

RENOVATIONS TO LAGRANGE POLICE DEPARTMENT

FOR CITY OF LAGRANGE

ADDITIVE ALTERNATIVES

BASE BID - ALL WORK IN PHASE ONE

ADDITIVE ALTERNATIVE NO.1

IN SPACES 128 AND 129 INSTALL NEW PORCELAIN TILE FLOORS AND NEW PORCELAIN TILE (FULL HEIGHTS) ON ALL WALLS, PROVIDE NEW PLUMBING FIXTURES, NEW CEILING, NEW LIGHTS AND NEW VANITY PER DETAIL 4/A7-1.

ADDITIVE ALTERNATIVE NO.2- ALL WORK IN PHASE II (2)

ADDITIVE ALTERNATIVE NO.3 - ALL WORK IN PHASE III (3)

ADDITIVE ALTERNATIVE NO.4- ALL WORK IN PHASE IV (4)

ADDITIVE ALTERNATIVE NO.5

TO REMOVE ALL EXISTING DATA CABLING ON THE 100 LEVEL, IN ITS ENTIRETY FROM THE SITE. INSTALL NEW CAT 7 CABLING FROM ALL NEW AND EXISTING DATA DROPS, HOMERUN EACH DROP TO SPACE 108. MAKE TERMINATIONS AT WALL LOCATIONS, LEAVE SIX (6) FEET OF SLACK IN SPACE 108 FOR OWNER TO TERMINATE. COORDINATE TO TEST AND LABEL ALL DROPS.

ADDITIVE ALTERNATIVE NO.6

TO REMOVE ALL EXISTING DATA CABLING ON THE 200 LEVEL, IN ITS ENTIRETY FROM THE SITE. INSTALL NEW CAT 7 CABLING FROM ALL NEW AND EXISTING DATA DROPS, HOMERUN EACH DROP TO SPACE 225. MAKE TERMINATIONS AT WALL LOCATIONS, LEAVE SIX (6) FEET OF SLACK IN SPACE 225 FOR OWNER TO TERMINATE. COORDINATE TO TEST AND LABEL ALL DROPS.

ADDITIVE ALTERNATIVE NO.7

TO REMOVE ALL EXISTING DATA CABLING ON THE 300 LEVEL, IN ITS ENTIRETY FROM THE SITE. INSTALL NEW CAT 7 CABLING FROM ALL NEW AND EXISTING DATA DROPS, HOMERUN EACH DROP TO SPACE 338. MAKE TERMINATIONS AT WALL LOCATIONS, LEAVE SIX (6) FEET OF SLACK IN SPACE 338 FOR OWNER TO TERMINATE. COORDINATE TO TEST AND LABEL ALL DROPS.

100 W HARALSON STREET LAGRANGE, GEORGIA

(MECHANICAL)

PROJECT NUMBER 1911

FOR BID AND PERMIT

12 AUGUST 2019

Phasing and Liquidated Damages

Phase 1

To be Substantial Complete within 190 Consecutive Calendar Days, after commencement of work, on Phase 1. Liquidated Damages in the sum of \$100 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

Phase 2

To begin 14 Days after Substantial Completion of Phase 1, and To be Substantial Complete within 140 Consecutive Calendar Days, after commencement of work, on Phase 2. Liquidated Damages in the sum of \$200 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

Phase 3

To begin 14 Days after Substantial Completion of Phase 2, and To be Substantial Complete within 120 Consecutive Calendar Days, after commencement of work, on Phase 3. Liquidated Damages in the sum of \$200 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

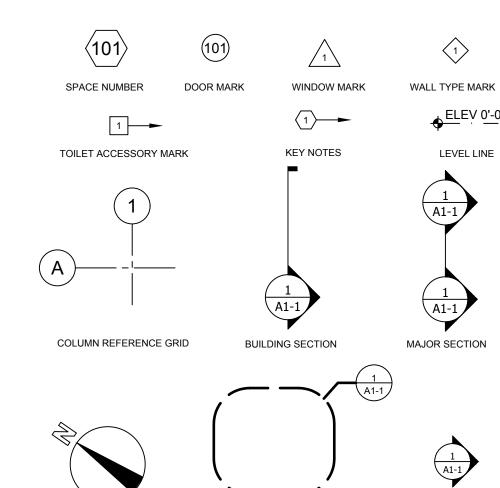
Phase 4

To begin 14 Days after Substantial Completion of Phase 3, and To be Substantial Complete within 120 Consecutive Calendar Days, after commencement of work, on Phase 4. Liquidated Damages in the sum of \$200 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

ABBREVIATIONS:

@	At	JAN.	Janitor
A.B.	Anchor Bolt	J.B.	Joist Bearing
A.C.	Air Conditioner	JST.	Joist
ACOUST.	Acoustical	J.T.	Joist
ALUM.	Aluminum		
ARCH.	Architectural		
A.T.	Acoustical Tile	LAV.	Lavatory
		LLV.	Long Leg Vertical
B.C.	Bottom of Curb		
BLK.	Block	MAS.; MSRY	Masonry
BOTT.	Bottom	MCS	Modular Cabinet System
	20110111	MECH.	Mechanical
		MIN.	Minimum
CER.	Ceramic		
CHM.	Custom Hollow Metal		
C.I.	Curb Inlet	N	North
01.0	Centerline	NA	Not Applicable
CLO.	Closet	N.I.C.	Not In Contract Not to Scale
CMU. C.O.	Concrete Masonry Unit Clean Out	NTS	Not to Scale
COL.	Column		
CONC.	Concrete	O.C.	On Center
CONST.	Construction	OPP.	Opposite
CONT.	Continuous		
C.T.	Ceramic Tile		
CHR.	Coat & Hat Rack	PL	Plate
C.J.	Control Joint	PT	Pressure Treated
		PEJ	Premolded Expansion
D: DIAM.	Diameter	PLAST PSF	Plaster Pounds Per Square Foot
DF DIAW.	Drink Fountain	PSI	Pounds Per Square Inch
DI	Drain Inlet		r danaer er equare men
DN	Down		
DRIV.	Driver	R	Radius
DS	Downspout	REF	Refrigerator
DWGS.	Drawings	REQ'D	Required
DWLS.	Dowels	RL	Roof Level
DR	Drawer	RM DT	Room Resilient Tile
		RT RW	Regular Weight
E.J.; EXP. JT.	Expansion Joint	IXVV	Round
EL.; ELEV	Elevation		
EQ	Equal		
EQUIP.	Equipment	SQ.	Square
E.F.I.S.	Exterior Finish	SIM	Similar
	Insulation System	SLV	Short Leg Vertical
		S.M.	Sheet Metal
F.E.	Fire Extinguisher	STL STO.; STOR	Steel Storage
F.H.	Fire Hose	STRUCT.	Structural
FES	Fire Extinguisher Sign	SH	Shelves
FIN.	Finish		
FLEX.	Flexible		
FLR.	Floor	TC	Teacher Cabinet
FT.	Foot	T.C.	Top of Curb
FTG.	Footing	TD	Turn Down
		TFF TFS	Top of Finished Floor
GA	Gauge	T&G	Top of Finished Slab Tongue and Groove
G.C.	General Contractor	T.M.	Transitional Material
GYP. BRD.	Gypsum Wallboard	TP	Top of Pavement
	•	T/S	Top of Steel
		TYP.	Typical
Н	Height		
HC	Handicapped	U.N.O.	Unless Noted Otherwise
HCM HODIZ	Hollow Concrete Masonry		
HORIZ. HW	Horizontal Hand Wash	V.C.J.	Veneer Control Joint
	ana masn	V.G.J. VERT.	Vertical
		VRS	Varies
I.D.	Inside Diameter	VWC	Vinyl Wall Covering
IND.	Industrial		
INV.	Invert		
		W	Width
		W/ W.C.	With
		W.C. WD	Water Cooler Wood
		WWF	Welded Wire Fabric

INDEX OF SYMBOLS:



\bigcap	VIEW TITLE		
A1-1			Scale: 1:1
		VIEW TITLE	

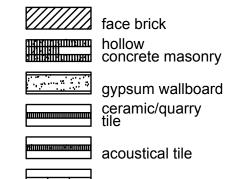
ENLARGED DETAIL

ELEVATION

PROJECT NORTH

CONSTRUCTION MATERIALS:

PLAN / SECTION



resilient flooring carpet

steel/iron **aluminum**

small scale metal

rough lumber large scale finish lumber small scale finish lumber

large scale plywood small scale plywood batt/blanket insulation

laminated plastic

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A1-11	200 LEVEL - PARTIAL LARGE SCALE PLAN 200 LEVEL - PARTIAL LARGE SCALE PLAN	A8-4	INTERIOR ELEVATIONS / DETAILS INTERIOR ELEVATIONS / DETAILS	E-2.1	ELECTRIC PLAN - 100 LEVEL	
				1		
A1-13	300 LEVEL - PARTIAL LARGE SCALE PLAN	A8-5	INTERIOR ELEVATIONS / DETAILS	E-2.3	ELECTRIC PLAN - 300 LEVEL	
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A2-7 A2-8	MISCELLANEOUS DETAILS					





SMITH DESIGN GROUP, INC.

206 WEST HARALSON STREET LAGRANGE, GEORGIA 30240

706-882-5511 www.SDGarch.net

REVISIONS			
\triangle	DATE	DESCRIPTION	

PROJECT:

RENOVATIONS TO LAGRANGE POLICE DEPT

> 100 W HARALSON ST LAGRANGE, GEORGIA

TITLE:

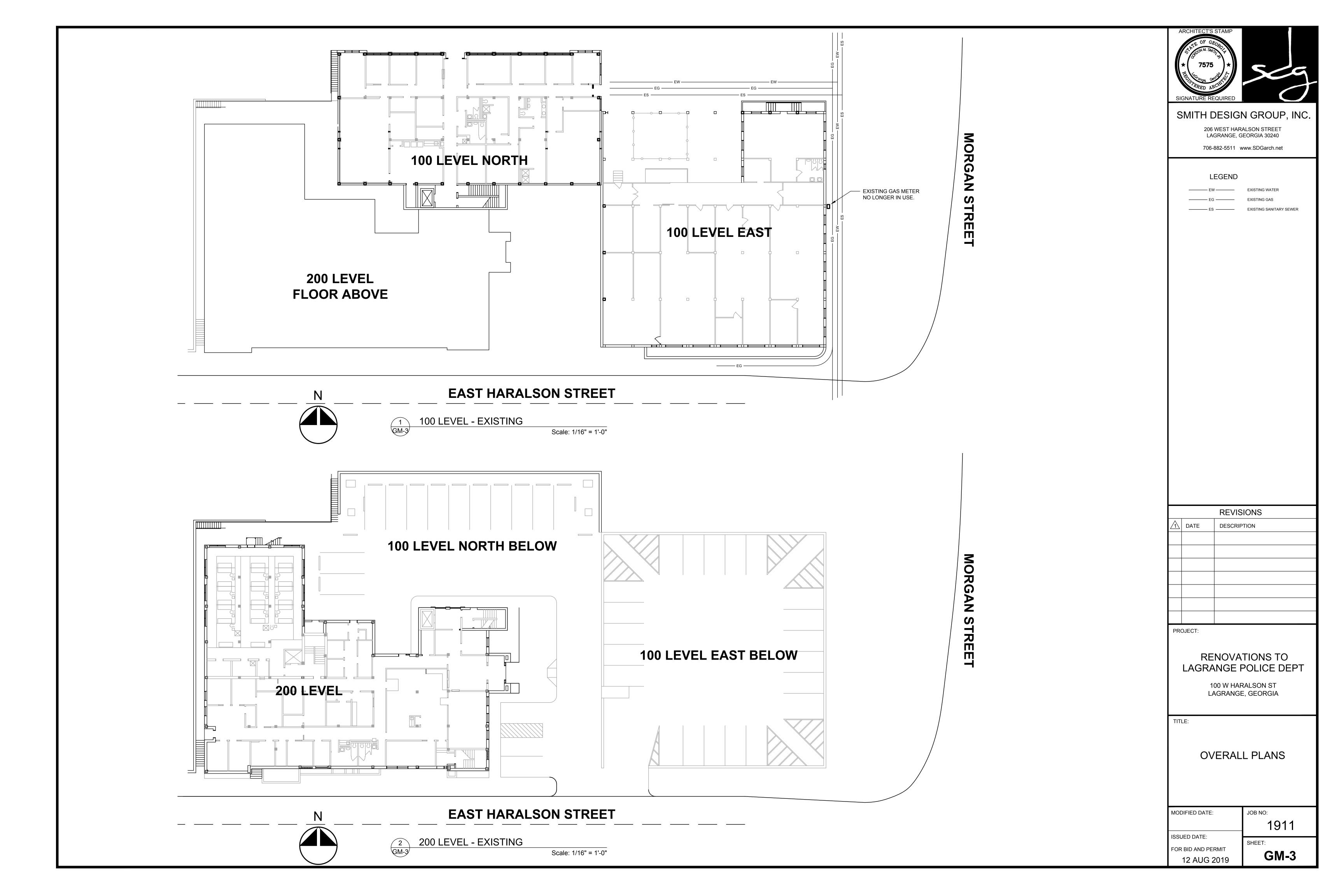
INDEX OF SHEETS

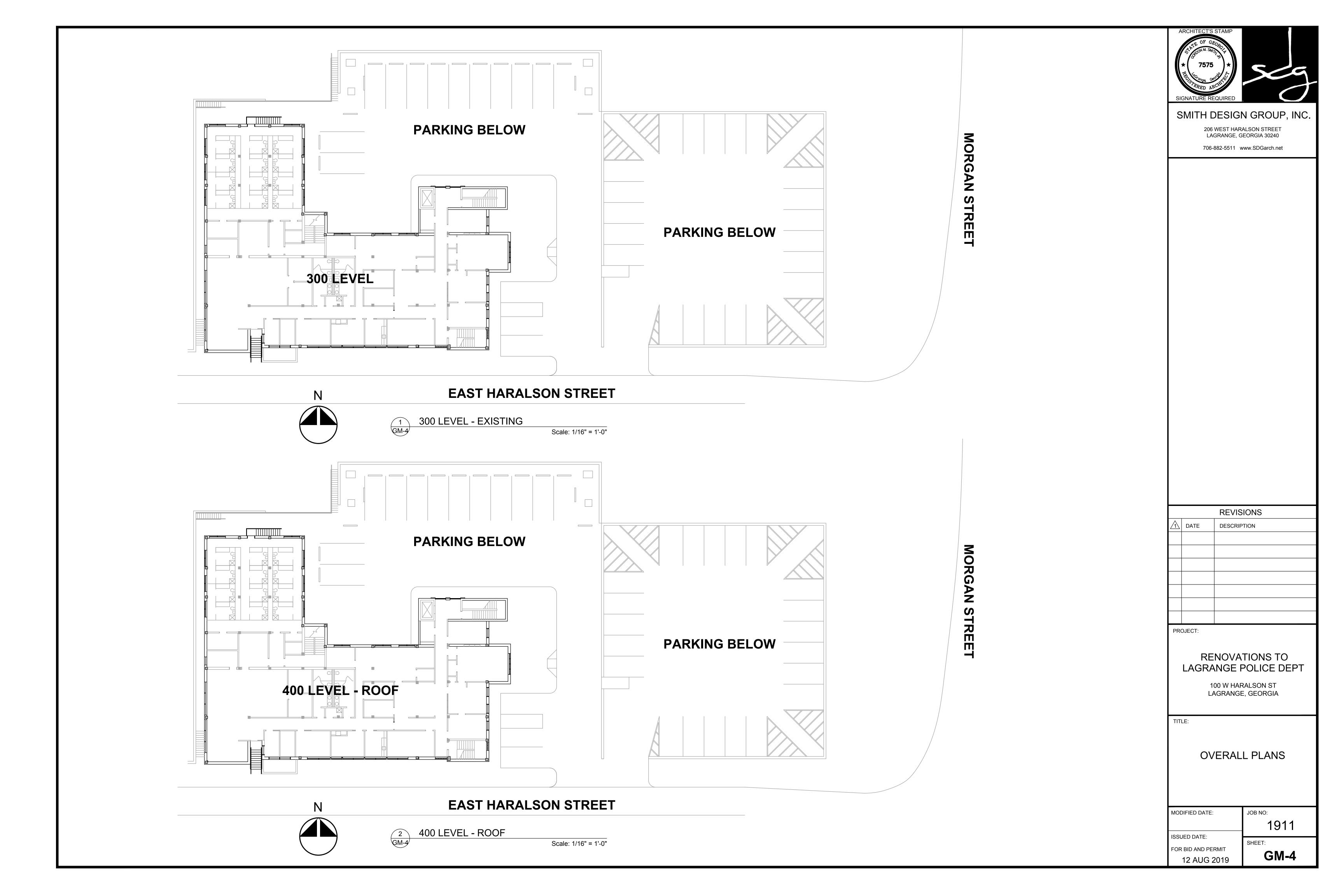
ABBREVIATIONS LEGENDS

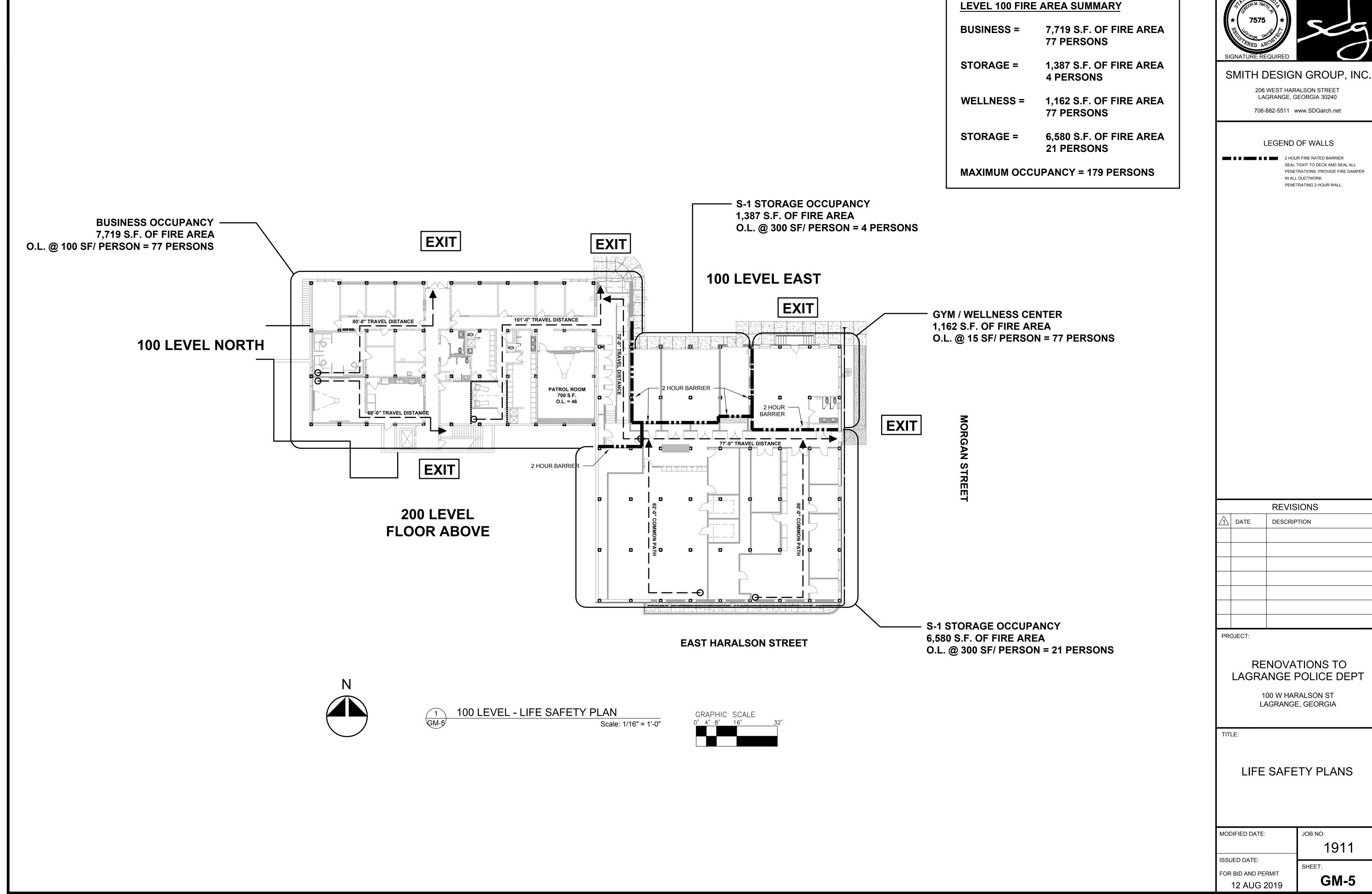
ODIFIED DATE:	JOB NO:
	1911
SUED DATE:	
OOLD DATE.	SHEET:

FOR BID AND PERMIT 12 AUG 2019

GM-2

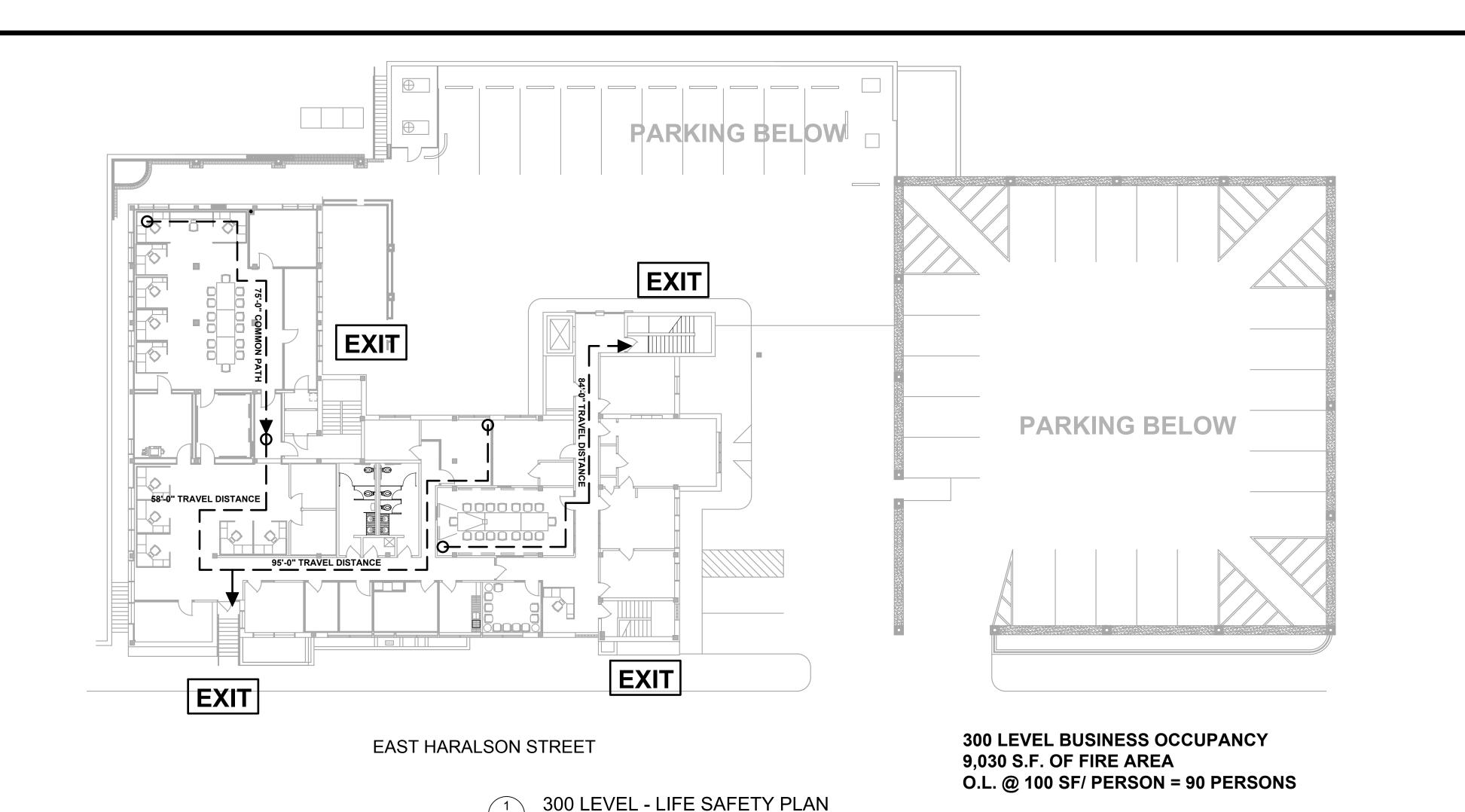








PENETRATIONS. PROVIDE FIRE DAMPER

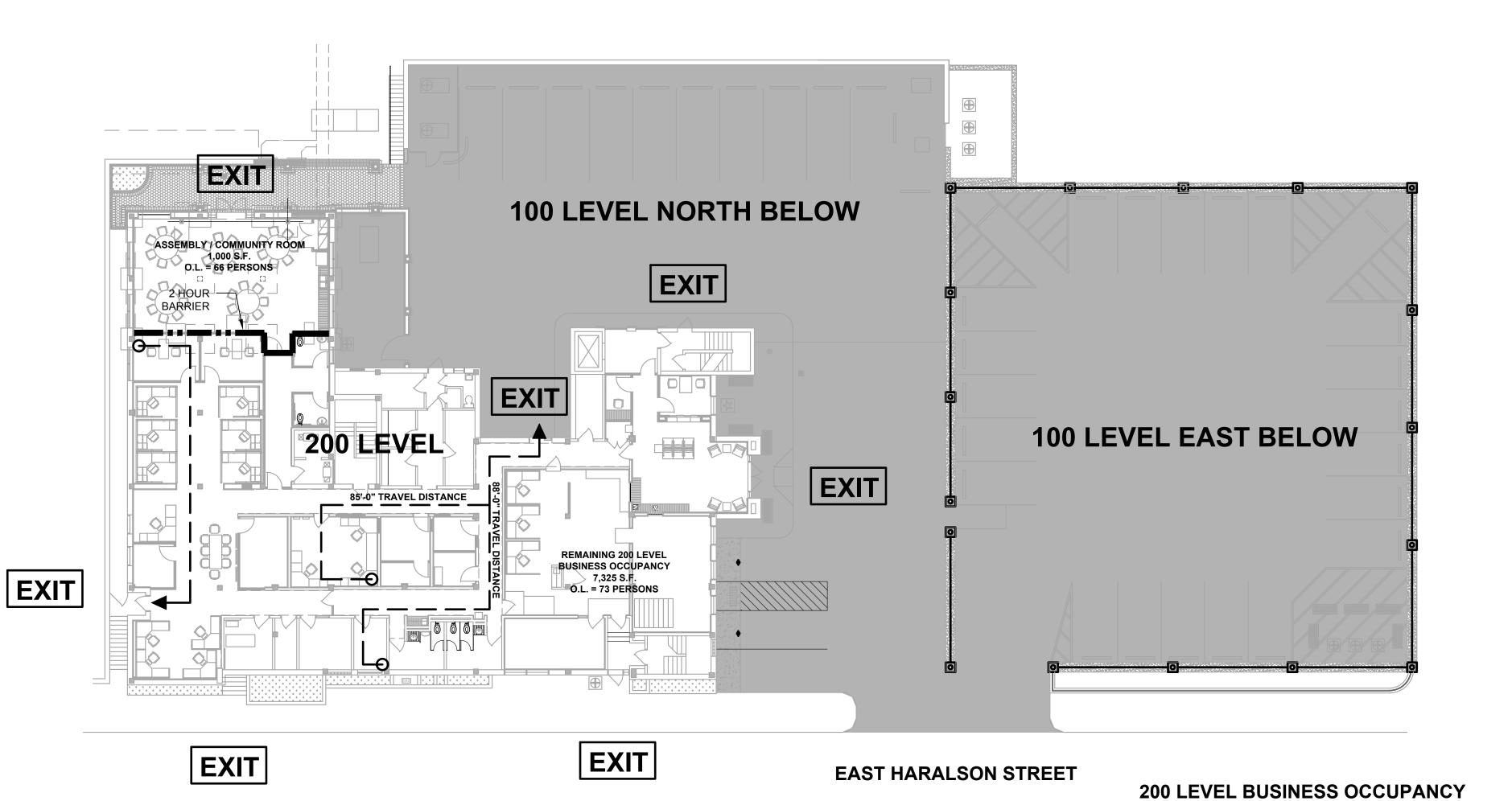


Scale: 1/16" = 1'-0"

Scale: 1/16" = 1'-0"

9,400 S.F. OF FIRE AREA

O.L. @ 100 SF/ PERSON = 94 PERSONS



200 LEVEL - LIFE SAFETY PLAN

LEVEL 200 - 300 FIRE AREA SUMMARY

LEVEL 300 = 9030 S.F. OF FIRE AREA

90 PERSONS

LEVEL 200 = 9,400 S.F. OF FIRE AREA

94 PERSONS

MAXIMUM OCCUPANCY = 184 PERSONS

TOTAL OCCUPANT LOAD FOR ENTIRE **FACILITY = 363 PERSONS**

ARCHITECT'S STAMP	
STATE OF GEORGIA	
* 7575 *	500
RECUPERED ARCHIEF	
SIGNATURE REQUIRED	

SMITH DESIGN GROUP, INC.

206 WEST HARALSON STREET LAGRANGE, GEORGIA 30240

706-882-5511 www.SDGarch.net

LEGEND OF WALLS

SEAL TIGHT TO DECK AND SEAL ALL PENETRATIONS. PROVIDE FIRE DAMPER IN ALL DUCTWORK PENETRATING 2 HOUR WALL.

REVISIONS			
7	DATE	DESCRIPTION	
RC	DJECT:		

RENOVATIONS TO LAGRANGE POLICE DEPT

100 W HARALSON ST LAGRANGE, GEORGIA

MODIFIED DATE:

ISSUED DATE:

FOR BID AND PERMIT

12 AUG 2019

LIFE SAFETY PLANS

JOB NO:

SHEET:

1911

GM-6

Ν		

GRAPHIC SCALE
0'4'8' 16'

GENERAL NOTES

- 1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND FOR NOTING ANY DISCREPANCIES BETWEEN DRAWINGS, PLANS, DETAILS, TRADES, ETC. PRIOR TO THE CONSTRUCTION COMMENCEMENT.
- 2. THE 2007 VERSION OF THE "GENERAL CONDITIONS" OF THE AMERICAN INSTITUTE OF ARCHITECTS IS A PART OF THESE CONTRACT DOCUMENTS.
- 3. ALL EXTERIOR DIMENSIONS ARE TAKEN FROM BACK OF CURB UNLESS OTHERWISE NOTED.
- 4. PATCH AND REPAIR ALL EXISTING FINISHES AFFECTED BY DEMOLITION. NEW WORK PATCH AND REPAIR WORK SHALL MATCH EXISTING FINISHES FOR TEXTURE, COLOR AND MATERIAL.
- 5. REVISE AND / OR PROVIDE EXIT SIGNAGE AND LIGHTING AS REQUIRED BY ALL CODES.
- 6. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REQUIRED DIMENSIONS AS THEY RELATE TO THE INTENT OF THE NEW CONSTRUCTION. THIS VERIFICATION WORK MUST BE COMPLETED PRIOR TO THE START OF CONSTRUCTION, AND ANY DISCREPANCIES FOUND BETWEEN THE EXISTING WORK AND THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO WORK COMMENCING.
- 7. CONTRACTOR SHALL COORDINATE ALL TRADE REQUIREMENTS AND REPORT CONFLICTS IMMEDIATELY IF FOUND. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONAL DATA AND LOCATIONS OF ALL OPENINGS, EQUIPMENT, AND OWNER FURNISHED EQUIPMENT.
- 8. DISCONNECT ANY ELECTRICAL, GAS, WATER OR OTHER LINES SERVICING THE EQUIPMENT PER RULES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION PRIOR TO BEGINNING WORK.
- 9. CONTRACTOR SHALL VERIFY WITH OWNER ALL EXISTING EQUIPMENT AND FURNISHINGS TO BE REMOVED, REPLACED, OR RELOCATED. CONTRACTOR SHALL PROVIDE AS REQUIRED, ALL PLUMBING, HVAC, AND ELECTRICAL NECESSARY FOR PROPER INSTALLATION OF NEW OR RELOCATED EQUIPMENT.
- 10. REPAIR ALL FLOOR FINISHES LEFT VOID OR DAMAGED BY DEMOLITION WORK AND MATCH EXISTING ADJACENT FINISH.
- 11. REPAIR EXISTING CONSTRUCTION (AS REQUIRED) TO MATCH ADJACENT CONSTRUCTION IN QUANTITY,
- 12. PROTECT EXISTING BUILDING DURING CONSTRUCTION. CONTRACTOR SHALL TAKE PROPER AND NECESSARY PRECAUTIONS TO PROTECT EXISTING BUILDING FROM TEMPERATURE AND HUMIDITY EXTREMES, DUST AND WATER PENETRATIONS. CONSTRUCT TEMPORARY WEATHER TIGHT ENCLOSURES.

SIZE, TEXTURE, AND FINISH, WHERE DAMAGED BY DEMOLITION WORK.

REPAIR ALL WATER DAMAGED ITEMS AT NO ADDITIONAL EXPENSE TO OWNER.

- 13. COORDINATE CONSTRUCTION OPERATIONS WITH OWNER WHERE THEY AFFECT EXISTING WORK AREAS AND NORMAL OPERATING PROCEDURES.
- 14. PHASE NEW DEMOLITION WORK WITH NEW CONSTRUCTION TO PROVIDE OWNER WITH ADEQUATE FACILITIES FOR TEMPORARY OPERATIONS AT ALL TIMES. COORDINATE WITH OWNER AND ALL TRADES.
- 15. DEMOLITION OF ANY EXISTING CONSTRUCTION REQUIRED BY ANY TRADE TO PROPERLY COMPLETE THEIR WORK SHALL BE ACCOMPLISHED AS PART OF THEIR WORK AND SHALL BE COVERED BY THE PRIME CONTRACT.
- 16. WHERE REMOVAL OF ANY ITEM IS CALLED FOR, IT SHALL BECOME THE PROPERTY OF THE BUILDING. THE CONTRACTOR IS TO CONTACT THE OWNER AND DETERMINE IF THE ITEM IS TO BE SALVAGED OR DELIVERED TO A LOCATION IN THE BUILDING AS DIRECTED BY OWNER, OR TO BE DISPOSED OF OFF SITE.
- 17. WHERE AN ITEM IS CALLED OUT TO BE RELOCATED, THE CONTRACTOR SHALL REMOVE IT UNDAMAGED AND REINSTALL IT IN ITS NEW LOCATION, INCLUDING ANY REQUIRED SUPPORTS, UTILITIES
- 18. WHERE ANY ITEM IS CALLED OUT TO BE SALVAGED, IT SHALL BE DELIVERED TO THE OWNER AT A DESIGNATED PLACE UNLESS IT IS ALSO CALLED OUT TO BE RELOCATED IN WHICH CASE, THE ITEM SHALL BE REMOVED, REFURBISHED AND REINSTALLED IN THE WORK.
- 19. WHERE EXISTING WALLS ARE TO BE REMOVED, THE ENTIRE ASSEMBLY SHALL BE REMOVED FROM CORNER TO CORNER COMPLETE, INCLUDING DOORS, WINDOWS, AND ALL ELECTRICAL AND MECHANICAL ITEMS INCLUDED IN THE ASSEMBLY.
- 20. WHERE CEILING ASSEMBLIES ARE CALLED OUT TO BE REMOVED, THE ENTIRE ASSEMBLY SHALL BE REMOVED, INCLUDING ALL HANGERS, FASTENERS, LIGHTS, AND MECHANICAL ITEMS.
- 21. WHERE WATER AND WASTE LINES ARE TO BE ABANDONED, THEY SHALL BE REMOVED AND CAPPED TO A POINT WHERE THEY WILL NOT BE VISIBLE WHEN NEW CONSTRUCTION IS FINISHED.
- 22. WHERE ELECTRICAL CIRCUITS ARE TO BE ABANDONED, THE CONDUIT SHALL BE REMOVED TO A POINT BEHIND THE SURFACE OF REMAINING OR NEW CONSTRUCTION AND CAPPED. THE WIRE SHALL BE REMOVED BACK TO THE PANEL AND THE BREAKER REPLACED WITH A SPARE BLANK.
- 23. ALL SURFACES RECEIVING WORK SHALL BE COMPLETED AND PROPERLY PREPARED TO RECEIVE THE FINISH MATERIAL SCHEDULED OR OTHERWISE CALLED FOR ON THE PLANS.
- 24. PATCH AND REPAIR CONCRETE FLOOR SURFACES WHERE EXISTING HOLES, SPALLING, AND CRACKS OCCUR IN AREAS OF THE BUILDING WHERE REMODEL WORK IS CALLED FOR AND WHERE DAMAGE FROM DEMOLITION OR NEW CONSTRUCTION OCCURS. ALL TO PROVIDE A FLUSH, SMOOTH AND CLEAN
- 25. PATCH AND REPAIR ALL SURFACES WHERE EXISTING HOLES, SPALLING, AND CRACKS OCCUR, WHERE DAMAGED OR DETRIORATED WALLS ARE REMOVED AND WHERE DAMAGE FROM DEMOLITION OR NEW CONSTRUCTION OCCURS, IN AREAS OF EXISTING BUILDING WHERE REMODELED WORK IS CALLED FOR. THE PATCHED AND REPAIRED SURFACE SHALL MATCH THE ADJACENT SURFACE IN MATERIAL, LINE AND TEXTURE.
- 26. PATCH AND REPAIR ALL SURFACES WHERE HOLES OR SLOTS FROM ANCHORING DEVICES OCCURED AFTER FINISH MATERIAL OR OTHER CONSTRUCTION HAS BEEN REMOVED. THE PATCH AND REPAIRED SURFACE SHALL MATCH THE ADJACENT SURFACE IN MATERIAL, LINE AND TEXTURE.
- 27. FILL OPENING AND PATCH AND REPAIR MATERIAL TO MATCH ADJACENT SURFACES WHERE MATERIALS ARE REMOVED BY ANY TRADE TO PREFORM THEIR WORK.
- 28. FILL ALL HOLES IN FLOORS, WALLS (INTERIOR AND EXTERIOR) AND CEILING TO MATCH ADJACENT SURFACES IN MATERIALS, LINE AND TEXTURE WHERE MECHANICAL, PLUMBING, OR ELECTRICAL ITEMS ARE REMOVED.
- 29. PATCH AND REALIR EXISTING WALLS TO MATCH ADJACENT SURFACES WHERE PORTIONS OF WALL WERE REMOVED FOR INSTALLATION OF NEW DOORS.
- 30. WHERE EXISTING PLUMBING OR ELECTRICAL LINES ARE TO REMAIN IN SERVICE BUT ARE LOCATED IN CONSTRUCTION TO BE REMOVED, SUCH LINES SHALL BE RELOCATED OR REDIRECTED AS NECESSARY TO REMAIN IN SERVICE.

Current Mandatory Codes as Adopted by DCA:

International Building Code

2012 Edition, with Georgia Amendments (2014) (2015) (2017)(2018)

International Residential Code

2012 Edition, with Georgia Amendments (2014) (2015)(2018)

International Fire Code

2012 Edition, with Georgia Amendments (2014)

International Plumbing Code

2012 Edition, with Georgia Amendments (2014) (2015)

International Mechanical Code

2012 Edition, with Georgia Amendments (2014) (2015)

International Fuel Gas Code

2012 Edition, with Georgia Amendments (2014) (2015)

National Electrical Code

2017 Edition (No Georgia Amendments)

International Energy Conservation Code

2009 Edition, with Georgia Supplements and Amendments (2011) (2012)

International Swimming Pool and Spa Code 2012 Edition, with Georgia Amendments (2014)

For information and questions regarding the Life Safety Code (NFPA 101) or the Georgia Accessibility Code please contact the State Fire Marshal's Office.

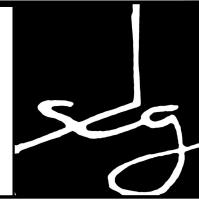
LEGEND OF CONSTRUCTION MATERIALS

TEAN / SESTION	
face brick	aluminum
hollow concrete masonry	
gypsum wallboard	rough lumber scale n
ceramic/quarry tile	large scale finish lumber
acoustical tile	small scale finish lumber
resilient flooring	large scale plywood
carpet	small scale plywood
steel/iron	batt/blanket insulation
	laminated plastic

CODE SUMMARY AND PROJECT DATA

PROJECT NAME	ENHANCEMENTS TO LAGRANGE POLICE DEPARTMENT
PROJECT DESCRIPTION	RENOVATIONS AND ADDITIONS
OWNER	CITY OF LAGRANGE
CONTACT	
PROPOSED USE	BUSINESS
ARCHITECT OF RECORD	SMITH DESIGN GROUP, INC.
OCCUPANCY	BUSINESS
OCCUPANT LOAD	N/A
HAZARD	ORDINARY
MIXED OCCUPANCY	NO
CONSTRUCTION TYPE	TYPE TWO (II)B
SPRINKLERED	NO
STANDPIPE	NO
FIRE DISTRICT	NO
NUMBER OF STORYS	THREE (3)
HEIGHT ALLOWED	N/A
BUILDING HEIGHT	29'-0"
MEZZANINE	NO
HIGH RISE	NO
GROSS BUILDING AREA ALLOWED	
TOAL GROSS AREA HEATED	N/A
AREA SEPARATION PROVIDED	N/A
VERTICAL SHAFTS	N/A
EMERGENCY LIGHTING AND EXIT SIGNS	YES
FIRE ALARM AND SMOKE DETECTOR SYSTEM	NO
PANIC HARDWARE	NO
COMMON PATH OF TRAVEL ALLOWED	20' MAX
DEAD END LIMIT	20' MAX.
TRAVEL DISTANCE TO EXIT ALLOWED	200' WHEN SPRINKLED
NUMBER OF EXITS REQUIRED	NOT LESS THAN THREE (3)
PARKING SPACES REQUIRED	EXISTING





SMITH DESIGN GROUP, INC.

206 WEST HARALSON STREET LAGRANGE, GEORGIA 30240

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REVISIONS			
\triangle	DATE	DESCRIPTION	

PROJECT:

RENOVATIONS TO LAGRANGE POLICE DEPT

100 W HARALSON ST LAGRANGE, GEORGIA

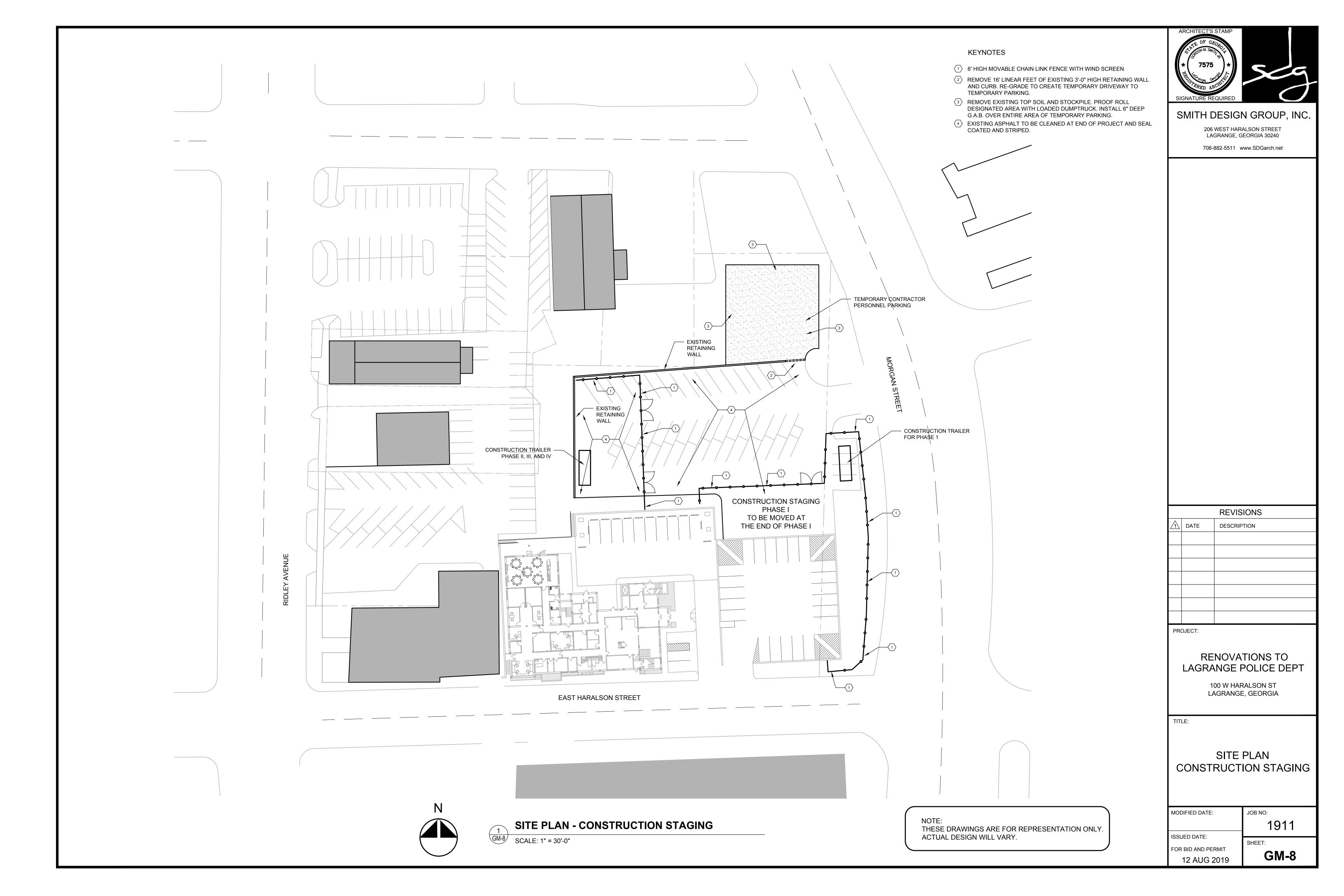
TITLE:

GENERAL NOTES

MODIFIED DATE:	JOB NO:
	1911
ISSUED DATE:	SHEET:
FOR BID AND PERMIT	SHEET.

12 AUG 2019

GM-7



ADDITIVE ALTERNATIVES

BASE BID - ALL WORK IN PHASE ONE

IN SPACES 128 AND 129 INSTALL NEW PORCELAIN TILE FLOORS AND NEW PORCELAIN TILE (FULL HEIGHTS) ON ALL WALLS, PROVIDE NEW PLUMBING FIXTURES, NEW CEILING, NEW LIGHTS AND NEW VANITY PER DETAIL 4/A7-1.

ADDITIVE ALTERNATIVE NO.3- ALL WORK IN PHASE III (3)

ADDITIVE ALTERNATIVE NO.4- ALL WORK IN PHASE IV (4)

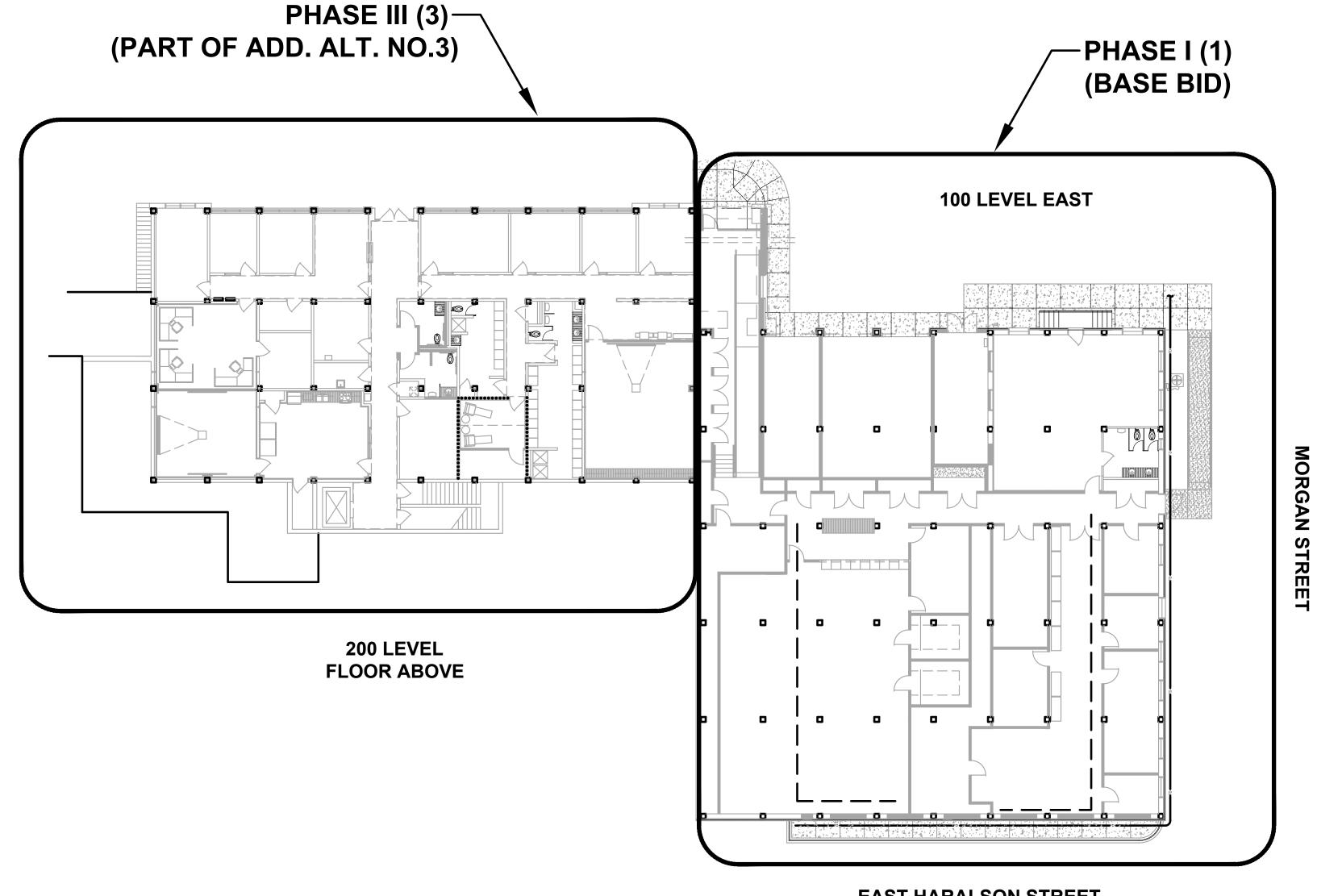
ITS ENTIRETY FROM THE SITE. INSTALL NEW CAT 7 CABLING FROM ALL NEW AND EXISTING DATA DROPS, HOMERUN EACH DROP TO FEET OF SLACK IN SPACE 108 FOR OWNER TO TERMINATE. COORDINATE TO TEST AND LABEL ALL DROPS.

ADDITIVE ALTERNATIVE NO.6

TO REMOVE ALL EXISTING DATA CABLING ON THE 200 LEVEL, IN ITS ENTIRETY FROM THE SITE. INSTALL NEW CAT 7 CABLING FROM ALL NEW AND EXISTING DATA DROPS, HOMERUN EACH DROP TO FEET OF SLACK IN SPACE 225 FOR OWNER TO TERMINATE.

TO REMOVE ALL EXISTING DATA CABLING ON THE 300 LEVEL, IN ITS ENTIRETY FROM THE SITE. INSTALL NEW CAT 7 CABLING FROM ALL NEW AND EXISTING DATA DROPS, HOMERUN EACH DROP TO SPACE 338. MAKE TERMINATIONS AT WALL LOCATIONS, LEAVE SIX (6) FEET OF SLACK IN SPACE 338 FOR OWNER TO TERMINATE.

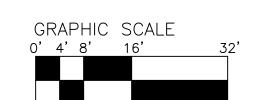
100 LEVEL NORTH



EAST HARALSON STREET



100 LEVEL - PHASING Scale: 1/16" = 1'-0"



REVISIONS 1 DATE DESCRIPTION

PROJECT:

RENOVATIONS TO LAGRANGE POLICE DEPT

> 100 W HARALSON ST LAGRANGE, GEORGIA

TITLE:

PHASING

MODIFIED DATE: JOB NO: 1911 ISSUED DATE:

FOR BID AND PERMIT 12 AUG 2019 SHEET: GM-9

ADDITIVE ALTERNATIVE NO.1

ADDITIVE ALTERNATIVE NO.2- ALL WORK IN PHASE II (2)

ADDITIVE ALTERNATIVE NO.5

TO REMOVE ALL EXISTING DATA CABLING ON THE 100 LEVEL, IN SPACE 108. MAKE TERMINATIONS AT WALL LOCATIONS, LEAVE SIX (6)

SPACE 225. MAKE TERMINATIONS AT WALL LOCATIONS, LEAVE SIX (6) COORDINATE TO TEST AND LABEL ALL DROPS.

ADDITIVE ALTERNATIVE NO.7

COORDINATE TO TEST AND LABEL ALL DROPS.

Phasing and Liquidated Damages

To be Substantial Complete within 190 Consecutive Calendar Days, after commencement of work , on Phase 1. Liquidated Damages in the sum of \$100 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

Phase 2

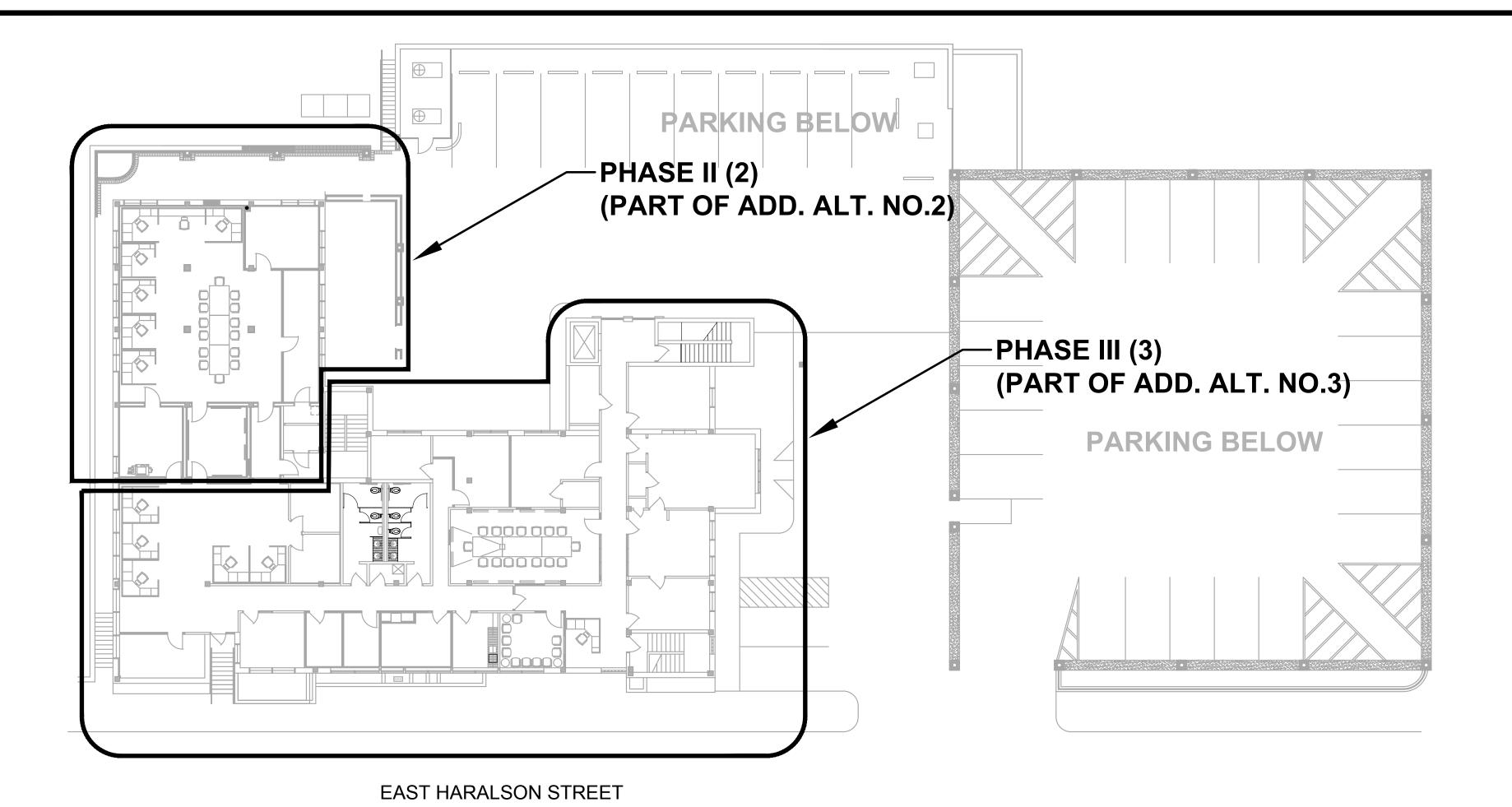
To begin 14 Days after Substantial Completion of Phase 1, and To be Substantial Complete within 140 Consecutive Calendar Days, after commencement of work, on Phase 2. Liquidated Damages in the sum of \$200 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

To begin 14 Days after Substantial Completion of Phase 2, and To be Substantial Complete within 120 Consecutive Calendar Days, after commencement of work, on Phase 3. Liquidated Damages in the sum of \$200 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

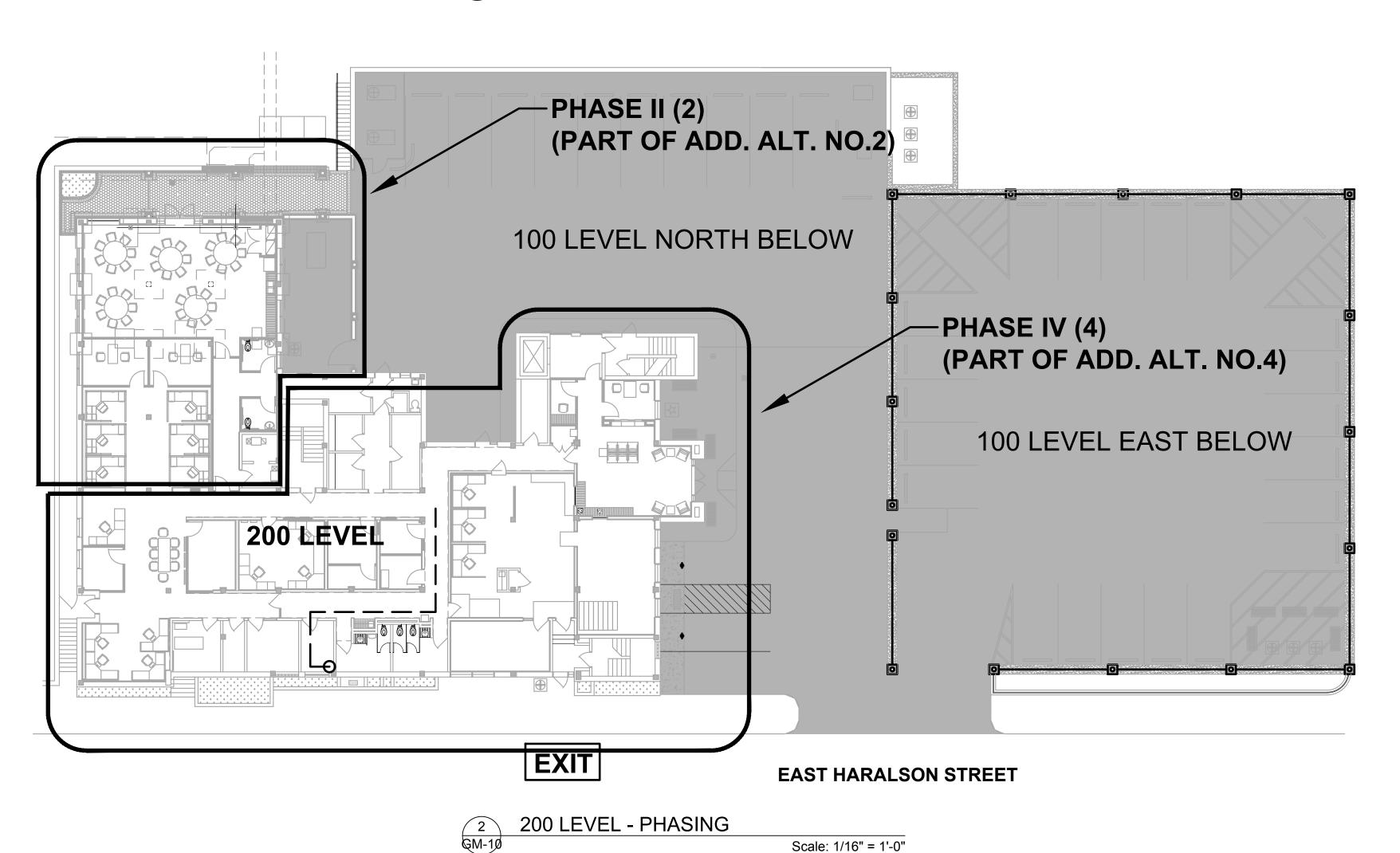
Phase 4

To begin 14 Days after Substantial Completion of Phase 3, and To be Substantial Complete within 120 Consecutive Calendar Days, after commencement of work, on Phase 4. Liquidated Damages in the sum of \$200 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

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300 LEVEL - PHASING 1 GM-10 Scale: 1/16" = 1'-0"



Scale: 1/16" = 1'-0"

ADDITIVE ALTERNATIVES

BASE BID - ALL WORK IN PHASE ONE

ADDITIVE ALTERNATIVE NO.1

IN SPACES 128 AND 129 INSTALL NEW PORCELAIN TILE FLOORS AND NEW PORCELAIN TILE (FULL HEIGHTS) ON ALL WALLS, PROVIDE NEW PLUMBING FIXTURES, NEW CEILING, NEW LIGHTS AND NEW VANITY PER DETAIL 4/A7-1.

ADDITIVE ALTERNATIVE NO.2- ALL WORK IN PHASE II (2)

ADDITIVE ALTERNATIVE NO.3- ALL WORK IN PHASE III (3)

ADDITIVE ALTERNATIVE NO.4- ALL WORK IN PHASE IV (4)

ADDITIVE ALTERNATIVE NO.5

TO REMOVE ALL EXISTING DATA CABLING ON THE 100 LEVEL, IN ITS ENTIRETY FROM THE SITE. INSTALL NEW CAT 7 CABLING FROM ALL NEW AND EXISTING DATA DROPS, HOMERUN EACH DROP TO SPACE 108. MAKE TERMINATIONS AT WALL LOCATIONS, LEAVE SIX (6) FEET OF SLACK IN SPACE 108 FOR OWNER TO TERMINATE. COORDINATE TO TEST AND LABEL ALL DROPS.

ADDITIVE ALTERNATIVE NO.6

TO REMOVE ALL EXISTING DATA CABLING ON THE 200 LEVEL, IN ITS ENTIRETY FROM THE SITE. INSTALL NEW CAT 7 CABLING FROM ALL NEW AND EXISTING DATA DROPS, HOMERUN EACH DROP TO SPACE 225. MAKE TERMINATIONS AT WALL LOCATIONS, LEAVE SIX (6) FEET OF SLACK IN SPACE 225 FOR OWNER TO TERMINATE. COORDINATE TO TEST AND LABEL ALL DROPS.

ADDITIVE ALTERNATIVE NO.7

TO REMOVE ALL EXISTING DATA CABLING ON THE 300 LEVEL, IN ITS ENTIRETY FROM THE SITE. INSTALL NEW CAT 7 CABLING FROM ALL NEW AND EXISTING DATA DROPS, HOMERUN EACH DROP TO SPACE 338. MAKE TERMINATIONS AT WALL LOCATIONS, LEAVE SIX (6) FEET OF SLACK IN SPACE 338 FOR OWNER TO TERMINATE. COORDINATE TO TEST AND LABEL ALL DROPS.

Phasing and Liquidated Damages

Phase 1

To be Substantial Complete within 190 Consecutive Calendar Days, after commencement of work , on Phase 1. Liquidated Damages in the sum of \$100 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

Phase 2

To begin 14 Days after Substantial Completion of Phase 1, and To be Substantial Complete within 140 Consecutive Calendar Days, after commencement of work, on Phase 2. Liquidated Damages in the sum of \$200 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

Phase 3

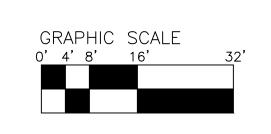
MORGAN

S

TRE

To begin 14 Days after Substantial Completion of Phase 2, and To be Substantial Complete within 120 Consecutive Calendar Days, after commencement of work, on Phase 3. Liquidated Damages in the sum of \$200 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.

To begin 14 Days after Substantial Completion of Phase 3, and To be Substantial Complete within 120 Consecutive Calendar Days, after commencement of work, on Phase 4. Liquidated Damages in the sum of \$200 a day (Consecutive Calendar Days) will be due the Owner, If Substantial Completion deadline is not met by the General Contractor. No time extensions will be granted for Rain and Mud days since this project is Mainly Interior Renovations, and the Contractor's Staging Areas are already a paved surface.







SMITH DESIGN GROUP, INC.

206 WEST HARALSON STREET LAGRANGE, GEORGIA 30240

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	REVISIONS											
1	DATE	DESCRIPTION										

PROJECT:

RENOVATIONS TO LAGRANGE POLICE DEPT

> 100 W HARALSON ST LAGRANGE, GEORGIA

TITLE:

PHASING

MODIFIED DATE: JOB NO: 1911 ISSUED DATE:

FOR BID AND PERMIT 12 AUG 2019

SHEET: **GM-10**

HVAC SPECIFICATIONS

HVAC GENERAL

Refer to all other drawings and specifications, and be responsible for all applicable provisions therein. Furnish and install all necessary labor and materials for a complete system. Any appliances or materials obviously a part of the system and necessary for its proper operation, although not specifically mentioned herein, shall be furnished and installed as if called for in detail. Workmanship and materials shall be in accordance with all state and local codes, NFPA 90A, and the building regulations. Attain and pay for all required permits and fees. Equipment and materials shall be new unless otherwise specified. Mechanical Contractor shall be licensed to handle CFC refrigerants.

Drawings are generally diagrammatic and do not necessarily show every fitting, offset, drop and rise of runs, and detail. Install ducts, equipment, and controls in a neat, workmanlike manner and in accordance with good practice for a complete, workable installation. Avoid conflict with other work; make adequate provisions for preventing noise and vibration. Drawings indicate locations of fixtures, apparatus, ductwork and piping; while these are to be followed as closely as possible, if it is necessary to change the location of same to accommodate building conditions, make changes without additional cost to the Owner and as approved by the Architect. Provide adequate access to equipment and apparatus requiring operation, service, or maintenance within the life of the system. Do not run piping or ductwork, or locate equipment (with respect to switchboards, panel boards, power panels, motor control centers, or dry type transformers) within 42 inches in front of equipment, over equipment, or within 36 inches horizontally of same space.

COORDINATION

Coordinate all work under this Division with work under other Divisions. Provide adjustments as necessary. Equipment, apparatus, ductwork, piping, etc., installed without regard for the space requirements of other trades will be reworked at the expense of the installing subcontractor if it creates an unnecessary hindrance to the installation of another trade's work. All items mounted at or below the ceiling and any item penetrating the ceiling shall be coordinated with the architectural reflected ceiling plans.

PROTECTION OF WORK DURING CONSTRUCTION

Provide protective covers, skids, plugs, or caps to protect equipment and materials from damage and deterioration during construction. Protect exposed coils with plywood or other suitable rigid covers to avoid damage to fins.

Protect all equipment and materials from damage. Any damage shall be repaired using the same materials at the Contractor's cost.

SUBMITTALS

Submit for review five copies of shop drawings on all equipment, grilles and diffusers, automatic control diagrams, ductwork layout, piping layout, and sheet metal construction standards.

Submit all shop drawings for review and approval prior to purchase, fabrication, and installation.

Refrigerant piping shall be leak tested using nitrogen and refrigerant charge with electronic leak detector. After repairing leaks, retest as required. After leak test, dehydrate by producing and holding vacuum of 2.5 in. hg. Maintain vacuum for 24 hours with maxmum 0.05 in. pressure rise. If leakage exceeds 0.05 in., repeat all of test before dehydration.

All leaks shall be repaired by tightening, re—welding, or replacing pipe and fittings.

Adjust dampers, registers, and diffusers for proper air distribution. Check system under actual operating conditions, and make adjustments for a uniform temperature through the conditioned space.

CLEANING AND ADJUSTING

The exterior surfaces of all mechanical equipment, piping, ducts, etc., shall be cleaned of all grease, oil, paint, and other construction debris. Ducts, plenums, and casings shall be cleaned of all debris and blown free of all particles of rubbish and dust before installing outlet faces. Bearings that require lubrication shall be lubricated in accordance with the manufacturer's recommendations. All control equipment shall be adjusted to the settings indicated or required for performance as specified. Flush water piping systems until water runs clean. Remove all stickers, rust, stains, labels, and temporary covers before final acceptance. Remove foreign matter from equipment, piping and ductwork systems, and appurtenances. Clean and polish identification plates. Remove all trash and debris from the job site on a daily basis.

BALANCING

Contractor shall retain the services of an independent Test and Balance agency. Testing and balancing of the HVAC systems shall be performed in accordance with AABC or NEBB standards. All air distribution devices, both new and existing, which show a design CFM, shall be balanced to within $\pm 10\%$ of the design CFM. Additionally, the percentage differential between the highest and lowest device on a single system shall be no more than 10%.

GUARANTEE

Materials and workmanship shall be guaranteed against defects for one year. Provide additional four years warranty on all compressors.

EQUIPMENT IDENTIFICATION

Provide labels for each equipment, starter and control switch. Labels to be engraved laminated bakelite nameplates with 1/4-inch high white cut letters; secure to starter or switch.

OPENINGS THROUGH ROOF AND EXTERIOR WALLS

Provide all necessary flashing and counterflashing to maintain the waterproof integrity of this building as required by the removal and/or installation of pipes, ducts, conduits, and equipment. Submit for review to the building management.

HVAC INSULATION

Quality Assurance: Specified components of this insulation system, including facings, mastics, and adhesives, shall have a fire hazard rating not to exceed 25 for flame spread and 50 for smoke developed rating, as per tests conducted in accordance with ASTM E84 (NFPA 255) methods.

Pipe Insulation:

TYPE P1 ASTM C534: Flexible, closed cell elastomeric, nominal 6 P.C.F. density, K factor 0.27 maximum at 75 degrees F mean, plenum rated.

Approved products: Armstrong AP Armaflex, Manville Aerotube II, Nomaco Therma-Cel, Rubatex R-180-F5.

Duct Insulation:

TYPE D1 ASTM C553 TYPE 1, CLASS B3: Fiberglass, nominal 1 (one) P.C.F. density blanket, K factor 0.31 maximum at 75 degrees F mean, with factory-applied FSK (Foil-Scrim-Kraft) vapor barrier jacket, for temperatures to 250 degrees F.

Approved products: CertainTeed "Standard Duct Wrap", Manville "Microlite", Owens/Corning Fiberglass RFK-75, Knauf "Ductwrap".

HVAC INSULATION (CONTINUED)

TYPE D2: Fiberglass, nominal 2.0 P.C.F. density liner, K factor 0.26 maximum at 75 degrees F mean, black coating, for temperatures to 250 degrees F.

Approved products: CertainTeed Ultralite Duct Liner 200, Manville Linacoustic, Knauf Duct Liner M.

Installation of Pipe Insulation:

Install insulation on pipe systems subsequent to testing and acceptance of test.

Maintain integrity of vapor—barrier jackets on pipe insulation, and protect to prevent puncture or other damage. Seal open ends of insulation with mastic. Sectionally seal all butt ends of all cold water piping insulation at fittings with white vapor barrier coating.

Cover valves, flanges, fittings, and similar items in each piping system with equivalent thickness and composition of insulation as applied to adjoining pipe run. Install factory—molded, precut or job—fabricated units (at Installer's option). Finish cold pipe fittings with white vapor barrier coating and hot piping with white vinyl acrylic mastic, both reinforced with glass cloth.

Extend piping insulation without interruption through walls, floors, and similar piping penetrations, except where otherwise

Installation of Ductwork Insulation:

Maintain integrity of vapor—barrier on ductwork insulation, and protect it to prevent puncture and other damage. Tape all punctures. Secure all ductwork with galvanized wire 12 inches O.C. Secure ductwork with outward clinching staples. Seal all longitudinal and circumferential joints with FSK tape.

Extend ductwork insulation without interruption through walls, floors, and similar ductwork penetrations, except where otherwise

Omit insulation on supply and return ductwork where internal insulation or sound—absorbing linings is installed.

All internal insulation shall be adhered to the duct with 100% coverage of approved fire-retardant mastic. All edges shall be sealed and any abrasions or tears repaired with mastic.

Increase indicated duct sizes to compensate for liner thickness.

Insulation Requirements:

Refrigerant Gas Piping: TYPE P1, 1/2-INCH THICKNESS

Interior Condensate Drain Piping: TYPE P1, 1/2—INCH THICKNESS

Ductwork, Supply and Return Air: TYPE D1, 2—INCH THICKNESS

Ductwork, Rectangular Supply and Return within 5 feet of each fan—coil unit: TYPE D2, 1—INCH THICKNESS

SHEET METAL WORK

Except as otherwise noted, all ductwork and other sheet metal work shall be installed in accordance with latest edition of the Sheet Metal and Air Conditioning Contractor National Association, Inc. (SMACNA), HVAC Duct Construction Standards manual. Ductwork shall be galvanized sheet steel, unless otherwise noted. Fiberglass ductwork is NOT acceptable.

Minimum ductwork static pressure construction shall be 2—inch W.G. All ducts shall be seal Class "C".

Low pressure flexible duct shall be similar to Flexmaster Type 5 or approved equal, with 1-inch thick insulation and shall conform to U.L. 181 and NFPA Bulletin 90A. Maximum length shall not exceed four (4) feet

Volume Dampers: Same material as duct, per SMACNA, except provide bearing at one end of damper rod and quadrant with lever and lockscrew at other end. For insulated ducts, quadrants mounted on collar shall clear insulation; install with levers accessible outside insulation. Balancing dampers shall be the opposed blade type.

Flexible Connections: Neoprene—coated glass fabric, 30 oz. per square yard with sewed and cemented seams, similar to vent fabrics. Provide flexible connections between all equipment and rigid ductwork. Fabric connections shall be at least four (4) inches long and have metal collar at each end; allow at least one—inch slack to eliminate vibration transmission.

Turning Vanes: Galvanized steel, single thickness vanes with minimum 2—inch inside radius. All square elbows shall have turning vanes.

Duct sizes shown are clear inside dimensions. Where internal insulation is called for, dimensions shall be increased by thickness of insulation.

Portions of ductwork visible through supply and return air openings shall be painted flat black.

Transition rectangular ductwork on the bottom and the sides. Maintain ductwork level and as high as possible unless noted

All branch ductwork shall be sized to match the inlet of the diffusers or grille served. Flexible duct runouts may NOT be used in inaccessible locations.

All duct transitions from square to round shall be smooth square—to—round transitions. Spin—in fittings at the end of capped ducts are not acceptable.

For round duct take-offs from metal ducts, use Genflex Model No. SM-1DEL "Spin-in" fitting.

General: Piping shall be complete with pipe fittings, valves, couplings, hanger rods, hangers, supports, guides, sleeves, and accessories in conformance with the latest codes and ASME, ANSI, ASTM, and MSS Standards.

For pipe sizes not indicated on plans, see manufacturer's equipment connection details.

Avoid entry of foreign matter into piping during construction. After completion of piping, flush water system with water until

Provide minimum pitch of condensate drain piping to insure adequate venting and drainage.

PIPING (CONTINUED)

Piping Material:

Refrigerant piping shall be copper ASTM #B280, factory cleaned, nitrogen charged, and capped.

Condensate discharge piping shall be schedule 40 PVC.

Refrigerant Pipe Size:

Liquid and suction refrigerant lines shall be sized per manufacturer's recommendations.

Condensate drain piping shall be full size of unit connection or 3/4", whichever is larger.

AIR DISTRIBUTION DEVICES

Diffusers, registers, and grilles shall be as scheduled on the drawings, Titus models noted, or equal.

Ceiling diffusers shall be 4—way throw, unless shown otherwise on drawings.

All diffusers and registers shall be furnished with opposed-blade dampers.

ceiling plan.

Exact location of all ceiling—mounted diffusers, grilles, and registers to be coordinated with lighting layout and reflected

LOUVERS

Wall intake and relief louvers shall be 6" deep extruded aluminum with drainable blade design, channel frame and rear-mounted birdscreen. louvers shall be Ruskin model ELF6375DX, or equal.

EQUIPMENT

Split system heat pump units: Direct expansion split system heat pumps consisting of an outdoor, air cooled heat pump and an indoor fan-coil unit complete with direct-driven centrifugal blower assembly, evaporator coil with drain pan, auxiliary electric resistance heater and inlet filter rack with filter. Capacities shall be as scheduled on the drawings. Units shall be provided with a seven day programmable wall thermostat with "FAN ON—AUTO" control. Split system heat pumps shall be Carrier, as scheduled, or approved equal.

Four—pipe fan—coil units: Horizontal, furred—in fan—coil unit with return plenum, filter rack, chilled water cooling coil, hot water heating coil and direct driven centrifugal blower assembly. Unit housing shall be galvanized steel with internal liner, with optional drip lip. Fan-coil units shall be Carrier, as scheduled, or approved equal.

Fans: Shall be Cook models, as scheduled on the drawings, or equal. Direct drive fans shall be furnished with solid state speed controls to allow balancing to the specified air flow. Speed controllers shall be mounted directly to the fan housing, unless noted otherwise. Ceiling fans shall be provided with acoustically insulated housing, direct—driven centrifugal blower, inlet grille, disconnect switch, outlet duct connection with gravity shutter and wall cap. Capacities shall be as scheduled on the

Roof Intake Hood: Intake hood shall be "mushroom" type, with spun aluminum housing, birdscreen and prefab roof curb. Hood shall be Cook model PR-16, or equal.

AUTOMATIC CONTROLS

Mechanical Contractor shall retain the services of a qualified automatic controls contractor.

The intent of this section is to obtain a complete, functional control for all mechanical equipment, systems, and devices of the project. This Contractor is to furnish and install, as required, electric/electronic or pneumatic controls, all necessary components, control wiring, interlock wiring, contactors, relays, control transformers, alarms, control valves, etc., to achieve the desired control operation for the air conditioning systems.

Control Wiring: Shall be #12 CU. THHN installed in EMT conduit (minimum 1/2-inch diameter) or plenum-rated cable.

Automatic Dampers: Automatic dampers shall be similar to Ruskin Model CD40. Automatic damper shall be factory—fabricated and sized, and provided by control manufacturer.

Sequence of Operation:

Each split system heat pump unit (HP-1 through HP-13) shall be controlled by a wall mounted seven-day programmable thermostat. When the system is in the occupied mode, the blower shall run continuously. In the unoccupied mode, the blowers shall cycle with the heating or cooling. Outside air dampers shall open only when the blower is running.

Exhaust fans F-1 through F-5 shall be controlled as listed in the fan schedule.

ARCHITECT'S STAMP SIGNATURE REQUIRED

SMITH DESIGN GROUP, INC.

206 WEST HARALSON STREET LAGRANGE, GEORGIA 30240

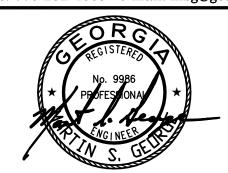
706-882-5511

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GEORGE

LNGINEERING ASSOCIATES, LLC

405 Millard Farmer Road, Newnan, GA 30263 phone: 770-252-4669 e-mail: msg@gea-llc.com



REVISIONS DESCRIPTION

RENOVATIONS TO LAGRANGE POLICE DEPT

100 W HARALSON ST LAGRANGE, GEORGIA

TITLE:

PROJECT:

HVAC **SPECIFICATIONS**

MODIFIED DATE: JOB NO: 1911 ISSUED DATE: SHEET:

12 AUG 2019 M0.1

						SF	L l	T	SYSTEM	1 HE	AT PUMP	UNIT	S					
						INDOOR U	NIT							OUT	DOOR U	INIT		
		AIR FLOW	DATA COOLING DATA HEATING DATA				AMBIENT	AMBIENT				 REMARKS						
SYMBOL	SUPPLY	O.A. CFM		MAX.	TOTAL	SENSIBLE	EAT	' F	REFRIG. HEAT AT 47°F AMBIENT	ELECTRIC HEAT	MODEL	SYMBOL	AIR TEMP	AIR TEMP	SEER	HSPF		REMARKS
	CFM	MAX/MIN	IN. W.G.	HP	MBH	МВН	DB	WB	BTUH	KW			(COOLING)	(HEATING)				
FCU-1	900	140	0.60	1/2	28.3	20.6	80	67	29,000	8.0	CARRIER FX4DNF031	HP-1	95 ° F	47°F	15.3	8.7	CARRIER 25HCC530	1
FCU-2	1080	160	0.60	1/2	34.4	25.6	80	67	34,600	8.0	CARRIER FX4DNF037	HP-2	95 ° F	47°F	15.0	8.7	CARRIER 25HCC536	1
FCU-3	530	80	0.60	1/3	17.4	12.7	80	67	17,800	5.0	CARRIER FX4DNF019	HP-3	95 ° F	47°F	15.3	8.6	CARRIER 25HCC518	1
FCU-4	720	100	0.60	1/3	23.4	16.9	80	67	23,700	5.0	CARRIER FX4DNF025	HP-4	95 ° F	47°F	15.3	8.7	CARRIER 25HCC524	1
FCU-5	1400	200	0.60	3/4	46.7	34.0	80	67	45,900	8.0	CARRIER FX4DNF049	HP-5	95 ° F	47°F	15.0	8.7	CARRIER 25HCC548	1
FCU-6	1230	200	0.60	1/2	41.3	29.5	80	67	41,500	8.0	CARRIER FX4DNF043	HP-6	95 ° F	47°F	15.0	8.7	CARRIER 25HCC542	1
FCU-7	590	80	0.60	1/3	17.4	12.7	80	67	17,800	5.0	CARRIER FX4DNF019	HP-7	95 ° F	47°F	15.3	8.6	CARRIER 25HCC518	1
FCU-8	1100	160	0.60	1/2	34.4	25.6	80	67	34,600	8.0	CARRIER FX4DNF037	HP-8	95 ° F	47°F	15.0	8.7	CARRIER 25HCC536	1
FCU-9	1200	230	0.60	1/2	41.3	29.5	80	67	41.500	8.0	CARRIER FX4DNF043	HP-9	95 ° F	47 ° F	15.0	8.7	CARRIER 25HCC542	1
FCU-10	1800	250	0.60	3/4	57.0	42.0	80	67	57,000	10.0	CARRIER FX4DNF061	HP-10	95 ° F	47 ° F	15.0	8.5	CARRIER 25HCC560	1
FCU-11	1080	160	0.60	1/2	34.4	25.6	80	67	34,600	8.0	CARRIER FX4DNF037	HP-11	95 ° F	47°F	15.0	8.7	CARRIER 25HCC536	1
FCU-12	350	_	_	1/10	11.1	8.2	80	67	13,600	_	MITSUBISHI SLZ-KA12NA	HP-12	95 ° F	47°F	15.4	9.6	MITSUBISHI SUZ-KA-12NA	1
FCU-13A	1800	_	_	3/4	9.0	6.3	80	67	11,000	_	MITSUBISHI MSZ-GE09NA	HP-13	95 ° F	47°F	18.0	8.9	MITSUBISHI MXZ-2B20NA-1	
FCU-13B	1800	_	_	3/4	9.0	6.3	80	67	11,000	_	MITSUBISHI MSZ-GE09NA	пР-13	957	4 /	10.0	0.9	MITOUDIONI MAZ-ZDZUNA-I	

⁽¹⁾ PROVIDE COMMERCIAL, SEVEN-DAY PROGRAMMABLE WALL THERMOSTAT WITH FAN ON/AUTO CONTROL. SET FAN TO RUN CONTINUOUS DURING OCCUPIED HOURS.

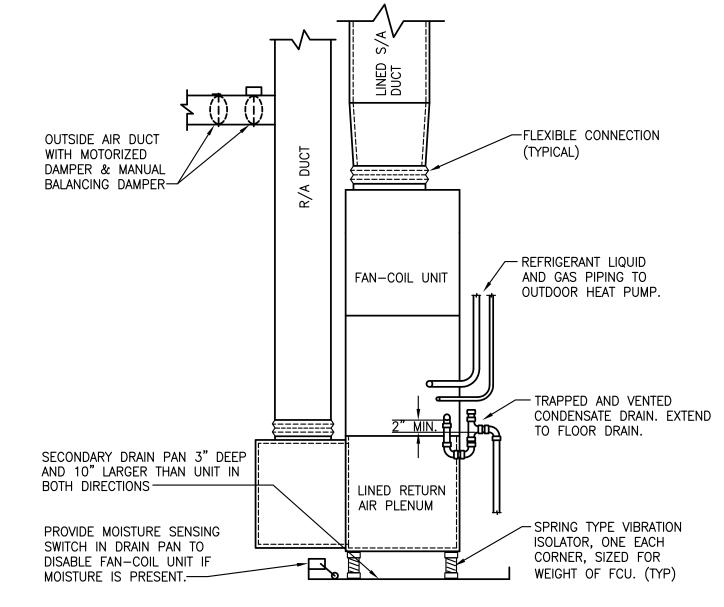
	FOUR PIPE FAN COIL UNITS																	
	AIR FLOW DATA COOLING DATA							HEATING DATA										
SYMBOL	S.A. CFM	O A CEM	E.S.P.	EVN HD	TOTAL	SENSIBLE	EA ⁻	T °F CHILLED WATER		TOTAL	EAT		HOT WA	TER	MODEL	REMARKS		
	J.A. CIW	O.A. CI W	FM E.S.P. IN W.G. FAN HP TOTAL SENSIBLE EAT 'F CHILLED WATER TOTAL MBH DB WB GPM EWT 'F MAX. \(\triangle P\) MBH	мвн	1 4	GPM	EWT 'F	MAX. △P										
CHFC-1	620	_	0.40	1/6	18.4	13.4	80	67	4.6	45	10'	12.4	70	1.6	180	10'	CARRIER 42CEA08	
CHFC-13	420	_	0.50	1/6	11.4	9.2	80	67	2.9	45	10'	6.0	70	0.8	180	10'	CARRIER 42CEA06	
CHFC-19	810	_	0.40	1/6	21.9	17.5	80	67	5.4	45	10'	6.0	70	0.8	180	10'	CARRIER 42CEA10	

	FANS										
MARK	SERVICE	TYPE	CFM	ESP IN W.C.	MAX. RPM	MAX. H.P.	DRIVE	MAX. SONES	CONTROLLED BY	MODEL	ACCESSORIES
F-1	EVIDENCE EXH	IN-LINE	740	0.50	900	1/3	DIRECT	4.0	WALL SWITCH	COOK GN-822	1
F-2	OFFICE VENT	CENT. CLG.	50	0.25	750	1/10	DIRECT	1.0	WALL SWITCH	COOK GC-128	2
F-3	TOILET EXH	CENT. CLG.	80	0.35	900	1/10	DIRECT	1.5	LIGHT SWITCH	COOK GC-146	2
F-4	TOILET EXH	CENT. CLG.	80	0.35	900	1/10	DIRECT	1.5	LIGHT SWITCH	COOK GC-146	2
F-5	TOILET EXH	CENT. CLG.	80	0.35	900	1/10	DIRECT	1.5	LIGHT SWITCH	COOK GC-146	2

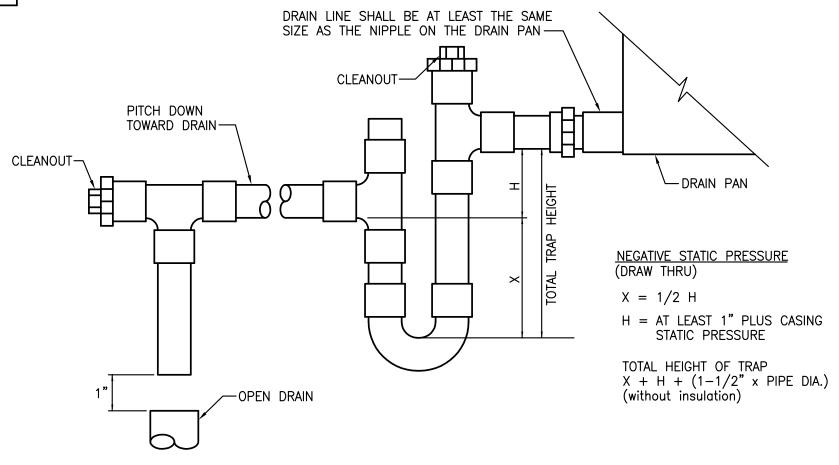
¹⁾ PROVIDE FAN WITH INLET & OUTLET DUCT FLANGES, DISCONNECT, GRAVITY SHUTTER AND SPEED CONTROL SWITCH FOR BALANCING.

² PROVIDE FAN WITH INLET GRILLE, OUTLET DUCT FLANGE, DISCONNECT, GRAVITY SHUTTER AND SPEED CONTROL SWITCH FOR BALANCING.

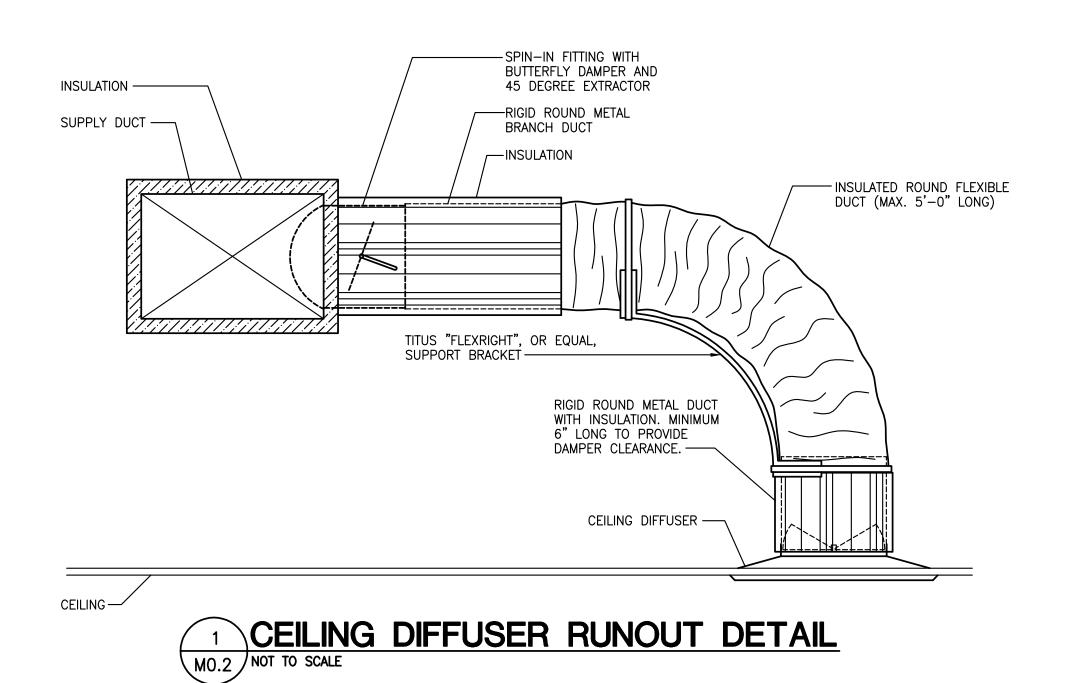
	AIR DISTRIBUTION DEVICES									
MARK	TYPE	NECK SIZE	OBD	FINISH	MODEL	REMARKS				
Α	LAY-IN CEILING DIFFUSER	6"ø	YES	OFF-WHITE	PRICE SPD-31, 24X24 LAY-IN, VCR7 DAMPER					
В	LAY-IN CEILING DIFFUSER	8"ø	YES	OFF-WHITE	PRICE SPD-31, 24X24 LAY-IN, VCR7 DAMPER					
С	LAY-IN CEILING DIFFUSER	10"ø	YES	OFF-WHITE	PRICE SPD-31, 24X24 LAY-IN, VCR7 DAMPER					
D	SIDEWALL SUPPLY REGISTER	8X4	YES	OFF-WHITE	PRICE 520D-F-S-A					
Ε	SIDEWALL SUPPLY REGISTER	10X4	YES	OFF-WHITE	PRICE 520D-F-S-A					
F	SIDEWALL SUPPLY REGISTER	16X4	YES	OFF-WHITE	PRICE 520D-F-S-A					
G	SIDEWALL SUPPLY REGISTER	16X5	YES	OFF-WHITE	PRICE 520D-F-S-A					
Н	SIDEWALL SUPPLY REGISTER	16X6	YES	OFF-WHITE	PRICE 520D-F-S-A					
J	SIDEWALL SUPPLY REGISTER	24X6	YES	OFF-WHITE	PRICE 520D-F-S-A					
K	LAY-IN RETURN AIR GRILLE	8"ø	NO	OFF-WHITE	PRICE PDDR-3, 24X24 LAY-IN					
L	LAY-IN RETURN AIR GRILLE	10"ø	NO	OFF-WHITE	PRICE PDDR-3, 24X24 LAY-IN					
М	LAY-IN RETURN AIR GRILLE	12 " ø	NO	OFF-WHITE	PRICE PDDR-3, 24X24 LAY-IN					
N	LAY-IN RETURN AIR GRILLE	24X12	NO	OFF-WHITE	PRICE PDDR-3, 24X24 LAY-IN	NON-DUCTED				
Р	LAY-IN RETURN AIR GRILLE	24X24	NO	OFF-WHITE	PRICE PDDR-3, 24X24 LAY-IN	NON-DUCTE				
Q	SIDEWALL RETURN AIR GRILLE	16X12	NO	OFF-WHITE	PRICE 530-F-L-A					
R	SIDEWALL RETURN AIR GRILLE	20X20	NO	OFF-WHITE	PRICE 530-F-L-A					
S	SIDEWALL RETURN AIR GRILLE	30X16	NO	OFF-WHITE	PRICE 530-F-L-A					
Т	SIDEWALL RETURN AIR GRILLE	36X18	NO	OFF-WHITE	PRICE 530-F-L-A					
U	SIDEWALL EXHAUST REGISTER	10X6	YES	OFF-WHITE	PRICE 530D-F-L-A					
٧	SIDEWALL EXHAUST REGISTER	18X6	YES	OFF-WHITE	PRICE 530D-F-L-A					
W	CEILING EXHAUST REGISTER	10X10	YES	OFF-WHITE	PRICE 80DAL-F-A					
Χ	LAY-IN EXHAUST REGISTER	8"ø	YES	OFF-WHITE	PRICE 80DAL-TB, 24X24 LAY-IN					
Υ	LAY-IN RETURN AIR GRILLE	16"ø	NO	OFF-WHITE	PRICE PDDR-3, 24X24 LAY-IN					
Z	SIDEWALL SUPPLY REGISTER	12X4	YES	OFF-WHITE	PRICE LBP15B-1000-DV-VCS3-A					
AA	SIDEWALL RETURN AIR GRILLE	16X4	NO	OFF-WHITE	PRICE 530-F-L-A					
BB	SIDEWALL SUPPLY REGISTER	20X4	YES	OFF-WHITE	PRICE 520D-F-S-A					
CC	CEILING RETURN AIR GRILLE	20X20	NO	OFF-WHITE	PRICE 80-F-A					
DD	LAY-IN RETURN AIR GRILLE	14"ø	NO	OFF-WHITE	PRICE PDDR-3, 24X24 LAY-IN					



3 DETAIL - FAN-COIL UNIT MO.2 NOT TO SCALE



2 CONDENSATE DRAIN TRAP DETAIL MO.2 NOT TO SCALE



HVAC LEGEND

SLOT DIFFUSER SUPPLY DIFFUSER RETURN OR EXHAUST GRILLE DUCT DIMENSION: A — HORIZONTAL AxB B - VERTICAL ₹ — R ₹ DUCT RISE

DUCT DROP

DUCT TURN DOWN DUCT TURN UP

 \sim

-D

CFM

FLEXIBLE DUCT CONNECTION FLEXIBLE DUCTWORK SPIN-IN FITTING

DUCT WITH ACOUSTICAL LINER

FIRE DAMPER CONDENSATE DRAIN LINE

90° ELBOW WITH TURNING VANES OPPOSED BLADE DAMPER (PLAN)

OPPOSED BLADE DAMPER (SECTION) FABRIC DUCT/DIFFUSER

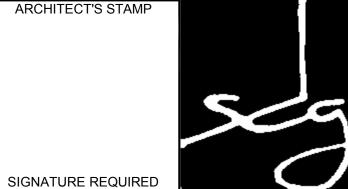
SMOKE DETECTOR Φ_{N} NIGHT SETBACK THERMOSTAT

 \boxtimes COMBINATION STARTER/DISCONNECT THERMOSTAT

FAN SWITCH

EQUIPMENT DISIGNATION: X — EQUIPMENT Y — EQUIPMENT NUMBER

AIR DISTRIBUTION DEVICE: X - LETTER DEVICE CFM - AIR QUANTITY IN FT3/MIN.



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GEORGE Engineering

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ASSOCIATES, LLC



REVISIONS 1 DATE DESCRIPTION

PROJECT:

RENOVATIONS TO LAGRANGE POLICE DEPT

> 100 W HARALSON ST LAGRANGE, GEORGIA

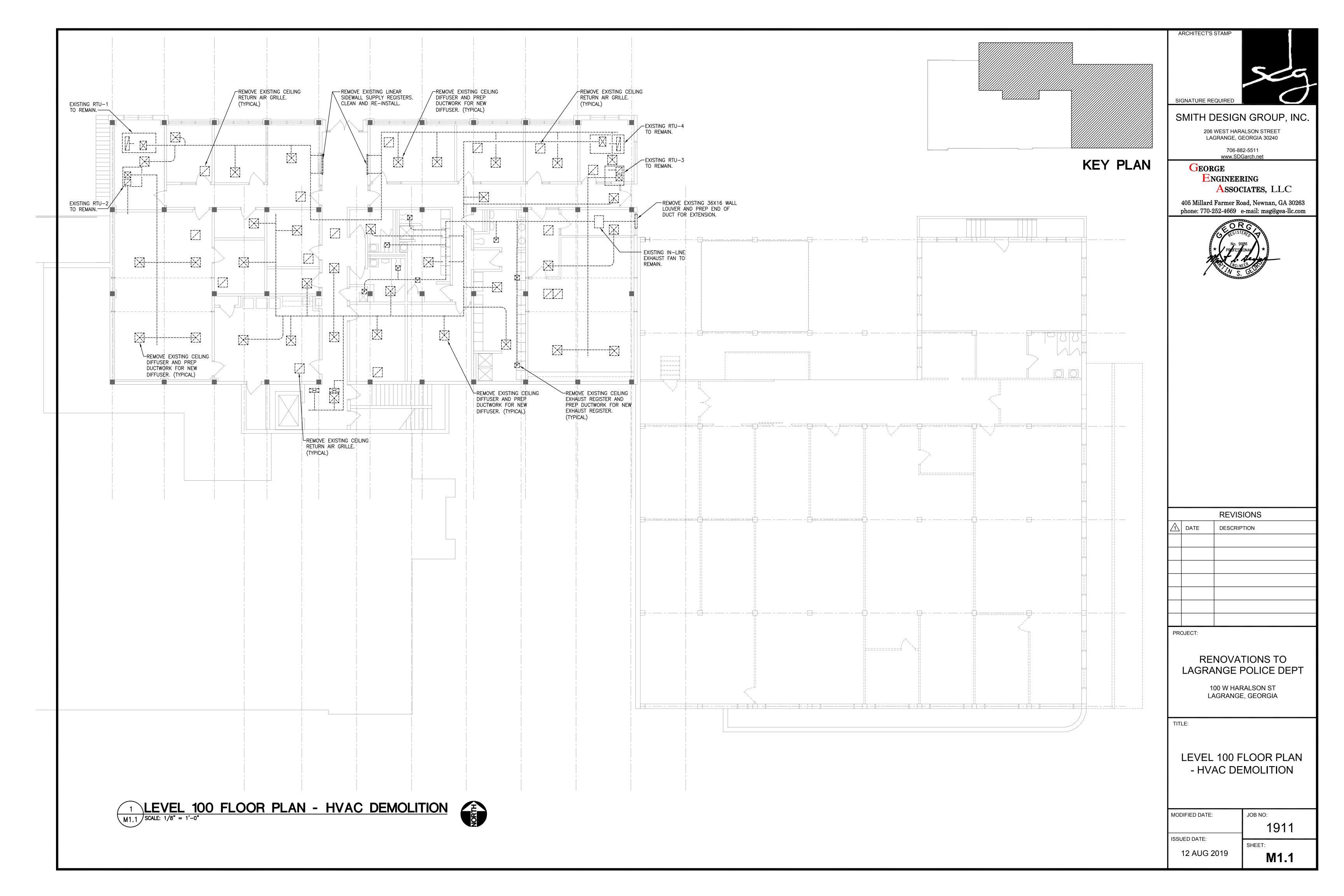
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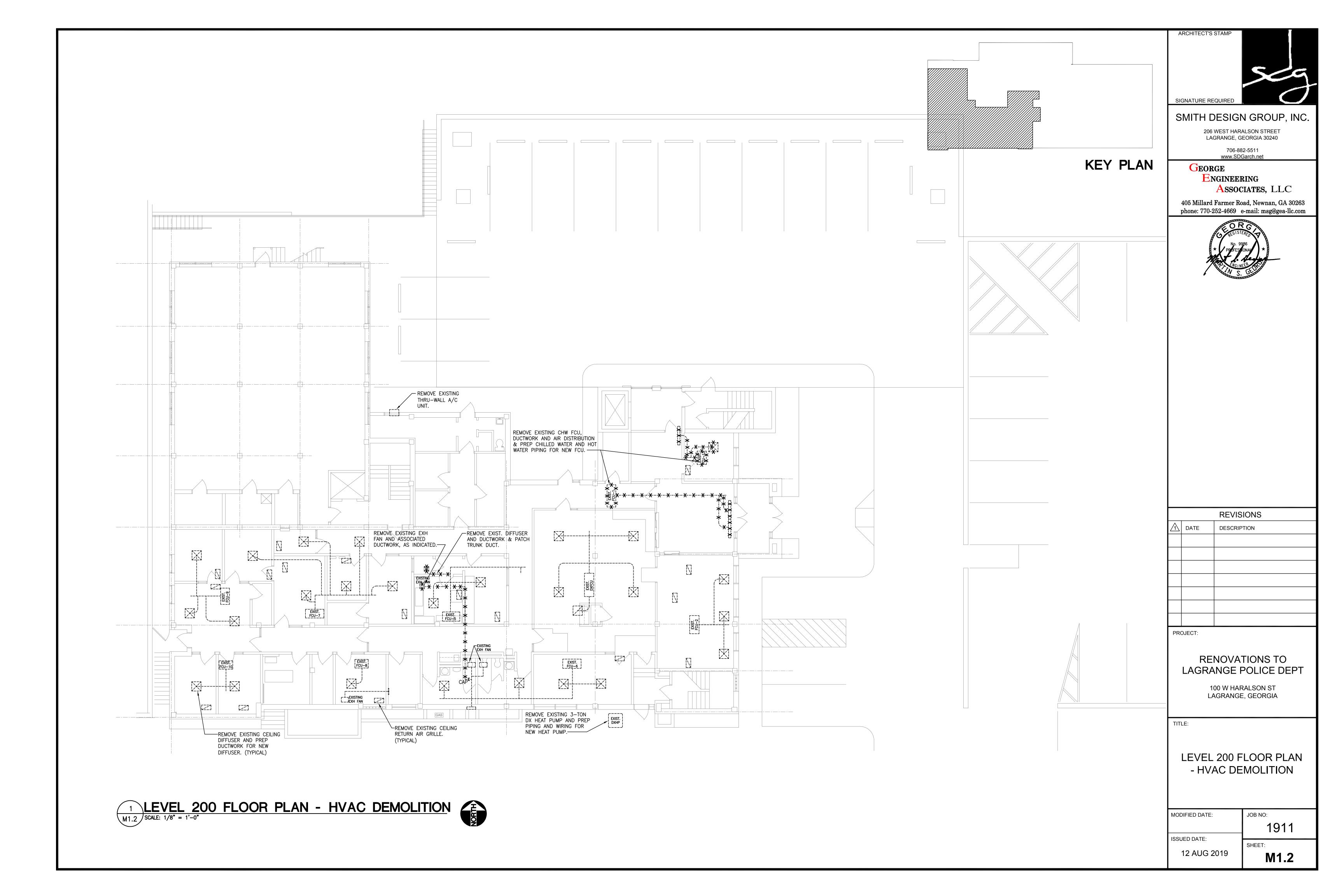
HVAC DETAILS AND SCHEDULES

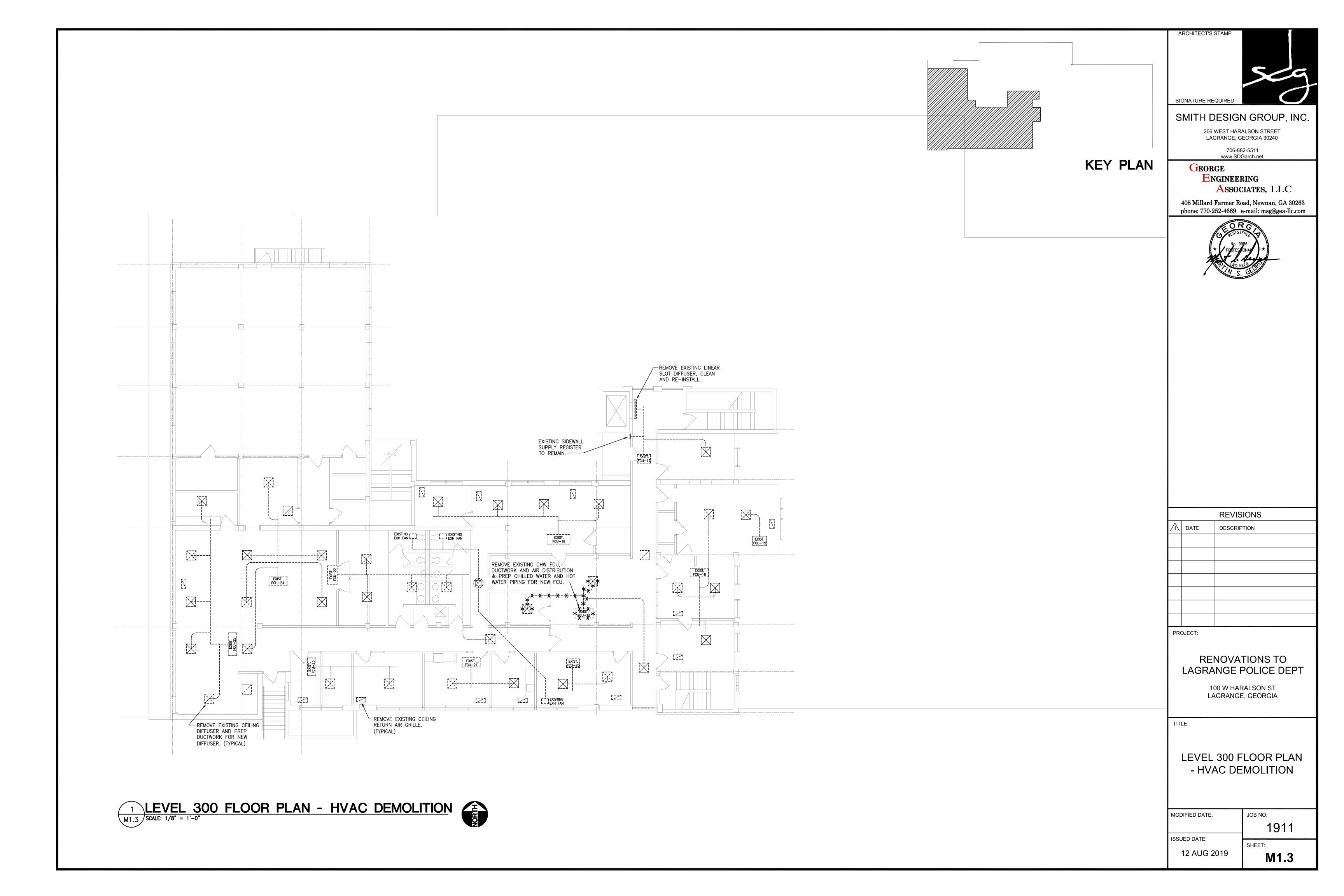
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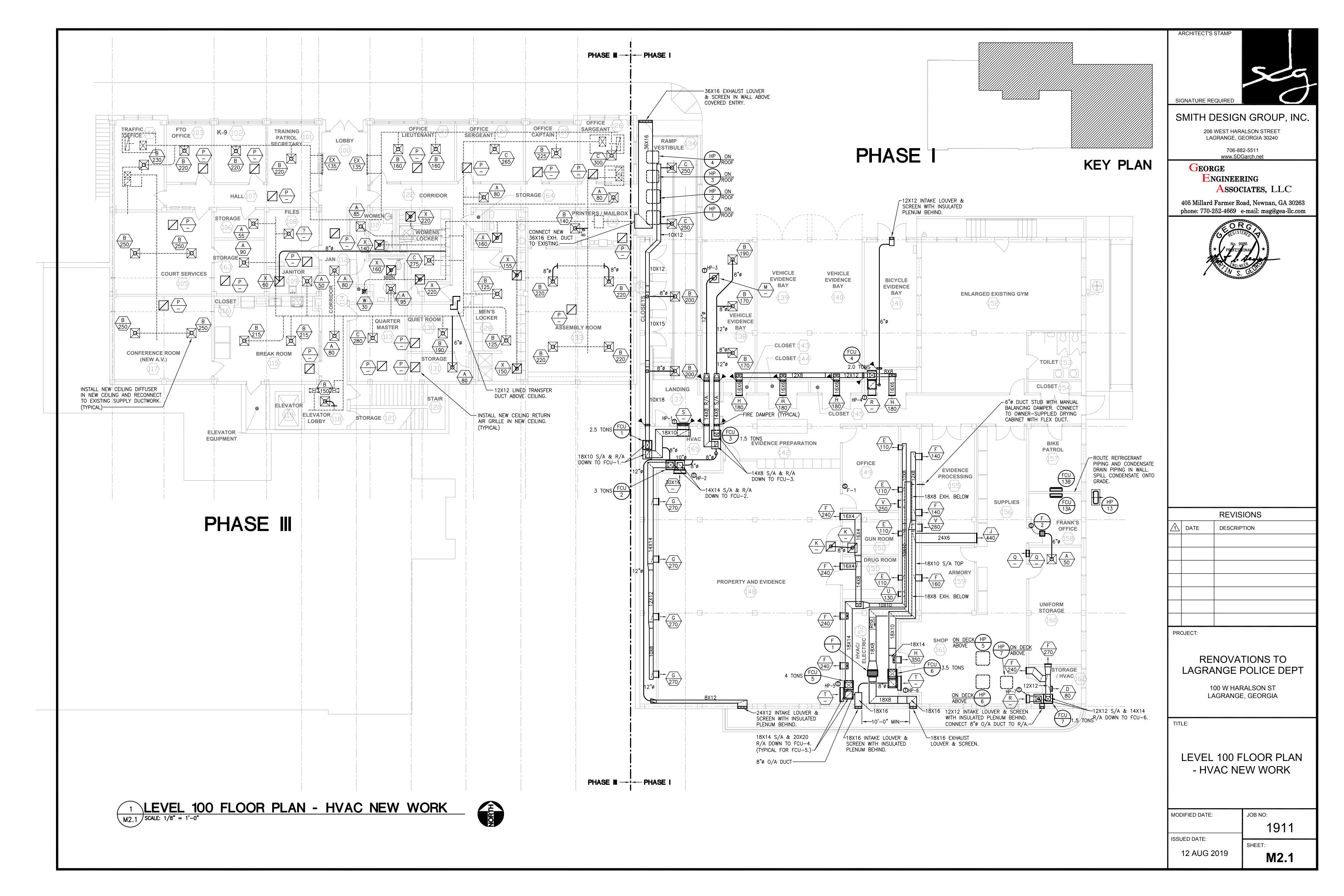
M0.2

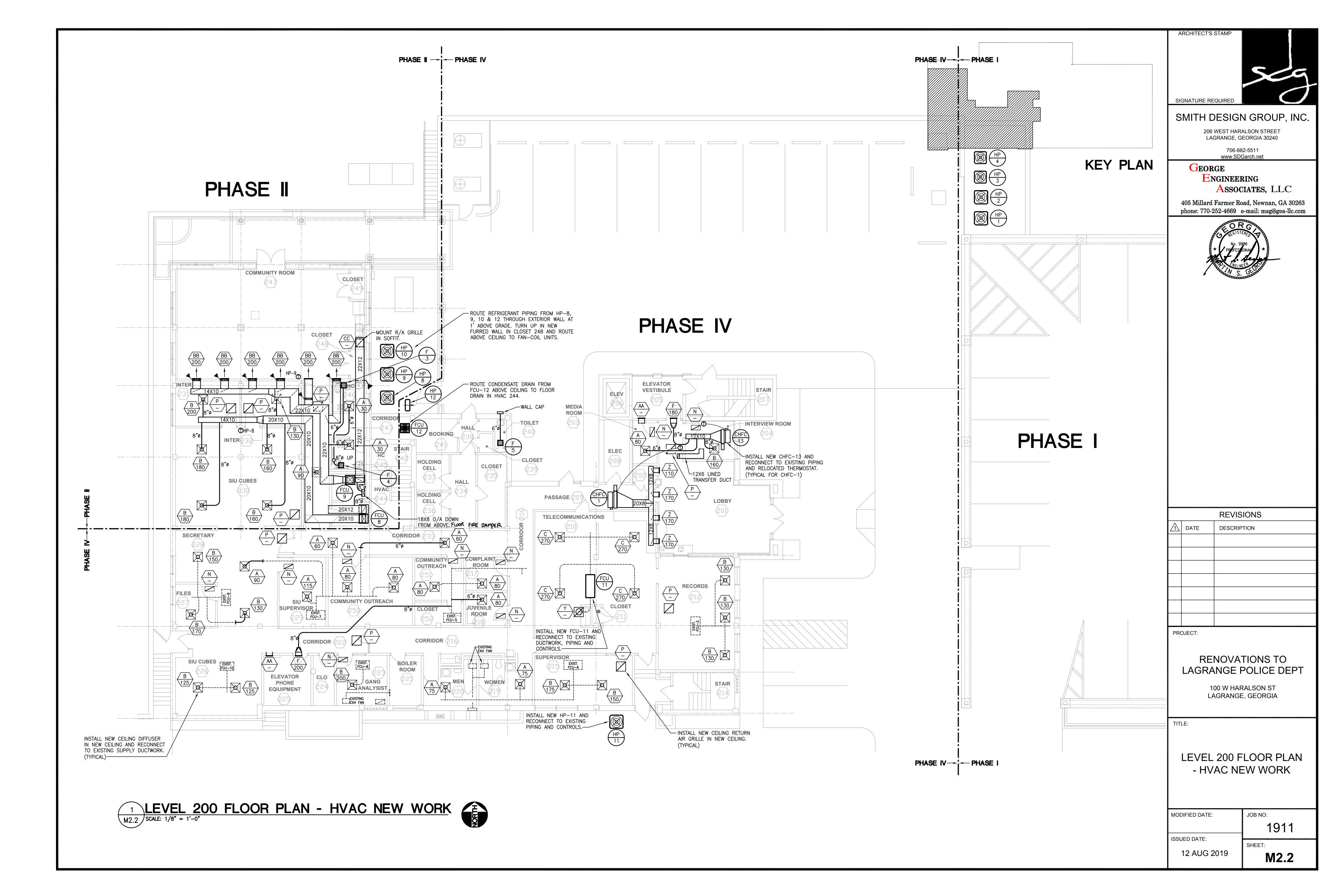
12 AUG 2019

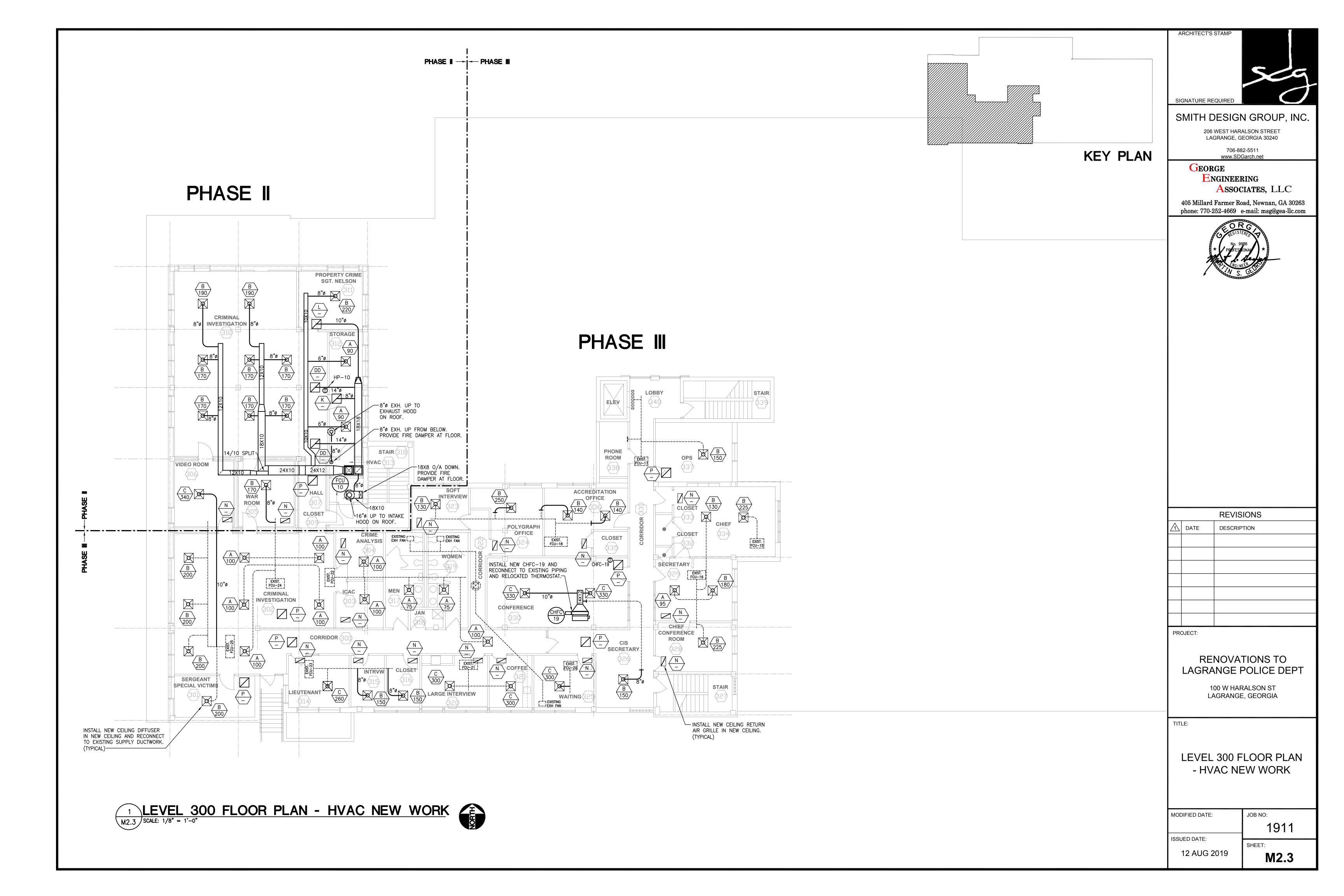












PLUMBING SPECIFICATIONS

THE WORK UNDER THIS SECTION SHALL BE TO PROVIDE A COMPLETE PLUMBING SYSTEM. ALL ITEMS OF WORK, OF COST AND EXPENSE OF ANY NATURE WHATSOEVER BELONGING WITH OR NECESSARY TO THE COMPLETION OF WORK CALLED FOR IN THIS SPECIFICATION OR IN THE CONTRACT DOCUMENTS ARE HEREBY SPECIFIED TO BE INCLUDED IN THIS CONTRACT.

ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, AS WELL AS ANY LOCAL CODES AND ORDINANCES. WARRANTY:

EQUIPMENT FURNISHED SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE.

SUBMITTALS:

ALL MATERIALS AND EQUIPMENT WHICH THE CONTRACTOR PROPOSES TO FURNISH SHALL BE SUBMITTED FOR REVIEW. DATA SHALL BE COMPLETE IN ALL RESPECTS AND SHALL REFERENCE, WHERE APPLICABLE, TO THE UNIT SYMBOL UTILIZED ON THE DRAWINGS AND SPECIFICATIONS.

ALL SANITARY WASTE AND VENT PIPING SHALL BE SCHEDULE 40 DWV PVC WITH DRAINAGE TYPE FITTINGS.

DOMESTIC WATER PIPING SHALL BE TYPE L COPPER TUBING WITH WROUGHT COPPER SWEAT FITTINGS AND LEAD-FREE SOLDER JOINTS.

VALVES FOR DOMESTIC WATER SYSTEM: GATE VALVES SHALL HAVE BRONZE BODY, RISING STEM, SOLID WEDGE, THREADED BONNET, AND SOLDER ENDS FOR 125# SWP. WHERE GATE 2" AND SMALLER ARE SPECIFIED, QUARTER-TURN FULL PORT BALL VALVES MAY BE SUBSTITUTED.

CLEANOUTS:

PROVIDE CLEANOUTS IN SOIL AND WASTE LINES AS SHOWN, AS REQUIRED BY THE GOVERNING CODE, AT THE BOTTOM OF EACH EXPOSED FIXTURE TRAP WHICH IS NOT INTEGRAL WITH THE FIXTURE. AT THE END OF EACH BRANCH DRAINAGE LINE. AT EACH CHANGE OF HORIZONTAL DIRECTION GREATER THAN 45 DEGREES, AT THE FOOT OF EACH SOIL AND RAINWATER STACK, AND IN HORIZONTAL DRAIN LINES AT INTERVALS OF NOT MORE THAN 75'.

FLOOR DRAINS:

FLOOR DRAINS SHALL BE EQUAL TO JOSAM MODEL 30000-A. EACH FLOOR DRAIN SHALL HAVE A TRAP PRIMER.

PROVIDE TRAPS FOR ALL FIXTURES AND FLOOR DRAINS, EXCEPT AS NOTED OTHERWISE. SET TRAPS TRUE AND LEVEL. PROVIDE EXPOSED TRAPS WITH BRASS CLEANING SCREWS.

INSULATION:

PIPE INSULATION SHALL BE ONE-PIECE FIBROUS GLASS SECTIONAL PIPE INSULATION WITH FACTORY APPLIED GLASS REINFORCED ALUMINUM FOIL AND WHITE KRAFT PAPER FLAME RETARDANT VAPOR BARRIER JACKET. LONGITUDINAL JACKET LAPS AND BUTT STRIPS SHALL BE SELF-SEALING. INSULATE ALL DOMESTIC WATER PIPING WITH MINIMUM 1" THICK INSULATION.

PLUMBING FIXTURES:

ALL FIXTURES SHALL BE COMMERCIAL GRADE VITREOUS CHINA, ENAMELED CAST IRON, OR STAINLESS STEEL, AS INDICATED. FOR EACH FIXTURE, PROVIDE CHROME PLATED BRASS STOP VALVES ON BOTH COLD AND HOT WATER SUPPLIES, WITH STAINLESS STEEL BRAIDED RUBBER SUPPLY HOSES FROM THE STOP VALVES TO THE FIXTURES. EACH SINK AND LAVATORY SHALL ALSO BE PROVIDED WITH A 17 GAUGE, CHROME-PLATED BRASS P-TRAP, WITH CLEANOUT PLUG. ALL FAUCETS SHALL BE CHROME PLATED <u>BRASS</u> CONSTRUCTION.

FIXTURES SHALL BE AS FOLLOWS:

F1 - WATER CLOSET (ACCESSIBLE): FLOOR MOUNTED, ELONGATED WHITE VITREOUS CHINA, 16.5" HIGH RIM, 1.28 GPF MANUAL FLUSH VALVE, OPEN FRONT SEAT, ADA COMPLIANT. AMERICAN STANDARD, KOHLER, ELJER OR CRANE.

F2 — WATER CLOSET: FLOOR MOUNTED, ELONGATED WHITE VITREOUS CHINA, 15" HIGH RIM, 1.28 GPF MANUAL FLUSH VALVE, OPEN FRONT SEAT. AMERICAN STANDARD, KOHLER, ELJER OR CRANE.

F3 - WATER CLOSET: STAINLESS STEEL SECURITY TYPE FIXTURE, FLOOR MOUNTED, FRONT ACCESS, TOP SUPPLY, MANUAL FLUSH VALVE, ADA COMPLIANT. FIXTURE SHALL BE EQUAL TO ACORN MODEL 2141-T-3-ADA-FM.

F4 - URINAL (ACCESSIBLE): WALL HUNG, WHITE VITREOUS CHINA FIXTURE WITH 14" LIP PROJECTION, 0.5 GPF MANUAL FLUSH VALVE, ADA COMPLIANT. AMERICAN STANDARD, KOHLER ELJER OR CRANE.

F5 - URINAL: WALL HUNG, WHITE VITREOUS CHINA FIXTURE WITH 14" LIP PROJECTION, 0.5 GPF MANUAL FLUSH VALVE. AMERICAN STANDARD, KOHLER ELJER OR CRANE.

F6 - LAVATORY (ACCESSIBLE): WHITE VITREOUS CHINA, OVAL SELF-RIMMING, AMERICAN STANDARD, KOHLER, ELJER OR CRANE, ADA COMPLIANT. FAUCET SHALL BÈ CHROME PLATED BRASS, SINGLE LEVER TYPE, WITH STANDARD SPOUT, 0.5 GPM AERATOR AND GRID DRAIN, AMERICAN STANDARD, CHICAGO, KOHLER OR MOEN. ADA COMPLIANT.

F7 — LAVATORY (ACCESSIBLE): WHITE VITREOUS CHINA, WALL HUNG, WITH BACKSPLASH, AMERICAN STANDARD, KOHLER, ELJER OR CRANE, ADA COMPLIANT. FAUCÈT SHALL BÉ CHROME PLATED BRASS, SINGLE LEVER TYPE, WITH STANDARD SPOUT, 0.5 GPM AERATOR AND GRID DRAIN, AMERICAN STANDARD, CHICAGO, KOHLER OR MOEN. ADA COMPLIANT.

F8 - LAVATORY (ACCESSIBLE): STAINLESS STEEL SECURITY TYPE, 18" WIDE, WALL MOUNTED, WITH OVAL BASIN, FRONT ACCESS, WITH INTEGRAL PUSH BUTTON, DUAL TEMPERATURE FAUCET, 0.5 GPM, ADA COMPLIANT. FIXTURE SHALL BE EQUAL TO ACORN MODEL 1652FA-1-04-M.

F9 - SINGLE COMPARTMENT SINK (ACCESSIBLE): MINIMUM 18 GAUGE STAINLESS STEEL SINK WITH 14"X10"X6.5" DEEP BOWL, SOUND UNDERCOAT, SINGLE LEVER FAUCET WITH GOOSENECK SPOUT, DRAIN WITH REMOVABLE CRUMB CUP. ADA COMPLIANT. ELKAY, JUST, MOEN OR EQUAL.

F10 - TWO COMPARTMENT SINK (ACCESSIBLE): MINIMUM 18 GAUGE STAINLESS STEEL SINK WITH TWO 14"X14"X6.5" DEEP BOWLS, SOUND UNDERCOAT, SINGLE LEVER FAUCET WITH SWIVEL SPOUT, DRAINS WITH REMOVABLE CRUMB CUPS. ADA COMPLIANT. ELKAY, JUST, MOEN OR EQUAL.

F11 - SHOWER (ACCESSIBLE): (EXISTING TILE SHOWER. REPLACE EXISTING SHOWER VALVE AND SHOWER HEADS, ONLY.) PROVIDE PRESSURE BALANCED SHOWER VALVE, ADJUSTABLE, WALL MOUNTED SHOWER HEAD, AND HAND-HELD SHOWER HEAD ON 2' SLIDE BAR. ADA COMPLIANT. NEW

COMPONENTS SHALL BE CHROME PLATED BRASS CONSTRUCTION. (EXISTING SHOWER DRAIN TO REMAIN.) F12 - SHOWER: (EXISTING TILE SHOWER. REPLACE EXISTING SHOWER VALVE AND SHOWER HEAD, ONLY.) PROVIDE PRESSURE BALANCED SHOWER VALVE, ADJUSTABLE AND WALL MOUNTED SHOWER HEAD. NEW COMPONENTS SHALL BE CHROME PLATED BRASS CONSTRUCTION. (EXISTING SHOWER

F13 - JANITOR SINK: ENAMELED CAST IRON SINK, NOMINAL 24X20 WALL MOUNTED ON TRAP STANDARD, WITH BACKSPLASH MOUNTED FAUCET. FAUCET SHALL BE CHROME PLATED BRASS, WITH INTEGRAL STOPS, BLADE HANDLES, VACUUM BREAKER AND HOSE THREADS.

F14 - MOP RECEPTOR: NOMINAL 24X24 MOLDED STONE BASIN, WITH STAINLESS STEEL RIM GUARD, GRID DRAIN AND WALL MOUNTED FAUCET. FAUCET SHALL BE CHROME PLATED BRASS, WITH INTEGRAL STOPS, VACUUM BREAKER, BLADE HANDLES, HOSE THREADS, BUCKET HOOK AND ANGLE WALL BRACE. MOUNT FAUCET AT 3'-0" AFF.

F15 - DRINKING FOUNTAIN (ACCESSIBLE): WALL MOUNTED, REFRIGERATED DRINKING FOUNTAIN WITH FRONT AND SIDE TOUCH PADS, 8 GPF COOLING CAPACITY, ADA COMPLIANT. HALSEY TAYLOR MODEL HAC8FS-Q OR EQUAL.

WATER HEATERS:

DRAIN TO REMAIN.)

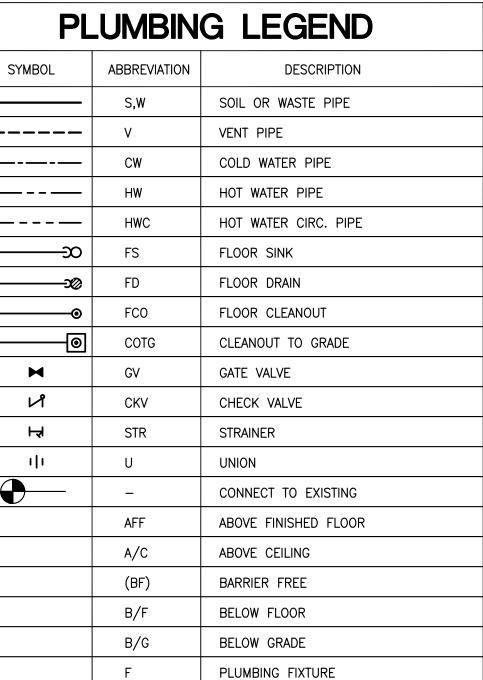
WATER HEATERS SHALL BE ELECTRIC, STORAGE TYPE, ENERGY EFFICIENT, COMPLYING WITH ASHRAE STANDARD 90.1, WITH MANUAL DRAIN VALVE AND ASME P&T RELIEF VALVE. HEATER SHALL BE PIPED AS SHOWN IN DETAIL 1/PO.1. CAPACITIES SHALL BE AS SCHEDULED ON THE DRAWINGS. HEATER SHALL BE A.O. SMITH, AS SCHEDULED, OR EQUAL STATE, OR RHEEM.

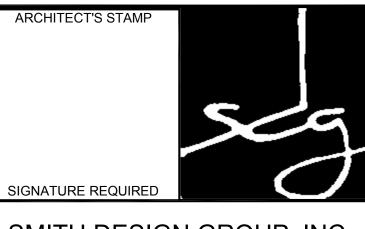
	507105	NOTEO	RIM	COLD \	WATER	НОТ	WATER	SOIL/WASTE		
MARK	FIXTURE	NOTES	HEIGHT	BRANCH	CONN.	BRANCH	CONN.	BRANCH	CONN	
F1	WATER CLOSET (ACCESSIBLE)	1, 3, 4	16.5"	1"	1"	_	-	4"	4"	
F2	WATER CLOSET	1, 4	15"	1"	1"	_	_	4"	4"	
F3	WATER CLOSET (ACCESSIBLE)	1, 3, 4, 11	15"	1"	1"	_	_	4"	4"	
F4	URINAL (ACCESSIBLE)	2, 3, 5	17"	1"	3/4"	_	_	2"	2"	
F5	URINAL	2, 5	24"	1"	3/4"	_	_	2"	2"	
F6	LAVATORY (ACCESSIBLE)	3, 6, 7	34"	1/2"	1/2"	1/2"	1/2"	2"	1-1/4"	
F7	LAVATORY (ACCESSIBLE)	3, 5, 7	34"	1/2"	1/2"	1/2"	1/2"	2"	1-1/4"	
F8	LAVATORY (ACCESSIBLE)	3, 5, 11	34"	1/2"	1/2"	1/2"	1/2"	2"	1-1/4"	
F9	ONE COMPARTMENT SINK (ACCESSIBLE)	4, 11	34"	1/2"	1/2"	1/2"	1/2"	2"	1-1/2"	
F10	TWO COMPARTMENT SINK (ACCESSIBLE)	3, 6, 9	34"	1/2"	1/2"	1/2"	1/2"	2"	1-1/2"	
F11	SHOWER (ACCESSIBLE)	3, 12, 13	_	1/2"	1/2"	1/2"	1/2"	2"	2"	
F12	SHOWER	12, 13	_	1/2"	1/2"	1/2"	1/2"	2"	2"	
F13	JANITOR SINK	4, 14	26"	1/2"	1/2"	1/2"	1/2"	3"	3"	
F14	MOP RECEPTOR	4, 10	12"	1/2"	1/2"	1/2"	1/2"	3"	3"	
F15	DRINKING FOUNTAIN (ACCESSSIBLE)	3, 5	32"	1/2"	3/8"	_	_	2"	1-1/4"	

			, ,	<u> </u>	• / =	-, -				_	
1.28	MANUAL FLUSH VALVE	6	COUNTERTOP FIXTURE				11)	STAINLESS ST	EEL PENAL FIX	TURE	
0.50	GPF MANUAL FLUSH VALVE	7	SINGLE LEVER FAUCET WI	TH STANDARE	SPOUT, 0.5 (GPM	12	PRESSURE BA	ALANCED SHOWE	ER VALVE	
HAND	NICAP ACCESSIBLE FIXTURE	8	SINGLE LEVER FAUCET WI	TH GOOSENE	CT SPOUT, 1.5	GPM	13)	ADJUSTABLE	SHOWER HEAD		
FL00	R MOUNTED FIXTURE	9	SINGLE LEVER FAUCET WI	TH SWIVEL S	POUT, 2.0 GPM	1	14)	BACKSPLASH	MOUNTED FAUC	ET	
WALL	HUNG FIXTURE	(10)	WALL MOUNTED FAUCET								

	WATER HEATER SCHEDULE										
SYMBOL	HEATER SERVICE	HEATER TYPE	HEAT INPUT	STORAGE CAPACITY	RECOVERY RATE (GPH @ 70°F RISE)	DISCHARGE TEMP (*F)	MANUFACTURER & MODEL	REMARKS			
WH-1	DOMESTIC HOT WATER	ELECTRIC STORAGE	3.0 KW	40 GAL	17.5	110	A. O. SMITH DEN-40-3.0				
WH-2	DOMESTIC HOT WATER	ELECTRIC STORAGE	6.0 KW	50 GAL	35.0	110	A. O. SMITH DEN-52-6.0				

PL	UMBIN	G LEGEND
SYMBOL	ABBREVIATION	DESCRIPTION
	S,W	SOIL OR WASTE PIPE
	٧	VENT PIPE
	CW	COLD WATER PIPE
	HW	HOT WATER PIPE
	HWC	HOT WATER CIRC. PIPE
	FS	FLOOR SINK
——	FD	FLOOR DRAIN
	FCO	FLOOR CLEANOUT
	COTG	CLEANOUT TO GRADE
H	GV	GATE VALVE
И	CKV	CHECK VALVE
H	STR	STRAINER
1 1	U	UNION
	_	CONNECT TO EXISTING
	AFF	ABOVE FINISHED FLOOR
	A/C	ABOVE CEILING
	(BF)	BARRIER FREE
	B/F	BELOW FLOOR
	B/G	BELOW GRADE
	F	PLUMBING FIXTURE
	VTR	VENT THRU ROOF





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REVISIONS 1 DATE DESCRIPTION

RENOVATIONS TO LAGRANGE POLICE DEPT

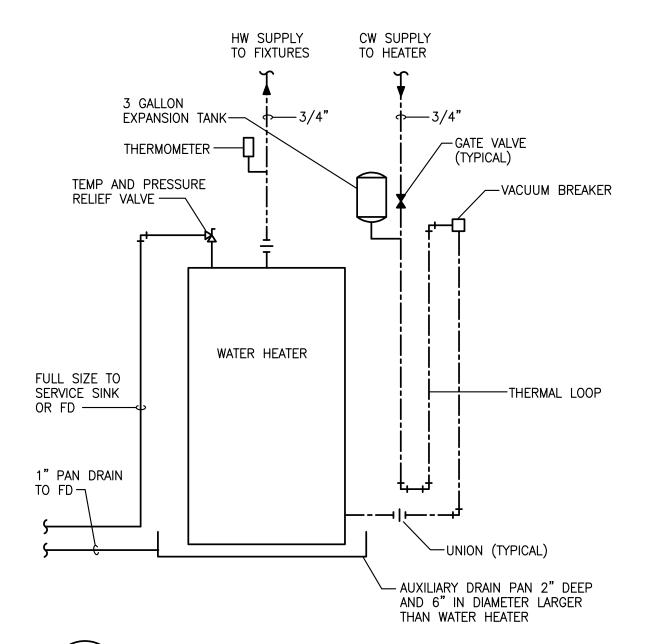
> 100 W HARALSON ST LAGRANGE, GEORGIA

TITLE:

PROJECT:

PLUMBING SPECIFICATIONS, DETAILS AND SCHEDULES

MODIFIED DATE: JOB NO: 1911 ISSUED DATE: SHEET: 12 AUG 2019 P0.1



DETAIL - WATER HEATER

