ON THE WIDE SIDE OF THE WATER CLOSET EXCEPT FOR AMBULATORY ACCESSIBLE COMPARTMENTS (FABC 604.6) WHERE CONTROL CAN BE ON EITHER SIDE



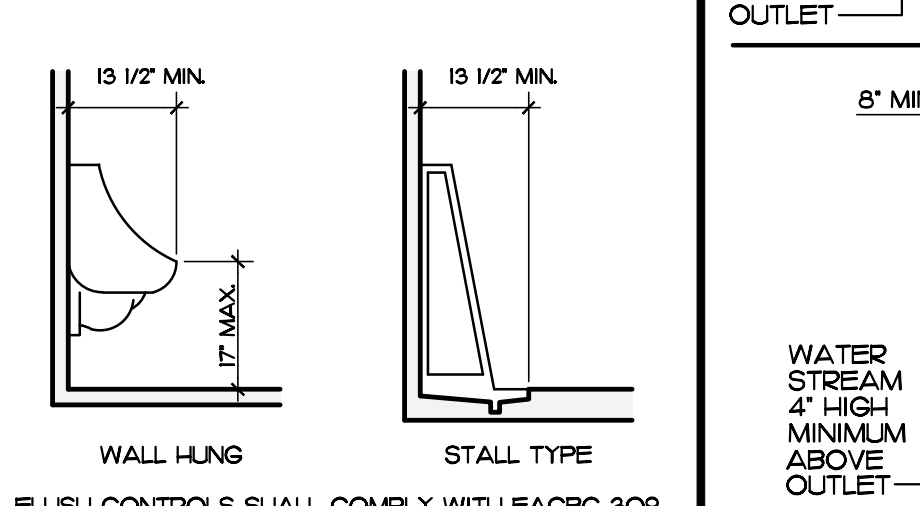
LAVATORY CLEARANCES



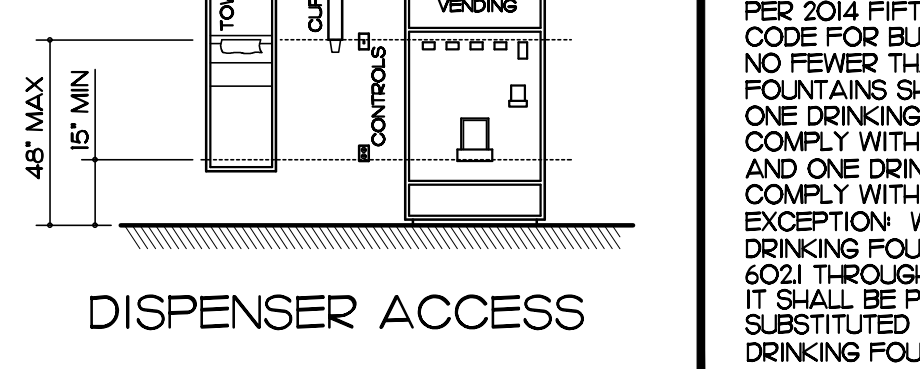
GRAB BARS AT WATER CLOSETS IN TOILET ROOMS



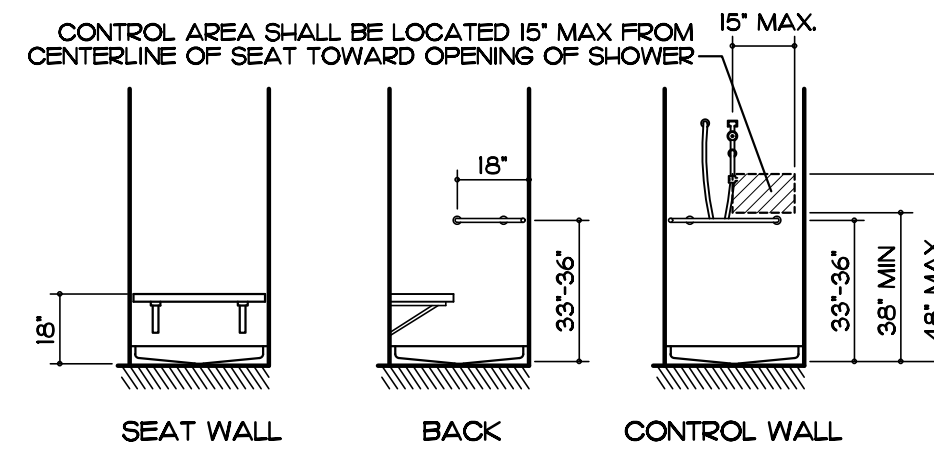
TOILET PAPER DISPENSER OUTLET LOCATION



ACCESSIBLE URINAL



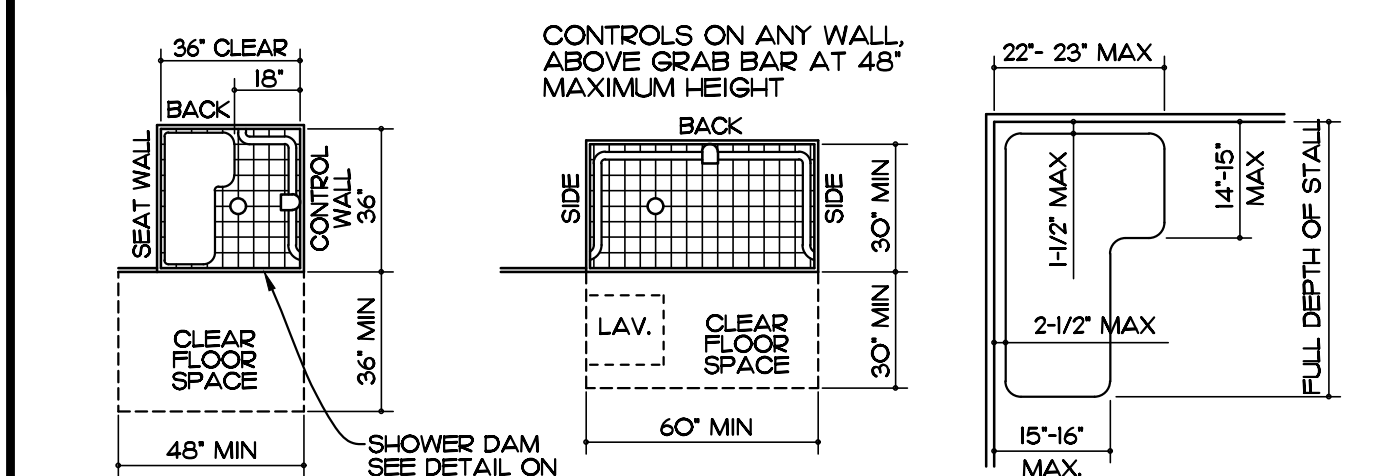
DISPENSER ACCESS



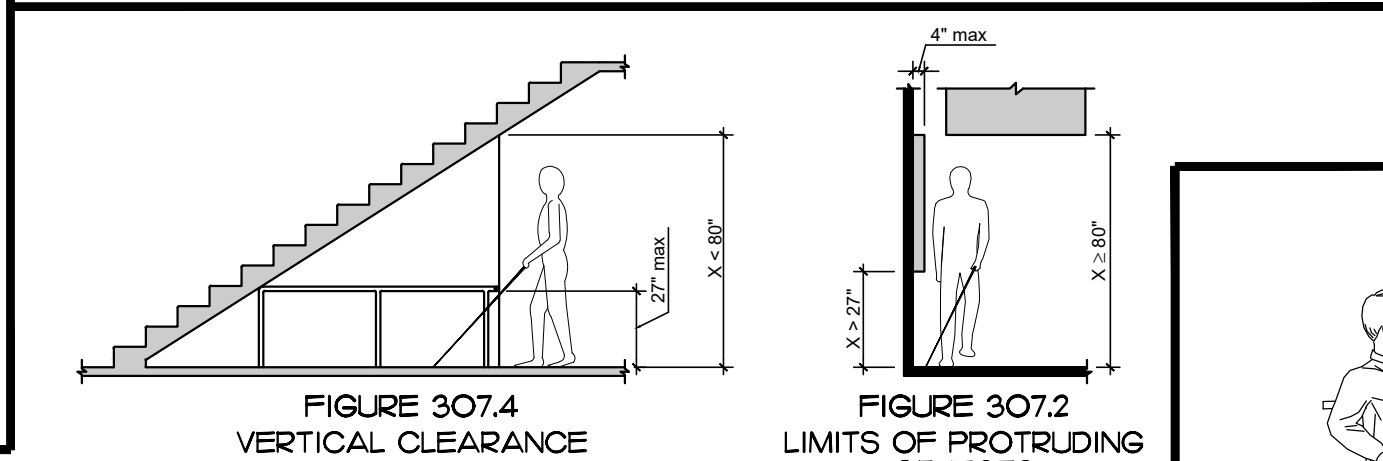
SHOWER SIZE, CLEARANCES AND SEAT DESIGN



GRAB BARS AT SHOWER STALLS



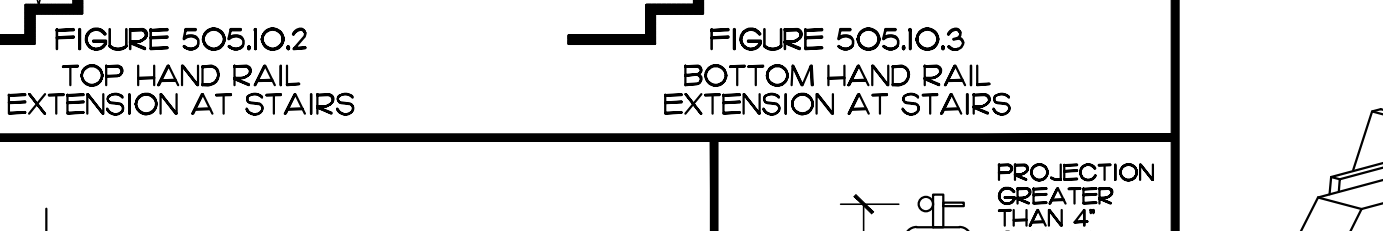
SHOWER SEAT DESIGN



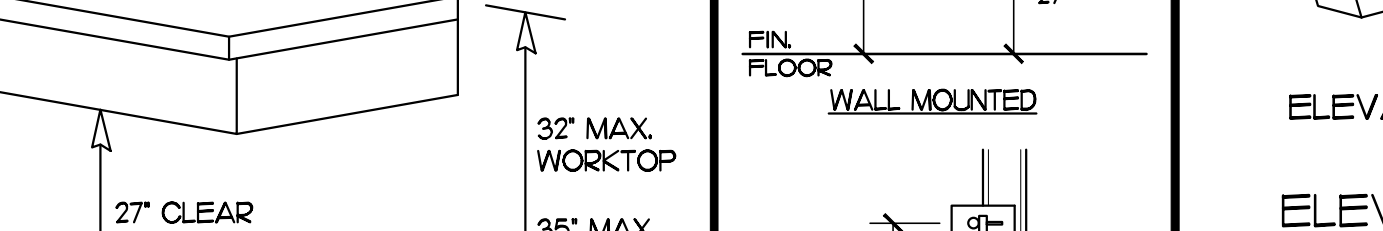
VERTICAL CLEARANCE



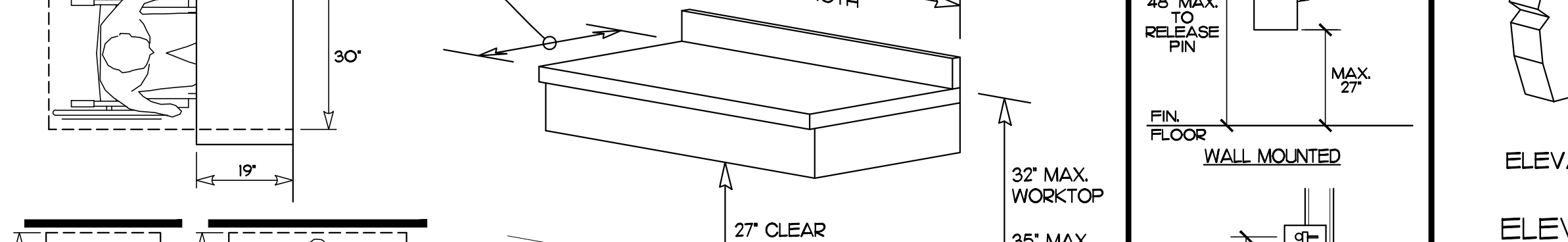
TOP AND BOTTOM HAND RAIL EXTENSION AT RAMP



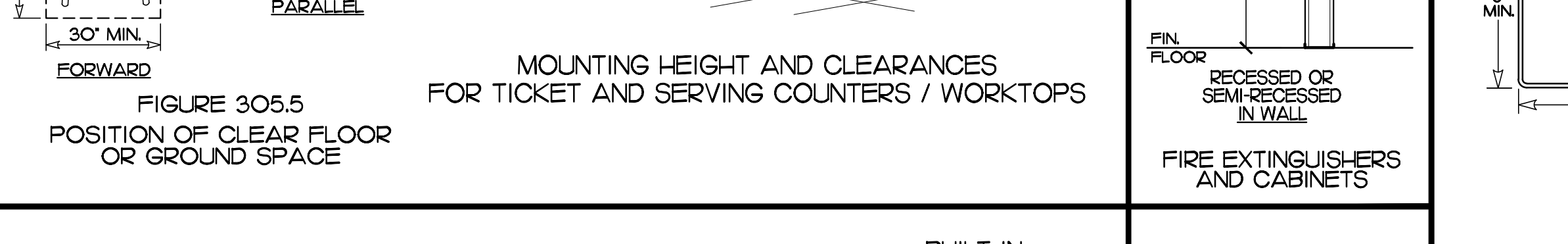
TOP HAND RAIL EXTENSION AT STAIRS



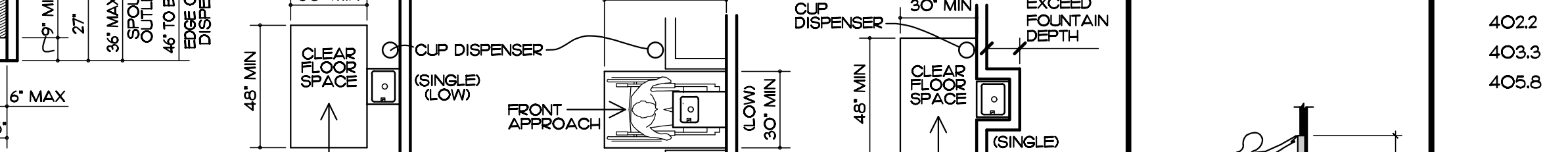
BOTTOM HAND RAIL EXTENSION AT STAIRS



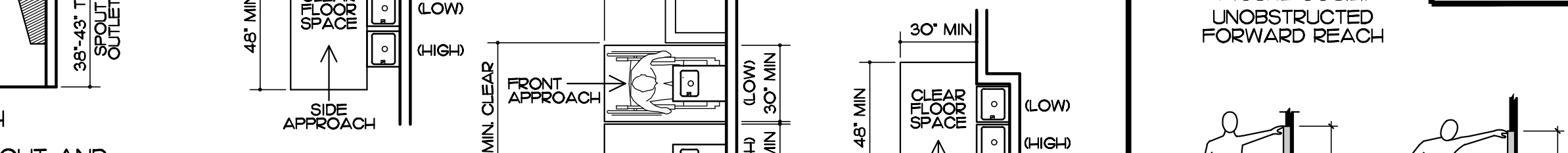
POSITION OF CLEAR FLOOR OR GROUND SPACE



FIRE EXTINGUISHERS AND CABINETS



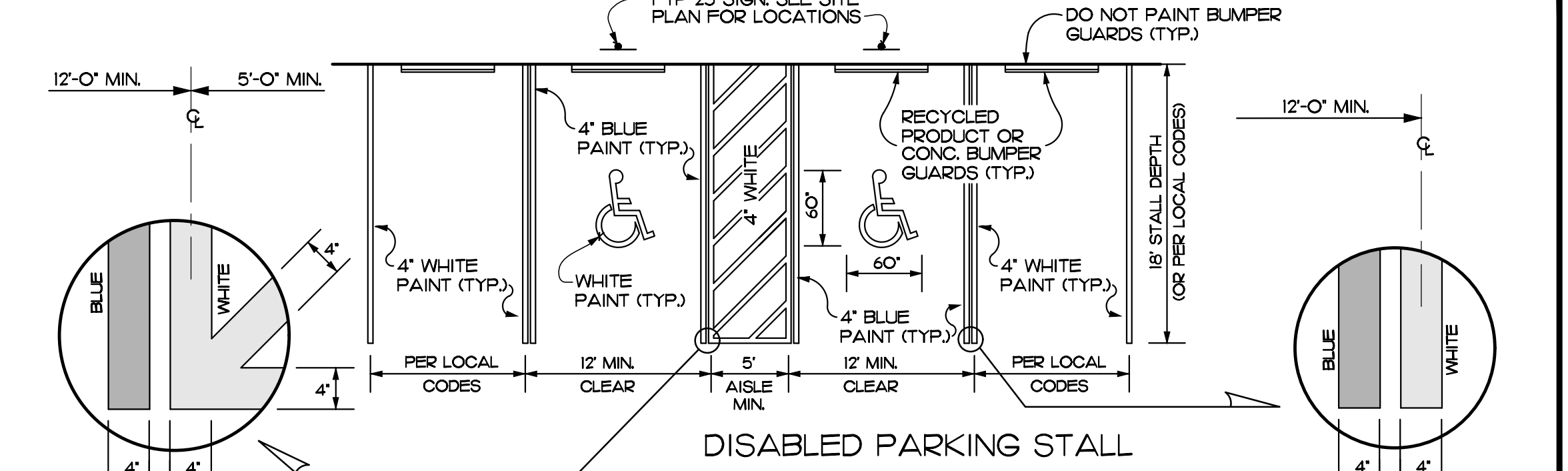
DRINKING FOUNTAINS AND WATER COOLERS



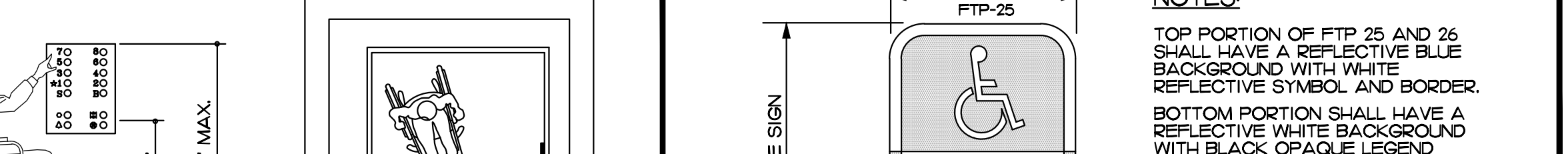
UNOBSTRUCTED FORWARD REACH



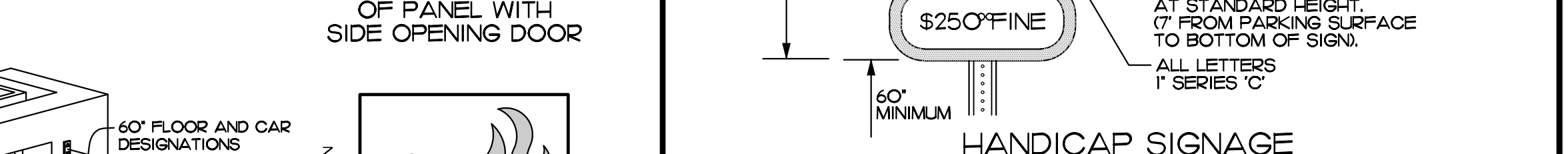
OBSTRUCTED HIGH SIDE REACH



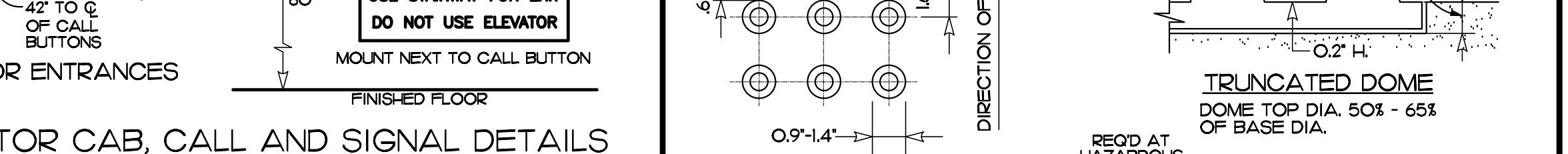
DISABLED PARKING STALL



CAR CONTROL HEIGHT



ELEVATOR ENTRANCES



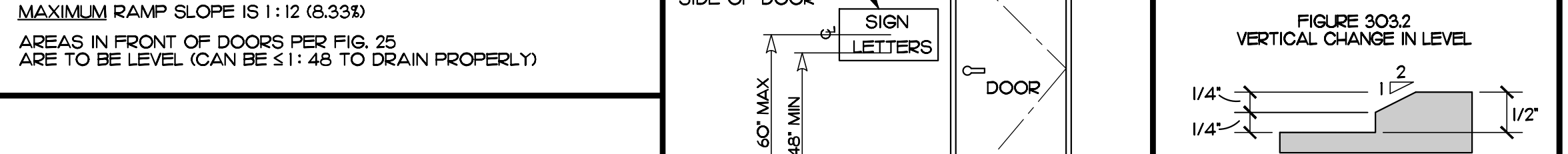
ELEVATOR CAB, CALL AND SIGNAL DETAILS



UNIVERSAL SYMBOLS MOUNT AT 60" A.F.F. TO CENTERLINE



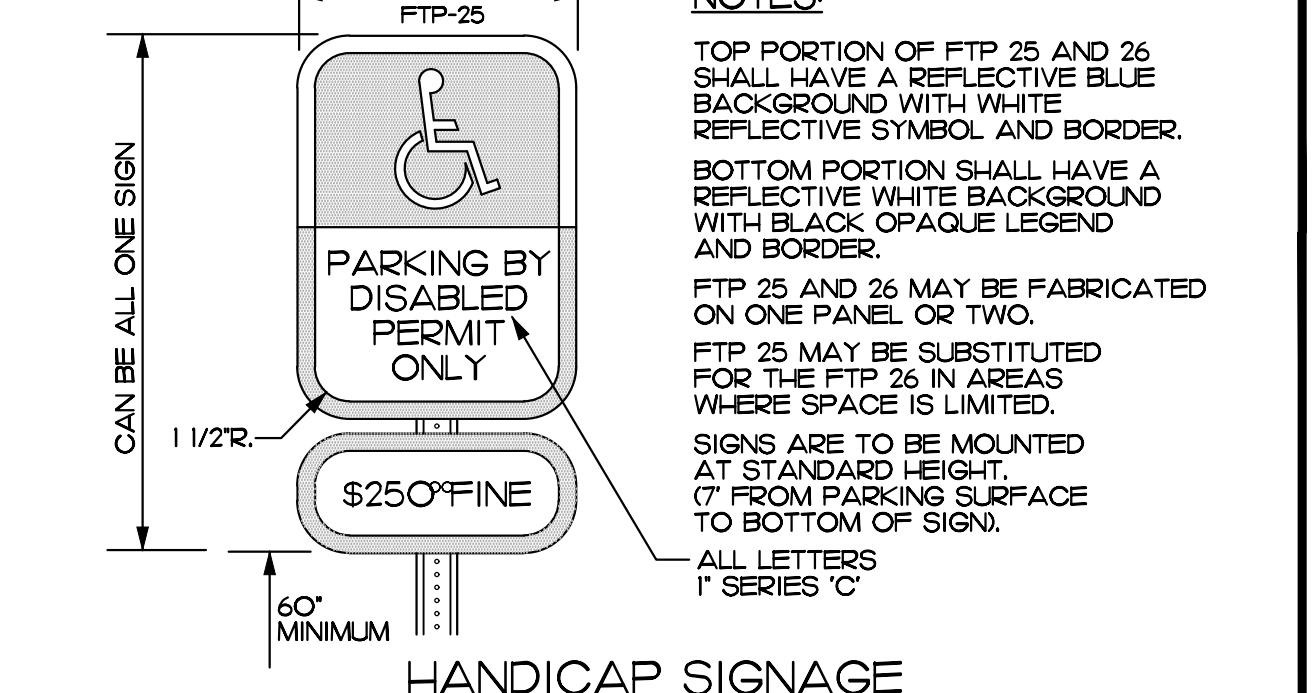
ADA / FACBC REFERENCE GUIDE



REACH LIMITS



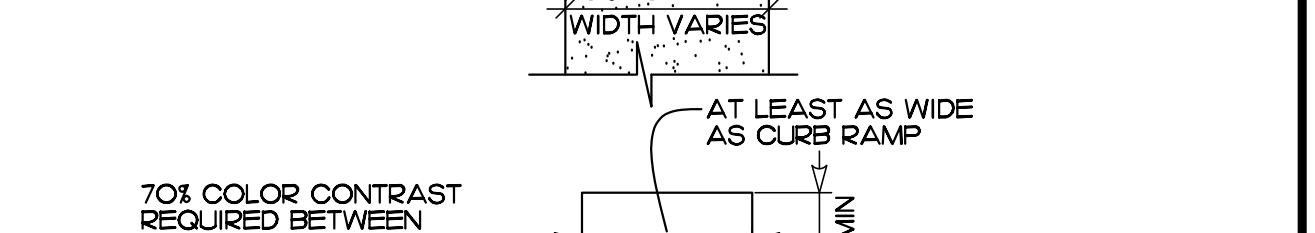
REACH LIMITS



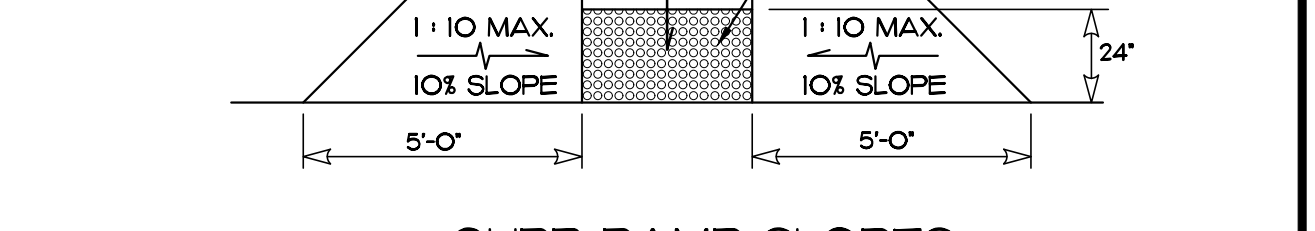
HANDICAP SIGNAGE



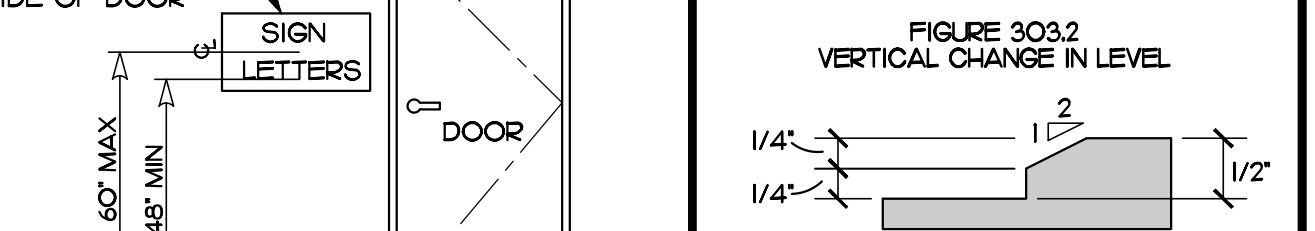
CURB RAMP SLOPES



REACH LIMITS



REACH LIMITS

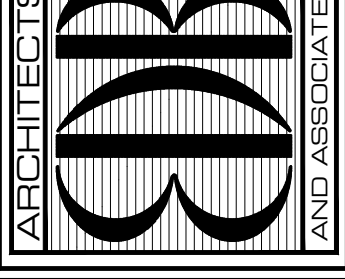


REACH LIMITS



REACH LIMITS

EDLUND · DRITENBAS · BINKLEY ARCHITECTS AND ASSOCIATES, P.A.  
AR-1A 000886  
65 ROYAL PALM POINTE, SUITE "D"  
VERO BEACH, FLORIDA 32986  
PHONE: (772) 569-4320



PROJECT: IRC HOSE SCHUMANN PARK RESTROOM  
INDIAN RIVER COUNTY  
1760 39TH ST. VERO BEACH, FL 32960

NO.	DATE	REVISIONS

© JAN '23. THESE PLANS AND THE INFORMATION SHOWN HEREIN ARE THE PROPERTY OF EDLUND DRITENBAS BINKLEY ARCHITECTS AND ASSOCIATES, P.A. AND REPRODUCTION, DISSEMINATION OR USE THEREOF IN WHOLE OR IN PART IS EXPRESSLY FORBIDDEN WITHOUT WRITTEN PERMISSION.

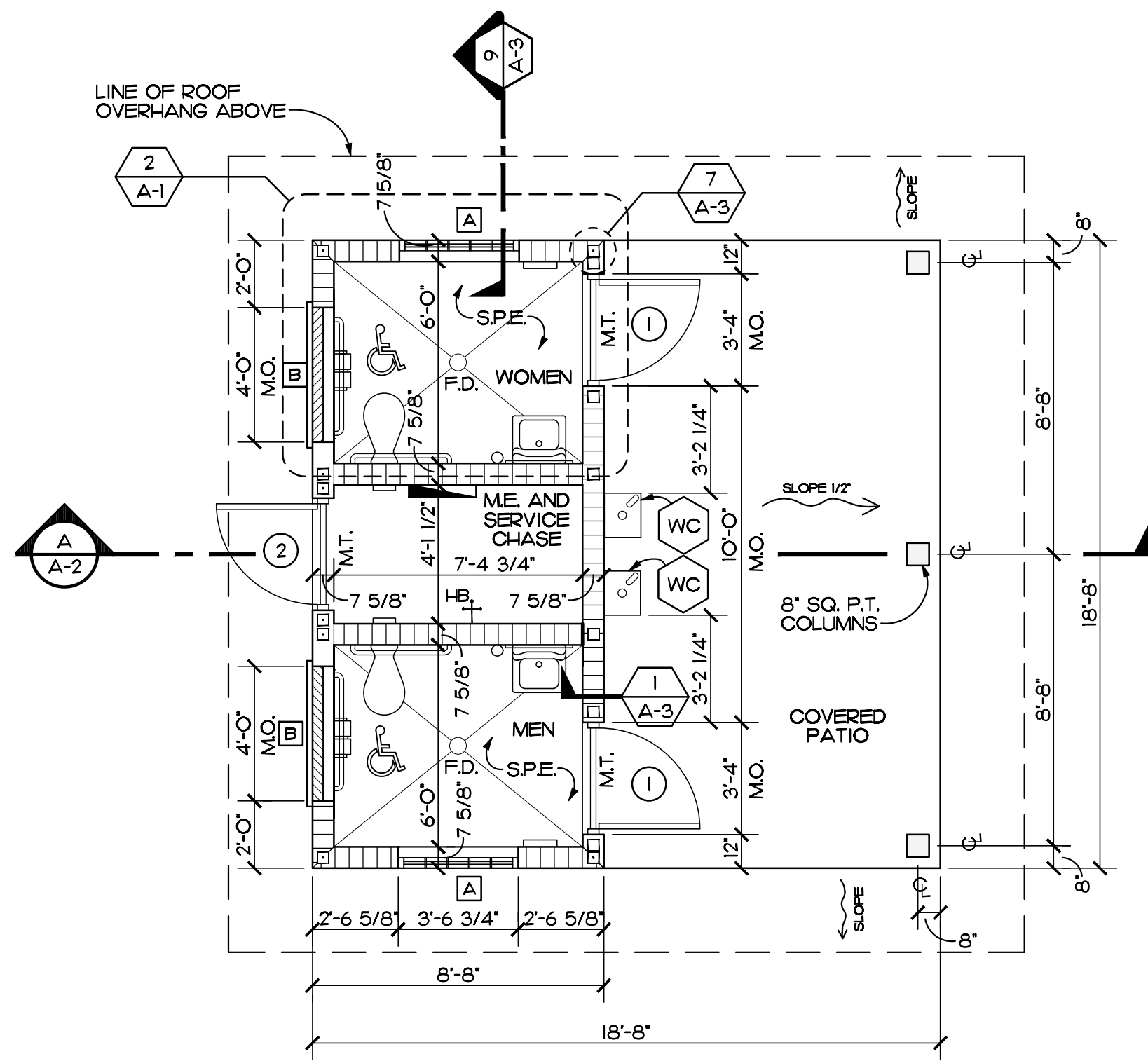
COMM. NO: 100222VB  
DATE: JANUARY 13, 2023  
BY: LJD  
CHK'D: JFB

SHEET NO.  
**ACC**  
OF ONE

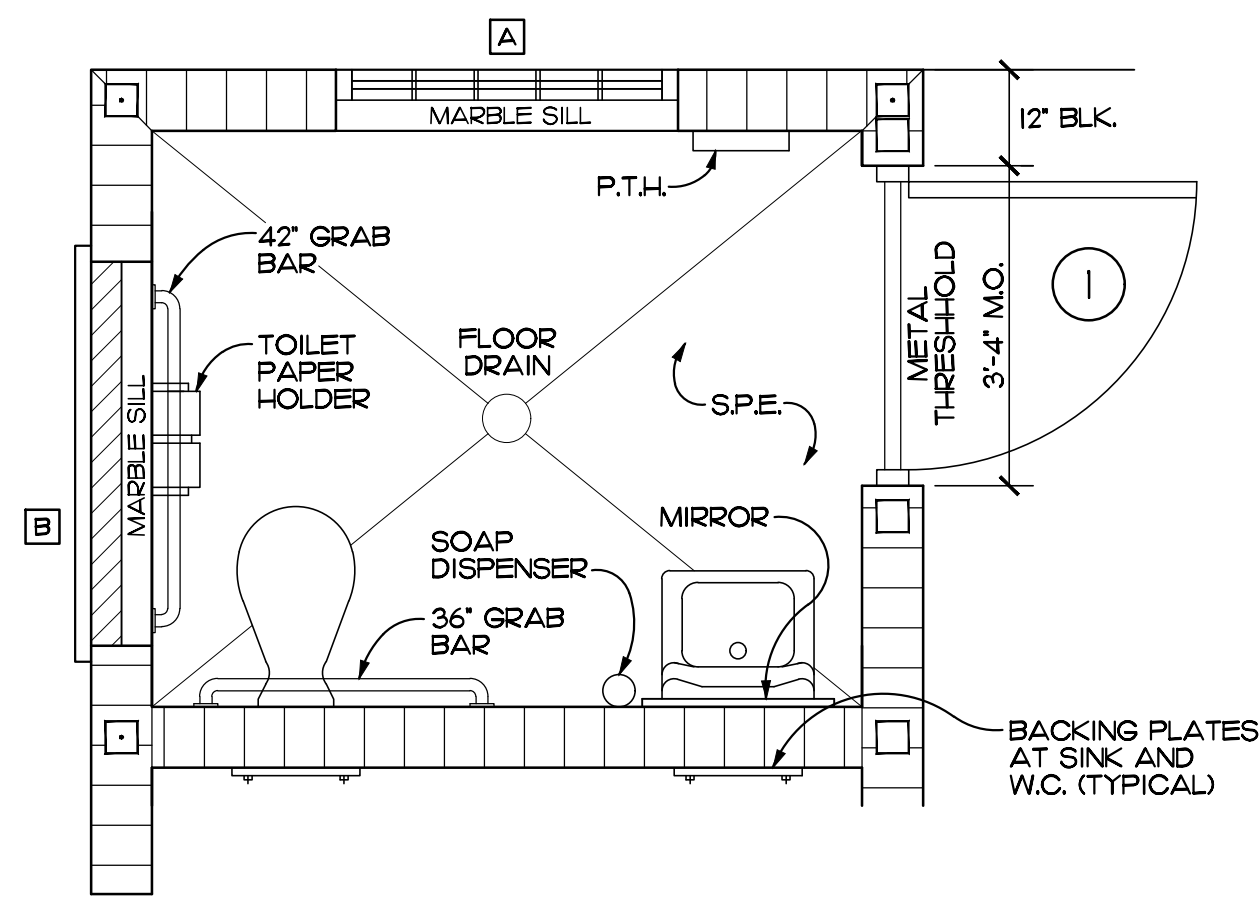
ACCESSIBILITY DETAILS

SOME TERMS, SYMBOLS AND SPECIFICATIONS MAY NOT APPLY TO THIS PROJECT.

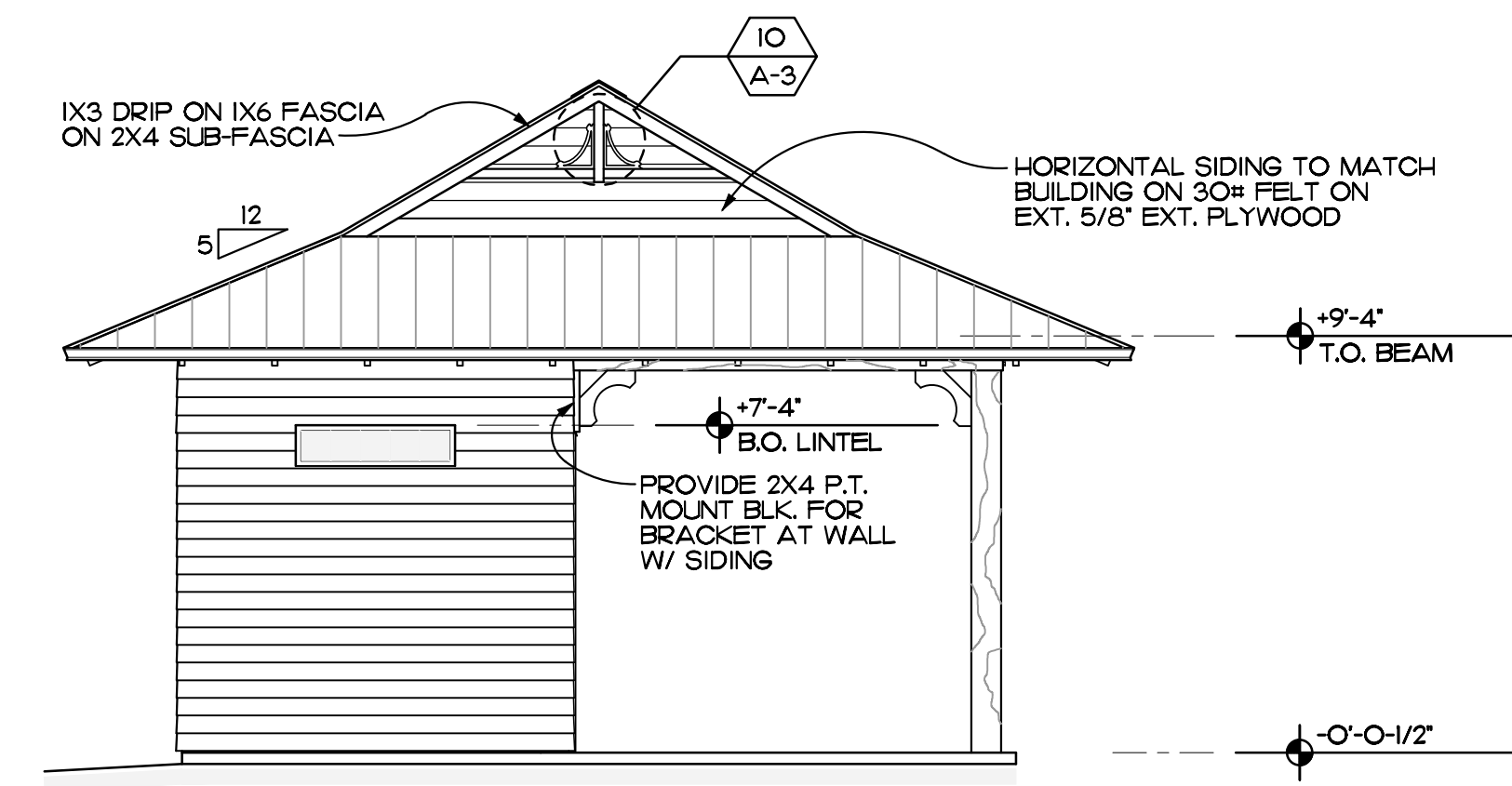
UPDATED 04 APRIL 2016



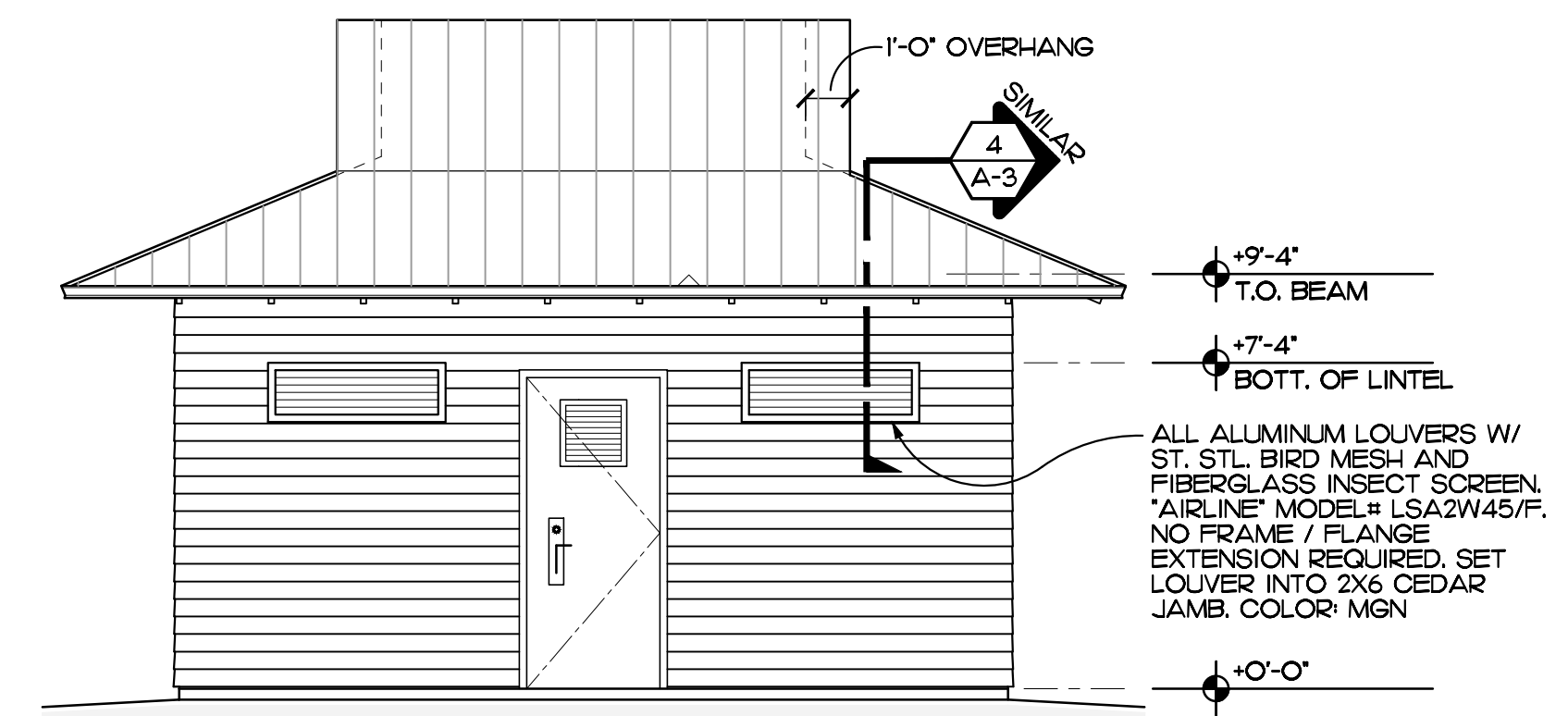
**FLOOR PLAN** NOTE: ORIENTATION DEPENDS ON SITE APPLICATION  
SCALE: 1/4" = 1'-0"



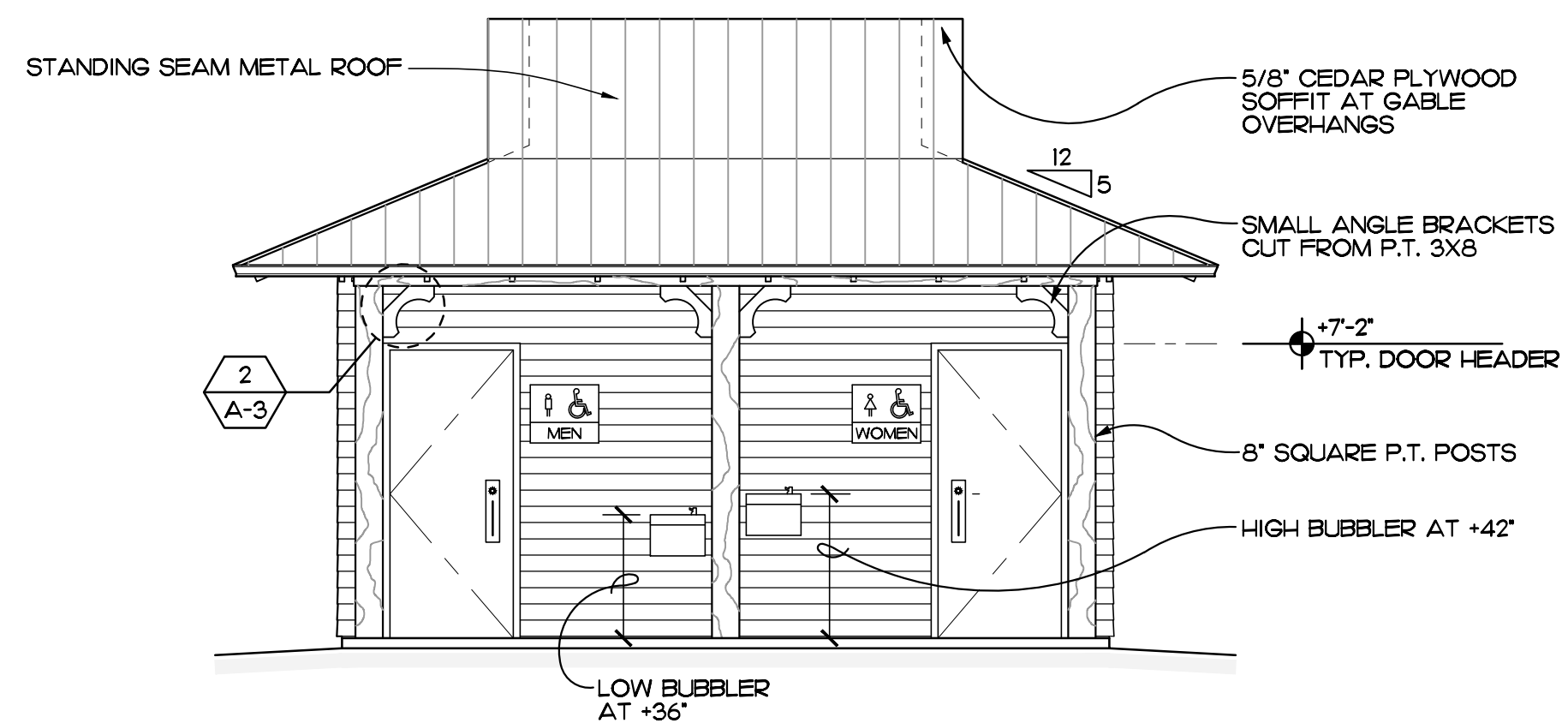
**DETAIL** TYPICAL RESTROOM  
SCALE: 1/4" = 1'-0" REF. THIS SHEET



**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

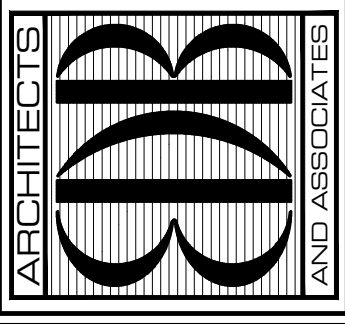


**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

LEGEND	
[Pattern]	NEW MASONRY WALL
[Pattern]	CONCRETE FILLED CELL
[Pattern]	CONC. FILLED CELL W/1/5 VERT.
[Symbol]	7-1/2" X 7-1/2" X 3-1/2" GLASS BLOCK
[Symbol]	ALUM. LOUVER, SIZE: M.O. IS 4'-0" W. X 1'-4" H., LESS 3" FOR CEDAR JAMB, LESS 1/8" + 3'-8-7/8" W. X 1'-0-7/8" H. (ACTUAL)
[Symbol]	B.F.E. BASE FLOOD ELEVATION
[Symbol]	S.P.E. SINGLE PLY EPOXY FLOORING AND BASE FIBERGLASS REINFORCED PANEL
[Symbol]	M.T. METAL THRESHOLD
[Symbol]	3'-0" W. X 7'-0" H. X 1-3/4" 16 GA. GALV. STEEL DOOR IN 16 GA. STEEL FRAME
[Symbol]	3'-0" W. X 7'-0" H. X 1-3/4" 16 GA. GALV. STEEL DOOR IN 16 GA. STEEL FRAME WITH FIXED LOUVER W/ BUG SCREEN ON TOP THIRD FOR VENTILATION
[Symbol]	8" SQUARE P.T. COLUMN (C.O.A. PRESERVATIVE TO RECEIVE PAINT)
[Symbol]	WC ELKAY DRINKING FOUNTAIN MODEL EDFF-14-C W/ PUSH BAR BUBBLER CONTROL. COLOR: STAINLESS STEEL
[Symbol]	P.T.H. PAPER TOWEL HOLDER
[Symbol]	H.B. HOSE BIBB
[Symbol]	F.D. FLOOR DRAIN

- PAINTING AND FINISHING NOTES:**
- ALL INTERIOR AND EXTERIOR WALLS/CEILINGS TO RECEIVE PAINT OVER PROPER PRIMERS. REFER TO SPECIFICATIONS.
  - ALL INTERIOR AND EXTERIOR CEDAR, CEDAR BEAM WRAPS, RAFTER TAILS, FASCIA, 1X6 PINE CEILINGS, PLYWOOD SOFFITS AND TRIM BOARDS TO BE PRIMED ON ALL FACES AND FINISH PAINTED WITH TWO COATS APPROVED PAINTS PER PLANS AND SPECIFICATIONS.
  - DO NOT APPLY PAINTS TO EXPOSED OR CONCEALED P.T. WOOD PRODUCTS, W/ EXCEPTION OF 8" SQUARE P.T. POSTS.
  - DO NOT PAINT ANY FLOORS. COVERED PATIO FLOOR CONCRETE TO BE FINISHED WITH A CLEAR CONCRETE SEALER.
  - COLORS AS NOTED OR AS SELECTED BY COUNTY ENGINEER.
  - RESTROOM FLOORS TO BE SINGLE PLY EPOXY WITH BASE TURNED UP 4". COVERED PATIO FLOOR TO BE FLOAT/SPONGE FINISHED CONCRETE.

EDLUND · DRITENBAS · BINKLEY  
ARCHITECTS AND ASSOCIATES, P.A.  
AR-AA 000086  
65 ROYAL PALM POINTE, SUITE "D"  
VERO BEACH, FLORIDA 32960  
PHONE: (772) 569-4320



SEAL:

PROJECT: IRC HOSE SCHUMANN PARK  
**RESTROOM**  
INDIAN RIVER COUNTY  
1760 39TH ST.  
VERO BEACH, FL 32960  
FOR:

NO.	DATE	REVISIONS

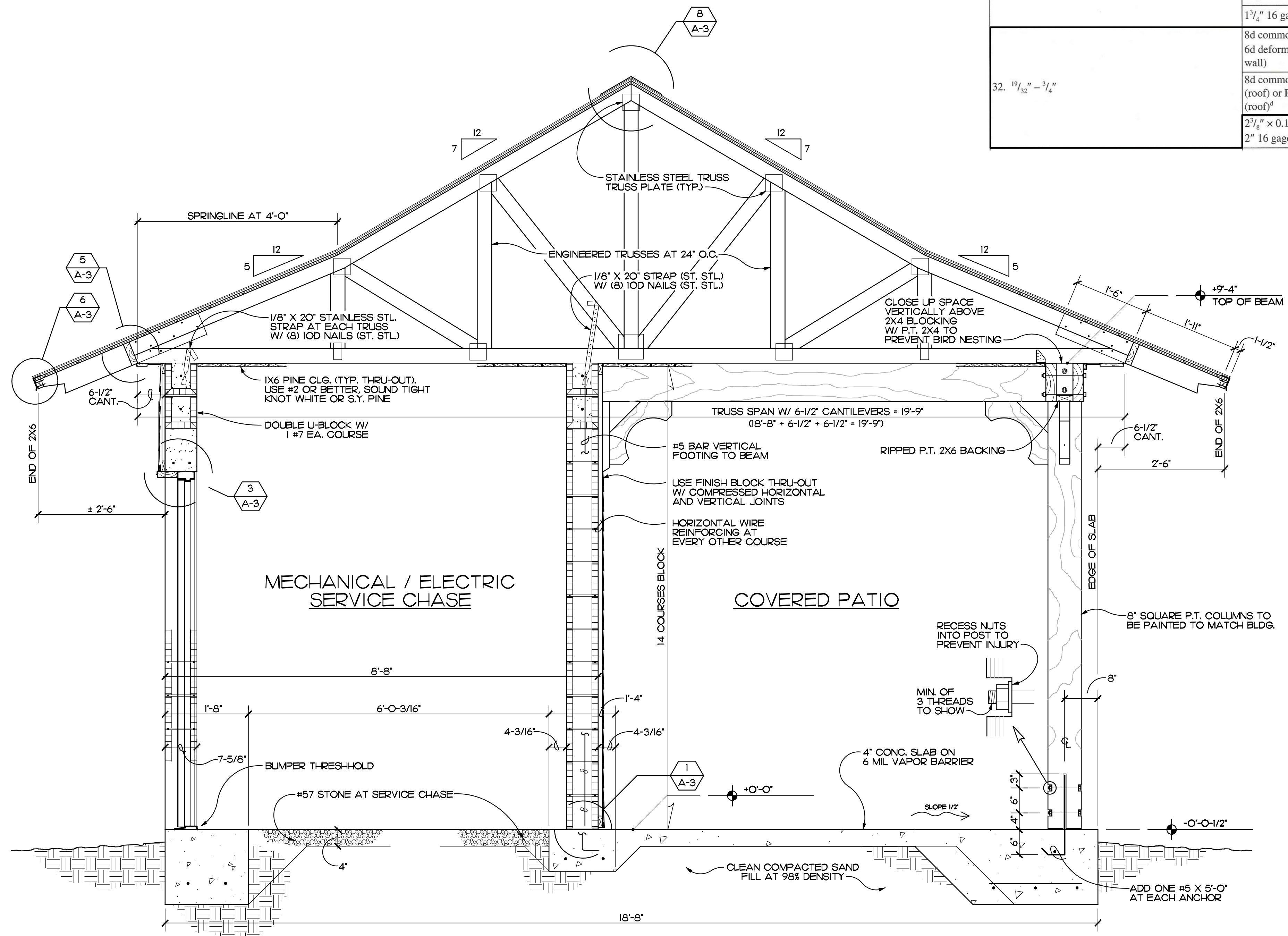
© JAN '23. THESE PLANS AND THE INFORMATION SHOWN HEREIN ARE THE PROPERTY OF EDLUND DRITENBAS BINKLEY ARCHITECTS, P.A. AND REPRODUCTION, DISSEMINATION OR USE THEREOF IN WHOLE OR IN PART IS EXPRESSLY PROHIBITED WITHOUT WRITTEN PERMISSION.

COMM. NO: 100222VB  
DATE: JANUARY 13, 2023  
BY: LJD  
CHKD: JFB

SHEET NO.  
**A-1**  
OF THREE

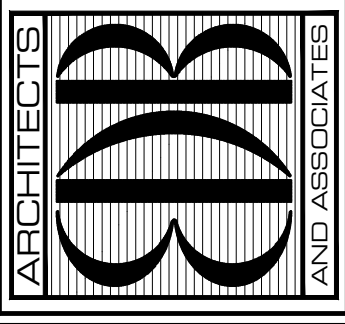
TABLE 2304.10.1—continued  
FASTENING SCHEDULE

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION	
		Edges (inches)	Intermediate supports (inches)
Wood structural panels (WSP), subfloor, roof and interior wall sheathing to framing and particleboard wall sheathing to framing*			
31. 3/4" - 1/2"	6d common or deformed (2" x 0.113") (subfloor and wall)	6	12
	8d common or deformed (2 1/2" x 0.131") (roof) or RSRS-01 (2 3/8" x 0.113") nail (roof) <sup>d</sup>	6	12
	2 1/2" x 0.113" nail (subfloor and wall)	6	12
	1 3/4" 16 gage staple, 7/16" crown (subfloor and wall)	4	8
	2 3/8" x 0.113" nail (roof)	4	8
32. 19/32" - 3/4"	8d common (2 1/2" x 0.131"); or 6d deformed (2" x 0.113") (subfloor and wall)	6	12
	8d common or deformed (2 1/2" x 0.131") (roof) or RSRS-01 (2 3/8" x 0.113") nail (roof) <sup>d</sup>	6	12
	2 3/8" x 0.113" nail; or 2" 16 gage staple, 7/16" crown	4	8



**SECTION**  
SCALE: 3" = 1'-0" REF. SHEETS A-1, S-1

EDLUND · DRITENBAS · BINKLEY  
ARCHITECTS AND ASSOCIATES, P.A.  
AR-AA 000086  
65 ROYAL PALM POINTE, SUITE "D"  
VERO BEACH, FLORIDA 32960  
PHONE: (772) 569-4320



SEAL:

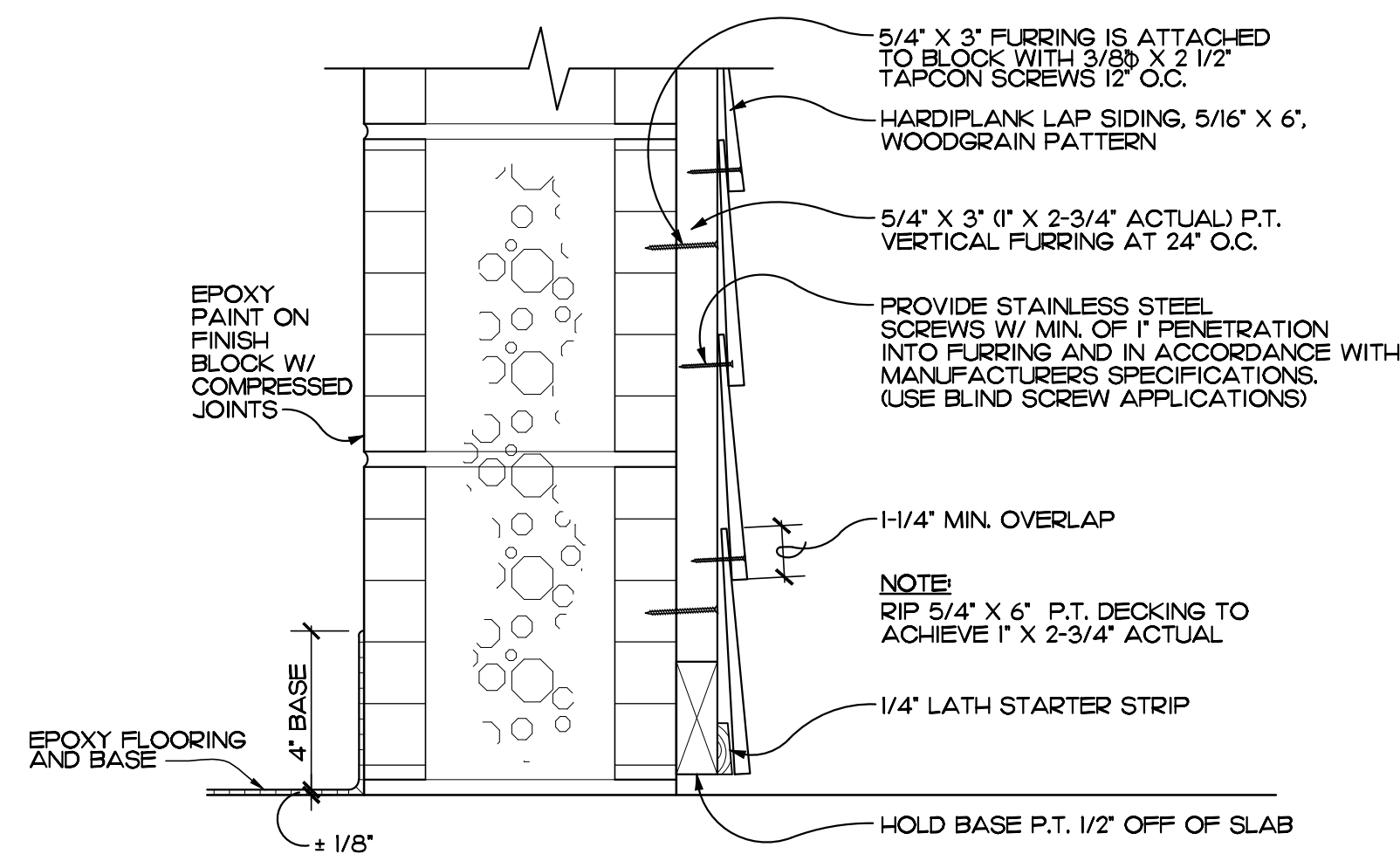
PROJECT: IRC HOSE SCHUMANN PARK  
RESTROOM  
INDIAN RIVER COUNTY  
1760 39TH ST.  
VERO BEACH, FL 32960

NO.	DATE	REVISIONS

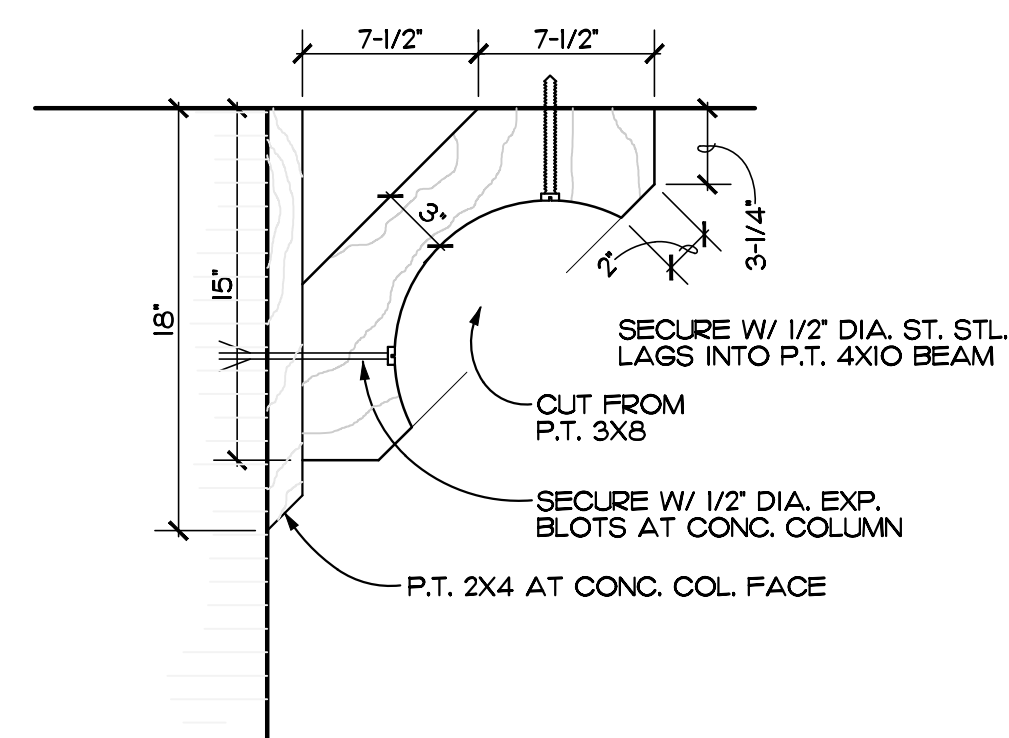
© JAN '23. THESE PLANS AND THE INFORMATION SHOWN HEREIN ARE THE PROPERTY OF EDLUND DRITENBAS BINKLEY ARCHITECTS, P.A. AND REPRODUCTION, DISSEMINATION OR USE THEREOF IN WHOLE OR IN PART IS EXPRESSLY PROHIBITED WITHOUT WRITTEN PERMISSION.

COMM. NO: 100222VB  
DATE: JANUARY 13, 2023  
BY: LJD  
CHKD: JFB

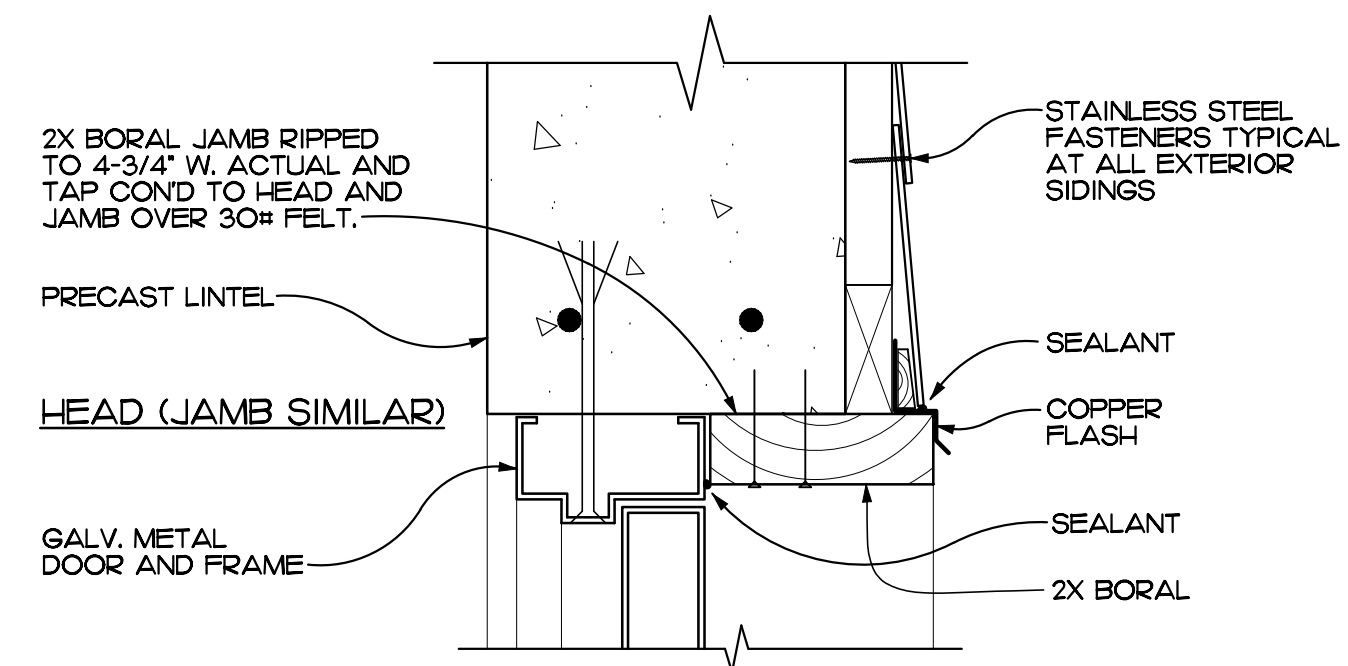
SHEET NO.  
**A-2**  
OF THREE



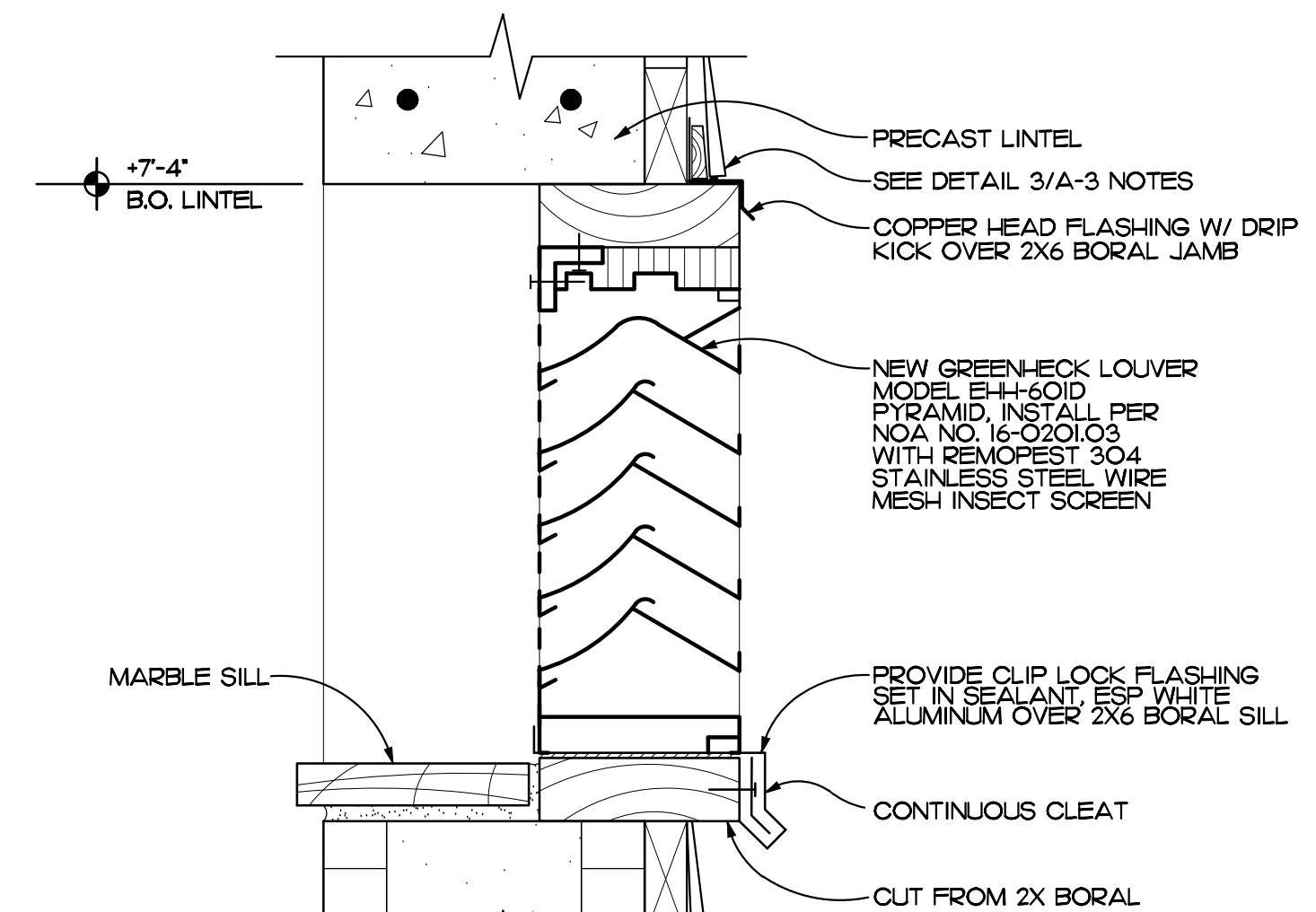
**DETAIL**  
SCALE: 3" = 1'-0"  
REF. SHEETS A-1, A-2  
1  
A-3



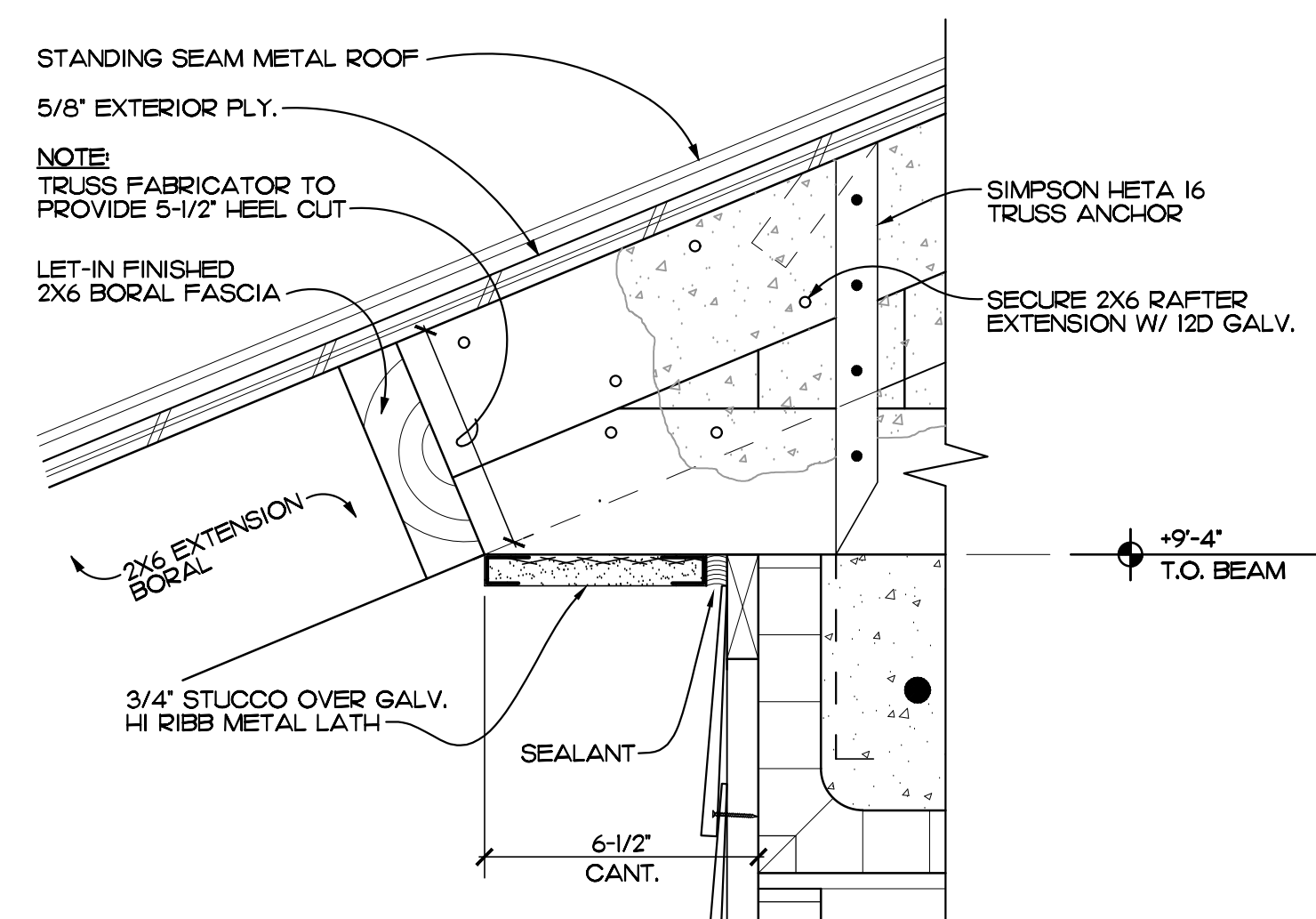
**DETAIL (AT BRACKET)**  
SCALE: 1-1/2" = 1'-0"  
REF. SHEET A-1  
2  
A-3



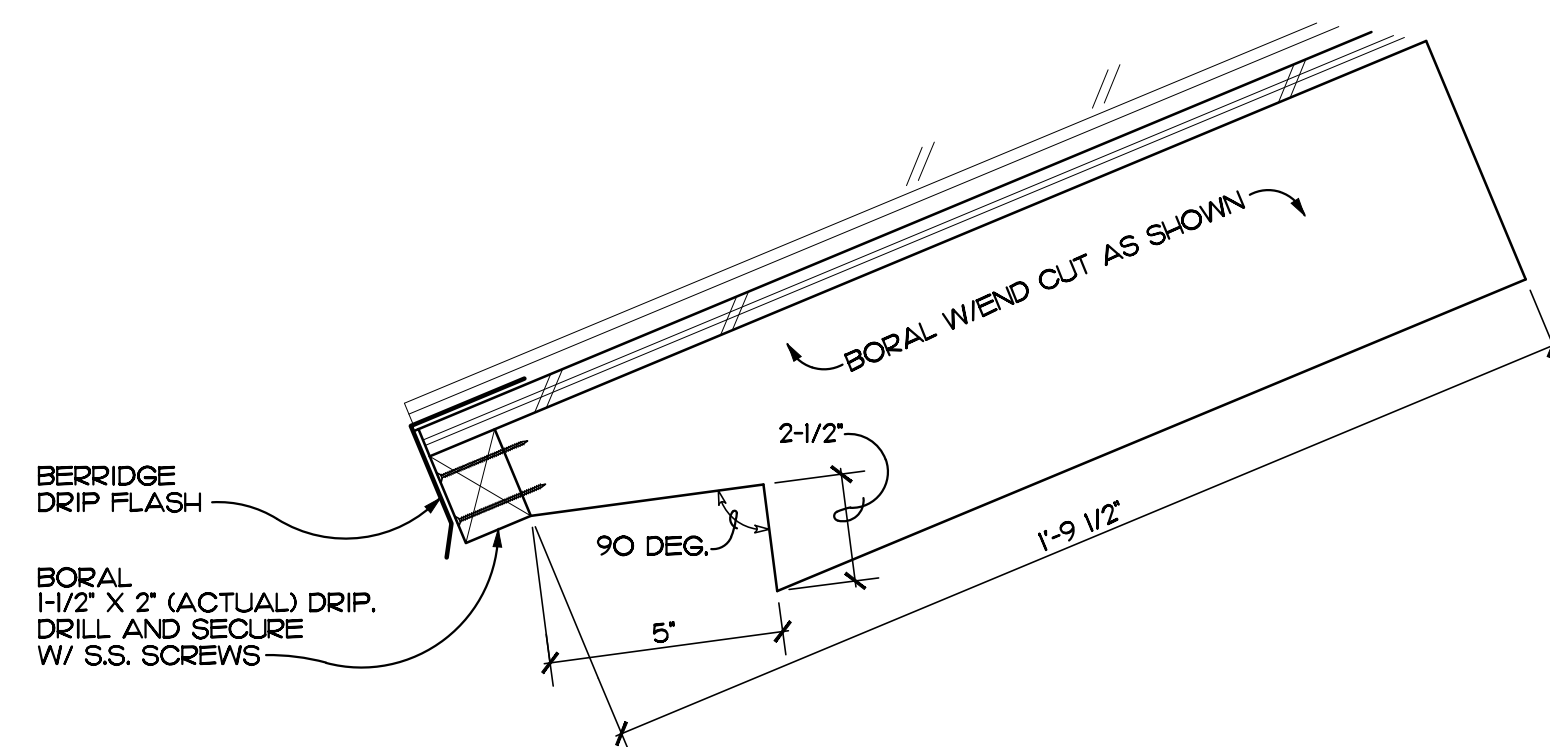
**DETAIL**  
SCALE: 3" = 1'-0"  
REF. SHEET A-2  
3  
A-3



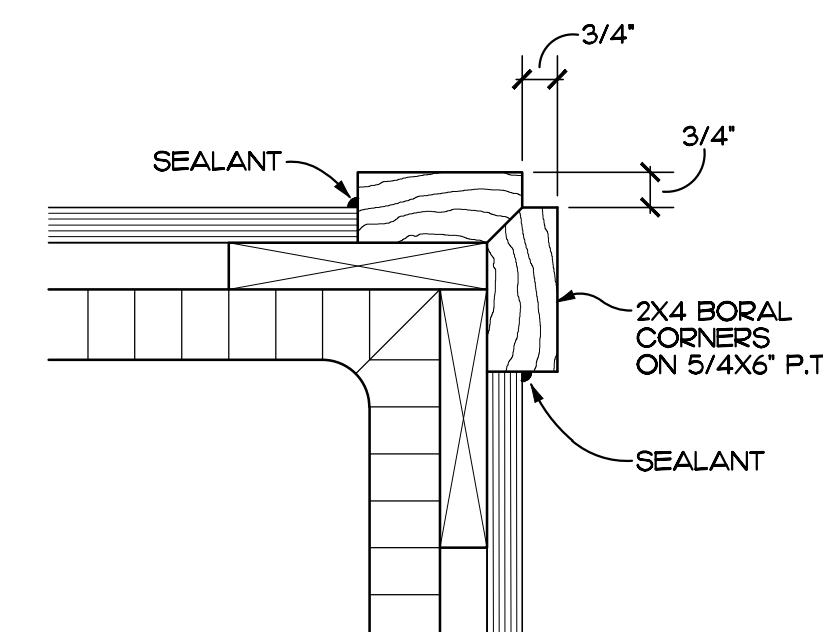
**DETAIL**  
SCALE: 3" = 1'-0"  
REF. SHEETS A-1, S-1  
4  
A-3



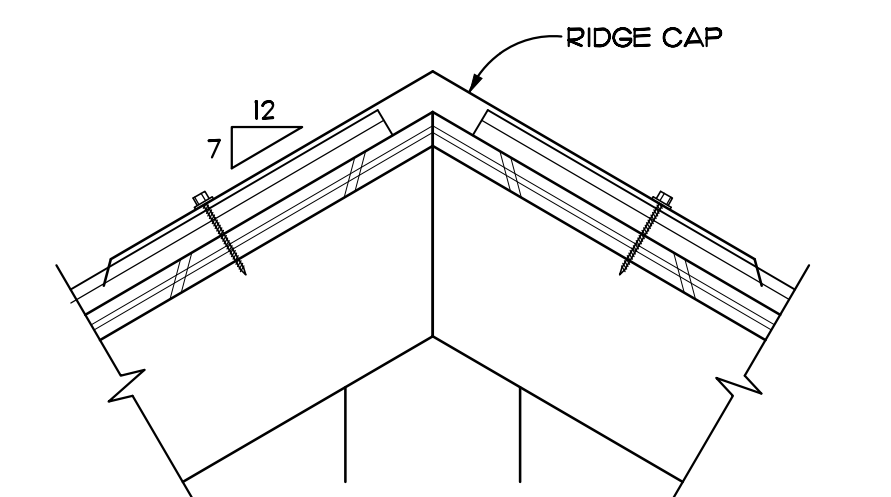
**DETAIL**  
SCALE: 3" = 1'-0"  
REF. SHEETS A-2, S-1  
5  
A-3



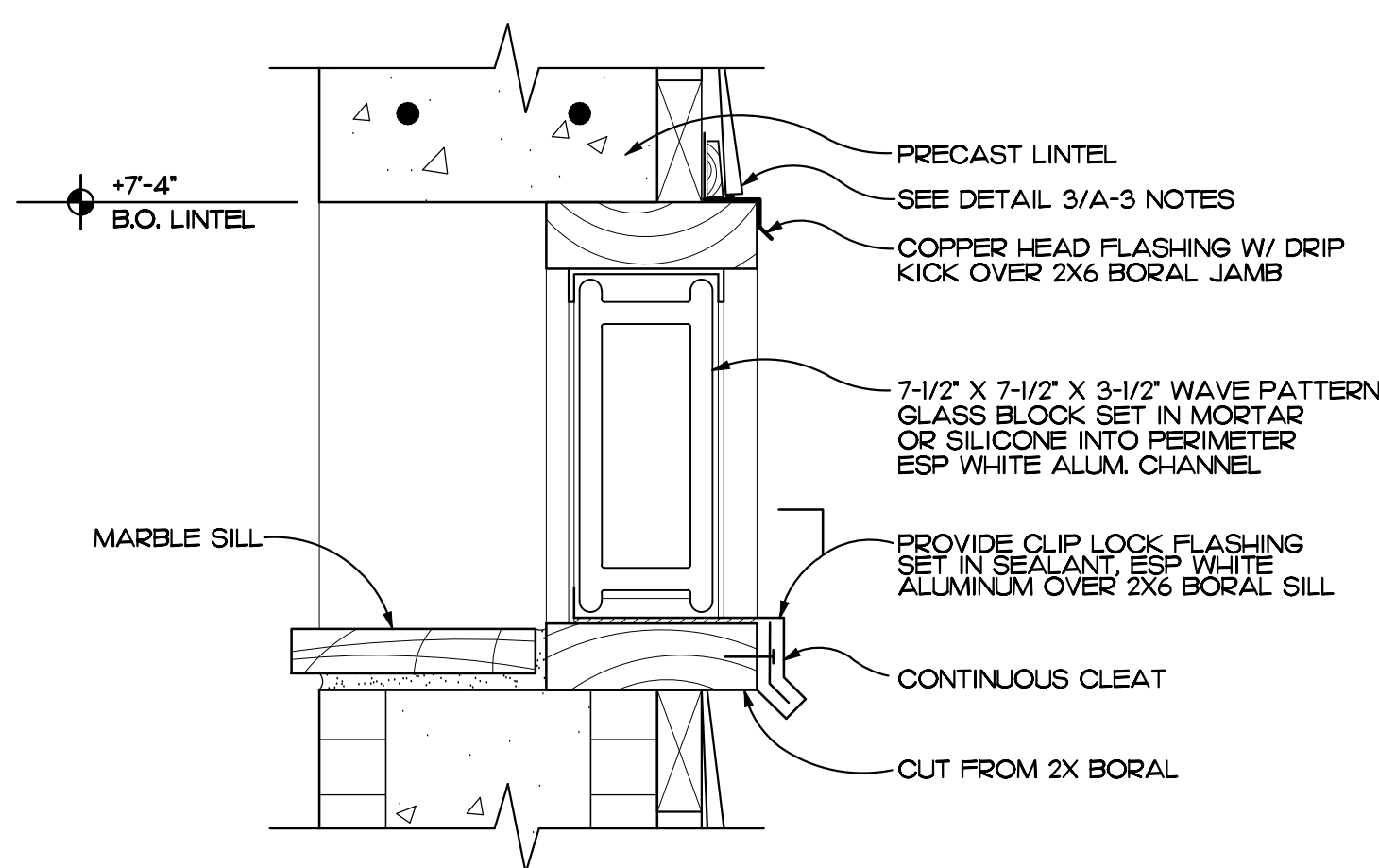
**DETAIL**  
SCALE: 3" = 1'-0"  
REF. SHEET A-2  
6  
A-3



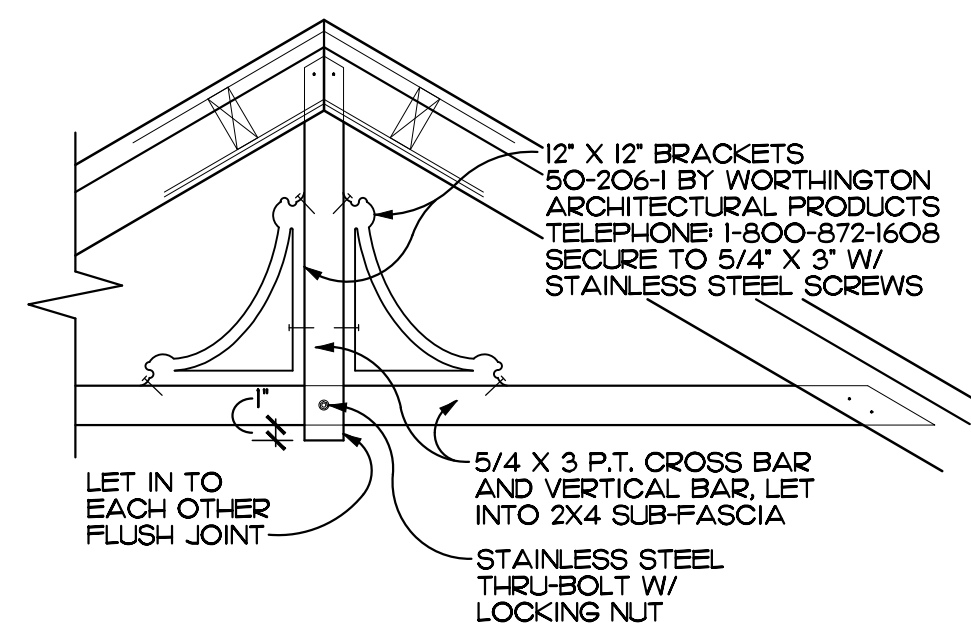
**DETAIL**  
SCALE: 3" = 1'-0"  
REF. SHEET A-1  
7  
A-3



**DETAIL**  
SCALE: 3" = 1'-0"  
REF. SHEET A-2  
8  
A-3

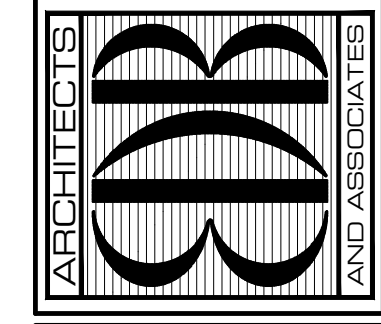


**DETAIL**  
SCALE: 3" = 1'-0"  
REF. SHEETS A-1, S-1  
9  
A-3



**DETAIL**  
SCALE: 1" = 1'-0"  
REF. SHEET A-1  
10  
A-3

EDLUND · DRITENBAS · BINKLEY  
ARCHITECTS AND ASSOCIATES, P.A.  
AR-AA 000086  
65 ROYAL PALM POINTE, SUITE "D"  
VERO BEACH, FLORIDA 32960  
PHONE: (772) 569-4320



SEAL:

PROJECT: IRC HOSE SCHUMANN PARK  
RESTROOM  
INDIAN RIVER COUNTY  
1760 39TH ST.  
VERO BEACH, FL 32960

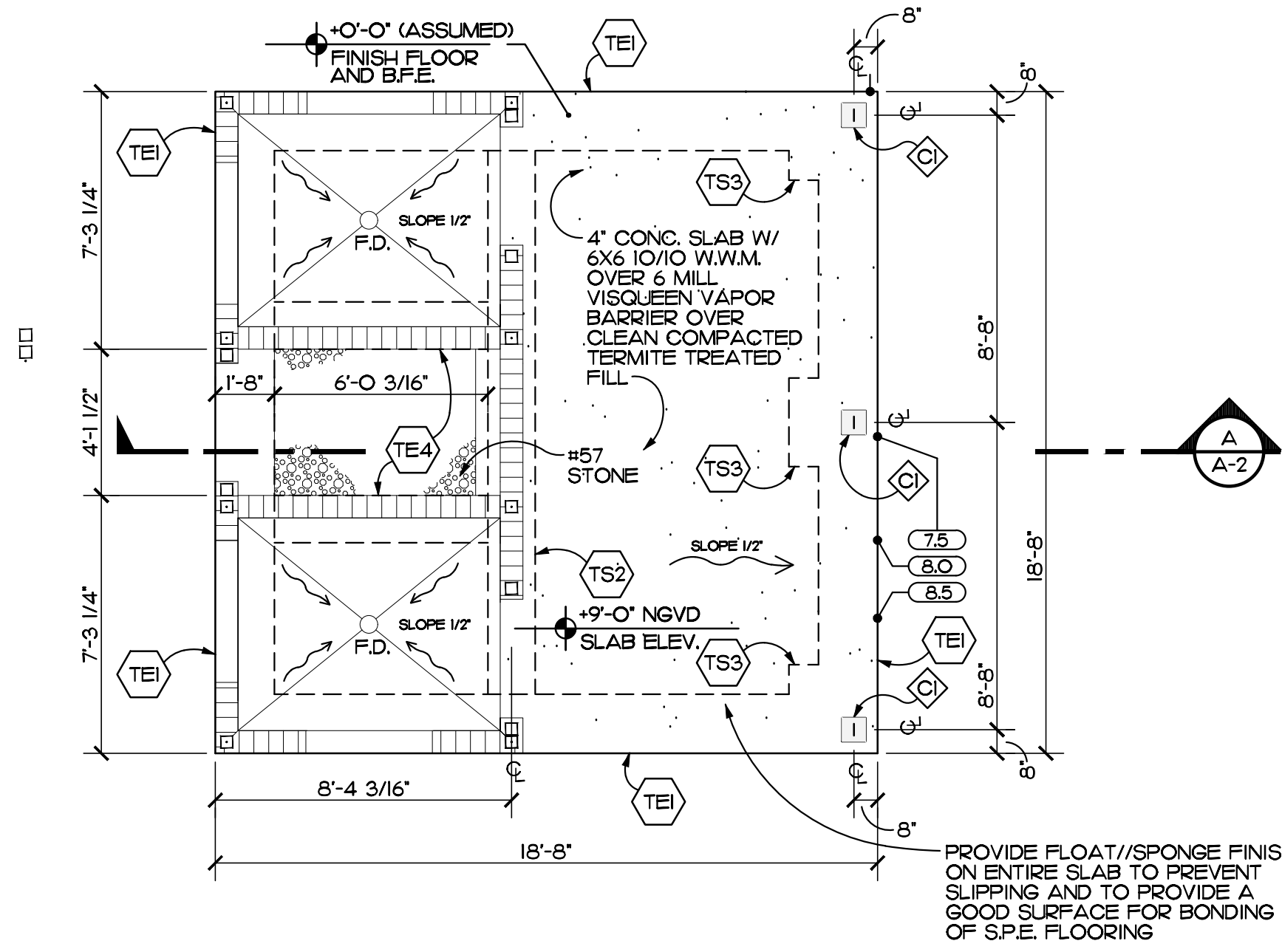
FOR:

NO.	DATE	REVISIONS

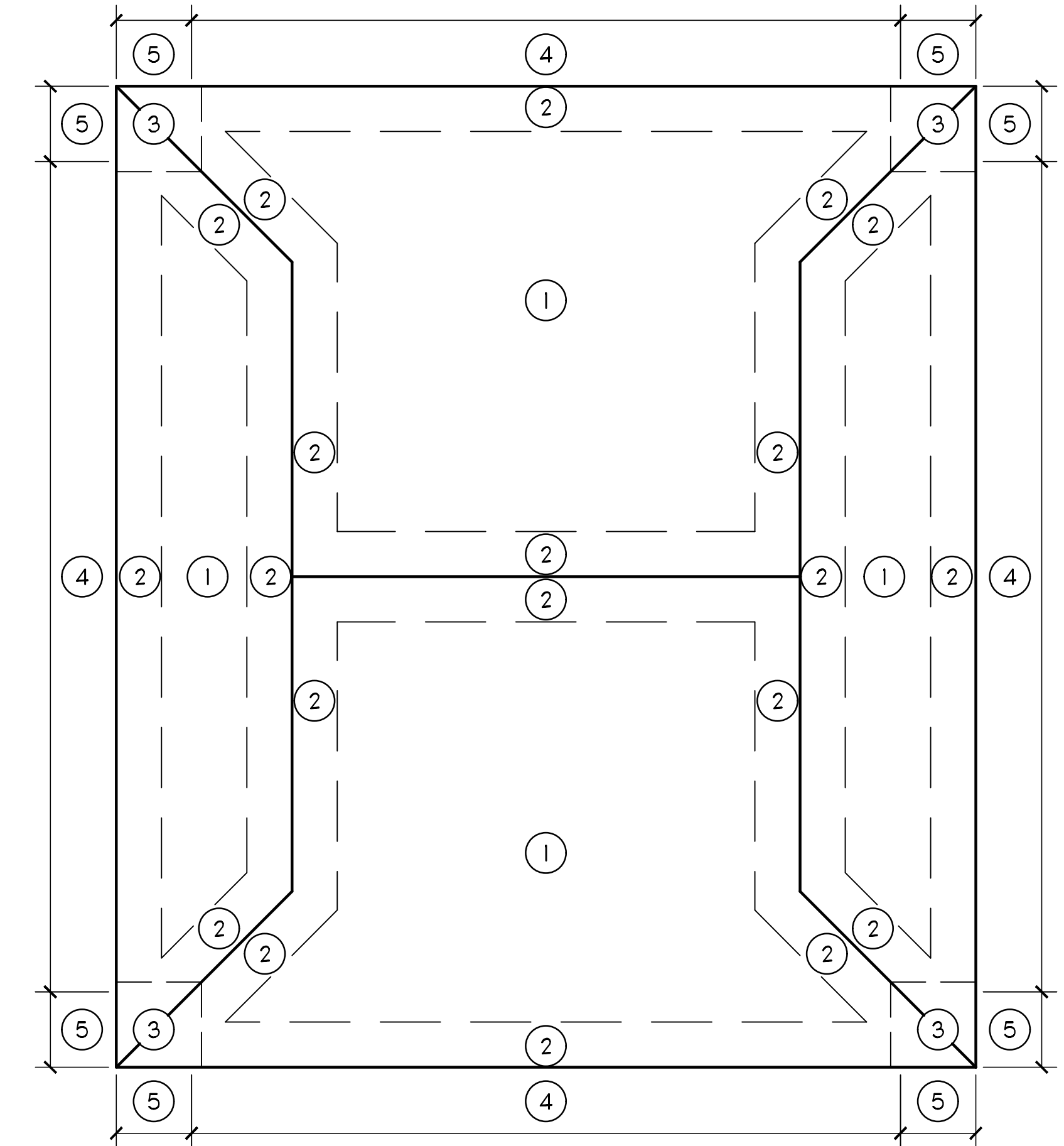
© JAN '23. THESE PLANS AND THE INFORMATION SHOWN HEREIN ARE THE PROPERTY OF EDLUND DRITENBAS BINKLEY ARCHITECTS AND ASSOCIATES, P.A. AND REPRODUCTION, SECUREMENT OR USE THEREOF IN WHOLE OR IN PART IS EXPRESSLY PROHIBITED WITHOUT WRITTEN PERMISSION.

COMM. NO: 100222VB  
DATE: JANUARY 13, 2023  
BY: LJD  
CHKD: JFB

SHEET NO.  
**A-3**  
OF THREE



FOOTING SCHEDULE			
MARK	SIZE	TYPE	REINFORCING
TE-1	20" W. X 18" DP.	THICKENED SLAB EDGE	2 #5'S CONT. BOTTOM
TS-2	16' W. X 10' DP.	THICKENED SLAB	2 #5'S CONT. BOTTOM
TS-3	2'-6" SQ. X 18" DP.	THICKENED SLAB	3 #5'S EACH WAY BOTTOM
TE-4	16' W. X 10' DP.	THICKENED SLAB EDGE	2 #5'S CONT. BOTTOM
TE-5	16' W. X 30" DP.	THICKENED SLAB EDGE	2 #5'S CONT. BOTTOM



**DESIGN CRITERIA**  
FLORIDA BUILDING CODE, 7TH EDITION (2020) BUILDING

**ROOF LOADS**

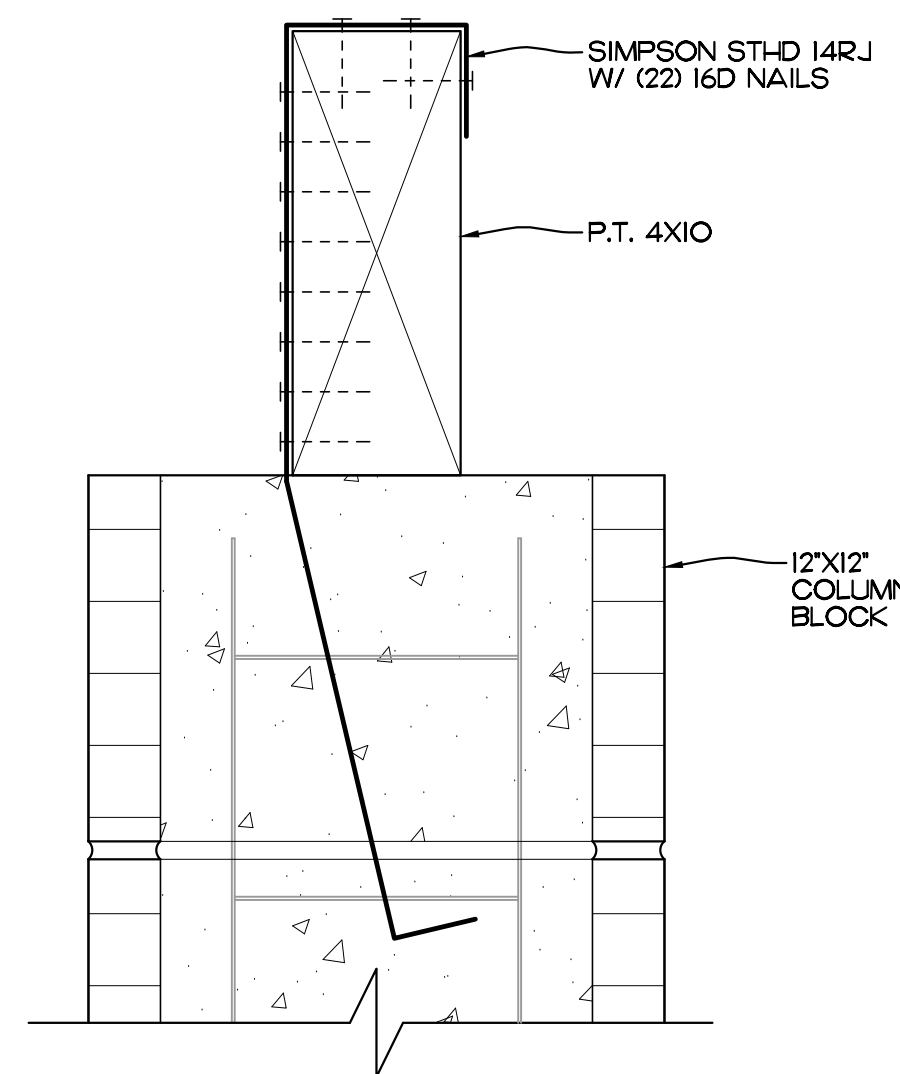
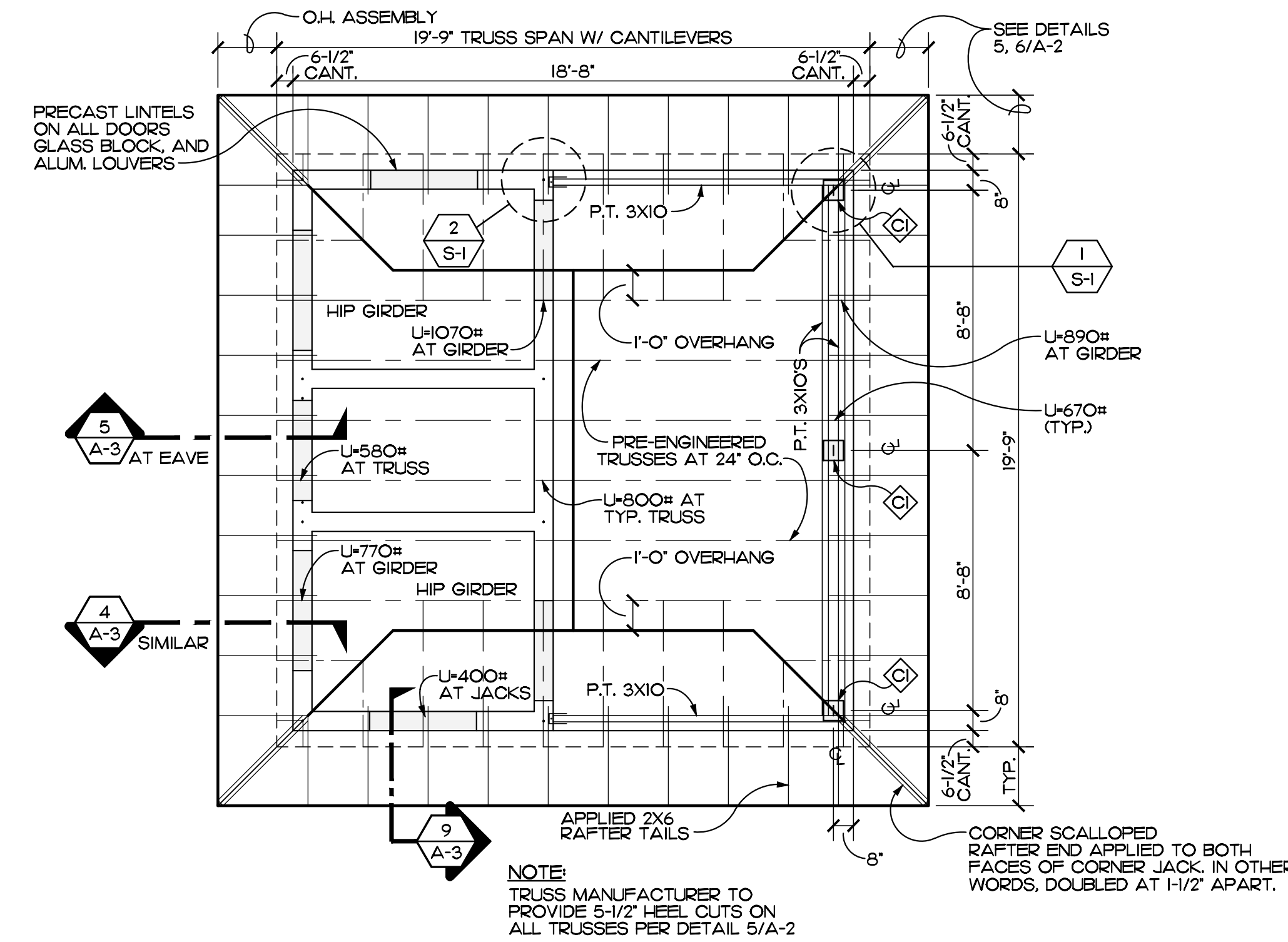
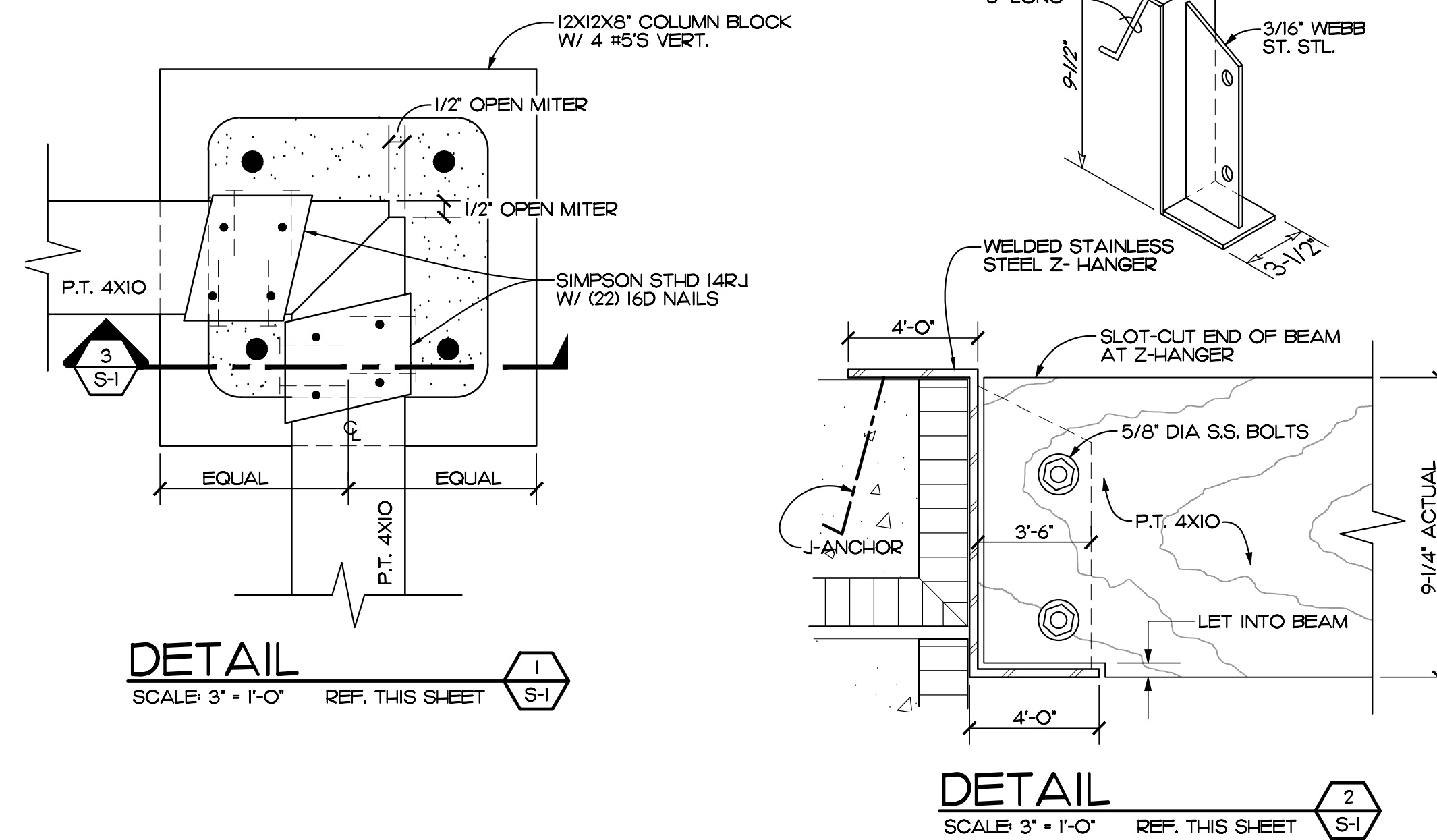
DEAD	20 PSF (METAL ROOF)
LIVE	
TRUSS TOP CHORD	20 PSF
TRUSS BOTTOM CHORD / STORAGE	20 PSF
TRUSS BOTTOM CHORD W/O STORAGE	10 PSF

**WIND LOADS**  
DESIGN CRITERIA PER ASCE-7

ULTIMATE WIND SPEED REGION, (VULT)	170 MPH
NOMINAL WIND SPEED REGION, (VIND)	132 MPH
WIND BORNE DEBRIS REGION	
ENCLOSED STRUCTURE	
BUILDING HEIGHT	< 20 FT.
ROOF PITCH	7/12
RISK CATEGORY	III
INTERNAL PRESSURE COEFFICIENT	±0.18
EXPOSURE	C
HEIGHT AND EXPOSURE COEFFICIENT	1.29

ZONE	EFFECTIVE AREA (IN SQ. FT.)							
	0 x 10	11 x 20	21 x 50	51 x 100	101 x 200	201 x 500	501 x 1000	1001 x 2000
ROOF 1	+23	-37	+21	-36	+19	-35	+15	-34
ROOF 2	+23	-64	+21	-59	+19	-52	+15	-47
ROOF 3	+23	-95	+21	-89	+19	-81	+15	-75
ROOF 4	+40	-44	+39	-42	+36	-40	+34	-38
ROOF 5	+40	-54	+39	-50	+36	-46	+34	-42
WALL 4	-44	-42	-40	-38	-36	-34	-32	-30
WALL 5	-54	-50	-46	-42	-38	-34	-30	-26

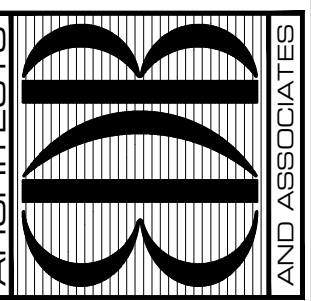
- NOTES:**
- END ZONE 5 IS WITHIN A DISTANCE (A) - 6'-6" FROM BUILDING CORNERS
  - THE PROPOSED STRUCTURE IS LOCATED WITHIN A WINDBORNE DEBRIS AREA.



**WOOD TRUSS CONNECTOR SCHEDULE**

MARK	CONNECTORS	FASTENERS	ALLOWABLE UPLIFT	MAX. CALC. UPLIFT	REMARKS
A	HETA 16	(9) 10D X 1-1/2"	1810 LBS	580 LBS	TYPICAL TRUSS TO CMU UNLESS NOTED OTHERWISE
B	HTS 20	(24) 10D X 1-1/2"	1450 LBS	580 LBS	
C	(2) HETA 16	(18) 10 D X 1-1/2" NAILS	3620 LBS	770 LBS	
D	(2) HTS 20	(2) 24 16D X 1-1/2"	2900 LBS	770 LBS	
E	(2) STHD 14FJ	(2) 22 16D X 1-1/2"	2 X 3695 LBS	2900 LBS	

EDLUND · DRITENBAS · BINKLEY  
ARCHITECTS AND ASSOCIATES, P.A.  
AR-AA 000086  
65 ROYAL PALM POINTE, SUITE "D"  
VERO BEACH, FLORIDA 32960  
PHONE: (772) 569-4320



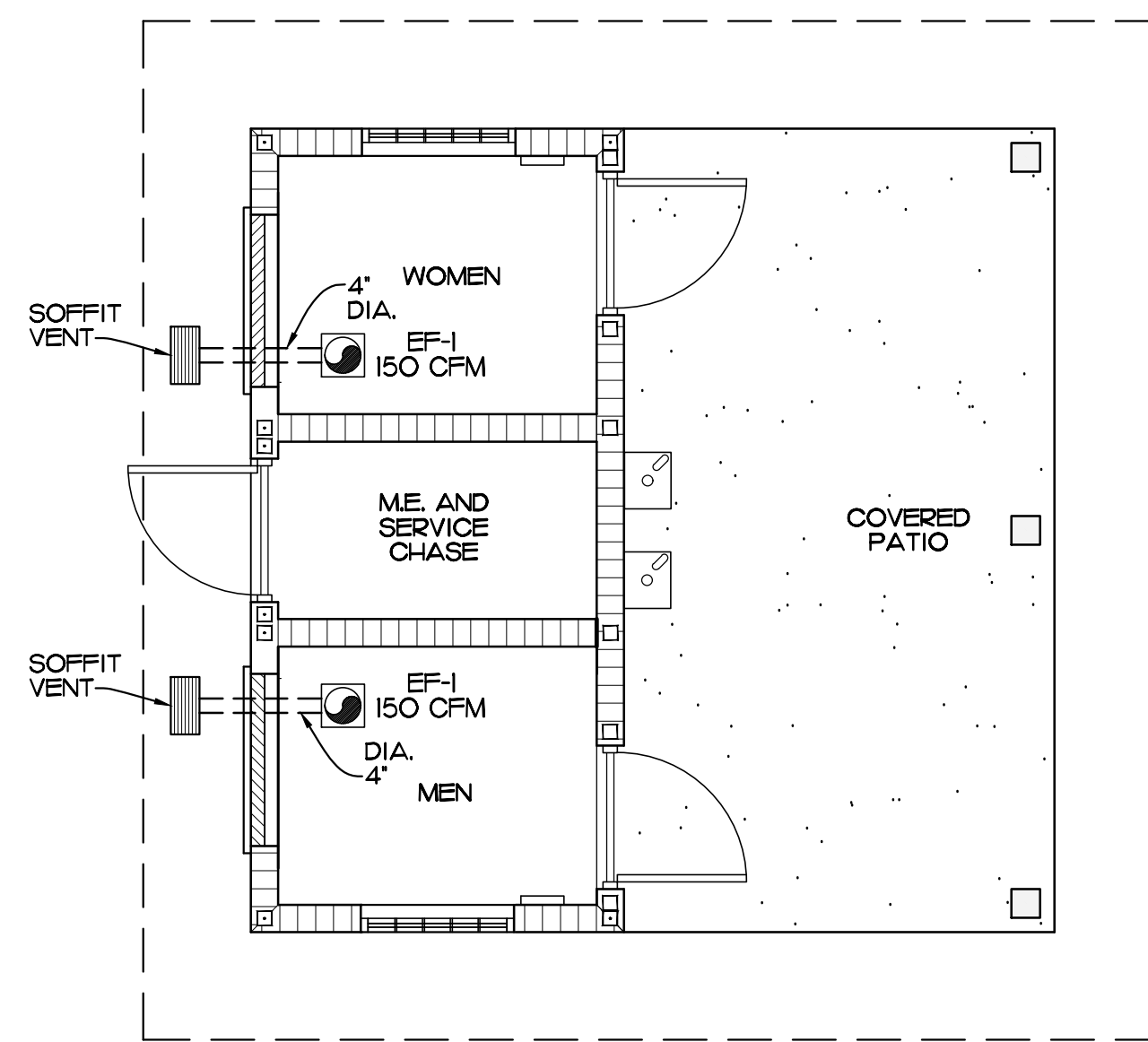
PROJECT: IRC HOSE SCHUMANN PARK  
RESTROOM  
INDIAN RIVER COUNTY  
1760 39TH ST.  
VERO BEACH, FL 32960

NO.	DATE	REVISIONS

© JAN '23. THESE PLANS AND THE INFORMATION SHOWN HEREIN ARE THE PROPERTY OF EDLUND DRITENBAS BINKLEY ARCHITECTS AND ASSOCIATES, P.A. AND REPRODUCTION, DISSEMINATION OR USE THEREOF IN WHOLE OR IN PART IS EXPRESSLY PROHIBITED WITHOUT WRITTEN PERMISSION.

COMM. NO: 100222VB  
DATE: JANUARY 13, 2023  
BY: LJD  
CHK'D: JFB

SHEET NO.  
**S-1**  
OF ONE



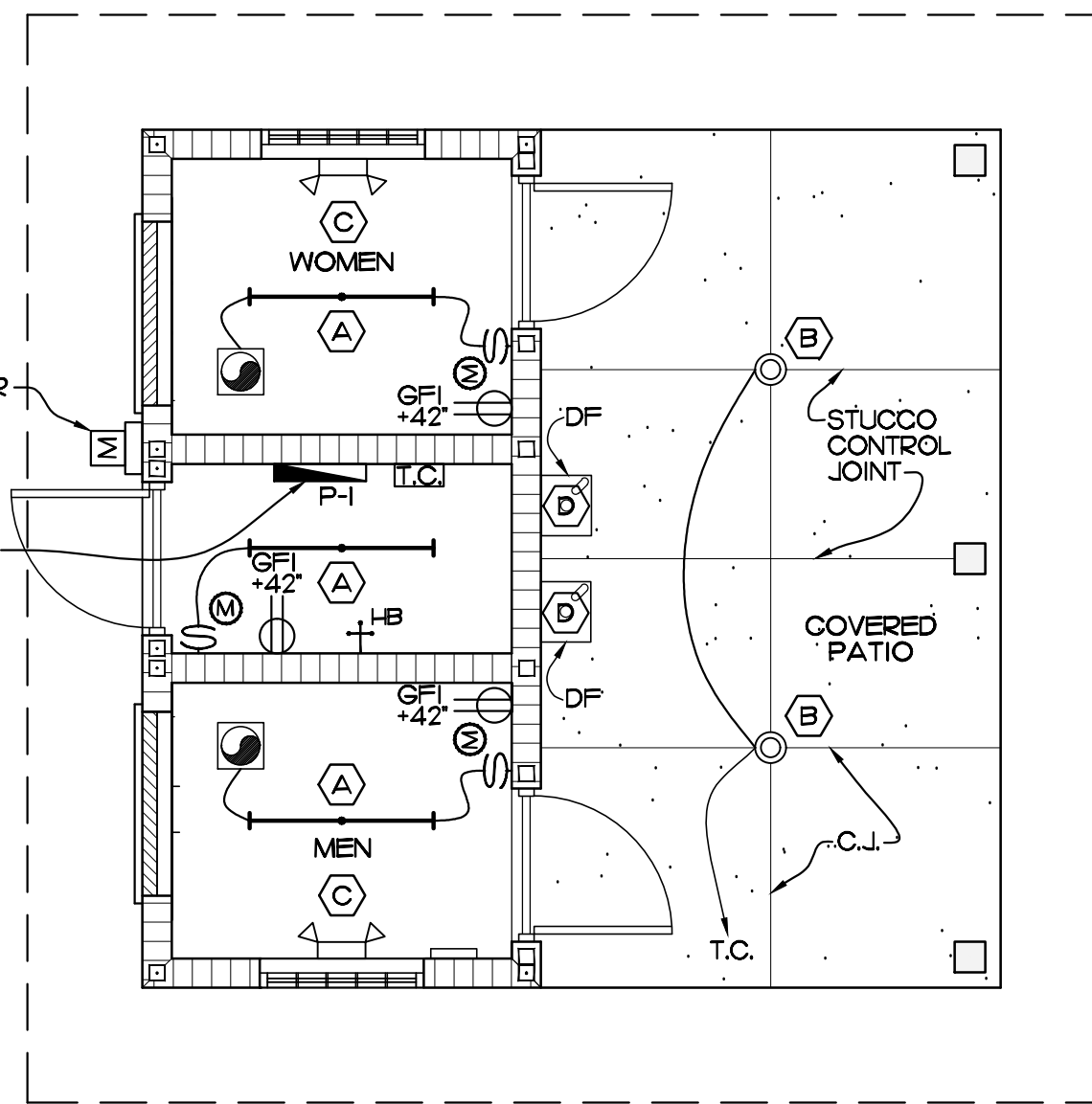
### MECHANICAL PLAN

SCALE: 1/4" = 1'-0"

EF-1 150 CFM EXHAUST FAN - NUTONE OR EQUAL

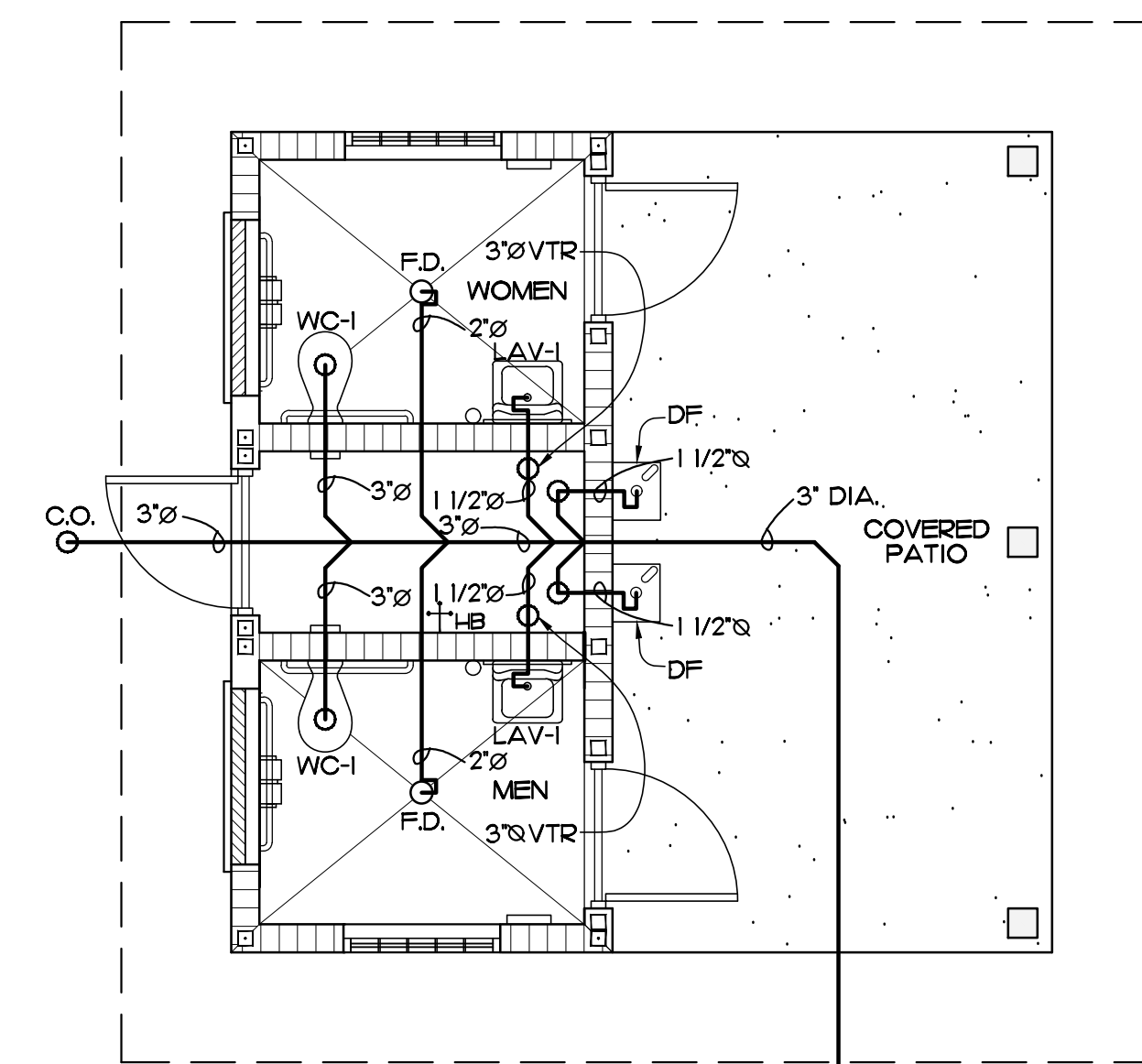
#### SYMBOLS LEGEND:

- EXHAUST FAN
- SINGLE POLE LIGHT SWITCH WITH MOTION SENSOR
- DIRECT CONNECTION
- GROUND FAULT INTERRUPT OUTLET +42" A.F.F.
- TIME CLOCK
- EMERGENCY LIGHT +7'-6" A.F.F.
- RECESSED CAN LIGHT
- 1X4 SURFACE MOUNTED LIGHT FIXTURE
- HOSE BIBB



### ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



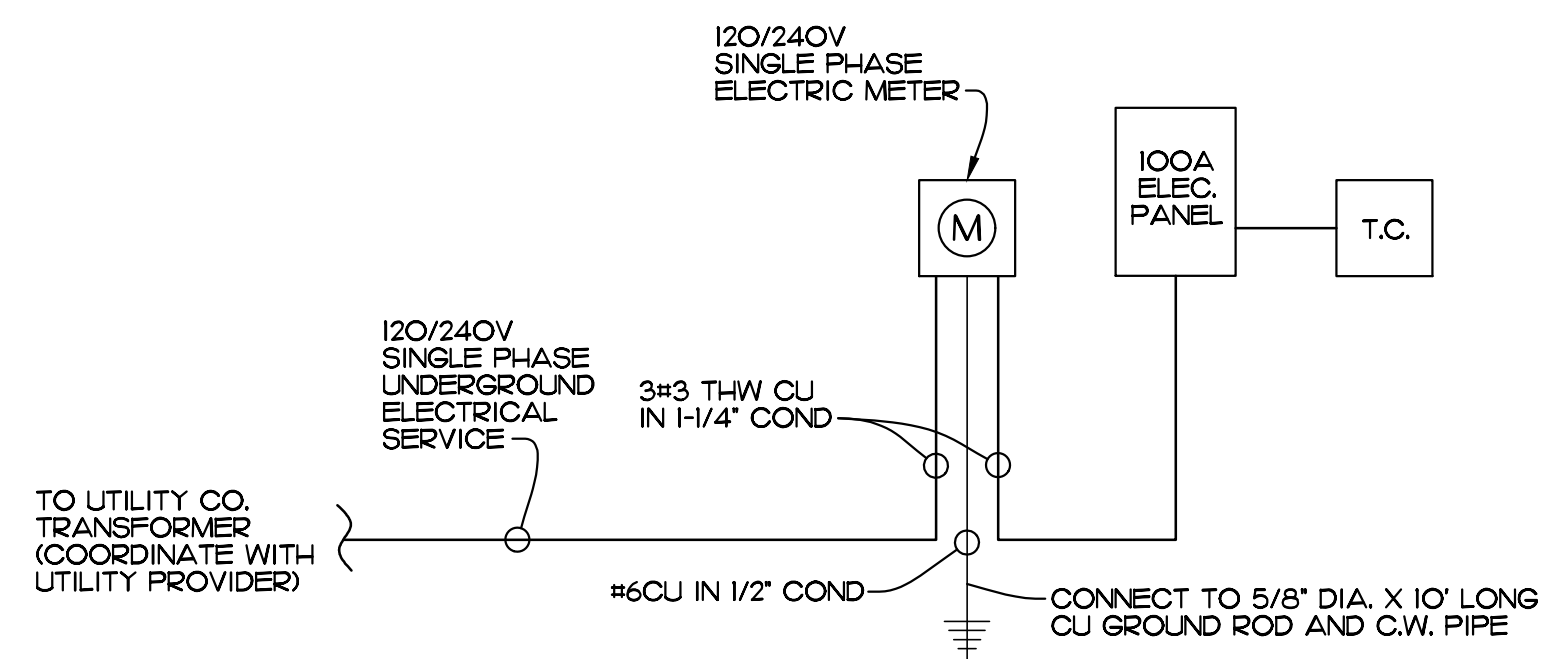
### PLUMBING PLAN

SCALE: 1/4" = 1'-0"

PANEL:	VOLTAGE: 120/240V 1Ø LOCATION: SERVICE CHASE		BUS/BREAKER AIC RATING: 22KA/10KA MOUNTING: SURFACE-NEMA 3R FED FROM: FPL TRANSFORMER				RATING: 100A MAIN CONNECTION: MCB DEVICES FAMILY: SIEMENS/SQUARE D				
	WIDE	DEPT	A	C	NO.	A	C	P	TYPE	DESCRIPTION	
"PI"											
L-LIGHTING	12	20	1	1.0	1	2	1.0	1	20	12	EXHAUST FANS
L-LIGHTING	12	20	1	1.0	3	4		1	20	12	WATER COOLERS
L-LIGHTING	12	20	1	1.0	5	6		1	20		SPARE
L-LIGHTING	12	20	1	1.0	7	8		1	20		SPARE
SPARE	20	20	1		9	10		1	20		SPARE
R-RECEPTACLES	12	20	1	1.0	11	12		1	20		SPARE
R-RECEPTACLES	12	20	1	1.0	13	14		1	20		SPARE
R-RECEPTACLES	12	20	1	1.0	15	16		1	20		SPARE
R-RECEPTACLES	12	20	1	1.0	17	18		1	20		SPARE
SPARE	20	20	1		19	20		1	20		SPARE
SPARE	20	20	1		21	22		1	20		SPARE
SPARE	20	20	1		23	24		1	20		SPARE
SPARE	20	20	1		25	26		1	20		SPARE
SPARE	20	20	1		27	28		1	20		SPARE
SPARE	20	20	1		29	30		1	20		SPARE
SERVES				4.0	4.0	1.0	1.0				TOTAL CONNECTED KVA 10.0
LIGHTING											CONNECTED LOAD KVA
RECEPTACLES (FIRST 10KVA)											DF
RECEPTACLES (FIRST 10KVA)											2.5
LARGEST MOTOR											2.0
OTHER MOTORS											0.00
EQUIPMENT/HEAT											0.00
KITCHEN EQUIPMENT											0.00
TOTAL DEMAND KVA											6.5
TOTAL AMPERAGE											54.2

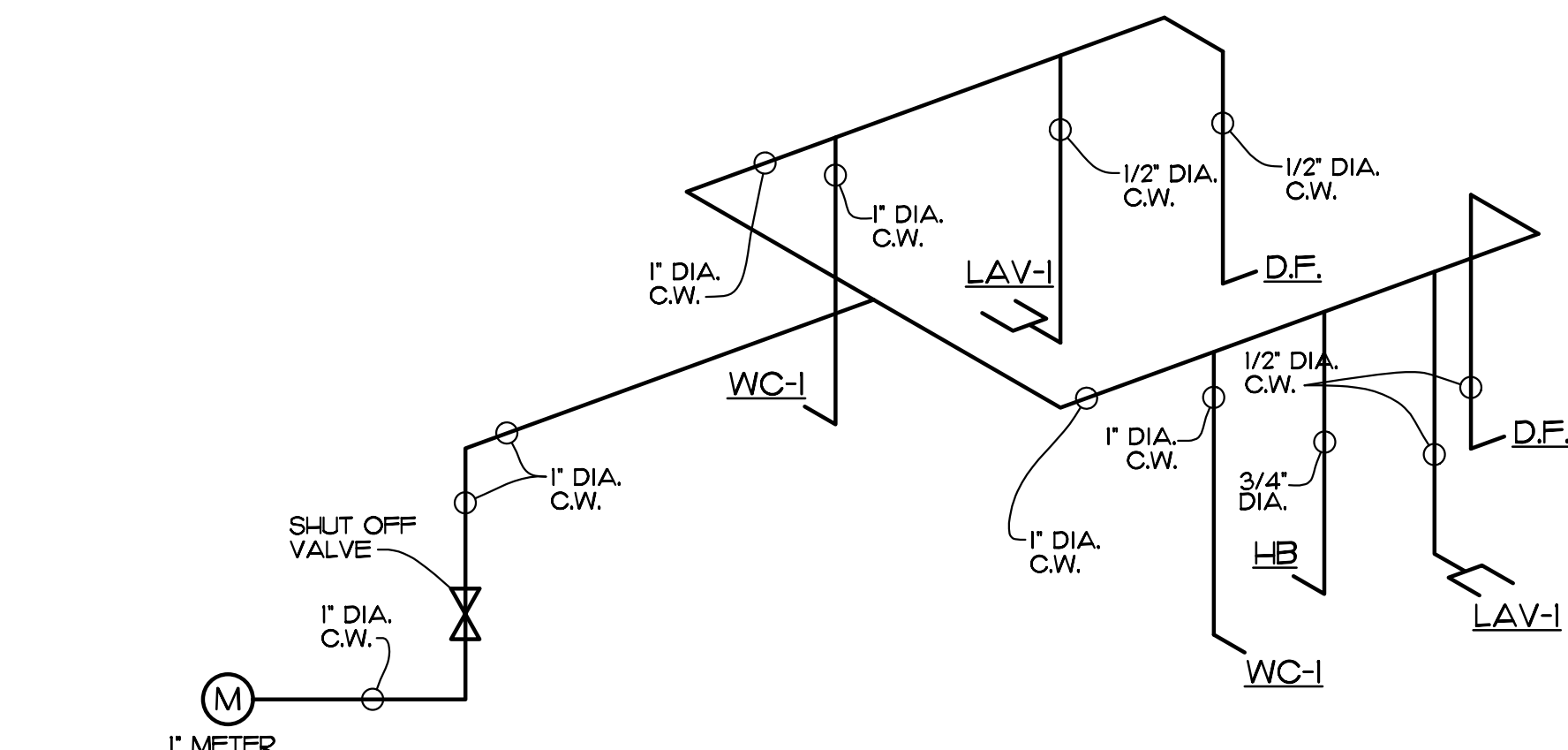
- NOTES:  
 1. VERIFY ELECTRICAL REQUIREMENTS FOR ALL EQUIPMENT WITH MANUFACTURERS MANUAL PRIOR TO BIDDING AND INSTALLATION.  
 2. PROVIDE TYPE WRITTEN DIRECTORY ON INSIDE OF PANEL COVER.

LIGHT FIXTURE SCHEDULE		
MARK	TYPE	MANUFACTURER
(A)	4 FT. LONG SURFACE MOUNTED LED FIXTURE WITH WEATHER PROOF COVER	H.E. WILLIAMS 75L-4L-38-840 -A 12125-DRV-UNV OR EQUAL
(B)	RECESSED LED CAN WEATHERPROOF	H.E. WILLIAMS 4DR-TL-L20-835 -DIM-UNV-O-W-OF-WETCC OR EQUAL
(C)	EMERGENCY LIGHT DUAL HEAD	BEGHELLI - PEH-1 TWO LAMP EMERGENCY LIGHTING FIXTURE OR EQUAL



### POWER RISER DIAGRAM

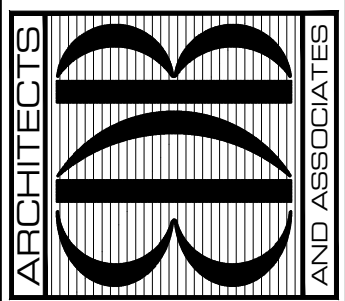
PLUMBING FIXTURE SCHEDULE	
LAV-1	HANDICAP LAVATORY, AMERICAN STANDARD, LUCERNE, LUCERNE WALL HUNG LAVATORY MODEL NO. 0356.02B, WHITE WITH TES BRASS FAUCET BS-270H-VF05. CONTRACTOR TO SUPPLY CONCEALED ARM SUPPORT CARRIER FOR MOUNTING OF LAV. WADE MODEL 520-M36. SUPPLY PLUMBEREX MODEL 4333 INSULATION KIT. MUST MEET ADA CODE.
D.F.	ELKAY WALL MOUNTED VANDAL RESISTANT BI LEVEL ADA COOLER, NON FILTERED, REFRIGERATED MODEL ELKAY #VRCTL8SC COLOR: STAINLESS STEEL
WC-1	HANDICAP WATER CLOSET - FLUSH VALVE BOWL, FLOOR MOUNTED, SIPHON JET VITREOUS CHINA WITH ELONGATED RIM AND 1/2" TOP SPUD, 18" HIGH AMERICAN STANDARD 3541.00L5 ELDERLY NEW CADET AQUAMETER, 1.26 GPF TOILET WITH SLOAN ROYAL III-1.6 FLUSH VALVE AND CENTCO 500CC OPEN FRONT SEAT LESS COVER.
F.D.	FLOOR DRAIN, JOSAM SERIES 30000A, C.I. BODY, POLISHED BRONZE STRAINER, INTEGRAL TRAP, WITH PRIMER CONNECTION AND TRAP GUARD INSERT BY PROSET.
C.O.	EXTERIOR CLEAN OUT, ADJUSTABLE TOP, INTERNAL CLOSURE PLUG, HEAVY DUTY COVER PLATE.



NOTE:  
 COORDINATE METER SIZE AND LOCATION WITH UTILITY PROVIDER (SEE CIVIL PLANS)

### WATER RISER DIAGRAM

EDLUND · DRITENBAS · BINKLEY  
 ARCHITECTS AND ASSOCIATES, P.A.  
 AR-AA 000086  
 65 ROYAL PALM POINTE, SUITE "D"  
 VERO BEACH, FLORIDA 32960  
 PHONE: (772) 569-4320



SEAL:

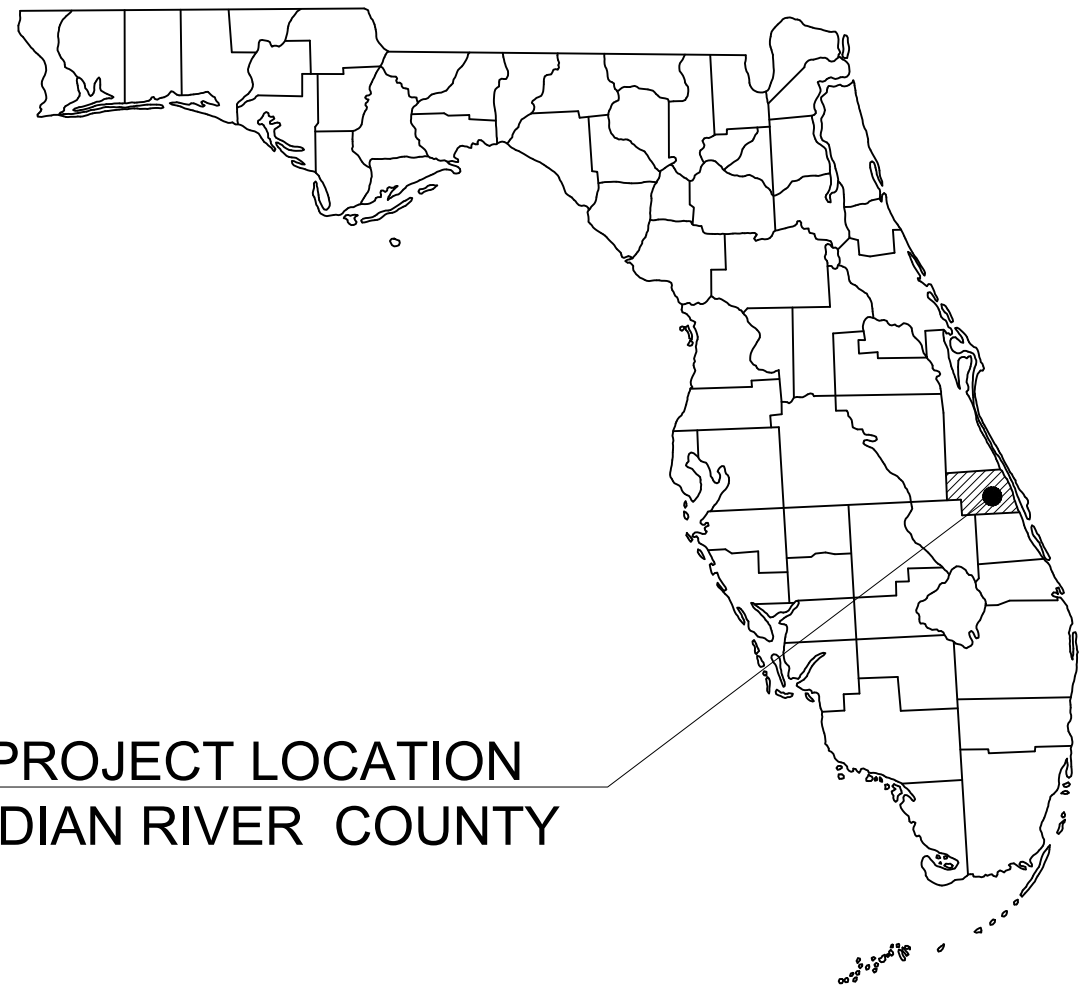
PROJECT: IRC HOSE SCHUMANN PARK RESTROOM  
 INDIAN RIVER COUNTY  
 1760 39TH ST. VERO BEACH, FL 32960

NO.	DATE	REVISIONS

© JAN '23. THESE PLANS AND THE INFORMATION SHOWN HEREIN ARE THE PROPERTY OF EDLUND DRITENBAS BINKLEY ARCHITECTS, P.A. AND REPRODUCTION, DISSEMINATION OR USE THEREOF IN WHOLE OR IN PART IS EXPRESSLY PROHIBITED WITHOUT WRITTEN PERMISSION.  
 COMM. NO: 100222VB  
 DATE: JANUARY 13, 2023  
 BY: LJD  
 CH'KD: JFB

SHEET NO.  
**MEP-1**  
 OF ONE

Plotted By: Fasano, AJ - Sheet: Set: SHUMANN - Layout: C-000 COVER SHEET - August 04, 2023 - 09:06:59am - K:\VRB\DEVA\IRC\GIP\Shumann\CAD\PlanSheets\C-000 COVER SHEET.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse or improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PROJECT LOCATION  
INDIAN RIVER COUNTY

# SITE DEVELOPMENT PLANS

## FOR

# HOSIE SHUMANN PARK RENOVATIONS 2022

LOCATED AT  
**PARCEL ID # 32-39-26-00000-7000-00008.0**  
**1760 39TH ST.**  
**VERO BEACH, FL 32960**  
**SECTION 26, TOWNSHIP 32S, RANGE 39E**

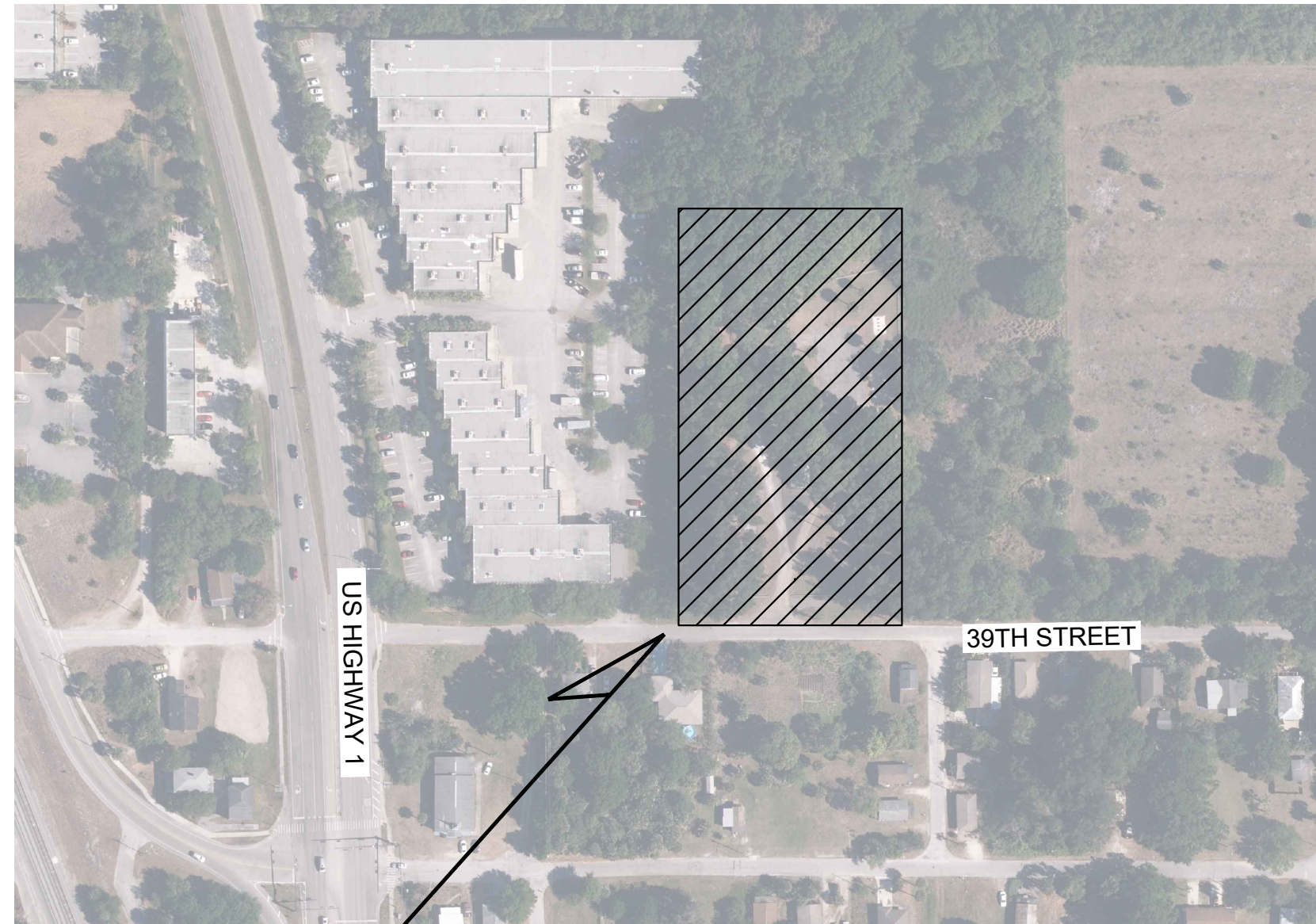
### PROJECT TEAM

**OWNER/DEVELOPER**  
 INDIAN RIVER COUNTY-PARKS AND REC  
 5500 77TH STREET  
 VERO BEACH, FL 32967  
 (772)-589-9223

**CIVIL ENGINEER**  
 SARA BATTLES, P.E.  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 445 24TH STREET, SUITE 200  
 VERO BEACH, FLORIDA 32960  
 (772) 794-4100

**ARCHITECT**  
 LOGAN DRITENBAS  
 EDB ARCHITECTS & ASSOCIATES  
 65 ROYAL PALM POINTE, SUITE D  
 VERO BEACH, FL 32960  
 (772)-569-4320

**SURVEYOR**  
 CHRIS DEMETER, PSM  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 445 24TH STREET SUITE 200  
 VERO BEACH, FL 32960  
 (772)-794-4100



PROJECT LOCATION

VICINITY  
N.T.S.

INDEX OF SHEETS	
SHEET NO.	DESCRIPTION
C-000	COVER SHEET
S-1	SURVEY
C-100	SITE PLAN
C-200	PAVING AND GRADING PLAN
C-300	UTILITY PLAN
C-350	DETAIL SHEET
C-351	DETAIL SHEET
A-1	BUILDING ELEVATIONS AND FLOOR PLAN

IRC PERMITS
UTILITY CONSTRUCTION PERMIT
RIGHT-OF-WAY PERMIT

### LIST OF CONTACTS

**STORMWATER**  
 SOUTH FLORIDA WATER  
 MANAGEMENT DISTRICT  
 3301 GUN CLUB ROAD  
 WEST PALM BEACH, FL 33406  
 (561) 686-8800

**PLANNING AND ZONING**  
 INDIAN RIVER COUNTY  
 1801 27TH STREET  
 VERO BEACH, 32960  
 (772) 226-1237

**ELECTRIC PROVIDER**  
 FLORIDA POWER & LIGHT  
 3301 ORANGE AVENUE  
 FORT PIERCE, FL 34947  
 (800)-343-7941

**WATER AND SEWER**  
 INDIAN RIVER COUNTY UTILITIES  
 LOCAL GOVERNMENT OFFICE  
 8201 27TH STREET  
 VERO BEACH, FL 32960  
 (772) -770-5300

**ENGINEERING**  
 INDIAN RIVER COUNTY  
 1801 27TH STREET  
 VERO BEACH, 32960  
 772-226-1380

**FIRE PREVENTION**  
 INDIAN RIVER COUNTY FIRE RESCUE  
 1500 OLD DIXIE HWY  
 (772)-562-2028  
 FIRE CHIEF: JOHN KING

**BUILDING DIVISION**  
 INDIAN RIVER COUNTY  
 1801 27TH STREET A  
 VERO BEACH, 32960  
 (772) 226-1260

### LEGAL DESCRIPTION

PER ORB 395, PG 63

"BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHWEST ¼ OF THE SOUTHEAST ¼ OF SECTION 26, TOWNSHIP 32 SOUTH, RANGE 39 EAST, RUN NORTH 25 FEET TO A POINT; THENCE TURN AND RUN WEST 467 FEET TO A POINT OF BEGINNING; THENCE RUN NORTH 420 FEET PARALLEL TO THE WEST LINE OF SAID SECTION TO A POINT; THENCE TURN AND RUN WEST 210 FEET PARALLEL TO THE NORTH LINE OF SAID SECTION TO A POINT; THENCE TURN AND RUN SOUTH 420 FEET PARALLEL TO THE WEST LINE OF SAID SECTION TO A POINT; THENCE TURN AND RUN EAST 210 FEET PARALLEL TO THE NORTH LINE OF SAID SECTION TO THE POINT OF BEGINNING. SAID LANDS LYING AND BEING IN SECTION 26, TOWNSHIP 32 SOUTH, RANGE 39 EAST, TO BE USED FOR PUBLIC PARK AND RECREATIONAL PURPOSES. TOGETHER WITH ALL THE TENEMENTS, HEREDITAMENTS AND APPURTENANCES THERETO BELONGING OR IN ANYWISE APPERTAINING."

PREPARED BY:

**Kimley»Horn**

**Kimley»Horn**

© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960  
 PHONE: 772-794-4100  
 WWW.KIMLEY-HORN.COM CA 00000696



KHA PROJECT  
04035112  
DATE  
8/4/2023  
SCALE AS SHOWN  
DESIGNED BY AJF  
DRAWN BY AJF  
CHECKED BY SB

COVER SHEET

HOSIE SHUMANN  
 PREPARED FOR  
 INDIAN RIVER COUNTY  
 PARKS AND REC  
 INDIAN RIVER COUNTY

CALL 48 HOURS  
BEFORE YOU DIG



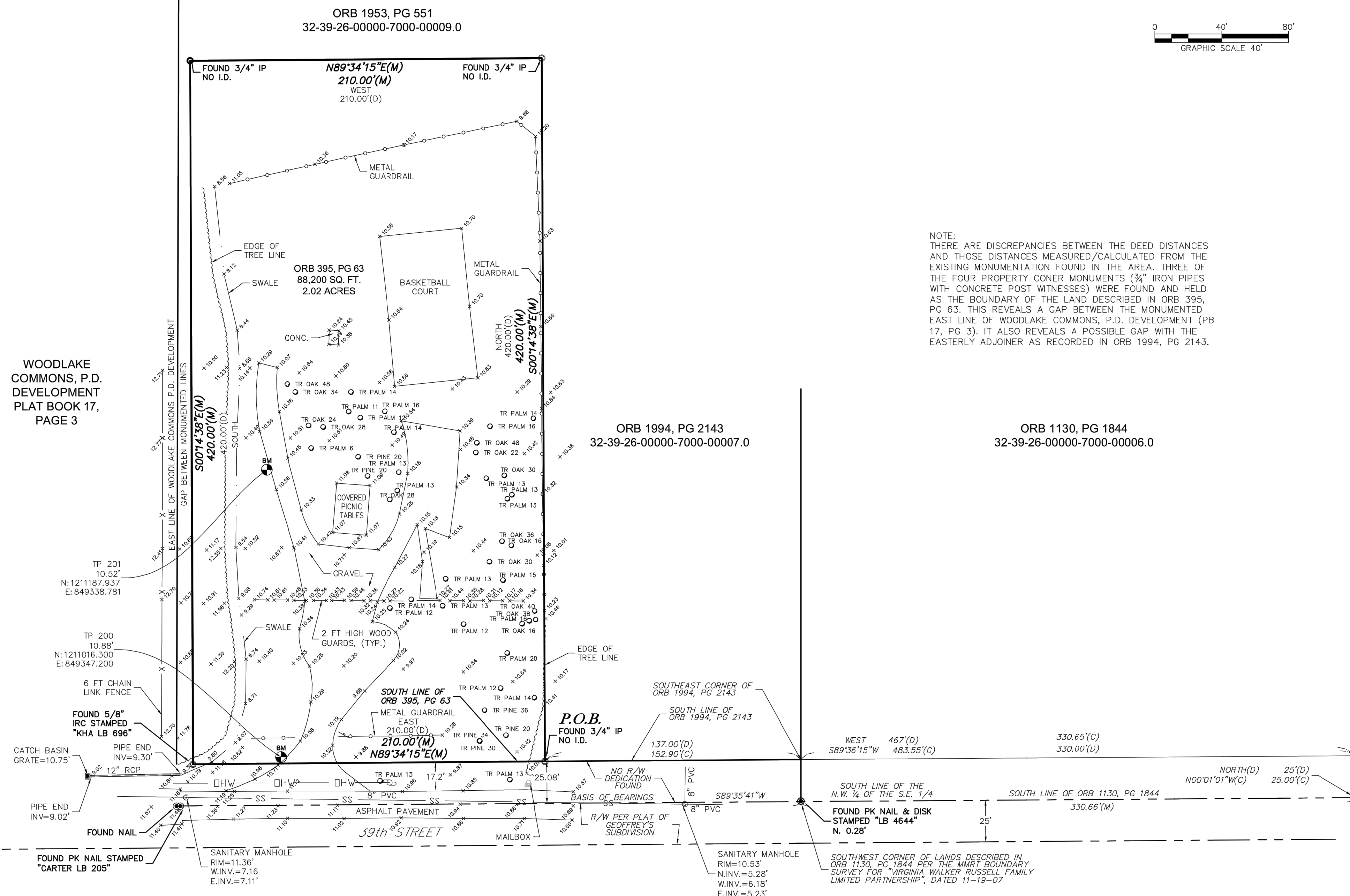
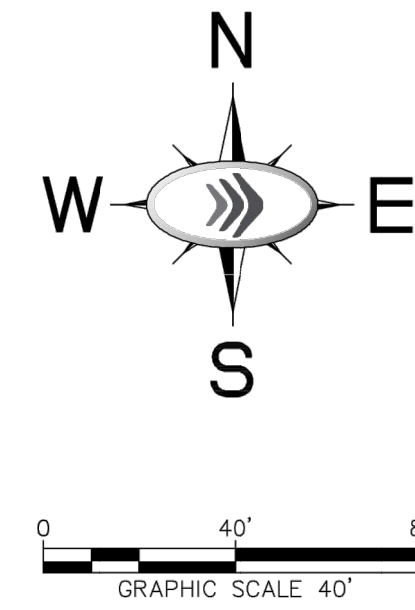
IT'S THE LAW!  
DIAL 811  
Know what's below.  
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SHEET NUMBER  
**C-000**

No.	REVISIONS	DATE	BY





NOTE: THERE ARE DISCREPANCIES BETWEEN THE DEED DISTANCES AND THOSE DISTANCES MEASURED/CALCULATED FROM THE EXISTING MONUMENTATION FOUND IN THE AREA. THREE OF THE FOUR PROPERTY CORNER MONUMENTS (3/4" IRON PIPES WITH CONCRETE POST WITNESSES) WERE FOUND AND HELD AS THE BOUNDARY OF THE LAND DESCRIBED IN ORB 395, PG 63. THIS REVEALS A GAP BETWEEN THE MONUMENTED EAST LINE OF WOODLAKE COMMONS, P.D. DEVELOPMENT (PB 17, PG 3). IT ALSO REVEALS A POSSIBLE GAP WITH THE EASTERLY ADJOINER AS RECORDED IN ORB 1994, PG 2143.

VICINITY MAP NOT TO SCALE

WOODLAKE COMMONS, P.D. DEVELOPMENT PLAT BOOK 17, PAGE 3

ORB 1994, PG 2143 32-39-26-00000-7000-00006.0

ORB 1130, PG 1844 32-39-26-00000-7000-00006.0

BOUNDARY AND TOPOGRAPHIC SURVEY

HOSIE SCHUMAN PARK PREPARED FOR IRC JOB NO. 1116

Table with columns: No., DATE, REVISIONS. Includes entry for TOPOGRAPHIC DATA TO BOUNDARY SURVEY.

Kimley-Horn logo and contact information: 2019 KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960

Table with columns: KHA PROJECT, DATE, SCALE, DESIGNED BY, DRAWN BY, CHECKED BY. Includes project ID 047035112 and date 9/9/2011.

LEGEND OF SYMBOLS

- Property line, Right-of-way line, Center line, Easement line, Fence, Overhead wire, Top of bank, Concrete, Fire hydrant, Concrete monument, Iron rod and cap, Utility pole, Water valve, Mail box, Sign, Sanitary sewer manhole, Light pole, Antenna, Guy wire.

ABBREVIATIONS

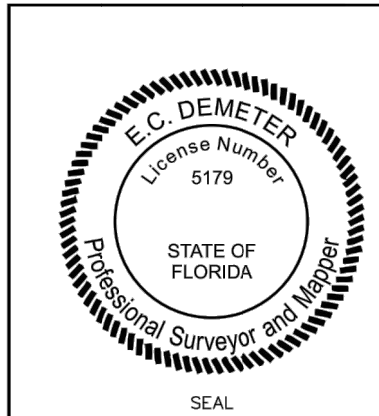
- (C) Calculated, CMD Concrete monument and disk, CMP Corrugated metal pipe, CONC. Concrete, E. East, FFE Finished floor elevation, I.D. Identification, IRC Iron rod with cap, (D) Description, MES Mitered end section, (M) Measured, N North, O.R.B. Official record book, PLAT Plat, PKD Parker Kalon nail and disk, P.G. Professional land surveyor, P.O.B. Point of beginning, P.O.C. Point of commencement, PSM Professional surveyor and mapper, R Radius, S South, SQ FT Square feet, W West, WV Water valve, NCF No corner found, TYP. Typical, Δ Delta.

LEGAL DESCRIPTION

PER ORB 395, PG 63 "BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 26, TOWNSHIP 32 SOUTH, RANGE 39 EAST, RUN NORTH 25 FEET TO A POINT; THENCE TURN AND RUN WEST 467 FEET TO A POINT OF BEGINNING; THENCE RUN NORTH 420 FEET PARALLEL TO THE WEST LINE OF SAID SECTION TO A POINT; THENCE TURN AND RUN WEST 210 FEET PARALLEL TO THE NORTH LINE OF SAID SECTION TO A POINT; THENCE TURN AND RUN SOUTH 420 FEET PARALLEL TO THE WEST LINE OF SAID SECTION TO A POINT; THENCE TURN AND RUN EAST 210 FEET PARALLEL TO THE NORTH LINE OF SAID SECTION TO THE POINT OF BEGINNING, SAID LANDS LYING AND BEING IN SECTION 26, TOWNSHIP 32 SOUTH, RANGE 39 EAST, TO BE USED FOR PUBLIC PARK AND RECREATIONAL PURPOSES, TOGETHER WITH ALL THE TENEMENTS, HEREDITAMENTS AND APPURTENANCES THERETO BELONGING OR IN ANYWISE APPERTAINING."

SURVEYOR'S NOTES

- 1. THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN THE MINIMUM TECHNICAL STANDARDS (5J-17 F.A.C.), IS "COMMERCIAL/HIGH RISK." THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 10,000 FEET. THE ERROR OF CLOSURE FOR THE TRAVERSE EXCEEDS SAID ACCURACY.
2. THIS SURVEY WAS PERFORMED IN THE FIELD ON SEPTEMBER 9, 2011. KIMLEY-HORN AND ASSOCIATES FILE NO. 047035073, FIELD BOOK 436, PAGES 55-58. UPDATED SURVEY AND ADDED TOPOGRAPHY PERFORMED ON DECEMBER 12, 2019, FIELD BOOK 436, PAGE 68-69.
3. PROPERTY CORNER MONUMENTS WERE FOUND OR SET AS SHOWN HEREON ON SEPTEMBER 9, 2011.
4. NO TITLE OPINION IS HEREBY EXPRESSED OR IMPLIED.
5. THIS SURVEY IS NOT INTENDED TO LOCATE ANY UNDERGROUND FOUNDATIONS, UNDERGROUND ENCROACHMENTS OR UNDERGROUND UTILITIES, EXCEPT AS OTHERWISE SHOWN HEREON.
6. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED ACCURATELY FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THEREFORE, ALL LOCATIONS SHOULD BE FIELD VERIFIED BEFORE ANY CONSTRUCTION.
7. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT AND USE OF INDIAN RIVER COUNTY, FLORIDA, AND IS NOT SUITABLE OR INTENDED FOR ANY REUSE WITHOUT THE EXPRESS WRITTEN VERIFICATION OR ADAPTATION BY THIS SURVEYOR FOR THE SPECIFIC PURPOSE INTENDED. THIS SURVEY IS NOT VALID UNLESS SIGNED, DATED, AND STAMPED WITH THIS SURVEYOR'S EMBOSSED SEAL.
8. THE PREMISES SHOWN HEREON MAY BE SUBJECT TO ANY EXISTING EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, AND SETBACK LINES WHETHER OR NOT THEY MAY BE SHOWN HEREON OR WHETHER OR NOT RECORDED IN THE PUBLIC RECORDS.
9. SHOWN ANYWHERE ON THIS SURVEY, THE WORD "CERTIFY" IS UNDERSTOOD TO BE AN EXPRESSION OF A PROFESSIONAL OPINION BASED UPON THE SURVEYOR'S BEST KNOWLEDGE, INFORMATION AND BELIEF, AND THAT IT THUS CONSTITUTES NEITHER A GUARANTEE NOR A WARRANTY.
10. HORIZONTAL DATUM: THIS BOUNDARY SURVEY HAS BEEN REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM - EAST ZONE, ADJUSTED TO THE NORTH AMERICAN DATUM OF 1983/2007. THE EXISTING CONTROL UTILIZED TO ESTABLISH SAID REFERENCE WAS "GPS 1020", PID #A45827 AND FDOT PERMANENT REFERENCE NETWORK BASE ANTENNA "INDIAN RIVER 1" (IRC1), PID #DK5329. THE BASIS OF BEARINGS IS THE SOUTH LINE OF THE N.W. 1/4 OF THE S.E. 1/4 OF SECTION 26, TOWNSHIP 32 SOUTH, RANGE 39 EAST, HAVING A FIELD DERIVED BEARING OF S89°35'41"W (FLORIDA STATE PLANE). ALL OTHER BEARINGS ARE RELATIVE THERE TO.
11. VERTICAL DATUM: ELEVATIONS BASED ON INDIAN RIVER COUNTY BENCHMARK #269007, NAVD 88 ELEVATION = 16.82' AND INDIAN RIVER COUNTY BENCHMARK #075011, NAVD 88 ELEVATION = 11.73'.

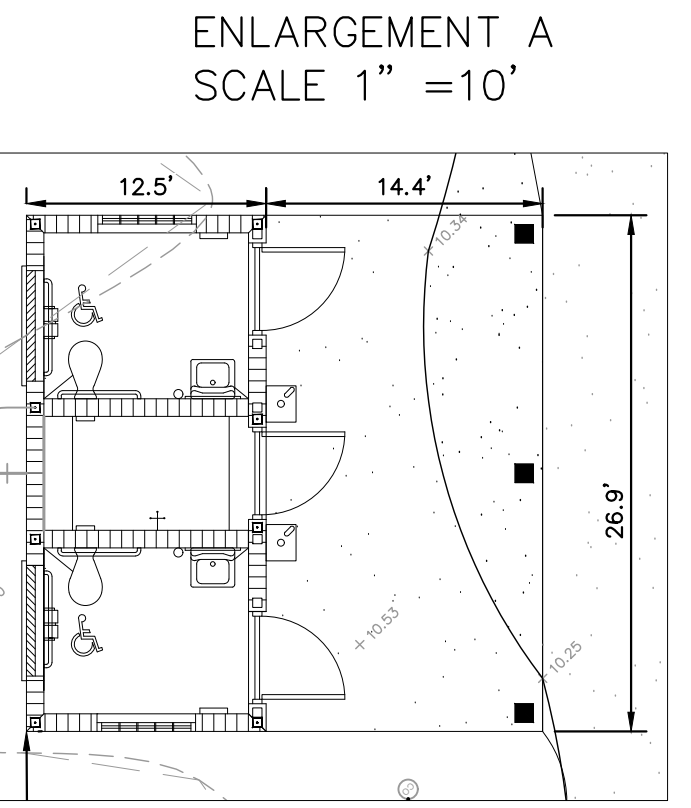
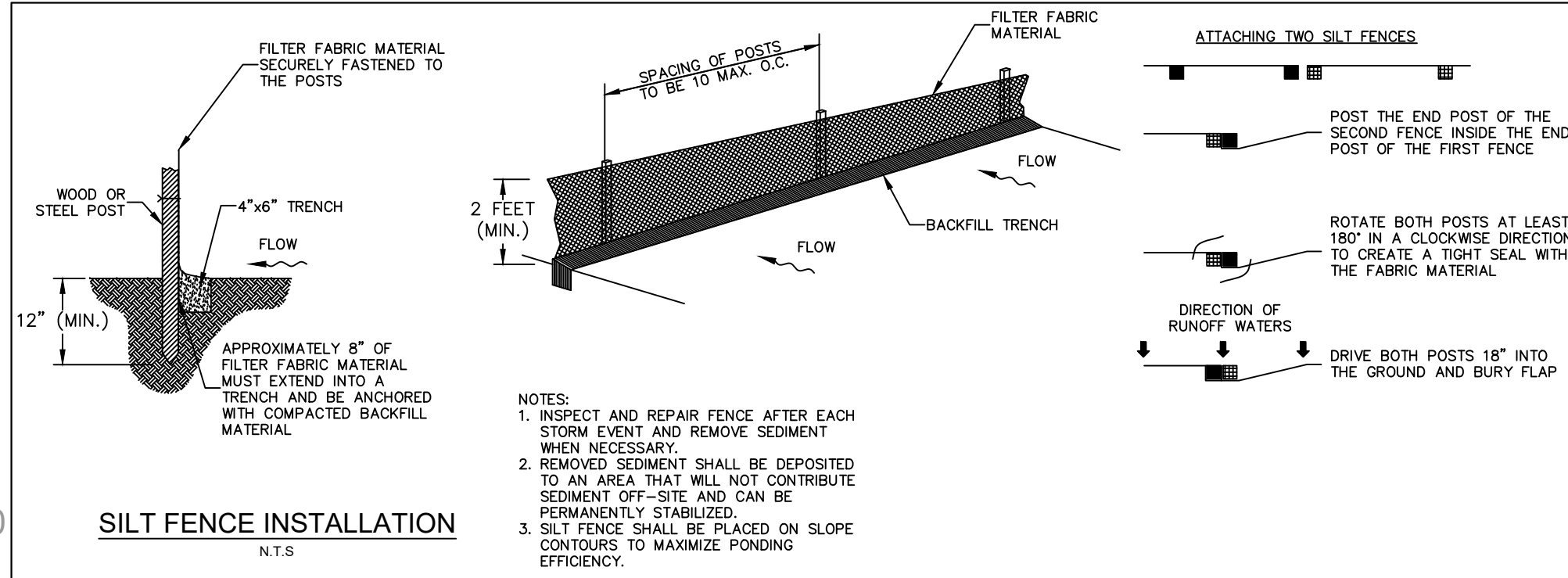
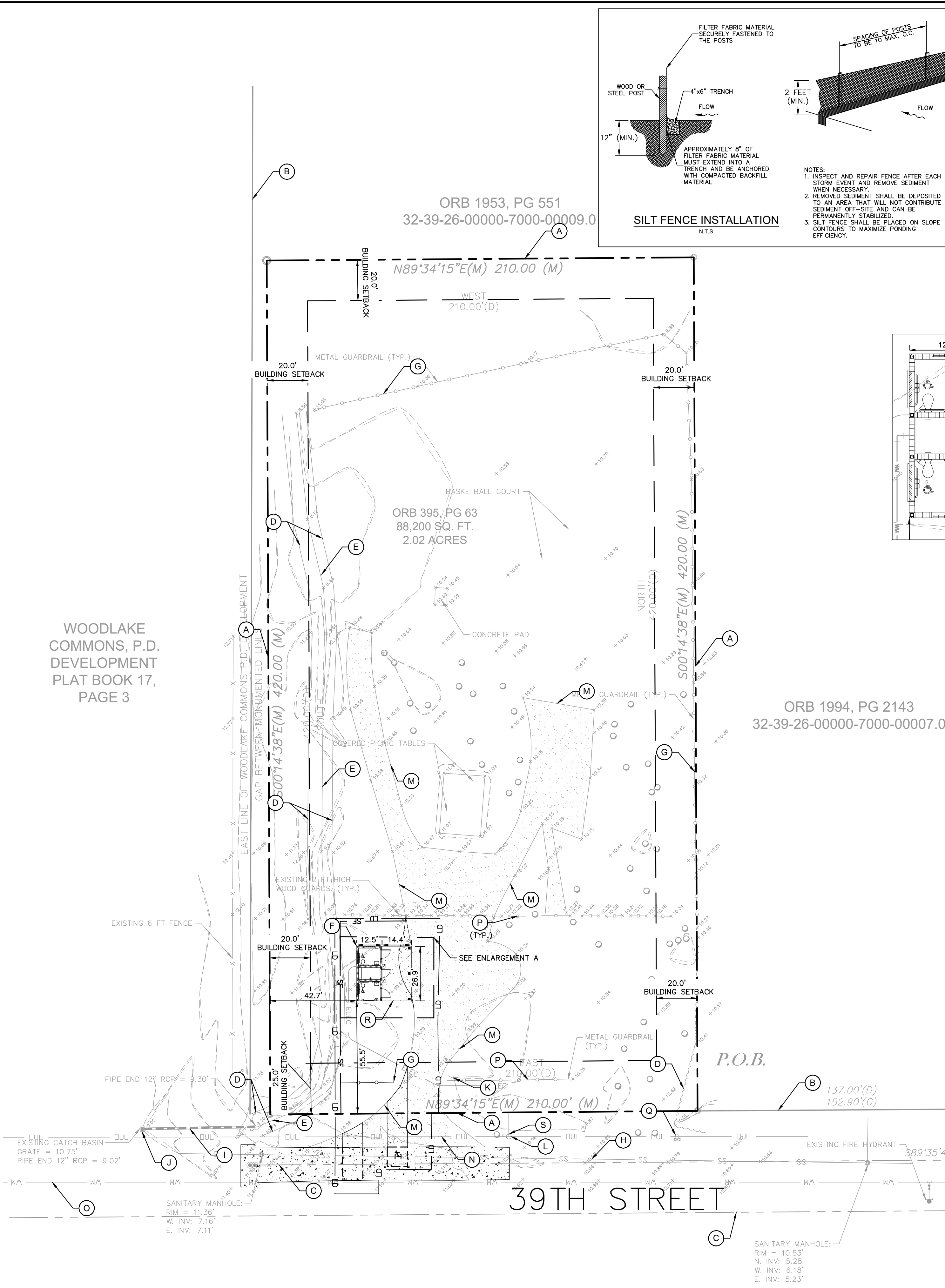


Elmer C Demeter Digitally signed by Elmer C Demeter DN: cn=Elmer C Demeter, c=US, o=KIMLEY-HORN AND ASSOCIATES, ou=KHA11002000115132458B00003051, email=chris.demeter@kimley-horn.com Date: 2021.01.04 08:53:52 -0500

TO: BOARD OF COUNTY COMMISSIONERS OF INDIAN RIVER COUNTY, FLORIDA
This certifies that a boundary survey of the property described hereon was made under my supervision and that this survey meets the standards of practice set forth by the Florida Board of Professional Land Surveyors in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.
E.C. DEMETER, P.S.M. No. 5179
DATE:
NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

Plotted By: Fasano, AJ - Sheet: S-HUMANN - Layout: C-100 SITE PLAN - August 04, 2023 09:07:16am K:\VRB-LEDE\VRB-CIP\Shumann\CAD\PlanSheets\C-100 SITE PLAN.dwg  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

WOODLAKE COMMONS, P.D. DEVELOPMENT PLAT BOOK 17, PAGE 3



**LEGEND**

---	PROPERTY LINE
---	SUBDIVISION LINE
---	RIGHT OF WAY
---	LIMIT OF DISTURBANCE (0.147 AC)
---	SILT FENCE
---	EXISTING ASPHALT TO BE REMOVED
---	EXISTING GRAVEL ROADWAY TO BE REMOVED
○	EXISTING TREES TO REMAIN

**SITE DATA**  
LOCATION: SECTION 26, TOWNSHIP 32S, RANGE 39 E  
ADDRESS: 1760 39TH STREET, VERO BEACH, FL 32960  
ZONING: MED- MEDICAL DISTRICT  
LAND USE: 8600 (COUNTY FORECLOSED/OWNED)  
HOSIE SHUMANN PARK: 2.02 ACRES  
WORK AREA: 0.15 ACRES

**FINISHED FLOOR ELEVATION**  
THE PROPOSED FINISHED FLOOR ELEVATION 11.25' NAVD '88.  
**FLOOD ZONE**  
THE PROPOSED PROPERTY IS LOCATED IN ZONE X (AREA OF MINIMAL FLOOD HAZARD) FEMA FLOOD HAZARD AREA NO. 12061C0242J EFF. 1/26/2023.

- KEYNOTES**
- (A) PROPERTY LINE
  - (B) SUBDIVISION LINE
  - (C) RIGHT OF WAY LINE
  - (D) EXISTING TOP OF SWALE TO REMAIN
  - (E) EXISTING BOTTOM OF SWALE TO REMAIN
  - (F) PROPOSED RESTROOM BUILDING
  - (G) EXISTING METAL GUARDRAILS TO BE REMOVED AS NEEDED FOR UTILITY CONSTRUCTION AND REPLACED FOLLOWING INSTALLATION
  - (H) EXISTING 8" PVC SEWER PIPE
  - (I) EXISTING 12" RCP STORM PIPE
  - (J) EXISTING STORM STRUCTURE
  - (K) EXISTING SIGN TO REMAIN
  - (L) EXISTING UTILITY POLE TO REMAIN
  - (M) EXISTING EDGE OF GRAVEL ROAD
  - (N) EXISTING OVERHEAD POWER LINES TO REMAIN
  - (O) EXISTING 6" PVC WATER MAIN
  - (P) EXISTING WOODEN AND METAL GUARDRAILS TO REMAIN
  - (Q) EXISTING MAILBOX TO REMAIN
  - (R) PROPOSED CONCRETE ENTRANCE
  - (S) PROPOSED POLE MOUNTED TRANSFORMER

- SITE NOTES**
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
  - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY COUNTY. DATED: 09/09/2011.
  - TOTAL LAND AREA IS 2.02 ACRES.
  - NO WETLANDS ARE PRESENT.
  - GRAVEL ROAD TO BE REMOVED AS NEEDED FOR INSTALLATION OF UTILITY, AND REPLACED WITH PROPOSED GRAVEL ROAD DETAIL.
  - CONCRETE FOOTPRINT TO BE EXTENDED 6 INCHES ON EACH SIDE OF THE BUILDING FOR INSTALLATION.

- GENERAL EROSION AND SEDIMENT CONTROL NOTES:**
- THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THE SITE MAP, THIS DRAWING ("THE STANDARD DETAILS"), THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
  - ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
  - CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
  - BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
  - SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
  - CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
  - GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
  - ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
  - SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
  - DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
  - RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
  - ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
  - STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE, BUT IN NO CASE MORE THAN 7 DAYS, IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED.
  - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
  - IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
  - ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
  - CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
  - ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
  - SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
  - DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
  - SEE SITE PLAN FOR PERMANENT AND TEMPORARY SIGNAGE.
  - GENERAL CONTRACTOR IS TO DESIGNATE/IDENTIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
  - REFER TO THE SWPPP FOR REPORTABLE SPILL QUANTITIES OF PETROLEUM PRODUCTS AND/OR HAZARDOUS WASTES.
  - REFER TO THE SPECIFICATIONS FOR RUN-OFF SAMPLING/MONITORING REQUIREMENTS IF APPLICABLE TO SITE DURING CONSTRUCTION.
  - CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.

CALL 48 HOURS BEFORE YOU DIG

IT'S THE LAW! DIAL 811

Know what's below. Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

KIMLEY-HORN PROJECT		DATE		SCALE		DRAWN BY		CHECKED BY	
O4035112		8/4/2023		AS SHOWN		AJF		AJF	
KIMLEY-HORN AND ASSOCIATES, INC.		STATE OF FLORIDA		PROFESSIONAL ENGINEER		L. SHUMANN		SHEET NUMBER	
445 24TH STREET, SUITE 200, VERO BEACH, FL 32960		NO. 78694		INDIAN RIVER COUNTY		PARKS AND REC		C-100	
WWW.KIMLEY-HORN.COM CA 0000696		INDIAN RIVER COUNTY		INDIAN RIVER COUNTY		INDIAN RIVER COUNTY		INDIAN RIVER COUNTY	

**Kimley-Horn**

**SITE PLAN**

**HOSIE SHUMANN PREPARED FOR INDIAN RIVER COUNTY PARKS AND REC**

INDIAN RIVER COUNTY

DATE

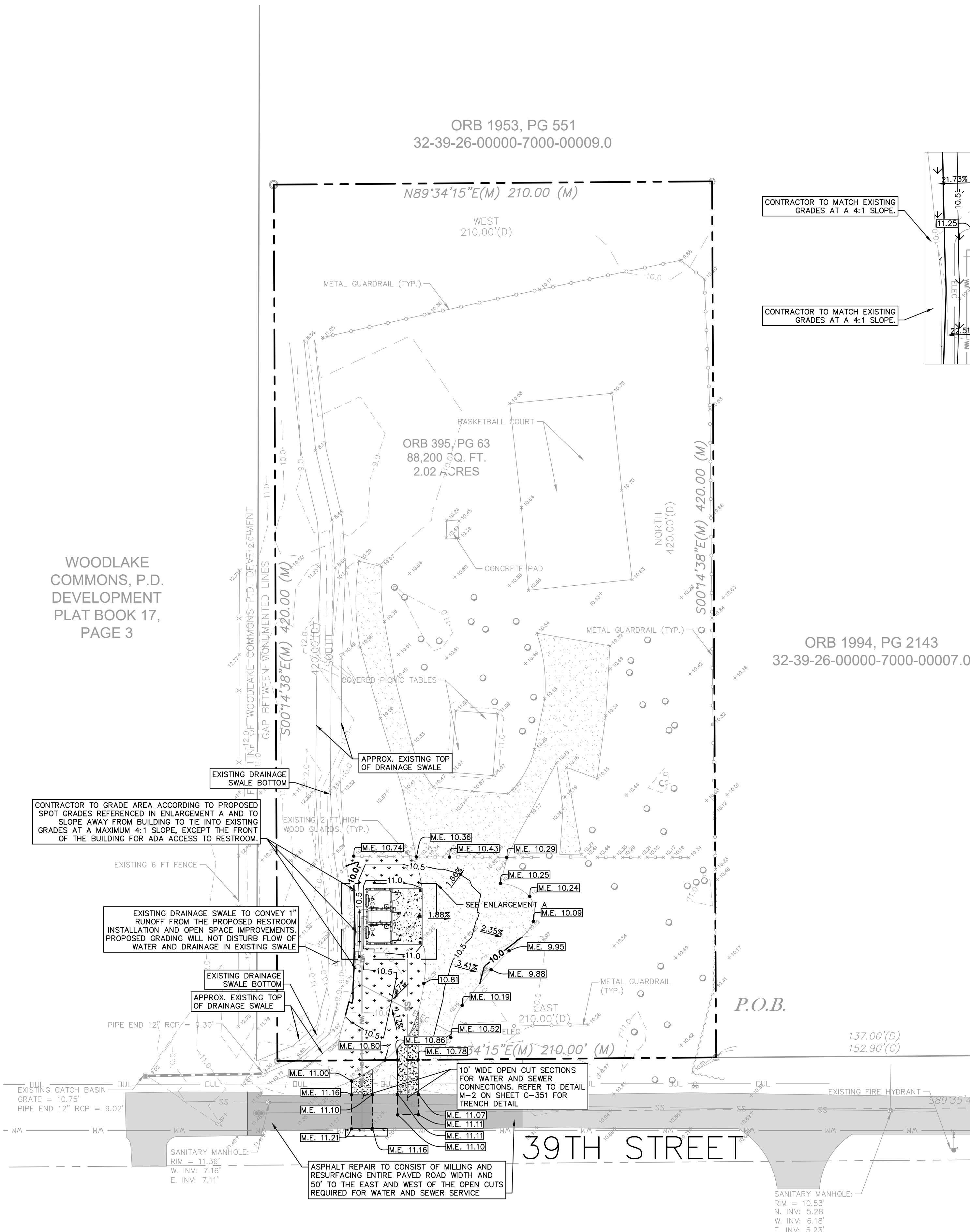
REVISIONS

No.

BY

Plotted By: Fasano, AJ - Sheet: Set: SHUMANN - Layout: C-200 PAVING AND GRADING PLAN - August, 04, 2023 - 08:07:18am - K:\VRB-DEVELOPMENT\Projects\Shumann\CAD\Plan\Sheets\C-200 PAVING AND GRADING PLAN.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

WOODLAKE COMMONS, P.D. DEVELOPMENT  
 PLAT BOOK 17, PAGE 3

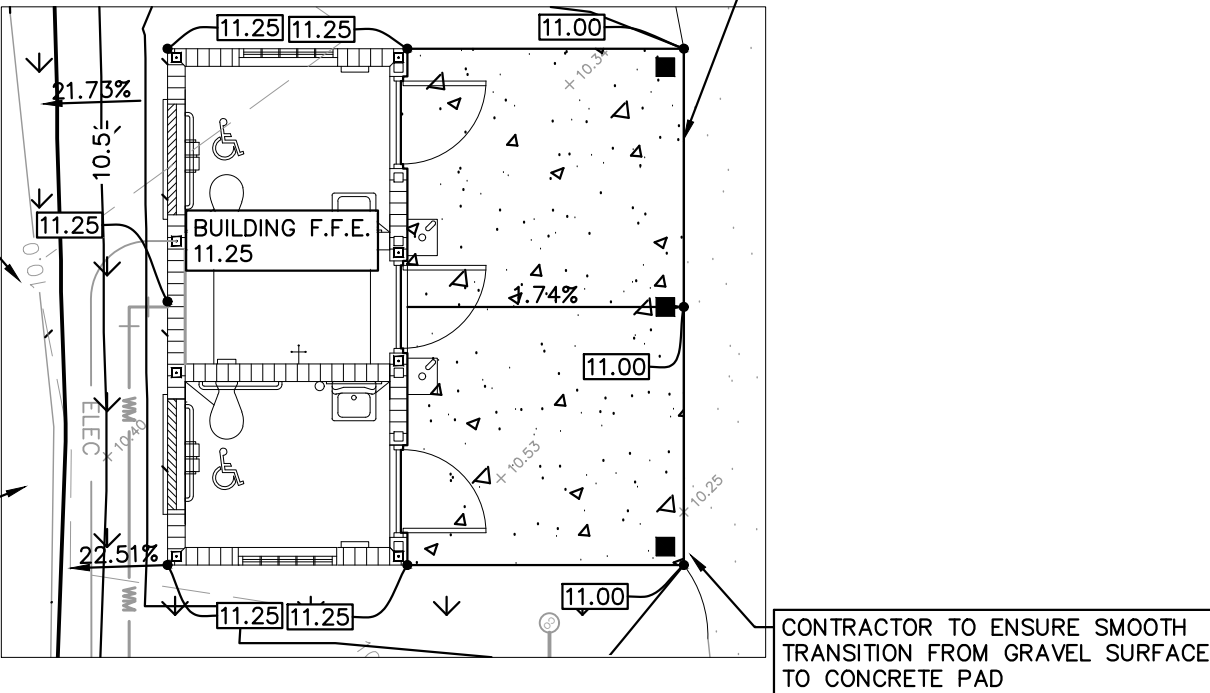


ORB 1953, PG 551  
 32-39-26-00000-7000-00009.0

CONTRACTOR TO MATCH EXISTING GRADES AT A 4:1 SLOPE

CONTRACTOR TO MATCH EXISTING GRADES AT A 4:1 SLOPE

ENLARGEMENT A  
 SCALE 1" = 10'



**ACREAGE SUMMARY**

TOTAL SITE AREA	2.03 AC
TOTAL PROJECT AREA	0.147 AC
EXISTING IMPERVIOUS AREA	0.208 AC
PROPOSED IMPERVIOUS AREA	0.228 AC
EXISTING PERVIOUS AREA	1.82 AC
PROPOSED PERVIOUS AREA	1.80 AC

LEGEND

- PROPERTY LINE
- SUBDIVISION LINE
- RIGHT OF WAY

GRADING LEGEND

- XX.XX PROPOSED GRADE (EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED)
- M.E. XX.XX MATCH EXISTING GRADES
- EXISTING GRADES (FROM SURVEY)
- DRAINAGE FLOW DIRECTION
- F.E.E.=XX.XX FINISHED FLOOR ELEVATION
- B.F.E.=XX.XX BUILDING FOOTER ELEVATION
- SAWCUT LINE

PAVING LEGEND

- PROPOSED CONCRETE ENTRANCE
- CONTRACTOR TO REPLACE EXISTING CIRCULATION PATH IN THIS AREA IN ORDER TO INSTALL UTILITY (REFER TO DETAIL SHEET C-350)
- EXISTING CIRCULATION PATH
- EXISTING ASPHALT PAVEMENT
- PROPOSED MILL AND RESURFACE ASPHALT
- PROPOSED ASPHALT PAVEMENT (REFER TO DETAIL SHEET C-350)
- LANDSCAPE/GRASS AREA TO BE REPLACED WITH SOD

**FINISHED FLOOR ELEVATION**  
 THE PROPOSED FINISHED FLOOR ELEVATION 11.25' NAVD '88.

**FLOOD ZONE**  
 THE PROPOSED PROPERTY IS LOCATED IN ZONE X (AREA OF MINIMAL FLOOD HAZARD) FEMA FLOOD HAZARD AREA NO. 12061C0242J EFF. 1/26/2023.

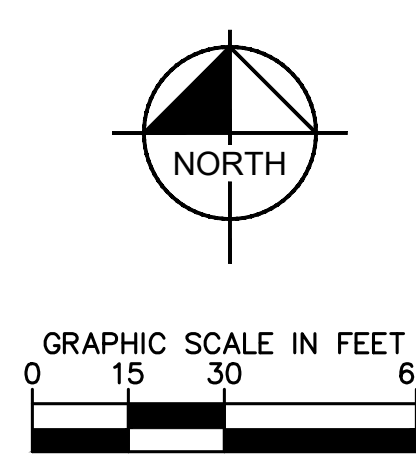
**VERTICAL DATUM**  
 VERTICAL DATUM: ELEVATIONS BASED ON INDIAN RIVER COUNTY BENCHMARK #269007, NAVD '88 ELEVATION = 16.82' AND INDIAN RIVER COUNTY BENCHMARK #075001, NAVD ELEVATION = 11.73'

**TESTING AND INSPECTION REQUIREMENTS**

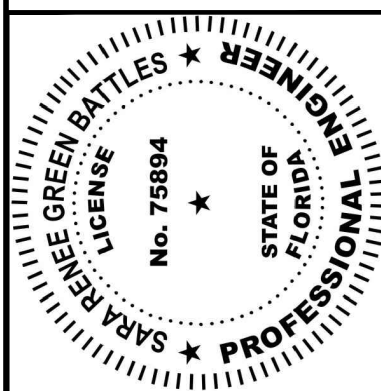
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. UPON COMPLETION OF THE WORK, THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
- THE OWNER WILL RETAIN THE SERVICES OF A QUALIFIED TESTING LABORATORY TO PERFORM ALL TESTING NECESSARY AS REQUIRED BY THESE PLANS AND THE VARIOUS AGENCIES. THE OWNER SHALL PAY THE COSTS OF ALL INITIAL TESTING. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR SHALL BEAR ALL COSTS OF SAID RETESTING.

PAVING AND GRADING NOTES:

- CONTRACTOR TO REPLACE AND RESTORE AREAS TO EXISTING CONDITIONS THAT WILL BE DISTURBED FROM UTILITY INSTALLATIONS.
- ALL ORGANIC SOILS BELOW UTILITY TRENCHES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL AND COMPACTED TO NO LESS THAN 98% OF THE MODIFIED PROCTOR MAXIMUM DENSITY (AASHTO T-180).
- ALL CONCRETE FLUMES, WALKS, AND CURBS SHALL BE CONSTRUCTED WITH 4,000-PSI (AT 28 DAYS) CONCRETE UNLESS OTHERWISE NOTED.
- ALL AREAS WITHIN THE R.O.W. SHALL BE FINISHED GRADE WITH A SMOOTH TRANSITION INTO EXISTING GROUND. ALL SWALES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING. ALL DISTURBED AREAS SHALL BE SODDED AFTER FINAL GRADING, IN ACCORDANCE WITH THE CONSTRUCTION PLANS PRIOR TO FINAL INSPECTION. ALL GRASSING (SOD) SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE BY THE OWNER/OPERATOR. ANY SOD INSTALLED ADJACENT TO CURBS AND SIDEWALKS SHALL BE FLUSH WITH THE TOP OF SAID CURB/SIDEWALK, IN ORDER TO PROVIDE A SMOOTH GRADE TRANSITION AND ALLEVIATE TRIPPING HAZARDS.
- THE SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND INSTALLATIONS OF EVERY KIND, INCLUDING SPRINKLERS, SHALL BE PLACED BENEATH THE PAVEMENT AND ITS EDGES AND TESTED OR INSPECTED PRIOR TO THE CONSTRUCTION OF THE PAVEMENT. THE PAVEMENT SHALL NOT BE CUT WITHOUT PRIOR APPROVAL OF THE ENGINEER AND OWNER.
- ALL FILL MATERIALS SHALL BE FREE OF MUCK, STUMPS, ROOTS, BRUSH, VEGETATIVE MATTER, RUBBISH, OR OTHER UNSUITABLE MATTER.
- ALL EXCESS USEABLE MATERIALS EXCAVATED SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE STOCKPILED AT ON-SITE LOCATIONS AS SPECIFIED BY THE OWNER. EXCESS MATERIALS SHALL BE STOCKPILED SEPARATELY AS TO USEABLE (NONORGANIC) FILL STOCKPILES AND ORGANIC(MUCK) STOCKPILES IF MUCK IS ENCOUNTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL UNSUITABLE FILL MATERIALS FROM THE SITE. THE OWNER, AT HIS SOLE DISCRETION, REQUIRE THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER, TO PROPERLY REMOVE AND DISPOSE OF ANY EXCESS MATERIAL, WHETHER USEABLE OR ORGANIC. FILL MATERIALS PLACED UNDER ROADWAYS SHALL BE COMPACTED TO AT LEAST 98% MAXIMUM DENSITY AS SPECIFIED IN AASHTO T-180. ALL OTHER AREAS ARE TO BE COMPACTED TO AT LEAST 95% MAXIMUM DENSITY AS SPECIFIED IN AASHTO T-180. FILL MATERIALS SHALL BE PLACED AND COMPACTED IN A MAXIMUM OF 12-IN LIFTS. REFER TO SOILS REPORT FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL PROVIDE THE ENGINEER AND THE OWNER WITH ALL (PASSING AND FAILING) TESTING RESULTS. RESULTS SHALL BE PROVIDED ON A TIMELY AND REGULAR BASIS PRIOR TO CONTRACTOR'S PAY REQUEST SUBMITTAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.
- CONTRACTOR SHALL TRIM, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
- CONTRACTOR TO PROVIDE A 1/2-IN TO 1-IN BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT ABUTMENTS OF CONCRETE AND OTHER MATERIALS (BUILDING, OTHER POURED CONCRETE, ETC.)
- ALL DISTURBED AREAS IN CITY AND COUNTY RIGHT OF WAY WILL BE SODDED.



**Kimley»Horn**  
 © 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960  
 PHONE: 772-794-4100  
 WWW.KIMLEY-HORN.COM CA 00000696



KHA PROJECT	04035112
DATE	8/4/2023
SCALE	AS SHOWN
DESIGNED BY	AJF
DRAWN BY	AJF
CHECKED BY	SB

PAVING AND GRADING PLAN

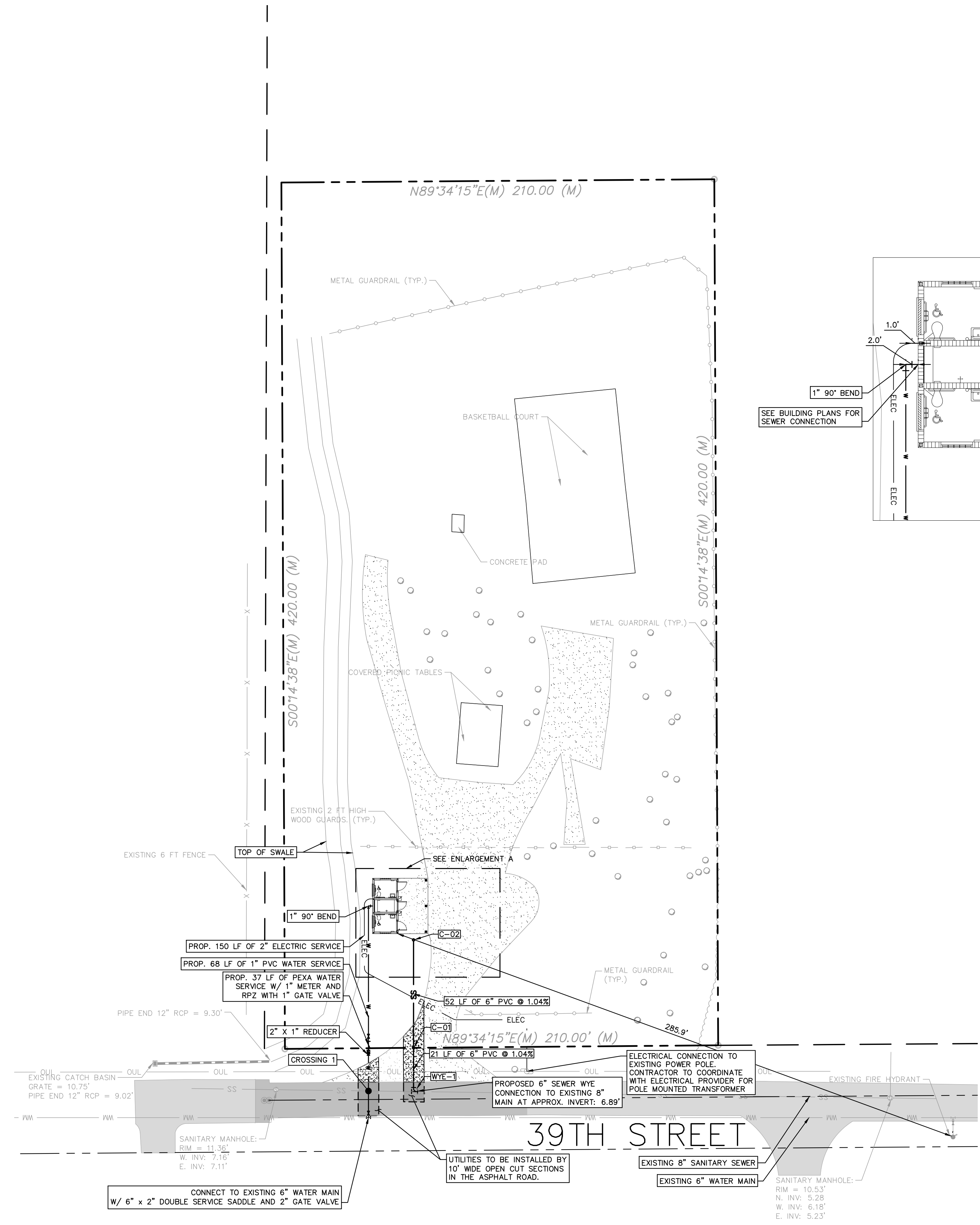
HOSIE SHUMANN  
 PREPARED FOR  
 INDIAN RIVER COUNTY  
 PARKS AND REC  
 INDIAN RIVER COUNTY

CALL 48 HOURS BEFORE YOU DIG  
**811**  
 IT'S THE LAW!  
 DIAL 811  
 Know what's below. Call before you dig.  
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

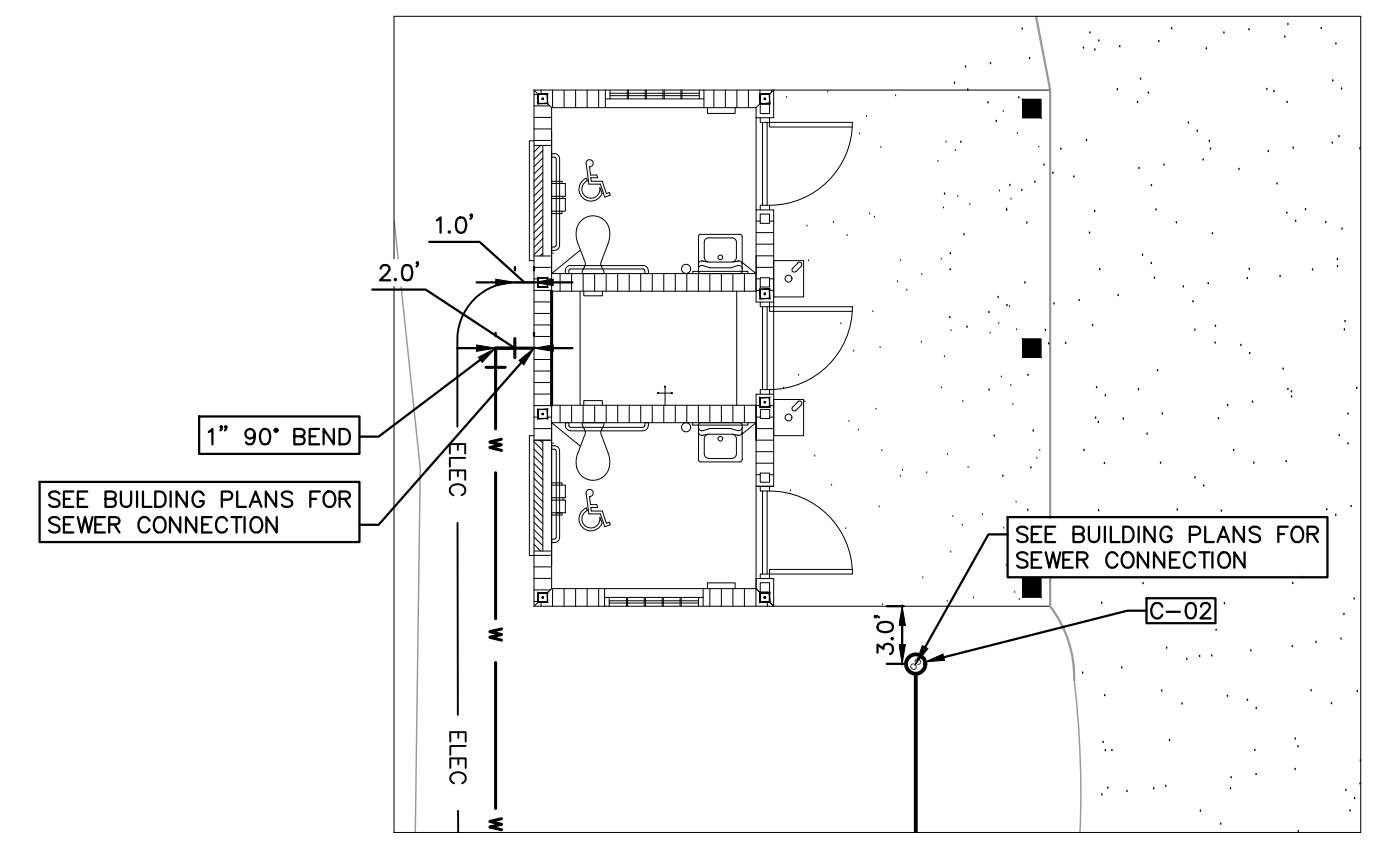
SHEET NUMBER  
**C-200**

NO.	REVISIONS	DATE	BY

Plotted By: Fasano, AJ - Sheet: Set: SHUMANN - Layout: C-300 UTILITY PLAN - August 04, 2023 - 09:07:29am - K:\VRB\_LDEV\ARC\_OIP\Shumann\CAD\PlanSheets\C-300 UTILITY PLAN.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



ENLARGEMENT A  
SCALE 1" = 10'



SANITARY STRUCTURE TABLE			
STRUCTURE	TYPE	RIM EL. (FT.)	INV. EL. (FT.)
C-01	6" PUBLIC CLEANSIT	RIM: 10.81	6" PVC INV. 7.10(3) 6" PVC INV. 7.11(3)
C-02	6" PRIVATE CLEANSIT	RIM: 11.08	6" PVC INV. 7.65(3)
WE-1	WYE 6" x 6"	---	6" PVC INV. 6.89(0)

CROSSING LEGEND

- 1 B.O.P. 2" WATER PIPE EL. 8.10'
- T.O.P. 8" SEWER PIPE EL. 7.60'
- CLEARANCE: 0.5'

**Insurance Service Office Method (ISO) for Fire Flow Requirement (NFPA 1141)**

The calculation for ISO is shown below for the fire flow calculation of the proposed 128 SF restroom located at Hosie Shumann Park, 1760 39th Street, Vero Beach, FL 32960:

$NFF = (C) (O) [1 + (X+P)]$

Where:

NFF = Needed Fire Flow

(C) = Construction factor, including effective area

(O) = Occupancy Factor

(X + P) = Exposures and communication (openings) factor

$C = 18 FVA = 18(1.0) \sqrt{128} = 204 \text{ GPM}$

Where:

F = the coefficient related to the construction type

A = the effective building area

F = 1.0 (Joisted Masonry)

A = 128 SF

O = C-2 Limited Combustible (0.85)

X + P = 0

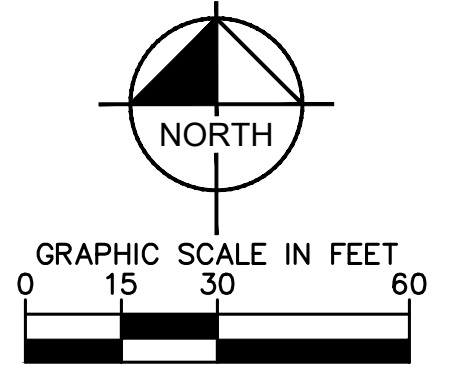
$NFF = (204) (0.85) [1 + (0)]$

**NFF = 174 GPM**

\* THE CALCULATIONS SHOWN ABOVE INDICATE THAT AN ADDITIONAL HYDRANT IS NOT NEEDED AND THE EXISTING HYDRANT IS SUFFICIENT FOR USE AT THE PROPOSED LOCATION.

LEGEND

- PROPERTY LINE
- TRACT LINE
- RIGHT OF WAY
- ROADWAY
- WM --- EXISTING WATER MAIN
- W --- PROPOSED WATER LINE
- SS --- EXISTING SANITARY SEWER LINE
- SS --- PROPOSED SANITARY SEWER LINE
- OUL --- EXISTING OVERHEAD ELECTRIC/TELEPHONE LINE
- ELEC --- PROPOSED ELECTRIC LINE



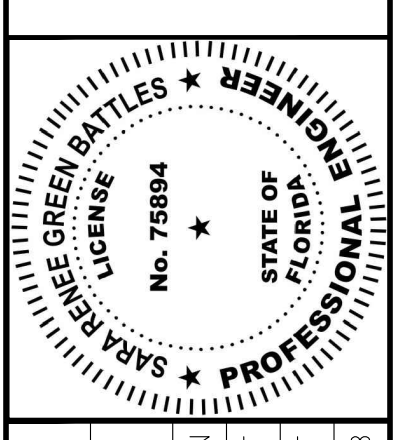
UTILITY NOTES

1. THE CONTRACTOR SHALL PROTECT EXISTING UNDERGROUND UTILITIES AND APPURTENANCES FROM DAMAGE DURING CONSTRUCTION OPERATIONS.
2. CONTRACTOR TO ENSURE THAT THE GRAVITY SEWER HAS A MINIMUM COVERAGE OF 2' TO PROPOSED GRADE FOLLOWING UTILITY INSTALLATION.
3. THE LOCATION OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES AND OTHER ABOVE AND BELOW-GRADE IMPROVEMENTS ARE APPROXIMATE AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE AND INVERT ELEVATIONS OF SUCH PRIOR TO THE START OF CONSTRUCTION.
4. A MINIMUM OF 5' SEPARATION IS REQUIRED BETWEEN UTILITIES AND TREES.
5. GAS, PHONE AND ELECTRIC SERVICES SHOWN FOR INFORMATIONAL PURPOSES ONLY. DRY UTILITY COMPANIES MAY ALTER THE DESIGN LAYOUT DURING THEIR REVIEW.
6. 4" AND 6" SANITARY LATERALS MUST MAINTAIN A 1.04% MINIMUM SLOPE TO ENSURE PROPER FLOW.
7. CONTRACTOR SHALL ADJUST EXISTING VALVES AND OTHER APPURTENANCES TO FINAL GRADE. ALL SURFACE UTILITIES TO REMAIN SHALL HAVE TRAFFIC-RATED LIDS IN PAVEMENT AREAS.
8. ALL WATER SERVICE CONNECTION SHALL HAVE PROPER BACKFLOWS AND SHALL BE CERTIFIED PRIOR TO BUILDING CERTIFICATE OF OCCUPANCY.
9. PIPE SPECIFICATIONS [C151(CLASS)/C900 (SDR)]
10. PIPE COLOR CODING REQUIREMENT SHALL BE IN CONFORMANCE WITH 62-555.320(21)(b)(3), F.A.C.
11. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM PIPE COVER OF 36 INCHES.
12. ALL WATERMAIN, GRAVITY SEWER MAIN, AND STORM PIPE CROSSINGS SHALL HAVE AT LEAST 18" (MINIMUM) OF VERTICAL SEPARATION WITH OTHER PIPES, CABLES, AND GAS LINES.
13. PERFORM DISINFECTION OF INSTALLED WATER PIPE PER AWWA C651 - 05 OR LATEST REVISION
14. TEST PRESSURE (REF. TO AWWA C600-10) OR LATEST REVISION FOR DIP PIPE AND (REF. TO AWWA C605-13) OR LATEST REVISION FOR PVC PIPE FOLLOWING LEAKAGE FORMULA:
15. WATER PIPES SHALL BE PRESSURE TESTED ACCORDING TO AWWA C600-10 OR LATEST REVISION. THE FORMULA IS AS FOLLOWS:  $Q = LD \times \text{SQRT OF } P / 148,000$ . WHERE Q = QUALITY OF MAKEUP WATER (IN GALLONS PER HOUR), L = LENGTH OF PIPE SECTION BEING TESTED (IN FEET), D = NOMINAL DIAMETER OF THE PIPE (IN INCHES), AND P = AVERAGE TEST PRESSURE DURING THE HYDROSTATIC TEST (IN POUNDS PER SQUARE INCH GAUGE).

No.	REVISIONS	DATE	BY

**Kimley-Horn**

© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960  
 PHONE: 772-794-4100  
 WWW.KIMLEY-HORN.COM CA 00000696



KHA PROJECT	04035112
DATE	8/4/2023
SCALE	AS SHOWN
DESIGNED BY	AJF
DRAWN BY	AJF
CHECKED BY	SB

UTILITY PLAN

HOSIE SHUMANN  
 PREPARED FOR  
 INDIAN RIVER COUNTY  
 PARKS AND REC  
 INDIAN RIVER  
 COUNTY

SHEET NUMBER  
**C-300**

CALL 48 HOURS BEFORE YOU DIG

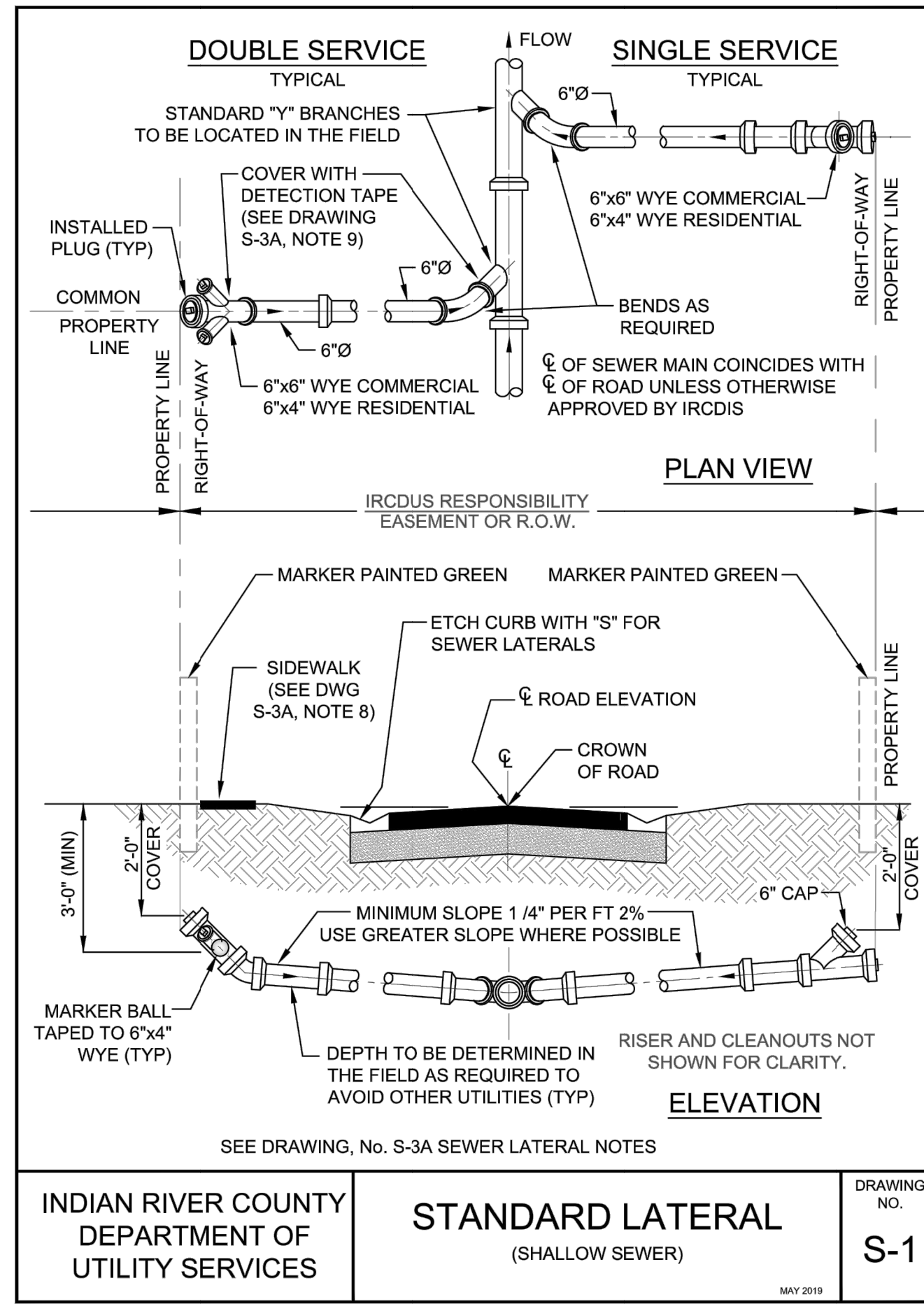
**811**

IT'S THE LAW!  
 DIAL 811

Know what's below.  
 Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Plotted By: Fasano, AJ - Sheet: S-HUMANN - Layout: C-350 - Detail: SHEET - August 04, 2023 - 09:07:38am - K:\VRB-LDEV\ARC-Plan\Shumann\CAD\Plan\Sheets\C-350-DETAIL-SHEET.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

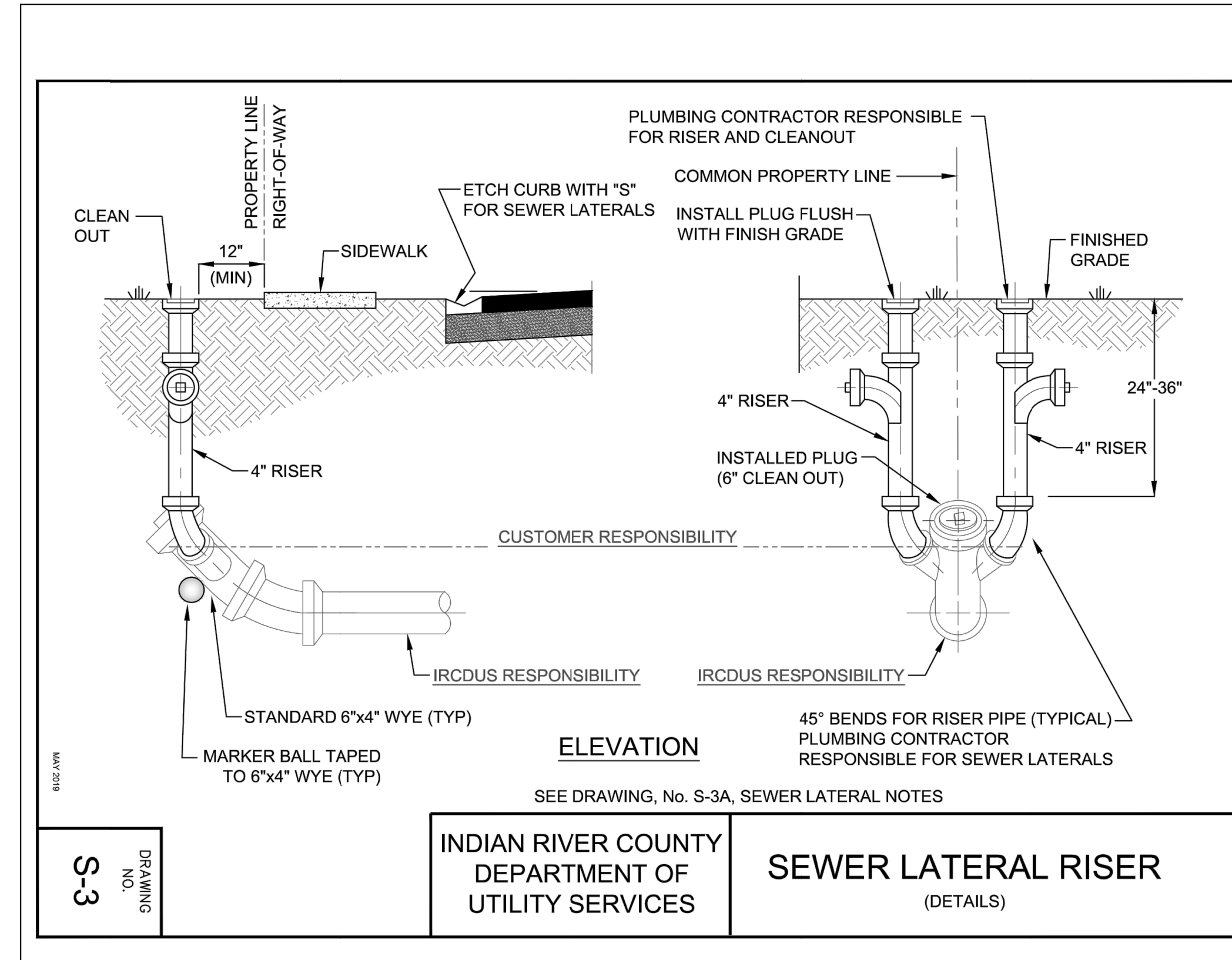


INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES

**STANDARD LATERAL (SHALLOW SEWER)**

DRAWING NO. **S-1**

MAY 2019



INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES

**SEWER LATERAL RISER (DETAILS)**

DRAWING NO. **S-3**

MAY 2019

- NOTES:**
- ALL SEWER LATERALS (SINGLE OR DOUBLE) SHALL HAVE A RISER PIPE WITH BENDS AS REQUIRED FOR SERVICE CONNECTIONS AND WITH A 4" Ø CLEANOUT AT GRADE.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR RISER PIPE WITH BEND FOR SERVICE CONNECTION AND FOR SETTING 4" Ø SEWER CLEANOUT TO FINISH GRADE PRIOR TO CONNECTION.
  - SANITARY SEWER LATERAL LATERALS SHALL BE A MINIMUM OF 6" IN DIAMETER.
  - GRAVEL (3/4") BEDDING SHALL BE USED FOR EXCAVATION ON ROCK. SAND BEDDING SHALL BE USED FOR EXCAVATION IN SAND. (SEE DRAWING, No. S-2, MODIFIED SEWER LATERAL, DEEP SEWER.)
  - GRAVEL (3/4") BED SHALL CONTINUE UNDER AND PARALLEL TO SEWER LATERAL PIPE INTO UNDISTURBED SOIL AT THE PROPERTY LINE. (SEE DRAWING, No. S-2, MODIFIED SEWER LATERAL, DEEP SEWER.)
  - FOR RISERS AND CLEANOUTS SEE DRAWING, No. S-3, SEWER LATER RISER.
  - FOR CUTTING IN SEWER LATERAL CLEANOUT TO FINISH GRADE SEE DRAWING, No S-3, SEWER LATER RISER.
  - RISERS AND CLEANOUT SHALL NOT BE CONSTRUCTED WITHIN 12" OF SIDEWALK.
  - MAGNETIC DETECTION TAPE SHALL BE INSTALLED OVER TOP OF ALL SEWER MAINS AND SERVICE LATERALS.
  - ELECTRONIC MARKER BALLS, 4" Ø, SHALL BE TAPED TO 6"x4" WYE, 24" BELOW FINISHED GRADE.
  - ALL MATERIALS ARE TO BE PER IRCDUS APPROVED MANUFACTURERS' PRODUCT LIST.

INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES

**STANDARD LATERAL NOTES**

DRAWING NO. **S-3**

MAY 2019

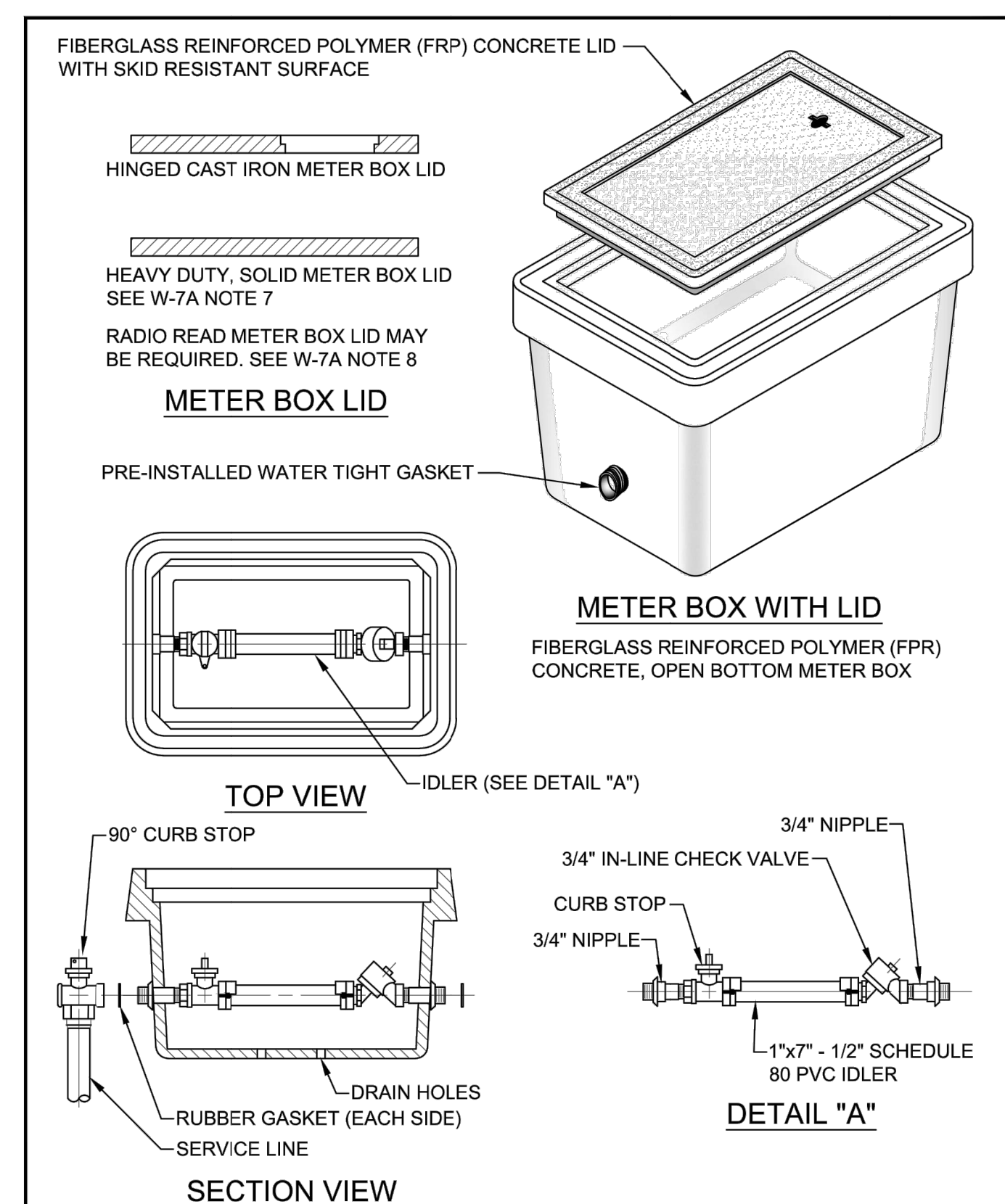
- NOTES:**
- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE A MINIMUM OF 18" ON CENTER.
  - ALL SERVICES REQUIRE 36" MINIMUM COVER.
  - MINIMUM SERVICE SIZE SHALL NOT BE LESS THAN 1" Ø. DUAL SERVICES SHALL BE A MINIMUM OF 1 1/2" Ø. TRIPLE SERVICES SHALL BE 1" MINIMUM OF 2" Ø. QUADRUPLE SERVICES SHALL BE APPROVED BY IRCDUS.
  - 1" Ø & 1 1/2" Ø LONG SERVICES REQUIRE A 2" MINIMUM I.D. CASING SLEEVE. 2" Ø LONG SERVICES REQUIRE A 3" MINIMUM CASING SLEEVE. CASING SLEEVE SHALL BE SCHEDULE 40 P.V.C.
  - ALL METERS 2" Ø OR SMALLER SHALL BE SUPPLIED AND INSTALLED BY IRCDUS. ALL METERS GREATER THAN 2" Ø SHALL BE SUPPLIED AND INSTALLED BY THE DEVELOPER PROPERTY OWNER. REFER TO APPROVED MANUFACTURERS' PRODUCT LIST FOR METERS GREATER THAN 2" Ø.
  - PIN LOCKS WITH PLASTIC DUST CAPS SHALL BE PURCHASED BY THE DEVELOPER AND/OR CONTRACTOR AND SHALL BE INSTALLED ON ALL LOCKING CURB STOPS INSIDE METER BOX, SAMPLING POINTS, AND WATER SERVICE CONNECTIONS AT THE TIME OF ACTIVATING ALL WATER MAINS OR AT SUCH TIME AS DIRECTED BY IRCDUS.
  - CURB STOPS SHALL BE THE SAME SIZE AS THE METERS THAT ARE INSTALLED.
  - TRACE WIRE TO BE INSTALLED AS PER DRAWING, No. M-14, TRACE WIRE DETAILS.
  - PLACE A 4" ELECTRONIC MARKER BALL INSIDE BOTTOM OF ALL METER BOXES.
  - ALL RESIDENTIAL AND ONE ERU SERVICES SHALL BE 5/8" METERS.
  - OPEN BOTTOM AND PRE-PLUMBED (ENCLOSED) METER BOXES ARE ACCEPTABLE.
  - ALL METER BOXES TO BE PER IRCDUS APPROVED MANUFACTURERS' PRODUCT LIST.
  - AN UNOBSTRUCTED CLEAR ZONE IS REQUIRED AROUND ALL METER BOXES. (SEE DRAWING, No. W-6 A.)

INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES

**WATER SERVICE NOTES**

DRAWING NO. **W-4**

MAY 2019

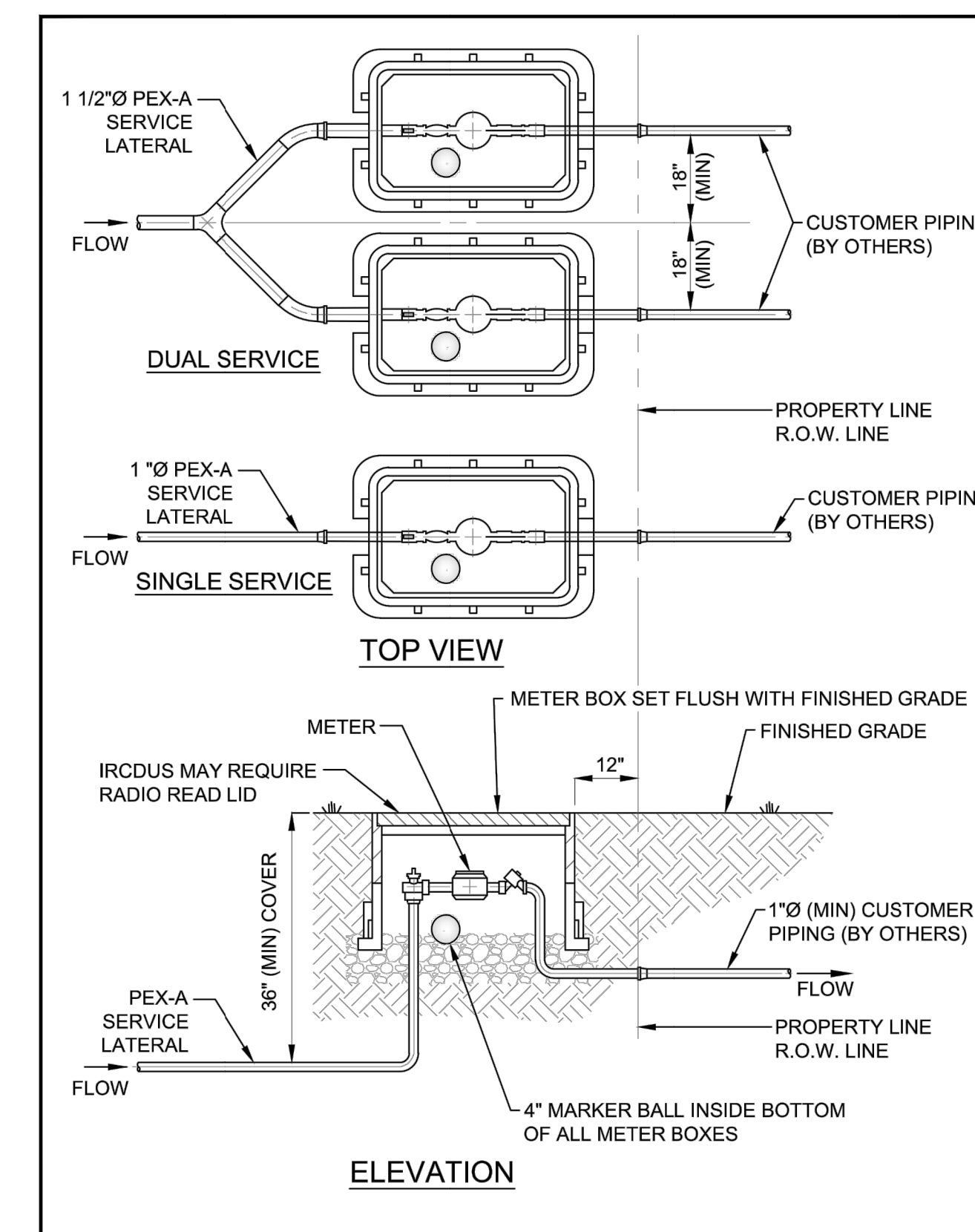


INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES

**METER BOX TYPICAL PRE-PLUMBED (ENCLOSED)**

DRAWING NO. **W-5**

MAY 2019



INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES

**METER BOX INSTALLATION**

DRAWING NO. **W-6**

MAY 2019

INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES

INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES

INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES

INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES

**Kimley & Horn**

© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
445 24TH STREET, SUITE 200, VERO BEACH, FL 32960  
PHONE: 772-794-4100  
WWW.KIMLEY-HORN.COM CA 00000696

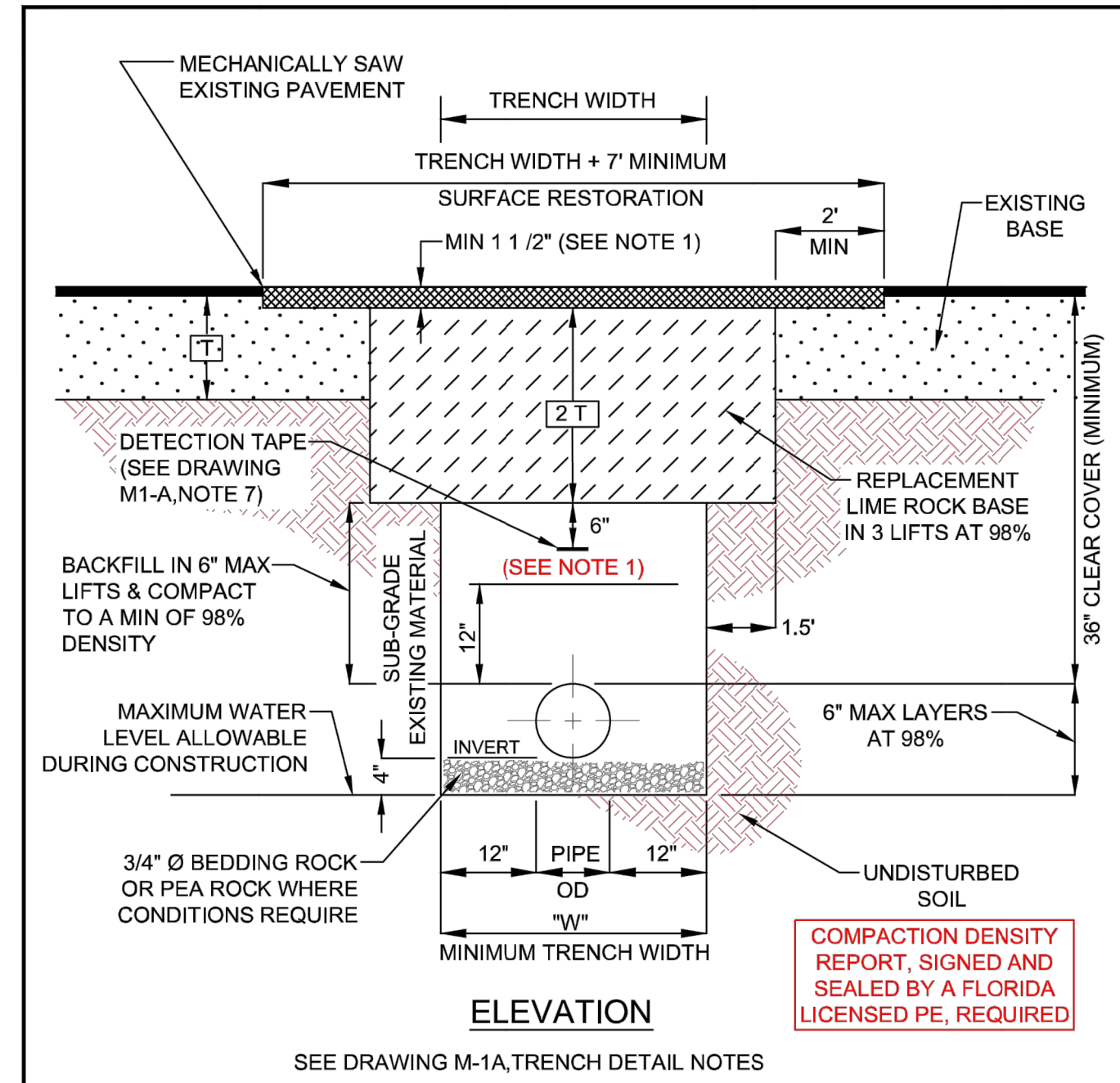
**PROFESSIONAL ENGINEER**  
STATE OF FLORIDA  
LICENSE No. 78894  
SCALE: AS SHOWN  
DESIGNED BY: AJF  
DRAWN BY: AJF  
CHECKED BY: SB

**HOSIE SHUMANN**  
PREPARED FOR  
**INDIAN RIVER COUNTY**  
**PARKS AND REC**

**DETAIL SHEET**

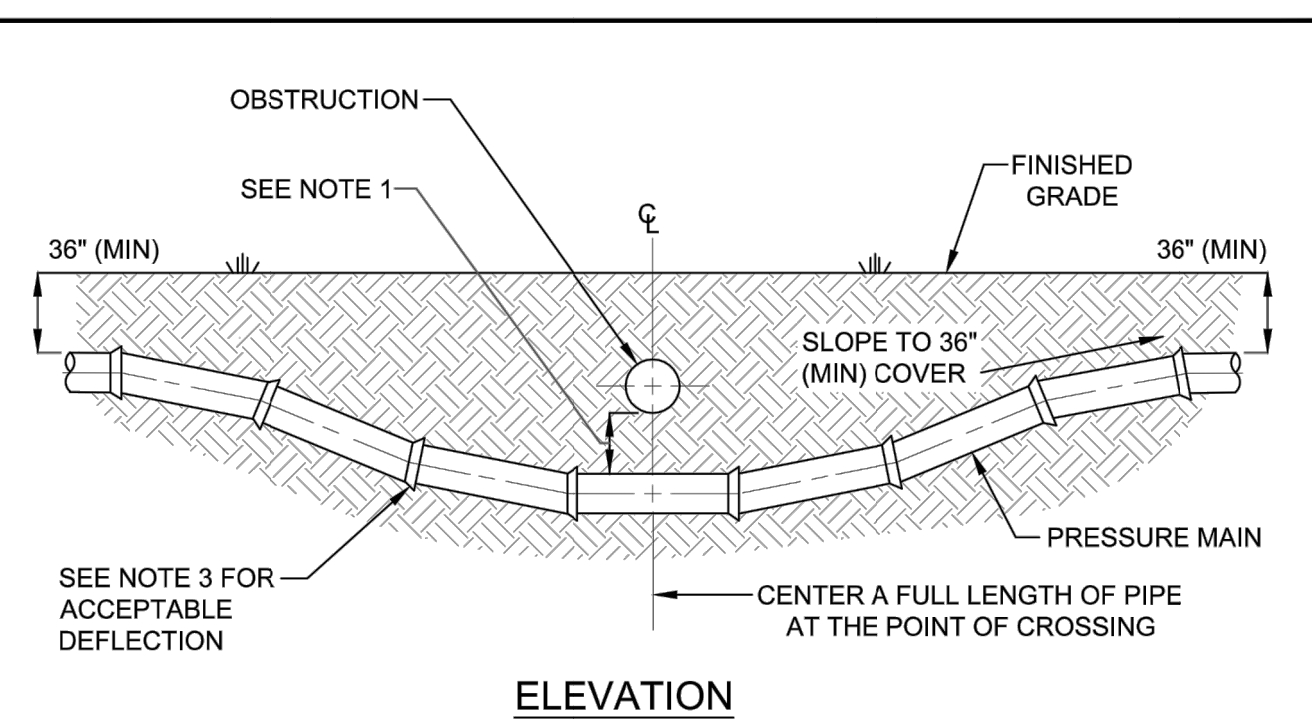
SHEET NUMBER  
**C-350**

Plotted By: Fasano, AJ - Sheet - Set: SHUMANN - Layout: C-351 - DETAIL SHEET - August 04, 2023 - 09:07:41am - K:\VRB-LDEV\ARC-OP\Shumann\CAD\PlanSheets\C-350-DETAIL-SHEET.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



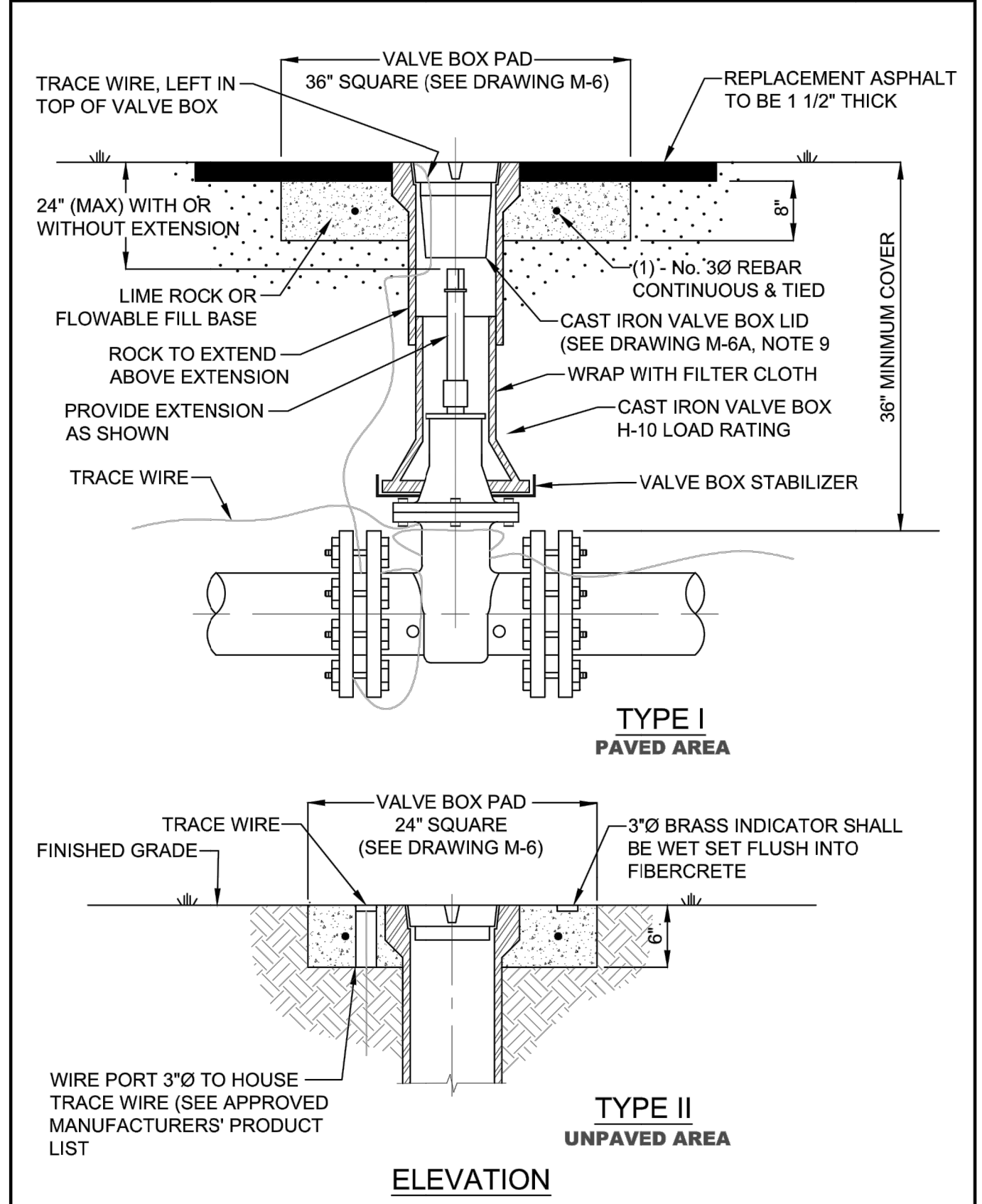
- NOTES:**
- MECHANICAL COMPACTION NOT ALLOWED BELOW THIS LEVEL OTHER THAN HAND VIBRATORY MEANS.
  - NEW SURFACE MATERIALS SHALL BE CONSISTENT IN DEPTH WITH EXISTING MATERIALS AND SHALL HAVE LAPPED JOINTS, (1 1/2" MINIMUM THICKNESS). PAVEMENT MATERIAL TO BE SPECIFIED.
  - MINIMUM TRENCH WIDTH "W" = PIPE OD PLUS 2'-0".
  - EXCAVATABLE FLOWABLE FILL IS ALLOWED WITH PRIOR APPROVAL OF PROPOSED MATERIAL STRENGTH BY COUNTY PUBLIC WORKS ENGINEER OR DESIGNEE.

INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES	TRENCH DETAIL (PAVED AREAS & SHOULDERS)	DRAWING NO. M-2 MAY 2019
--	--	-----------------------------------



- NOTES:**
- NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY, VACUUM TYPE SANITARY SEWER, STORM SEWER, OR PRESSURE TYPE SANITARY SEWER, WASTEWATER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE WATER MAIN IS AT LEAST 6", AND PREFERABLY 12", ABOVE OR A MINIMUM OF 12 INCHES BELOW THE OTHER PIPELINE. IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE IF 36" MINIMUM COVER CAN BE MAINTAINED ABOVE THE WATER MAIN AND 6" OF SEPARATION BETWEEN THE WATER MAIN AND THE OTHER PIPELINE.
  - AT UTILITY CROSSINGS, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER, AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER.
  - CONSTRUCT STANDARD CROSSING NOT TO EXCEED 75% OF THE MANUFACTURER'S MAXIMUM JOINT DEFLECTION.
  - OTHER METHODS OF RESTRAINT MAY BE USED AS APPROVED BY IRCUDS IN LIEU OF DEFLECTING THE PIPE AS SHOWN ABOVE.
  - TRACER WIRE SHALL BE INSTALLED ABOVE THE PIPE. (SEE DRAWING, No. M-14)
  - ALL WATER AND SEWER PIPING SHALL BE LOCATED A MINIMUM HORIZONTAL SEPARATION EQUAL TO THE DEPTH OF THE PIPE PLUS THE DIAMETER OF THE PIPE FROM ANY PERMANENT ABOVE GROUND STRUCTURES (I.E. WALLS, TREES, TRANSFORMER PADS, ETC.) AND A MINIMUM HORIZONTAL SEPARATION EQUAL TO FOUR (4) FEET FROM ANY UNDERGROUND UTILITIES (I.E. GAS MAINS, TELEPHONE LINES, CABLE LINES, IRRIGATION MAINS, ETC.)
  - IRCUDS MAY REQUIRE AIR RELEASE VALVES ON EACH SIDE OF A UTILITY CROSSING.

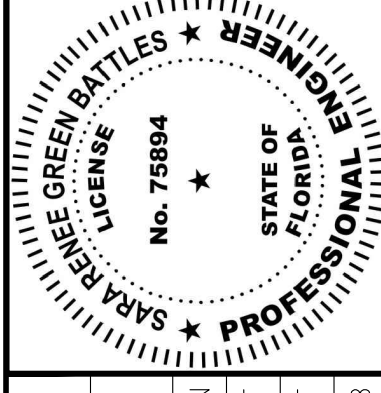
INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES	UTILITY CROSSINGS	DRAWING NO. M-4 MAY 2019
--	-------------------	-----------------------------------



INDIAN RIVER COUNTY DEPARTMENT OF UTILITY SERVICES	VALVE AND BOX DETAIL	DRAWING NO. M-6 MAY 2019
--	-------------------------	-----------------------------------

No.	REVISIONS	DATE	BY

**Kimley»Horn**  
 © 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960  
 PHONE: 772-794-4100  
 WWW.KIMLEY-HORN.COM CA 00000696



KHA PROJECT 04035112	DATE 8/4/2023	SCALE AS SHOWN	DESIGNED BY AJF	DRAWN BY AJF	CHECKED BY SB
-------------------------	------------------	-------------------	--------------------	-----------------	------------------

**HOSIE SHUMANN**  
 PREPARED FOR  
**INDIAN RIVER COUNTY**  
**PARKS AND REC**  
 INDIAN RIVER COUNTY, FL

**DETAIL SHEET**  
 SHEET NUMBER  
**C-351**