

RENOVATIONS TO LAGRANGE POLICE DEPARTMENT FOR CITY OF LAGRANGE

100 W HARALSON STREET
LAGRANGE, GEORGIA

(MECHANICAL)

PROJECT NUMBER 1911

FOR BID AND PERMIT

12 AUGUST 2019

ADDITIVE ALTERNATIVES

BASE BID - ALL WORK IN PHASE ONE

ADDITIVE ALTERNATIVE NO.1

IN SPACES 128 AND 129 INSTALL NEW PORCELAIN TILE FLOORS AND NEW PORCELAIN TILE (FULL HEIGHTS) ON ALL WALLS, PROVIDE NEW PLUMBING FIXTURES, NEW CEILING, NEW LIGHTS AND NEW VANITY PER DETAIL 4/A7-1.

ADDITIVE ALTERNATIVE NO.2- ALL WORK IN PHASE II (2)

ADDITIVE ALTERNATIVE NO.3- ALL WORK IN PHASE III (3)

ADDITIVE ALTERNATIVE NO.4- ALL WORK IN PHASE IV (4)

ADDITIVE ALTERNATIVE NO.5

TO REMOVE ALL EXISTING DATA CABLING ON THE 100 LEVEL, IN ITS ENTIRETY FROM THE SITE. INSTALL NEW CAT 7 CABLING FROM ALL NEW AND EXISTING DATA DROPS, HOMERUN EACH DROP TO SPACE 108. MAKE TERMINATIONS AT WALL LOCATIONS, LEAVE SIX (6) FEET OF SLACK IN SPACE 108 FOR OWNER TO TERMINATE. COORDINATE TO TEST AND LABEL ALL DROPS.

ADDITIVE ALTERNATIVE NO.6

TO REMOVE ALL EXISTING DATA CABLING ON THE 200 LEVEL, IN ITS ENTIRETY FROM THE SITE. INSTALL NEW CAT 7 CABLING FROM ALL NEW AND EXISTING DATA DROPS, HOMERUN EACH DROP TO SPACE 225. MAKE TERMINATIONS AT WALL LOCATIONS, LEAVE SIX (6) FEET OF SLACK IN SPACE 225 FOR OWNER TO TERMINATE. COORDINATE TO TEST AND LABEL ALL DROPS.

ADDITIVE ALTERNATIVE NO.7

TO REMOVE ALL EXISTING DATA CABLING ON THE 300 LEVEL, IN ITS ENTIRETY FROM THE SITE. INSTALL NEW CAT 7 CABLING FROM ALL NEW AND EXISTING DATA DROPS, HOMERUN EACH DROP TO SPACE 338. MAKE TERMINATIONS AT WALL LOCATIONS, LEAVE SIX (6) FEET OF SLACK IN SPACE 338 FOR OWNER TO TERMINATE. COORDINATE TO TEST AND LABEL ALL DROPS.

Phasing and Liquidated Damages

Phase 1

To be Substantial Complete within 190 Consecutive Calendar Days, after commencement of work, on Phase 1. Liquidated Damages in the sum of \$100 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

Phase 2

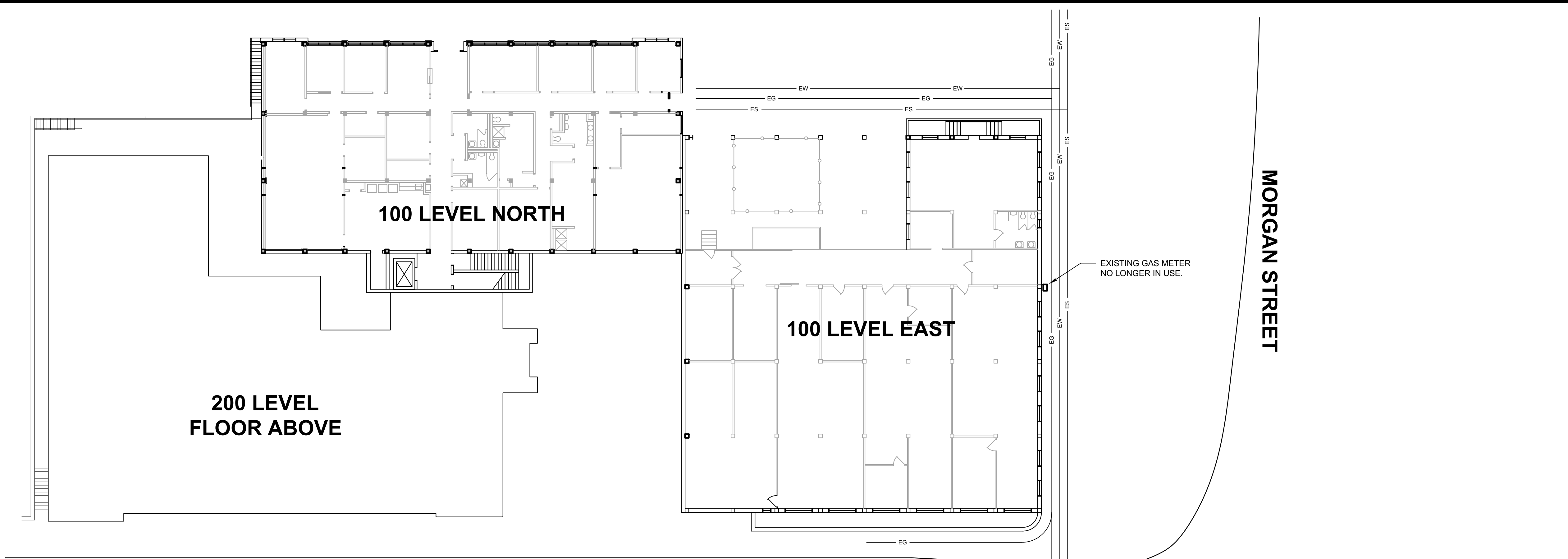
To begin 14 Days after Substantial Completion of Phase 1, and To be Substantial Complete within 140 Consecutive Calendar Days, after commencement of work, on Phase 2. Liquidated Damages in the sum of \$200 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

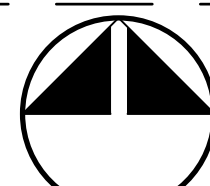
Phase 3

To begin 14 Days after Substantial Completion of Phase 2, and To be Substantial Complete within 120 Consecutive Calendar Days, after commencement of work, on Phase 3. Liquidated Damages in the sum of \$200 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

Phase 4

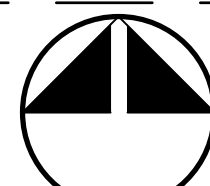
To begin 14 Days after Substantial Completion of Phase 3, and To be Substantial Complete within 120 Consecutive Calendar Days, after commencement of work, on Phase 4. Liquidated Damages in the sum of \$200 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.



N

EAST HARALSON STREET

1
 GM-3 100 LEVEL - EXISTING
 Scale: 1/16" = 1'-0"



N

EAST HARALSON STREET

2
 GM-3 200 LEVEL - EXISTING
 Scale: 1/16" = 1'-0"



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 206 WEST HARALSON STREET
 LAGRANGE, GEORGIA 30240
 706-882-5511 www.SDGarch.net

LEGEND

— EW —	EXISTING WATER
— EG —	EXISTING GAS
— ES —	EXISTING SANITARY SEWER

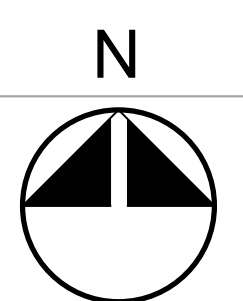
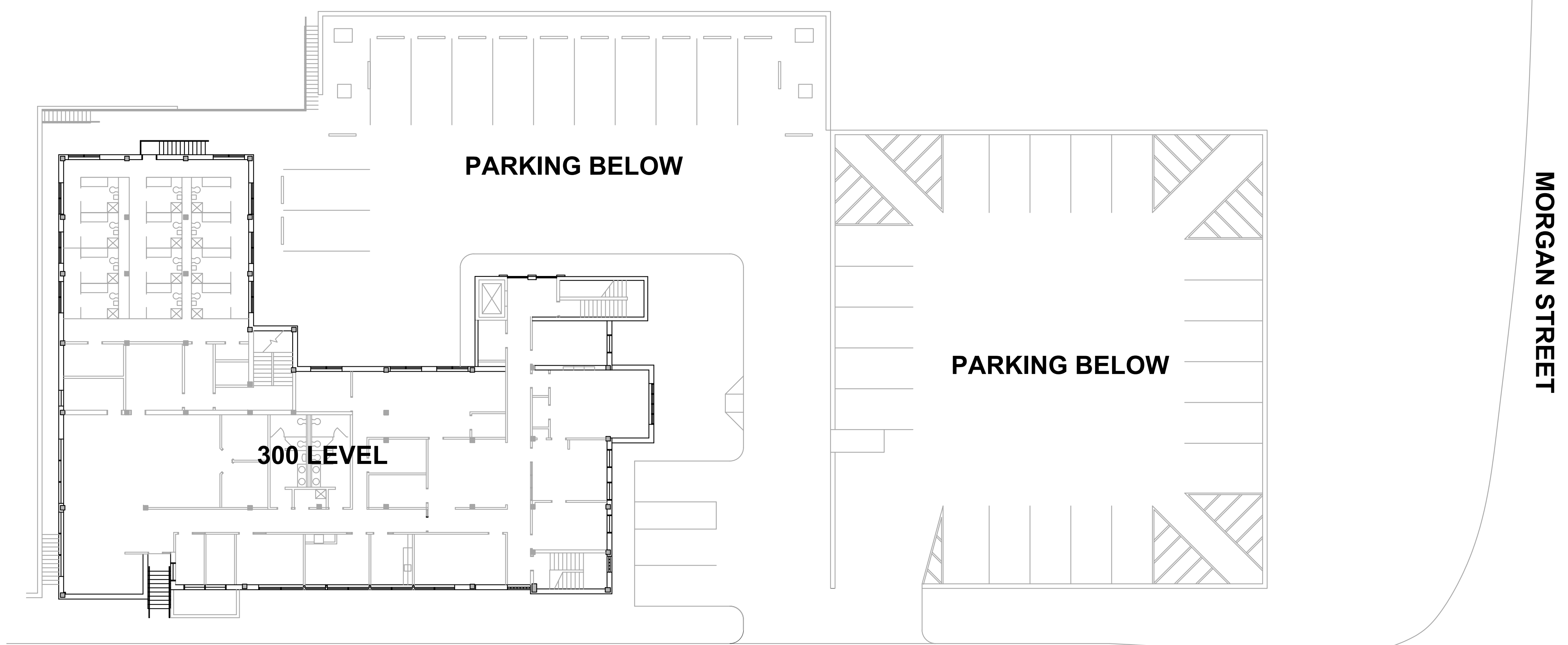
REVISIONS

DATE	DESCRIPTION

PROJECT:
**RENOVATIONS TO
 LAGRANGE POLICE DEPT**
 100 W HARALSON ST
 LAGRANGE, GEORGIA

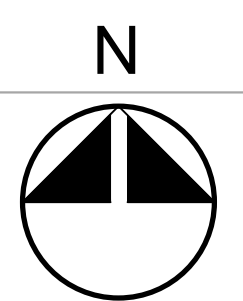
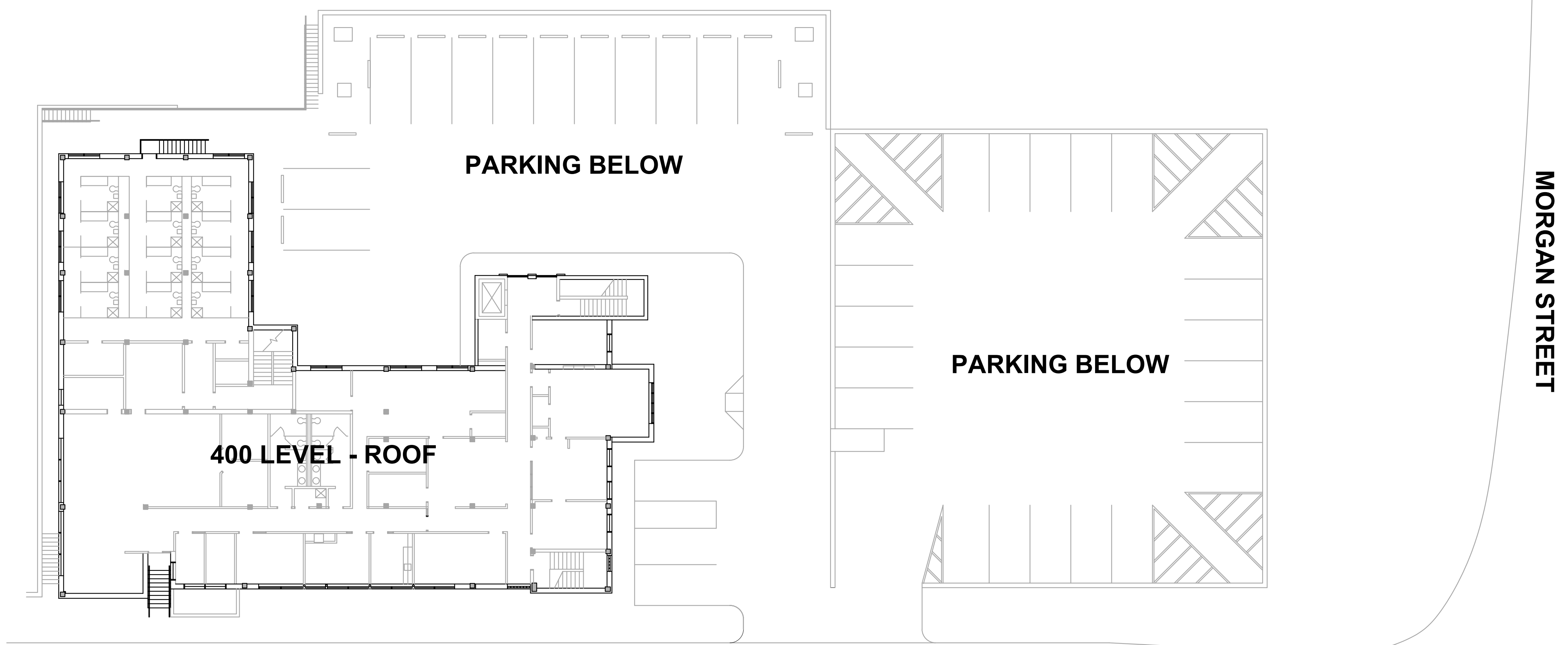
TITLE:
OVERALL PLANS

MODIFIED DATE:	JOB NO: 1911
ISSUED DATE: FOR BID AND PERMIT 12 AUG 2019	SHEET: GM-3



EAST HARALSON STREET

1 300 LEVEL - EXISTING
GM-4 Scale: 1/16" = 1'-0"



EAST HARALSON STREET

2 400 LEVEL - ROOF
GM-4 Scale: 1/16" = 1'-0"



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REVISIONS	
DATE	DESCRIPTION

PROJECT:
**RENOVATIONS TO
LAGRANGE POLICE DEPT**
100 W HARALSON ST
LAGRANGE, GEORGIA

TITLE:
OVERALL PLANS

MODIFIED DATE:	JOB NO: 1911
ISSUED DATE: FOR BID AND PERMIT 12 AUG 2019	SHEET: GM-4

ARCHITECT'S STAMP



sg

SIGNATURE REQUIRED

SMITH DESIGN GROUP, INC.

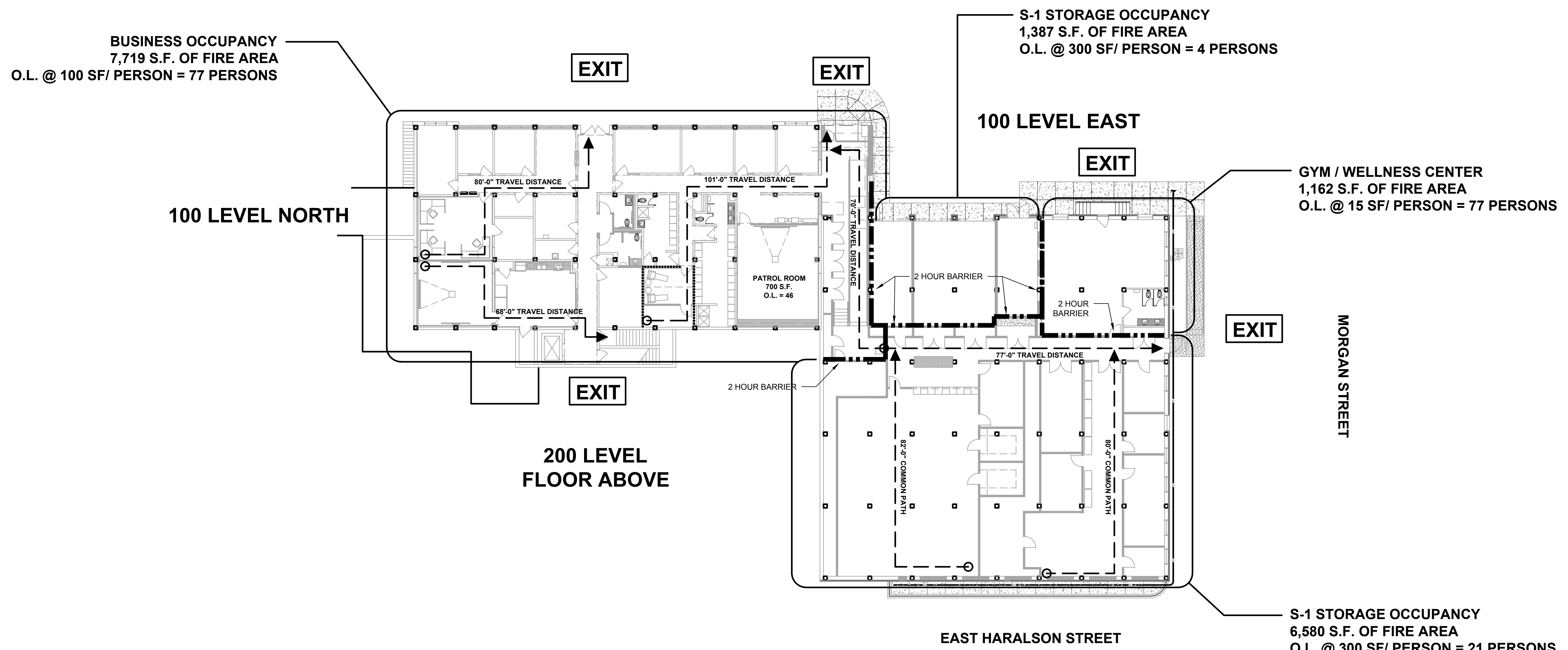
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LEVEL 100 FIRE AREA SUMMARY

BUSINESS =	7,719 S.F. OF FIRE AREA	77 PERSONS
STORAGE =	1,387 S.F. OF FIRE AREA	4 PERSONS
WELLNESS =	1,162 S.F. OF FIRE AREA	77 PERSONS
STORAGE =	6,580 S.F. OF FIRE AREA	21 PERSONS
MAXIMUM OCCUPANCY = 179 PERSONS		

LEGEND OF WALLS

— 2 HOUR FIRE RATED BARRIER
 SEAL TIGHT TO DECK AND SEAL ALL PENETRATIONS. PROVIDE FIRE DAMPER IN ALL DUCTWORK PENETRATING 2 HOUR WALL.



REVISIONS

DATE	DESCRIPTION

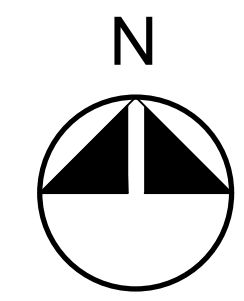
PROJECT:

RENOVATIONS TO LAGRANGE POLICE DEPT

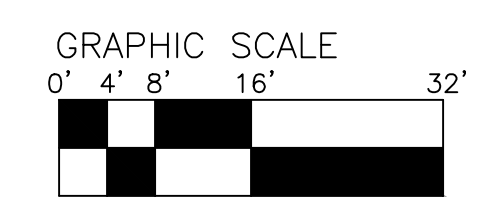
100 W HARALSON ST
LAGRANGE, GEORGIA

TITLE:

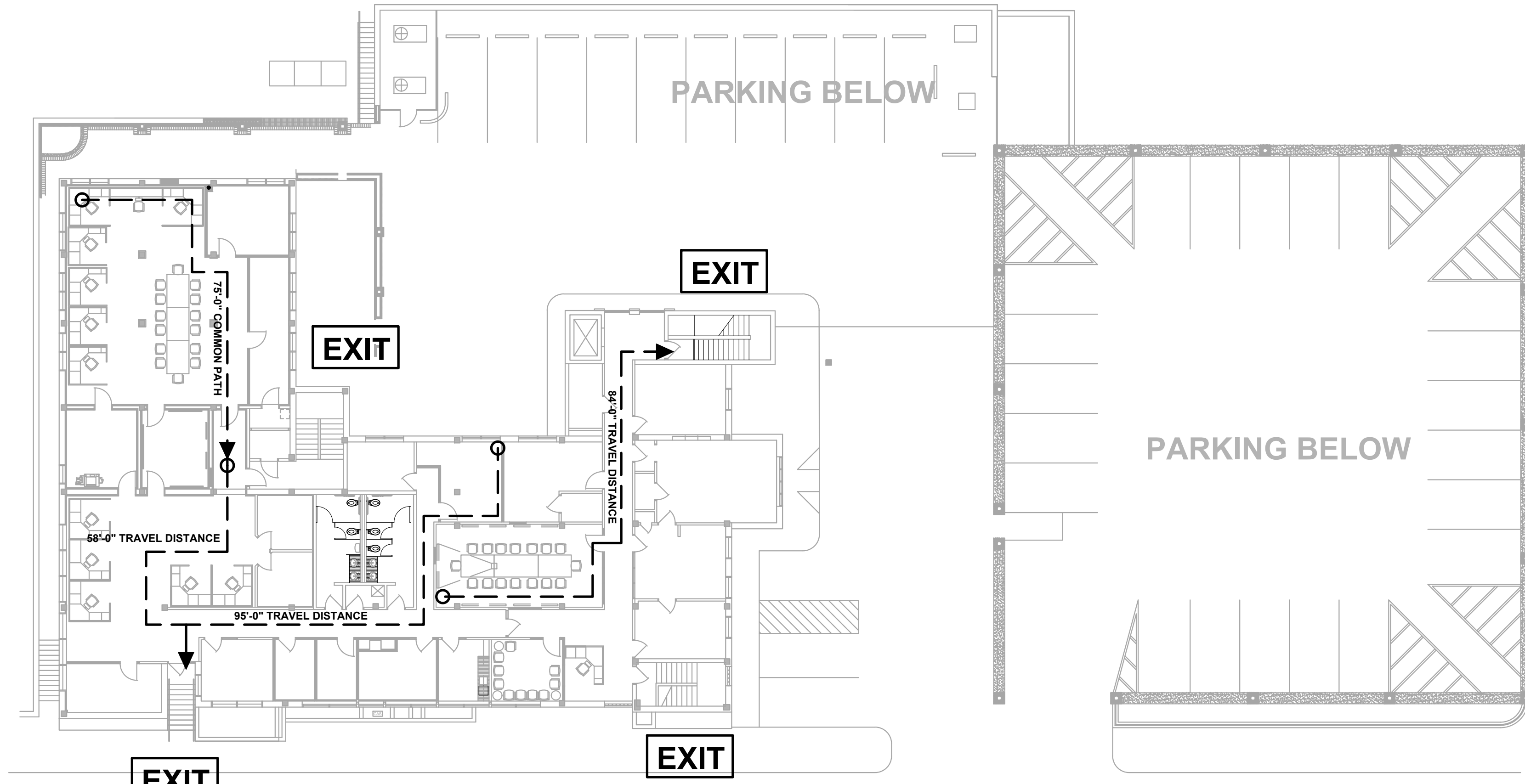
LIFE SAFETY PLANS



1 100 LEVEL - LIFE SAFETY PLAN
 Scale: 1/16" = 1'-0"



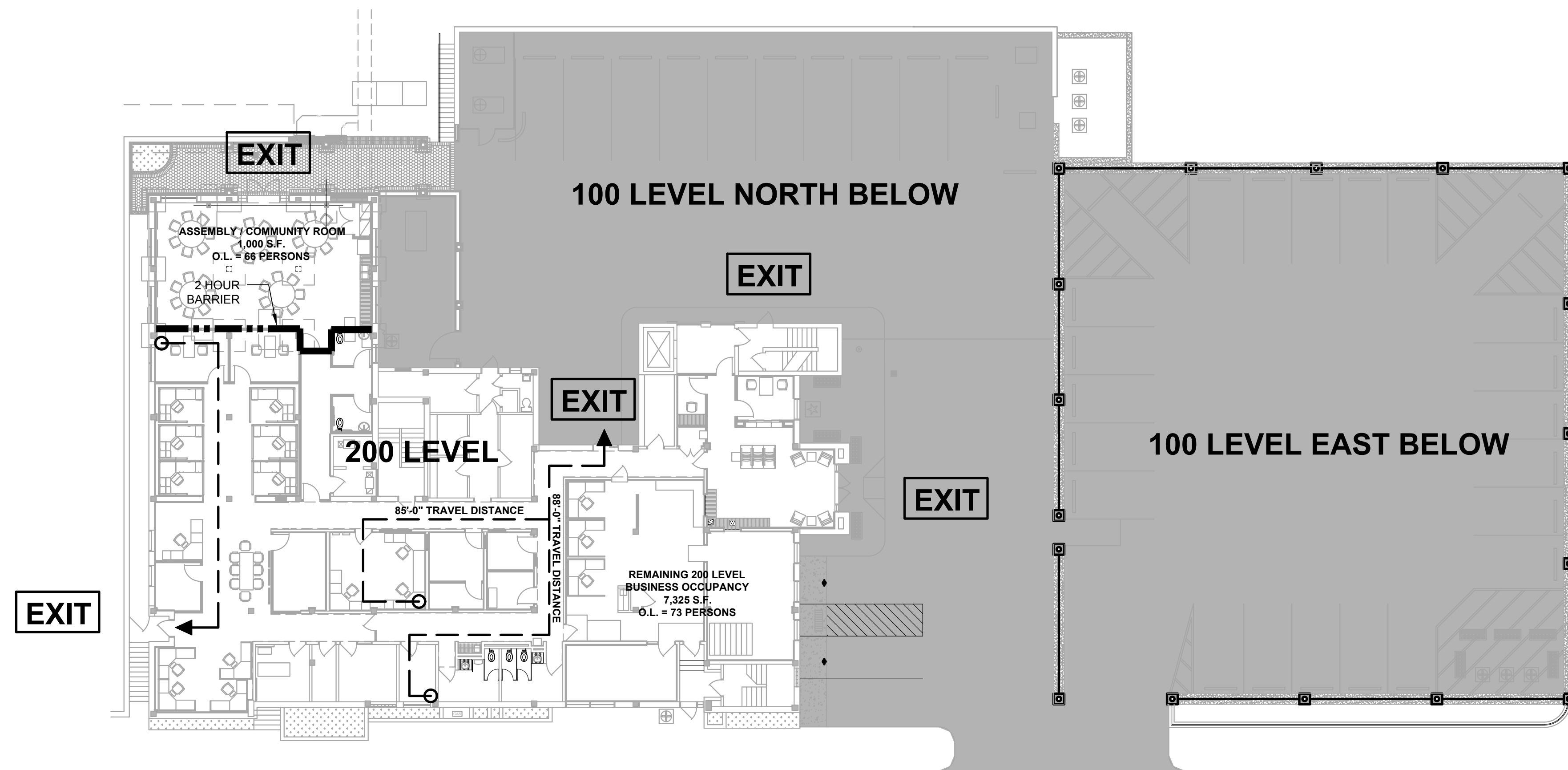
MODIFIED DATE:	JOB NO: 1911
ISSUED DATE: FOR BID AND PERMIT 12 AUG 2019	SHEET: GM-5



EAST HARALSON STREET

300 LEVEL BUSINESS OCCUPANCY
9,030 S.F. OF FIRE AREA
O.L. @ 100 SF/ PERSON = 90 PERSONS

1 300 LEVEL - LIFE SAFETY PLAN
 GM-6 Scale: 1/16" = 1'-0"



EAST HARALSON STREET

200 LEVEL BUSINESS OCCUPANCY
9,400 S.F. OF FIRE AREA
O.L. @ 100 SF/ PERSON = 94 PERSONS

2 200 LEVEL - LIFE SAFETY PLAN
 GM-6 Scale: 1/16" = 1'-0"

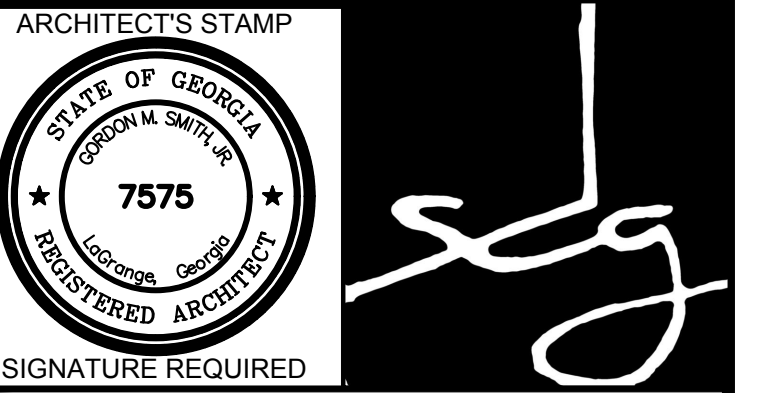
LEVEL 200 - 300 FIRE AREA SUMMARY

LEVEL 300 = 9030 S.F. OF FIRE AREA
 90 PERSONS

LEVEL 200 = 9,400 S.F. OF FIRE AREA
 94 PERSONS

MAXIMUM OCCUPANCY = 184 PERSONS

TOTAL OCCUPANT LOAD FOR ENTIRE FACILITY = 363 PERSONS



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LEGEND OF WALLS

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 SEAL TIGHT TO DECK AND SEAL ALL PENETRATIONS. PROVIDE FIRE DAMPER IN ALL DUCTWORK PENETRATING 2 HOUR WALL.

REVISIONS

DATE	DESCRIPTION

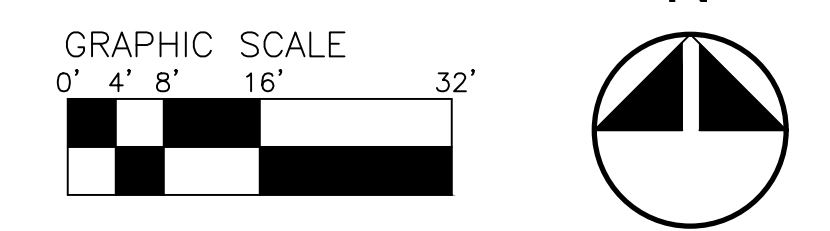
PROJECT:

RENOVATIONS TO LAGRANGE POLICE DEPT

100 W HARALSON ST
 LAGRANGE, GEORGIA

TITLE:

LIFE SAFETY PLANS



MODIFIED DATE:	JOB NO: 1911
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GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND FOR NOTING ANY DISCREPANCIES BETWEEN DRAWINGS, PLANS, DETAILS, TRADES, ETC. PRIOR TO THE CONSTRUCTION COMMENCEMENT.
2. THE 2007 VERSION OF THE "GENERAL CONDITIONS" OF THE AMERICAN INSTITUTE OF ARCHITECTS IS A PART OF THESE CONTRACT DOCUMENTS.
3. ALL EXTERIOR DIMENSIONS ARE TAKEN FROM BACK OF CURB UNLESS OTHERWISE NOTED.
4. PATCH AND REPAIR ALL EXISTING FINISHES AFFECTED BY DEMOLITION. NEW WORK PATCH AND REPAIR WORK SHALL MATCH EXISTING FINISHES FOR TEXTURE, COLOR AND MATERIAL.
5. REVISE AND / OR PROVIDE EXIT SIGNAGE AND LIGHTING AS REQUIRED BY ALL CODES.
6. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REQUIRED DIMENSIONS AS THEY RELATE TO THE INTENT OF THE NEW CONSTRUCTION. THIS VERIFICATION WORK MUST BE COMPLETED PRIOR TO THE START OF CONSTRUCTION, AND ANY DISCREPANCIES FOUND BETWEEN THE EXISTING WORK AND THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO WORK COMMENCING.
7. CONTRACTOR SHALL COORDINATE ALL TRADE REQUIREMENTS AND REPORT CONFLICTS IMMEDIATELY IF FOUND. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONAL DATA AND LOCATIONS OF ALL OPENINGS, EQUIPMENT, AND OWNER FURNISHED EQUIPMENT.
8. DISCONNECT ANY ELECTRICAL, GAS, WATER OR OTHER LINES SERVICING THE EQUIPMENT PER RULES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION PRIOR TO BEGINNING WORK.
9. CONTRACTOR SHALL VERIFY WITH OWNER ALL EXISTING EQUIPMENT AND FURNISHINGS TO BE REMOVED, REPLACED, OR RELOCATED. CONTRACTOR SHALL PROVIDE AS REQUIRED, ALL PLUMBING, HVAC, AND ELECTRICAL NECESSARY FOR PROPER INSTALLATION OF NEW OR RELOCATED EQUIPMENT.
10. REPAIR ALL FLOOR FINISHES LEFT VOID OR DAMAGED BY DEMOLITION WORK AND MATCH EXISTING ADJACENT FINISH.
11. REPAIR EXISTING CONSTRUCTION (AS REQUIRED) TO MATCH ADJACENT CONSTRUCTION IN QUANTITY, SIZE, TEXTURE, AND FINISH, WHERE DAMAGED BY DEMOLITION WORK.
12. PROTECT EXISTING BUILDING DURING CONSTRUCTION. CONTRACTOR SHALL TAKE PROPER AND NECESSARY PRECAUTIONS TO PROTECT EXISTING BUILDING FROM TEMPERATURE AND HUMIDITY EXTREMES, DUST AND WATER PENETRATIONS. CONSTRUCT TEMPORARY WEATHER TIGHT ENCLOSURES. REPAIR ALL WATER DAMAGED ITEMS AT NO ADDITIONAL EXPENSE TO OWNER.
13. COORDINATE CONSTRUCTION OPERATIONS WITH OWNER WHERE THEY AFFECT EXISTING WORK AREAS AND NORMAL OPERATING PROCEDURES.
14. PHASE NEW DEMOLITION WORK WITH NEW CONSTRUCTION TO PROVIDE OWNER WITH ADEQUATE FACILITIES FOR TEMPORARY OPERATIONS AT ALL TIMES. COORDINATE WITH OWNER AND ALL TRADES.
15. DEMOLITION OF ANY EXISTING CONSTRUCTION REQUIRED BY ANY TRADE TO PROPERLY COMPLETE THEIR WORK SHALL BE ACCOMPLISHED AS PART OF THEIR WORK AND SHALL BE COVERED BY THE PRIME CONTRACT.
16. WHERE REMOVAL OF ANY ITEM IS CALLED FOR, IT SHALL BECOME THE PROPERTY OF THE BUILDING. THE CONTRACTOR IS TO CONTACT THE OWNER AND DETERMINE IF THE ITEM IS TO BE SALVAGED OR DELIVERED TO A LOCATION IN THE BUILDING AS DIRECTED BY OWNER, OR TO BE DISPOSED OF OFF SITE.
17. WHERE AN ITEM IS CALLED OUT TO BE RELOCATED, THE CONTRACTOR SHALL REMOVE IT UNDAMAGED AND REINSTALL IT IN ITS NEW LOCATION, INCLUDING ANY REQUIRED SUPPORTS, UTILITIES AND REFINISHINGS.
18. WHERE ANY ITEM IS CALLED OUT TO BE SALVAGED, IT SHALL BE DELIVERED TO THE OWNER AT A DESIGNATED PLACE UNLESS IT IS ALSO CALLED OUT TO BE RELOCATED IN WHICH CASE, THE ITEM SHALL BE REMOVED, REFURBISHED AND REINSTALLED IN THE WORK.
19. WHERE EXISTING WALLS ARE TO BE REMOVED, THE ENTIRE ASSEMBLY SHALL BE REMOVED FROM CORNER TO CORNER COMPLETE, INCLUDING DOORS, WINDOWS, AND ALL ELECTRICAL AND MECHANICAL ITEMS INCLUDED IN THE ASSEMBLY.
20. WHERE CEILING ASSEMBLIES ARE CALLED OUT TO BE REMOVED, THE ENTIRE ASSEMBLY SHALL BE REMOVED, INCLUDING ALL HANGERS, FASTENERS, LIGHTS, AND MECHANICAL ITEMS.
21. WHERE WATER AND WASTE LINES ARE TO BE ABANDONED, THEY SHALL BE REMOVED AND CAPPED TO A POINT WHERE THEY WILL NOT BE VISIBLE WHEN NEW CONSTRUCTION IS FINISHED.
22. WHERE ELECTRICAL CIRCUITS ARE TO BE ABANDONED, THE CONDUIT SHALL BE REMOVED TO A POINT BEHIND THE SURFACE OF REMAINING OR NEW CONSTRUCTION AND CAPPED. THE WIRE SHALL BE REMOVED BACK TO THE PANEL AND THE BREAKER REPLACED WITH A SPARE BLANK.
23. ALL SURFACES RECEIVING WORK SHALL BE COMPLETED AND PROPERLY PREPARED TO RECEIVE THE FINISH MATERIAL SCHEDULED OR OTHERWISE CALLED FOR ON THE PLANS.
24. PATCH AND REPAIR CONCRETE FLOOR SURFACES WHERE EXISTING HOLES, SPALLING, AND CRACKS OCCUR IN AREAS OF THE BUILDING WHERE REMODEL WORK IS CALLED FOR AND WHERE DAMAGE FROM DEMOLITION OR NEW CONSTRUCTION OCCURS. ALL TO PROVIDE A FLUSH, SMOOTH AND CLEAN SURFACE.
25. PATCH AND REPAIR ALL SURFACES WHERE EXISTING HOLES, SPALLING, AND CRACKS OCCUR, WHERE DAMAGED OR DETRIORATED WALLS ARE REMOVED AND WHERE DAMAGE FROM DEMOLITION OR NEW CONSTRUCTION OCCURS, IN AREAS OF EXISTING BUILDING WHERE REMODELED WORK IS CALLED FOR. THE PATCHED AND REPAIRED SURFACE SHALL MATCH THE ADJACENT SURFACE IN MATERIAL, LINE AND TEXTURE.
26. PATCH AND REPAIR ALL SURFACES WHERE HOLES OR SLOTS FROM ANCHORING DEVICES OCCURED AFTER FINISH MATERIAL OR OTHER CONSTRUCTION HAS BEEN REMOVED. THE PATCH AND REPAIRED SURFACE SHALL MATCH THE ADJACENT SURFACE IN MATERIAL, LINE AND TEXTURE.
27. FILL OPENING AND PATCH AND REPAIR MATERIAL TO MATCH ADJACENT SURFACES WHERE MATERIALS ARE REMOVED BY ANY TRADE TO PREFORM THEIR WORK.
28. FILL ALL HOLES IN FLOORS, WALLS (INTERIOR AND EXTERIOR) AND CEILING TO MATCH ADJACENT SURFACES IN MATERIALS, LINE AND TEXTURE WHERE MECHANICAL, PLUMBING, OR ELECTRICAL ITEMS ARE REMOVED.
29. PATCH AND REPAIR EXISTING WALLS TO MATCH ADJACENT SURFACES WHERE PORTIONS OF WALL WERE REMOVED FOR INSTALLATION OF NEW DOORS.
30. WHERE EXISTING PLUMBING OR ELECTRICAL LINES ARE TO REMAIN IN SERVICE BUT ARE LOCATED IN CONSTRUCTION TO BE REMOVED, SUCH LINES SHALL BE RELOCATED OR REDIRECTED AS NECESSARY TO REMAIN IN SERVICE.

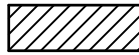
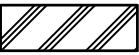


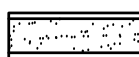



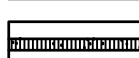

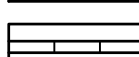
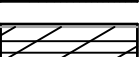
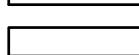
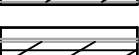

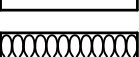
Current Mandatory Codes as Adopted by DCA:

- International Building Code**
2012 Edition, with Georgia Amendments (2014) (2015) (2017)(2018)
- International Residential Code**
2012 Edition, with Georgia Amendments (2014) (2015)(2018)
- International Fire Code**
2012 Edition, with Georgia Amendments (2014)
- International Plumbing Code**
2012 Edition, with Georgia Amendments (2014) (2015)
- International Mechanical Code**
2012 Edition, with Georgia Amendments (2014) (2015)
- International Fuel Gas Code**
2012 Edition, with Georgia Amendments (2014) (2015)
- National Electrical Code**
2017 Edition (No Georgia Amendments)
- International Energy Conservation Code**
2009 Edition, with Georgia Supplements and Amendments (2011) (2012)
- International Swimming Pool and Spa Code**
2012 Edition, with Georgia Amendments (2014)

For information and questions regarding the Life Safety Code (NFPA 101) or the Georgia Accessibility Code please contact the State Fire Marshal's Office.

LEGEND OF CONSTRUCTION MATERIALS

PLAN / SECTION

	face brick		aluminum
	hollow concrete masonry		rough lumber
	gypsum wallboard		large scale finish lumber
	ceramic/quarry tile		small scale finish lumber
	acoustical tile		large scale plywood
	resilient flooring		small scale plywood
	carpet		batt/blanket insulation
	steel/iron		laminated plastic

CODE SUMMARY AND PROJECT DATA

PROJECT NAME	ENHANCEMENTS TO LAGRANGE POLICE DEPARTMENT
PROJECT DESCRIPTION	RENOVATIONS AND ADDITIONS
OWNER	CITY OF LAGRANGE
CONTACT	
PROPOSED USE	BUSINESS
ARCHITECT OF RECORD	SMITH DESIGN GROUP, INC.
OCCUPANCY	BUSINESS
OCCUPANT LOAD	N/A
HAZARD	ORDINARY
MIXED OCCUPANCY	NO
CONSTRUCTION TYPE	TYPE TWO (II)B
SPRINKLERED	NO
STANDPIPE	NO
FIRE DISTRICT	NO
NUMBER OF STORYS	THREE (3)
HEIGHT ALLOWED	N/A
BUILDING HEIGHT	29'-0"
MEZZANINE	NO
HIGH RISE	NO
GROSS BUILDING AREA ALLOWED	
TOAL GROSS AREA HEATED	N/A
AREA SEPARATION PROVIDED	N/A
VERTICAL SHAFTS	N/A
EMERGENCY LIGHTING AND EXIT SIGNS	YES
FIRE ALARM AND SMOKE DETECTOR SYSTEM	NO
PANIC HARDWARE	NO
COMMON PATH OF TRAVEL ALLOWED	20' MAX
DEAD END LIMIT	20' MAX.
TRAVEL DISTANCE TO EXIT ALLOWED	200' WHEN SPRINKLED
NUMBER OF EXITS REQUIRED	NOT LESS THAN THREE (3)
PARKING SPACES REQUIRED	EXISTING



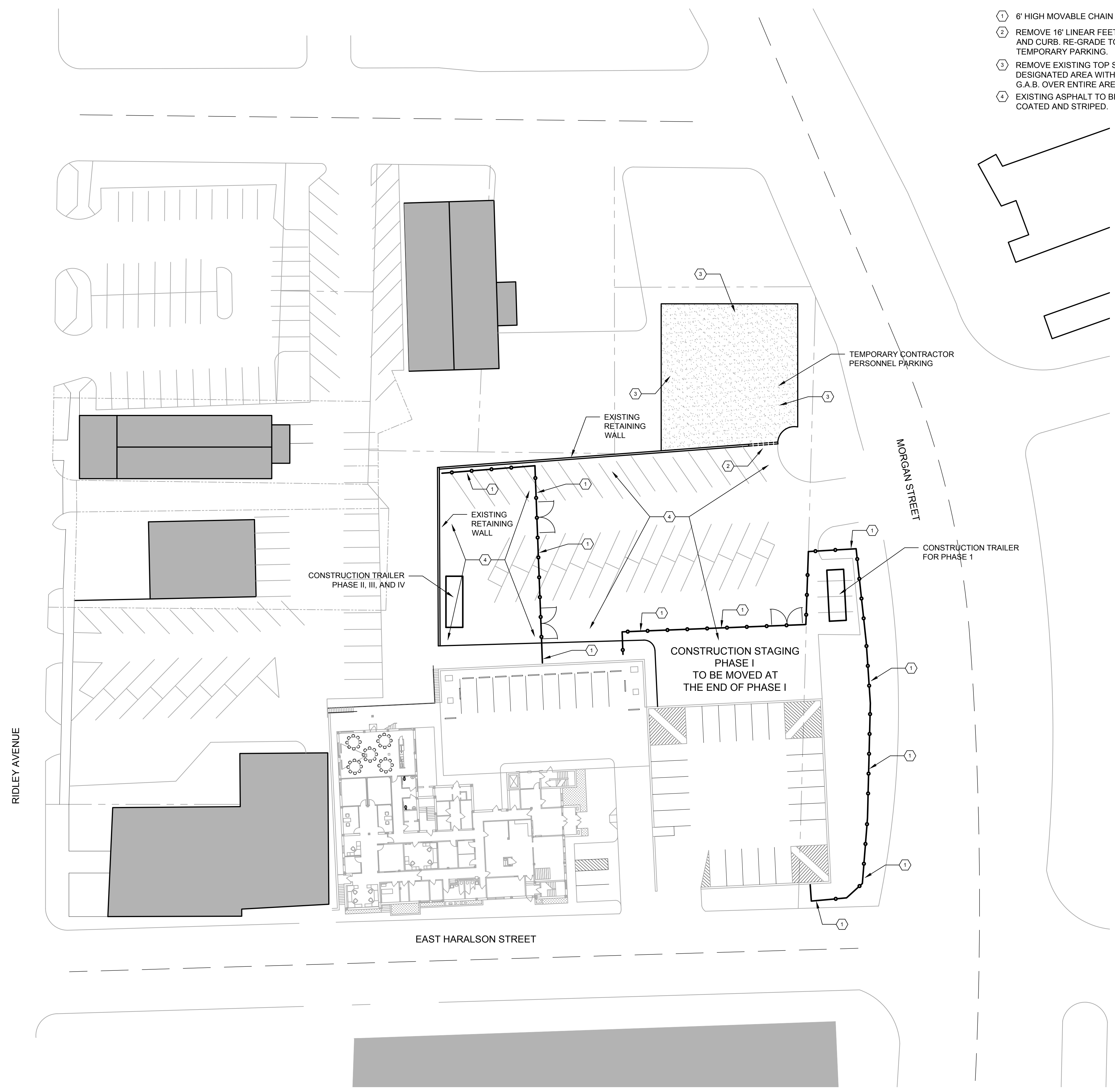
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REVISIONS	
DATE	DESCRIPTION

PROJECT:
RENOVATIONS TO LAGRANGE POLICE DEPT
100 W HARALSON ST
LAGRANGE, GEORGIA

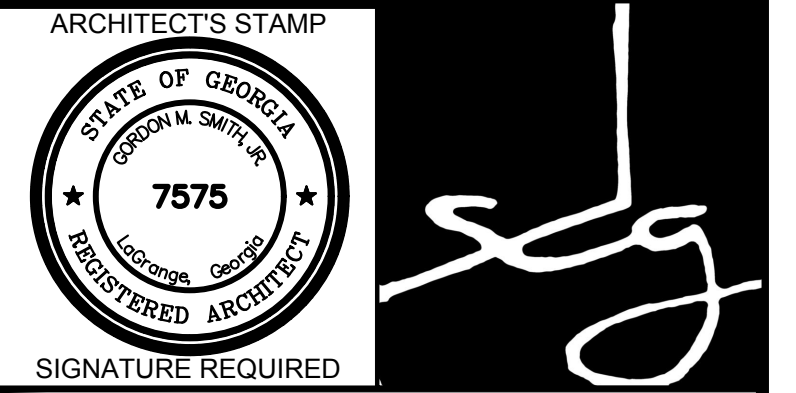
TITLE:
GENERAL NOTES

MODIFIED DATE:	JOB NO: 1911
ISSUED DATE: FOR BID AND PERMIT 12 AUG 2019	SHEET: GM-7



KEYNOTES

- ① 6' HIGH MOVABLE CHAIN LINK FENCE WITH WIND SCREEN
- ② REMOVE 16' LINEAR FEET OF EXISTING 3'-0" HIGH RETAINING WALL AND CURB. RE-GRADE TO CREATE TEMPORARY DRIVEWAY TO TEMPORARY PARKING.
- ③ REMOVE EXISTING TOP SOIL AND STOCKPILE. PROOF ROLL DESIGNATED AREA WITH LOADED DUMPTRUCK. INSTALL 6" DEEP G.A.B. OVER ENTIRE AREA OF TEMPORARY PARKING.
- ④ EXISTING ASPHALT TO BE CLEANED AT END OF PROJECT AND SEAL COATED AND STRIPED.



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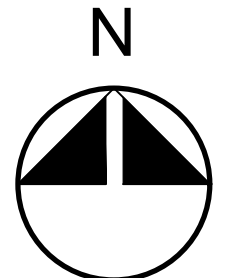
REVISIONS	
DATE	DESCRIPTION

PROJECT:
RENOVATIONS TO LAGRANGE POLICE DEPT
 100 W HARALSON ST
 LAGRANGE, GEORGIA

TITLE:
**SITE PLAN
 CONSTRUCTION STAGING**

MODIFIED DATE:	JOB NO: 1911
ISSUED DATE: FOR BID AND PERMIT 12 AUG 2019	SHEET: GM-8

NOTE:
 THESE DRAWINGS ARE FOR REPRESENTATION ONLY.
 ACTUAL DESIGN WILL VARY.



1
GM-8
SITE PLAN - CONSTRUCTION STAGING
 SCALE: 1" = 30'-0"



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ADDITIVE ALTERNATIVES

BASE BID - ALL WORK IN PHASE ONE

ADDITIVE ALTERNATIVE NO.1
 IN SPACES 128 AND 129 INSTALL NEW PORCELAIN TILE FLOORS AND NEW PORCELAIN TILE (FULL HEIGHTS) ON ALL WALLS, PROVIDE NEW PLUMBING FIXTURES, NEW CEILING, NEW LIGHTS AND NEW VANITY PER DETAIL 4/A7-1.

ADDITIVE ALTERNATIVE NO.2- ALL WORK IN PHASE II (2)

ADDITIVE ALTERNATIVE NO.3- ALL WORK IN PHASE III (3)

ADDITIVE ALTERNATIVE NO.4- ALL WORK IN PHASE IV (4)

ADDITIVE ALTERNATIVE NO.5
 TO REMOVE ALL EXISTING DATA CABLING ON THE 100 LEVEL, IN ITS ENTIRETY FROM THE SITE. INSTALL NEW CAT 7 CABLING FROM ALL NEW AND EXISTING DATA DROPS, HOMERUN EACH DROP TO SPACE 108. MAKE TERMINATIONS AT WALL LOCATIONS, LEAVE SIX (6) FEET OF SLACK IN SPACE 108 FOR OWNER TO TERMINATE. COORDINATE TO TEST AND LABEL ALL DROPS.

ADDITIVE ALTERNATIVE NO.6
 TO REMOVE ALL EXISTING DATA CABLING ON THE 200 LEVEL, IN ITS ENTIRETY FROM THE SITE. INSTALL NEW CAT 7 CABLING FROM ALL NEW AND EXISTING DATA DROPS, HOMERUN EACH DROP TO SPACE 225. MAKE TERMINATIONS AT WALL LOCATIONS, LEAVE SIX (6) FEET OF SLACK IN SPACE 225 FOR OWNER TO TERMINATE. COORDINATE TO TEST AND LABEL ALL DROPS.

ADDITIVE ALTERNATIVE NO.7
 TO REMOVE ALL EXISTING DATA CABLING ON THE 300 LEVEL, IN ITS ENTIRETY FROM THE SITE. INSTALL NEW CAT 7 CABLING FROM ALL NEW AND EXISTING DATA DROPS, HOMERUN EACH DROP TO SPACE 338. MAKE TERMINATIONS AT WALL LOCATIONS, LEAVE SIX (6) FEET OF SLACK IN SPACE 338 FOR OWNER TO TERMINATE. COORDINATE TO TEST AND LABEL ALL DROPS.

**PHASE III (3)
 (PART OF ADD. ALT. NO.3)**

**PHASE I (1)
 (BASE BID)**

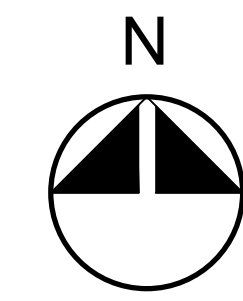
100 LEVEL NORTH

**200 LEVEL
 FLOOR ABOVE**

100 LEVEL EAST

EAST HARALSON STREET

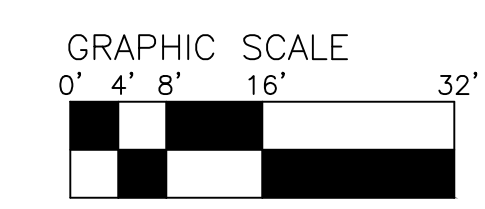
MORGAN STREET



1
GM-9

100 LEVEL - PHASING

Scale: 1/16" = 1'-0"



Phasing and Liquidated Damages

Phase 1
 To be Substantial Complete within 190 Consecutive Calendar Days, after commencement of work, on Phase 1. Liquidated Damages in the sum of \$100 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

Phase 2
 To begin 14 Days after Substantial Completion of Phase 1, and To be Substantial Complete within 140 Consecutive Calendar Days, after commencement of work, on Phase 2. Liquidated Damages in the sum of \$200 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

Phase 3
 To begin 14 Days after Substantial Completion of Phase 2, and To be Substantial Complete within 120 Consecutive Calendar Days, after commencement of work, on Phase 3. Liquidated Damages in the sum of \$200 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

Phase 4
 To begin 14 Days after Substantial Completion of Phase 3, and To be Substantial Complete within 120 Consecutive Calendar Days, after commencement of work, on Phase 4. Liquidated Damages in the sum of \$200 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

REVISIONS

DATE	DESCRIPTION

PROJECT:

**RENOVATIONS TO
 LAGRANGE POLICE DEPT**
 100 W HARALSON ST
 LAGRANGE, GEORGIA

TITLE:

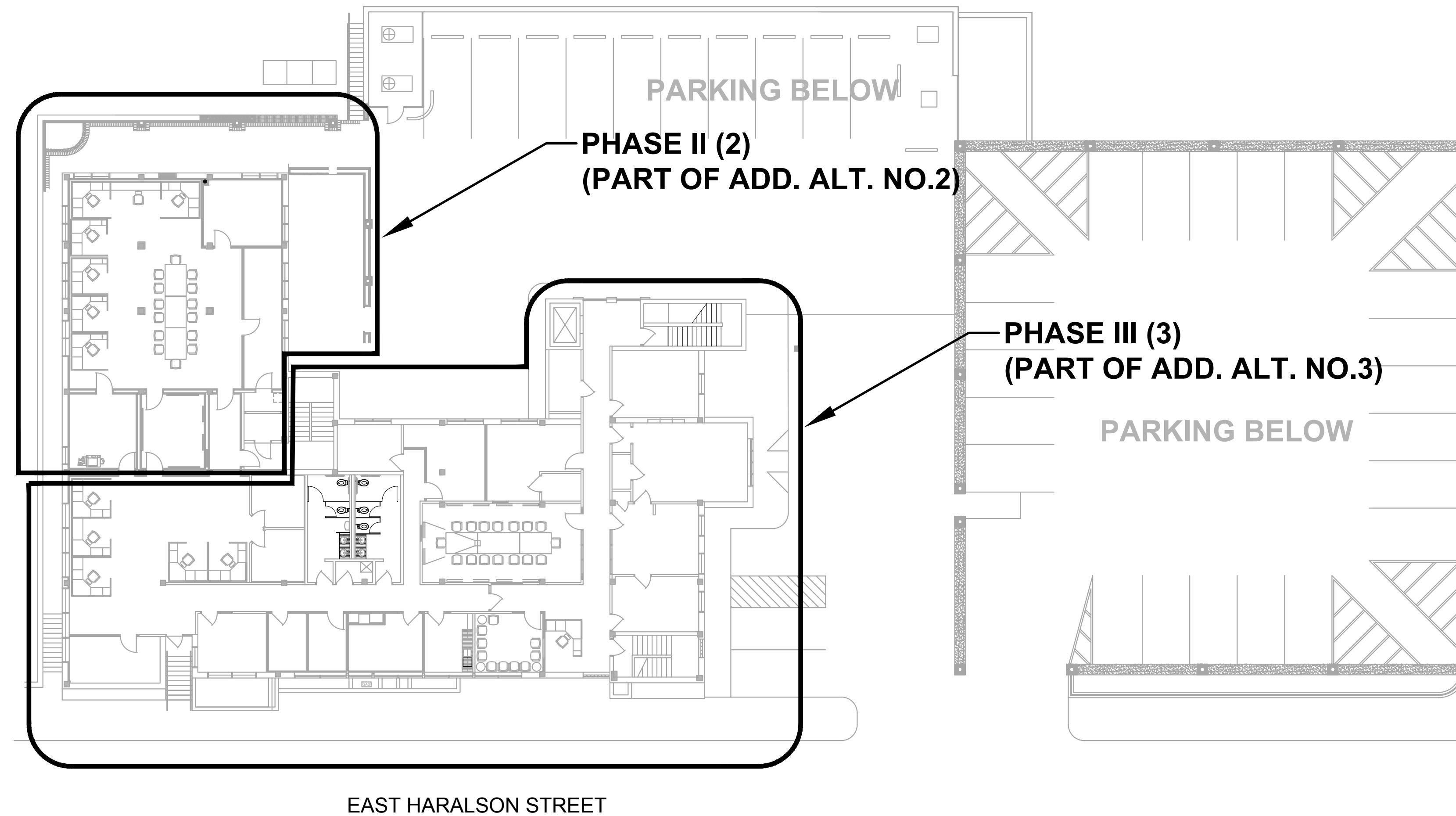
PHASING

MODIFIED DATE: JOB NO:

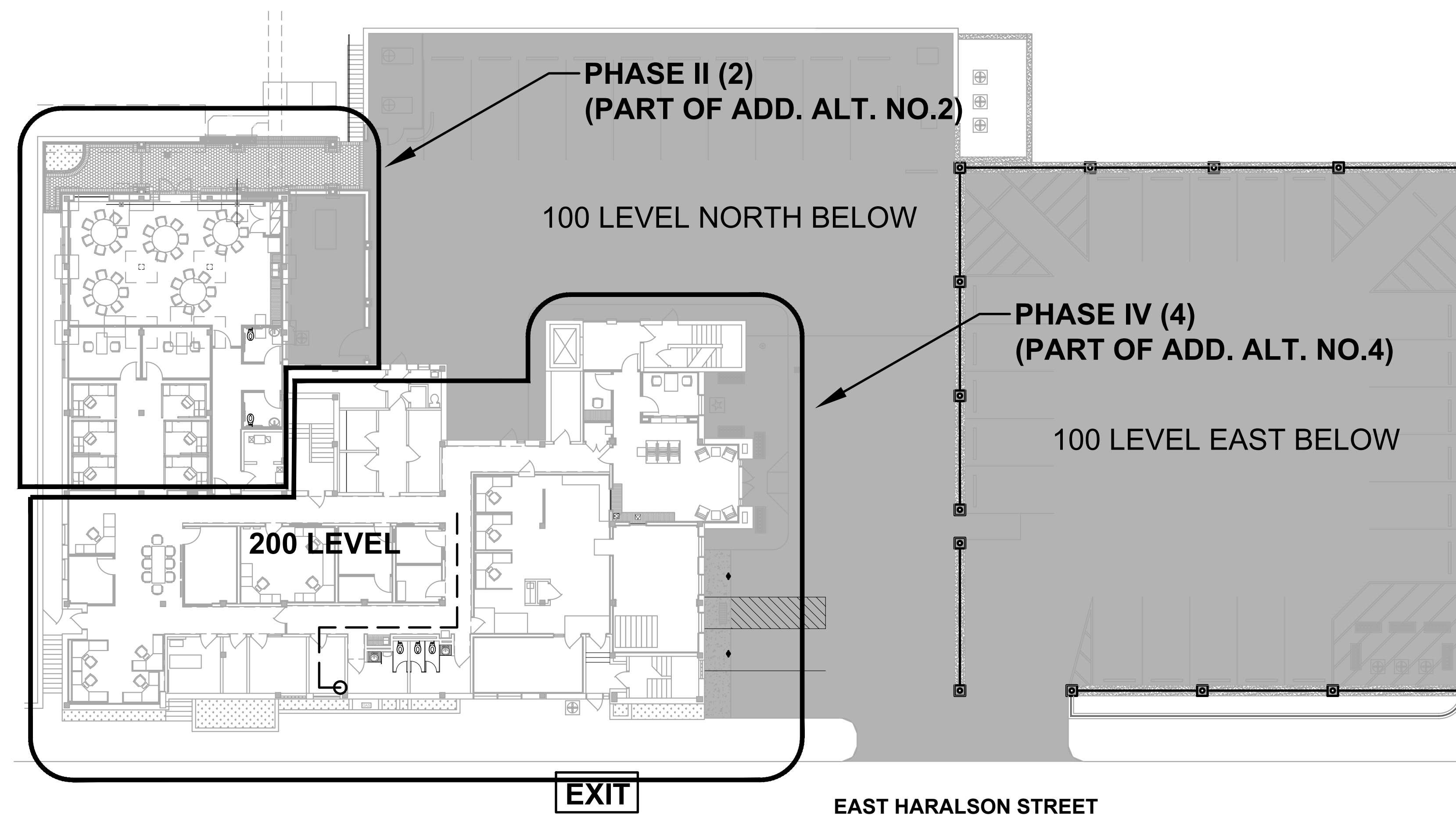
1911

ISSUED DATE: SHEET:

FOR BID AND PERMIT **GM-9**
 12 AUG 2019



1 300 LEVEL - PHASING
GM-10 Scale: 1/16" = 1'-0"



2 200 LEVEL - PHASING
GM-10 Scale: 1/16" = 1'-0"

ADDITIVE ALTERNATIVES

BASE BID - ALL WORK IN PHASE ONE

ADDITIVE ALTERNATIVE NO.1
IN SPACES 128 AND 129 INSTALL NEW PORCELAIN TILE FLOORS AND NEW PORCELAIN TILE (FULL HEIGHTS) ON ALL WALLS, PROVIDE NEW PLUMBING FIXTURES, NEW CEILING, NEW LIGHTS AND NEW VANITY PER DETAIL 4/A7-1.

ADDITIVE ALTERNATIVE NO.2- ALL WORK IN PHASE II (2)

ADDITIVE ALTERNATIVE NO.3- ALL WORK IN PHASE III (3)

ADDITIVE ALTERNATIVE NO.4- ALL WORK IN PHASE IV (4)

ADDITIVE ALTERNATIVE NO.5
TO REMOVE ALL EXISTING DATA CABLING ON THE 100 LEVEL, IN ITS ENTIRETY FROM THE SITE. INSTALL NEW CAT 7 CABLING FROM ALL NEW AND EXISTING DATA DROPS, HOMERUN EACH DROP TO SPACE 108. MAKE TERMINATIONS AT WALL LOCATIONS. LEAVE SIX (6) FEET OF SLACK IN SPACE 108 FOR OWNER TO TERMINATE. COORDINATE TO TEST AND LABEL ALL DROPS.

ADDITIVE ALTERNATIVE NO.6
TO REMOVE ALL EXISTING DATA CABLING ON THE 200 LEVEL, IN ITS ENTIRETY FROM THE SITE. INSTALL NEW CAT 7 CABLING FROM ALL NEW AND EXISTING DATA DROPS, HOMERUN EACH DROP TO SPACE 225. MAKE TERMINATIONS AT WALL LOCATIONS. LEAVE SIX (6) FEET OF SLACK IN SPACE 225 FOR OWNER TO TERMINATE. COORDINATE TO TEST AND LABEL ALL DROPS.

ADDITIVE ALTERNATIVE NO.7
TO REMOVE ALL EXISTING DATA CABLING ON THE 300 LEVEL, IN ITS ENTIRETY FROM THE SITE. INSTALL NEW CAT 7 CABLING FROM ALL NEW AND EXISTING DATA DROPS, HOMERUN EACH DROP TO SPACE 338. MAKE TERMINATIONS AT WALL LOCATIONS. LEAVE SIX (6) FEET OF SLACK IN SPACE 338 FOR OWNER TO TERMINATE. COORDINATE TO TEST AND LABEL ALL DROPS.

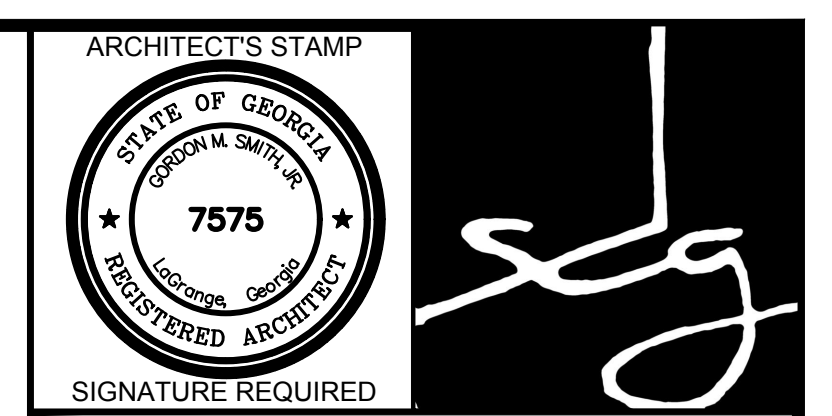
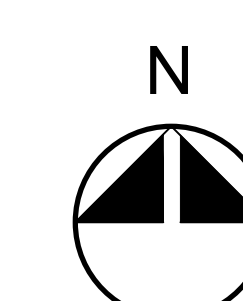
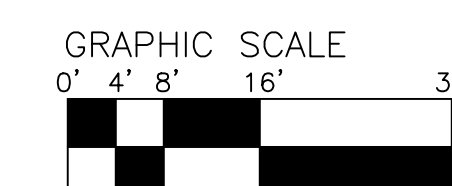
Phasing and Liquidated Damages

Phase 1
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To begin 14 Days after Substantial Completion of Phase 2, and To be Substantial Complete within 120 Consecutive Calendar Days, after commencement of work, on Phase 3. Liquidated Damages in the sum of \$200 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

Phase 4
To begin 14 Days after Substantial Completion of Phase 3, and To be Substantial Complete within 120 Consecutive Calendar Days, after commencement of work, on Phase 4. Liquidated Damages in the sum of \$200 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.



SMITH DESIGN GROUP, INC.
206 WEST HARALSON STREET
LAGRANGE, GEORGIA 30240
706-882-5511 www.SDGarch.net

REVISIONS	
DATE	DESCRIPTION

PROJECT:
RENOVATIONS TO LAGRANGE POLICE DEPT
100 W HARALSON ST
LAGRANGE, GEORGIA

TITLE:
PHASING

MODIFIED DATE:	JOB NO: 1911
ISSUED DATE: FOR BID AND PERMIT 12 AUG 2019	SHEET: GM-10



SIGNATURE REQUIRED

SMITH DESIGN GROUP, INC.

206 WEST HARALSON STREET
LAGRANGE, GEORGIA 30240

706-882-5511
www.SDGarch.net

GEORGE
ENGINEERING
ASSOCIATES, LLC

405 Millard Farmer Road, Newnan, GA 30263
phone: 770-252-4669 e-mail: msg@gea-llc.com



SPLIT SYSTEM HEAT PUMP UNITS

SYMBOL	INDOOR UNIT										OUTDOOR UNIT					REMARKS		
	AIR FLOW DATA				COOLING DATA			HEATING DATA			MODEL	SYMBOL	AMBIENT AIR TEMP (COOLING)	AMBIENT AIR TEMP (HEATING)	SEER		HSPF	MODEL
	SUPPLY CFM	O.A. CFM MAX/MIN	E.S.P. IN. W.G.	MAX. HP	TOTAL MBH	SENSIBLE MBH	EAT °F DB WB	REFRIG. HEAT AT 47°F AMBIENT BTUH	ELECTRIC HEAT KW									
FCU-1	900	140	0.60	1/2	28.3	20.6	80 67	29,000	8.0	CARRIER FX4DNF031	HP-1	95°F	47°F	15.3	8.7	CARRIER 25HCC530	(1)	
FCU-2	1080	160	0.60	1/2	34.4	25.6	80 67	34,600	8.0	CARRIER FX4DNF037	HP-2	95°F	47°F	15.0	8.7	CARRIER 25HCC536	(1)	
FCU-3	530	80	0.60	1/3	17.4	12.7	80 67	17,800	5.0	CARRIER FX4DNF019	HP-3	95°F	47°F	15.3	8.6	CARRIER 25HCC518	(1)	
FCU-4	720	100	0.60	1/3	23.4	16.9	80 67	23,700	5.0	CARRIER FX4DNF025	HP-4	95°F	47°F	15.3	8.7	CARRIER 25HCC524	(1)	
FCU-5	1400	200	0.60	3/4	46.7	34.0	80 67	45,900	8.0	CARRIER FX4DNF049	HP-5	95°F	47°F	15.0	8.7	CARRIER 25HCC548	(1)	
FCU-6	1230	200	0.60	1/2	41.3	29.5	80 67	41,500	8.0	CARRIER FX4DNF043	HP-6	95°F	47°F	15.0	8.7	CARRIER 25HCC542	(1)	
FCU-7	590	80	0.60	1/3	17.4	12.7	80 67	17,800	5.0	CARRIER FX4DNF019	HP-7	95°F	47°F	15.3	8.6	CARRIER 25HCC518	(1)	
FCU-8	1100	160	0.60	1/2	34.4	25.6	80 67	34,600	8.0	CARRIER FX4DNF037	HP-8	95°F	47°F	15.0	8.7	CARRIER 25HCC536	(1)	
FCU-9	1200	230	0.60	1/2	41.3	29.5	80 67	41,500	8.0	CARRIER FX4DNF043	HP-9	95°F	47°F	15.0	8.7	CARRIER 25HCC542	(1)	
FCU-10	1800	250	0.60	3/4	57.0	42.0	80 67	57,000	10.0	CARRIER FX4DNF061	HP-10	95°F	47°F	15.0	8.5	CARRIER 25HCC560	(1)	
FCU-11	1080	160	0.60	1/2	34.4	25.6	80 67	34,600	8.0	CARRIER FX4DNF037	HP-11	95°F	47°F	15.0	8.7	CARRIER 25HCC536	(1)	
FCU-12	350	-	-	1/10	11.1	8.2	80 67	13,600	-	MITSUBISHI SLZ-KA12NA	HP-12	95°F	47°F	15.4	9.6	MITSUBISHI SUZ-KA-12NA	(1)	
FCU-13A	1800	-	-	3/4	9.0	6.3	80 67	11,000	-	MITSUBISHI MSZ-GE09NA	HP-13	95°F	47°F	18.0	8.9	MITSUBISHI MSZ-2B20A-1	(1)	
FCU-13B	1800	-	-	3/4	9.0	6.3	80 67	11,000	-	MITSUBISHI MSZ-GE09NA	HP-13	95°F	47°F	18.0	8.9	MITSUBISHI MSZ-2B20A-1	(1)	

(1) PROVIDE COMMERCIAL, SEVEN-DAY PROGRAMMABLE WALL THERMOSTAT WITH FAN ON/AUTO CONTROL. SET FAN TO RUN CONTINUOUS DURING OCCUPIED HOURS.

FOUR PIPE FAN COIL UNITS

SYMBOL	AIR FLOW DATA				COOLING DATA					HEATING DATA					MODEL	REMARKS	
	S.A. CFM	O.A. CFM	E.S.P. IN. W.G.	FAN HP	TOTAL MBH	SENSIBLE MBH	EAT °F DB WB	CHILLED WATER		TOTAL MBH	EAT °F	HOT WATER					
								GPM	EWT °F	MAX. ΔP		GPM	EWT °F	MAX. ΔP			
CHFC-1	620	-	0.40	1/6	18.4	13.4	80 67	4.6	45	10'	12.4	70	1.6	180	10'	CARRIER 42CEA08	
CHFC-13	420	-	0.50	1/6	11.4	9.2	80 67	2.9	45	10'	6.0	70	0.8	180	10'	CARRIER 42CEA06	
CHFC-19	810	-	0.40	1/6	21.9	17.5	80 67	5.4	45	10'	6.0	70	0.8	180	10'	CARRIER 42CEA10	

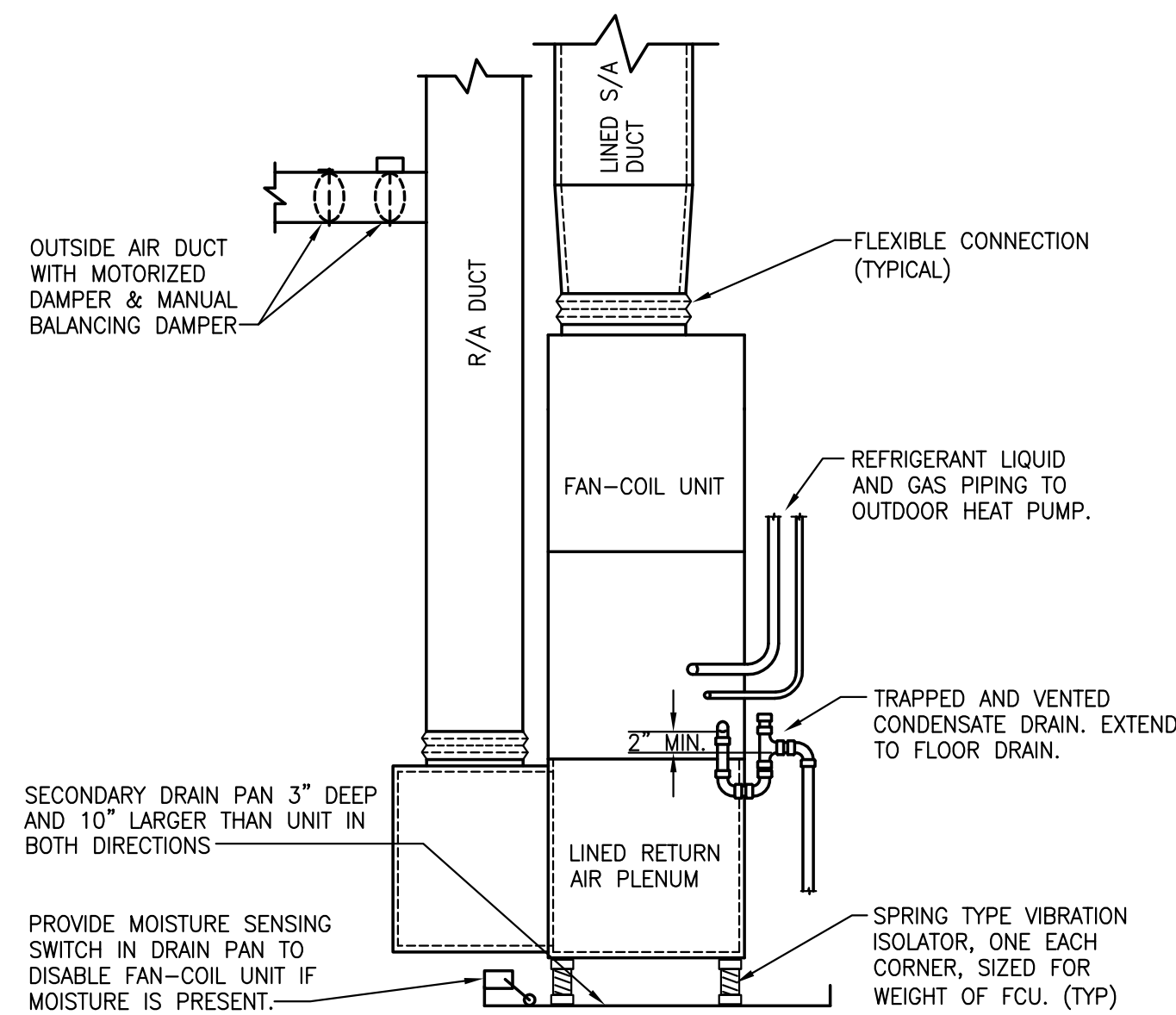
FANS

MARK	SERVICE	TYPE	CFM	ESP IN. W.G.	MAX. RPM	MAX. H.P.	DRIVE	MAX. SONES	CONTROLLED BY	MODEL	ACCESSORIES
F-1	EVIDENCE EXH	IN-LINE	740	0.50	900	1/3	DIRECT	4.0	WALL SWITCH	COOK GN-B22	(1)
F-2	OFFICE VENT	CENT. CLG.	50	0.25	750	1/10	DIRECT	1.0	WALL SWITCH	COOK GC-128	(2)
F-3	TOILET EXH	CENT. CLG.	80	0.35	900	1/10	DIRECT	1.5	LIGHT SWITCH	COOK GC-146	(2)
F-4	TOILET EXH	CENT. CLG.	80	0.35	900	1/10	DIRECT	1.5	LIGHT SWITCH	COOK GC-146	(2)
F-5	TOILET EXH	CENT. CLG.	80	0.35	900	1/10	DIRECT	1.5	LIGHT SWITCH	COOK GC-146	(2)

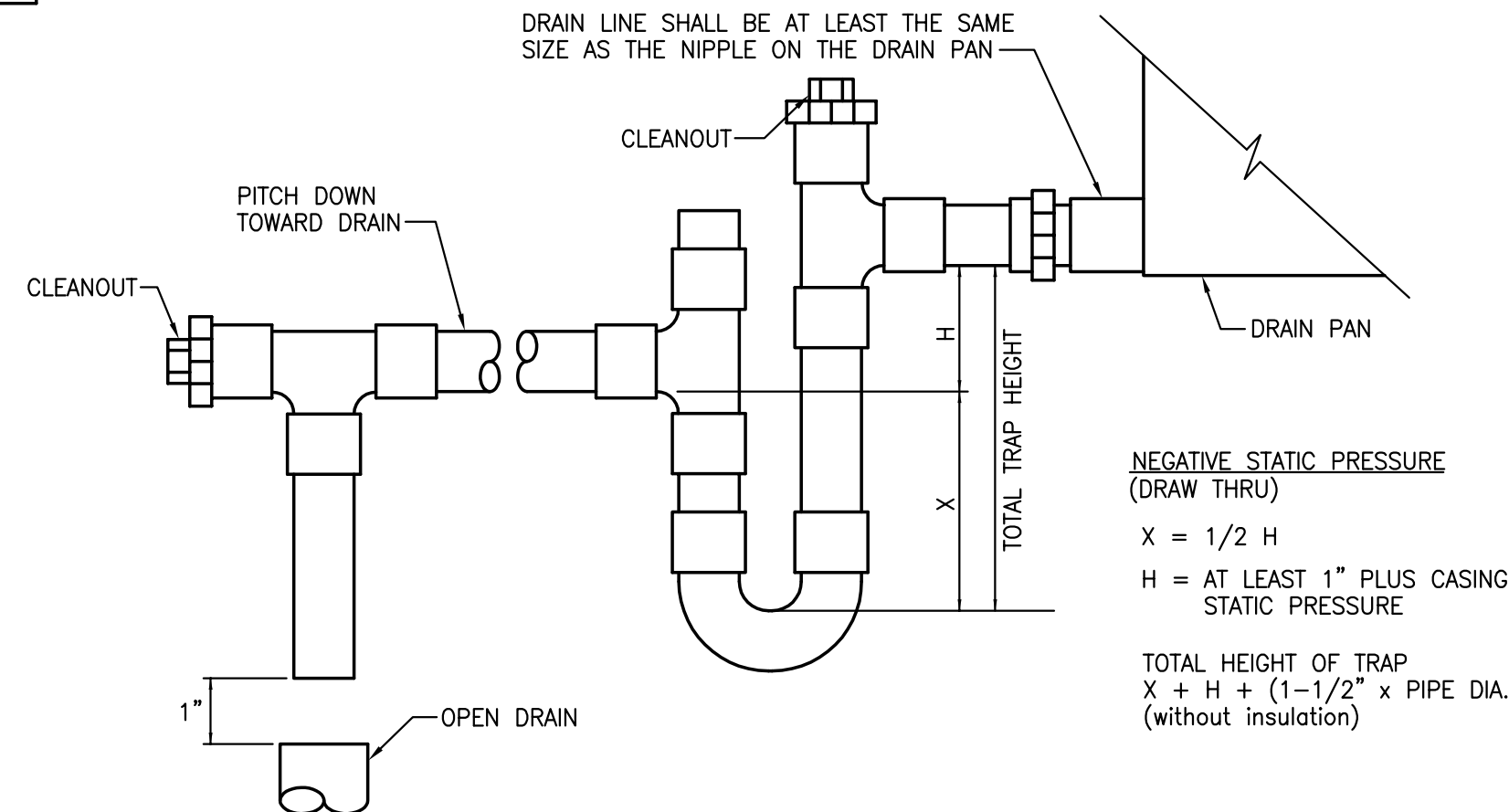
(1) PROVIDE FAN WITH INLET & OUTLET DUCT FLANGES, DISCONNECT, GRAVITY SHUTTER AND SPEED CONTROL SWITCH FOR BALANCING.
(2) PROVIDE FAN WITH INLET GRILLE, OUTLET DUCT FLANGE, DISCONNECT, GRAVITY SHUTTER AND SPEED CONTROL SWITCH FOR BALANCING.

AIR DISTRIBUTION DEVICES

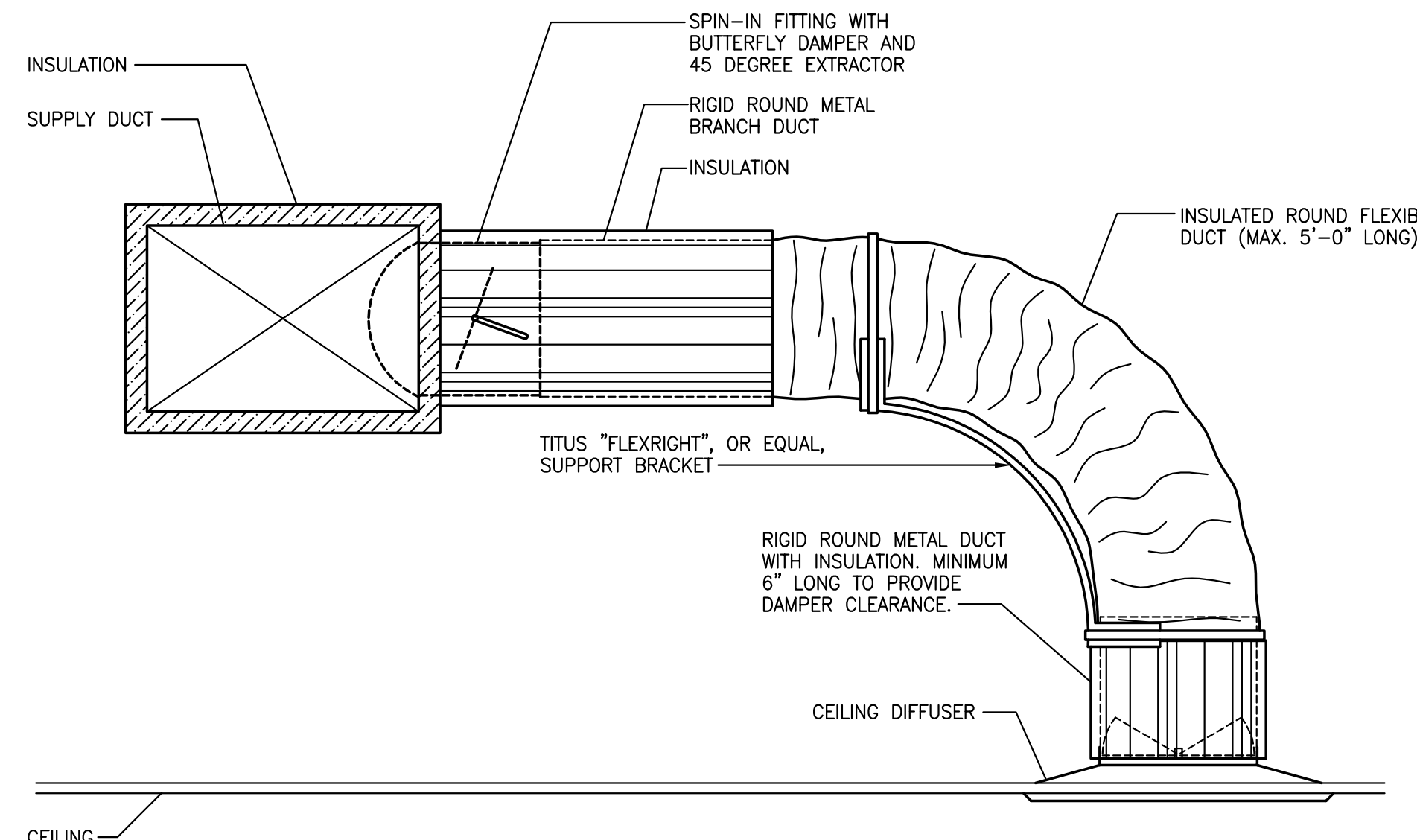
MARK	TYPE	NECK SIZE	OBD	FINISH	MODEL	REMARKS
A	LAY-IN CEILING DIFFUSER	6"ø	YES	OFF-WHITE	PRICE SPD-31, 24X24 LAY-IN, VCR7 DAMPER	
B	LAY-IN CEILING DIFFUSER	8"ø	YES	OFF-WHITE	PRICE SPD-31, 24X24 LAY-IN, VCR7 DAMPER	
C	LAY-IN CEILING DIFFUSER	10"ø	YES	OFF-WHITE	PRICE SPD-31, 24X24 LAY-IN, VCR7 DAMPER	
D	SIDEWALL SUPPLY REGISTER	8X4	YES	OFF-WHITE	PRICE 520D-F-S-A	
E	SIDEWALL SUPPLY REGISTER	10X4	YES	OFF-WHITE	PRICE 520D-F-S-A	
F	SIDEWALL SUPPLY REGISTER	16X4	YES	OFF-WHITE	PRICE 520D-F-S-A	
G	SIDEWALL SUPPLY REGISTER	16X5	YES	OFF-WHITE	PRICE 520D-F-S-A	
H	SIDEWALL SUPPLY REGISTER	16X6	YES	OFF-WHITE	PRICE 520D-F-S-A	
J	SIDEWALL SUPPLY REGISTER	24X6	YES	OFF-WHITE	PRICE 520D-F-S-A	
K	LAY-IN RETURN AIR GRILLE	8"ø	NO	OFF-WHITE	PRICE PDDR-3, 24X24 LAY-IN	
L	LAY-IN RETURN AIR GRILLE	10"ø	NO	OFF-WHITE	PRICE PDDR-3, 24X24 LAY-IN	
M	LAY-IN RETURN AIR GRILLE	12"ø	NO	OFF-WHITE	PRICE PDDR-3, 24X24 LAY-IN	
N	LAY-IN RETURN AIR GRILLE	24X12	NO	OFF-WHITE	PRICE PDDR-3, 24X24 LAY-IN	NON-DUCTED
P	LAY-IN RETURN AIR GRILLE	24X24	NO	OFF-WHITE	PRICE PDDR-3, 24X24 LAY-IN	NON-DUCTED
Q	SIDEWALL RETURN AIR GRILLE	16X12	NO	OFF-WHITE	PRICE 530-F-L-A	
R	SIDEWALL RETURN AIR GRILLE	20X20	NO	OFF-WHITE	PRICE 530-F-L-A	
S	SIDEWALL RETURN AIR GRILLE	30X16	NO	OFF-WHITE	PRICE 530-F-L-A	
T	SIDEWALL RETURN AIR GRILLE	36X18	NO	OFF-WHITE	PRICE 530-F-L-A	
U	SIDEWALL EXHAUST REGISTER	10X6	YES	OFF-WHITE	PRICE 530D-F-L-A	
V	SIDEWALL EXHAUST REGISTER	18X6	YES	OFF-WHITE	PRICE 530D-F-L-A	
W	CEILING EXHAUST REGISTER	10X10	YES	OFF-WHITE	PRICE 80DAL-F-A	
X	LAY-IN EXHAUST REGISTER	8"ø	YES	OFF-WHITE	PRICE 80DAL-TB, 24X24 LAY-IN	
Y	LAY-IN RETURN AIR GRILLE	16"ø	NO	OFF-WHITE	PRICE PDDR-3, 24X24 LAY-IN	
Z	SIDEWALL SUPPLY REGISTER	12X4	YES	OFF-WHITE	PRICE LBP15B-1000-DV-VCS3-A	
AA	SIDEWALL RETURN AIR GRILLE	16X4	NO	OFF-WHITE	PRICE 530-F-L-A	
BB	SIDEWALL SUPPLY REGISTER	20X4	YES	OFF-WHITE	PRICE 520D-F-S-A	
CC	CEILING RETURN AIR GRILLE	20X20	NO	OFF-WHITE	PRICE 80-F-A	
DD	LAY-IN RETURN AIR GRILLE	14"ø	NO	OFF-WHITE	PRICE PDDR-3, 24X24 LAY-IN	



3 DETAIL - FAN-COIL UNIT
MO.2 NOT TO SCALE



2 CONDENSATE DRAIN TRAP DETAIL
MO.2 NOT TO SCALE



1 CEILING DIFFUSER RUNOUT DETAIL
MO.2 NOT TO SCALE

HVAC LEGEND

	SLOT DIFFUSER
	SUPPLY DIFFUSER
	RETURN OR EXHAUST GRILLE
	DUCT DIMENSION: A - HORIZONTAL B - VERTICAL
	DUCT RISE
	DUCT DROP
	DUCT WITH ACOUSTICAL LINER
	DUCT TURN DOWN
	DUCT TURN UP
	FLEXIBLE DUCT CONNECTION
	FLEXIBLE DUCTWORK
	SPIN-IN FITTING
	FIRE DAMPER
	CONDENSATE DRAIN LINE
	90° ELBOW WITH TURNING VANES
	OPPOSED BLADE DAMPER (PLAN)
	OPPOSED BLADE DAMPER (SECTION)
	FABRIC DUCT/DIFFUSER
	SMOKE DETECTOR
	NIGHT SETBACK THERMOSTAT
	COMBINATION STARTER/DISCONNECT
	THERMOSTAT
	FAN SWITCH
	EQUIPMENT DESIGNATION: X - EQUIPMENT Y - EQUIPMENT NUMBER
	AIR DISTRIBUTION DEVICE: X - LETTER DEVICE CFM - AIR QUANTITY IN FT ³ /MIN.

REVISIONS

DATE	DESCRIPTION

PROJECT:

RENOVATIONS TO
LAGRANGE POLICE DEPT

100 W HARALSON ST
LAGRANGE, GEORGIA

TITLE:

HVAC DETAILS
AND SCHEDULES

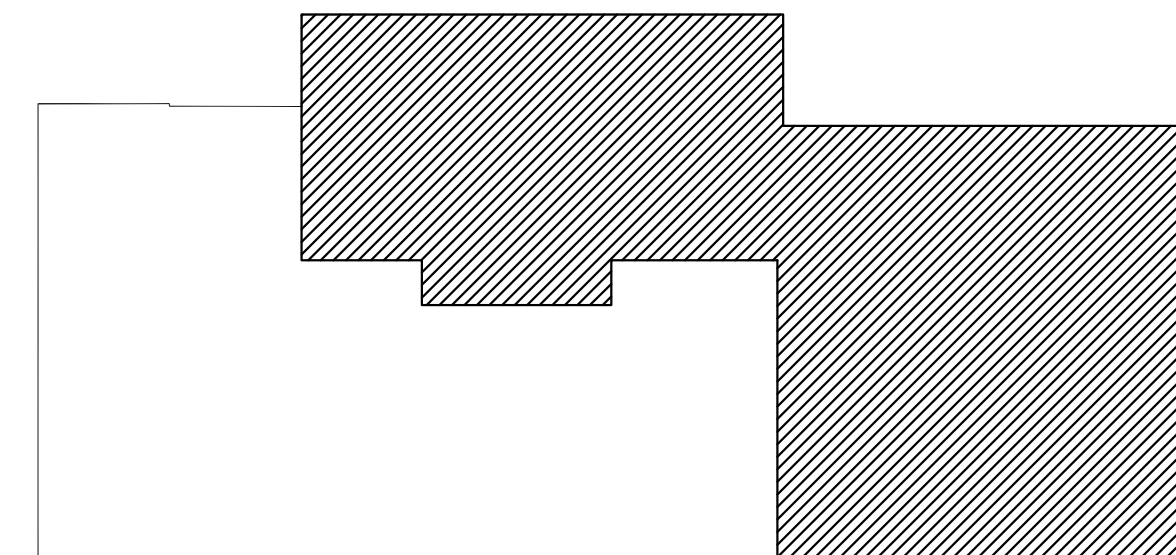
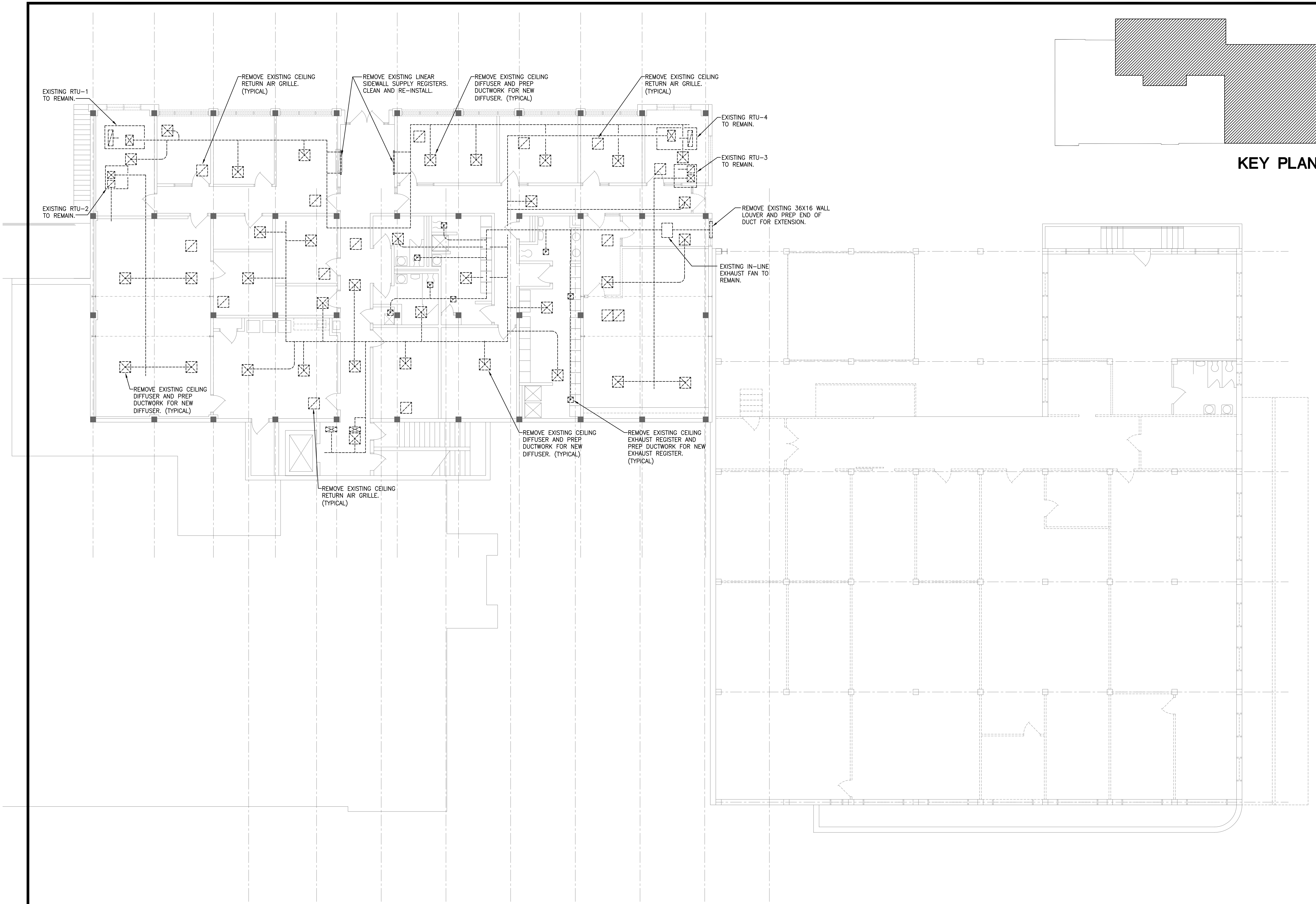
MODIFIED DATE: JOB NO:

1911

ISSUED DATE: SHEET:

12 AUG 2019

MO.2



KEY PLAN

1
M1.1 **LEVEL 100 FLOOR PLAN - HVAC DEMOLITION**
SCALE: 1/8" = 1'-0"

ARCHITECT'S STAMP
SIGNATURE REQUIRED



SMITH DESIGN GROUP, INC.
206 WEST HARALSON STREET
LAGRANGE, GEORGIA 30240
706-882-5511
www.SDGarch.net

GEORGE ENGINEERING ASSOCIATES, LLC
405 Millard Farmer Road, Newnan, GA 30263
phone: 770-252-4669 e-mail: msg@gea-llc.com



REVISIONS	
DATE	DESCRIPTION

PROJECT:
RENOVATIONS TO LAGRANGE POLICE DEPT
100 W HARALSON ST
LAGRANGE, GEORGIA

TITLE:
LEVEL 100 FLOOR PLAN - HVAC DEMOLITION

MODIFIED DATE:	JOB NO: 1911
ISSUED DATE: 12 AUG 2019	SHEET: M1.1

ARCHITECT'S STAMP

SIGNATURE REQUIRED

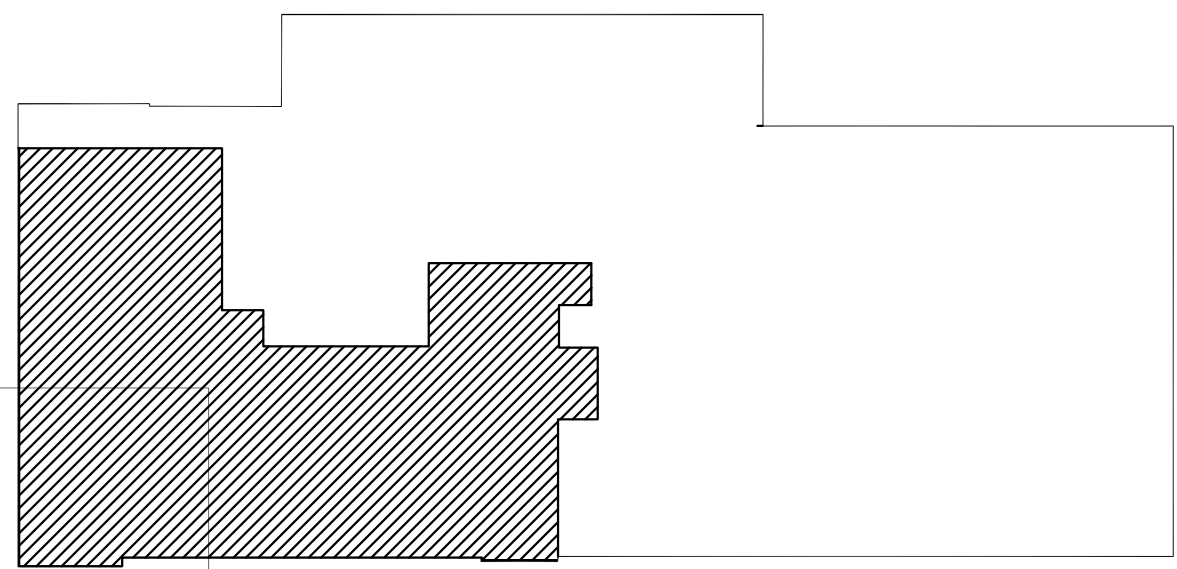
SMITH DESIGN GROUP, INC.

206 WEST HARALSON STREET
LAGRANGE, GEORGIA 30240

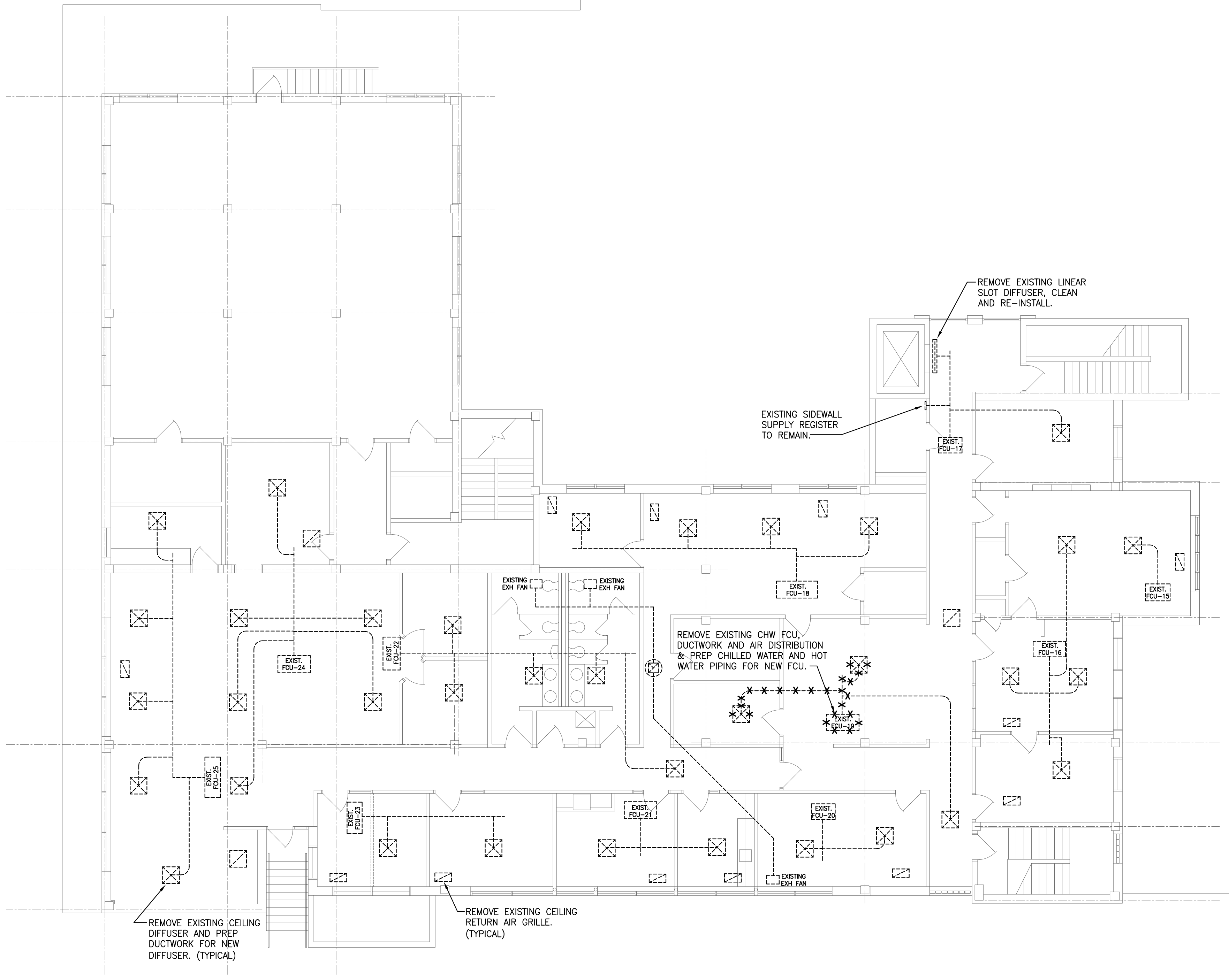
706-882-5511
www.SDGarch.net

GEORGE
ENGINEERING
ASSOCIATES, LLC

405 Millard Farmer Road, Newnan, GA 30263
phone: 770-252-4669 e-mail: msg@gea-llc.com



KEY PLAN



REVISIONS

DATE	DESCRIPTION

PROJECT:
**RENOVATIONS TO
LAGRANGE POLICE DEPT**
100 W HARALSON ST
LAGRANGE, GEORGIA

TITLE:
**LEVEL 300 FLOOR PLAN
- HVAC DEMOLITION**

MODIFIED DATE:	JOB NO: 1911
ISSUED DATE: 12 AUG 2019	SHEET: M1.3

ARCHITECT'S STAMP



SIGNATURE REQUIRED

SMITH DESIGN GROUP, INC.

206 WEST HARALSON STREET
LAGRANGE, GEORGIA 30240

706-882-5511
www.SDGarch.net

GEORGE
ENGINEERING
ASSOCIATES, LLC

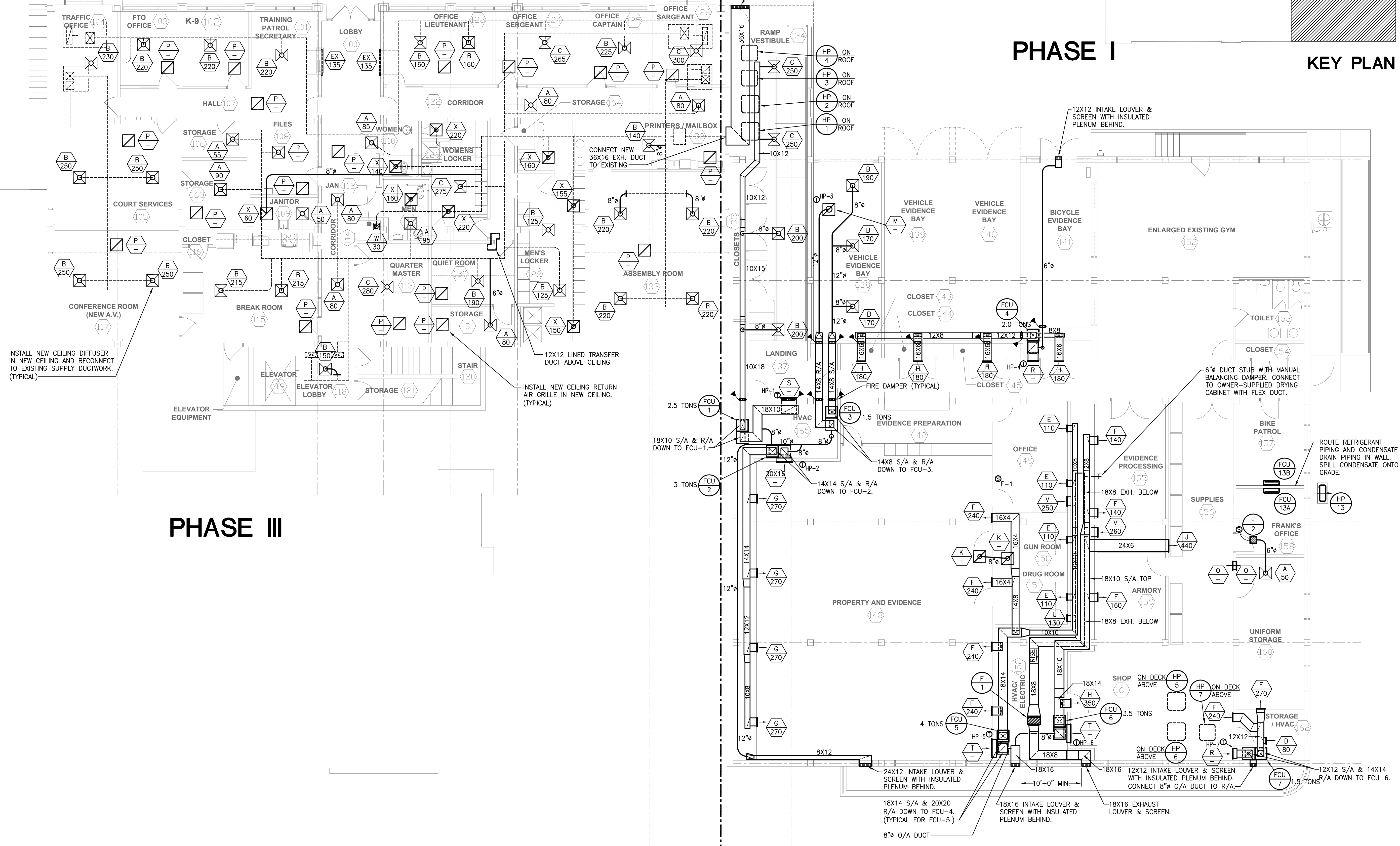
405 Millard Farmer Road, Newnan, GA 30263
phone: 770-252-4669 e-mail: msg@gea-llc.com



PHASE I KEY PLAN

PHASE III PHASE I

PHASE III PHASE I



PHASE III

1 LEVEL 100 FLOOR PLAN - HVAC NEW WORK
M2.1 SCALE: 1/8" = 1'-0"



REVISIONS

DATE	DESCRIPTION

PROJECT:
**RENOVATIONS TO
LAGRANGE POLICE DEPT**
100 W HARALSON ST
LAGRANGE, GEORGIA

TITLE:
**LEVEL 100 FLOOR PLAN
- HVAC NEW WORK**

MODIFIED DATE:	JOB NO: 1911
ISSUED DATE: 12 AUG 2019	SHEET: M2.1

ARCHITECT'S STAMP



SIGNATURE REQUIRED

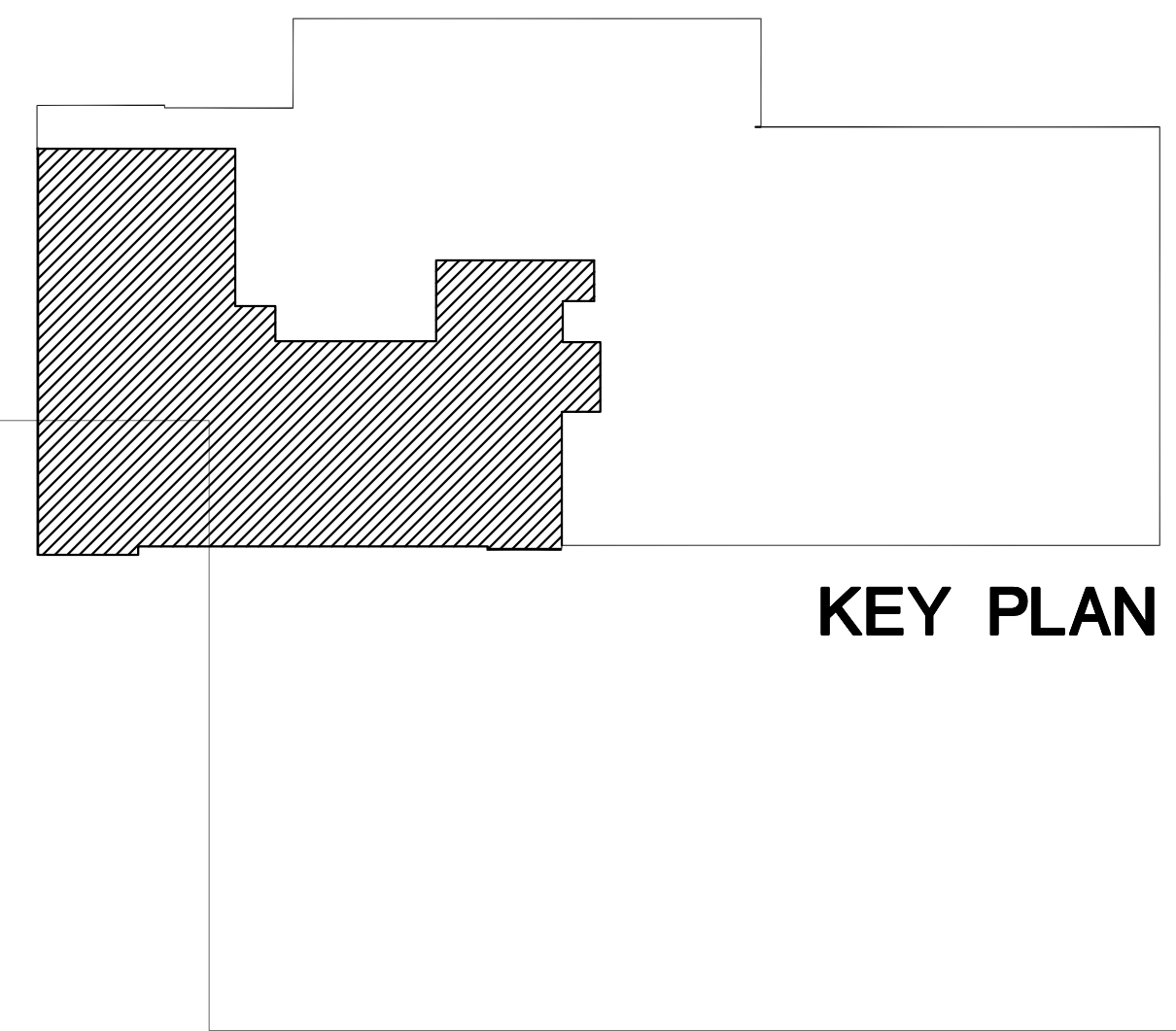
SMITH DESIGN GROUP, INC.

206 WEST HARALSON STREET
LAGRANGE, GEORGIA 30240

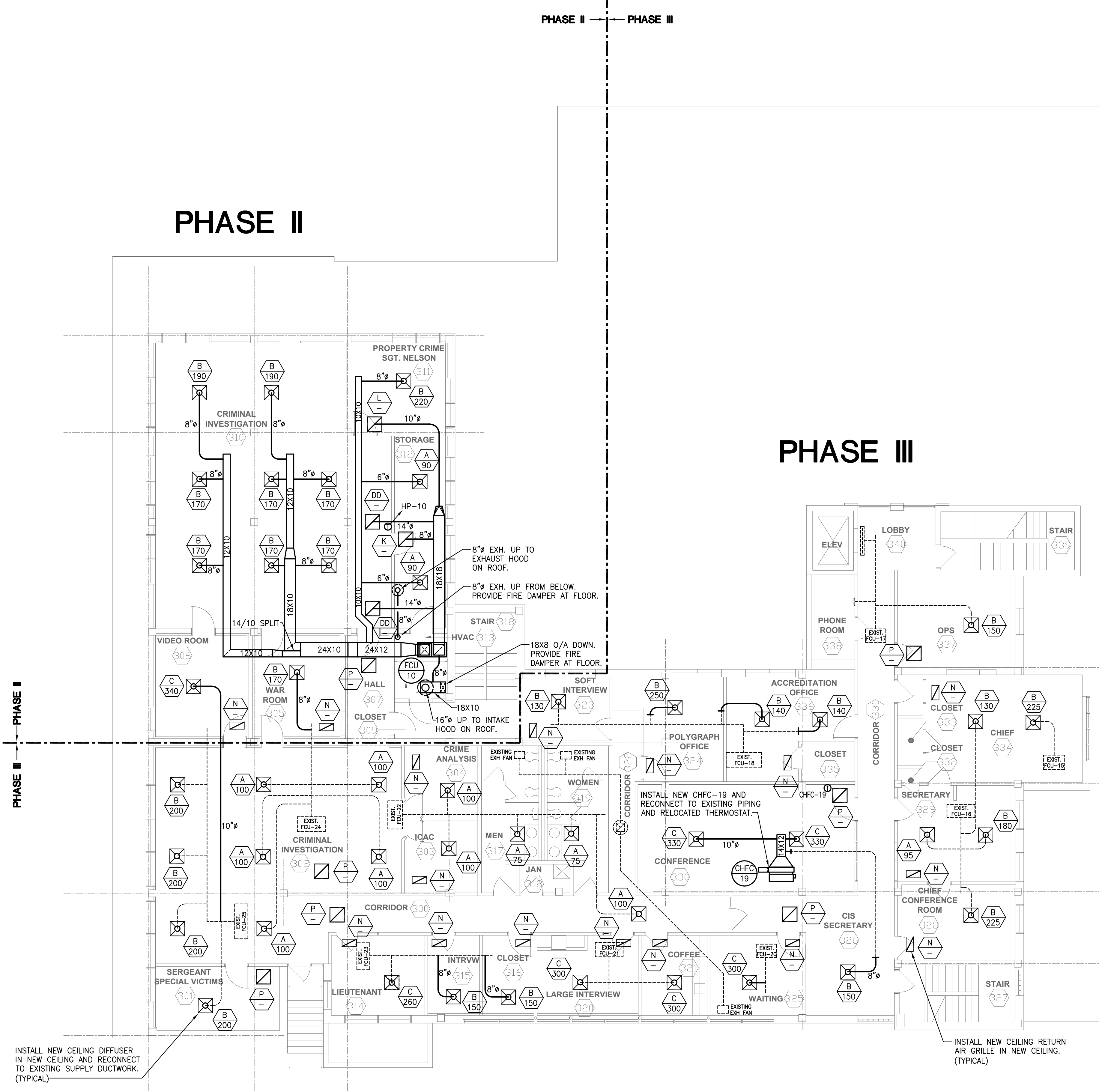
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ENGINEERING
ASSOCIATES, LLC

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phone: 770-252-4669 e-mail: msg@gea-llc.com



KEY PLAN



PHASE III

PHASE II

PHASE I

REVISIONS

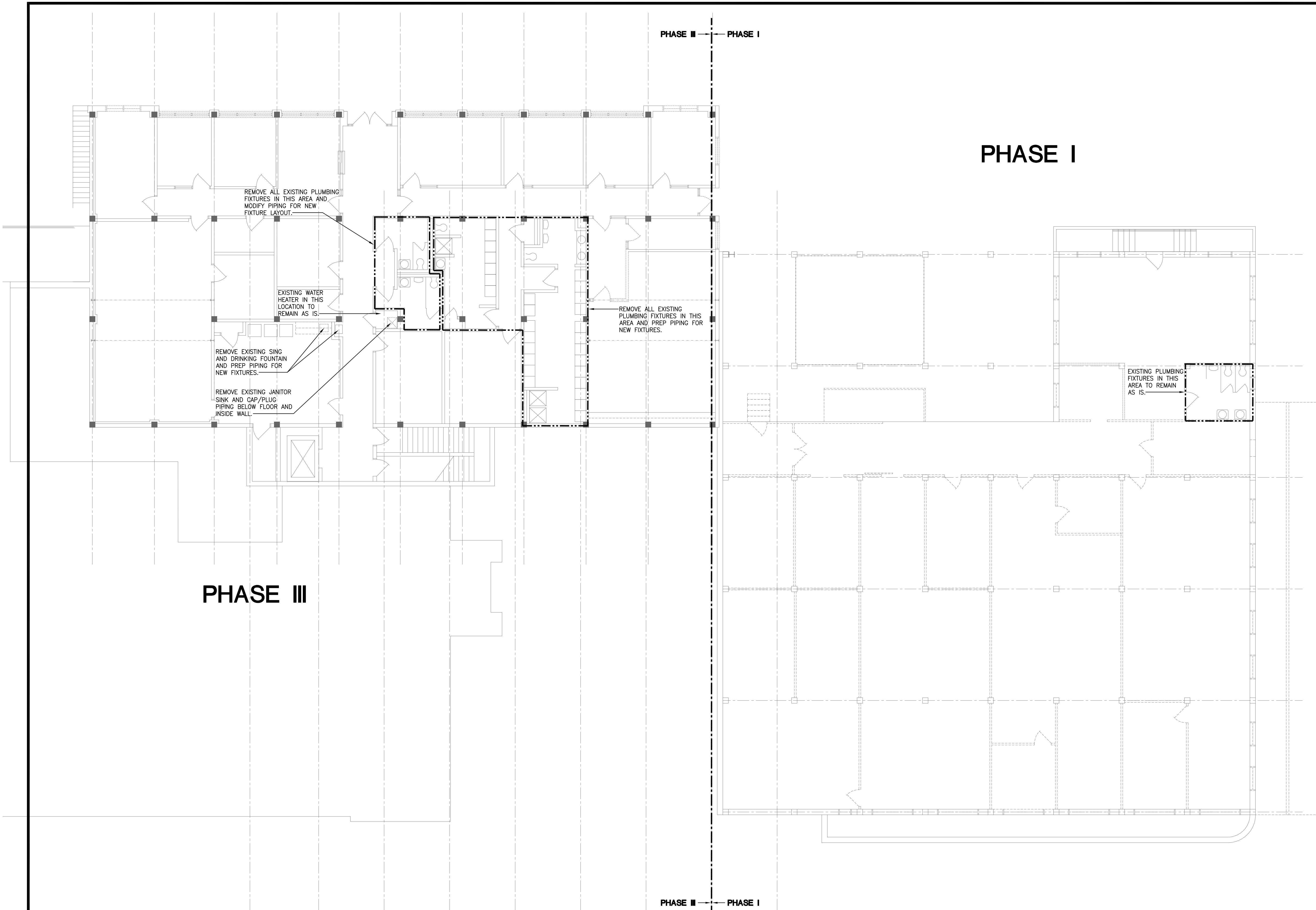
DATE	DESCRIPTION

PROJECT:
**RENOVATIONS TO
LAGRANGE POLICE DEPT**
100 W HARALSON ST
LAGRANGE, GEORGIA

TITLE:
**LEVEL 300 FLOOR PLAN
- HVAC NEW WORK**

MODIFIED DATE:	JOB NO: 1911
ISSUED DATE: 12 AUG 2019	SHEET: M2.3

1 LEVEL 300 FLOOR PLAN - HVAC NEW WORK
M2.3 SCALE: 1/8" = 1'-0"



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REVISIONS

DATE	DESCRIPTION

PROJECT:

RENOVATIONS TO
LAGRANGE POLICE DEPT

100 W HARALSON ST
LAGRANGE, GEORGIA

TITLE:

LEVEL 100 FLOOR PLAN -
PLUMBING DEMOLITION

MODIFIED DATE: JOB NO:

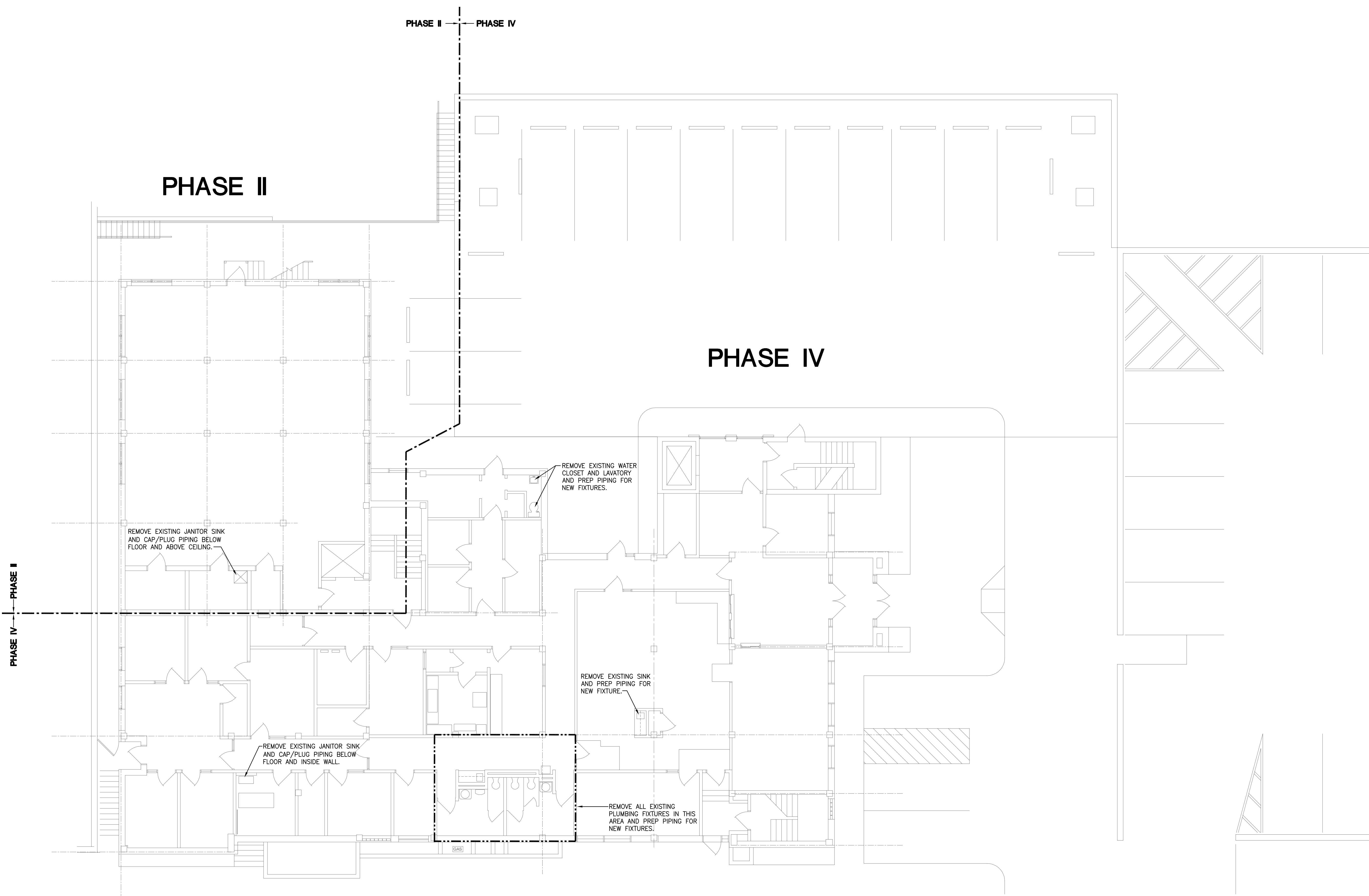
1911

ISSUED DATE: SHEET:

12 AUG 2019 **P1.1**

1 LEVEL 100 FLOOR PLAN - PLUMBING DEMOLITION
P1.1 SCALE: 1/8" = 1'-0"





PHASE II

PHASE IV

REMOVE EXISTING JANITOR SINK AND CAP/PLUG PIPING BELOW FLOOR AND ABOVE CEILING.

REMOVE EXISTING WATER CLOSET AND LAVATORY AND PREP PIPING FOR NEW FIXTURES.

REMOVE EXISTING SINK AND PREP PIPING FOR NEW FIXTURE.

REMOVE EXISTING JANITOR SINK AND CAP/PLUG PIPING BELOW FLOOR AND INSIDE WALL.

REMOVE ALL EXISTING PLUMBING FIXTURES IN THIS AREA AND PREP PIPING FOR NEW FIXTURES.

1 LEVEL 200 FLOOR PLAN - PLUMBING DEMOLITION
 P1.2 SCALE: 1/8" = 1'-0"



ARCHITECT'S STAMP



SIGNATURE REQUIRED

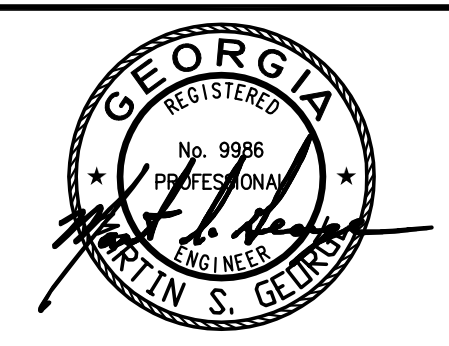
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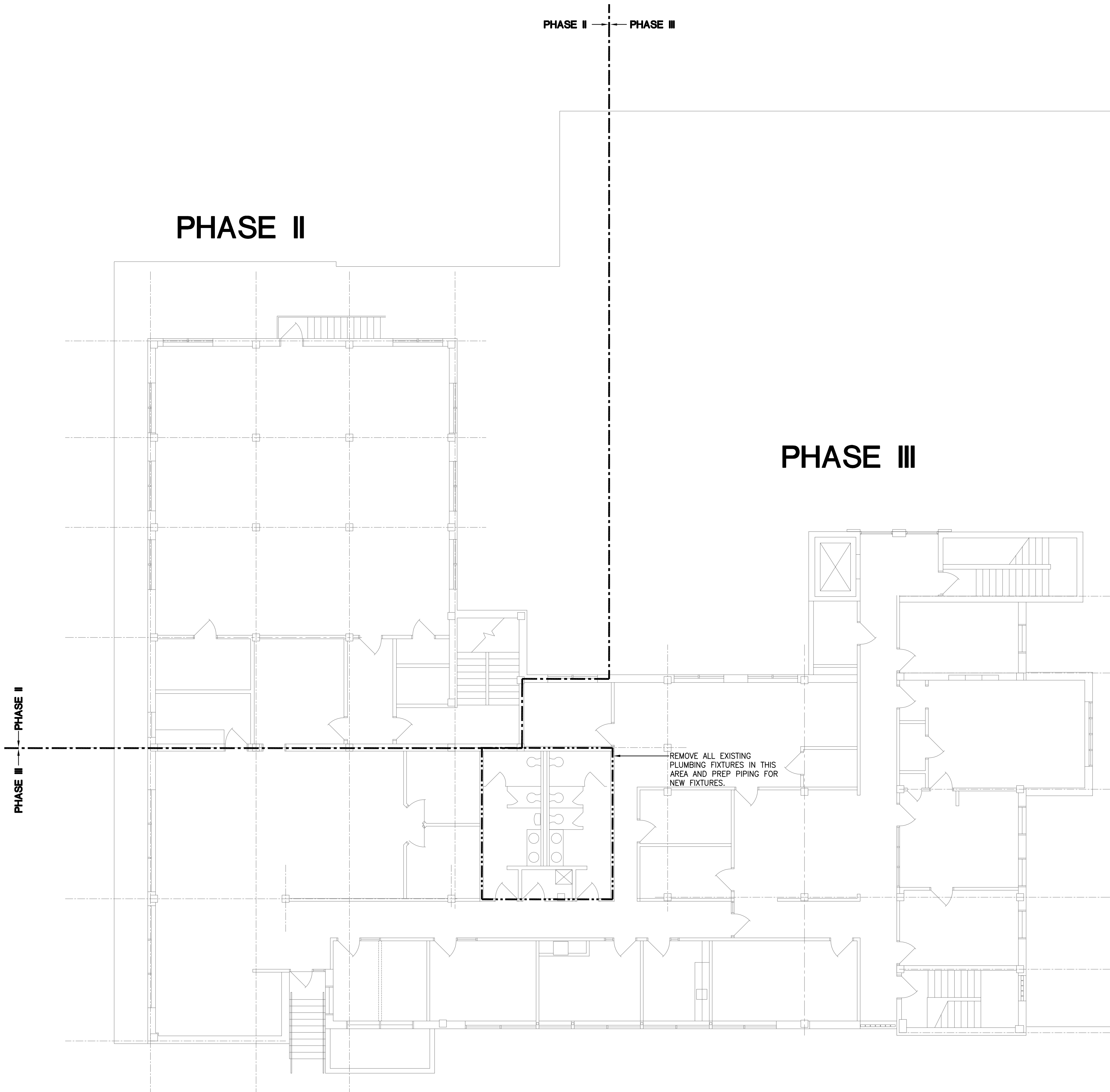
REVISIONS

DATE	DESCRIPTION

PROJECT:
RENOVATIONS TO LAGRANGE POLICE DEPT
 100 W HARALSON ST
 LAGRANGE, GEORGIA

TITLE:
LEVEL 200 FLOOR PLAN - PLUMBING DEMOLITION

MODIFIED DATE:	JOB NO: 1911
ISSUED DATE: 12 AUG 2019	SHEET: P1.2



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REVISIONS

△	DATE	DESCRIPTION

PROJECT:

RENOVATIONS TO
LAGRANGE POLICE DEPT

100 W HARALSON ST
LAGRANGE, GEORGIA

TITLE:

LEVEL 300 FLOOR PLAN -
PLUMBING DEMOLITION

MODIFIED DATE: JOB NO:

1911

ISSUED DATE: SHEET:

12 AUG 2019

P1.3

1 LEVEL 300 FLOOR PLAN - PLUMBING DEMOLITION
P1.3 SCALE: 1/8" = 1'-0"





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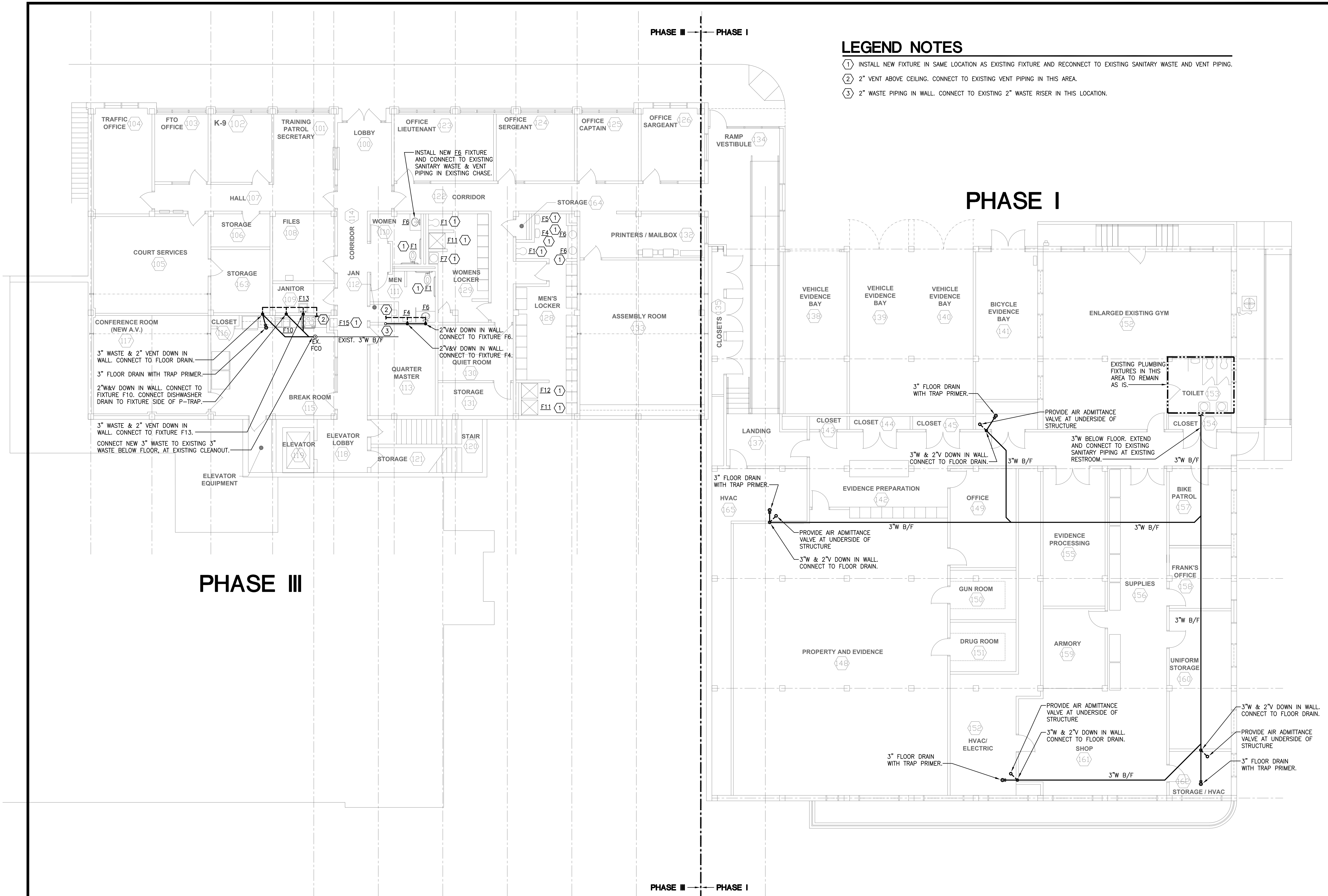
LEGEND NOTES

- ① INSTALL NEW FIXTURE IN SAME LOCATION AS EXISTING FIXTURE AND RECONNECT TO EXISTING SANITARY WASTE AND VENT PIPING.
- ② 2" VENT ABOVE CEILING. CONNECT TO EXISTING VENT PIPING IN THIS AREA.
- ③ 2" WASTE PIPING IN WALL. CONNECT TO EXISTING 2" WASTE RISER IN THIS LOCATION.

PHASE I

PHASE III | PHASE I

PHASE III | PHASE I



PHASE III

1 LEVEL 100 FLOOR PLAN - SANITARY PIPING
P2.1 SCALE: 1/8" = 1'-0"



REVISIONS

DATE	DESCRIPTION

PROJECT:

**RENOVATIONS TO
LAGRANGE POLICE DEPT**
100 W HARALSON ST
LAGRANGE, GEORGIA

TITLE:

**LEVEL 100 FLOOR PLAN -
SANITARY PIPING**

MODIFIED DATE: JOB NO:

1911

ISSUED DATE: SHEET:

12 AUG 2019 **P2.1**

LEGEND NOTES

① INSTALL NEW FIXTURE IN SAME LOCATION AS EXISTING FIXTURE AND RECONNECT TO EXISTING SANITARY WASTE AND VENT PIPING.

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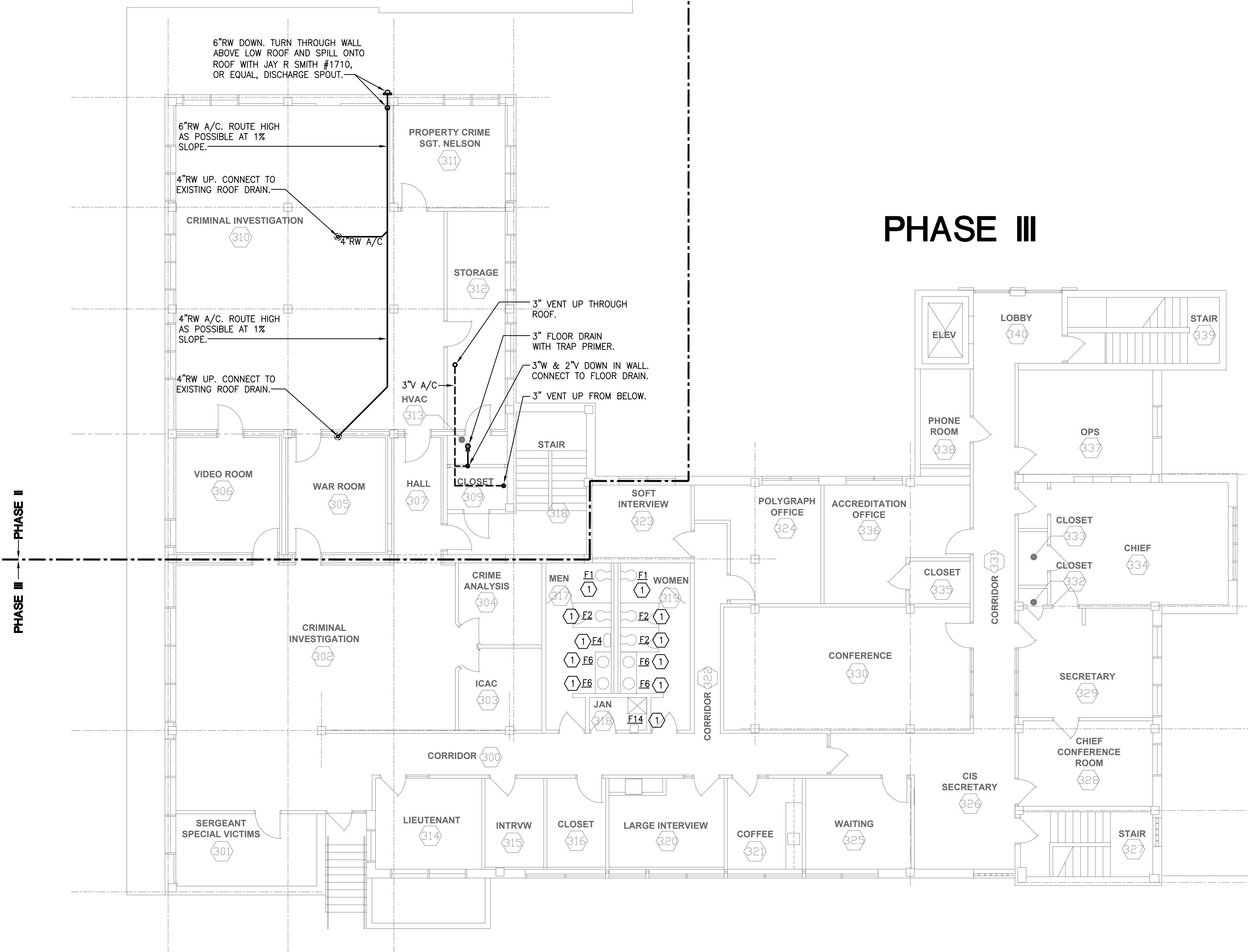
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phone: 770-252-4669 e-mail: msg@gea-llc.com



PHASE II

PHASE III



REVISIONS

DATE	DESCRIPTION

PROJECT:

RENOVATIONS TO LAGRANGE POLICE DEPT
100 W HARALSON ST
LAGRANGE, GEORGIA

TITLE:

LEVEL 300 FLOOR PLAN - SANITARY PIPING

MODIFIED DATE:	JOB NO: 1911
ISSUED DATE: 12 AUG 2019	SHEET: P2.3



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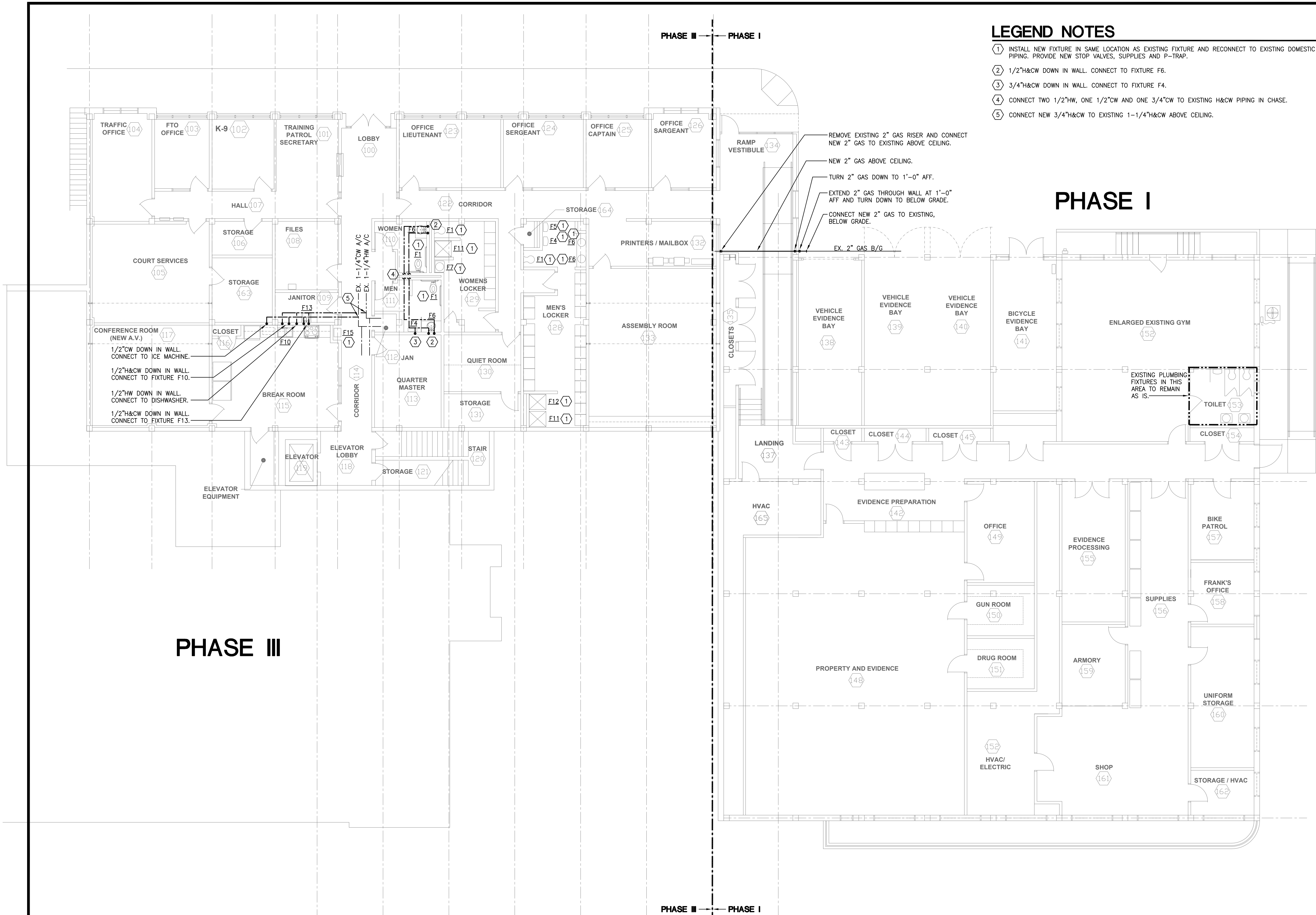
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LEGEND NOTES

- ① INSTALL NEW FIXTURE IN SAME LOCATION AS EXISTING FIXTURE AND RECONNECT TO EXISTING DOMESTIC WATER PIPING. PROVIDE NEW STOP VALVES, SUPPLIES AND P-TRAP.
- ② 1/2"H&CW DOWN IN WALL. CONNECT TO FIXTURE F6.
- ③ 3/4"H&CW DOWN IN WALL. CONNECT TO FIXTURE F4.
- ④ CONNECT TWO 1/2"HW, ONE 1/2"CW AND ONE 3/4"CW TO EXISTING H&CW PIPING IN CHASE.
- ⑤ CONNECT NEW 3/4"H&CW TO EXISTING 1-1/4"H&CW ABOVE CEILING.



PHASE III

PHASE I

PHASE III PHASE I

REVISIONS

Δ	DATE	DESCRIPTION

PROJECT:
**RENOVATIONS TO
LAGRANGE POLICE DEPT**
100 W HARALSON ST
LAGRANGE, GEORGIA

TITLE:
**LEVEL 100 FLOOR PLAN -
WATER & GAS PIPING**

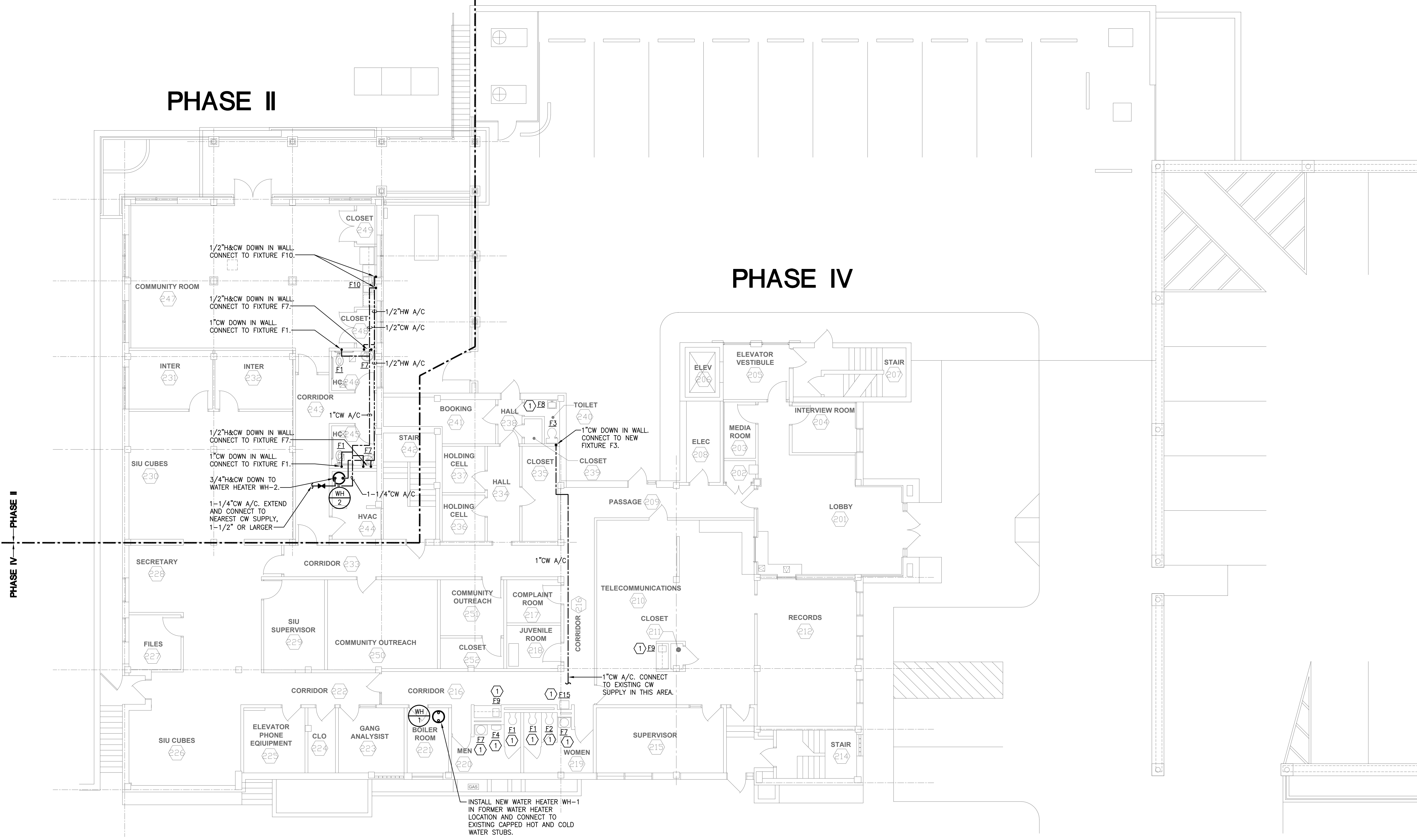
MODIFIED DATE:	JOB NO: 1911
ISSUED DATE: 12 AUG 2019	SHEET: P2.4



LEGEND NOTES

① INSTALL NEW FIXTURE IN SAME LOCATION AS EXISTING FIXTURE AND RECONNECT TO EXISTING DOMESTIC WATER PIPING. PROVIDE NEW STOP VALVES, SUPPLIES AND P-TRAP.

PHASE II | PHASE IV



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REVISIONS	
Δ	DESCRIPTION

PROJECT:
RENOVATIONS TO LAGRANGE POLICE DEPT
 100 W HARALSON ST
 LAGRANGE, GEORGIA

TITLE:
LEVEL 200 FLOOR PLAN - WATER PIPING

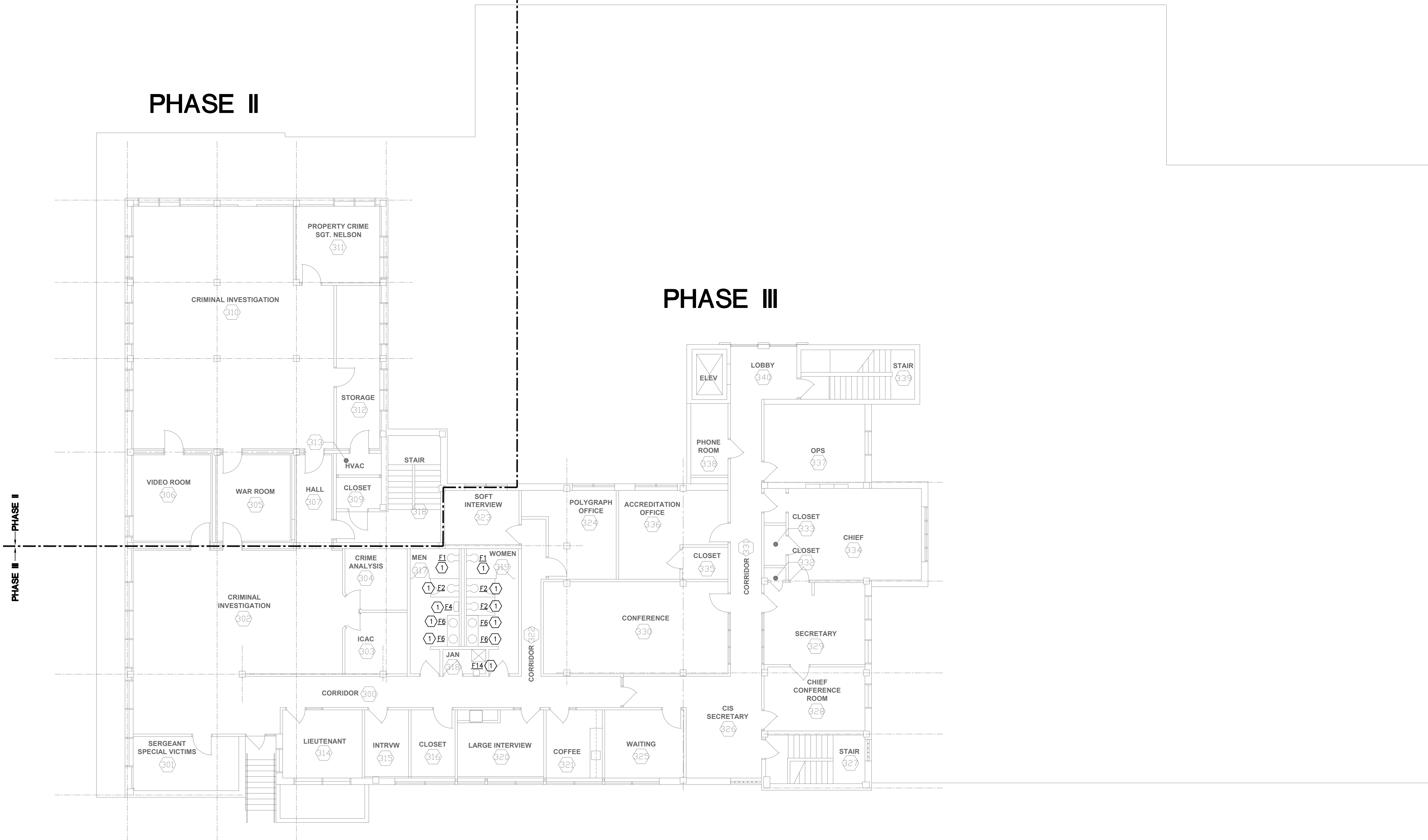
MODIFIED DATE:	JOB NO: 1911
ISSUED DATE: 12 AUG 2019	SHEET: P2.5

① **LEVEL 200 FLOOR PLAN - WATER PIPING**
 P2.5 SCALE: 1/8" = 1'-0"

LEGEND NOTES

① INSTALL NEW FIXTURE IN SAME LOCATION AS EXISTING FIXTURE AND RECONNECT TO EXISTING DOMESTIC WATER PIPING. PROVIDE NEW STOP VALVES, SUPPLIES AND P-TRAP.

PHASE II | PHASE III



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REVISIONS

△	DATE	DESCRIPTION

PROJECT:

RENOVATIONS TO LAGRANGE POLICE DEPT
100 W HARALSON ST
LAGRANGE, GEORGIA

TITLE:

LEVEL 300 FLOOR PLAN - WATER PIPING

MODIFIED DATE: JOB NO:

1911

ISSUED DATE: SHEET:

12 AUG 2019 **P2.6**

1 **LEVEL 300 FLOOR PLAN - WATER PIPING**
P2.6 SCALE: 1/8" = 1'-0"

