

New Construction for:  
**Gillette Park Pickleball Complex**  
**Pickleball Court Shelter**  
 3238 Corbett Ave. NE Elm City, NC 27822

2018 APPENDIX B BUILDING CODE SUMMARY

SHEET INDEX

Name of Project: New Construction for Gillette Park Pickleball Complex  
 Address: 3238 Corbett Ave. NE Zip Code: 27822  
 Owner or Authorized Agent: Attn: Dale Edmonds Phone # (252) 399-2273 E-Mail: \_\_\_\_\_  
 Owned By:  City / County  Private  State  
 Code Enforcement Jurisdiction:  City - Wilson  County \_\_\_\_\_  State \_\_\_\_\_

**CONTACT: Robert Bartlett**

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Building	Bartlett Engineering & Surveying, PC	Robert S. Bartlett	20106	252-399-0704	robert@bartletteng.com
Civil					
Electrical	James Miller & Associates, PA	James Miller	004978	252-203-1607	jamemiller@gmail.com
Fire Alarm					
Fire Alarm					
Plumbing					
Mechanical					
Sprinkler Standpipe					
Struct-Metal Bldg	Bartlett Engineering & Surveying, PC	Robert S. Bartlett	20106	252-399-0704	robert@bartletteng.com
Struct - Framing					
Structural - Fnd.	Bartlett Engineering & Surveying, PC	Robert S. Bartlett	20106	252-399-0704	robert@bartletteng.com
Other					

**2018 NC BUILDING CODE:**  New Building  Addition  Renovation  
 1st Time Interior Completion  
 Shell/Close completion only - (Contact the local inspection jurisdiction for possible additional procedures and requirements.)  
 Phased Construction - (Contact the local inspection jurisdiction for possible additional procedures and requirements.)

**2018 NC EXISTING BUILDING CODE:**  
 Prescriptive Compliance:  Repairs  Alterations  Additions  Change of occupancy  Historic  
 Work Area Compliance:  Alteration Level I  Alteration Level II  Alteration Level III  Additions  Repairs  Historic  Change of Use  
 Performance Compliance:  Repairs  Alterations  Additions  Change of occupancy  Historic

**CONSTRUCTED (date)** \_\_\_\_\_ **CURRENT USE (ICB 3)** \_\_\_\_\_  
**RENOVATED (date)** \_\_\_\_\_ **PROPOSED USE (ICB 3)** SHELTER OVER PICKLEBALL COURTS  
**RISK CATEGORY: (Table 1604.5)** Current:  I  II  III  IV Proposed:  I  II  III  IV

**BASIC BUILDING DATA**  
 Construction Type:  I-A  I-B  II-A  II-B  III-A  III-B  IV  V-A  V-B  
 Sprinklers:  NO  Partial  YES  NFPA 13  NFPA 13R  NAPA 13D  
 Standpipes:  NO  YES Class:  I  II  III  Wet  Dry  
 Fire District:  NO  YES **Flood Hazard Area:**  No  YES  
 Special Inspections Required:  NO  YES

**GROSS BUILDING AREA : 24,750 SQ. FT.**

FLOOR	EXISTING (SQ. FT.)	NEW (SQ. FT.)	SUB-TOTAL
6th Floor			
5th Floor			
4th Floor			
3rd Floor			
2nd Floor			
Mezzanine			
1st floor		24,750	24,750
Totals:		24,750	24,750

**ALLOWABLE AREA**  
 Primary Occupancy Classification(s): (check all that apply.)  
 Assembly (303)  A-1  A-2  A-3  A-4  A-5  
 Business (304)   
 Educational (305)   
 Factory (306)  F-1 Moderate  F-2 Low  
 Hazardous (307)  H-1 Detonate  H-2 Deflagrate  H-3 Combust  H-4 Health  H-5 HPM  
 Institutional (308)  I-1  I-2  I-3  I-4  
 I-3 Condition:  1  2  3  4  5  
 Mercantile (309)   
 Residential (310)  R-1  R-2  R-3  R-4  
 Storage (311)  S-1 Moderate  S-2 Low  High-Piled  
 Parking Garage  Open  Enclosed  Repair Garage  
 Utility and Misc. (312)

**ACCESSORY OCCUPANCY CLASSIFICATION(S):** \_\_\_\_\_  
**Incidental Uses: (Table 509)** \_\_\_\_\_  
**Special Uses: (Chapter 4 - List Code Sections)** \_\_\_\_\_  
**Special Provisions: (Chapter 5 - List Code Sections)** \_\_\_\_\_  
**Mixed Occupancy:**  NO  YES Separation: \_\_\_\_\_ Hour Exception: \_\_\_\_\_  
 Non-Separated Mixed Occupancy (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.  
 Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.  

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} = \leq 1.0$$

STORY NO.	DESCRIPTION and USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 <sup>1</sup> AREA	(C) AREA FOR FRONTAGE INCREASE <sup>2,3</sup>	(D) ALLOWABLE AREA PER STORY OR UNLIMITED <sup>2,3,4</sup>
1	GROUP "U" SHELTER	24,750	35,500		35,500

<sup>1</sup> Frontage area increases from Section 506.1 are computed thus:  
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = \_\_\_\_\_ (F)  
 b. Total Building Perimeter = \_\_\_\_\_ (P)  
 c. Ratio (F/P) = \_\_\_\_\_ (FP)  
 d. W = Minimum width of public way = \_\_\_\_\_ (W)  
 e. Percent of frontage increase =  $1 + 100 | F/P - 0.25 | \times W/30 = \text{_____} (\%)$   
<sup>2</sup> Unlimited area applicable under conditions of Sections (507)  
<sup>3</sup> Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).  
<sup>4</sup> The maximum area of open parking garages must comply with Table 406.5.4.  
<sup>5</sup> Frontage increase is based on the unpermitted area value in Table 506.2.

**ALLOWABLE HEIGHT**

ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3) <sup>2</sup>	160'	30'
Building Height in Stories (Table 504.4) <sup>3</sup>	5	1

<sup>2</sup> Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.  
<sup>3</sup> The maximum height of air traffic control towers must comply with Table 412.3.1.  
<sup>4</sup> The maximum height of open parking garages must comply with Table 406.5.4.

**FIRE RESISTANCE RATINGS**

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING PROVIDED	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural frame, including columns, girders, trusses		2 HOUR				
Bearing walls						
Exterior						
North						
East						
West						
South						
Interior						
Nonbearing walls and partitions						
Exterior						
North						
East						
West						
South						
Interior						
Floor Construction including supporting beams and joists						
Floor Ceiling assembly						
Columns Supporting Floor						
Roof Construction including supporting beams and joists						
Roof Ceiling assembly						
Columns Supporting Roof						
Shafts Enclosures - Exit						
Shafts Enclosures - Other						
Corridor Separation						
Occupancy/Fire Barrier Separation						
Party/Fire Wall Separation						
Smoke Barrier Separation						
Smoke Partition						
Tenant/Dwelling Unit/Sleeping Unit Separation						
Incidental Use Separation						

Indicates section number permitting reduction.

**PERCENTAGE OF WALL OPENING CALCULATIONS**

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)

**LIFE SAFETY SYSTEM REQUIREMENTS**

Emergency Lighting:  No  Yes  
 Exit Signs:  No  Yes  
 Fire Alarm:  No  Yes Automatic Sprinkler System  
 Smoke Detection Systems:  No  Yes  Partial, HVAC UNITS >5.0 TONS  
 Carbon Monoxide Detection:  No  Yes

**LIFE SAFETY PLAN REQUIREMENTS**

**Life Safety Plan Sheet E: N/A**

- Fire and/or smoke rated wall locations (Chapter 7)
- Assumed and real property line locations (if not on the site plan)
- Exterior wall opening area with respect to distance to assumed property lines (705.8)
- Existing structures within 30' of the proposed building
- Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
- Occupant loads for each area
- Exit access travel distances (1017)
- Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
- Dual exit lengths (1020.4)
- Clear exit widths for each exit door
- Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
- Actual occupant load for each exit door
- A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
- Location of doors with panic hardware (1010.1.10)
- Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
- Location of doors with electromagnetic egress locks (1010.1.9.9)
- Location of doors equipped with hold-open devices
- Location of emergency escape windows (1030)
- The square footage of each fire area (202)
- The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
- Note any code exceptions or table notes that may have been utilized regarding the items above

**ACCESSIBLE DWELLING UNITS (SECTION 1107)**

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

**ACCESSIBLE PARKING - SEE SITE PLAN (SECTION 1106)**

LOT OR PARKING AREA DESIGNATION	TOTAL # PARKING SPACES		# ACCESSIBLE SPACES PROVIDED		TOTAL # ACCESSIBLE SPACES PROVIDED
	REQUIRED	PROVIDED	REGULAR WITH 8' ACCESSIBLE	8' ACCESSIBLE	
TOTAL					

**PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1) SEE SH. (S-1) CONCESSION BLDG. DRAWINGS FOR CALCULATIONS**

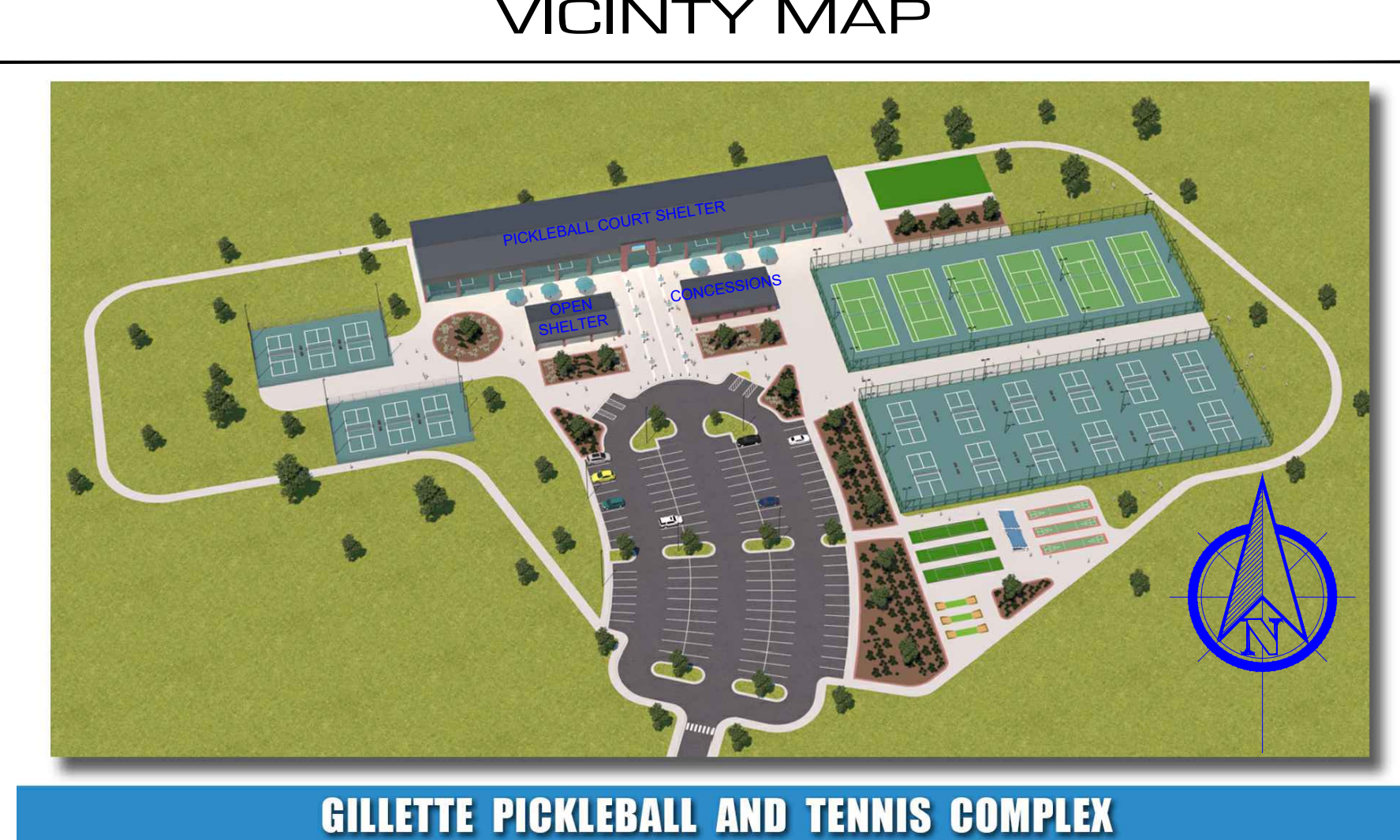
USE	WATER CLOSETS			URINALS			LAVATORIES			SERVICE SINKS			DRINKING FOUNTAINS							
	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	REGULAR	ACCESSIBLE	REGULAR	ACCESSIBLE							
EXISTING																				
NEW																				
REQUIRED																				

**SPECIAL APPROVALS**  
 Special approval: (Local Jurisdiction, Department of Insurance, OIG, DPI, DBHS, ICC, etc. Describe below)  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**ENERGY SUMMARY - N/A**  
**ENERGY REQUIREMENTS:**  
 The following data shall be considered minimum and any special attributes required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design. (The remainder of this section is not applicable)  
 Existing building envelope complies with code:  NO  YES  
 Exempt Building:  NO  YES (Provide code or statutory reference.)  
 Climate Zone:  3A  4A  5A  
 Method of Compliance: Energy Code  Prescriptive  Performance ASHRAE 90.1  Prescriptive  Performance  
**THERMAL ENVELOPE:** (Prescriptive method only)  
**Roof/Ceiling Assembly (each assembly)**  
 Description of Assembly \_\_\_\_\_  
 U-value of Total Assembly \_\_\_\_\_  
 R-value of Insulation \_\_\_\_\_  
 Skylights in each assembly \_\_\_\_\_  
 U-value of skylight \_\_\_\_\_  
 Total square footage of skylights in each assembly \_\_\_\_\_  
**Exterior Walls (each assembly)**  
 Description of Assembly \_\_\_\_\_  
 U-value of Total Assembly \_\_\_\_\_  
 R-value of Insulation \_\_\_\_\_  
 Openings (windows or doors with glazing) \_\_\_\_\_  
 U-value of assembly \_\_\_\_\_  
 Solar heat gain coefficient \_\_\_\_\_  
 Door R-Values: \_\_\_\_\_  
**Walls below grade (each assembly)**  
 Description of Assembly \_\_\_\_\_  
 U-value of Total Assembly \_\_\_\_\_  
 R-value of Insulation \_\_\_\_\_  
**Floors over unconditioned space: (each assembly)**  
 Description of Assembly \_\_\_\_\_  
 U-value of Total Assembly \_\_\_\_\_  
 R-value of Insulation \_\_\_\_\_  
**Floors slab on grade**  
 Description of Assembly \_\_\_\_\_  
 U-value of Total Assembly \_\_\_\_\_  
 R-value of Insulation \_\_\_\_\_  
 Horizontal/vertical requirement \_\_\_\_\_  
 Slab heated \_\_\_\_\_

**STRUCTURAL DESIGN**  
**DESIGN LOADS:**  
 Importance Factors: Wind (I<sub>w</sub>) \_\_\_\_\_ 1.0  
 Snow (I<sub>s</sub>) \_\_\_\_\_ 1.0  
 Seismic (I<sub>e</sub>) \_\_\_\_\_ 1.0  
 Live Loads: Roof (live & snow) \_\_\_\_\_ 20 PSF / 15 PSF  
 Collateral \_\_\_\_\_  
 Mezzanine \_\_\_\_\_  
 Floor \_\_\_\_\_ 150 PSF  
 Ground Snow Load \_\_\_\_\_  
 Wind Load: Ultimate Wind Speed \_\_\_\_\_ 120 MPH (ASCE-7)  
 Exposure Category \_\_\_\_\_ C  
**SEISMIC CATEGORY**  A  B  C  D  
 Provide the following Seismic Design Parameters:  
 Risk Category (Table 1604.5)  I  II  III  IV  
 Spectral Response Acceleration S<sub>s</sub> \_\_\_\_\_ 1.34 \_\_\_\_\_ S<sub>1</sub> \_\_\_\_\_ 0.7  
 Site Classification (ASCE-7)  A  B  C  D  E  F  
 Data source:  Field Test  Presumptive  Historical Data  
 Basic Structural System: (check one)  
 Bearing Wall  Dual W/ Special Moment Frame  
 Building Frame  Dual W/ Intermediate R.C. or Special Steel  
 Moment Frame  Inverted Pendulum  
 Analysis Procedure:  Simplified  Equivalent Lateral Force  Dynamic  
 Architectural, Mechanical, Components Anchored?  Yes  No  
**LATERAL DESIGN CONTROL:**  Earthquake  Wind  
**SOIL BEARING CAPACITIES:**  
 Field Test (provide copy of test report) \_\_\_\_\_ N/A psf  
 Presumptive Bearing Capacity \_\_\_\_\_ 2,000 psf  
 File Size, Type, and Capacity \_\_\_\_\_ N/A

**MECHANICAL SUMMARY - N/A**  
**MECHANICAL SYSTEMS SERVICE SYSTEMS AND EQUIPMENT:**  
**Thermal Zone**  
 Winter dry bulb \_\_\_\_\_  
 Summer dry bulb \_\_\_\_\_  
**Interior Design Conditions**  
 Winter dry bulb \_\_\_\_\_  
 Summer dry bulb \_\_\_\_\_  
 Relative humidity \_\_\_\_\_  
**Building Heating Load**  
**Building Cooling Load**  
**Mechanical Spacing Conditioning System**  
 Unitary  
 Description of unit \_\_\_\_\_  
 Heating efficiency \_\_\_\_\_  
 Cooling efficiency \_\_\_\_\_  
 Size category of unit \_\_\_\_\_  
 Boiler Size category, If oversized, state reason \_\_\_\_\_  
 Chiller Size category, If oversized, state reason \_\_\_\_\_  
**List Equipment Efficiencies**  
**Equipment Schedules with Motors (mechanical systems)**  
 Motor horsepower \_\_\_\_\_  
 Number of phases \_\_\_\_\_  
 Minimum efficiency \_\_\_\_\_  
 Motor type \_\_\_\_\_  
 # of poles \_\_\_\_\_



BUILDING & LEAD DESIGN PROFESSIONAL

**BARTLETT ENGINEERING & SURVEYING, PC**  
 1906 Nash Street North  
 Wilson, NC 27893-1726  
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STRUCTURAL

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PLUMB MECH ELEC

James Miller & Assoc. P.A.  
 209 Price Street  
 Roanoke Rapids, NC 27870  
 Tel: 252.203.1607  
 Fax: 252.533.0612

PLANNING

**DAWSON CONSTRUCTION SERVICES, INC.**  
 Planning - Management - General Construction  
 252-289-6304 Wilson, NC

**COVER**

CS-1 CODE SUMMARY

**STRUCTURAL**

S-1 FOUNDATION PLAN & DETAILS

**BUILDING**

B-1 FLOOR PLAN / ELEVATIONS / DETAILS

**ELECTRICAL**

E-1 ELECTRICAL PLAN

E-2 ELECTRICAL PANEL SCHEDULE & RISER

CITY OF WILSON  
 ATTN: DALE EDMONDS  
 112 GOLDSBORO ST. E  
 WILSON, NC 27894  
 252.399.2273

**BARTLETT ENGINEERING & SURVEYING, PC**  
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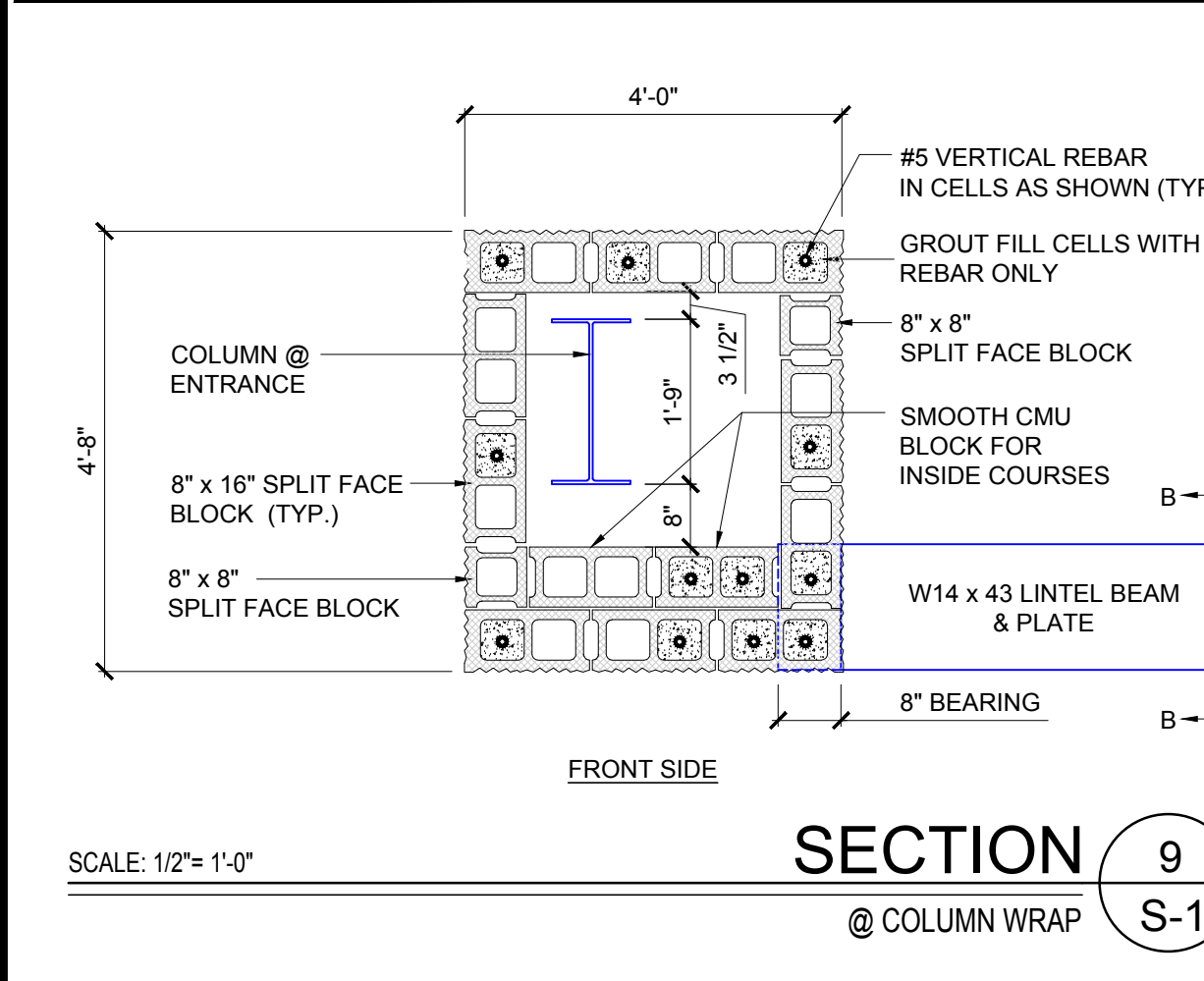
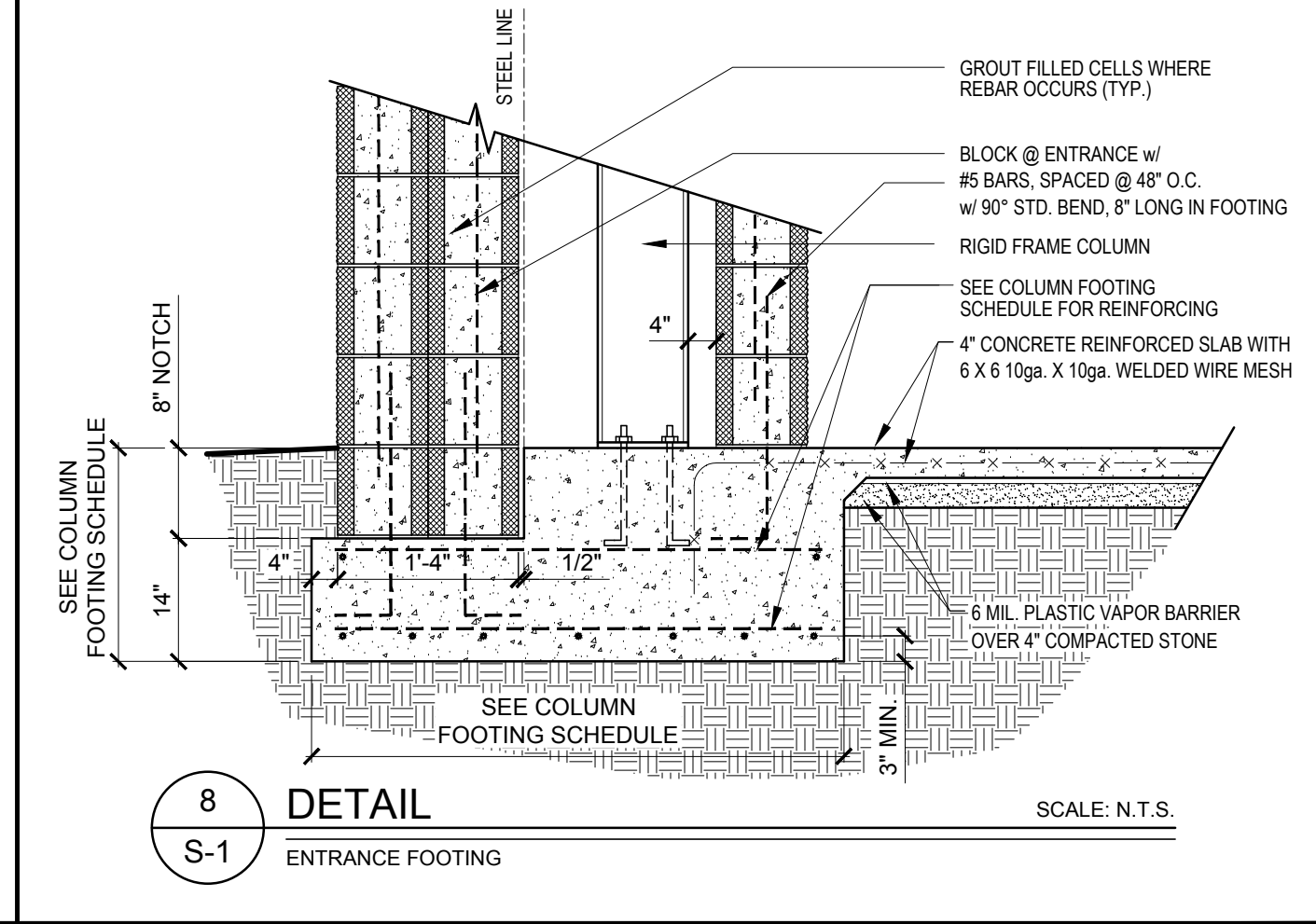
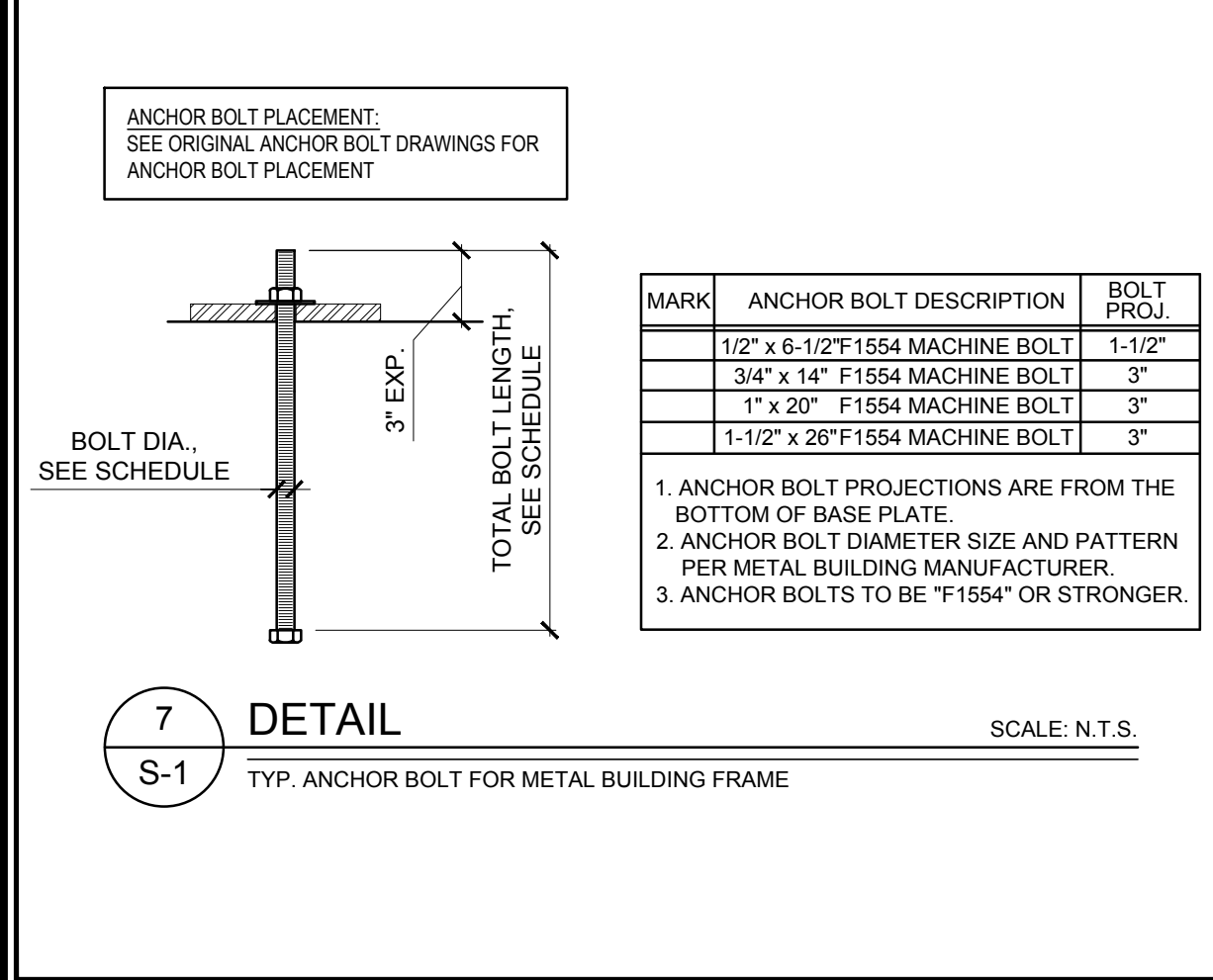
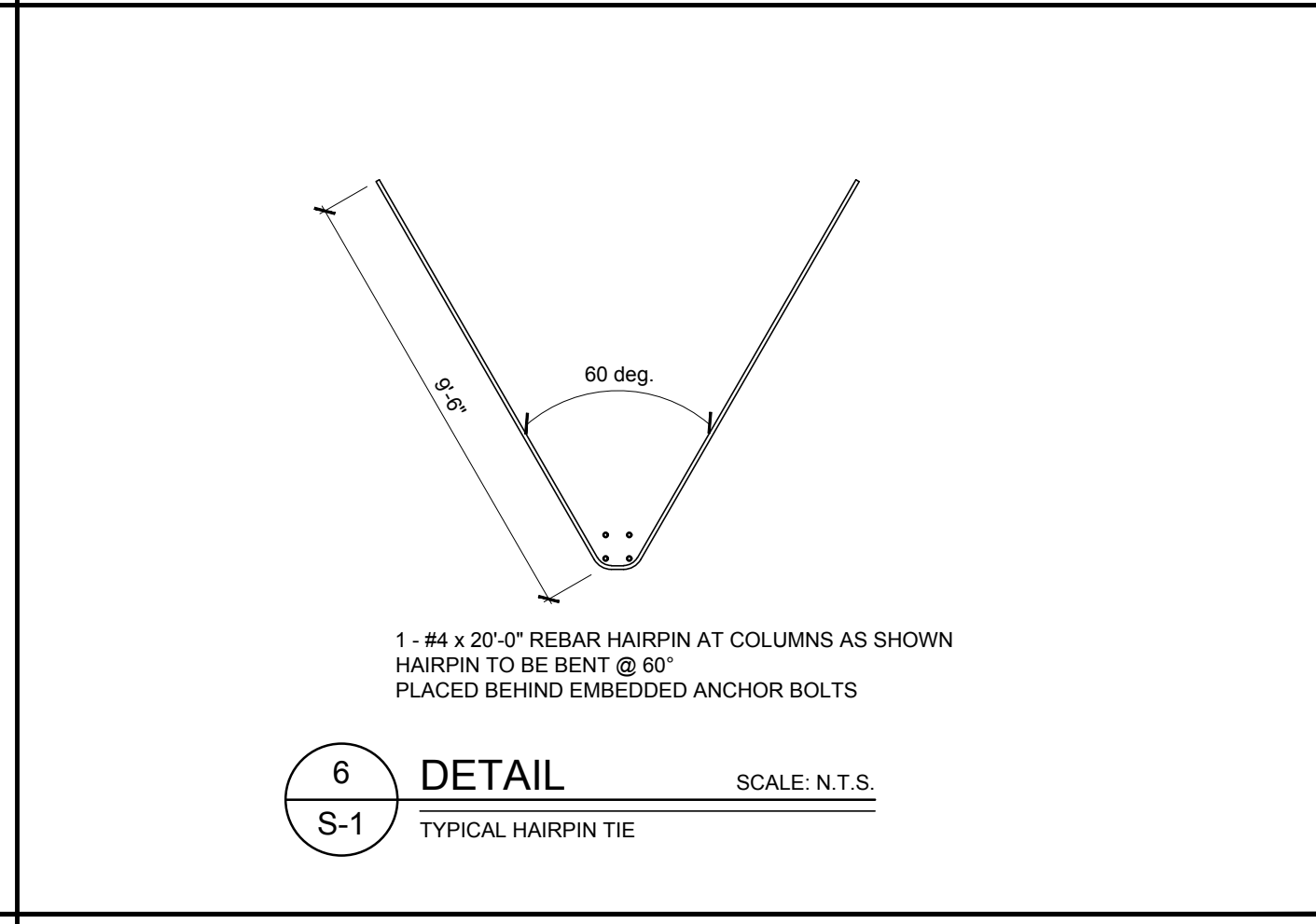
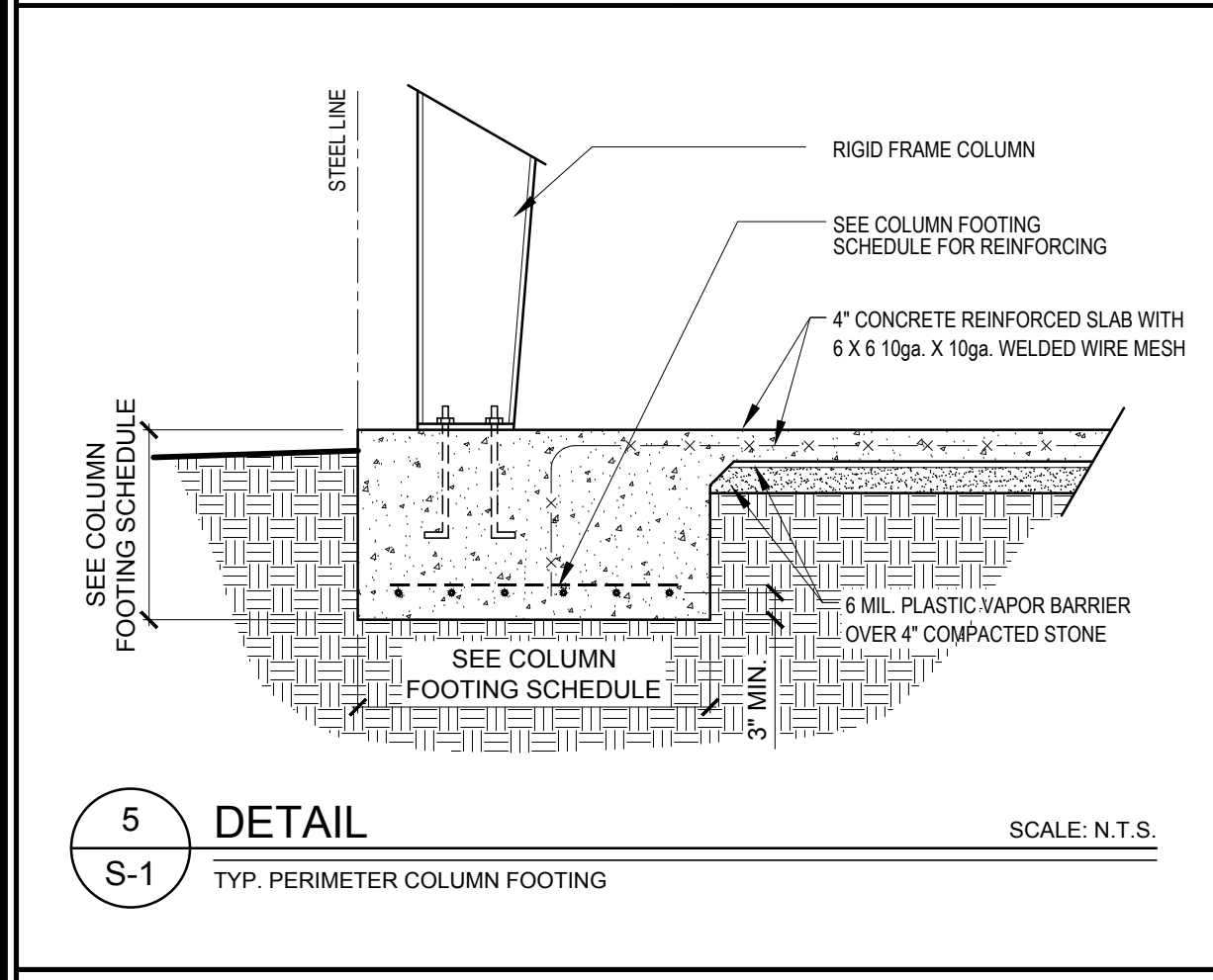
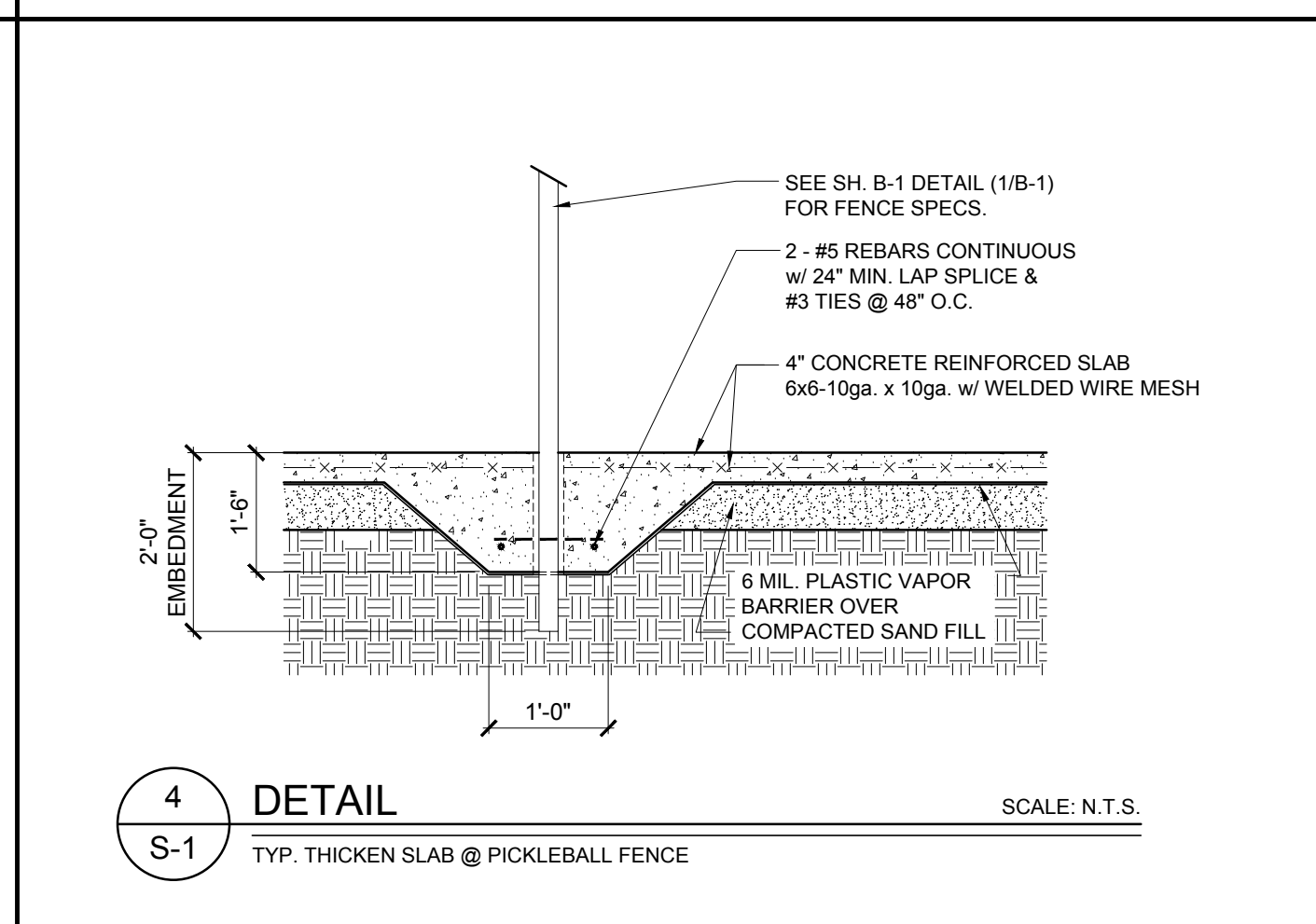
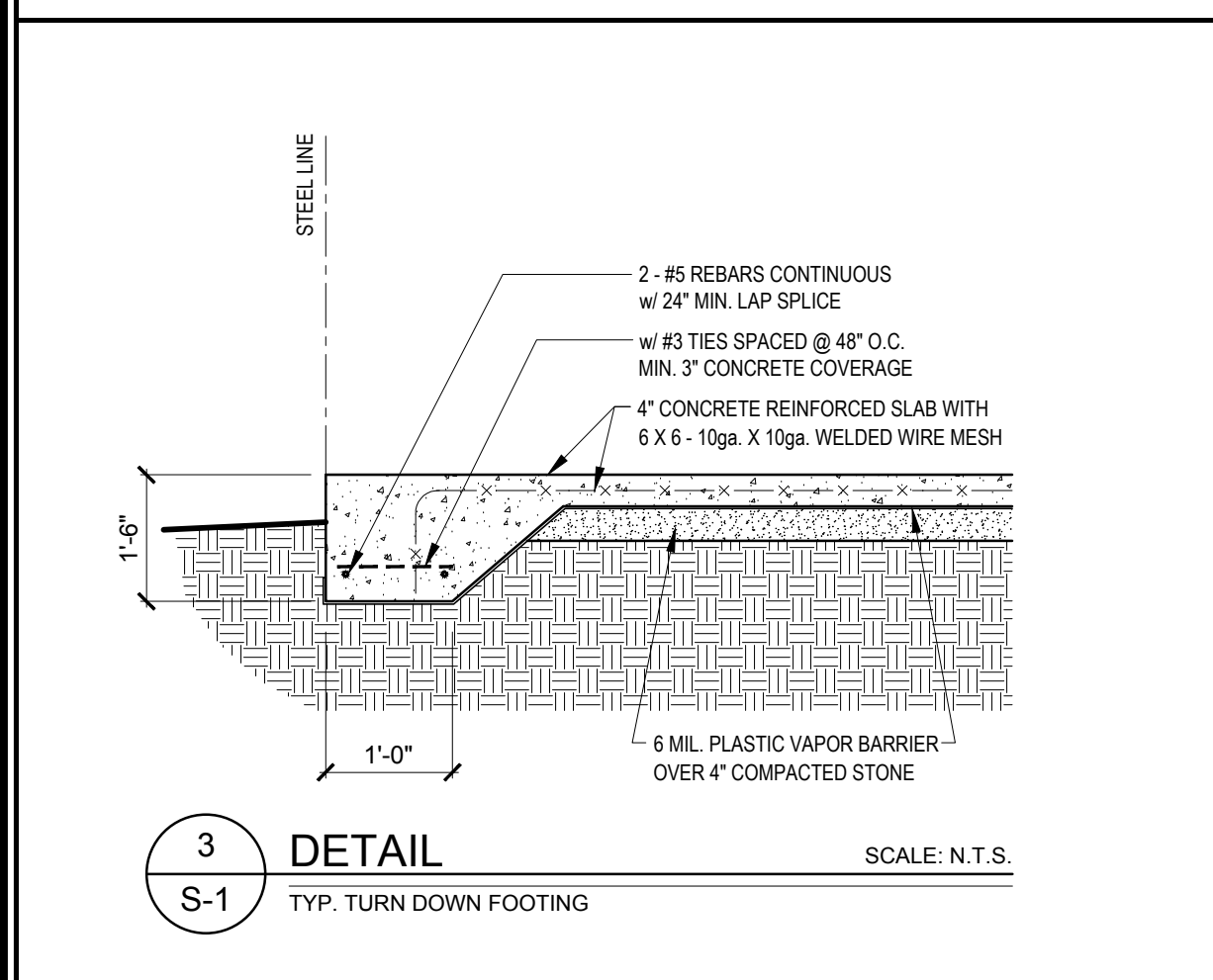
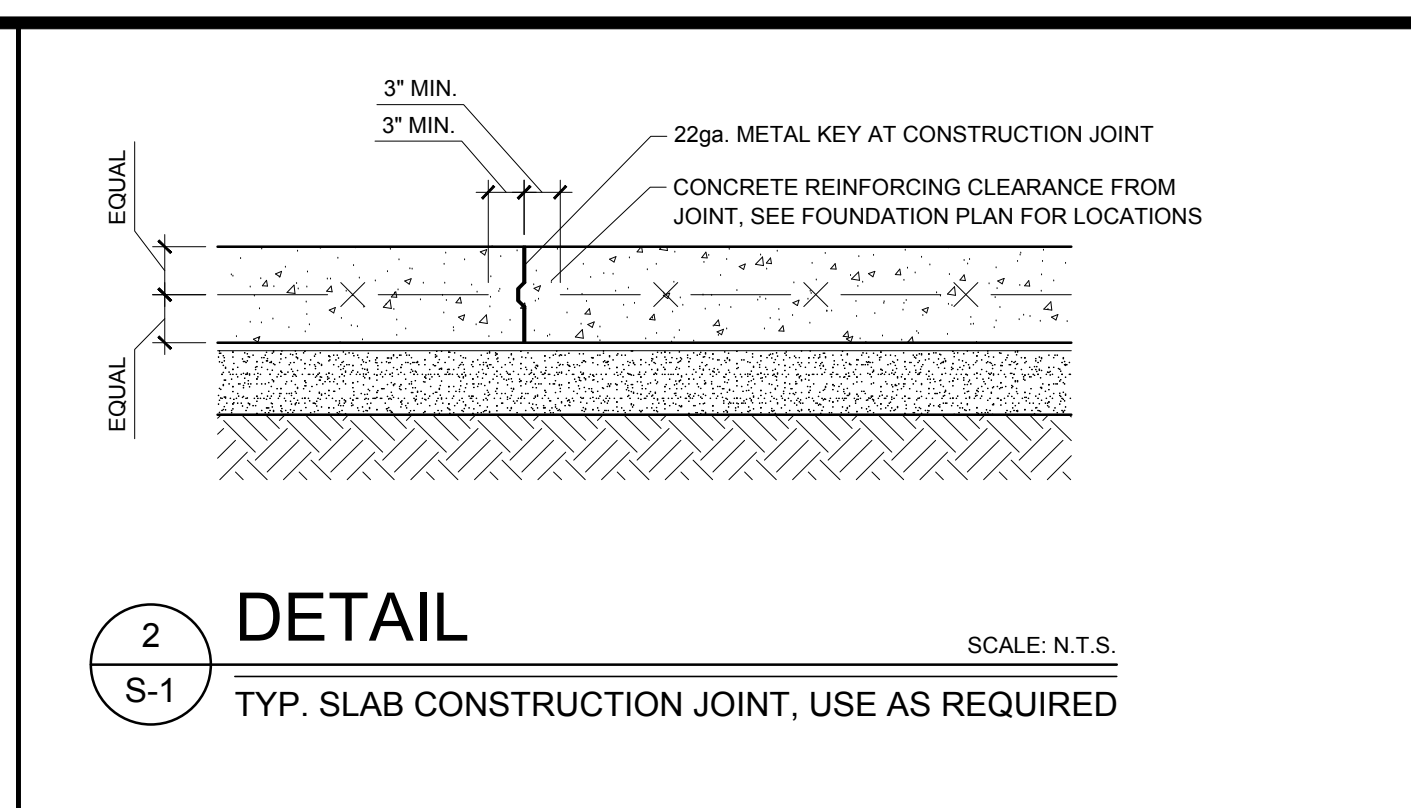
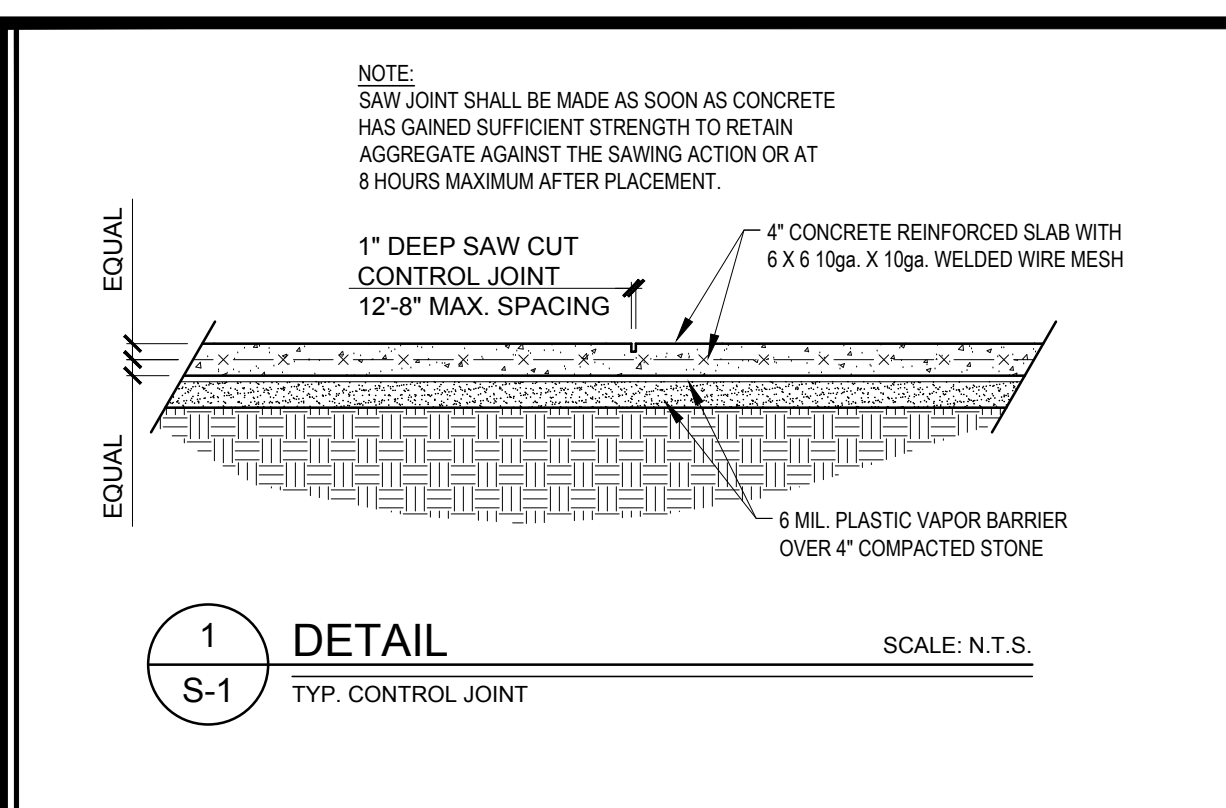


Rev: \_\_\_\_\_  
 Date: \_\_\_\_\_

**CODE SUMMARY / INDEX SHEET**

File Sheet: \_\_\_\_\_  
 Project: \_\_\_\_\_  
 Drawn by: M. Winstead  
 Issue Date: 03-15-23  
 Project Number: 22-091  
 Sheet: CS-1

New Construction For:  
**Gillette Pickleball Complex**  
**Pickleball Court Shelter**  
 3238 Corbett Ave NE  
 Elm City, NC 27822



**GENERAL NOTES:**

- ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE STATEWIDE BUILDING CODE AND TO THE SPECIFICATIONS AND STANDARDS OF THE LOCAL BUILDING INSPECTIONS OFFICE.
- CONTRACTOR SHALL COORDINATE AND VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK, WITH ANY DISCREPANCY BROUGHT TO THE ATTENTION OF THE DESIGNER.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SUBGRADE CONDITIONS.
- FOOTINGS ARE DESIGNED FOR SOIL HAVING A MINIMUM BEARING OF 2000 P.S.F.
- ALL CONCRETE TO BE NORMAL WEIGHT CONCRETE WITH 3000 P.S.I. MINIMUM 28 DAY STRENGTH.
- WELDED WIRE FABRIC TO CONFORM ASTM A-185 MATERIAL AND HAVE 8" LAPS.
- ANCHOR BOLT PATTERN AND DIAMETER PER METAL BUILDING MANUFACTURER.
- CONTRACTOR TO SUBMIT CONTROL JOINT / CONSTRUCTION JOINT PLAN FOR APPROVAL PRIOR TO POURING CONCRETE.

**DESIGN NOTES:**

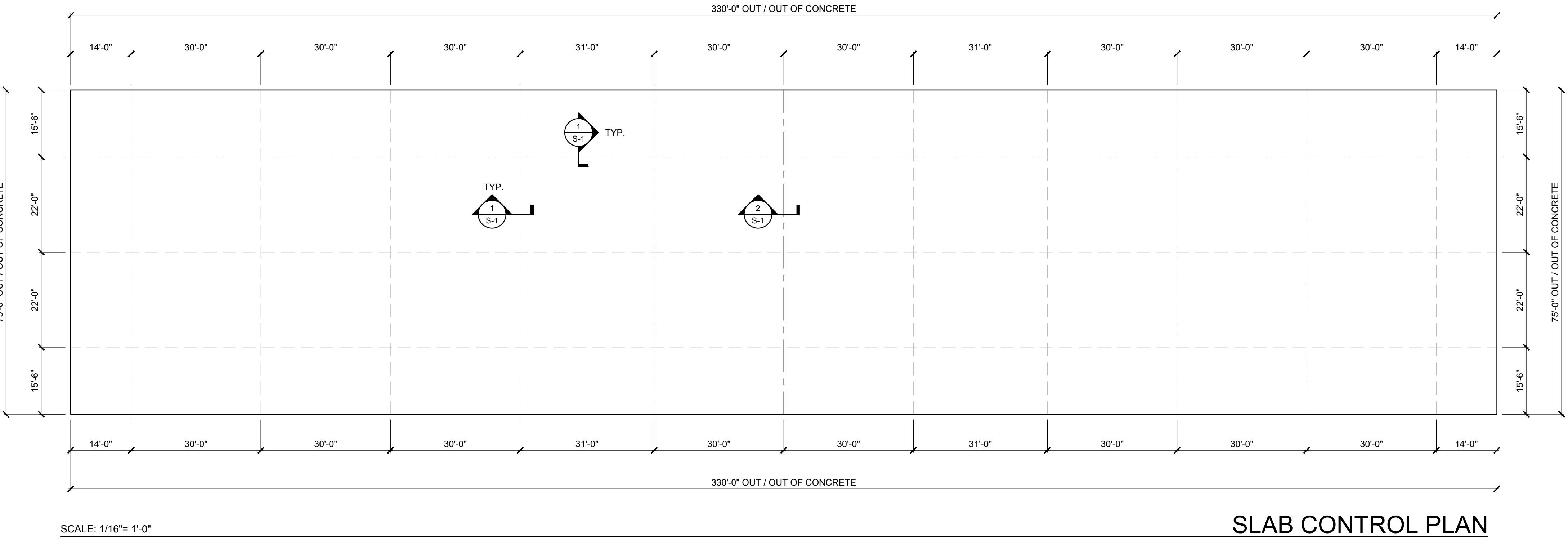
2018 NORTH CAROLINA BUILDING CODE  
 OCCUPANCY CATEGORY = NORMAL  
 ROOF LIVE LOAD = 20 PSF  
 COLL. LOAD = 5 PSF  
 SNOW LOAD = 15.0 PSF  
 C<sub>e</sub> = 1  
 IMPORTANCE FACTOR = 1.00  
 WIND SPEED = 120 MPH  
 EXPOSURE = C  
 INTERNAL PRESSURE COEFFICIENT = 0.18  
 WIND IMPORTANCE FACTOR = 1.00  
 SITE CLASS = D  
 DESIGN CATEGORY = B  
 SEISMIC IMPORTANCE FACTOR (I<sub>e</sub>) = 1.00  
 S<sub>s</sub> = 18.3%  
 S<sub>1</sub> = 7.3%  
 S<sub>d</sub> = 0.195  
 S<sub>d1</sub> = 0.117

**REINFORCING STEEL:**  
 Reinforcing bars shall be deformed billet steel bars conforming to (ASTM A - 615) specifications.  
 MINIMUM YIELD STRENGTH (f<sub>y</sub>):  
 Reinforcing bars ————— 60,000 psi Unless otherwise detailed, protective concrete cover for reinforcing steel shall not be less than:  
 (a) Concrete cast against and permanently exposed to earth ——— 3"  
 (b) Concrete exposed to earth or weather  
 #5 & smaller ————— 1-1/2"  
 #5 & larger ————— 2"  
 MINIMUM TENSION LAP SPlice LENGTHS (l<sub>c</sub> = 3,000psi)  
 #3 ————— 24"  
 #4 ————— 20"  
 #5 ————— 24"  
 #6 ————— 43"  
 #8 ————— 72"  
 #10 ————— 72"  
 WWF laps to 12" minimum. WWF to conform to ASTM A-185

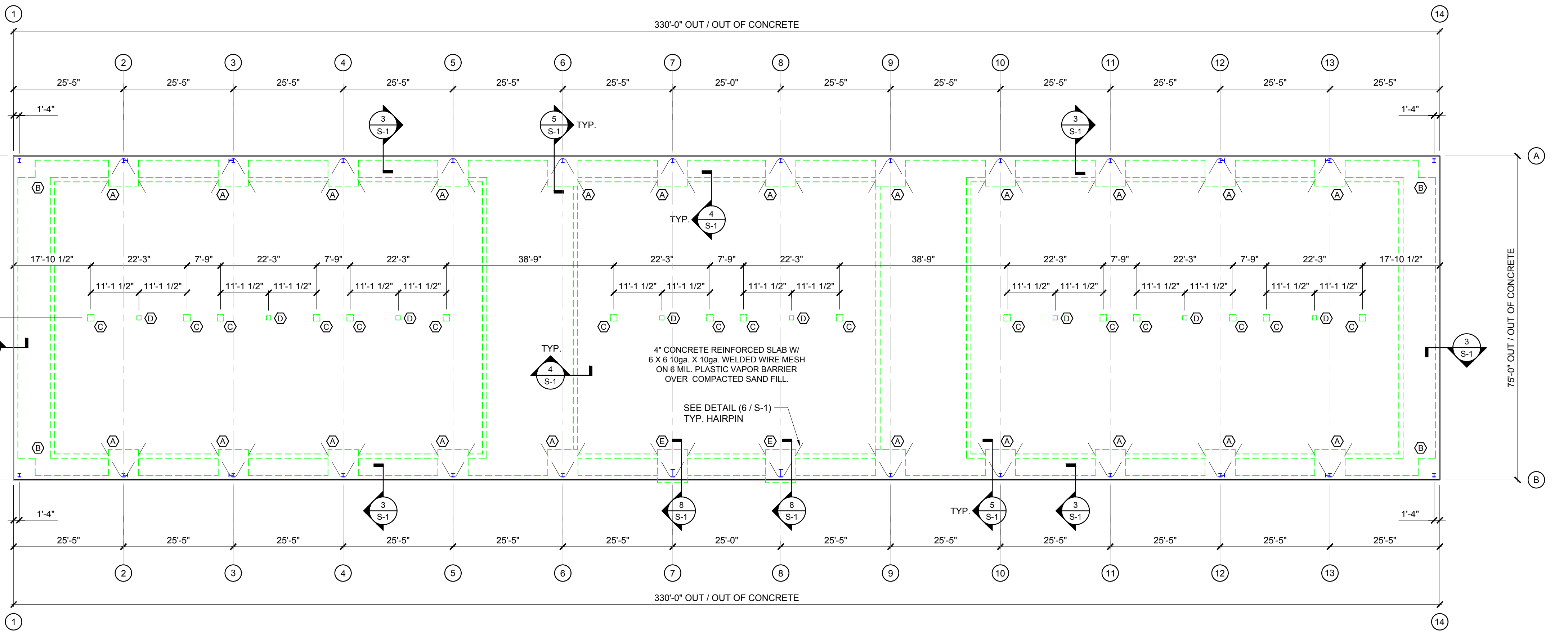
SYMBOL	DESCRIPTION
(A)	MAIN FRAME FOOTING: 7'-0" x 7'-0" x 18" DEEP; w/ (8) #5 REBARS, TOP & BOTTOM, EQUALLY SPACED, BOTH WAYS MIN. 3" CONCRETE COVERAGE
(B)	CORNER FOOTING: 5'-0" x 5'-0" x 18" DEEP; w/ (8) #5 REBARS, TOP & BOTTOM, EQUALLY SPACED, BOTH WAYS MIN. 3" CONCRETE COVERAGE
(C)	PICKLEBALL NET POST FOOTING: 1'-6" x 1'-6" x 24" DEEP
(D)	CENTER STRAP ANCHOR FOOTING: 1'-0" x 1'-0" x 1'-0" DEEP
(E)	ENTRANCE FOOTING: 7'-0" x 7'-0" x 22" DEEP; w/ (8) #5 REBARS, TOP & BOTTOM, EQUALLY SPACED, BOTH WAYS (1) #5 BAR @ EACH END OF TOP BAR, AS SHOWN MIN. 3" CONCRETE COVERAGE

**NOTES:**

- USE 3,000 psi CONCRETE STRENGTH
- TOP OF SLAB REF. ELEVATION = 100'-0" PER DRAWINGS FROM METAL BUILDING MANUFACTURER
- DEPTH OF FOOTINGS MEASURED FROM TOP OF CONCRETE SLAB.

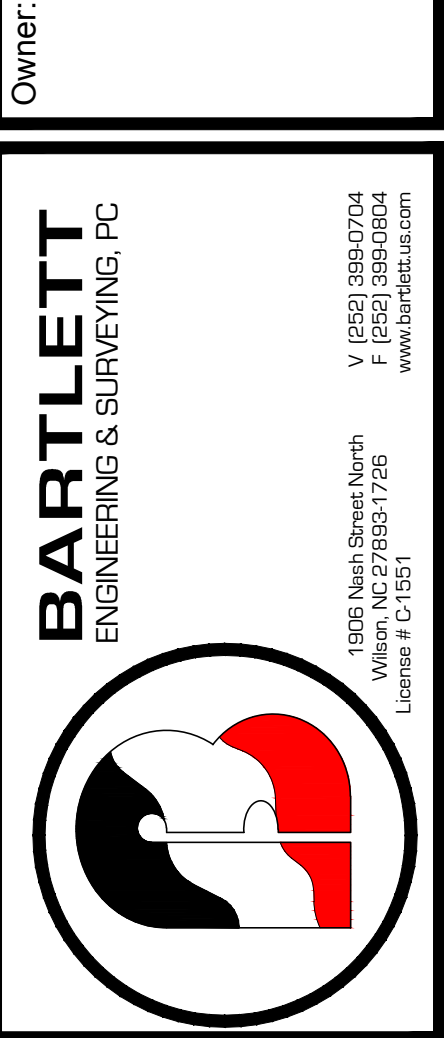


**SLAB CONTROL PLAN**  
 NEW CONSTRUCTION TOTAL: 24,750 SQ. FT.



**FOUNDATION PLAN**  
 NEW CONSTRUCTION TOTAL: 24,750 SQ. FT.

CITY OF WILSON  
 ATTN: DALE EDMONDS  
 112 GOLDSBORO ST. E  
 WILSON, NC 27894  
 252.399.2273

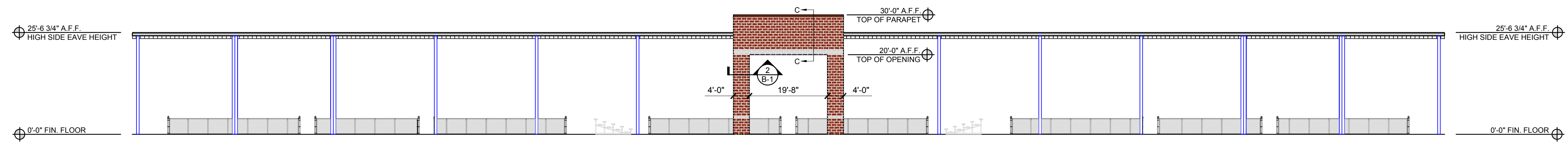


Rev.	Date	Description

**FOUNDATION PLAN & DETAILS**

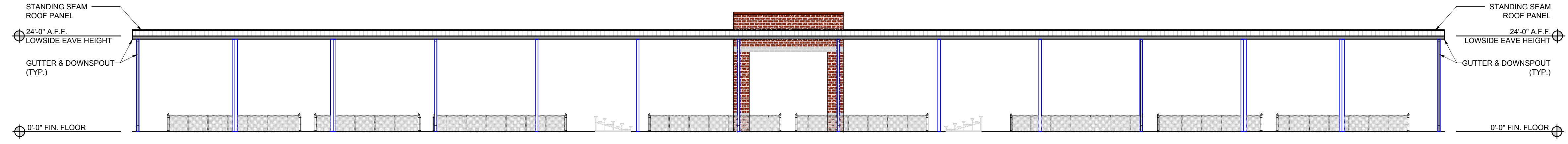
Project: **Gillette Pickleball Complex Pickleball Court Shelter**  
 32288 Carhart Ave. Elm City, NC 27822

Drawn by: M. Winstead  
 Issue Date: 03-15-23  
 Project Number: 22-091  
 Sheet: **S-1**



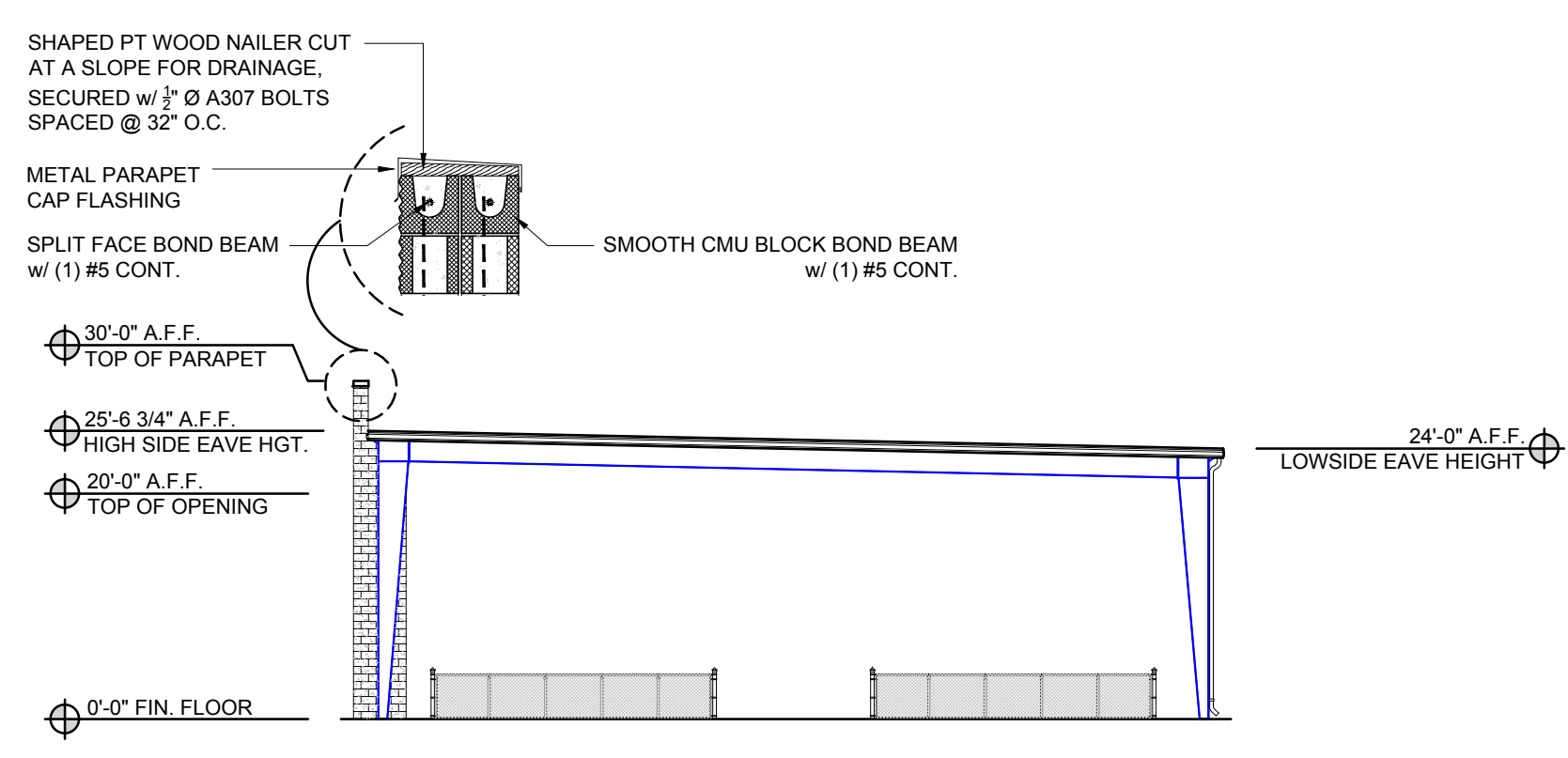
**FRONT ELEVATION**

SCALE: 1/16" = 1'-0"



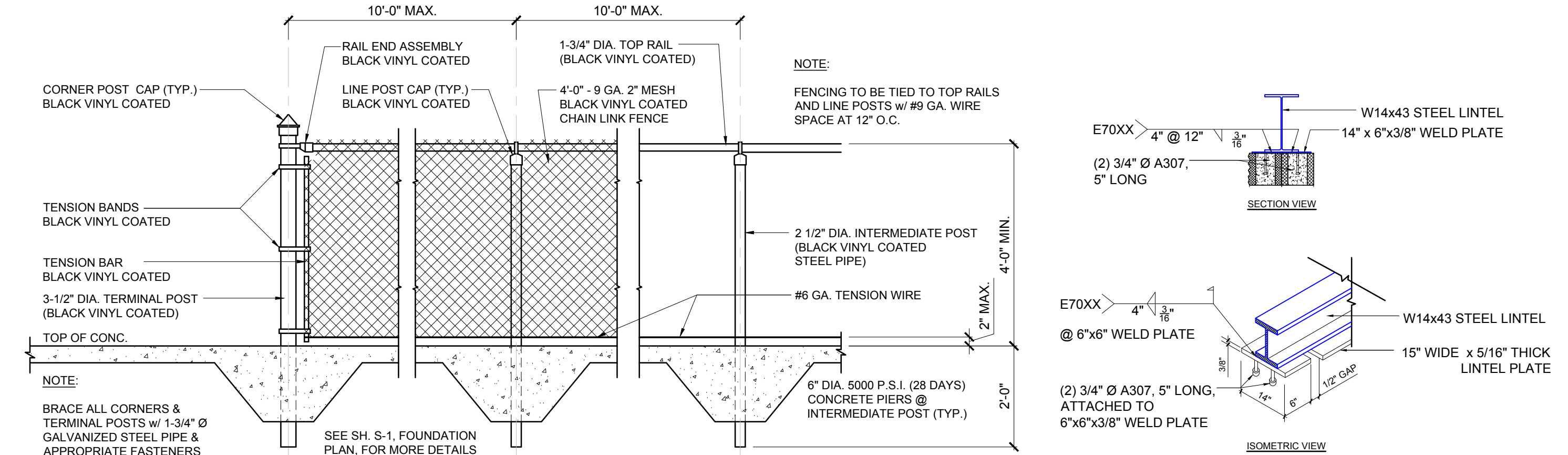
**REAR ELEVATION**

SCALE: 1/16" = 1'-0"



**RIGHT SIDE ELEVATION**

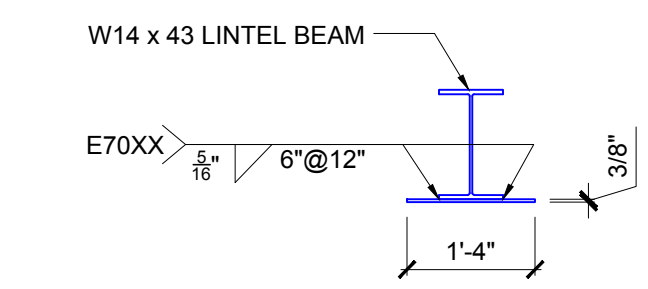
SCALE: 1/16" = 1'-0"



**A DETAIL**

SECTION @ PICKLEBALL FENCE

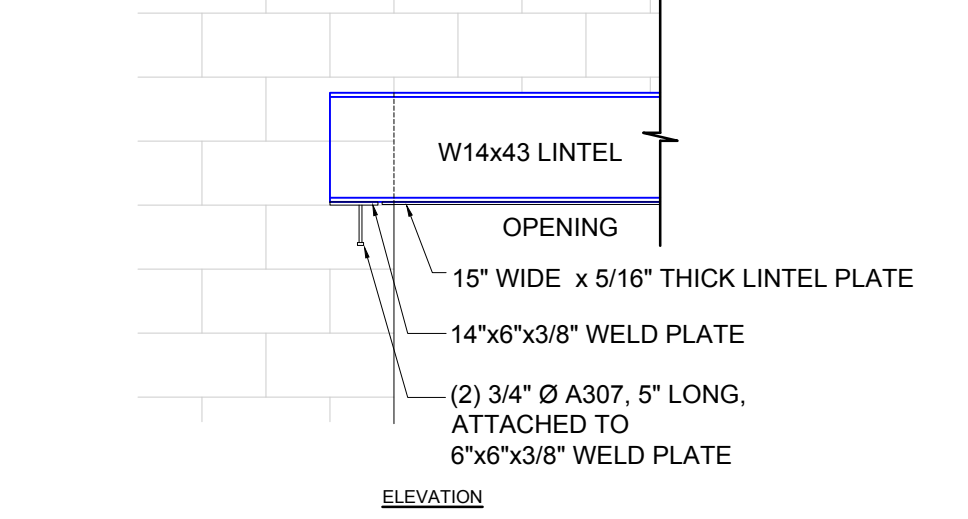
SCALE: 1/2" = 1'-0"



**B DETAIL**

WELD DETAIL FOR LINTEL BEAM

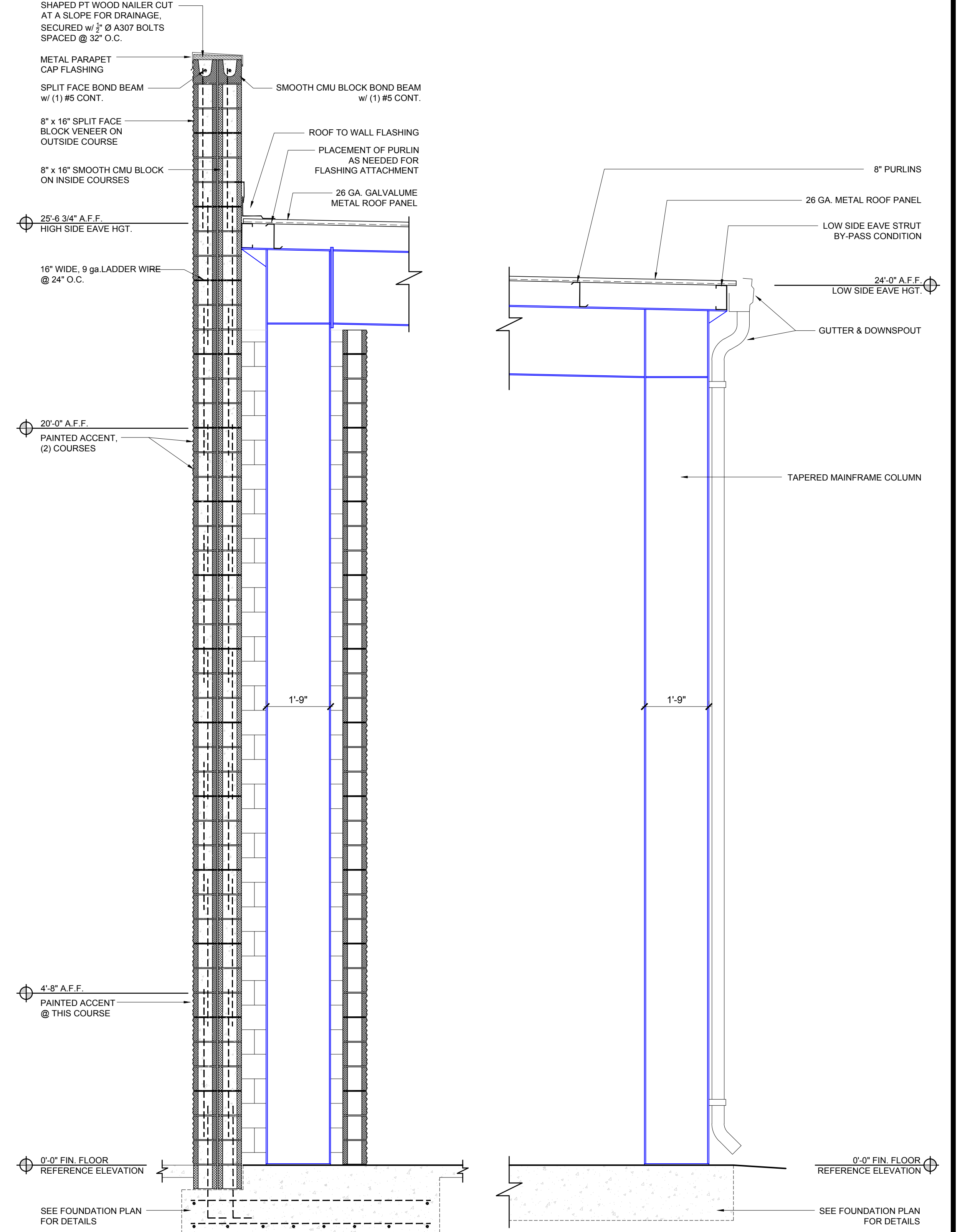
SCALE: 1/2" = 1'-0"



**C DETAIL**

WELD DETAIL FOR LINTEL BEAM

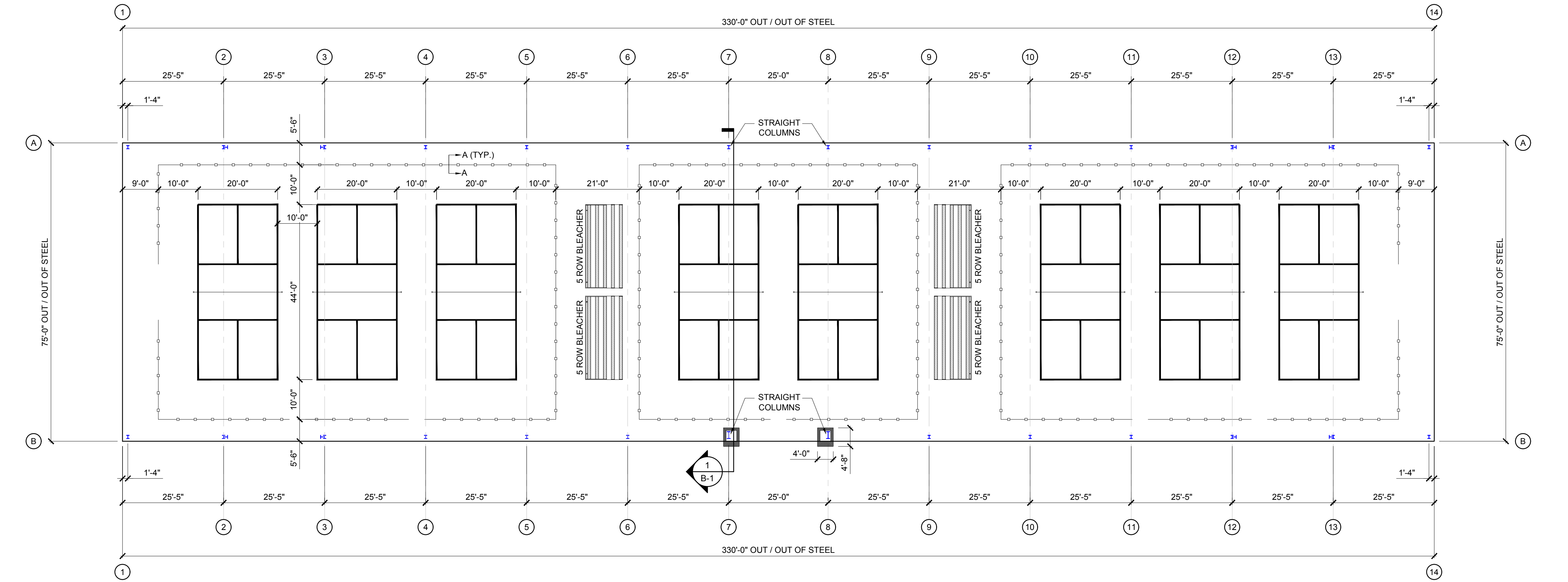
SCALE: 1/2" = 1'-0"



**1 SECTION**

B-1

SCALE: 1/2" = 1'-0"



**FLOOR PLAN**

TOTAL: 24,750 SQ. FT.

SCALE: 1/16" = 1'-0"

**GENERAL NOTES**

- \* EXTERIOR FINISHES:
  - SPLIT FACE CMU: UNPAINTED, FACTORY FINISH
  - ACCENT BANDS PAINTED - COLOR SELECTED BY OWNER
- CONCRETE: EXPOSED
- STRUCTURAL STEEL: PAINTED, BENJAMN MOORE SUPER SPEC. HP D.T.M. ALKYD LOW LUSTRE P23 OR EQUAL. COLOR SELECTED BY OWNER
- STRUCTURAL STEEL PRIMER: FACTORY APPLIED PRIMER TO BE COMPATIBLE WITH SPECIFIED FINISH PAINT
- \* UNDER SLAB:
  - SOIL TREATMENT: SOIL TREATMENT FOR SUBTERRANEAN TERMITES SHALL BE REQUIRED PER NC STATE BUILDING CODE SECTION 2304.11.6.2 AND THE STRUCTURE PEST CONTROL SECTION OF THE NC DEPARTMENT OF AGRICULTURAL AND CONSUMER SERVICES.
  - VAPOR BARRIER: 6 MIL POLY
  - SLAB:
    - WELDED WIRED MESH: 6x6 10x10

**ALTERNATE NO. I**

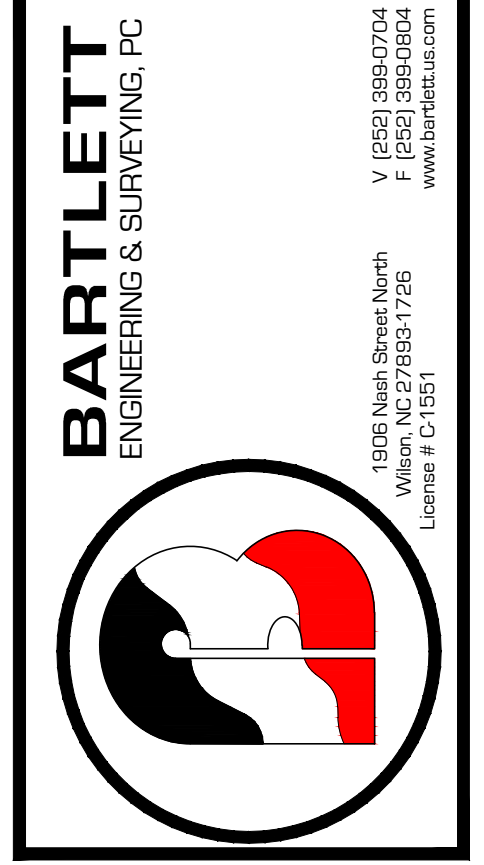
**ALL STEEL MEMBERS TO BE GALVANIZED IN LIEU OF SPECIFIED PAINT**

**COLUMN NOTES**

- FRAME LINES 1-6 TO HAVE TAPERED COLUMNS
- FRAME LINES 7 & 8 TO HAVE STRAIGHT COLUMNS
- FRAME LINES 9-14 TO HAVE TAPERED COLUMNS

CITY OF WILSON  
ATTN: DALE EDMONDS  
112 GOLDSBORO ST. E  
WILSON, NC 27894  
252.399.2273

Owner:



Rev.	Date	Description

Title Sheet: **FLOOR PLAN / ELEVATIONS / DETAILS**

Project: **Gillette Pickleball Complex Pickleball Court Shelter**

32288 Carhartt Ave. NE Elm City, NC 27822

Drawn by: M. Winstead  
Issue Date: 03-15-23  
Project Number: 22-091  
Sheet: **B-1**

ELECTRICAL LEGEND			
MARK	DESCRIPTION	MARK	DESCRIPTION
	"LED" LIGHT FIXTURE (WALL/CEIL)		"GFCI" DUPLEX RECEPTACLE IN WEATHER-PROOF COVER
	"LED" LIGHT FIXTURE		DISCONNECT SWITCH
	"LED" UNSWITCHED LIGHT FIXT. WITH BATTERY STANDBY (SECURITY/ EMERGENCY LT.)		SWITCHED BRANCH CIRCUIT
	SINGLE-POLE SWITCH		UNSWITCHED BRANCH CIRCUIT
	DUPLEX RECEPTACLE		HOMERUN
	"GFCI" DUPLEX RECEPTACLE		JUNCTION BOX

**GENERAL ELECTRICAL NOTES:**

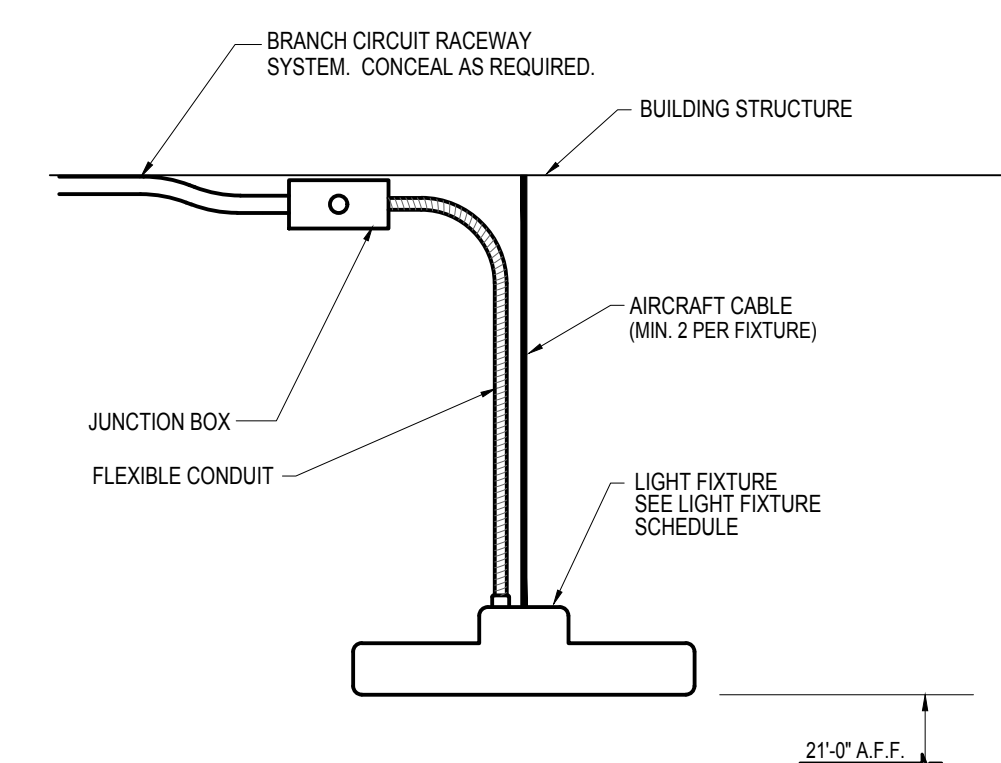
1. WORK SHALL COMPLY WITH NATIONAL ELECTRICAL CODE (NEC) STATE BUILDING CODE, AND ALL REQUIREMENTS OF THE LOCAL INSPECTOR. ALL WORK SHALL BE BY LICENSED ELECTRICAL CONTRACTOR.
2. ALL BRANCH CIRCUITS SHALL BE EMT, RIGID CONDUIT OR MC CABLE AS PERMITTED OR REQUIRED. RIGID CONDUIT SHALL BE USED FOR CIRCUITS UNDER SLAB ON GRADE, OR WHERE APPROVED SCHEDULE 80 PVC MAY BE USED.
3. ALL CONDUCTORS SHALL BE COPPER.
4. ALL EQUIPMENT LOADS SHALL BE VERIFIED BEFORE EQUIPMENT AND/OR CIRCUIT INSTALLATION. VERIFY LOCATION OF ALL RECEPTACLES WITH OWNER PRIOR TO INSTALLATION.
5. PROVIDE GREEN GROUNDING CONDUCTOR CONTINUOUS FROM DEVICE TO PANEL GROUND BAR. PROVIDE DRIVEN GROUND ROD AND COLD WATER GROUND FOR MAIN SERVICE AND ALL POINTS PER N.E.C. REQUIREMENTS.
6. EMT FITTINGS SHALL BE HEXAGONAL ALL STEEL, COMPRESSION TYPE.
7. RECEPTACLES AND SWITCHES SHALL BE COMMERCIAL GRADE BRYANT, SIERRA, LEVITON BRAND EXCEPT AS SPECIFIED.
8. ALL WALL OUTLET BOXES SHALL BE STEEL CITY OR RACO WITH PLATES.
9. ALL CIRCUITS SHALL BE TESTED WITH 500 VOLT TESTER PRIOR TO ENERGIZING.
10. MOUNTING HEIGHTS FOR ALL SWITCHES & RECEPTACLES TO BE ADA COMPLIANT PER ANSI A117.1

LIGHT FIXTURE SCHEDULE						
SYMBOL	MANUFACTURER	DESCRIPTION	LAMPS			MOUNTING
			NO.	WATTS	TYPE	
	COLUMBIA OR EQUAL	"PEL440H-FAWJUA-EDU" PELOTON 4 FT. HIGH PERFORMANCE LED HIGH BAY, 3,500K COLOR TEMP, 30M REDUCED LUMENS WITH FROSTED ACRYLIC WIDE DIFFUSE LENS, 4,000 LUMENS UPLIGHT 0-10V DIMMING, 120V	-	400	LED'S	SUSPENDED
	LITHONIA OR EQUAL	"CSXW" SERIES LED WALL PACK SUITABLE FOR WET/DAMP LOCATION, 120V, 11,500 LUMENS, 5,000K COLOR TEMP.	-	104	LED'S	WALL

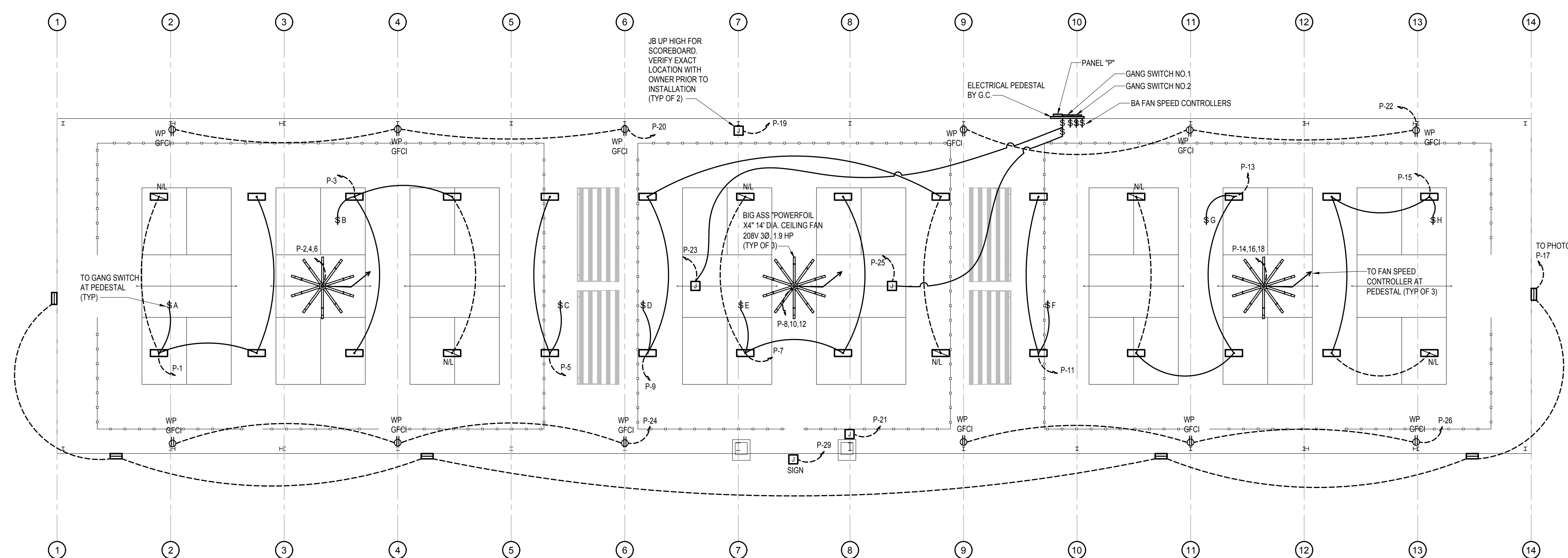
NOTES:  
 NOTE (1) - FIXTURES SHALL HAVE DISCONNECTING MEANS MEETING THE REQUIREMENTS OF NEC ARTICLE 410.136(G).  
 NOTE (2) - COORDINATE ALL FIXTURE REQUIREMENTS, COLOR TEMP, CRI (COLOR RENDERING INDEX), ETC. WITH OWNER PRIOR TO INSTALLATION.  
 NOTE (3) - SHIFT LOCATIONS OF FIXTURES IN MECHANICAL AREAS IF AS REQUIRED TO BEST LIGHT SPACES & AVOID CONFLICTS WITH DUCTS, PIPING, ETC.  
 NOTE (4) - PROVIDE CHANNEL SUPPORTS WITH HANGER RODS, ETC. WHERE NECESSARY TO SUSPEND FIXTURES BENEATH DUCTWORK, PIPING, ETC.

LIGHTING DATA FOR N.C. ENERGY CODE					
AREA USE	SQ. FT.	WATTS PER SQFT. ALLOWED	TOTAL WATTS ALLOWED	TOTAL WATTS USED	TOTAL WATTS LEFT OVER
COURT SPORTS ARENA	26,250	1.8	47,250	13,088	34,162

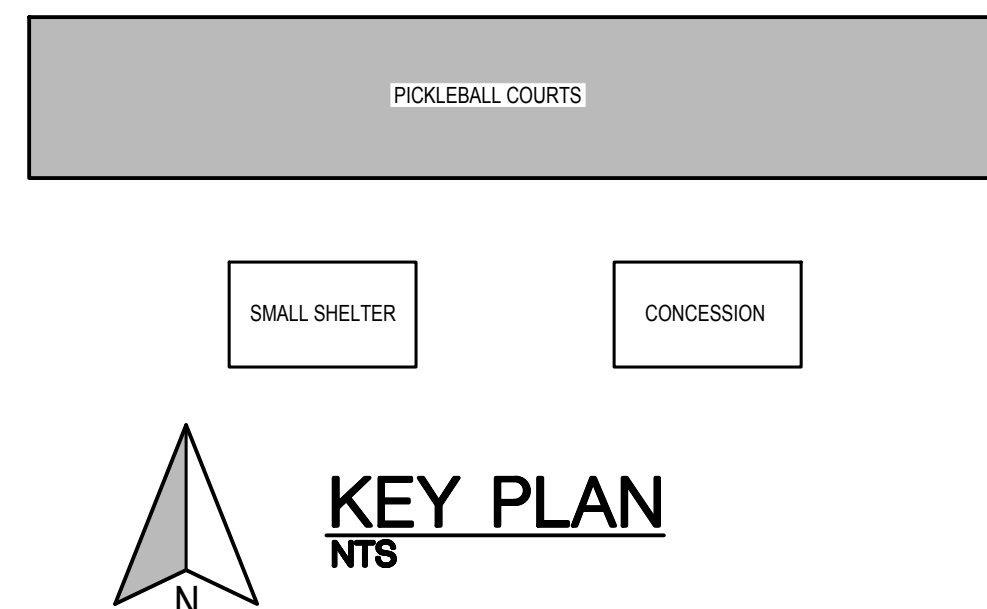
ELECTRICAL SUMMARY	
ELECTRICAL SYSTEM AND EQUIPMENT:	
Method of Compliance:	
<input checked="" type="checkbox"/> Prescriptive (Energy Code)	<input type="checkbox"/> Prescriptive (ASHRAE 90.1)
<input type="checkbox"/> Performance (Energy Code)	<input type="checkbox"/> Performance (ASHRAE 90.1)
Lighting Schedule	
Lamp type required in fixture:	THIS SHEET
Number of lamps in fixture:	
Ballast type used in fixture:	
Number of ballasts in fixture:	
Total wattage per fixture:	
Total interior wattage specified -> allowed:	
Total exterior wattage specified -> allowed:	
Additional Prescriptive Compliance:	
<input type="checkbox"/> 90.2.1 More Efficient Mechanical Equipment	
<input type="checkbox"/> 90.2.2 Reduced Lighting Power Density	
<input type="checkbox"/> 90.2.3 Energy Recovery Ventilation Systems	
<input type="checkbox"/> 90.2.4 Higher Efficiency Service Water Heating	
<input type="checkbox"/> 90.2.5 On-Site Supply of Renewable Energy	
<input type="checkbox"/> 90.2.6 Automatic Daylighting Control Systems	



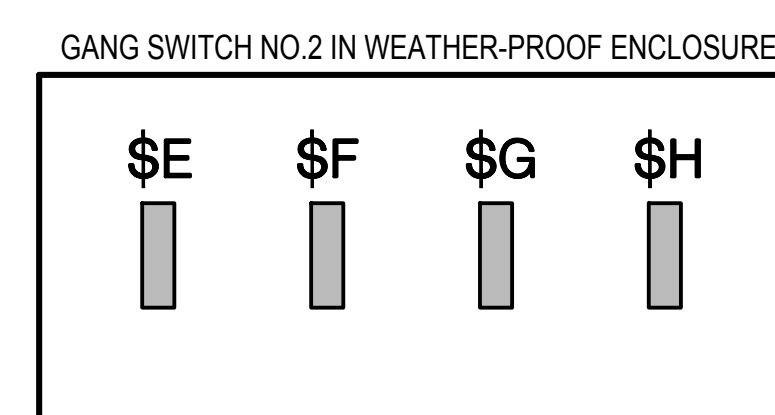
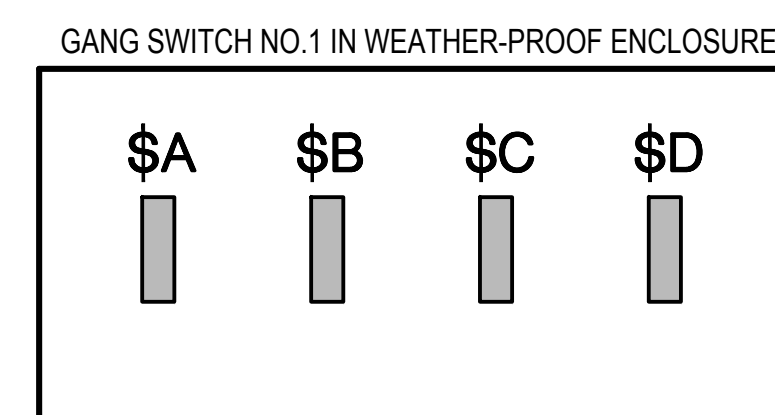
**TYPICAL MOUNTING DETAIL**  
NO SCALE



**ELECTRICAL PLAN**  
SCALE: 1/16" = 1'-0"



**KEY PLAN**  
NTS



**DETAIL-GANG SWITCHES**  
NO SCALE

ALTERNATE - LIGHTING CONTROLS  
PROVIDE AND INSTALL WITH "NX" NETWORKED - WIRELESS OPTION.

Owner:

**James Miller & Assoc. PA**  
NC LICENSE NO. C-1926  
209 Price Street  
Roanoke Rapids, NC 27870  
Tel: 252.203.1607  
Email: jasmiller@gmail.com



Rev. Date: Description:

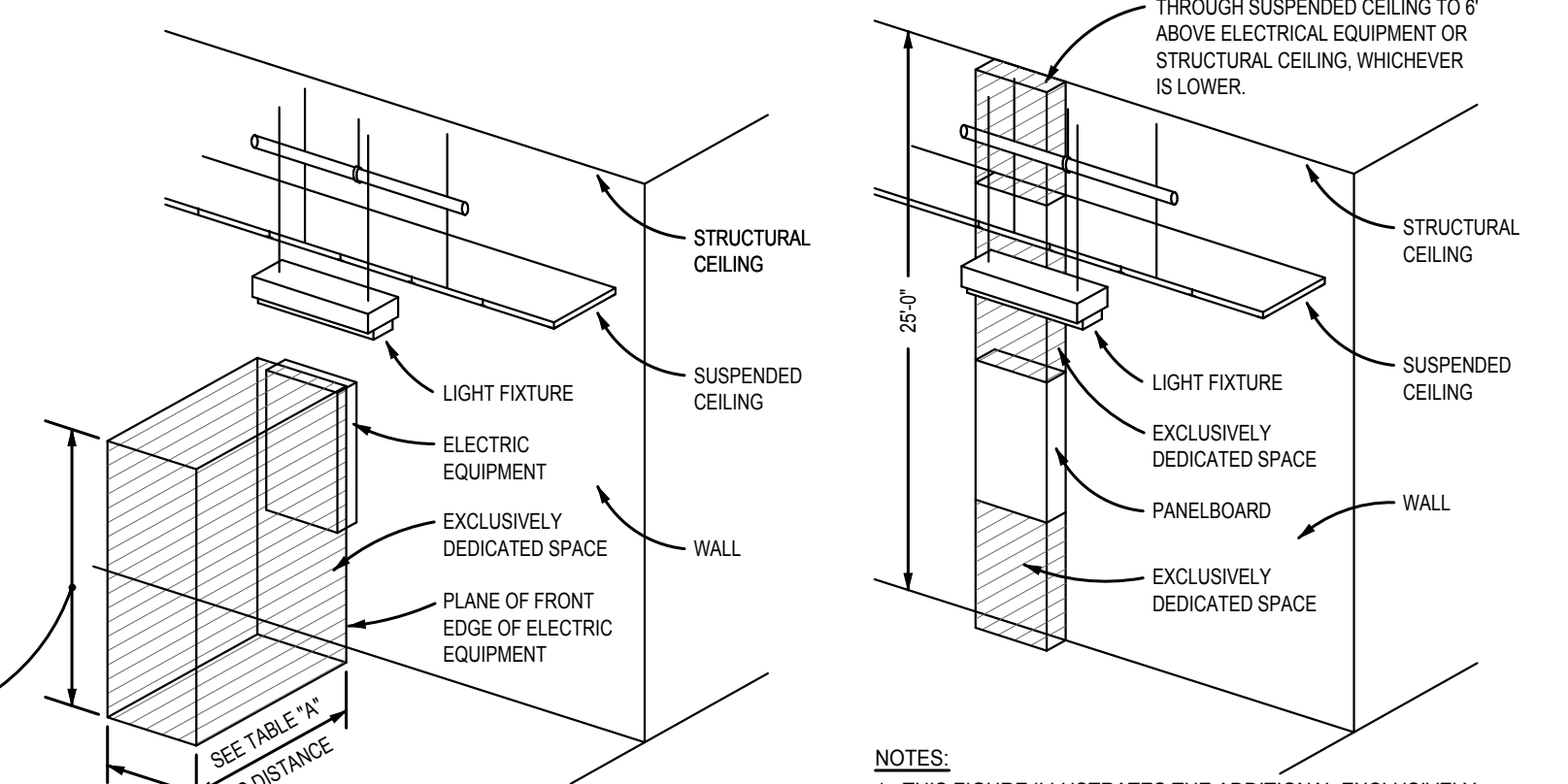
**ELECTRICAL PLAN**

Project:  
**Gillette Pickleball Complex  
Pickleball Court Shelter**

Drawn by: JLT  
Issue Date: 03-15-23  
Project Number: 22-091  
Sheet: **E-1**

TABLE "A" WORKING CLEARANCES				
VOLTAGE TO GROUND (NOMINAL)	CONDITION	1	2	3
0-150		3"	3"	3"
151-600		3"	3 1/2"	4"

- WHERE THE "CONDITIONS" ARE AS FOLLOWS:
- EXPOSED LIVE PARTS ON ONE SIDE AND NO LIVE OR GROUNDED PARTS ON THE OTHER SIDE OF THE WORKING SPACE. OR EXPOSED LIVE PARTS ON BOTH SIDES EFFECTIVELY GUARDED BY SUITABLE WOOD OR OTHER INSULATING MATERIALS. INSULATED WIRE OR INSULATED BUSBARS OPERATING AT NOT OVER 300 VOLTS SHALL NOT BE CONSIDERED LIVE PARTS.
  - EXPOSED LIVE PARTS ON ONE SIDE AND GROUNDED PARTS ON THE OTHER SIDE.
  - EXPOSED LIVE PARTS ON BOTH SIDES OF THE WORK SPACE (NOT GUARDED AS PROVIDED IN CONDITION 1) WITH THE OPERATOR BETWEEN.



- NOTES:
- THIS FIGURE ILLUSTRATES THE WORKING SPACE IN FRONT OF ELECTRICAL EQUIPMENT REQUIRED BY NEC SECTION 110-26.
  - THIS INCLUDES BUT IS NOT LIMITED TO PANELBOARDS, SAFETY SWITCHES, MOTOR STARTERS, JUNCTION BOXES AND OTHER ELECTRICAL EQUIPMENT.

- NOTES:
- THIS FIGURE ILLUSTRATES THE ADDITIONAL EXCLUSIVELY DEDICATED SPACE REQUIRED OVER AND UNDER PANELBOARDS FOR CABLES, RACEWAYS, ETC. TO AND FROM PANELBOARDS REQUIRED BY NEC SECTION 110-26.
  - NO PIPING, DUCTWORK OR EQUIPMENT FOREIGN TO THE ELECTRICAL EQUIPMENT OR ARCHITECTURAL APPURTENANCES SHALL BE PERMITTED TO BE INSTALLED IN, ENTER OR PASS THROUGH THE DEDICATED SPACES SHOWN. FOR EXCEPTIONS SEE NEC SECTION 110-26(f).

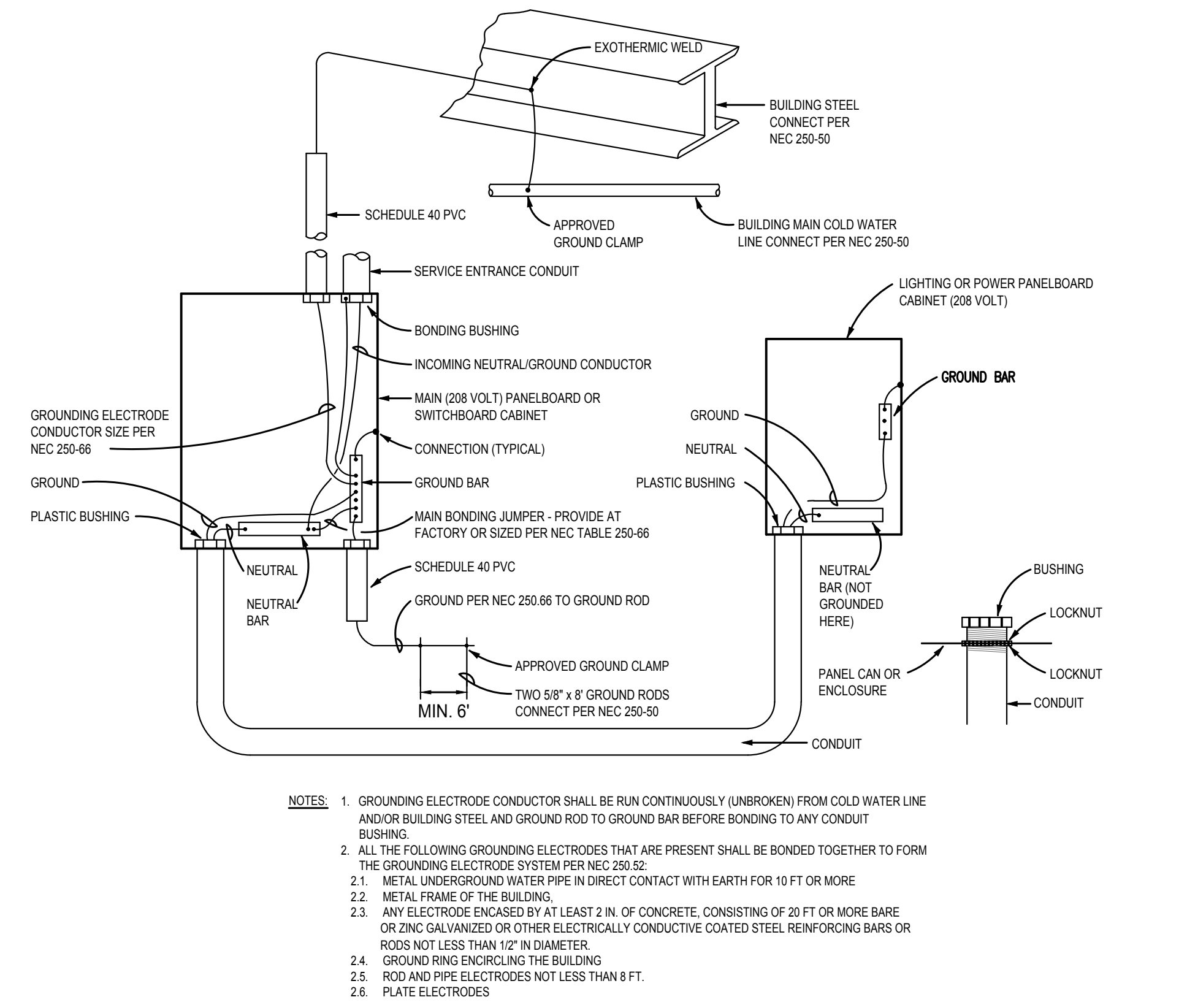
### DEDICATED WORKING SPACE REQUIREMENTS

NO SCALE

PANEL: P MTD: SURFACE TYPE: "SQ-D"  
VOLTS: 120/208 PHASE: 3 WIRE: 4  
225 AMP MAINS WITH 200 AMP MB NEMA 3R S.E. RATED

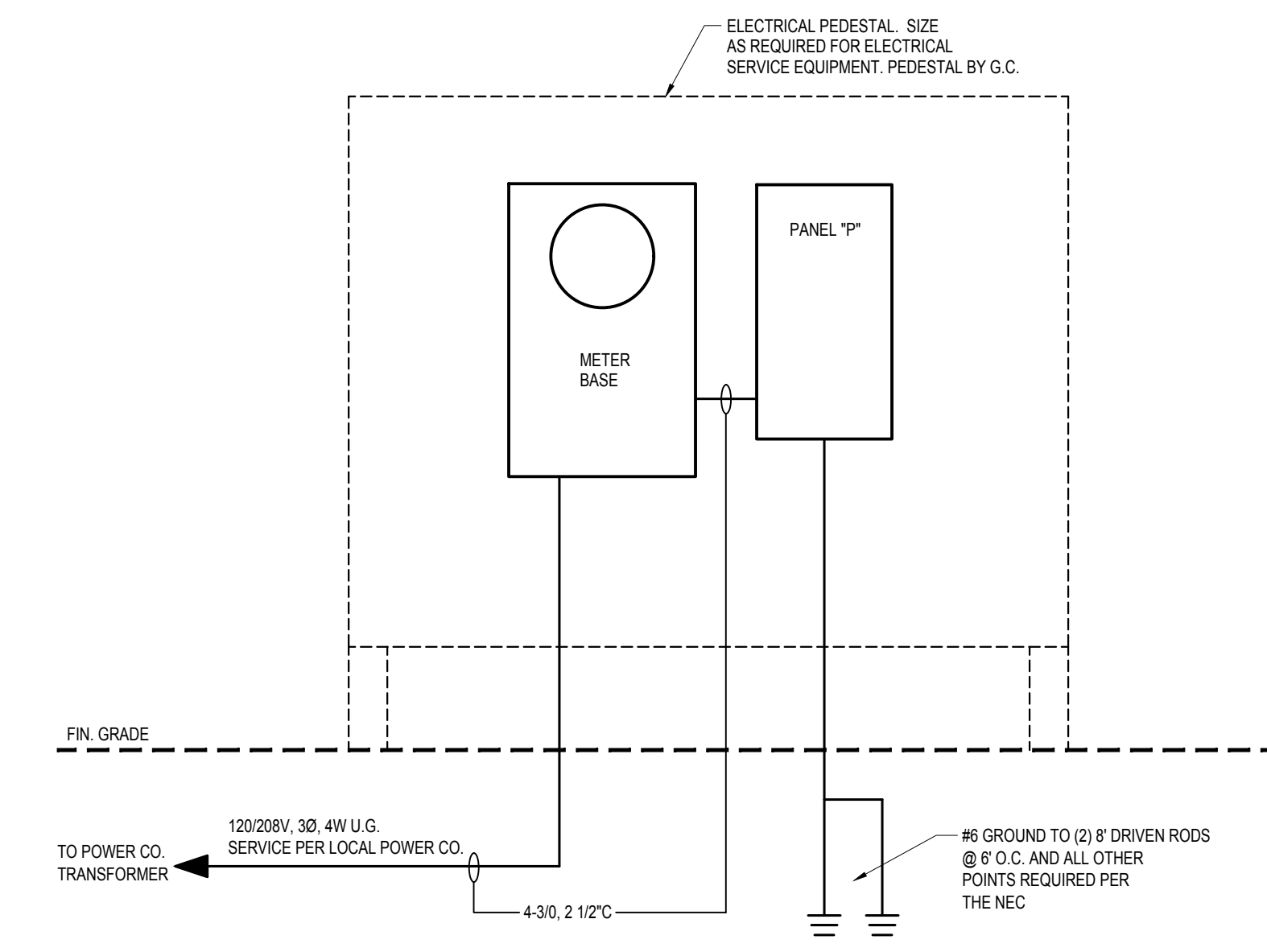
L1	L2	L3	CIRCUIT	POLES	TRIP	ASSIGNMENT	PHASE			ASSIGNMENT	TRIP	POLES	CIRCUIT	L1	L2	L3	
							U	V	W								
13.7			1	1	20	LIGHTS											
	13.7		3	1	20	LIGHTS											
		6.9	5	1	20	LIGHTS											
13.7			7	1	20	LIGHTS											
	13.7		9	1	20	LIGHTS											
		6.9	11	1	20	LIGHTS											
13.7			13	1	20	LIGHTS											
	13.7		15	1	20	LIGHTS											
		5.2	17	1	20	WALL PACKS											
5			19	1	20	SCOREBOARD											
	5		21	1	20	SCOREBOARD											
		5	23	1	20	OWNER LIGHTING (FUTURE)											
5			25	1	20	OWNER LIGHTING (FUTURE)											
	X		27	1	20	SPARE											
		X	29	1	20	SPARE											
X			31			SPACE											
	X		33			SPACE											
		X	35			SPACE											
X			37			SPACE											
	X		39			SPACE											
		X	41			SPACE											
51.1	46.1	29.0															

ELECTRICAL LOAD SUMMARY			
LIGHTS	1332 KW X 125		1665 KW
RECEPTACLES			336 KW
BA FANS			432 KW
FUTURE			500 KW
<b>TOTAL</b>			<b>2933 KW</b>
			<b>208V 3φ = 815 AMPS</b>
			<b>815 AMPS X 125 = 1019 AMPS</b>



### TYPICAL BONDING & GROUNDING DIAGRAM

NO SCALE



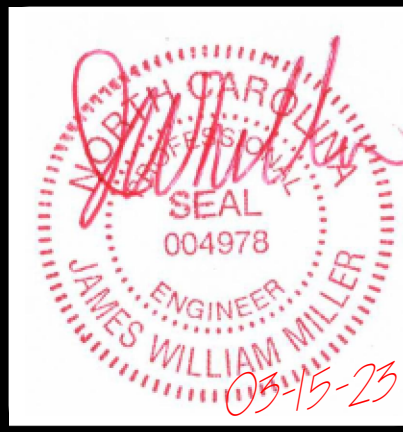
### ELECTRICAL RISER DIAGRAM

NO SCALE

- NOTES:
- AIC RATINGS SHALL BE VERIFIED AND PROPER PLAQUES APPLIED PRIOR TO ENERGIZING.
  - ELECTRICAL CONTRACTOR SHALL LABEL UTILITY AVAILABLE FAULT CURRENT AND DATE PER NEC.
  - PANEL BREAKERS & FUSES SHALL BE RATED 25% AIC MIN. UNLESS AVAILABLE FAULT CURRENT IS HIGHER, THEN RATING SHALL BE INCREASED TO EXCEED AVAILABLE FAULT CURRENT.

Owner:

James Miller & Assoc. PA  
NC LICENSE NO. C-1926  
209 Price Street  
Roanoke Rapids, NC 27870  
Tel: 252.203.1607  
Email: jasmiller@gmail.com



Rev. Date: Description:

Electrical Panel Schedule & Riser

Project: Gillette Pickleball Complex  
Pickleball Court Shelter  
3288 Contact Ave NE  
Etn. City, NC 27782

Drawn by: JLT  
Issue Date: 03-15-23  
Project Number: 22-091  
Sheet: E-2

New Construction for:  
**Gillette Park Pickleball Complex  
 Concession Building**  
 3238 Corbett Ave. NE Elm City, NC 27822

**2018 APPENDIX B BUILDING CODE SUMMARY**

ALLOWABLE HEIGHT			
	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE <sup>1</sup>
Building Height in Feet (Table 504.3) <sup>2</sup>	40'	<30'	
Building Height in Stories (Table 504.4) <sup>3</sup>	1	1	

<sup>1</sup> Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.  
<sup>2</sup> The maximum height of air traffic control towers must comply with Table 412.3.1.  
<sup>3</sup> The maximum height of open parking garages must comply with Table 406.5.4.

**FIRE RESISTANCE RATINGS**

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQUIRED	PROVIDED (W/O * REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural frame, including columns, girders, trusses		N/A					
Bearing walls							
North							
East							
West							
South							
Interior							
Nonbearing walls and partitions							
North							
East							
West							
South							
Interior walls and partitions							
Floor Construction including supporting beams and joists							
Floor Ceiling assembly							
Columns Supporting Floor							
Roof Construction including supporting beams and joists							
Roof Ceiling assembly							
Columns Supporting Roof							
Shafts Enclosures - East							
Shafts Enclosures - Other							
Corridor Separation							
Occupancy Fire Barrier Separation							
Party Line Wall Separation							
Smoke Barrier Separation							
Smoke Partition							
Tenant Dwelling Unit/Sleeping Unit Separation							
Incidental Use Separation							

PERCENTAGE OF WALL OPENING CALCULATIONS			
FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
N/A	N/A	N/A	N/A

LIFE SAFETY SYSTEM REQUIREMENTS			
Emergency Lighting:	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	
Exit Signs:	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	
Fire Alarm:	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	Automatic Sprinkler System
Smoke Detection Systems:	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	Partial, HVAC UNITS ≥ 0 TONS
Carbon Monoxide Detection:	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	

LIFE SAFETY PLAN REQUIREMENTS			
Life Safety Plan Sheet #:	-LS-1		
<input type="checkbox"/> Fire and/or smoke rated wall locations (Chapter 7)			
<input type="checkbox"/> Assumed and real property line locations (if not on the site plan)			
<input type="checkbox"/> Exterior wall opening area with respect to distance to assumed property lines (705.8)			
<input type="checkbox"/> Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)			
<input checked="" type="checkbox"/> Occupant loads for each area			
<input checked="" type="checkbox"/> Exit access travel distances (1017)			
<input checked="" type="checkbox"/> Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))			
<input type="checkbox"/> Head end lengths (1020.4)			
<input type="checkbox"/> Clear exit widths for each exit door			
<input checked="" type="checkbox"/> Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)			
<input checked="" type="checkbox"/> Actual occupant load for each exit door			
<input type="checkbox"/> A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation			
<input type="checkbox"/> Location of doors with panic hardware (1010.1.10)			
<input type="checkbox"/> Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)			
<input type="checkbox"/> Location of doors with electromagnetic egress locks (1010.1.9.9)			
<input type="checkbox"/> Location of doors equipped with hold-open devices			
<input type="checkbox"/> Location of emergency escape windows (1030)			
<input type="checkbox"/> The square footage of each fire area (202)			
<input type="checkbox"/> The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)			
<input type="checkbox"/> Note any code exceptions or table notes that may have been utilized regarding the items above			

ACCESSIBLE DWELLING UNITS (SECTION 1107)						
TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED
N/A	N/A	N/A	N/A	N/A	N/A	N/A

ACCESSIBLE PARKING (SECTION 1106)						
LOT OR PARKING AREA DESIGNATION	TOTAL # PARKING SPACES REQUIRED	# ACCESSIBLE SPACES PROVIDED	REGULAR WITH 5' ACCESS AISLE	132" ACCESS AISLE	8' ACCESS AISLE	TOTAL # ACCESSIBLE SPACES PROVIDED
TOTAL						

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)									
USE	WATER CLOSETS		URINALS		LAVATORIES		SERVICE SINK	DRINKING FOUNTAINS	
EXISTING	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	REGULAR	ACCESSIBLE	
NEW REQUIRED	2	10	2	3	2	4	2	1	1
	5	8	0	0	2	2	0	1	1

Name of Project: **New Construction for Gillette Park Pickleball Complex - Concession Building**  
 Address: **3238 Corbett Ave. NE** Zip Code: **27822**  
 Owner or Authorized Agent: **Attn: Dale Edmonds** Phone #: **(252) 399.2273** E-Mail:  
 Owned By:  City/County  Private  State  
 Code Enforcement Jurisdiction:  City  County  State

**CONTACT:** Robert Bartlett  
 DESIGNER: **Bartlett Engineering & Surveying, PC** Robert S. Bartlett 20106 252.399.0704 robert@bartletteng.com  
 Building: **James Miller & Associates, PA** James Miller 004978 252.203.1607 jasmiller@gmail.com  
 Electrical: **James Miller & Associates, PA** James Miller 004978 252.203.1607 jasmiller@gmail.com  
 Fire Alarm: **James Miller & Associates, PA** James Miller 004978 252.203.1607 jasmiller@gmail.com  
 Plumbing: **James Miller & Associates, PA** James Miller 004978 252.203.1607 jasmiller@gmail.com  
 Mechanical: **James Miller & Associates, PA** James Miller 004978 252.203.1607 jasmiller@gmail.com  
 Sprinkler-Stamping: **Bartlett Engineering & Surveying, PC** Robert S. Bartlett 20106 252.399.0704 robert@bartletteng.com  
 Struct. - Framing: **Bartlett Engineering & Surveying, PC** Robert S. Bartlett 20106 252.399.0704 robert@bartletteng.com  
 Structural - Fnd: **Bartlett Engineering & Surveying, PC** Robert S. Bartlett 20106 252.399.0704 robert@bartletteng.com  
 Other:

2018 NC BUILDING CODE:  New Building  Addition  Renovation  
 1st Time Interior Completion  
 Shell Core completion only - (Contact the local inspection jurisdiction for possible additional procedures and requirements.)  
 Phased Construction - (Contact the local inspection jurisdiction for possible additional procedures and requirements.)

2018 NC EXISTING BUILDING CODE:  Prescriptive  Repair  Chapter 14  
 Alterations  Change of Use  Historic Property

CONSTRUCTED: (date) \_\_\_\_\_ CURRENT USE(s) (Ch. 3) \_\_\_\_\_  
 RENOVATED: (date) \_\_\_\_\_ PROPOSED USE(s) (Ch. 3) **Concession & Office Building**  
 RISK CATEGORY: (Table 1604.5) Current:  I  II  III  IV  
 Proposed:  I  II  III  IV

**BASIC BUILDING DATA**  
 Construction Type:  I-A  I-B  I-C  I-D  I-E  I-F  I-G  I-H  I-I  I-J  I-K  I-L  I-M  I-N  I-O  I-P  I-Q  I-R  I-S  I-T  I-U  I-V  I-W  I-X  I-Y  I-Z  
 Sprinklers:  NO  Partial  YES  NFPA 13  NFPA 13R  NFPA 13D  
 Standpipes:  NO  YES  Class 1  II  III  Wet  Dry  
 Fire District:  NO  YES  Food Hazard Area  No  YES  
 Special Inspections Required:  NO  YES (Contact the local inspection jurisdiction for possible additional procedures and requirements.)

GROSS BUILDING AREA : 2,737 SQ. FT.			
FLOOR	EXISTING (SQ. FT.)	NEW (SQ. FT.)	SUB-TOTAL
6th Floor			
5th Floor			
4th Floor			
3rd Floor			
2nd Floor			
Mezzanine		2,737	2,737
1st Floor			
Basement			
TOTAL:		2,737	2,737

**ALLOWABLE AREA**  
 Primary Occupancy Classification(s): (check all that apply)  
 Assembly (303)  A-1  A-2  A-3  A-4  A-5  
 Business (304)   
 Educational (305)   
 Factory (306)  F-1 Moderate  F-2 Low  
 Hazardous (307)  H-1 Detonate  H-2 Dehagrate  H-3 Combust  H-4 Health  H-5 HPM  
 Institutional (308)  I-1  I-2  I-3  I-4  I-5  
 I-3 Condition:  1  2  3  4  5  
 Mercantile (309)   
 Residential (310)  R-1  R-2  R-3  R-4  
 Storage (311)  S-1 Moderate  S-2 Low  High-Piled  
 Parking Garage  Open  Enclosed  Repair Garage  
 Utility and Misc. (312)

Accessory Occupancy Classification(s): **BUSINESS**  
 Incidental Uses: (Table 509)  
 Special Uses: (Chapter 4 - List Code Sections)  
 Special Provisions: (Chapter 5 - List Code Sections)  
 Mixed Occupancy:  NO  YES Separation: \_\_\_\_\_ Hour Exception: \_\_\_\_\_  
 Non-Separated Mixed Occupancy (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.  
 Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.  
 Actual Area of Occupancy A + Actual Area of Occupancy B ≤ 1.0  
 Allowable Area of Occupancy A + Allowable Area of Occupancy B = \_\_\_\_\_ ≤ 1.0

STORY NO.	DESCRIPTION AND USE	(A) BLDG. AREA PER STORY (ACTUAL)	(B) TABLE 506.2 AREA	(C) AREA FOR FRONTAGE INC. REASE <sup>2</sup>	(D) ALLOWABLE AREA PER STORY OR UNLIMITED <sup>3</sup>
1	GROUP "A" 6"	1,048	UL		9,000
	GROUP "B"	1,689	UL	9,000	

<sup>1</sup> Frontage space area increases from Section 506.3 are computed thus:  
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = \_\_\_\_\_ (F)  
 b. Total Building Perimeter = \_\_\_\_\_ (P)  
 c. Ratio (F/P) = \_\_\_\_\_ (F/P)  
 d. W = Minimum width of public way = \_\_\_\_\_ (W)  
 e. Percent of footage increase I<sub>a</sub> = 100 [F/P - 0.25] x W/30 = \_\_\_\_\_ (%)  
<sup>2</sup> Unlimited area applicable under conditions of Sections (507)  
<sup>3</sup> Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).  
<sup>4</sup> The maximum area of open parking garages must comply with Table 406.5.4.  
<sup>5</sup> Footage increase is based on the unspinklered area value in Table 506.2.

**SPECIAL APPROVALS**  
 Special approval: (Local Jurisdiction, Department of Insurance, OIG, DPL, DBRR, SCC, etc., describe below)  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**ENERGY SUMMARY**  
 ENERGY REQUIREMENTS:  
 The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.  
 Existing building envelope complies with code:  NO  YES (Provide code or statutory reference)  
 Climate Zone:  3A  4A  5A  
 Method of Compliance: Energy Code  Prescriptive  Performance ASHRAE 90.1  Prescriptive  Performance  
 Thermal Envelope: (Prescriptive method only)  
 Roof/Ceiling Assembly (each assembly)  
 Standing seam roof  
 24 GA. METAL ROOF w/ R-38 BATT INSULATION BETWEEN TRUSSES  
 Description of Assembly: \_\_\_\_\_  
 U-Value of Total Assembly: \_\_\_\_\_  
 R-Value of Insulation: **R-38**  
 Skylights in each assembly: \_\_\_\_\_  
 U-Value of skylight: \_\_\_\_\_  
 Total square footage of skylights in each assembly: \_\_\_\_\_  
 Exterior Walls (each assembly)  
 Description of Assembly: **8" CMU WALLS, FOAM FILLED CELLS, R-4.9 PER INCH**  
 U-Value of Total Assembly: \_\_\_\_\_  
 R-Value of Insulation: \_\_\_\_\_  
 Openings (windows or doors with glazing): \_\_\_\_\_  
 U-Value of assembly: \_\_\_\_\_  
 Solar heat gain coefficient: \_\_\_\_\_  
 Projection factor: \_\_\_\_\_  
 Door R-Values: \_\_\_\_\_  
 Walls below grade: (each assembly)  
 Description of Assembly: \_\_\_\_\_  
 U-Value of Total Assembly: \_\_\_\_\_  
 R-Value of Insulation: \_\_\_\_\_  
 Floors over unconditioned space: (each assembly)  
 Description of Assembly: \_\_\_\_\_  
 U-Value of Total Assembly: \_\_\_\_\_  
 R-Value of Insulation: \_\_\_\_\_  
 Floors slab on grade  
 Description of Assembly: \_\_\_\_\_  
 U-Value of Total Assembly: \_\_\_\_\_  
 R-Value of Insulation: \_\_\_\_\_  
 Horizontal/vertical requirement: \_\_\_\_\_  
 Slab heated: \_\_\_\_\_

**STRUCTURAL DESIGN**  
**DESIGN LOADS:**  
 Importance Factors: Wind (I<sub>w</sub>) \_\_\_\_\_ 1.0  
 Snow (I<sub>s</sub>) \_\_\_\_\_ 1.0  
 Seismic (I<sub>e</sub>) \_\_\_\_\_ 1.0  
 Live Loads: Roof (live & snow) \_\_\_\_\_ 20 PSF & 15 PSF  
 Collateral \_\_\_\_\_ 2 PSF  
 Mezzanine \_\_\_\_\_  
 Floor \_\_\_\_\_ 150 PSF  
 Ground Snow Load: \_\_\_\_\_  
 Wind Loads: Ultimate Wind Speed \_\_\_\_\_ 120 MPH (ASCE-7)  
 Exposure Category \_\_\_\_\_ C

**SEISMIC CATEGORY**  A  B  C  D  
 Risk Category (Table 1604.5)  I  II  III  IV  
 Spectral Response Acceleration S<sub>s</sub> = 13.4 %g S<sub>1</sub> = 6.7 %g S<sub>2</sub> = \_\_\_\_\_ %g  
 Site Classification (ASCE-7)  A  B  C  D  E  F  
 Data source:  Field Test  Prescriptive  Historical Data  
 Basic Structural System: (check one)  
 Bearing Wall  Dual W/ Special Moment Frame  
 Building Frame  Dual W/ Intermediate R/C or Special Steel  
 Moment Frame  Inverted Pendulum  
 Analysis Procedure:  Simplified  Equivalent Lateral Force  Dynamic  
 Architectural, Mechanical, Components Anchored:  Yes  No  
 LATERAL DESIGN CONTROL:  Earthquake  Wind  
**SOIL BEARING CAPACITIES:**  
 Field Test (provide copy of test report) \_\_\_\_\_ psf  
 Prescriptive Bearing Capacity \_\_\_\_\_ psf  
 Pile Size, Type, and Capacity \_\_\_\_\_

**MECHANICAL SUMMARY SEE MECHANICAL SHEETS**  
**MECHANICAL SYSTEMS SERVICE SYSTEMS AND EQUIPMENT:**  
 Thermal Zone  
 Winter dry bulb \_\_\_\_\_  
 Summer dry bulb \_\_\_\_\_  
 Interior Design Conditions  
 Winter dry bulb \_\_\_\_\_  
 Summer dry bulb \_\_\_\_\_  
 Relative humidity \_\_\_\_\_  
 Building Heating Load \_\_\_\_\_  
 Building Cooling Load \_\_\_\_\_  
 Mechanical Spacing Conditioning System  
 Unitary  
 Description of unit \_\_\_\_\_  
 Heating efficiency \_\_\_\_\_  
 Cooling efficiency \_\_\_\_\_  
 Size category of unit \_\_\_\_\_  
 Boiler: Size category, if oversized, state reason \_\_\_\_\_  
 Chiller: Size category, if oversized, state reason \_\_\_\_\_  
 List Equipment Efficiencies  
 Equipment Schedules with Motors (mechanical systems)  
 Motor horsepower \_\_\_\_\_  
 Number of phases \_\_\_\_\_  
 Minimum efficiency \_\_\_\_\_  
 Motor type \_\_\_\_\_  
 # of poles \_\_\_\_\_

**ELECTRICAL SUMMARY SEE ELECTRICAL SHEETS**  
**ELECTRICAL SYSTEM AND EQUIPMENT:**  
 Method of Compliance: Energy Code  Prescriptive  Performance ASHRAE 90.1  Prescriptive  Performance  
 Lighting Schedule (each fixture type)  
 Lamp type required in fixture \_\_\_\_\_  
 Number of lamps in fixture \_\_\_\_\_  
 Horizontal/vertical requirement \_\_\_\_\_  
 Ballast type used in fixture \_\_\_\_\_  
 Number of ballasts in fixture \_\_\_\_\_  
 Total wattage per fixture \_\_\_\_\_  
 Total interior wattage specified -vs- allowed \_\_\_\_\_  
 Total exterior wattage specified -vs- allowed \_\_\_\_\_  
**Additional Prescriptive Compliance:**  
 C406.2 More Efficient HVAC Equipment Performance  
 C406.3 Reduced Lighting Power Density  
 C406.4 Enhanced Digital Lighting Controls  
 C406.5 On-Site Renewable Energy  
 C406.6 Dedicated Outdoor Air System  
 C406.7 Reduced Energy Use in Service Water Heating

**PERCENTAGE OF WALL OPENING CALCULATIONS**

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
N/A	N/A	N/A	N/A



**SHEET INDEX**

	COVER
CS-1	CODE SUMMARY
LS-1	LIFE SAFETY PLAN
	STRUCTURAL
S-1	FOUNDATION PLAN & DETAILS
S-2	WALL FRAMING PLAN
S-3	ROOF FRAMING PLAN
	BUILDING
B-1	PROPOSED FLOOR PLAN
B-2	EXTERIOR ELEVATIONS
B-3	WALL SECTIONS
	PLUMBING
P-1	PLUMBING - SUPPLY PIPING PLAN
P-2	PLUMBING - WASTE & VENT PIPING PLAN
	MECHANICAL
M-1	MECHANICAL PLAN
M-2	MECHANICAL DETAILS
	ELECTRICAL
E-1	ELECTRICAL - LIGHTING PLAN
E-2	ELECTRICAL - POWER PLAN
E-2	ELECTRICAL PANEL SCHEDULE & RISER

City of Wilson  
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 License # C-1551

**Professional Engineer Seal**  
 Robert S. Bartlett  
 License # C-1551  
 20106

Rev:	Date:	Description:

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**DAWSON CONSTRUCTION SERVICES, INC.**  
 Planning ~ Management ~ General Construction  
 252-289-6304 Wilson, NC

Project: **Gillette Pickleball Complex Concession Building**  
 3238 Corbett Ave NE Elm City, NC 27892  
 Drawn by: M. Winstead  
 Issue Date: 03-15-23  
 Project Number: 22-091  
 Sheet: **CS-1**



PROPOSED PICKLEBALL COMPLEX MAP

N.T.S.

PLUMBING FIXTURE CALCULATIONS FOR PICKLEBALL COMPLEX :

PICKLEBALL / TENNIS COURTS

32 COURTS  
4 OCCUPANTS PER COURT  
= 128 OCCUPANTS

BLEACHER SEATING

4 BLEACHERS w/ 5 ROWS EACH  
14 OCCUPANTS PER ROW  
= 280 OCCUPANTS

SMALL SHELTER

2,737 TOTAL SQ. FT.  
UNCONCENTRATED (TABLE & CHAIRS)  
15 NET  
= 183 OCCUPANTS

CONCESSION BUILDING

2,737 TOTAL SQ. FT.  
B OCCUPANCY  
100 GROSS  
= 28 OCCUPANTS

(TOTAL OCCUPANTS = 619)

619 OCCUPANTS TOTAL / 2 = 310 MALE - 310 FEMALE

WATER CLOSETS - MALE -

A-5 / 1 PER 75 FOR THE FIRST 1,500 AND  
1 PER 120 FOR THE REMAINDER EXCEEDING 1,500

310 MALE OCCUPANTS  
5 TOILETS REQUIRED

LAVATORIES - MALE

A-5 / 1 PER 200

310 OCCUPANTS  
2 LAVATORIES REQUIRED

WATER CLOSETS - FEMALE -

A-5 / 1 PER 40 FOR THE FIRST 1,520 AND  
1 PER 60 FOR THE REMAINDER EXCEEDING 1,520

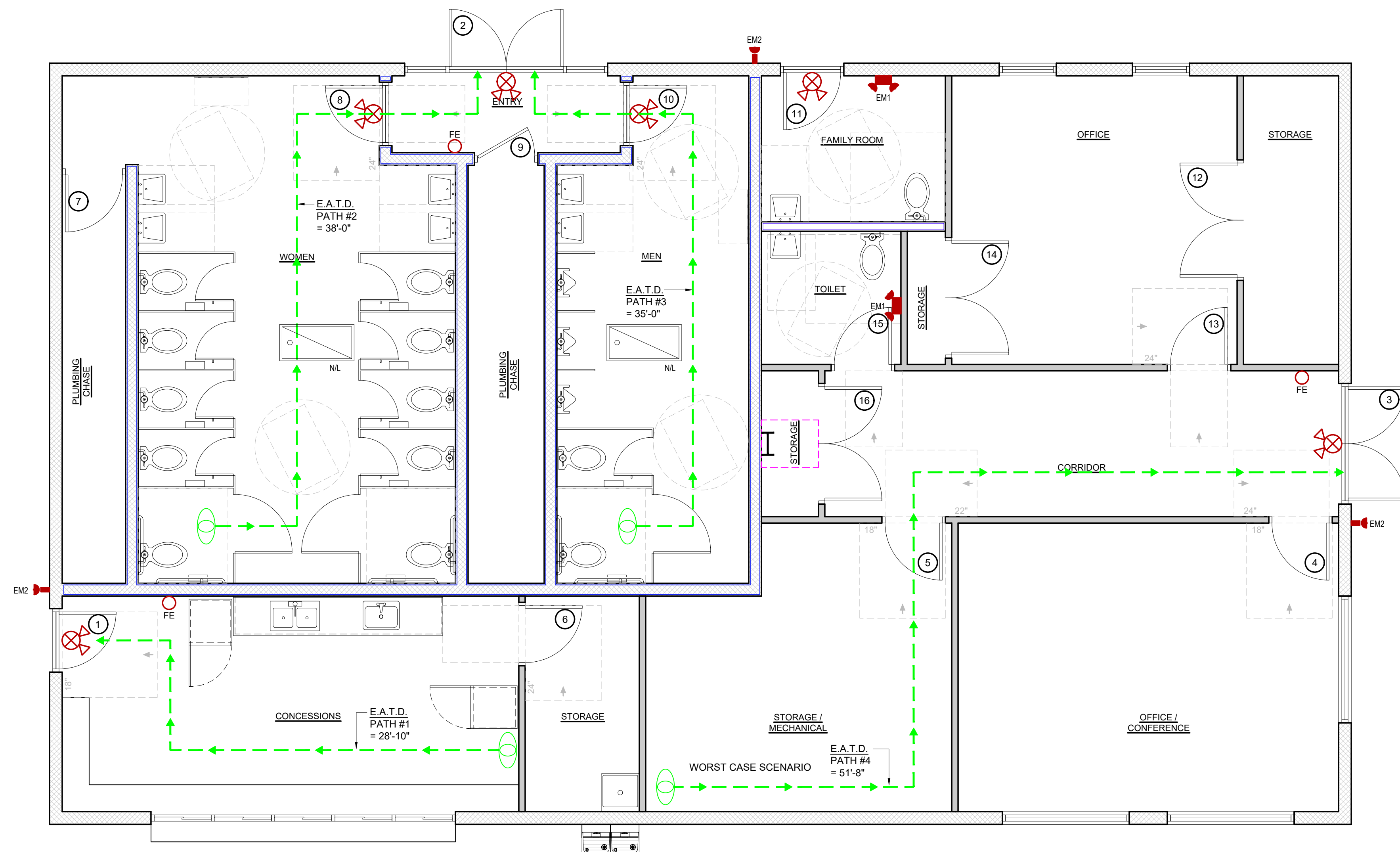
310 FEMALE OCCUPANTS  
8 TOILETS REQUIRED

LAVATORIES - FEMALE

A-5 / 1 PER 150

310 OCCUPANTS  
2 LAVATORIES REQUIRED

NOTE:  
TOILETS TO SERVE PICKLEBALL COMPLEX



LIFE SAFETY PLAN

TOTAL: 2,737 SQ. FT.

SCALE: 1/4" = 1'-0"

OCCUPANT DOOR LOAD DATA											
DOOR NUMBER	REQ'D. EXIT	CLEAR DOOR WIDTH	EGRESS WIDTH PER OCCUPANT	MAX. OCCUPANT LOAD	ACTUAL OCCUPANT LOAD	PERCENTAGE OF REQ'D. CAPACITY	PANIC HARDWARE REQ'D.	DELAYED EGRESS LOCKS	AMOUNT OF TIME DELAY	ELECTRO-MAGNETIC LOCKS	HOLD OPEN DEVICE
1	YES	36"	0.2"	180	3	1.66%	NO	NO	N/A	NO	NO
2	YES	72"	0.2"	360	11	6.11%	NO	NO	N/A	NO	NO
3	YES	72"	0.2"	360	15	8.3%	NO	NO	N/A	NO	NO

ALL OTHER DOORS ARE NOT REQUIRED EXITS

OCCUPANT LOAD CALCULATIONS

B - BUSINESS  
752 SQ. FT. PER OCCUPANT  
100 SQ. FT. GROSS  
= 8 OCCUPANTS

B OCCUPANCY - CONCESSIONS  
272 SQ. FT. GROSS  
100 GROSS  
= 3 OCCUPANTS

STORAGE  
406 SQ. FT. GROSS  
300 GROSS  
= 2 OCCUPANTS

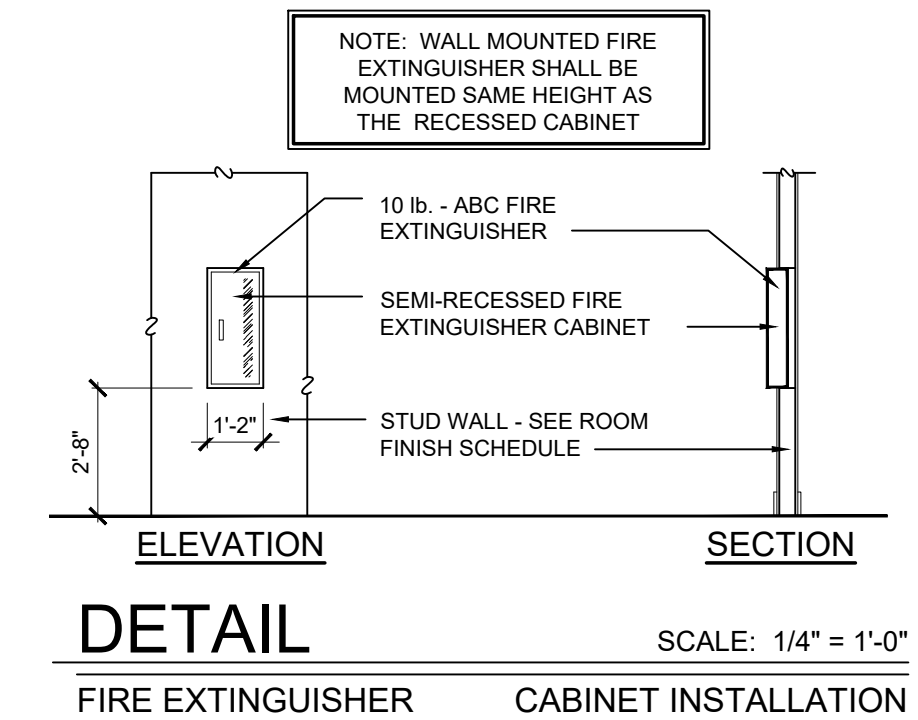
A-5 WOMENS TOILET ROOM -  
SERVING PICKLEBALL COMPLEX  
444 SQ. FT. GROSS  
1 FIXTURE PER OCCUPANT  
= 10 OCCUPANTS

A-5 MENS TOILET ROOM -  
SERVING PICKLEBALL COMPLEX  
250 SQ. FT. GROSS  
1 FIXTURE PER OCCUPANT  
= 5 OCCUPANTS

28 TOTAL OCCUPANTS

LEGEND

SYMBOL	DESCRIPTION
FE	PROPOSED ABC TYPE FIRE EXTINGUISHER
→	ROUTE OF EXIT ACCESS TRAVEL DISTANCE
⊗	PROPOSED COMBINATION EXIT AND EMERGENCY LIGHT
⊗	PROPOSED EMERGENCY EXIT LIGHT
EM1	PROPOSED EMERGENCY LIGHT WITH BATTERY BACKUP
EM2	PROPOSED REMOTE EMERGENCY EGRESS LIGHT POWERED BY INTERIOR EMERGENCY LIGHT BATTERY PACK, SUITABLE FOR WET/DAMP LOCATION

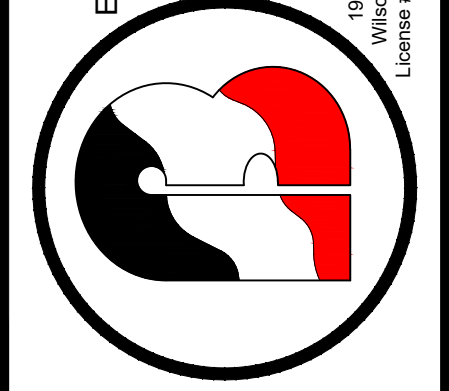


DETAIL  
FIRE EXTINGUISHER CABINET INSTALLATION  
SCALE: 1/4" = 1'-0"

CITY OF WILSON  
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252.399.2273

Owner:

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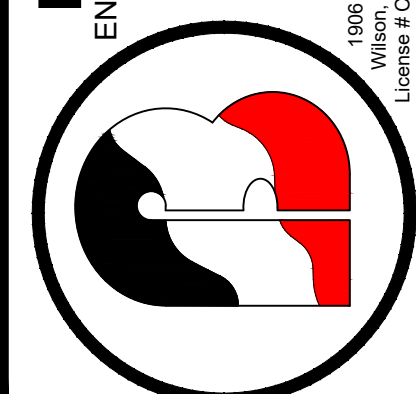
Title Sheet: LIFE SAFETY PLAN  
New Construction For:  
Project: Gillette Pickleball Complex  
Concession Building  
3228 Corbett Ave NE Elm City, NC 27822

Drawn by: M. Winstead  
Issue Date: 03-15-23  
Project Number: 22-091  
Sheet: LS-1

CITY OF WILSON  
 ATTN: DALE EDMONDS  
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 WILSON, NC 27894  
 252.399.2273

Owner:

**BARTLETT**  
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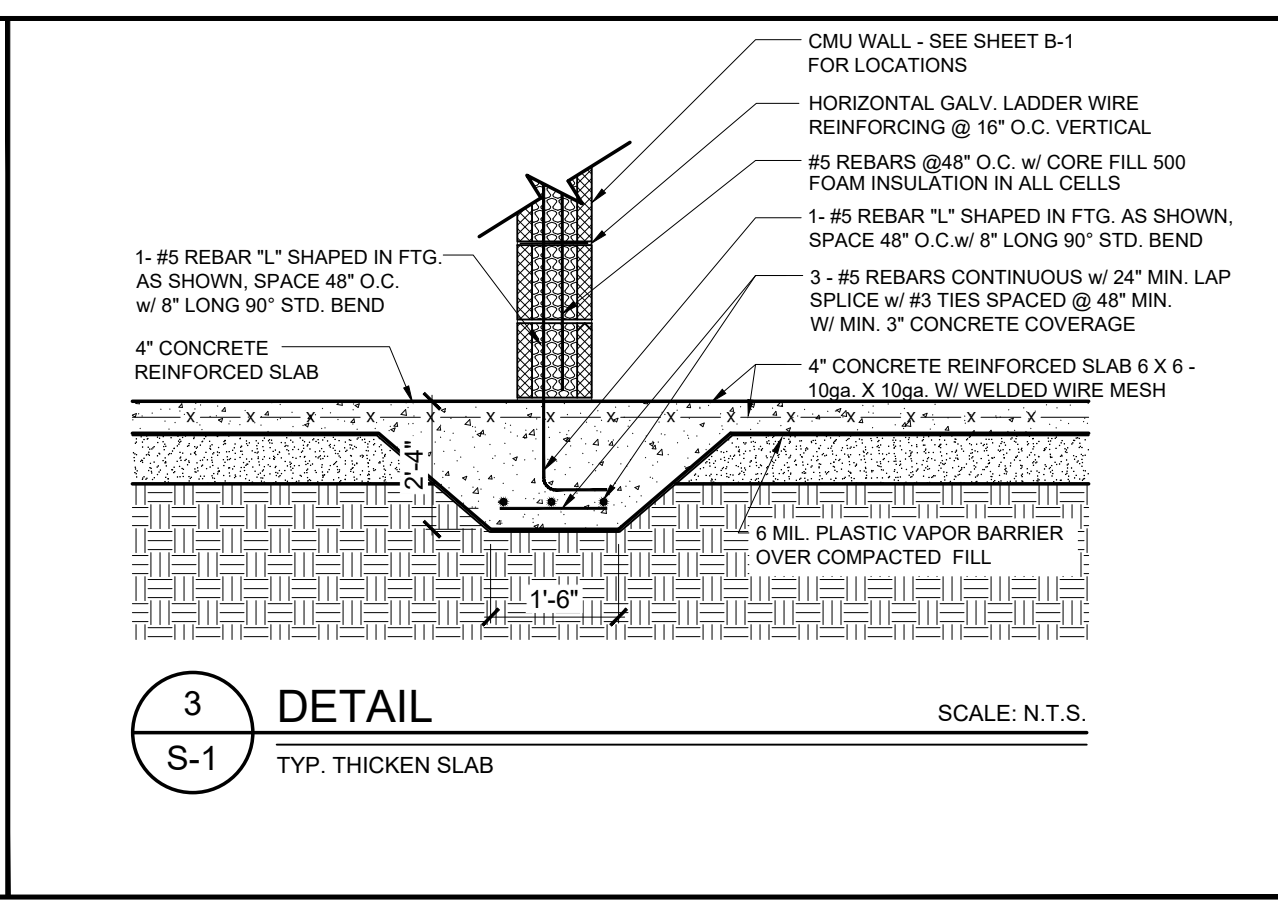
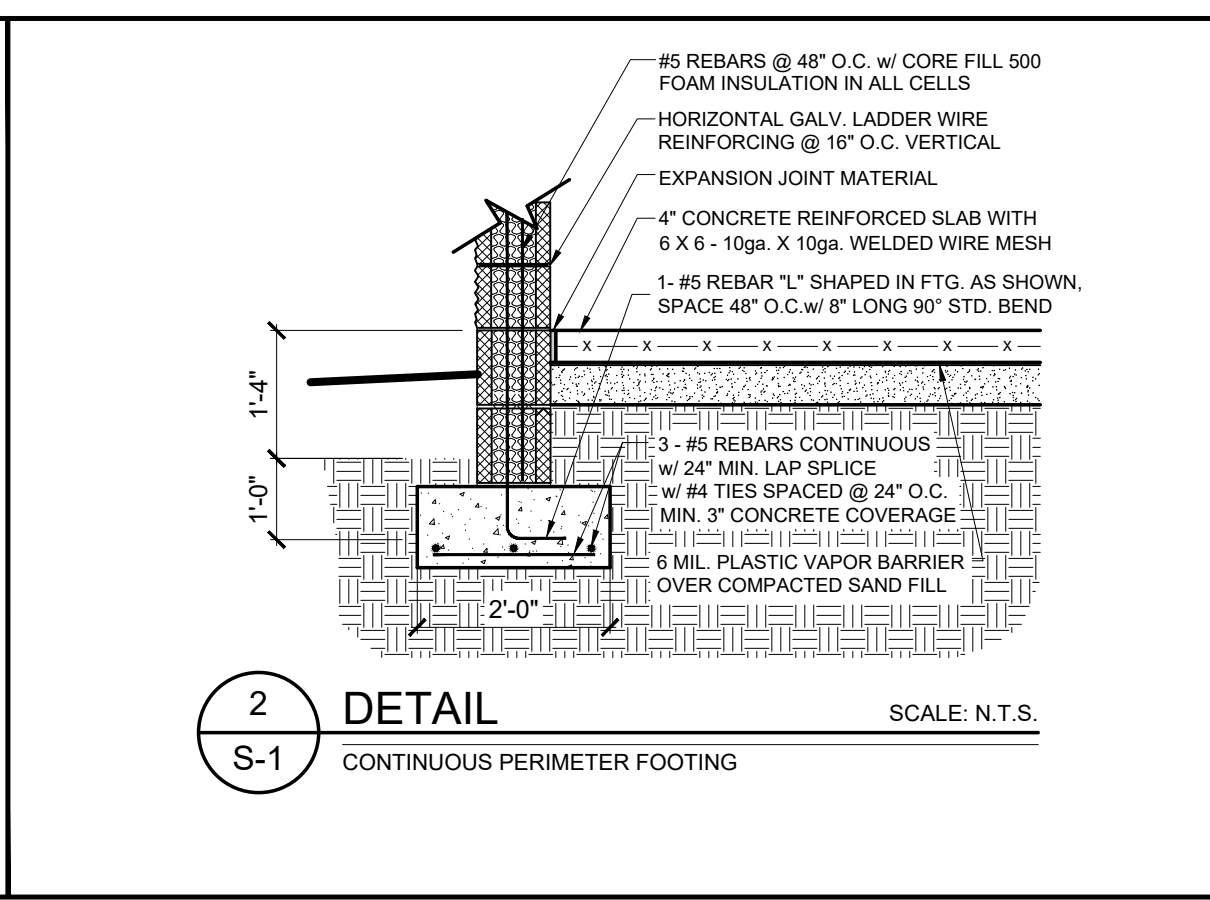
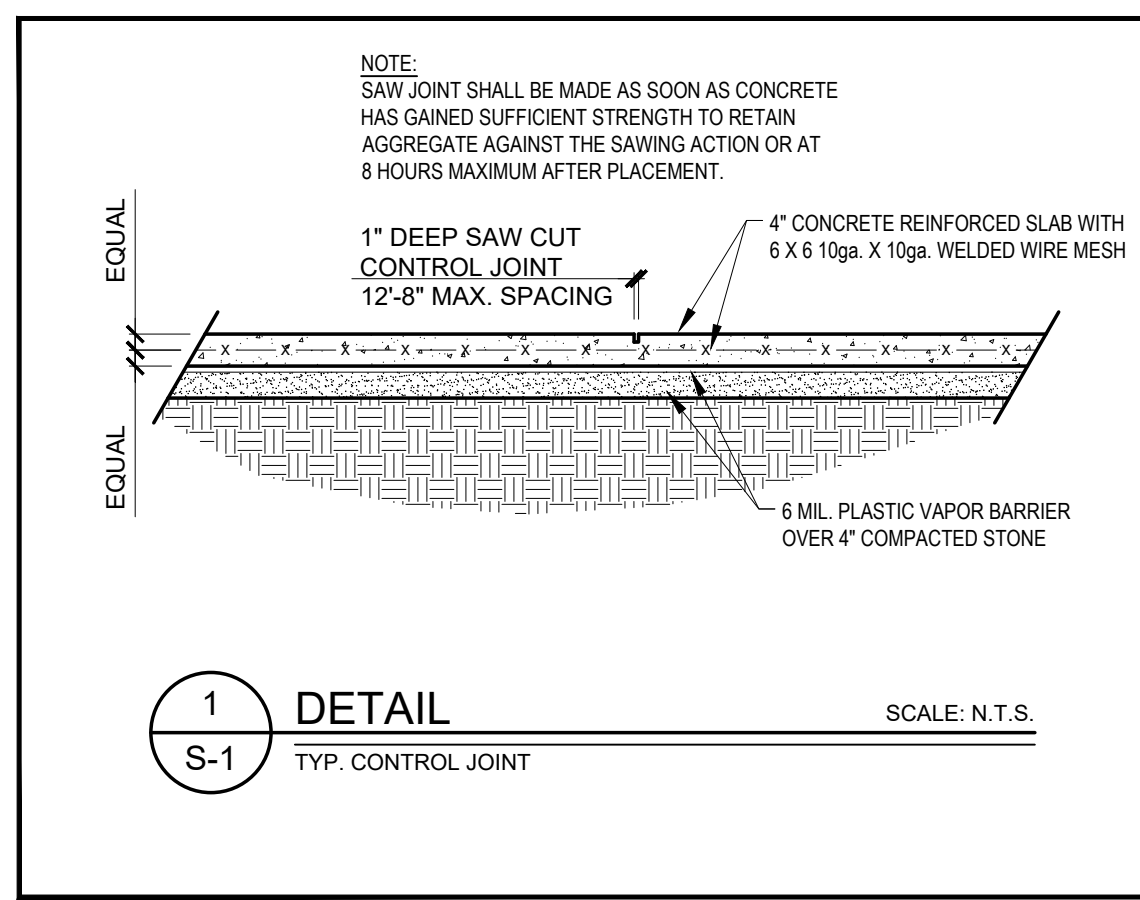


Rev.	Date	Description

Title Sheet: FOUNDATION PLAN

Project: New Construction For:  
**Gillette Pickleball Complex**  
 Concession Building  
 323B Corbett Ave NE Elm City, NC 27822

Drawn by: M. Winstead  
 Issue Date: 03-15-23  
 Project Number: 22-091  
 Sheet: **S-1**



**GENERAL NOTES:**

- ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE STATEWIDE BUILDING CODE AND TO THE SPECIFICATIONS AND STANDARDS OF THE LOCAL BUILDING INSPECTIONS OFFICE.
- CONTRACTOR SHALL COORDINATE AND VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK, WITH ANY DISCREPANCY BROUGHT TO THE ATTENTION OF THE DESIGNER.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SUBGRADE CONDITIONS.
- FOOTINGS ARE DESIGNED FOR SOIL HAVING A MINIMUM BEARING OF 2000 P.S.F.
- ALL CONCRETE TO BE NORMAL WEIGHT CONCRETE WITH 5000 P.S.I. MINIMUM @ 28 DAY STRENGTH.
- WELDED WIRE FABRIC TO CONFORM ASTM A-185 MATERIAL AND HAVE 8" LAPS.

**REINFORCING STEEL**  
 Reinforcing bars shall be deformed billet steel bars conforming to (ASTM A - 615 ) specifications.

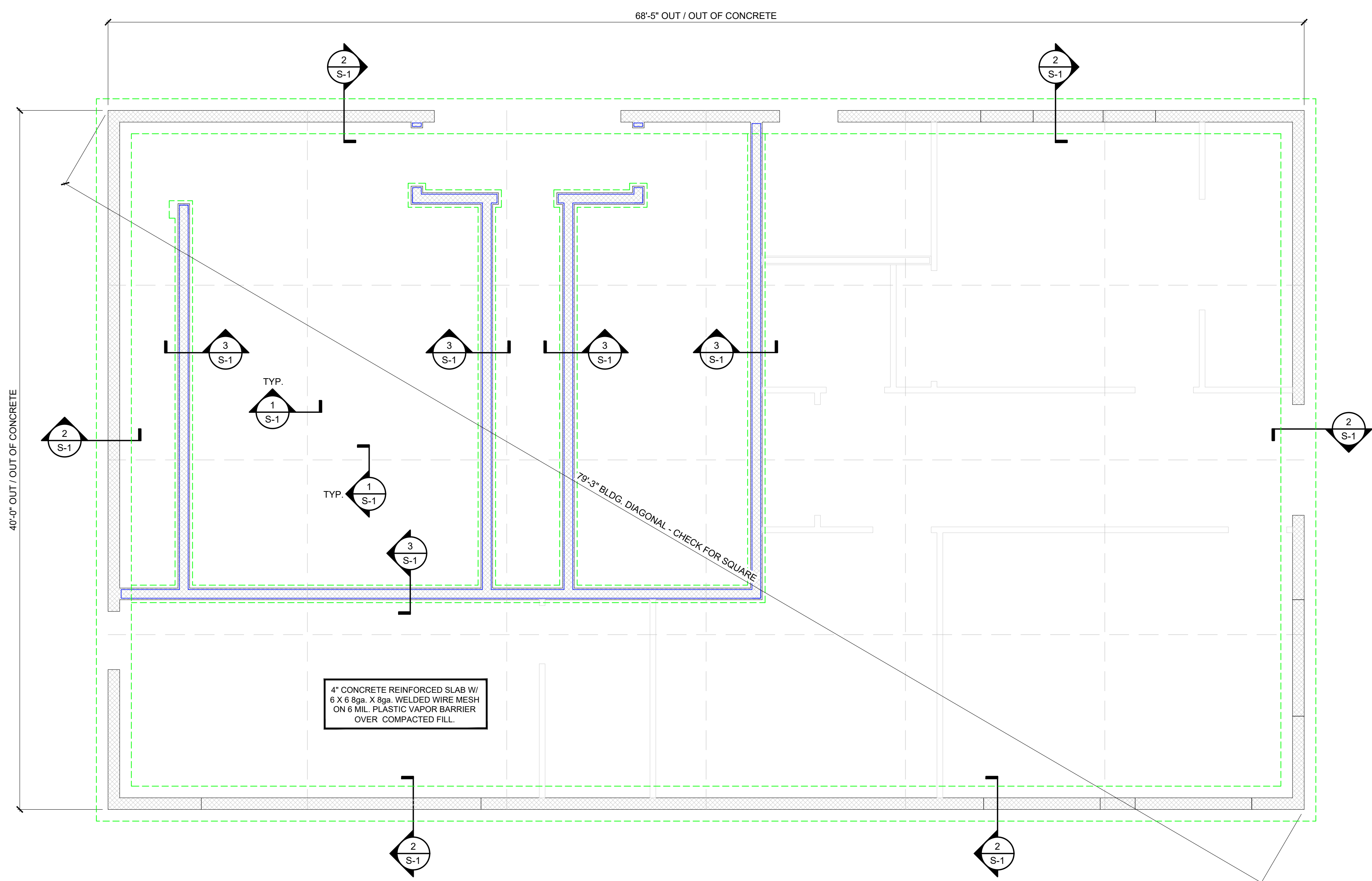
**MINIMUM YIELD STRENGTH ( fy ):**  
 Reinforcing bars ..... 60,000 psi Unless otherwise detailed.  
 protective concrete cover for reinforcing steel shall not be less than:  
 (a) Concrete cast against and permanently exposed to earth ..... 3"  
 (b) Concrete exposed to earth or weather  
 #5 & smaller ..... 1-1/2"  
 #6 & larger ..... 2".

**MINIMUM TENSION LAP SPLICE LENGTHS (fc = 3,000psi)**  
 #3 ..... 22" #4 ..... 29" #5 ..... 36"  
 #6 ..... 43" #8 ..... 72"

WWF laps to 12" minimum. WWF to conform to ASTM A-185

**DESIGN NOTES:**

2018 NORTH CAROLINA BUILDING CODE  
 RISK CATEGORY = 2  
 ROOF LIVE LOAD = 20 PSF  
 COLL. LOAD = 5 PSF  
 SNOW LOAD = 15.0 PSF  
 Ce = 1  
 WIND SPEED = 120 MPH  
 EXPOSURE = C  
 INTERNAL PRESSURE COEFFICIENT = 0.18  
 SITE CLASS = D  
 DESIGN CATEGORY = B  
 Ss = 13.5%  
 S1 = 6.7%  
 Sds = 0.144  
 Sd1 = 0.108



**FOUNDATION PLAN**  
 TOTAL: 2,737 SQ. FT.

SCALE: 1/4" = 1'-0"



WALL LEGEND	
SYMBOL	DESCRIPTION
	MASONRY WALL 8' CMU SPLIT FACE BLOCK
	INTERIOR WALLS 2' x 4' SYP #2 STUDS @ 16" O.C. WALL HEIGHT = 10'-6" A.F.F. SEE SH. B-1, FINISH SCHEDULE FOR WALL FINISH MATERIAL
	PLUMBING WALL 2' x 6' SYP #2 STUDS @ 16" O.C. WALL HEIGHT = 10'-6" A.F.F. SEE SH. B-1, FINISH SCHEDULE FOR WALL FINISH MATERIAL

HEADER SCHEDULE	
SYMBOL	DESCRIPTION
	STEEL LINTEL W12x22 w/ 5/16" PLATE, 7 1/2" WIDE 8" OF BEARING ON EACH END SEE SH. B-3, WALL SECTIONS, FOR MORE INFORMATION
	MASONRY HEADER - SINGLE BOND BEAM (1) BOND BEAM BLOCK w/ (2) #4 BARS 3,000 PSI GROUT FILLED 8" OF BEARING ON EACH END
	MASONRY HEADER - DOUBLE BOND BEAM (2) BOND BEAM BLOCKS w/ (2) #4 BARS 3,000 PSI GROUT FILLED 8" OF BEARING ON EACH END

- NOTES:
- TOP OF CONCRETE SLAB REF. ELEVATION = 0'-0"
  - HEIGHTS OF MEMBERS MEASURED FROM TOP OF CONCRETE SLAB.
  - T.O.S. = TOP OF STEEL
  - B.O.S. = BOTTOM OF STEEL
  - ALL MASONRY JAMBS TO HAVE (1) #5 BAR AND FILLED W/ GROUT

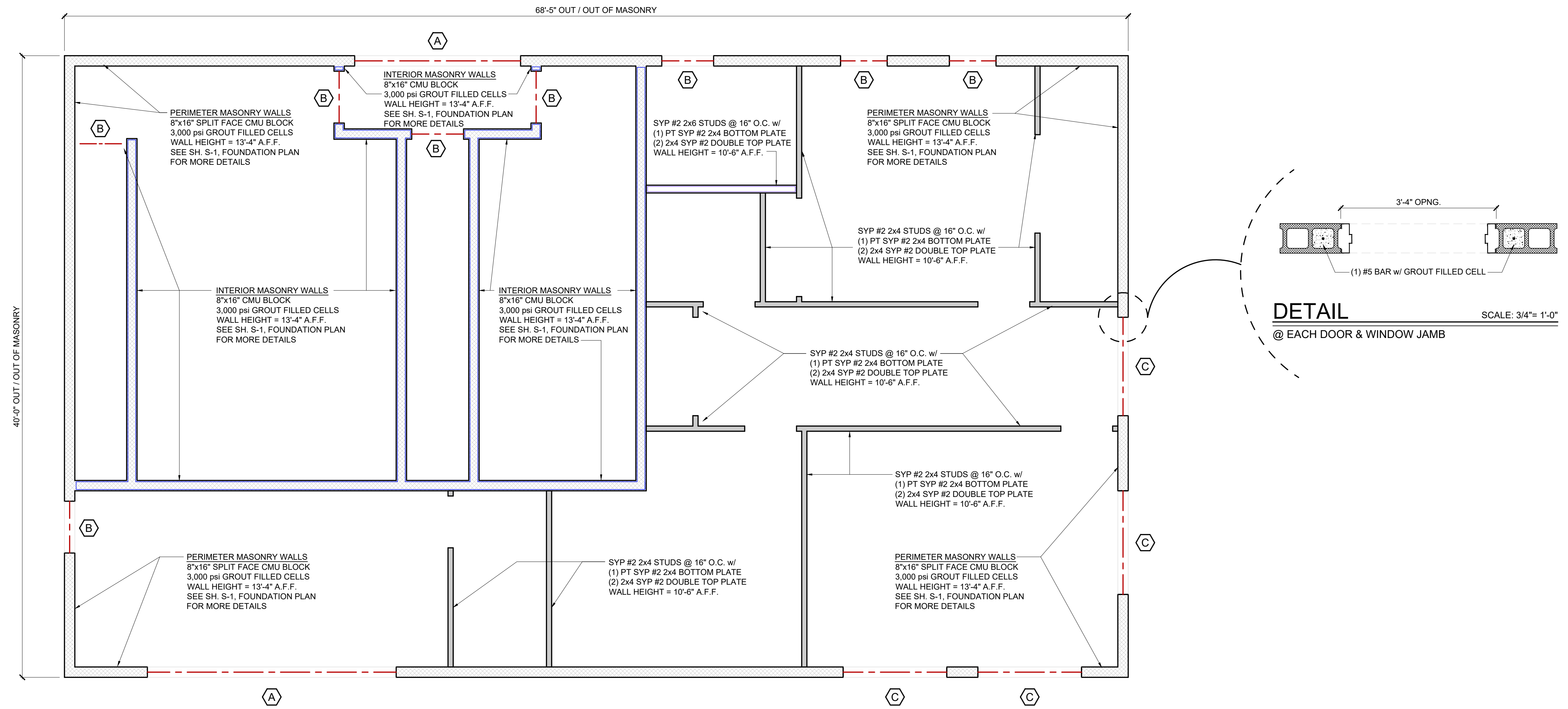
CITY OF WILSON  
ATTN: DALE EDMONDS  
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Owner: **BARTLETT**  
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Rev.	Date:	Description:



**WALL FRAMING PLAN**  
TOTAL: 2,737 SQ. FT.

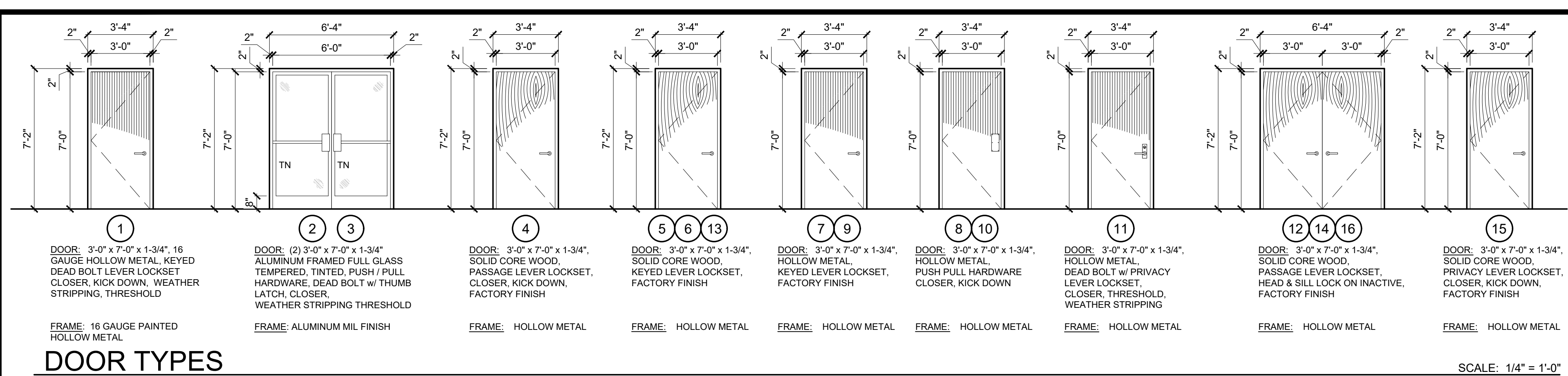
SCALE: 1/4" = 1'-0"

Title Sheet: **WALL FRAMING PLAN**

Project: **Gillette Pickleball Complex Concession Building**  
New Construction For:  
3238 Corbett Ave NE Elm City, NC 27822

Drawn by: M. Winstead  
Issue Date: 03-15-23  
Project Number: 22-091  
Sheet: **S-2**





**DOOR HARDWARE SCHEDULE:**

MORTISE LOCK: "CORBIN RUSSWIN" ML 2065 - DOOR #2

MORTISE DEADLOCK: "CORBIN RUSSWIN" DL 2217 - DOOR #1

PUSH PLATE: "ROCKWOOD" PUSH PLATE 70C - FINISH: 32D OR EQUAL - DOOR #1

PULL PLATE: "ROCKWOOD" PULL PLATE 106 x70C - FINISH: 32D OR EQUAL - DOOR #1

CLOSERS: "CORBIN RUSSWIN" DC 6210 - DOOR #1

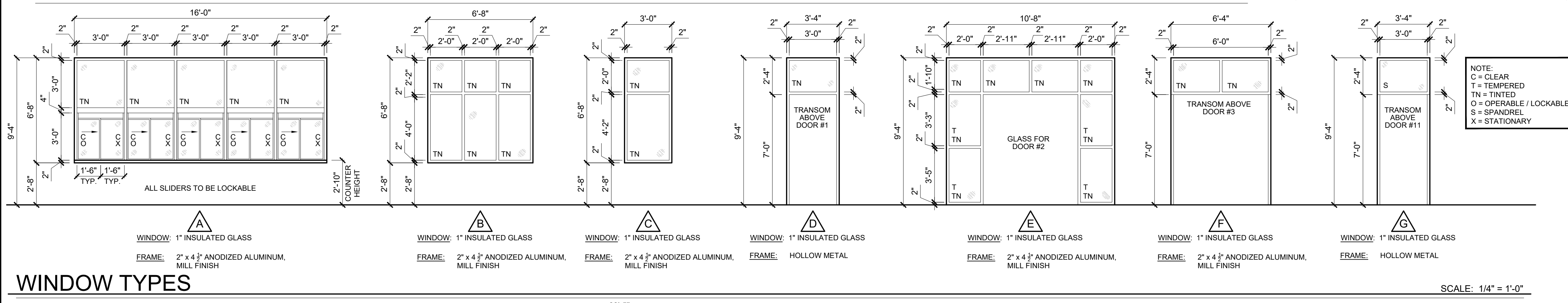
EXTERIOR & INTERIOR DOOR HINGES: "McKENNEY" MPB79 4-1/2" x 4-1/2" 26D OR EQUAL

KICK-DOWN DOOR STOP: "ROCKWOOD", #460 - DOOR #2

THRESHOLD: "PEMKO" 171A x 3'-0" OR EQUAL - DOOR #1

BOTTOM SWEEP: "PEMKO" 315CN OR EQUAL - DOOR #1

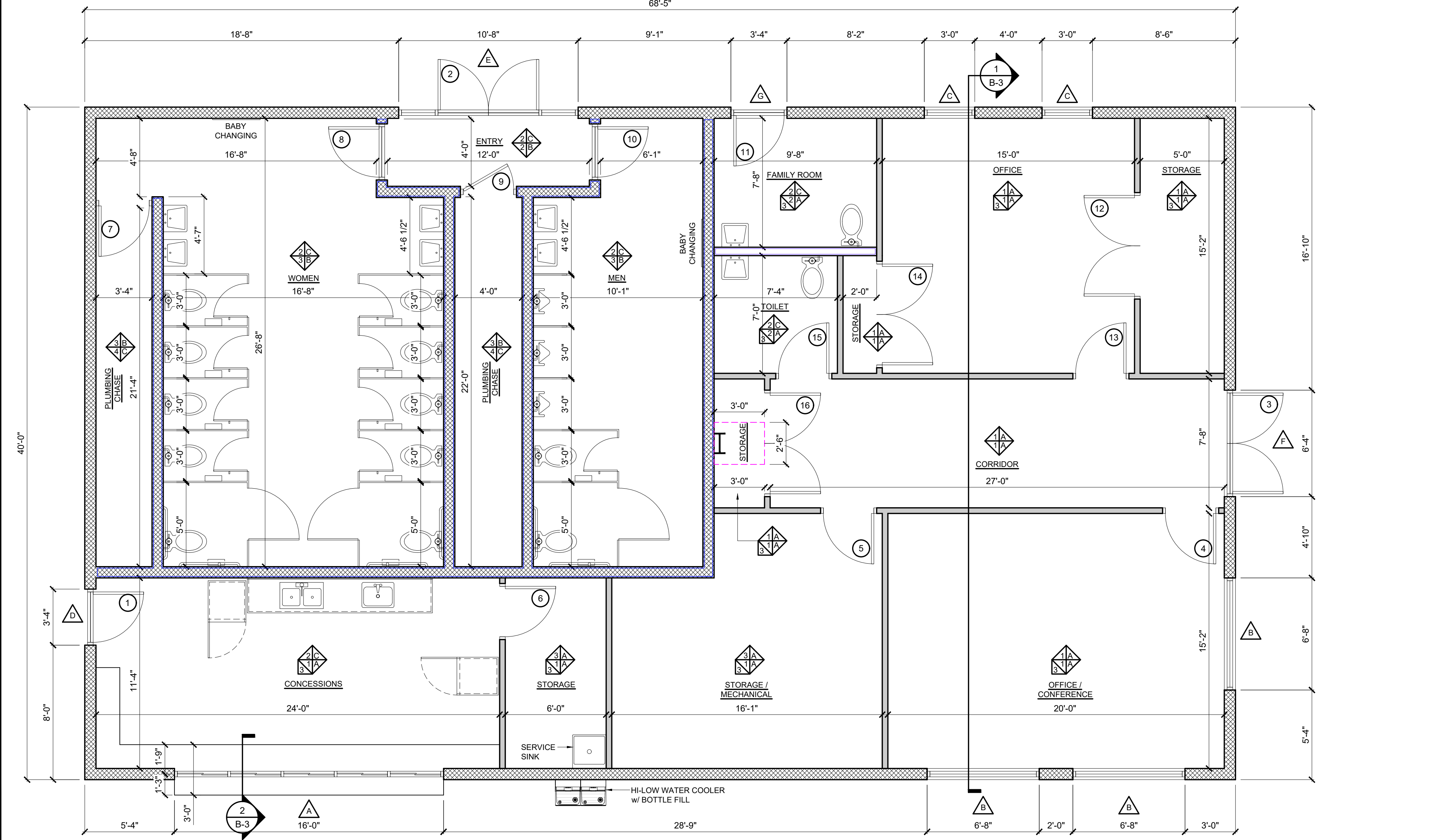
NOTE: ALL DOORS KEVED ALIKE - COORDINATE WITH OWNER



**WALL LEGEND**

SYMBOL	DESCRIPTION
[Symbol]	MASONRY WALL 8" CMU SPLIT FACE BLOCK
[Symbol]	MASONRY WALL 8" SMOOTH CMU BLOCK
[Symbol]	INTERIOR WALLS 2" x 4" SYP #2 STUDS @ 16" O.C. WALL HEIGHT = 10'-0" A.F.F. SEE SH. B-1, FINISH SCHEDULE FOR WALL FINISH MATERIAL
[Symbol]	PLUMBING WALL 2" x 6" SYP #2 STUDS @ 16" O.C. WALL HEIGHT = 10'-0" A.F.F. SEE SH. B-1, FINISH SCHEDULE FOR WALL FINISH MATERIAL

NOTE:  
C = CLEAR  
T = TEMPERED  
TN = TINTED  
O = OPERABLE / LOCKABLE  
S = SPANDREL  
X = STATIONARY



**ROOM FINISH SCHEDULE**

FLOOR	BASE	WALLS	CEILING
1 VINYL COMPOSITION TILE (VCT)	A 4" VINYL COVE	1 5/8" DRYWALL TO 10'-6" - PAINTED	A 2" x 2" ACOUSTICAL TILE CEILING @ 10'-0" A.F.F.
2 QUARRY TILE	B NONE	2 5/8" MOISTURE RESISTANT DRYWALL TO 10'-6"	B GYPSUM BD. @ 10'-0" A.F.F.
3 EXPOSED CONCRETE	C QUARRY TILE	3 CMU - PAINTED	C NONE
		4 CMU - UNPAINTED	

NOTES:  
1. ALL FINISHES TO BE AS SPECIFIED, UNLESS OTHERWISE NOTED.  
2. FOR CLARITY, THE LETTERS T, O, S, & Z ARE NOT USED.  
3. ALL COLORS OF FINISHES TO BE SELECTED BY OWNER.

**GENERAL NOTES**

\* EXTERIOR FINISHES:  
BLOCK WALLS: UNPAINTED, FACTORY FINISH w/ TAILORED FOAM CORE FILL 500 INSULATION  
PERFORATED METAL SOFFIT PANEL: MATRIX STYLE BY MCELROY OR EQUAL - COLOR SELECTED BY OWNER  
SHINGLES: CERTAINTED LANDMARK DESIGNER SHINGLE OR EQUAL - COLOR: SELECTED BY OWNER  
HOLLOW METAL DOORS AND FRAMES: PAINT - "PITTSBURGH PAINTS" SEMI-GLOSS OR EQUAL - COLOR: SELECTED BY OWNER

\* INTERIOR FINISHES:  
CONCRETE: EXPOSED  
VINYL COMPOSITION TILE: ARMSTRONG OR EQUAL - COLOR: SELECTED BY OWNER  
QUARRY TILE: DAL TILE ABRASIVE SURFACE OR EQUAL - COLOR: SELECTED BY OWNER  
BASE: JOHNSONITE 4" HIGH RUBBER COVE BASE OR EQUAL - COLOR: SELECTED BY OWNER

\* BLOCK WALLS: PAINT - (1) COAT SHERWIN WILLIAMS "PREPRITE" BLOCK FILLER (B25 W 25) - PAINT: "SHERWIN WILLIAMS FLAT A-6 SERIES" - COLOR: (2) COATS SELECTED BY OWNER  
HOLLOW METAL DOORS AND FRAMES: PAINT - "PITTSBURGH PAINTS" SEMI GLOSS OR EQUAL - COLOR: SELECTED BY OWNER

\* TOILET ACCESSORIES:  
BABY CHANGING STATION: ASI 9014 OR EQUAL  
SURFACE MOUNT NAPKIN DISPOSAL: BY OWNER  
PAPER HOLDER: BY OWNER  
HAND DRYER: BY OWNER  
SOAP DISPENSER: BY OWNER  
GRAB BARS: AMERICAN SPECIALTIES - #3801P, 18", 36", 42"  
MIRRORS: AMERICAN SPECIALTIES - FRAMED STAINLESS STEEL MIRROR - #8026-2436 OR EQUAL

\* TOILET PARTITION SYSTEMS:  
PARTITIONS AND DIVIDERS: ASI SOLID PLASTIC (HDPE) OR EQUAL - COLOR: SELECTED BY OWNER

EXTERIOR SIGNAGE: MEN AND WOMEN'S WHEELCHAIR ACCESSIBLE BATHROOM SIGN-ADA COMPLIANT TACTILE BRAILLE SIGN 6"x8" - COLOR: WHITE ON BLUE BACKGROUND

\* UNDER SLAB:  
SOIL TREATMENT: SOIL TREATMENT FOR SUBTERRANEAN TERMITES SHALL BE REQUIRED PER NC STATE BUILDING CODE SECTION 2304.11.6.2 AND THE STRUCTURE PEST CONTROL SECTION OF THE NC DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.  
VAPOR BARRIER: 6 MIL POLY  
SLAB:  
WELDED WIRED MESH: 6x6 14x14

Owner: CITY OF WILSON  
ATTN: DALE EDMONDS  
112 GOLDSBORO ST. E  
WILSON, NC 27894  
252.399.2273

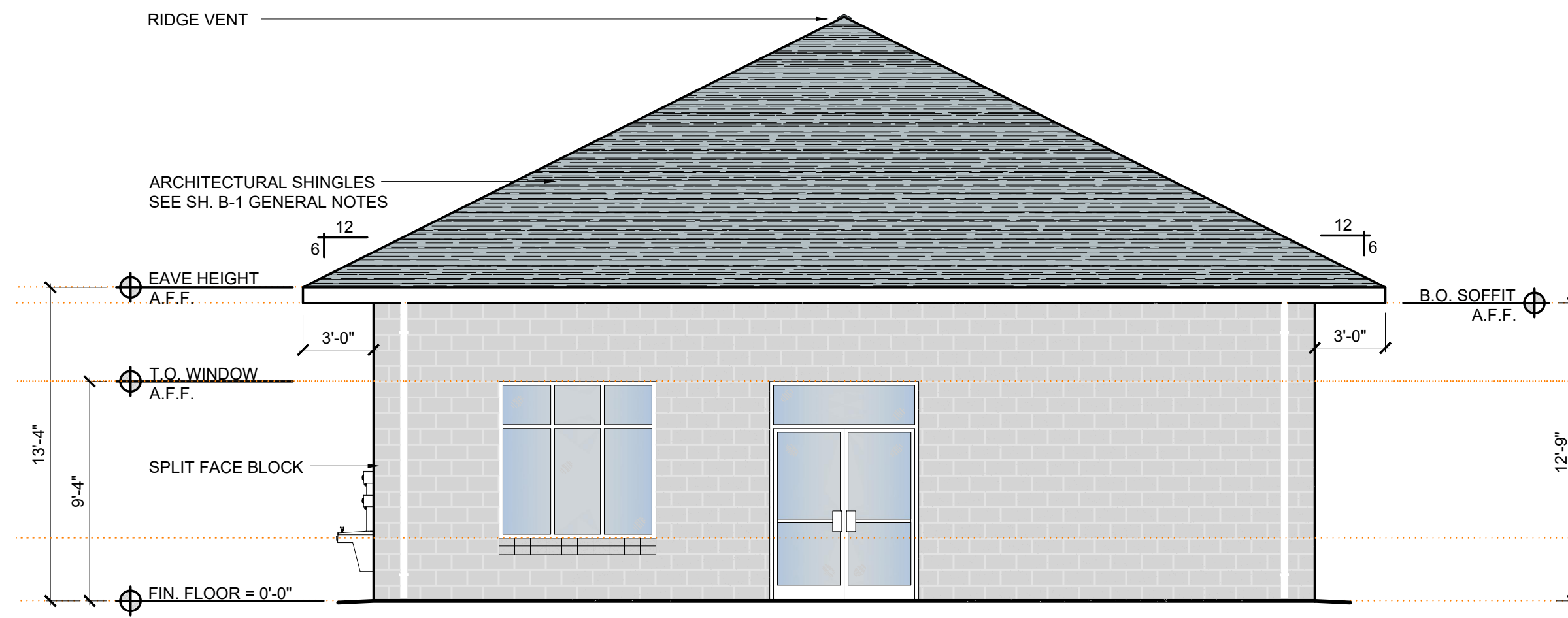
BARTLETT  
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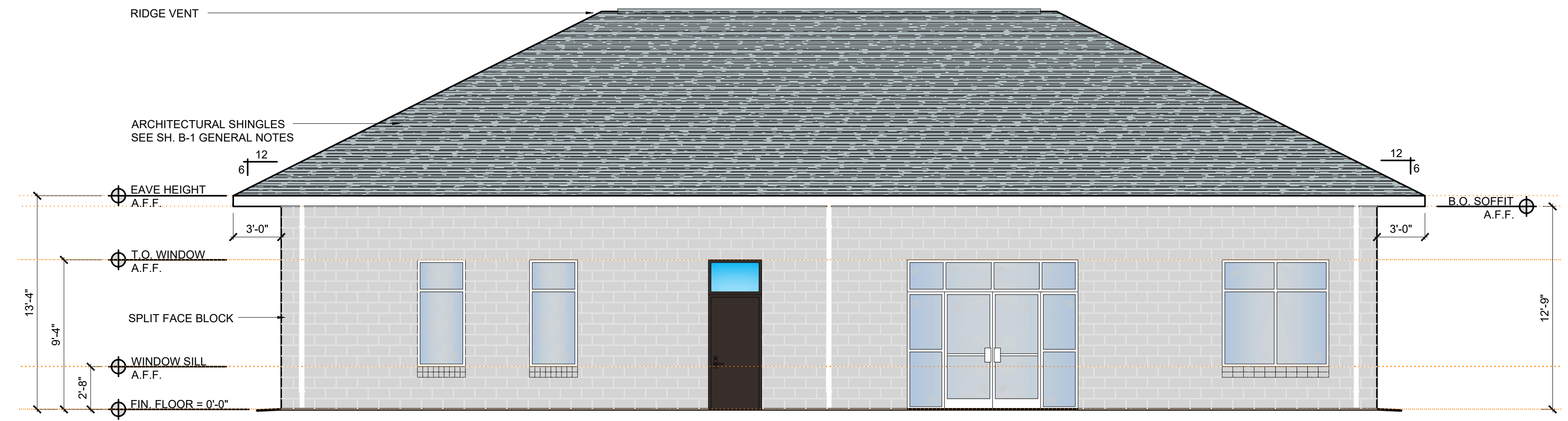
Proposed Floor Plan  
New Construction For:  
Gillette Pickleball Complex  
Concession Building  
323B Corbett Ave NE Elm City, NC 27822

Drawn by: M. Winstead  
Issue Date: 03-15-23  
Project Number: 22-091  
Sheet: B-1



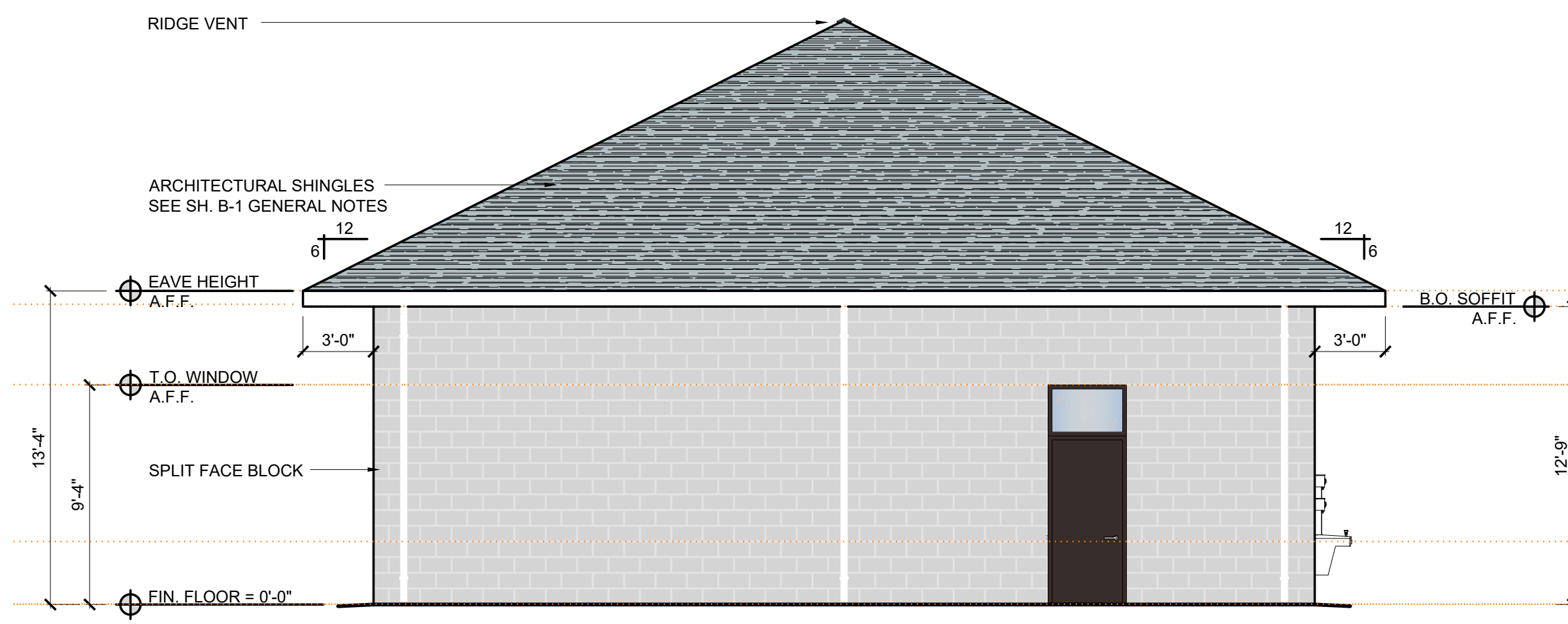
**FRONT ELEVATION**

SCALE: 3/16"= 1'-0"



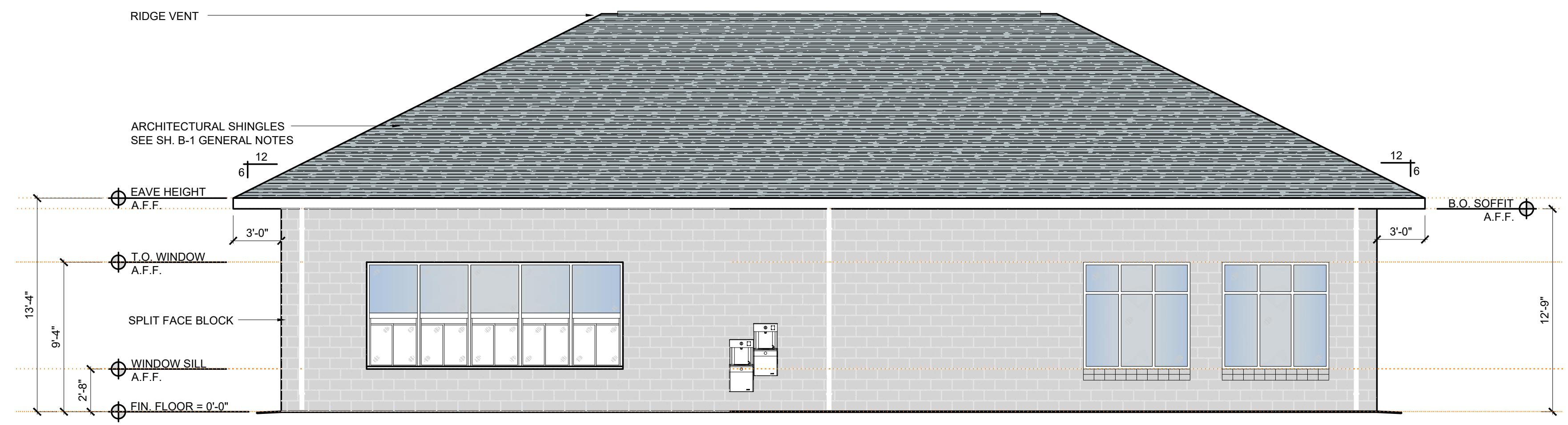
**RIGHT SIDE ELEVATION**

SCALE: 3/16"= 1'-0"



**REAR ELEVATION**

SCALE: 3/16"= 1'-0"

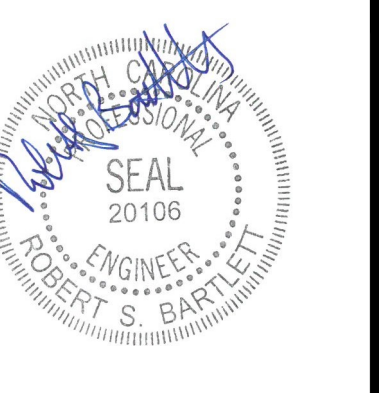
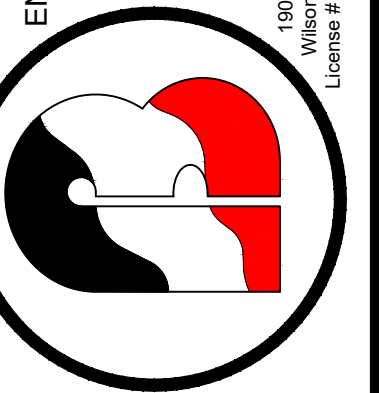


**LEFT SIDE ELEVATION**

SCALE: 3/16"= 1'-0"

Owner:  
**CITY OF WILSON**  
 ATTN: DALE EDMONDS  
 112 GOLDSBORO ST. E  
 WILSON, NC 27894  
 252.399.2273

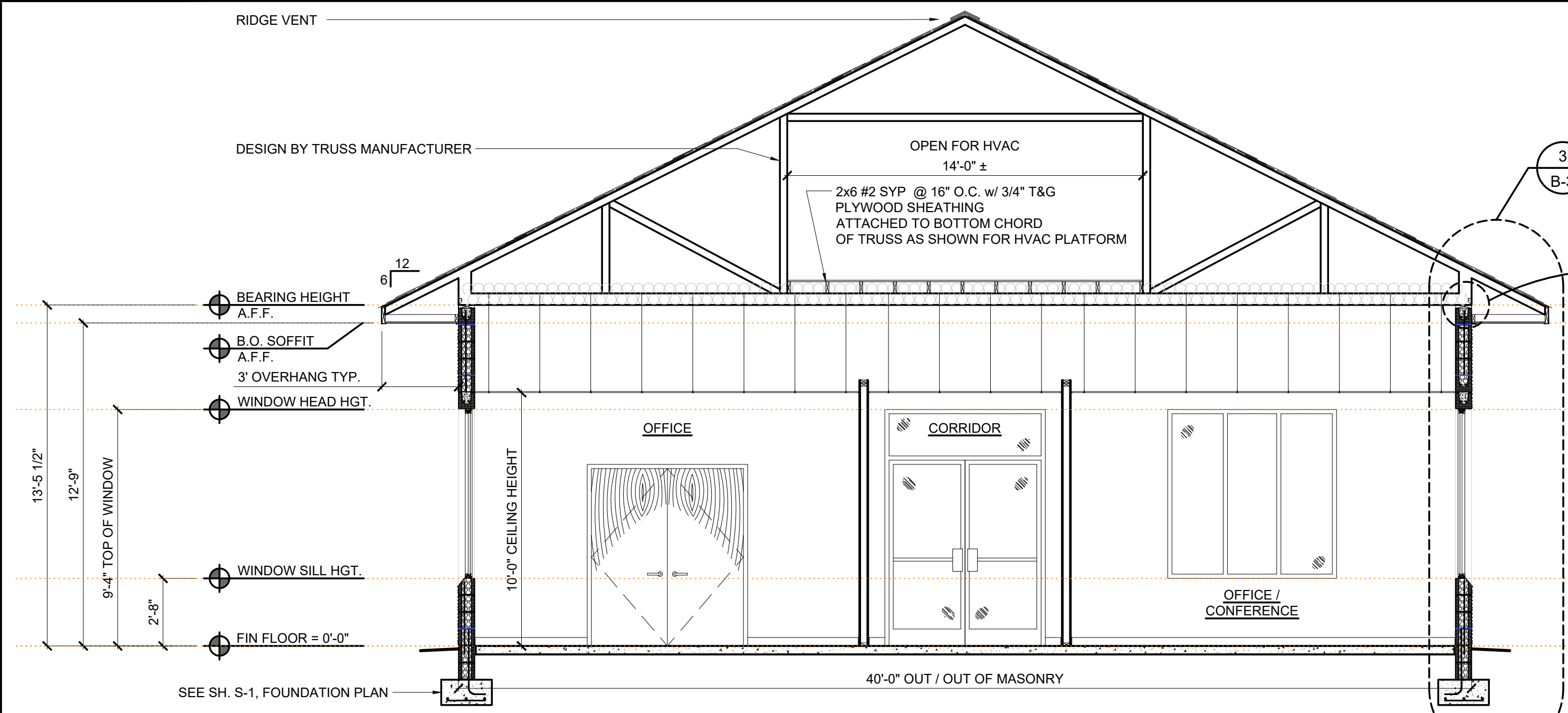
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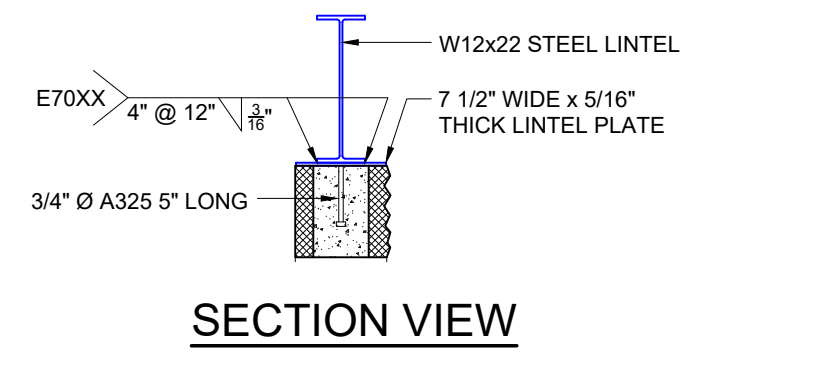
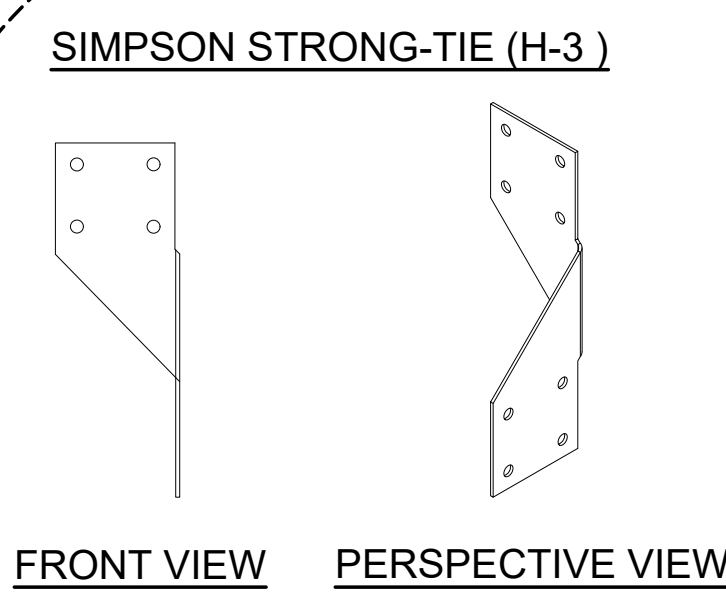
Rev.	Date	Description

Title Sheet: **EXTERIOR ELEVATIONS**  
 Project: **Gillette Pickleball Complex Concession Building**  
 New Construction For:  
 3238 Corbett Ave NE Elm City, NC 27822

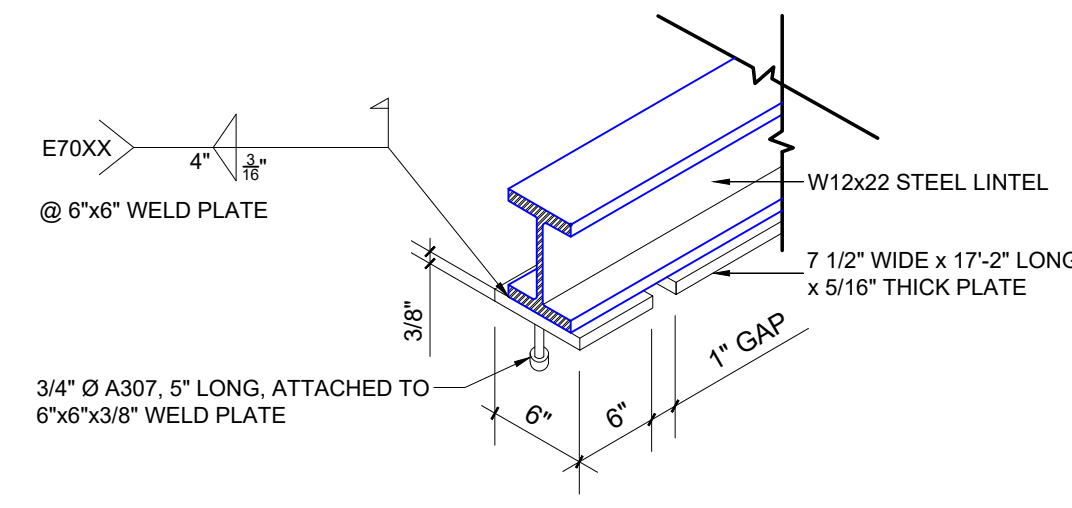
Drawn by: M. Winstead  
 Issue Date: 03-15-23  
 Project Number: 22-091  
 Sheet: **B-2**



1 CROSS SECTION  
SCALE: 1/4" = 1'-0"

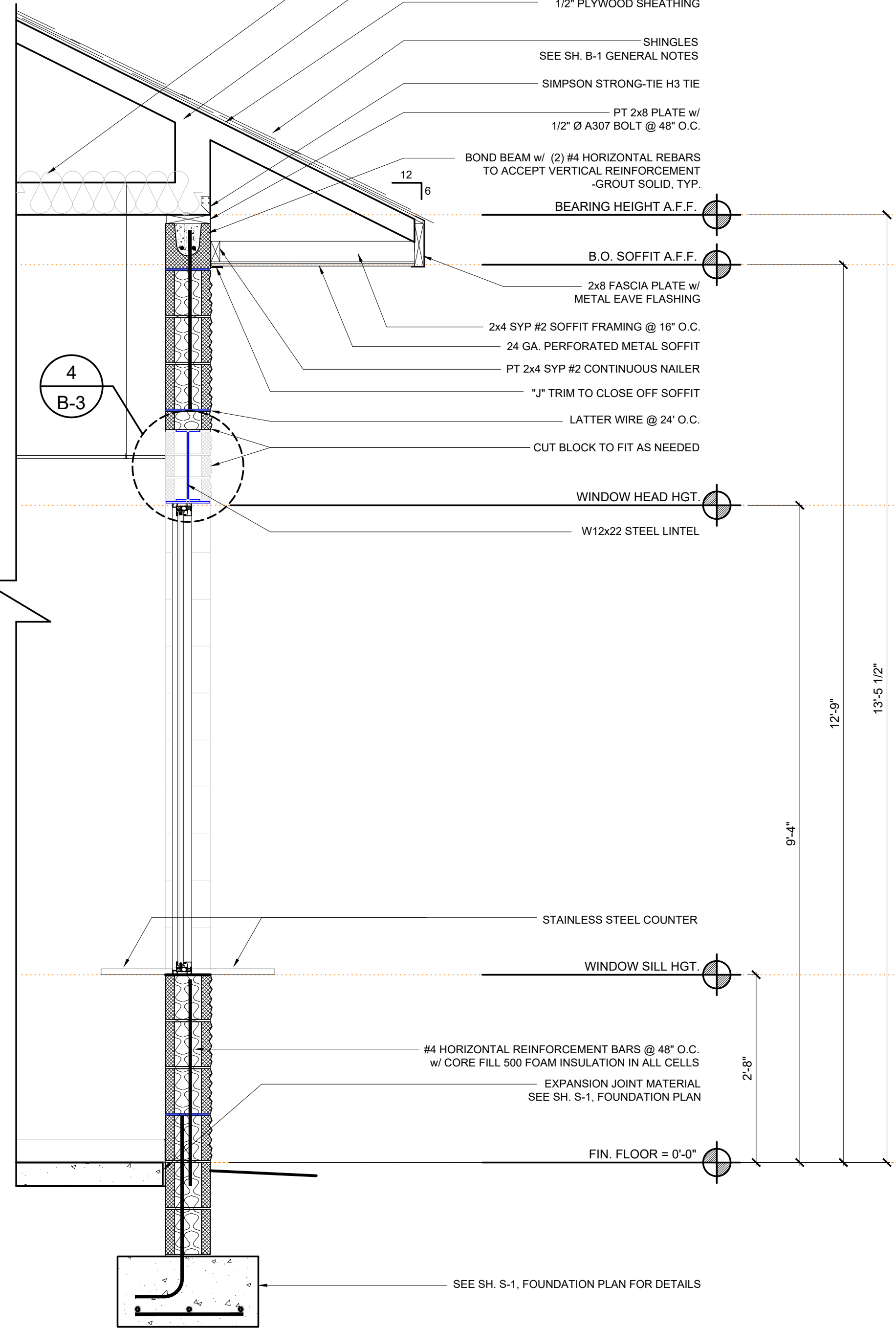


SECTION VIEW

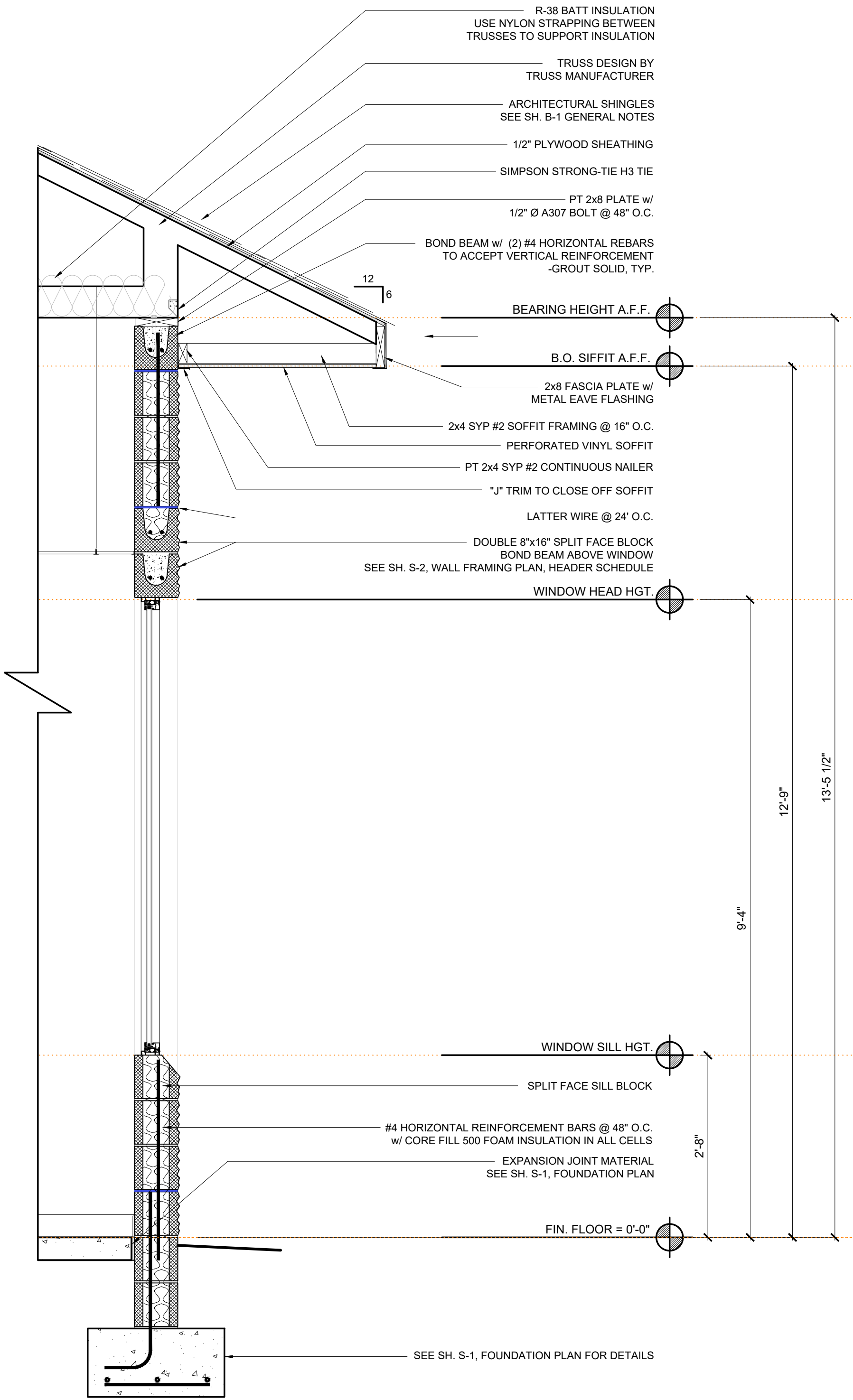


ISOMETRIC VIEW

4 STEEL LINTEL DETAIL SCALE: 3/4" = 1'-0"



2 SECTION SCALE: 3/4" = 1'-0"



3 SECTION SCALE: 3/4" = 1'-0"

CITY OF WILSON  
ATTN: DALE EDMONDS  
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WILSON, NC 27894  
252.399.2273

Owner:  
**BARTLETT**  
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Rev.	Date	Description

Title Sheet: **WALL SECTIONS**  
Project: **Project: New Construction For: Gillette Pickleball Complex Concession Building**  
3238 Corbett Ave NE Elm City, NC 27822

Drawn by: M. Winstead  
Issue Date: 03-15-23  
Project Number: 22-091  
Sheet: **B-3**

PLUMBING FIXTURE SCHEDULE		
MARK	MAKE	DESCRIPTION
P-1	AMERICAN STANDARD OR EQUAL	1.6 GAL. ELONGATED FLUSH VALVE WATER CLOSET WITH OPEN FRONT SEAT.
P-2	AMERICAN STANDARD OR EQUAL	1.6 GAL. ELONGATED 17" HIC ACCESSIBLE FLUSH VALVE WATER CLOSET WITH OPEN FRONT SEAT. ADA COMPLIANT
P-3	AMERICAN STANDARD OR EQUAL	3/4" FLUSH VALVE WALL-HUNG URINAL.
P-4	AMERICAN STANDARD OR EQUAL	3/4" HIC ACCESSIBLE FLUSH VALVE WALL HUNG URINAL. RIM 17" AFF. ADA COMPLIANT
P-5	AMERICAN STANDARD OR EQUAL	WALL-HUNG LAVATORY WITH SELF-METERING FAUCET. TEMP. @ FAUCET SET @ 115°F MAX.
P-6	AMERICAN STANDARD OR EQUAL	WALL-HUNG HIC ACCESSIBLE LAVATORY WITH SELF-METERING FAUCET. RIM 34" AFF. ADA COMPLIANT TEMP. @ FAUCET SET @ 115°F MAX.
P-7	ELKAY OR EQUAL	25" X 22" HIC ACCESSIBLE SINGLE COMPARTMENT STAINLESS STEEL SINK WITH GOOSENECK FAUCET & WINGED LEVER HANDLES. ADA COMPLIANT
P-8	ELKAY OR EQUAL	15" X 15" HIC ACCESSIBLE SINGLE COMPARTMENT STAINLESS STEEL SINK WITH GOOSENECK FAUCET & WINGED LEVER HANDLES. ADA COMPLIANT
P-9	MUSTEE OR EQUAL	1"ØCF 20" UTILATUB DEEP SINK ON LEGS WITH DRAIN & FAUCET COMBO KIT
P-10	ELKAY OR EQUAL	HIC ACCESSIBLE, VANDAL-RESISTANT BI-LEVEL DRINKING FOUNTAIN WITH BOTTLE FILLING STATION WITH FREEZE PROTECTION. ADA COMPLIANT 120V, 3 AMPS
P-11	STATE OR EQUAL	50 GAL. ELECTRIC WATER HEATER. 208V, 1Ø, 4.5 KW. PROVIDE WITH HEAT TRAPS & ISOLATION VALVES AS REQUIRED
P-12	TACO OR EQUAL	100" CIRCULATING PUMP. 120V, 2 AMPS

NOTES: 1. FLUSHERS FOR WATER CLOSETS SHALL BE ON APPROACH SIDE OF FIXTURE.  
2. COORDINATE ALL FIXTURES AND FAUCETS WITH OWNER PRIOR TO INSTALLATION.

### GENERAL PLUMBING NOTES

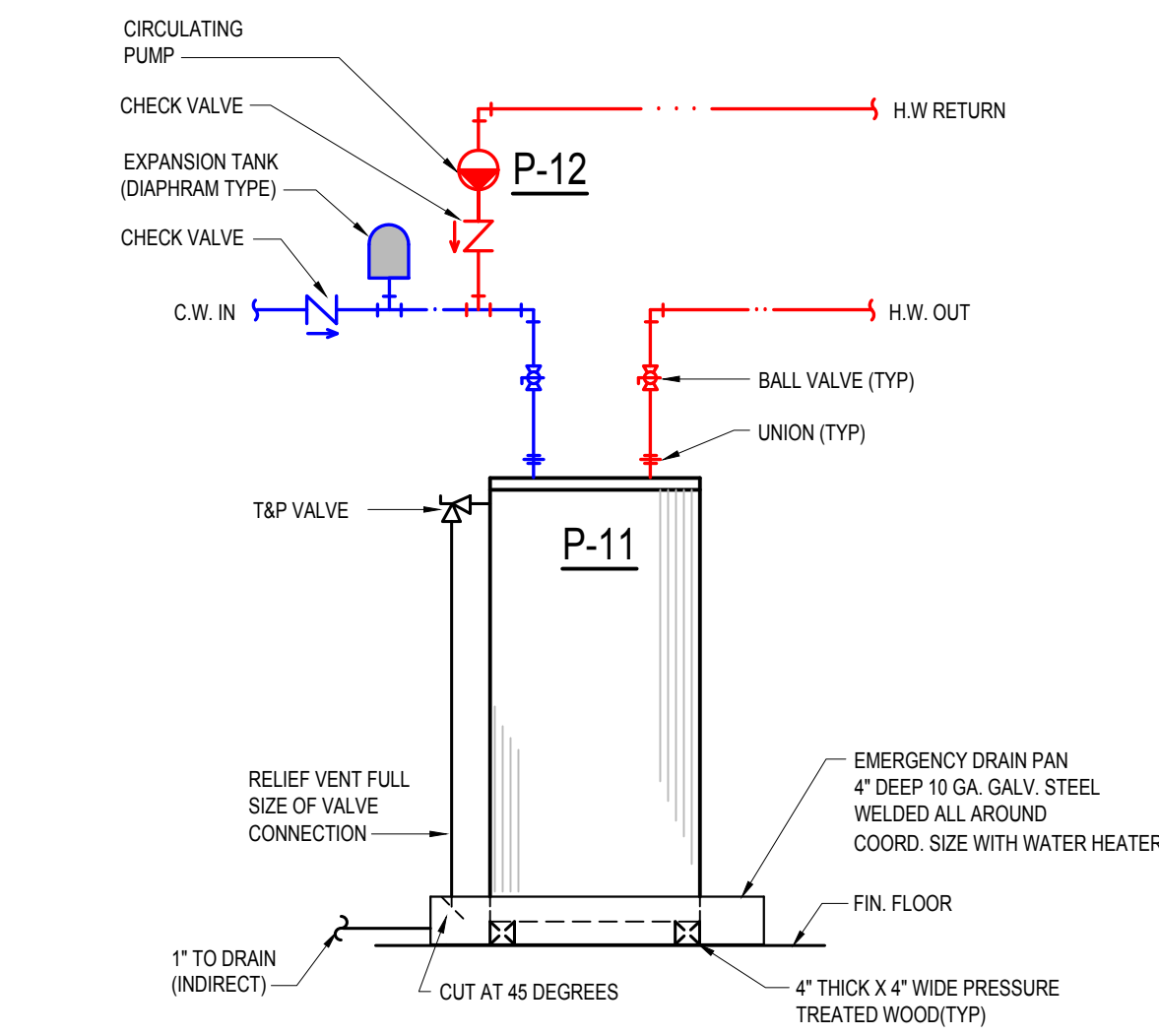
- ALL WORK SHALL BE IN COMPLIANCE WITH LOCAL, STATE, AND NATIONAL CODES.
- CONTRACTOR SHALL COORDINATE PIPING WITH ALL OTHER TRADES.
- CONTRACTOR SHALL REFER TO "B" SHEETS FOR DIMENSIONS.
- CONTRACTOR SHALL FURNISH AND INSTALL DIELECTRIC UNIONS AT ALL CONNECTIONS BETWEEN DISSIMILAR METALS.
- CONTRACTOR SHALL FURNISH AND INSTALL ESCUTCHEONS AND COVER PLATES AT ALL FINISHED WALLS, CEILINGS AND FLOOR OPENINGS.
- PIPING SHALL BE DISINFECTED IN ACCORDANCE WITH STATE AND LOCAL CODE.
- ALL PIPING SHALL BE TESTED FOR LEAKS. IF ANY LEAKS ARE DETECTED THE PIPING SHALL BE REPAIRED OR REPLACED AND RETESTED.
- INSULATE ALL HOT & COLD WATER PIPING.
- SUPPLY PIPING SHALL BE PEX.
- WASTE AND VENT PIPING SHALL BE SCH. 40 PVC. & SCH. 80 UNDER TRAFFIC AREAS.
- SET HOT-WATER TEMPERATURE FROM PUBLIC LAVATORY FAUCETS TO 115 DEGREE F. MAX.
- PROVIDE SHUT-OFF VALVES IN ALL SUPPLY PIPING LINES ABOVE CEILING FOR ALL DROPS AND AT PLUMBING FIXTURES. PROVIDE ACCESS TO ALL VALVES AS REQUIRED IN HARD CEILINGS.
- PLUMBING LAYOUTS ARE SCHEMATIC. ALL RISES, DROPS, OFFSETS, AND TRANSITIONS REQUIRED BUT NOT SHOWN SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- PROVIDE & INSTALL WATER HAMMER ARRESTORS AS REQUIRED.

### PLUMBING CONNECTION SCHEDULE

FIXTURE	CW	HW	WASTE	VENT
FLUSH VALVE WATER CLOSET	1"	-	3"	2"
URINAL	3/4"	-	2"	1 1/2"
LAVATORY	1/2"	1/2"	2"	1 1/2"
KITCHEN SINK	1/2"	1/2"	2"	1 1/2"
EWC	1/2"	-	2"	1 1/2"
JANITOR SINK	1/2"	1/2"	2"	1 1/2"

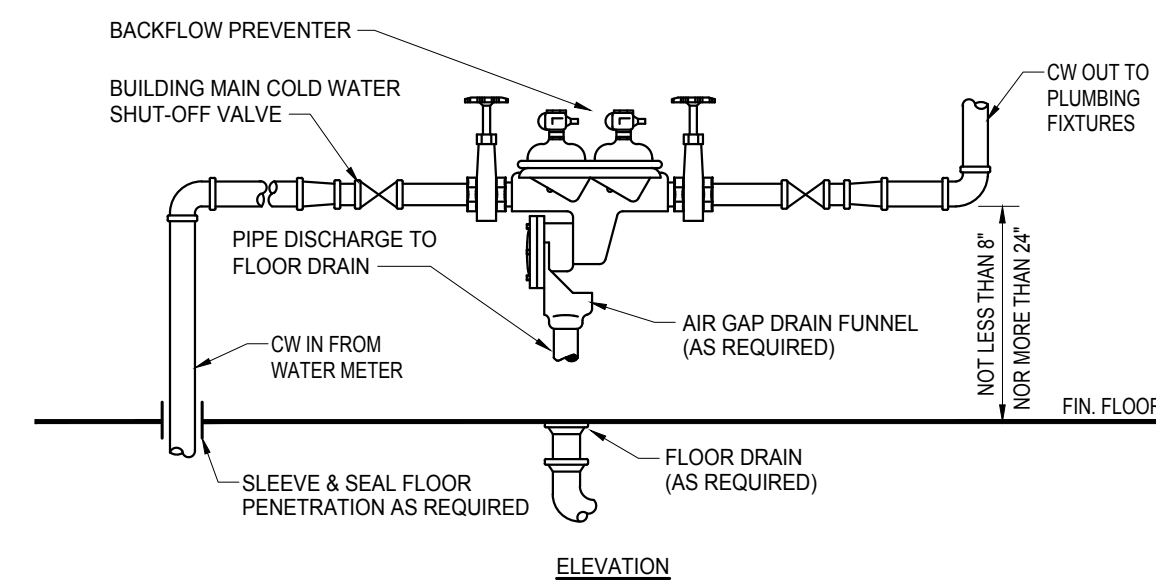
### PLUMBING CALCULATIONS

ITEM	# OF	SUPPLY FIXTURE UNITS			WASTE FIXTURE UNITS
		COLD	HOT	TOTAL	
FLUSH VALVE WATER CLOSET	14	10.0	-	10.0	6
3/4" F.V. URINAL	3	5.0	-	5.0	2
LAVATORY	8	1.5	1.5	2.0	1
KITCHEN SINK	2	1.0	1.0	1.4	2
EWC	2	0.25	-	0.25	0.5
JANITOR SINK	1	2.25	2.25	3.0	2
<b>GPM - 85.5</b>		<b>COLD TOTAL</b>	<b>HOT TOTAL</b>	<b>TOTAL</b>	<b>WASTE TOTAL</b>
		171.75	16.25	177.3	105



### DETAIL - WATER HEATER

NOTE: PROVIDE WITH FACTORY INSTALLED T&P VALVE AND HEAT TRAPS AS REQUIRED

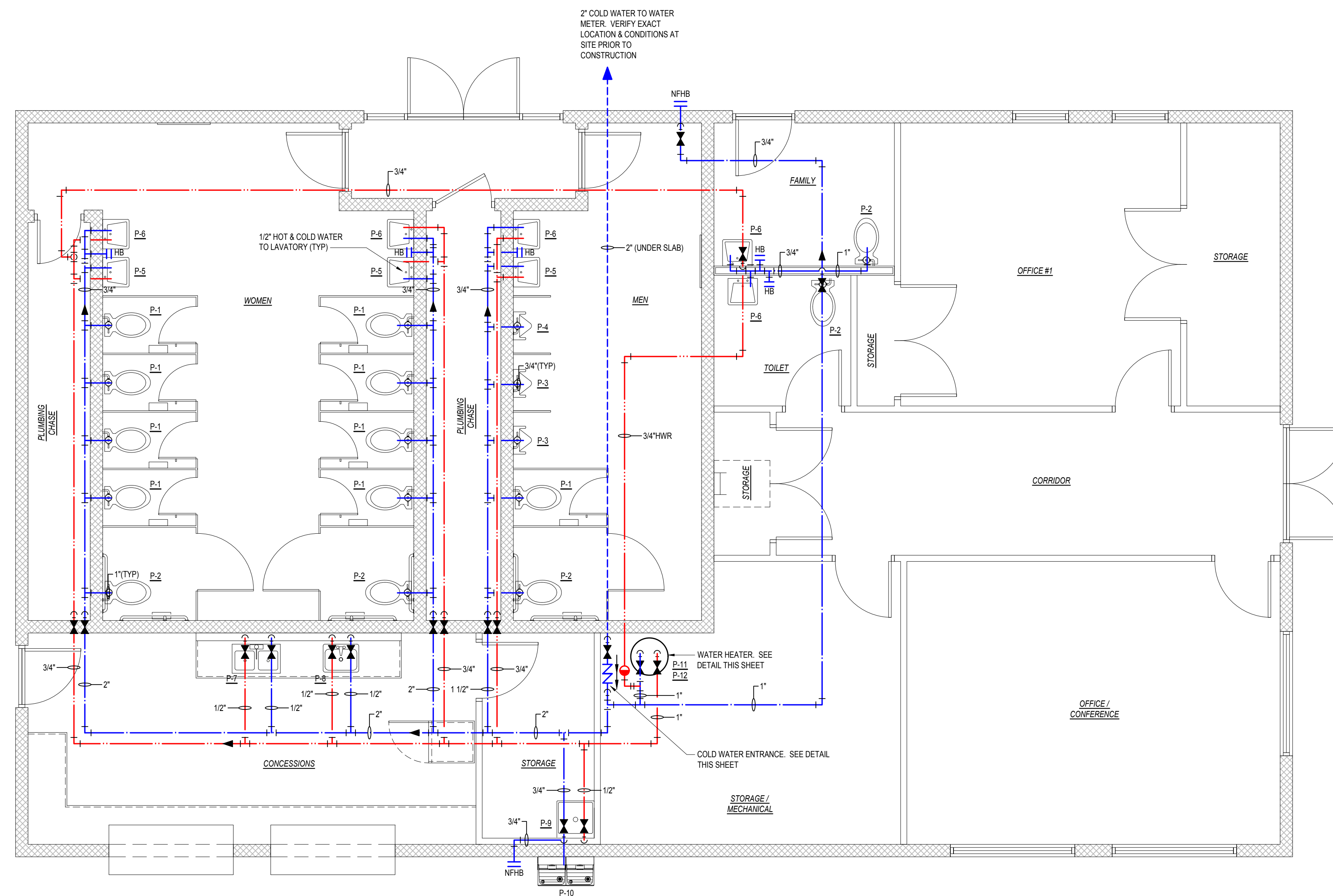


#### NOTES:

- JOINTS MAY BE STREAMLINE OR SCREWED.
- THIS CONTRACTOR TO PROVIDE FOR TESTING AND CERTIFICATION OF BACKFLOW PREVENTER PER STATE REQUIREMENTS.

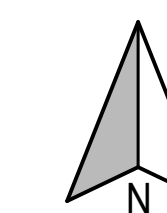
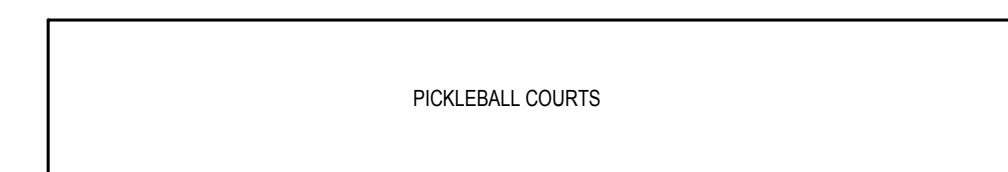
### DETAIL - COLD WATER ENTRANCE

NO SCALE



### PLUMBING - SUPPLY PIPING PLAN

SCALE: 1/4" = 1'-0"



### KEY PLAN

NTS

Prepared for:

**James Miller & Assoc. PA**  
NC LICENSE NO. C-1926  
209 Price Street  
Roanoke Rapids, NC 27870  
Tel: 252.203.1607  
Email: jamesmiller@gmail.com



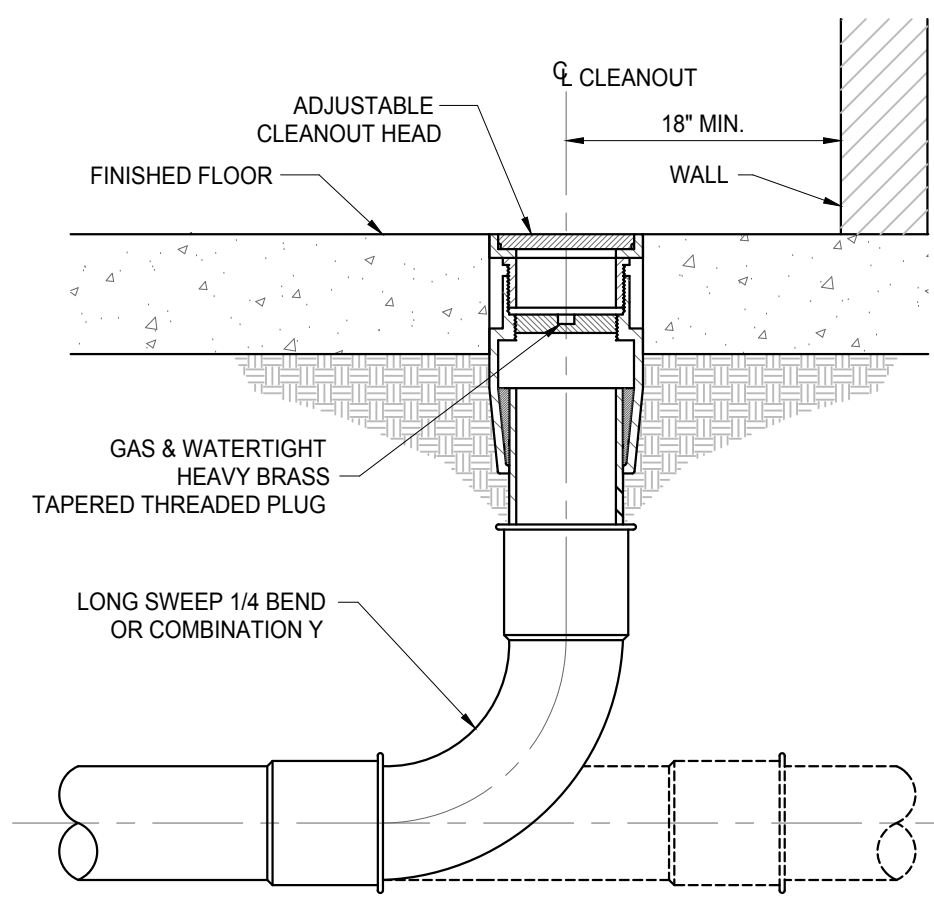
Rev: \_\_\_\_\_ Date: \_\_\_\_\_ Description: \_\_\_\_\_

Title Sheet: **PLUMBING - SUPPLY PIPING PLAN**

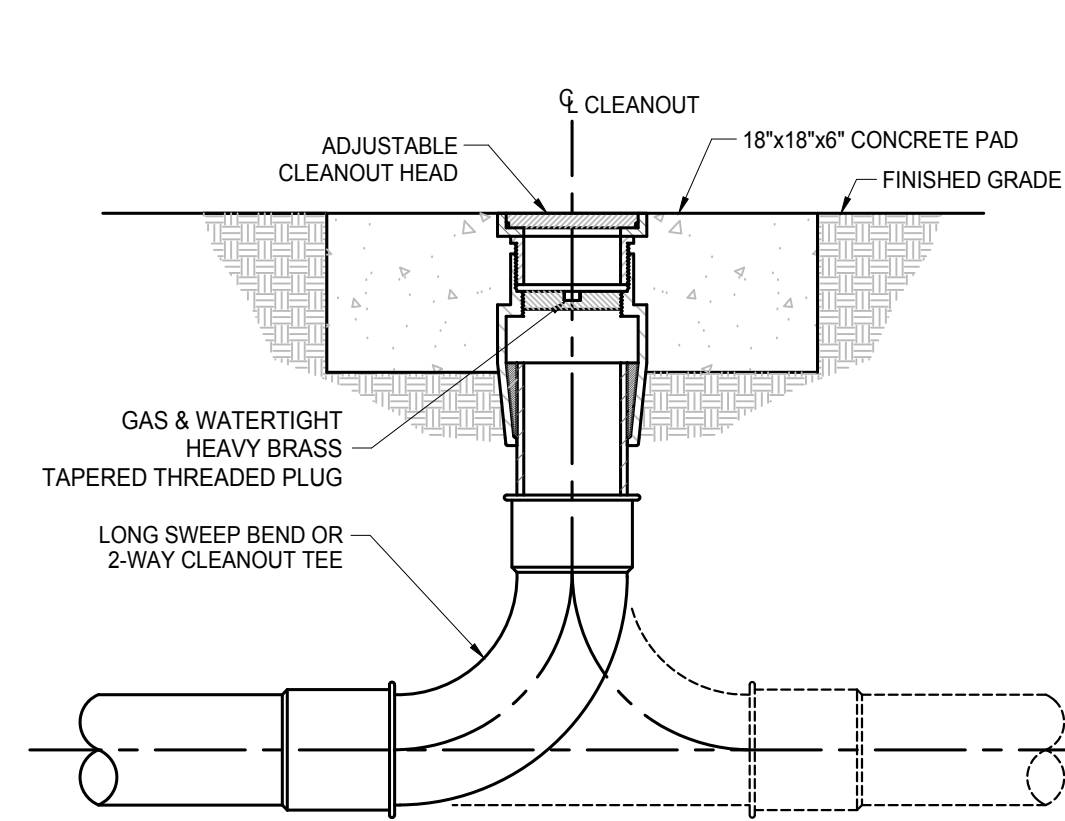
Project: **Gillette Pickleball Complex Concession Building**  
New Construction For:  
32329 Corbett Ave NE  
Elm City, NC 27822

Drawn by: **JLT**  
Issue Date: **03-15-23**  
Project Number: **22-091**  
Sheet:

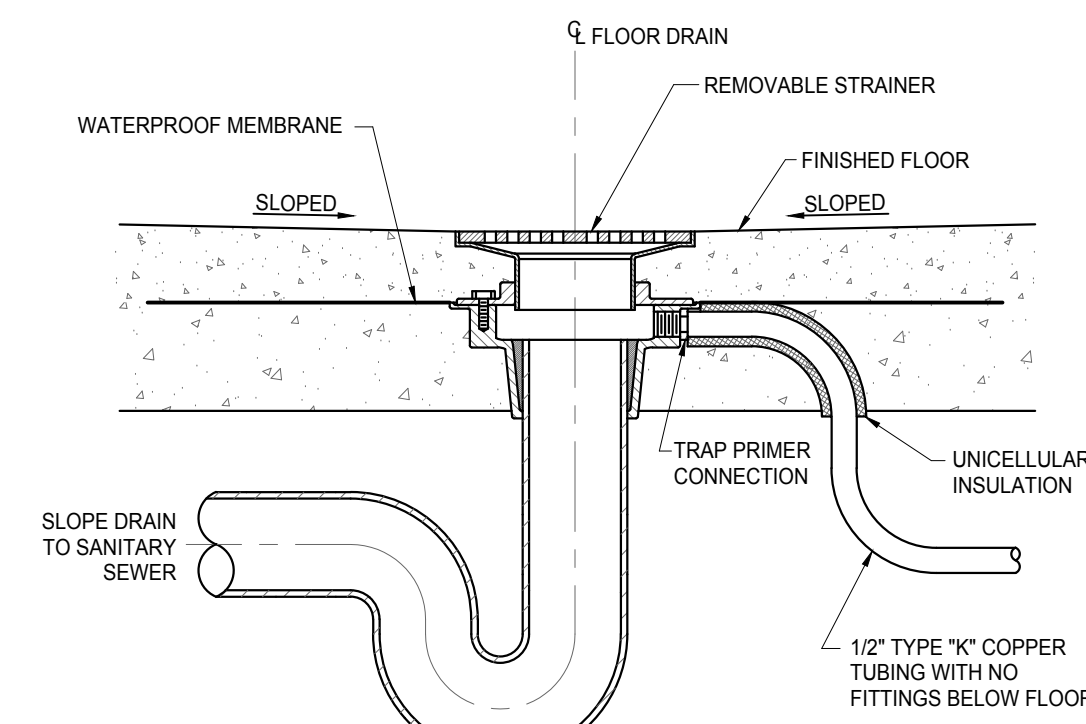
**P-1**



**DETAIL - FLOOR CLEAN OUT**  
NTS



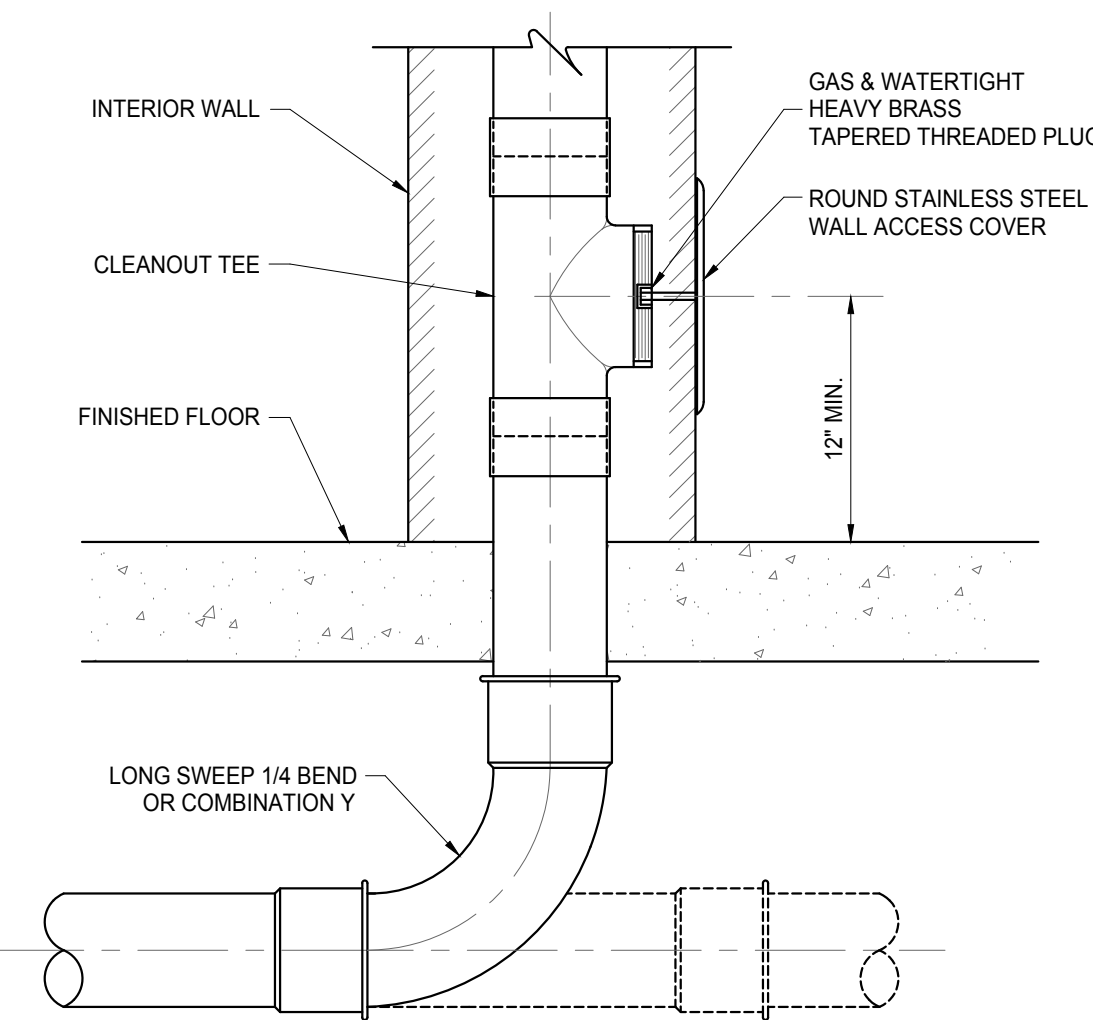
**DETAIL - CLEAN OUT AT GRADE**  
NTS



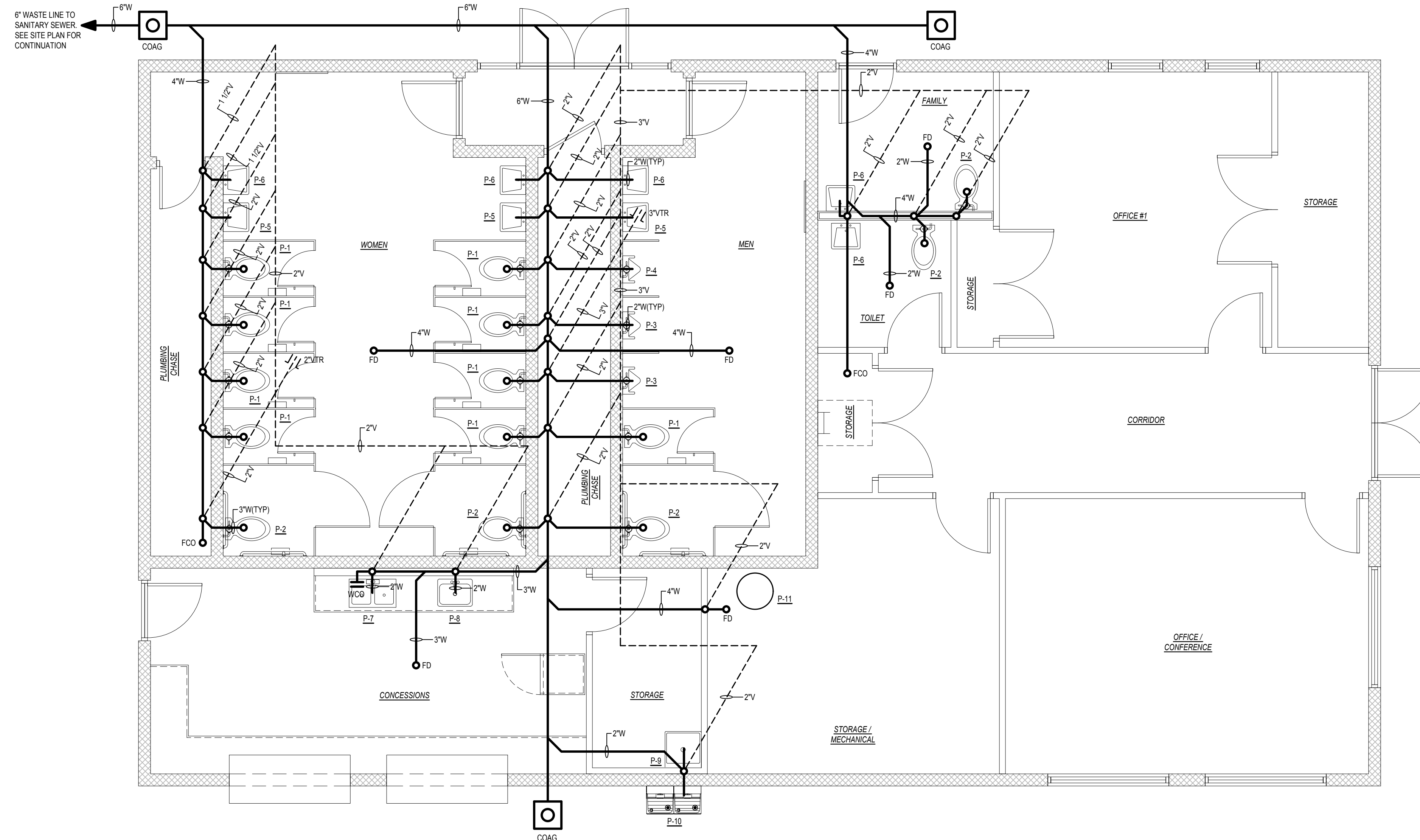
- NOTES:**
1. FINISHED FLOOR SHALL BE SLOPED TO DRAIN FLUSH WITH STRAINER WHERE REQUIRED, COORDINATE WITH G.C.
  2. PROVIDE 1/2" TYPE "K" COPPER TUBING TO TRAP PRIMER CONNECTION AS REQUIRED
  3. TRAP PRIMER NOT REQUIRED IN AREAS WITH HOSE BIBB

**DETAIL - FLOOR DRAIN**  
NOT TO SCALE

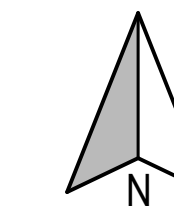
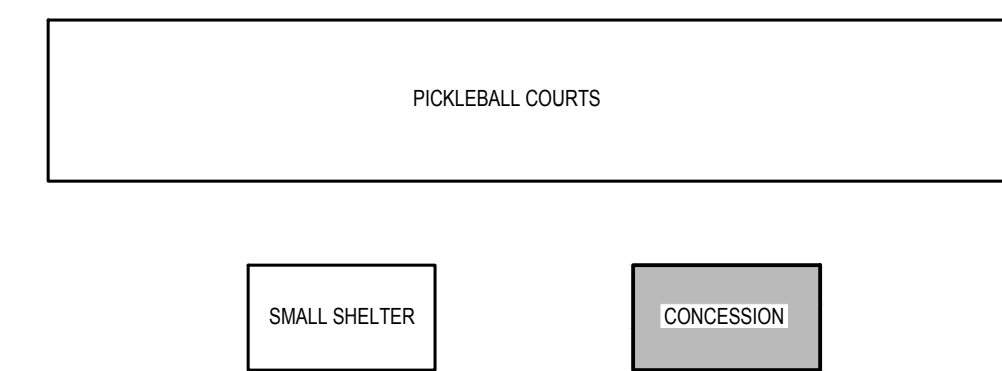
PLUMBING LEGEND	
DESCRIPTION	SYMBOL
COLD WATER	CW
HOT WATER	HW
VENT PIPING	V
WASTE PIPING	W
HOT WATER RETURN	HWR
CLEAN OUT AT GRADE	COAG
FLOOR CLEAN OUT	FCO
FLOOR DRAIN WITH TRAP PRIMER OR LOCAL HOSE BIBB	FD
WALL CLEAN OUT	WCO
NON-FREEZE HOSE BIBB (KEYED TYPE)	NHFB
HOSE BIBB (KEYED TYPE)	HB
CHECK VALVE	CV
SHUT-OFF VALVE	SOV
FIXTURE DESIGNATION	P
MOUNTING HEIGHT	MH
VENT THRU ROOF	VTR



**DETAIL - WALL CLEAN OUT**  
NTS



**PLUMBING - WASTE & VENT PIPING PLAN**  
SCALE: 1/4" = 1'-0"



**KEY PLAN**  
NTS

CITY OF WILSON  
ATTN: DALE EDMONDS  
112 GOLDSBORO ST. E  
WILSON, NC 27894  
252.399.2273

Prepared for:

James Miller & Assoc. PA  
NC LICENSE NO. C-1926  
209 Price Street  
Roanoke Rapids, NC 27870  
Tel: 252.203.1607  
Email: jaswmiller@gmail.com



Rev:      Date:      Description:

Title Sheet: PLUMBING - WASTE & VENT PIPING PLAN

Project: Gillette Pickleball Complex  
Concession Building  
323B Corbett Ave NE Elm City, NC 27822

Drawn by: JLT  
Issue Date: 03-15-23  
Project Number: 22-091  
Sheet:

**P-2**

### MECHANICAL SYMBOL LEGEND

SINGLE LINE	DOUBLE LINE	DESCRIPTION
		TAKE OFF TO SUPPLY AIR REGISTER
		BRANCH TAKEOFF FROM MAIN TRUNK DUCT
		END CAP
		DUCT INSULATED WITH 2" EXTERNAL INSULATION. SEE GENERAL MECHANICAL NOTES
		VOLUME CONTROL DAMPER (TYP)
		SUPPLY AIR CEILING DIFFUSER. THROW TO MATCH CEILING HEIGHT. FLEXIBLE DUCTWORK (10' MAX.)
		RETURN AIR GRILLE
		SUPPLY AIR DIFFUSER. THROW TO MATCH CEILING HEIGHT
		(1) CUSHION HEAD @ BRANCH OR DIFFUSER RUNOUT (2) CUSHION HEAD IS EQUAL TO 1/2 WIDTH OF THE BRANCH DUCT OR DIFFUSER RUNOUT
		MANUAL VOLUME CONTROL DAMPER W/ QUADRANT LOCKING DEVICE
		EXHAUST FAN
		O.A. DUCT WITH MANUAL DAMPER FROM RETURN AIR TRUNK DUCT
		AHU-XX - MULTI-POSITION AIR HANDLER WITH FLEXIBLE CONNECTION AT SUPPLY & RETURN DUCT. PROVIDE WITH DRAIN PAN & VIBRATION ISOLATORS AS REQUIRED.
		DHP-XX - CEILING-CASSETTE TYPE DUCTLESS HEAT PUMP INDOOR UNIT
		OU-XX - OUTDOOR UNIT ON CONCRETE PAD
		7-DAY "WI-FI" PROGRAMMABLE THERMOSTAT WITH AUTO-CHANGEOVER
		REMOTE SENSOR

### OUTSIDE AIR / EXHAUST SUMMARY

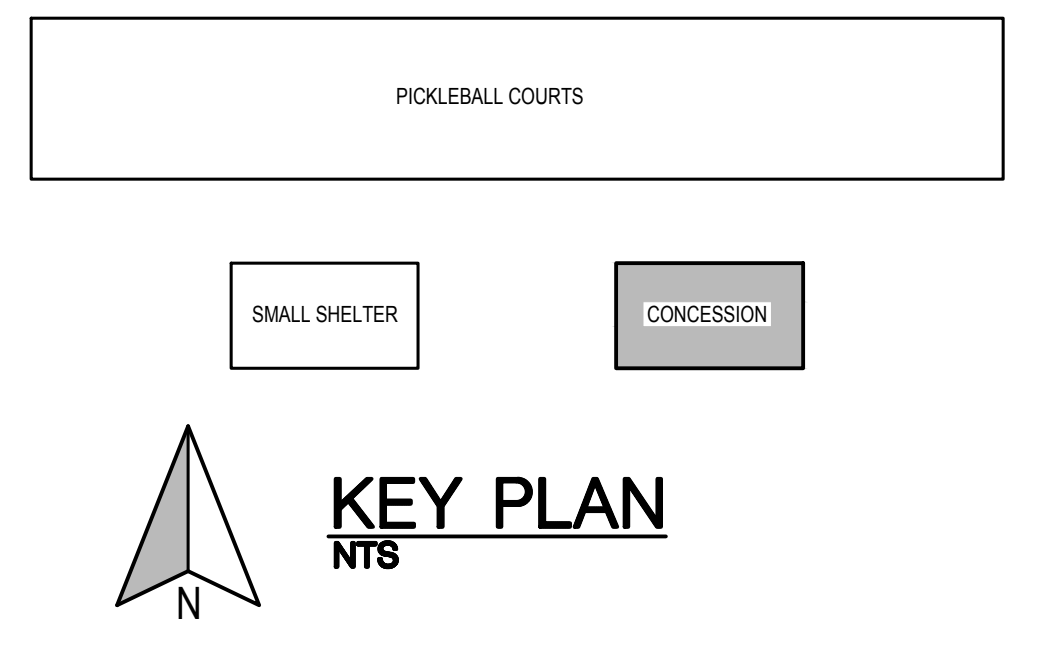
Per Table 403.3 NC Mechanical Code

OUTSIDE AIR REQUIRED:	
Office	
10 PEOPLE X 5 CFM / PERSON =	50 CFM
1,052 SQ. FT. X 0.06 CFM / SQ. FT. =	64 CFM
<b>TOTAL OUTSIDE AIR REQUIRED=</b>	<b>114 CFM</b>
<b>TOTAL OUTSIDE AIR PROVIDED=</b>	<b>125 CFM</b>

EXHAUST AIR REQUIRED:	
Toilets	
17 FLUSHING FIXTURES @ 70 CFM / FLUSHING FIXTURE	1,090 CFM
Janitors Sink	
1 JANITORS SINK @ 75 CFM	75 CFM
<b>TOTAL EXHAUST REQUIRED=</b>	<b>1,165 CFM</b>
<b>TOTAL EXHAUST PROVIDED=</b>	<b>1,275 CFM</b>

- ### GENERAL MECHANICAL NOTES:
- ALL WORK SHALL BE IN COMPLIANCE WITH LOCAL, STATE, AND NATIONAL CODES.
  - DUCTWORK LAYOUTS ARE SCHEMATIC. ALL RISES, DROPS, OFFSETS, AND TRANSITIONS REQUIRED BUT NOT SHOWN SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. DUCTWORK SHALL BE GALVANIZED STEEL AND SHALL BE IN CONSTRUCTION IN COMPLIANCE WITH SMACNA STANDARDS FOR LOW VELOCITY DUCTWORK.
  - ALL HARD ROUND DUCTWORK SHALL BE GALVANIZED STEEL AS OR APPROVED EQUAL. LOCK FORMING SHALL MEET ASTM A-527 STANDARDS. DUCT SIZES SHOWN ARE INSIDE CLEAR DIMENSIONS. FLEXIBLE RUN OUTS SHALL NOT EXCEED 10'-0" AND SHALL NOT BE USED TO FORM ELBOWS. CONNECTIONS FROM RECTANGULAR TO ROUND DUCT SHALL BE MADE WITH MANUFACTURED 45 DEG. LATERAL TAPS.
  - SUPPLY AND RETURN DUCTWORK SHALL BE INSULATED WITH FIBERGLASS INSULATION WITH A MINIMUM THERMAL RESISTANCE OF R-8 AND AN ATTACHED VAPOR BARRIER. DIFFUSERS SHALL BE INSULATED WITH FIBERGLASS INSULATION WITH VAPOR BARRIER. ALL JOINTS SHALL BE TAPED TO PROVIDE A CONTINUOUS VAPOR BARRIER.
  - DUCT SIZES SHOWN ARE NET DIMENSIONS. DUCT SIZES SHOULD BE INCREASED TO ALLOW FOR LINING WHEN USED. DUCT LINER SHALL BE INSTALLED FROM THE A.H.U. RETURN TO THE FIRST 90 DEG. ELBOW OR IF NO ELBOW, FROM UNIT RETURN TO 10'-0" DOWNSTREAM. ACOUSTICAL LINER SHALL BE 1" THICK X 1/2LB. DENSITY. ALL DUCTWORK SHALL BE SEALED AIR TIGHT WITH SEALING COMPOUND.
  - EXHAUST FANS AND DUCTWORK BY MECHANICAL CONTRACTOR. WIRING FOR EXHAUST FANS BY ELECTRICAL CONTRACTOR.
  - MECHANICAL CONTRACTOR TO PROVIDE AN AIR BALANCE REPORT UPON COMPLETION OF WORK TO OWNER AND LOCAL BUILDING INSPECTOR.



CITY OF WILSON  
 ATTN: DALE EDMONDS  
 112 GOLDSBORO ST. E  
 WILSON, NC 27894  
 252.399.2273

Prepared for:  
**James Miller & Assoc. PA**  
 NC LICENSE NO. C-1926  
 209 Price Street  
 Roanoke Rapids, NC 27870  
 Tel: 252.203.1607  
 Email: jaswmiller@gmail.com



Rev.	Date:	Description:

**MECHANICAL PLAN**  
 Title Sheet  
 Project: Gillette Pickleball Complex  
 Concession Building  
 323B Corbett Ave NE Elm City, NC 27822  
 Drawn by: JLT  
 Issue Date: 03-15-23  
 Project Number: 22-091  
 Sheet: **M-1**

### EQUIPMENT SCHEDULE

#### DUCTLESS HEAT PUMP SCHEDULE

DHP-1	DHP-2	DHP-3
MITSUBISHI OR EQUAL INDOOR UNIT - PLA-A24EA7 (NOM 2 TONS)	MITSUBISHI OR EQUAL INDOOR UNIT - PLA-A24EA7 (NOM 2 TONS)	MITSUBISHI OR EQUAL INDOOR UNIT - PLA-A12EA7 (NOM 1 TON)
OUTDOOR UNIT - PUZ-A24NH47	OUTDOOR UNIT - PUZ-A24NH47	OUTDOOR UNIT - PUZ-A12NH47
COOL CAP. - 24,000 BTU/HR. MAX	COOL CAP. - 24,000 BTU/HR. MAX	COOL CAP. - 12,000 BTU/HR. MAX
HEAT CAP. - 26,000 BTU/HR. MAX	HEAT CAP. - 26,000 BTU/HR. MAX	HEAT CAP. - 14,000 BTU/HR. MAX
240V 1Ø	240V 1Ø	240V 1Ø
MCA 20	MCA 16	MCA 16
MOCP 25	MOCP 25	MOCP 25
24.2 SEER	24.2 SEER	27 SEER

NOTES:  
 1. PROVIDE & INSTALL 1" CONDENSATE LINE FOR INDOOR UNIT AND TERMINATE ONTO EXTERIOR CONCRETE SPLASH BLOCK.  
 2. VERIFY & MAINTAIN MIN. CLEARANCES, MAXIMUM LENGTH AND HEIGHT DISTANCES WITH MANUFACTURER PRIOR TO CONSTRUCTION. INSTALL PER MANUFACTURER'S INSTRUCTIONS.  
 5. PROVIDE & INSTALL WIRED THERMOSTATS FOR DUCTLESS HEAT PUMP AND REMOTE SENSORS AS SHOWN ON PLANS.

### EQUIPMENT SCHEDULE

#### SPLIT SYSTEM HEAT PUMP SCHEDULE

AHU-1
1,000 CFM TOTAL
125 CFM O.A.
30,000 BTU/HR. COOLING
30,000 BTU/HR. SYSTEM HEAT
7.88 KW AUX. HEAT
240V 1Ø
MCA 44
MOCP 45

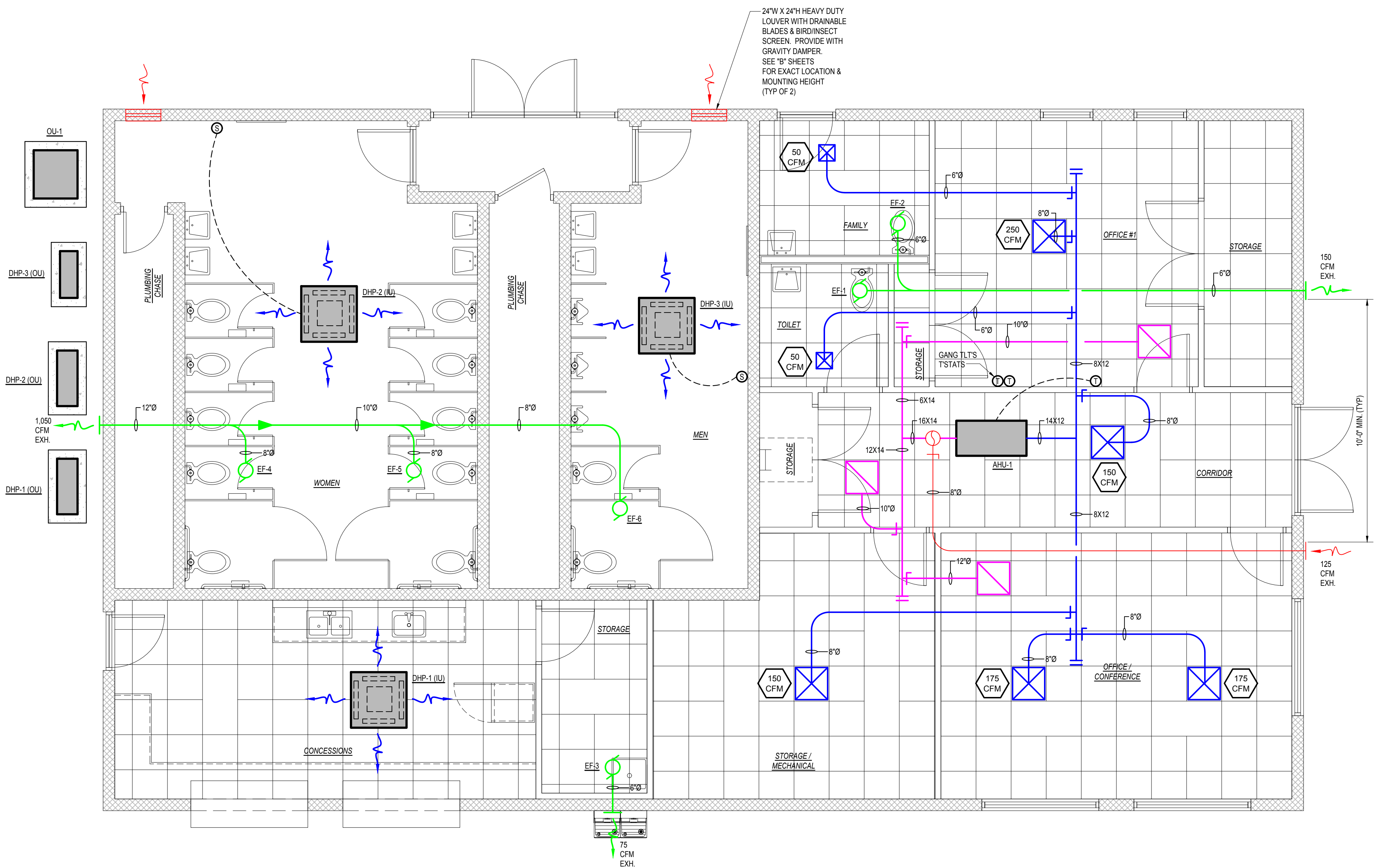
OU-1
NOM. 2.5 TONS
240V 1Ø
MCA 17
MOCP 25
14 SEER MIN.

NOTES:  
 1. PROVIDE COOLING COIL FOR RATED CAPACITY. MAX 0.5 EXT. SP DROP, AND SCHEDULED AIR FLOW. COIL SHALL HAVE ASHRAE FULLY DRAINABLE CONDENSATE PAN AND AUTO SHUT-OFF TO PREVENT CONDENSATE OVERFLOW.  
 2. ALL EQUIPMENT TO BE TRANE OR EQUAL.

### DIFFUSER / GRILLE SCHEDULE

CFM	NECK SIZE	MAKE *	MODEL	MATERIAL	TYPE	DUCT SIZE
50-100	6x6	METAL-AIRE	SERIES 5000	EXTRUDED ALUMINUM	SUPPLY	6" RND
125-225	9x9	METAL-AIRE	SERIES 5000	EXTRUDED ALUMINUM	SUPPLY	8" RND
250	12x12	METAL-AIRE	SERIES 5000	EXTRUDED ALUMINUM	SUPPLY	10" RND
250	10x10	METAL-AIRE	SERIES CC5F	ALUMINUM	RETURN	10" RND
350	12x12	METAL-AIRE	SERIES CC5F	ALUMINUM	RETURN	12" RND

NOTES:  
 1. ALL BRANCH DUCTS AND RUN OUTS SHALL HAVE MANUAL LOCKING QUADRANT BALANCING DAMPERS.  
 2. ALL DIFFUSERS, REGISTERS AND GRILLES SHALL BE FACTORY INSULATED.  
 3. PANEL / FACE SHALL BE SUITABLE FOR CEILING TYPE.  
 4. SUPPLY AIR DIFFUSERS' THROW SHALL MATCH CEILING HEIGHT IN SPACE IT SERVES.  
 5. MAX NC LEVEL - 20  
 \* - EQUAL BY ANEMOSTAT OR TITUS



**MECHANICAL PLAN**  
 SCALE: 1/4" = 1'-0"

### CABINET EXHAUST FAN SCHEDULE

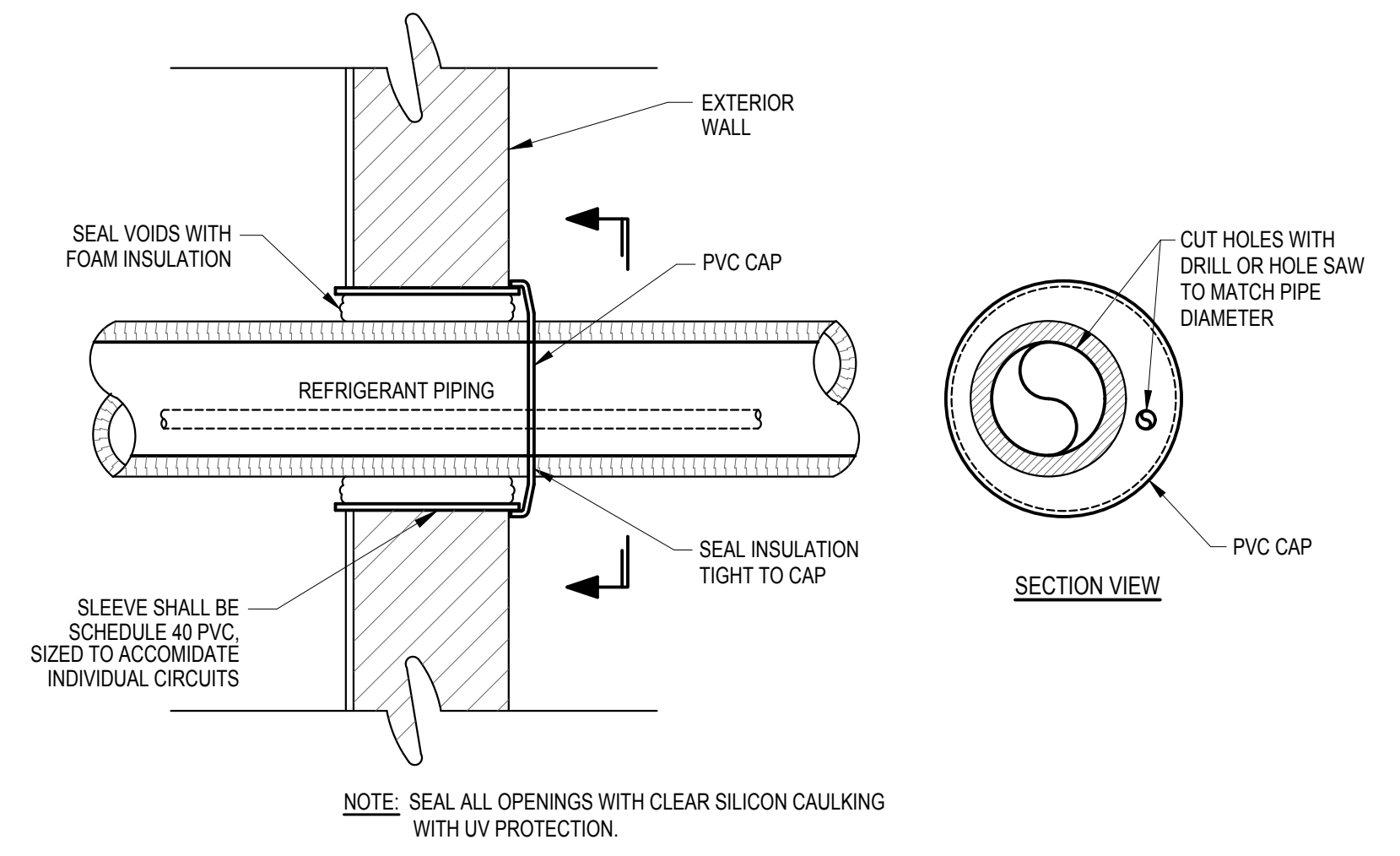
MARK	MAKE	MODEL	TYPE	CFM	EX. S.P.	WATTS	ELECTRICAL		
							VOLT	PH.	HZ.
EF-1, 2, & 3	GREENHECK OR EQUAL	SP-A90	CABINET EXHAUST	75	0.125	26.4	120	1	60
EF-4, 5, & 6	GREENHECK OR EQUAL	SP-A390	CABINET EXHAUST	350	0.25	135	120	1	60

NOTES:  
 1. INTERLOCK EXHAUST FANS WITH LIGHTS  
 2. PROVIDE EXHAUST FANS WITH DISC, BDD, BIRD SCREEN & WALL CAP

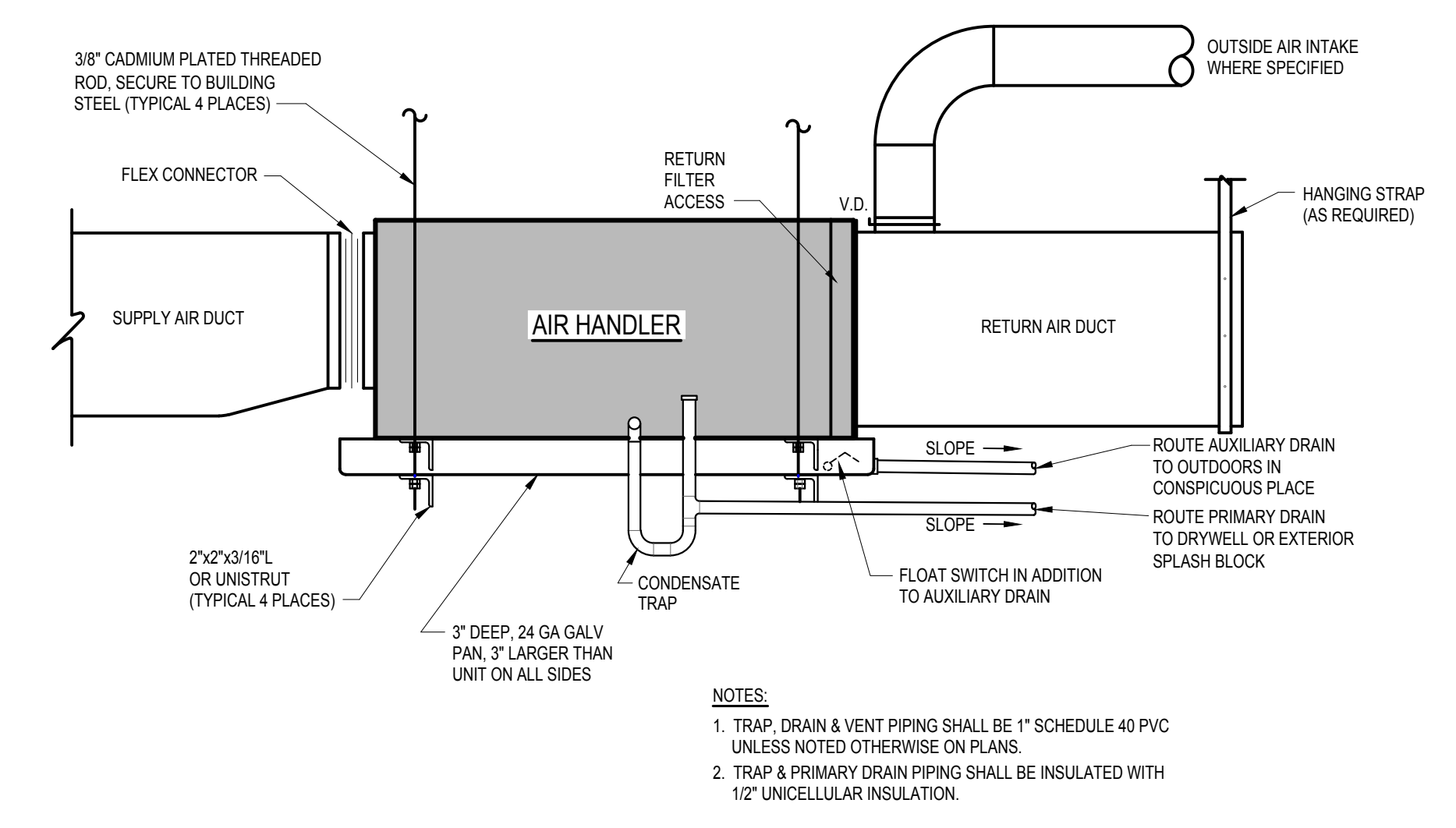


**MECHANICAL SUMMARY**  
MECHANICAL SYSTEMS SERVICE SYSTEMS AND EQUIPMENT:

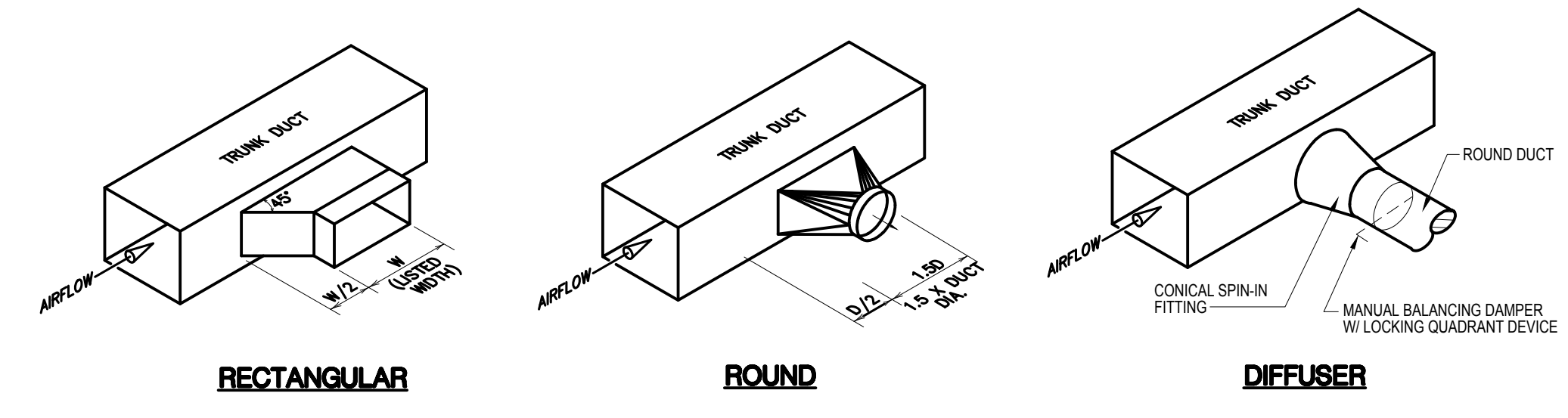
Thermal Zone	III
Winter dry bulb	16 deg. F
Summer dry bulb	92 deg. F
Interior Design Conditions	
Winter dry bulb	68 deg. F
Summer dry bulb	65 deg. F
Relative humidity	50 %
Building Heating Load	72 MBH
Building Cooling Load	7.5 TONS
Mechanical Spacing Conditioning System	
Unitary	(3) DUCTLESS HEAT PUMPS (1) SPLIT SYSTEM HEAT PUMP
Description of unit	
Heating efficiency	80%
Cooling efficiency	14 SEER MIN.
Size category of unit	>65,000 BTU/HR.
Boiler	
Size category, if oversized, state reason	N/A
Chiller	
Size category, if oversized, state reason	N/A
List Equipment Efficiencies	
Equipment Schedules with Motors (mechanical systems)	
Motor horsepower	N/A
Number of phases	
Minimum efficiency	
Motor type	
# of poles	



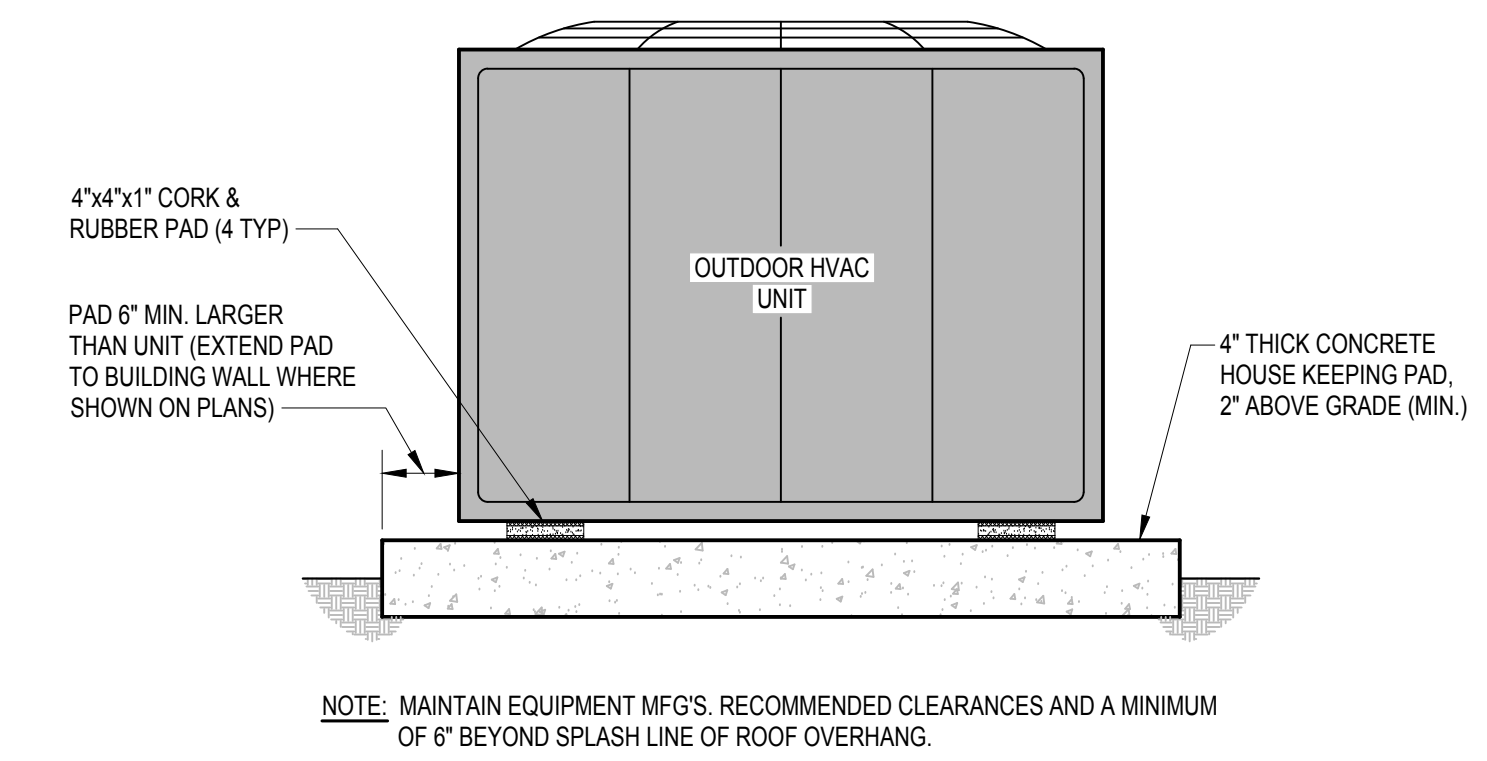
**DETAIL-REFRIGERANT PIPE PENETRATION EXTERIOR WALL**  
NOT TO SCALE



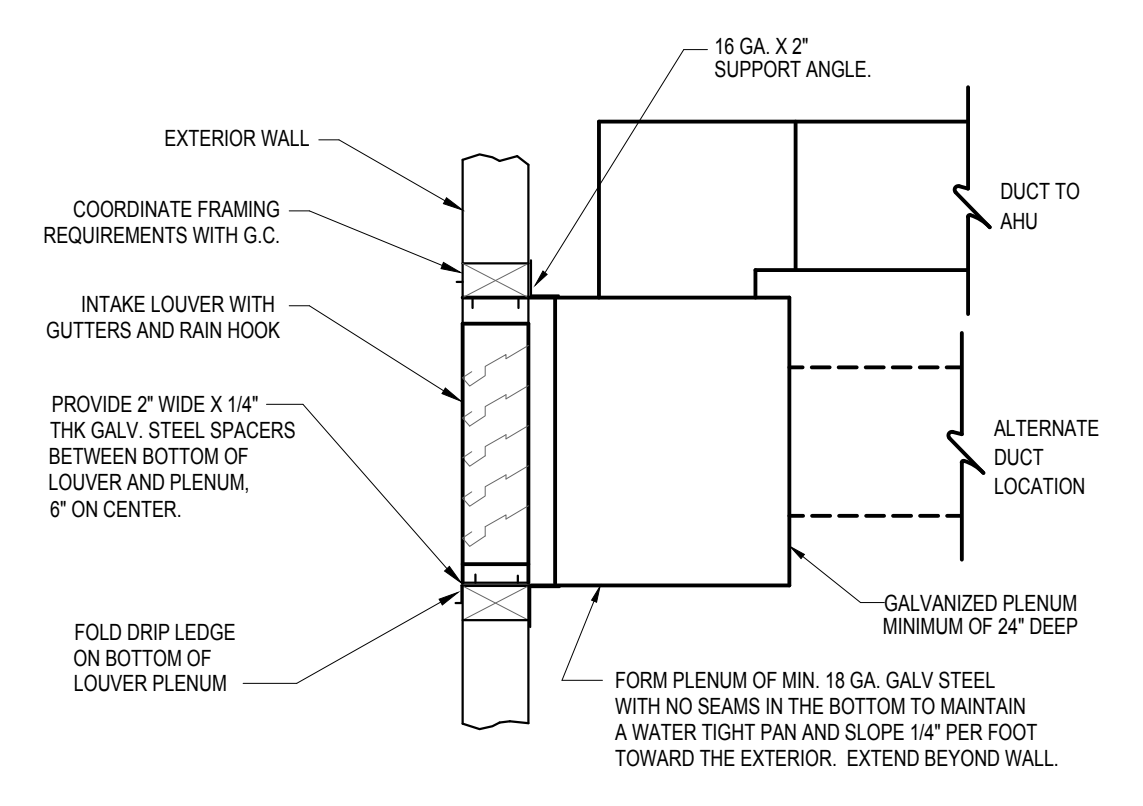
**DETAIL- AIR HANDLER**  
NOT TO SCALE



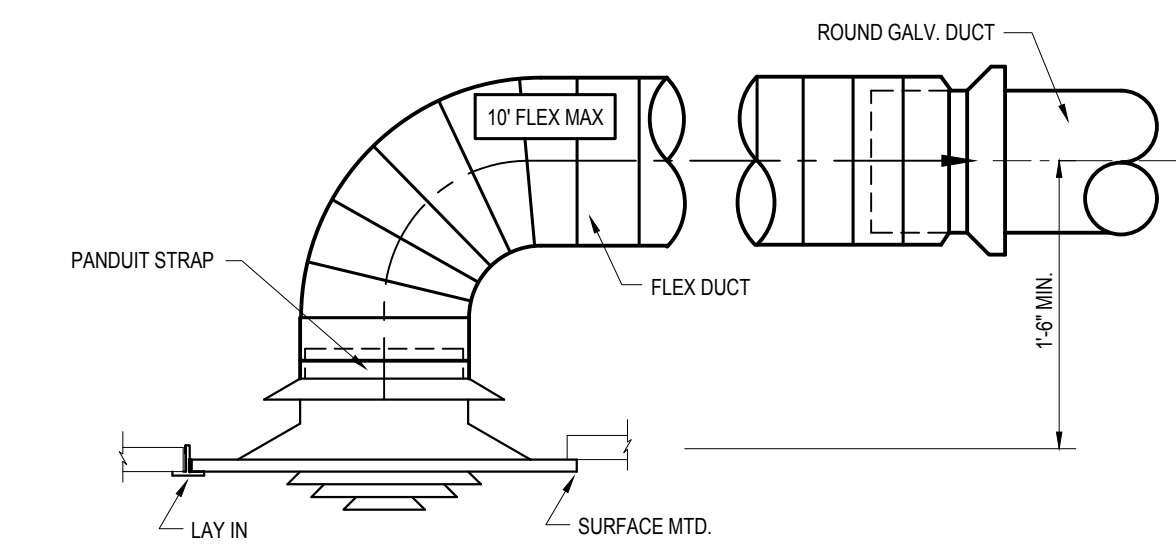
**DETAIL-LATERAL TO REGISTER OR BRANCH DUCT**  
NOT TO SCALE



**DETAIL-OUTDOOR UNIT**  
NOT TO SCALE



**DETAIL-MAKE-UP AIR LOUVER**  
NOT TO SCALE



**DETAIL-CEILING DIFFUSER CONNECTION**  
NOT TO SCALE

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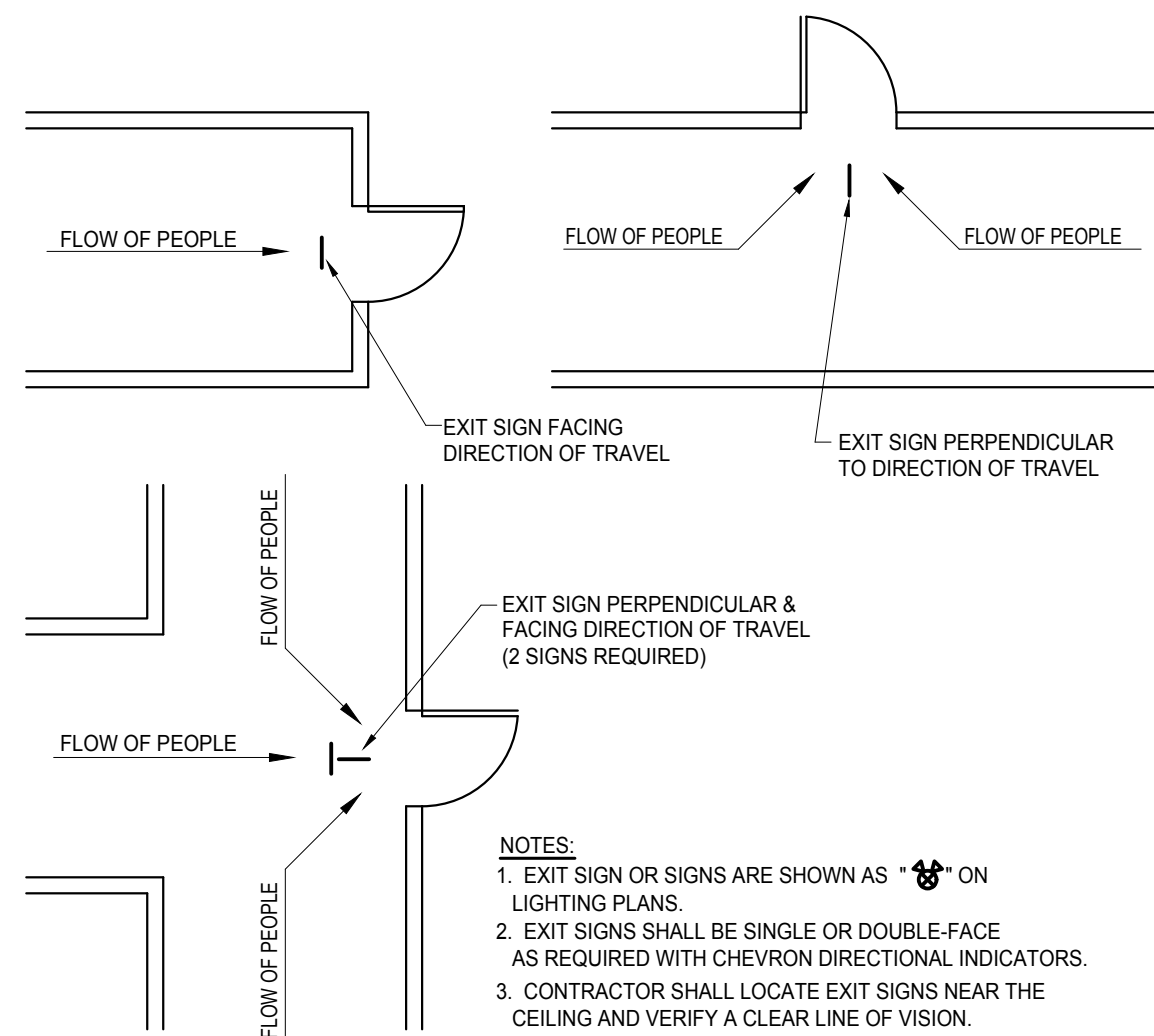


Rev.	Date:	Description:

Title Sheet: MECHANICAL DETAILS

Project: Gillette Pickleball Complex  
Concession Building  
323B Corbett Ave NE  
Elm City, NC 27822

Drawn by: JLT  
Issue Date: 03-15-23  
Project Number: 22-091  
Sheet: M-2



**LOCATIONS OF EXIT SIGNS**  
NO SCALE

**GENERAL ELECTRICAL NOTES:**

- WORK SHALL COMPLY WITH NATIONAL ELECTRICAL CODE (NEC) STATE BUILDING CODE, AND ALL REQUIREMENTS OF THE LOCAL INSPECTOR. ALL WORK SHALL BE BY LICENSED ELECTRICAL CONTRACTOR.
- ALL BRANCH CIRCUITS SHALL BE E.M.T., RIGID CONDUIT OR MC CABLE AS PERMITTED OR REQUIRED. RIGID CONDUIT SHALL BE USED FOR CIRCUITS UNDER SLAB ON GRADE, OR WHERE APPROVED SCHEDULE 80 PVC MAY BE USED. EXPOSED CONDUIT SHALL BE PAINTED PER OWNER'S DIRECTION.
- ALL CONDUCTORS SHALL BE COPPER.
- ALL EQUIPMENT LOADS SHALL BE VERIFIED BEFORE EQUIPMENT AND/OR CIRCUIT INSTALLATION. VERIFY LOCATION OF ALL RECEPTACLES, TV & DATA / TELE. BOXES WITH OWNER PRIOR TO INSTALLATION.
- PROVIDE GREEN GROUNDING CONDUCTOR CONTINUOUS FROM DEVICE TO PANEL GROUND BAR. PROVIDE DRIVEN GROUND ROD AND COLD WATER GROUND FOR MAIN SERVICE AND ALL POINTS PER N.E.C. REQUIREMENTS.
- EMT FITTINGS SHALL BE HEXAGONAL ALL STEEL, COMPRESSION TYPE.
- RECEPTACLES AND SWITCHES SHALL BE COMMERCIAL GRADE BRYANT, SIERRA, LEVITON BRAND EXCEPT AS SPECIFIED.
- ALL WALL OUTLET BOXES SHALL BE STEEL CITY OR RACO WITH PLATES.
- ALL CIRCUITS SHALL BE TESTED WITH 500 VOLT TESTER PRIOR TO ENERGIZING.
- ELECTRICAL CONTRACTOR SHALL CONNECT TO TERMINALS OF MECHANICAL EQUIPMENT AND EQUIPMENT SUPPLIED BY OWNER.
- EXHAUST FANS & DUCTWORK BY MECHANICAL CONTRACTOR. WIRING FOR EXHAUST FANS BY ELECTRICAL CONTRACTOR.
- MOUNTING HEIGHTS FOR ALL SWITCHES & RECEPTACLES TO BE ADA COMPLIANT PER ANSI A117.1

**LIGHT FIXTURE SCHEDULE**

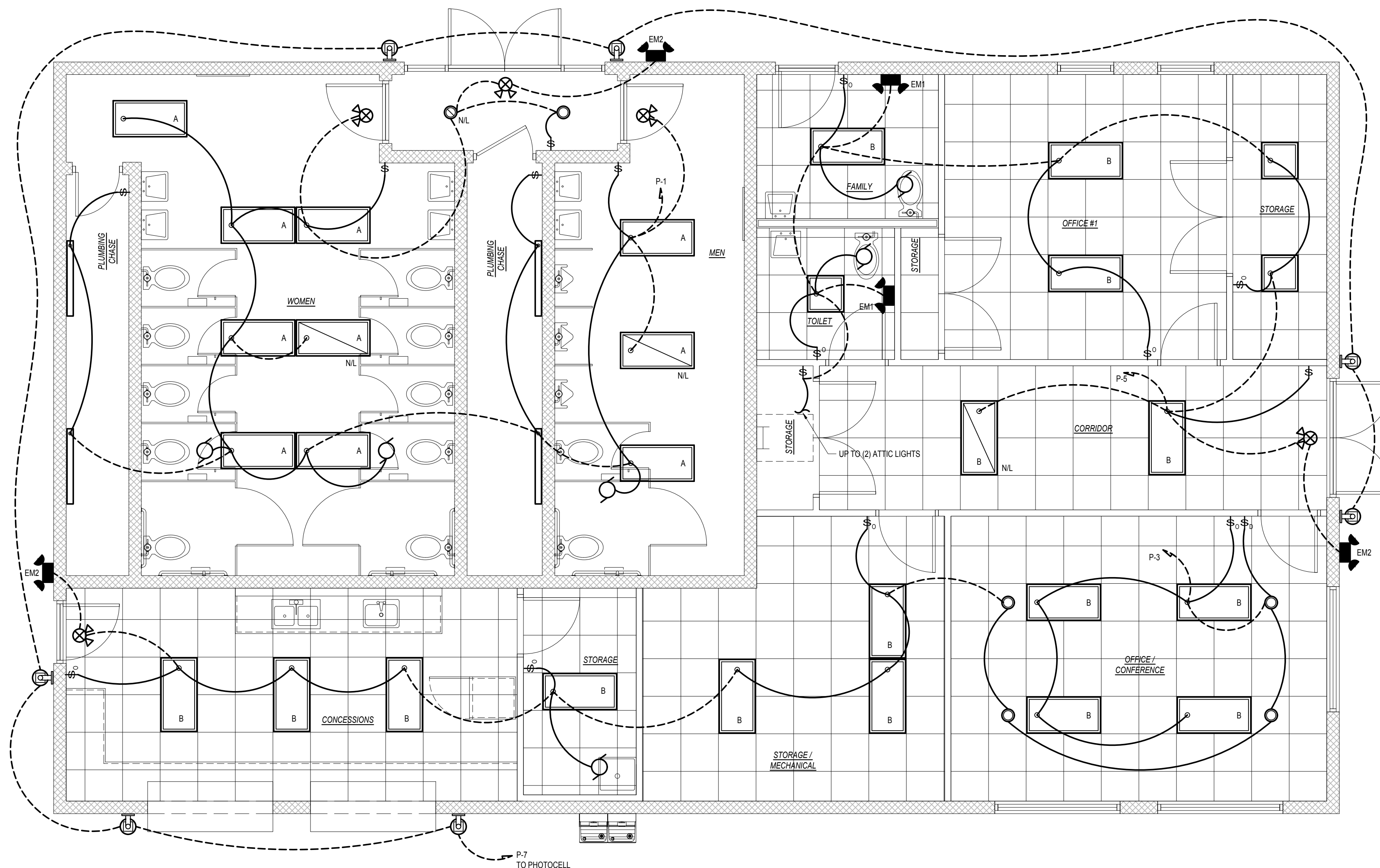
SYMBOL	MANUFACTURER	DESCRIPTION	LAMPS			MOUNTING
			NO.	WATTS	TYPE	
	EELP OR EQUAL	VersaLED 2x4 LED LIGHTING PANEL WITH ACRYLIC LENS. 120V 4,652 LUMENS, 4,000K COLOR TEMP.	-	50	LED'S	SURFACE
	EELP OR EQUAL	VersaLED 2x4 LED LIGHTING PANEL WITH ACRYLIC LENS. 120V 4,652 LUMENS, 4,000K COLOR TEMP.	-	50	LED'S	LAY-IN
	EELP OR EQUAL	VersaLED 2x2 LED LIGHTING PANEL WITH ACRYLIC LENS. 120V 4,134 LUMENS, 4,000K COLOR TEMP.	-	40	LED'S	LAY-IN
	COOPER OR EQUAL	HALO "PR8" 8" COMMERCIAL LED CAN LIGHT. IC RATED 1,500 LUMENS, 4,000K COLOR TEMP. 120V	-	14	LED'S	RECESSED
	LITHONIA OR EQUAL	"OLX" SERIES 4' LED STRIP WITH FLAT DIFFUSE CLEAR LENS. 120V 5,000 LUMENS, 4,000K COLOR TEMP.	-	35	LED'S	WALL
	LITHONIA OR EQUAL	ARCHITECTURAL "LED" WALL SCONCE 4,000K COLOR TEMP. SUITABLE FOR WET/DAMP LOCATION. 120V	-	15	LED'S	WALL
	LITHONIA OR EQUAL	LED EXIT/EMERGENCY COMBO LIGHT WITH BATTERY BACKUP. 120V DUAL REMOTE READY	-	-	LED'S	WALL
	LITHONIA OR EQUAL	EMERGENCY LIGHT WITH BATTERY BACKUP. 120V	-	-	LED'S	WALL
	LITHONIA OR EQUAL	REMOTE DUAL HEAD POWERED FROM EMERGENCY LIGHT BATTERY PACK WET/DAMP LOCATION. 120V	-	-	LED'S	WALL
ATTIC LIGHT	LITHONIA OR EQUAL	"FMMLS" 7" LED 7" VERSI LITE. 120V 4,000K COLOR TEMP. 695 LUMENS	-	13	LED'S	SURFACE

NOTES:  
 NOTE (1) - FIXTURES SHALL HAVE DISCONNECTING MEANS MEETING THE REQUIREMENTS OF NEC ARTICLE 410.130(G).  
 NOTE (2) - COORDINATE ALL FIXTURE REQUIREMENTS, COLOR TEMP, CRI (COLOR RENDERING INDEX) ETC. WITH OWNER PRIOR TO INSTALLATION.  
 NOTE (3) - SHIFT LOCATIONS OF FIXTURES IN MECHANICAL AREAS IF/AS REQUIRED TO BEST LIGHT SPACES & AVOID CONFLICTS WITH DUCTS, PIPING, ETC.  
 NOTE (4) - PROVIDE CHANNEL SUPPORTS WITH HANGER RODS, ETC. WHERE NECESSARY TO SUSPEND FIXTURES BENEATH DUCTWORK, PIPING, ETC.

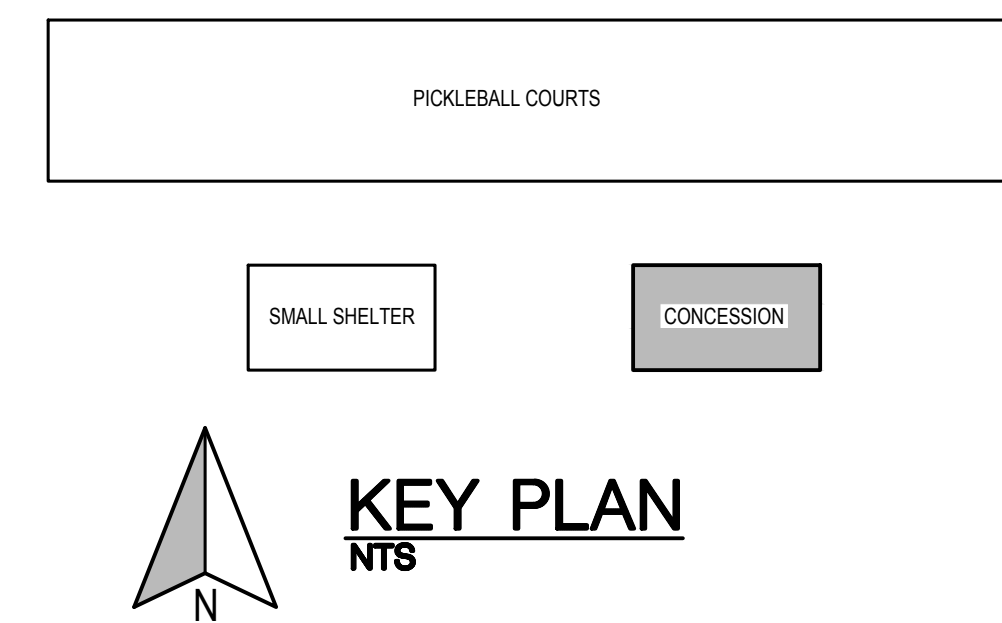
AREA USE	SQ. FT.	WATTS PER SQ.FT. ALLOWED	TOTAL WATTS ALLOWED	TOTAL WATTS USED	TOTAL WATTS LEFT OVER
OFFICE AREA	2,700	0.89	2,403	1,744	659

**ELECTRICAL SUMMARY**

- ELECTRICAL SYSTEM AND EQUIPMENT:
- Method of Compliance:
- Prescriptive (Energy Code)  Prescriptive (ASHRAE 90.1)
  - Performance (Energy Code)  Performance (ASHRAE 90.1)
- Lighting Schedule
- Lamp type required in fixture \_\_\_\_\_ THIS SHEET
- Number of lamps in fixture \_\_\_\_\_
- Ballast type used in fixture \_\_\_\_\_
- Number of ballasts in fixture \_\_\_\_\_
- Total wattage per fixture \_\_\_\_\_
- Total interior wattage specified -vs- allowed \_\_\_\_\_
- Total exterior wattage specified -vs- allowed \_\_\_\_\_
- Additional Prescriptive Compliance
- 506.2.1 More Efficient Mechanical Equipment
  - 506.2.2 Reduced Lighting Power Density
  - 506.2.3 Energy Recovery Ventilation Systems
  - 506.2.4 Higher Efficiency Service Water Heating
  - 506.2.5 On-Site Supply of Renewable Energy
  - 506.2.6 Automatic Daylighting Control Systems



**ELECTRICAL - LIGHTING PLAN**  
SCALE 1/4" = 1'-0"



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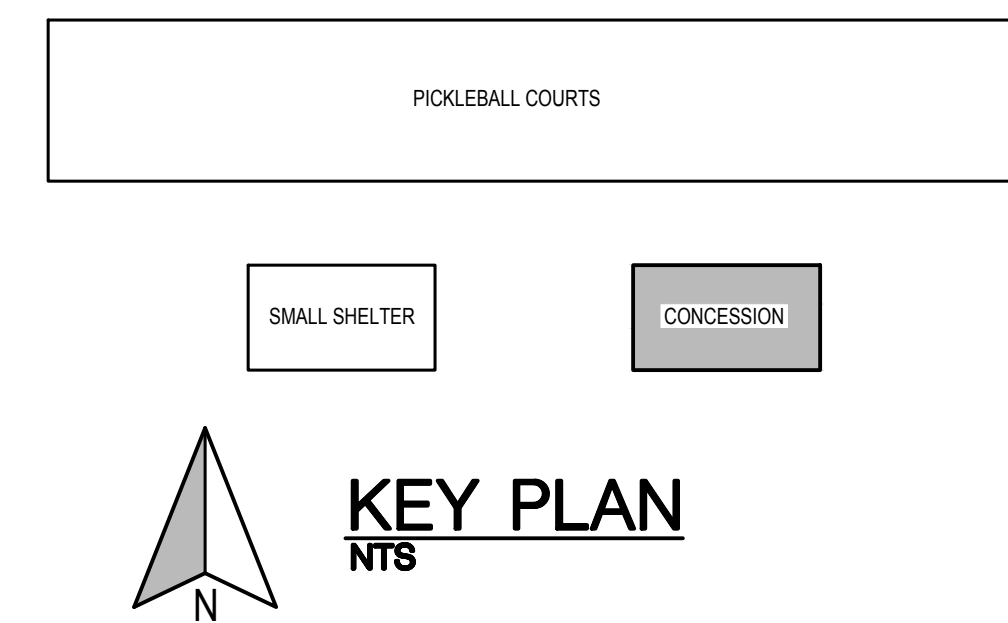
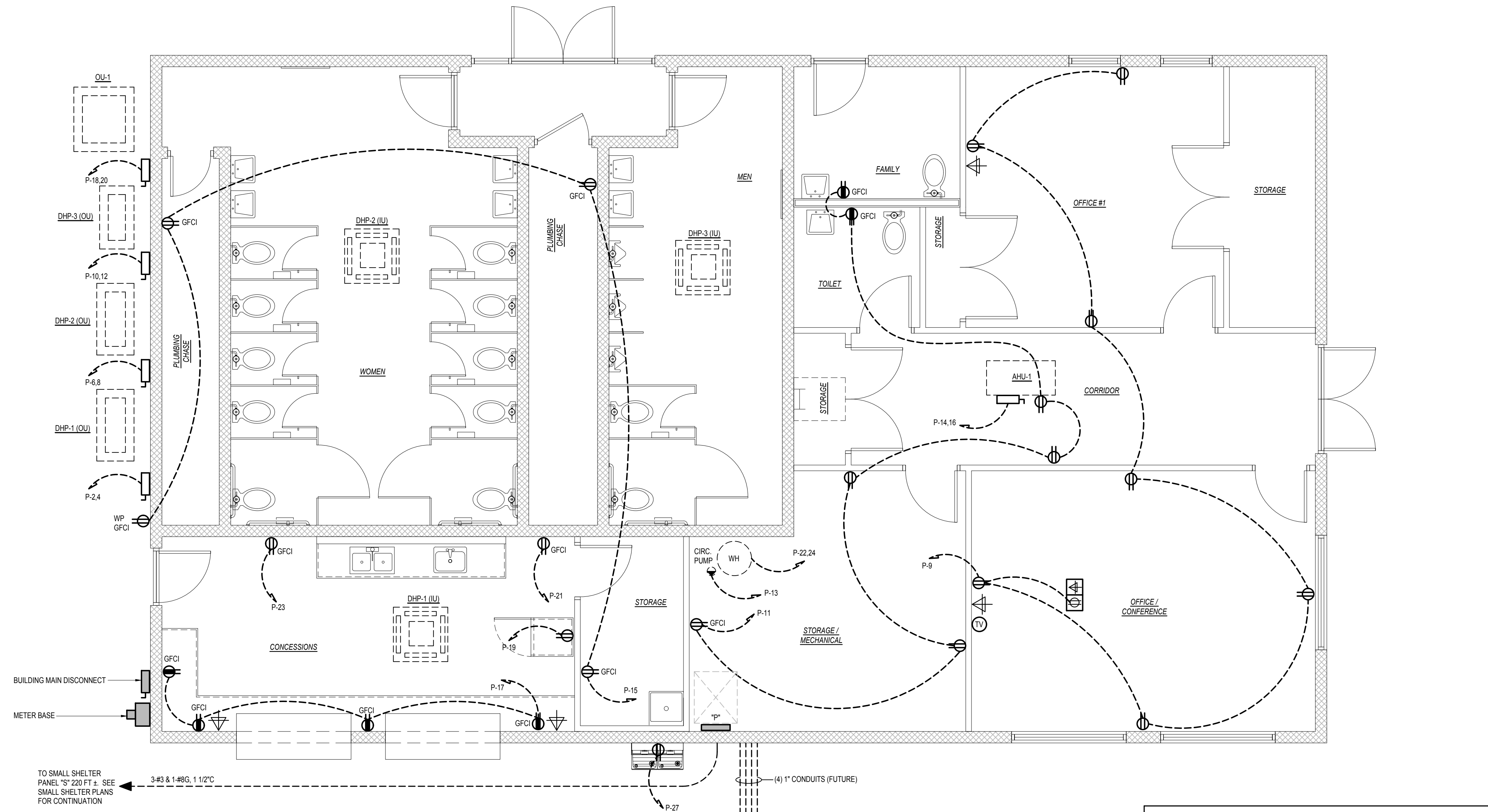
Rev.	Date:	Description:

Title Sheet: **ELECTRICAL - LIGHTING PLAN**

Project: **Project**  
 New Construction For:  
**Gillette Pickleball Complex**  
**Concession Building**  
 323B Corbett Ave NE Elm City, NC 27822

Drawn by: **JLT**  
 Issue Date: **03-15-23**  
 Project Number: **22-091**  
 Sheet: **E-1**

ELECTRICAL LEGEND			
MARK	DESCRIPTION	MARK	DESCRIPTION
	"LED" LIGHT FIXTURE (WALL/CEIL.)		"GFCI" DUPLEX RECEPTACLE
	"LED" LIGHT FIXTURE		"GFCI" DUPLEX RECEPTACLE IN WEATHER-PROOF COVER
	"LED" UNSWITCHED LIGHT FIXT. WITH BATTERY STANDBY (SECURITY/ EMERGENCY LT.)		FUSED DISCONNECT SWITCH
	COMBO EXIT/EM. LIGHT		EXHAUST FAN
	BATTERY OPERATED EMERG. LT. (2-HEAD, WALL MTD.)		SWITCHED BRANCH CIRCUIT
	SINGLE-POLE SWITCH		UNSWITCHED BRANCH CIRCUIT
	PASSIVE DUAL TECHNOLOGY OCCUPANCY WALL SENSOR SWITCH		HOMERUN
	DIMMER SWITCH		VOICE/DATA 1" CONDUIT TO ABV. CEILING
	DUPLEX RECEPTACLE		COMBINATION DUPLEX & TELE./DATA FLOOR BOX WITH HEAVY DUTY COVER
	DUPLEX RECEPTACLE ABOVE COUNTER		CABLE TV OUTLET



**ELECTRICAL - POWER PLAN**  
SCALE: 1/4" = 1'-0"

Prepared for:  
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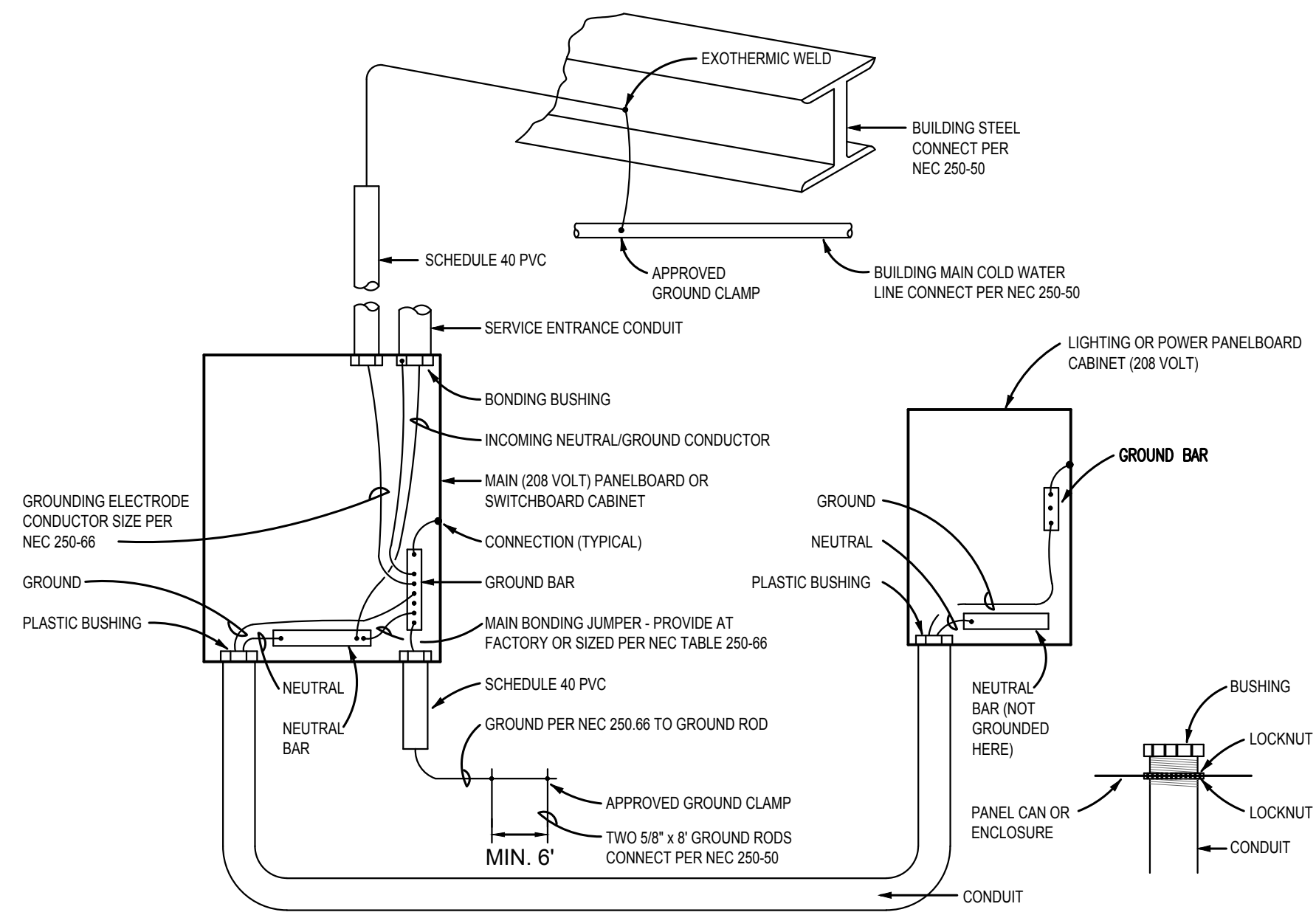
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Rev.	Date:	Description:

Title Sheet: **ELECTRICAL - POWER PLAN**  
 Project: **Gillette Pickleball Complex Concession Building**  
 New Construction For:  
 323B Corbett Ave NE Elm City, NC 27822

Drawn by: **JLT**  
 Issue Date: **03-15-23**  
 Project Number: **22-091**  
 Sheet: **E-2**



- NOTES:**
- GROUNDING ELECTRODE CONDUCTOR SHALL BE RUN CONTINUOUSLY (UNBROKEN) FROM COLD WATER LINE AND/OR BUILDING STEEL AND GROUND ROD TO GROUND BAR BEFORE BONDING TO ANY CONDUIT BUSHING.
  - ALL THE FOLLOWING GROUNDING ELECTRODES THAT ARE PRESENT SHALL BE BONDED TOGETHER TO FORM THE GROUNDING ELECTRODE SYSTEM PER NEC 250.52:
    - METAL UNDERGROUND WATER PIPE IN DIRECT CONTACT WITH EARTH FOR 10 FT OR MORE
    - METAL FRAME OF THE BUILDING
    - ANY ELECTRODE ENCASED BY AT LEAST 2 IN. OF CONCRETE, CONSISTING OF 20 FT OR MORE BARE OR ZINC GALVANIZED OR OTHER ELECTRICALLY CONDUCTIVE COATED STEEL REINFORCING BARS OR RODS NOT LESS THAN 1/2" IN DIAMETER
    - GROUND RING ENVICRCLING THE BUILDING
    - ROD AND PIPE ELECTRODES NOT LESS THAN 8 FT.
    - PLATE ELECTRODES

**TYPICAL BONDING & GROUNDING DIAGRAM**  
NO SCALE

**ELECTRICAL LOAD SUMMARY**

<b>CONCESSION BUILDING:</b>		
LIGHTS	245 KW X 125	3.07 KW
RECEPTACLES		4.98 KW
WATER HEATER		4.50 KW
HVAC		28.08 KW
FUTURE		10.00 KW
<b>SMALL SHELTER:</b>		
LIGHTS	0.63 KW X 125	0.79 KW
RECEPTACLES		2.04 KW
<b>TOTAL</b>		<b>53.46 KW</b>
@ 240V 1φ =		<b>222.8 AMPS</b>
<b>222.8 AMPS x 125 =</b>		<b>278.5 AMPS</b>

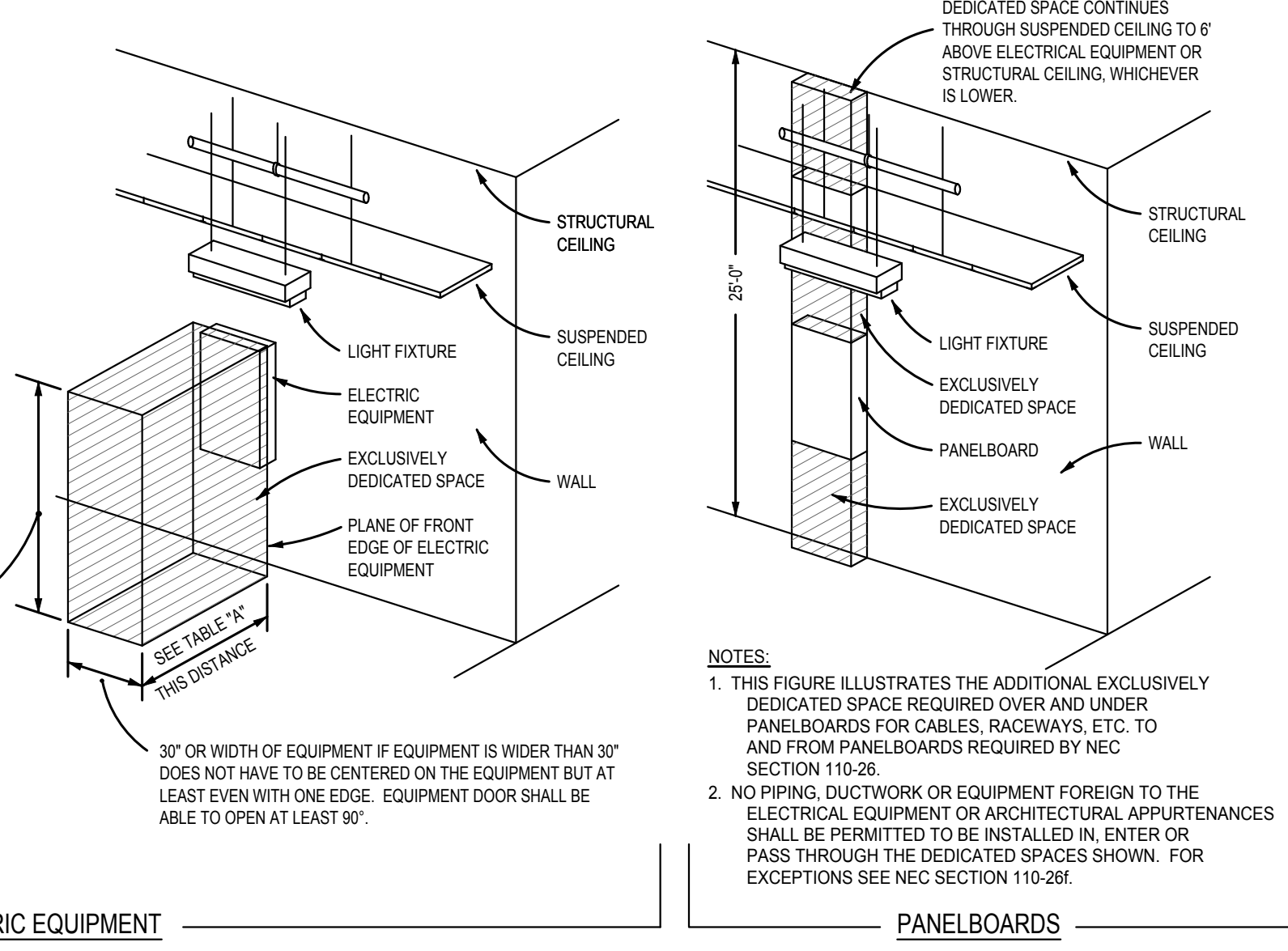
**PANEL P MTD: SURFACE TYPE: "SQ-D" VOLTS: 120/240 PHASE: 1 WIRE: 3 400 AMP MLO**

L1	L2	CIRCUIT	POLES	TRIP	ASSIGNMENT	PHASE	ASSIGNMENT	TRIP	POLES	CIRCUIT	L1	L2
9.1		1	1	20	LIGHTS	o	DHP-1	25	2	2	20	
	5.9	3	1	20	LIGHTS	o					4	20
4.5		5	1	20	LIGHTS	o	DHP-2	25	2	6	20	
	0.9	7	1	20	EXTERIOR LIGHTS	o				8		20
12		9	1	20	RECEPT	o	DHP-3	25	2	10	16	
	7.5	11	1	20	RECEPT	o				12		16
2		13	1	20	CIRC. PUMP	o	AHU-1	45	2	14	44	
	6	15	1	20	RECEPT	o				16		44
6		17	1	20	RECEPT	o	OU-1	25	2	18	17	
	5	19	1	20	REF.	o				20		17
1.5		21	1	20	RECEPT	o	WATER HEATER	30	2	22	18.75	
	1.5	23	1	20	RECEPT	o				24		18.75
X		25	1	20	SPARE	o	SPARE	20	1	26	X	
X		27	1	20	EW "GFCI"	o	SPARE	20	1	28	X	
X		29			SPACE	o	SPACE			30	X	
X		31			SPACE	o	SPACE			32	X	
X		33			SPACE	o	SPACE			34	X	
X		35			SPACE	o	SPACE			36	X	
X		37			SPACE	o	SPACE			38	X	
X		39			SPACE	o	PANEL "S" (SMALL SHELTER)	100	2	40		12.7
X		41			SPACE	o				42	9.5	
35.1		29.8								145.25		148.45
						L1-180.35						
						L2-178.25						
								179.3 AMPS				

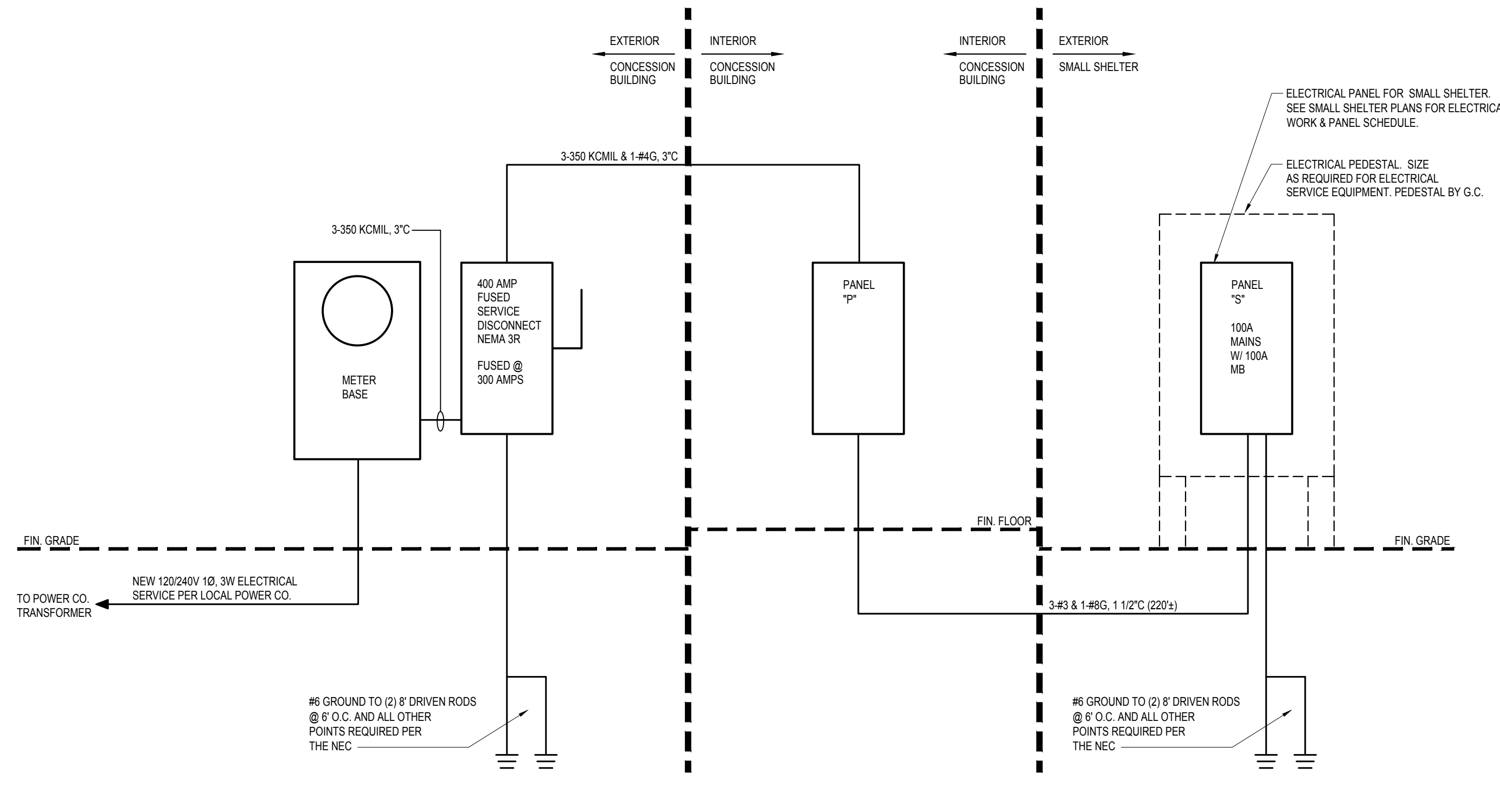
**TABLE "A" WORKING CLEARANCES**

VOLTAGE TO GROUND (NOMINAL)	CONDITION 1 (MINIMUM CLEAR DISTANCE)	2	3
0-150	3'	3'	3'
151-600	3'	3 1/2'	4'

- WHERE THE "CONDITIONS" ARE AS FOLLOWS:
- EXPOSED LIVE PARTS ON ONE SIDE AND NO LIVE OR GROUNDED PARTS ON THE OTHER SIDE OF THE WORKING SPACE, OR EXPOSED LIVE PARTS ON BOTH SIDES EFFECTIVELY GUARDED BY SUITABLE WOOD OR OTHER INSULATING MATERIALS. INSULATED WIRE OR INSULATED BUSBARS OPERATING AT NOT OVER 300 VOLTS SHALL NOT BE CONSIDERED LIVE PARTS.
  - EXPOSED LIVE PARTS ON ONE SIDE AND GROUNDED PARTS ON THE OTHER SIDE.
  - EXPOSED LIVE PARTS ON BOTH SIDES OF THE WORK SPACE (NOT GUARDED AS PROVIDED IN CONDITION 1) WITH THE OPERATOR BETWEEN.



**DEDICATED WORKING SPACE REQUIREMENTS**  
NO SCALE



**ELECTRICAL RISER DIAGRAM**  
NO SCALE

- NOTES:**
- AIC RATINGS SHALL BE VERIFIED AND PROPER PLAQUES APPLIED PRIOR TO ENERGIZING.
  - ELECTRICAL CONTRACTOR SHALL LABEL UTILITY AVAILABLE FAULT CURRENT AND DATE PER NEC.
  - PANEL BREAKERS & FUSES SHALL BE RATED 25% AIC MIN. UNLESS AVAILABLE FAULT CURRENT IS HIGHER, THEN RATING SHALL BE INCREASED TO EXCEED AVAILABLE FAULT CURRENT.

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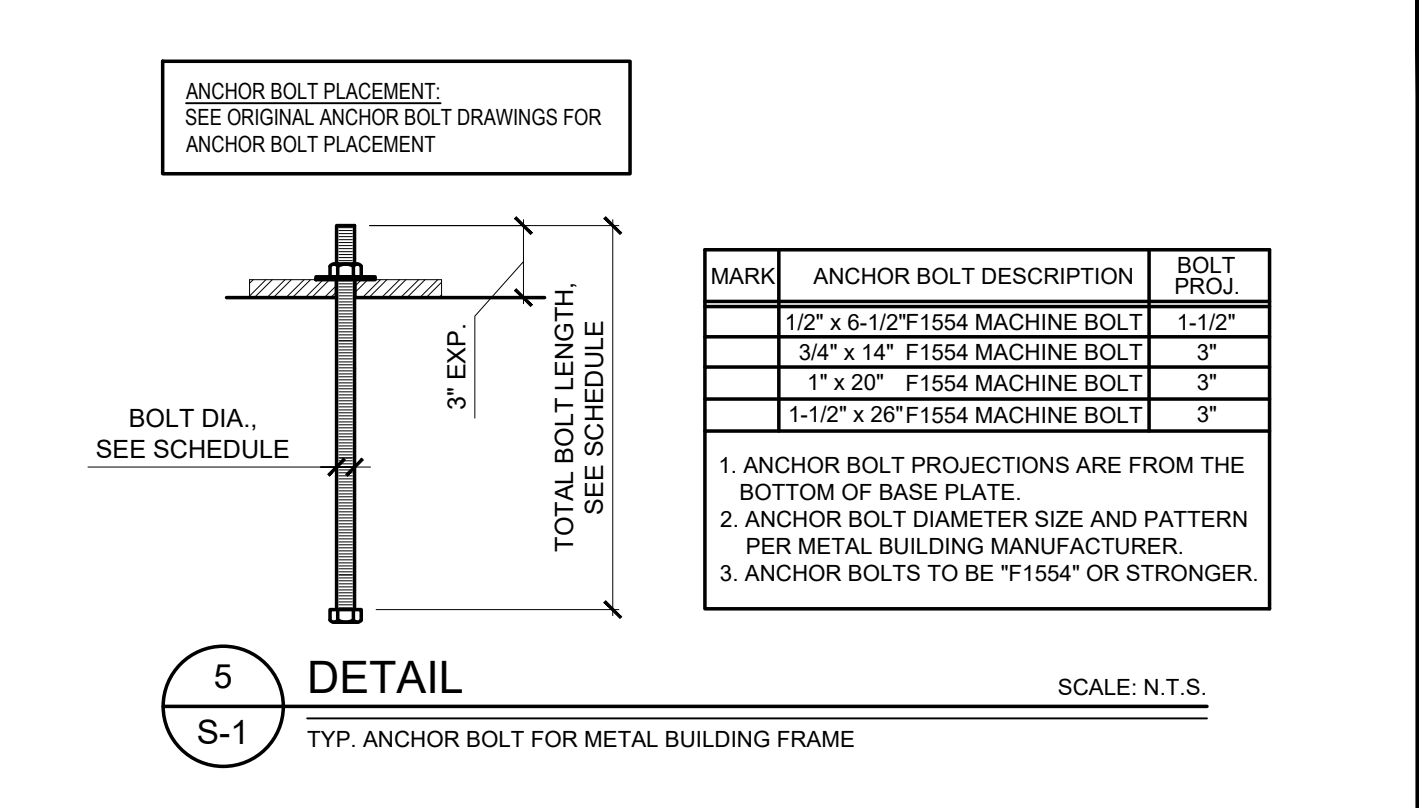
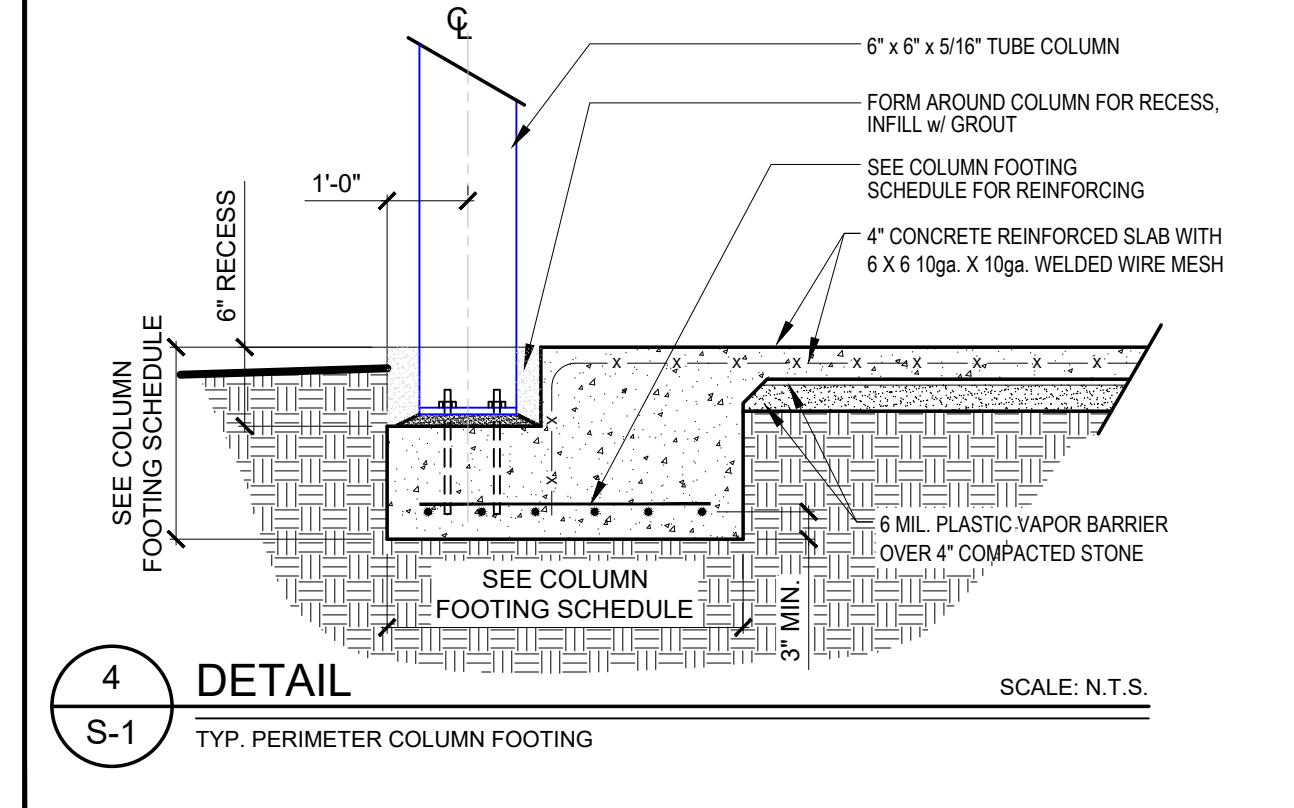
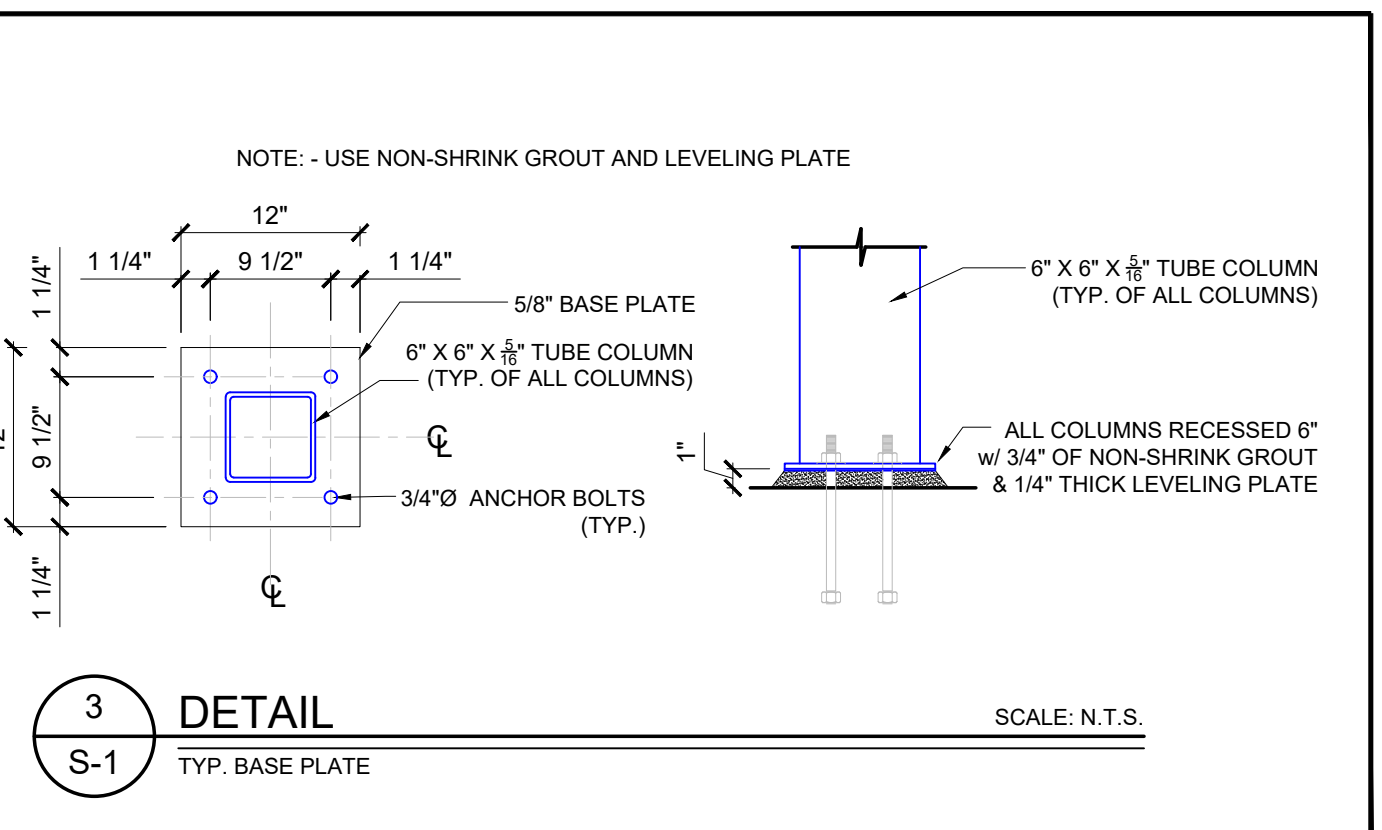
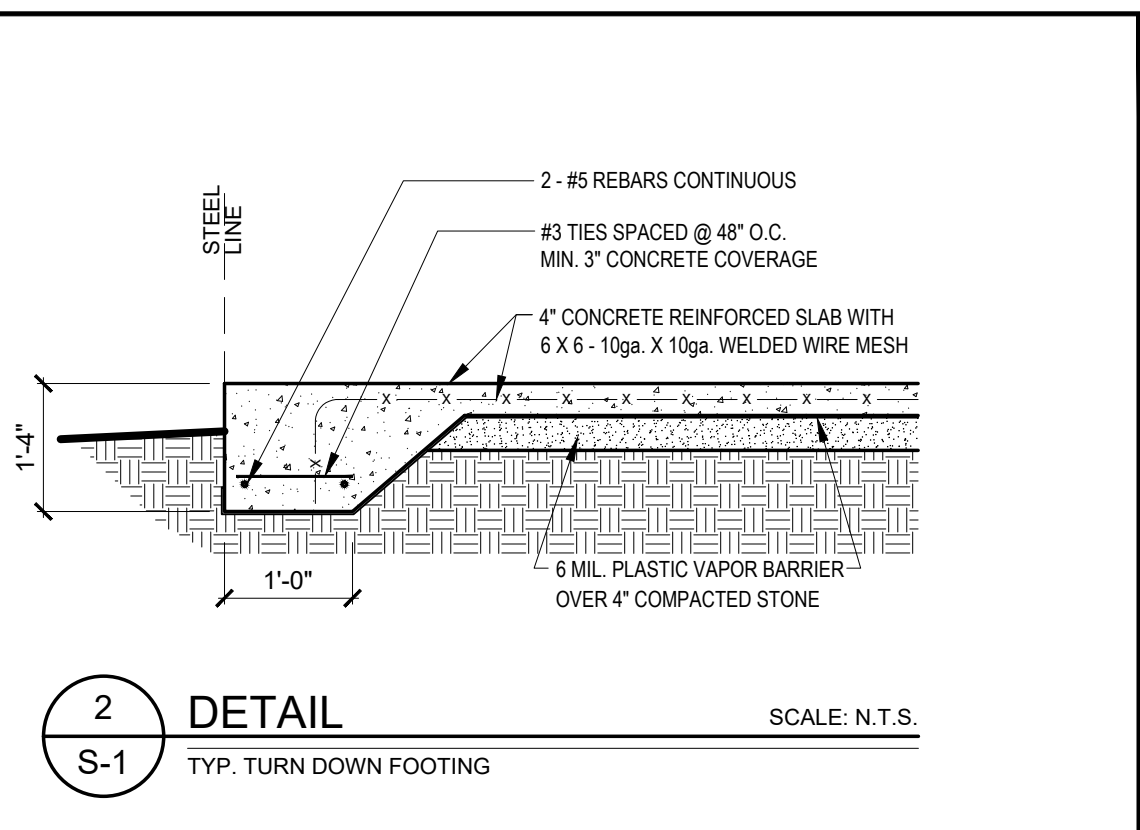
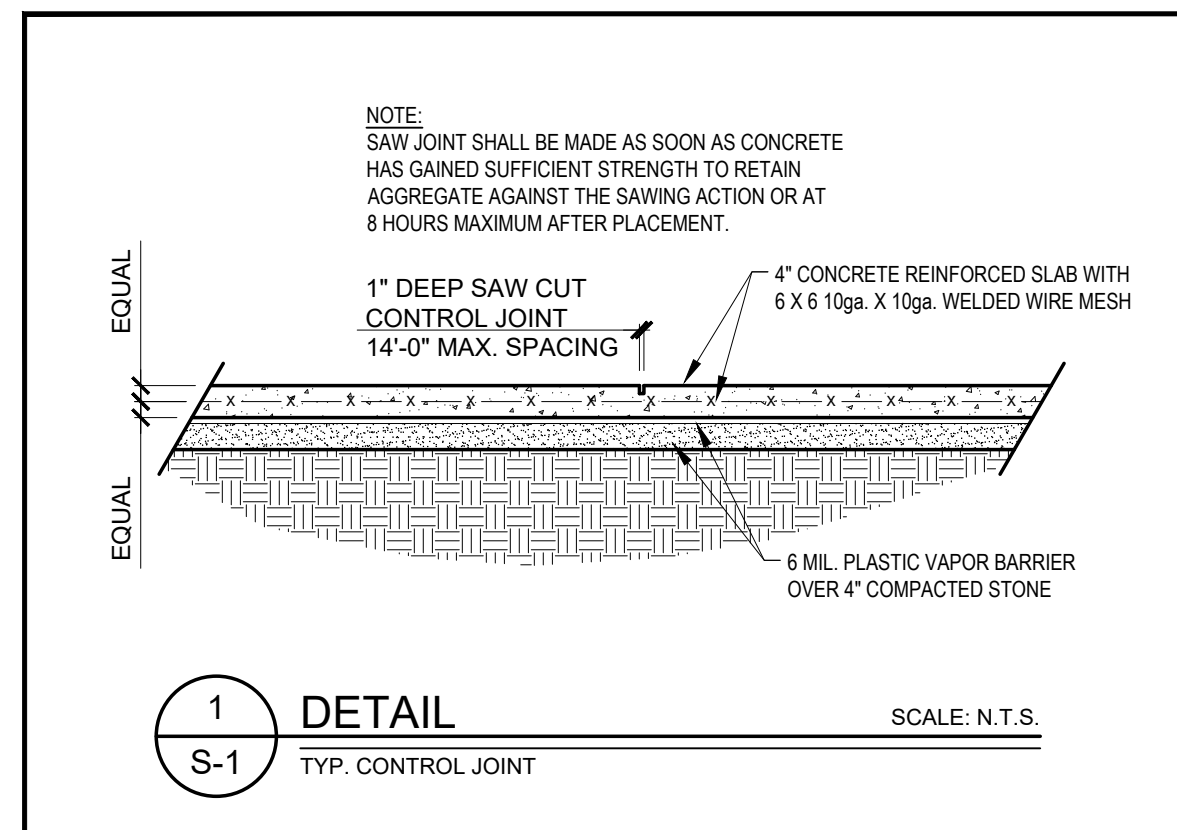


Rev:	Date:	Description:

Title Sheet: ELECTRICAL PANEL SCHEDULE & RISER  
Project: Gillette Pickleball Complex Concession Building  
New Construction For:  
323B Corbett Ave NE Elm City, NC 27822

Drawn by: JLT  
Issue Date: 03-15-23  
Project Number: 22-091  
Sheet: E-3





COLUMN FOOTING SCHEDULE	
SYMBOL	DESCRIPTION
(A)	<b>SIDEWALL FOOTING:</b> 5'-0" x 5'-0" x 1'-10" DEEP THICKENED CONCRETE SLAB w/ (6) #5 REBARS, EACH SIDE, BOTH WAYS, TOP & BOTTOM MIN. 3" CONCRETE COVERAGE
(B)	<b>ENDWALL &amp; CORNER FOOTING:</b> 4'-0" x 4'-0" x 1'-10" DEEP THICKENED CONCRETE SLAB w/ (5) #5 REBARS, EACH SIDE, BOTH WAYS, TOP & BOTTOM MIN. 3" CONCRETE COVERAGE

**NOTES:**

- USE 3,000 PSI CONCRETE STRENGTH
- TOP OF SLAB REF. ELEVATION = 100'-0" PER DRAWINGS FROM METAL BUILDING MANUFACTURER.
- DEPTH OF FOOTINGS MEASURED FROM TOP OF CONCRETE SLAB.

**GENERAL NOTES:**

- ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE STATEWIDE BUILDING CODE AND TO THE SPECIFICATIONS AND STANDARDS OF THE LOCAL BUILDING INSPECTIONS OFFICE.
- CONTRACTOR SHALL COORDINATE AND VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK, WITH ANY DISCREPANCY BROUGHT TO THE ATTENTION OF THE DESIGNER.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SUBGRADE CONDITIONS.
- FOOTINGS ARE DESIGNED FOR SOIL HAVING A MINIMUM BEARING OF 2000 P.S.F.
- ALL CONCRETE TO BE NORMAL WEIGHT CONCRETE WITH 3000 P.S.I. MINIMUM @ 28 DAY STRENGTH.
- WELDED WIRE FABRIC TO CONFORM ASTM A-185 MATERIAL AND HAVE 6" LAPS.
- ALL ROLLED STEEL SECTION TO BE MADE OF ASTM A992 MATERIAL.
- ALL PLATE MATERIAL TO BE ASTM A570 GRADE 50

**DESIGN NOTES:**

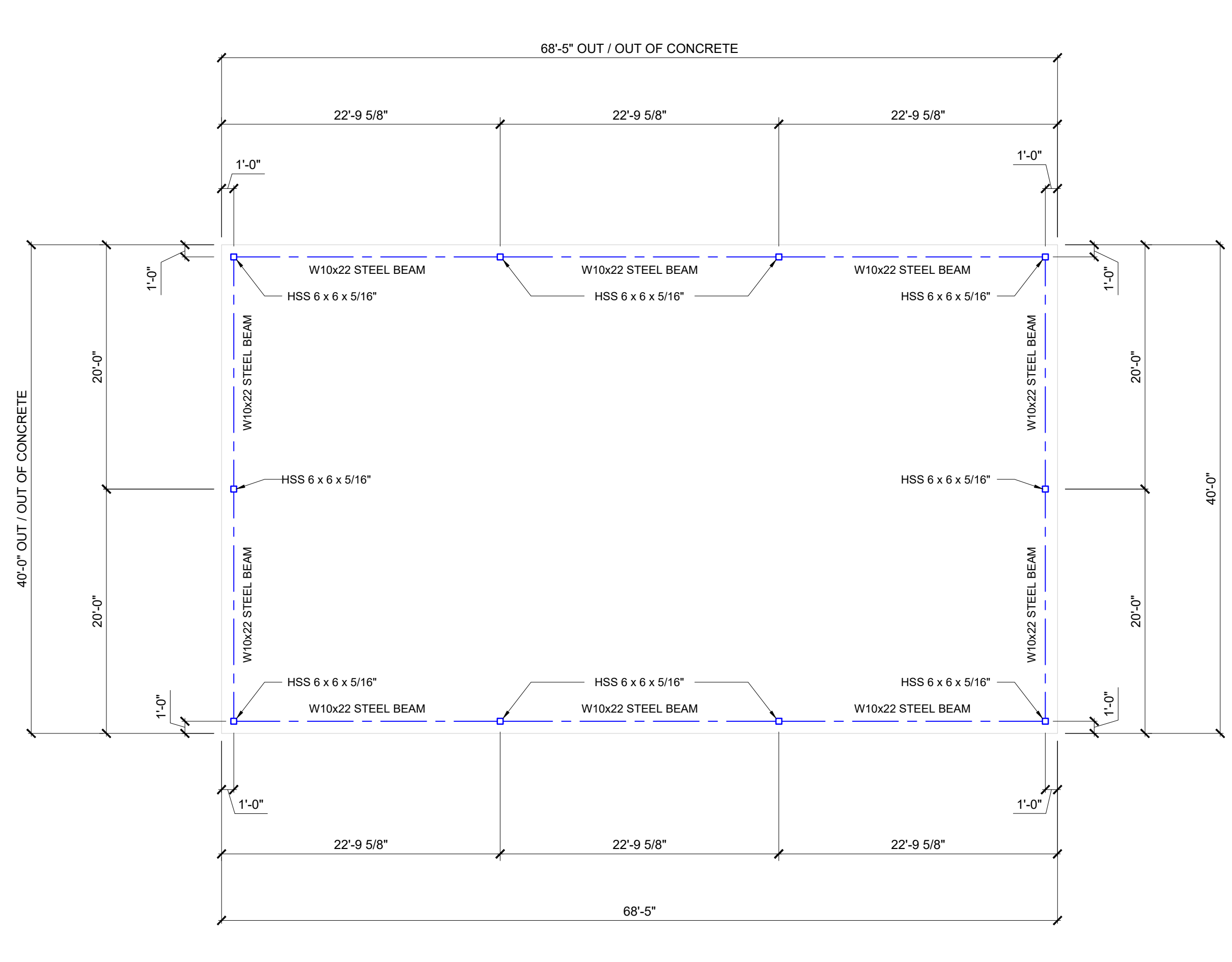
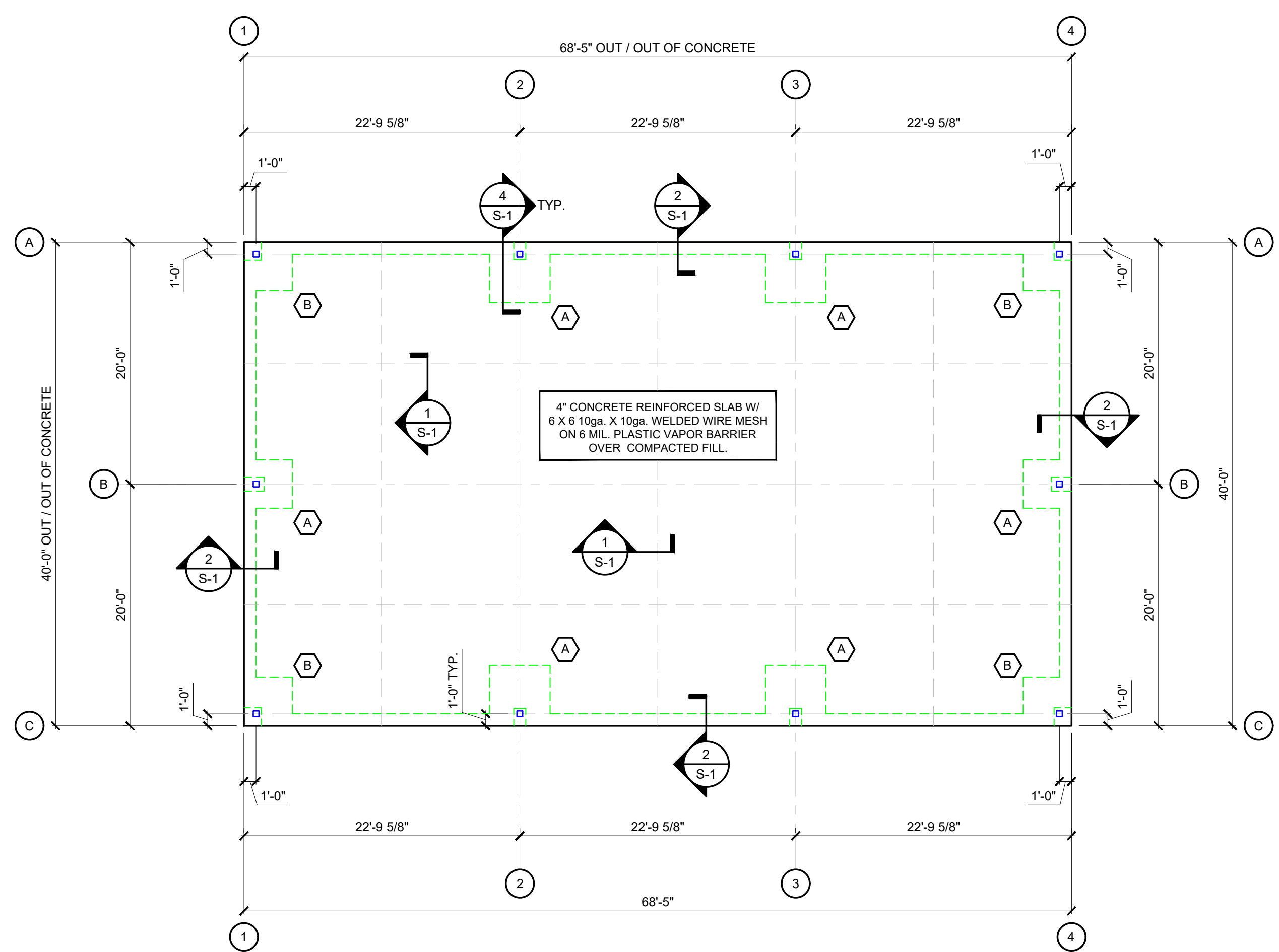
2018 NORTH CAROLINA BUILDING CODE  
RISK CATEGORY = 2  
ROOF LIVE LOAD = 20 PSF  
COLL. LOAD = 5 PSF  
SNOW LOAD = 15.0 PSF  
WIND SPEED = 120 MPH  
EXPOSURE = C  
INTERNAL PRESSURE COEFFICIENT = 0.18  
SITE CLASS = D  
DESIGN CATEGORY = B

**REINFORCING STEEL:**  
Reinforcing bars shall be deformed billet steel bars conforming to (ASTM A - 615) specifications.  
MINIMUM YIELD STRENGTH (fy):  
Reinforcing bars ----- 60,000 psi Unless otherwise detailed.  
protective concrete cover for reinforcing steel shall not be less than:  
(a) Concrete cast against and permanently exposed to earth ----- 3"  
(b) Concrete exposed to earth or weather  
#5 & smaller ----- 1-1/2"  
#6 & larger ----- 2"

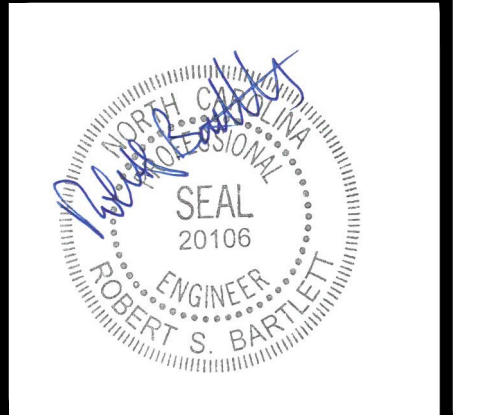
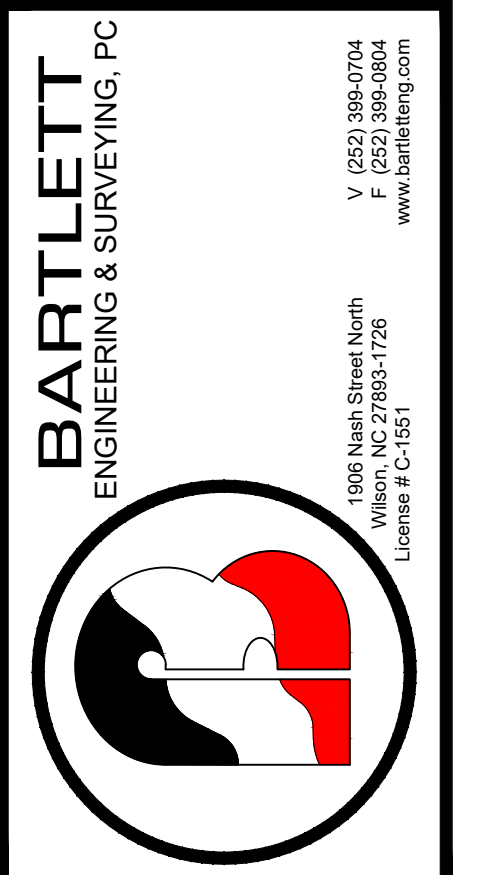
**MINIMUM TENSION LAP SPICE LENGTHS (fc = 3,000psi)**

#3 -----	22"	#4 -----	20"	#5 -----	36"
Ss = 13.5%		#6 -----	43"	#8 -----	72"
S1 = 6.7%					
Sds = 0.144					
Sd1 = 0.108					

WWF laps to 12" minimum. WWF to conform to ASTM A-185



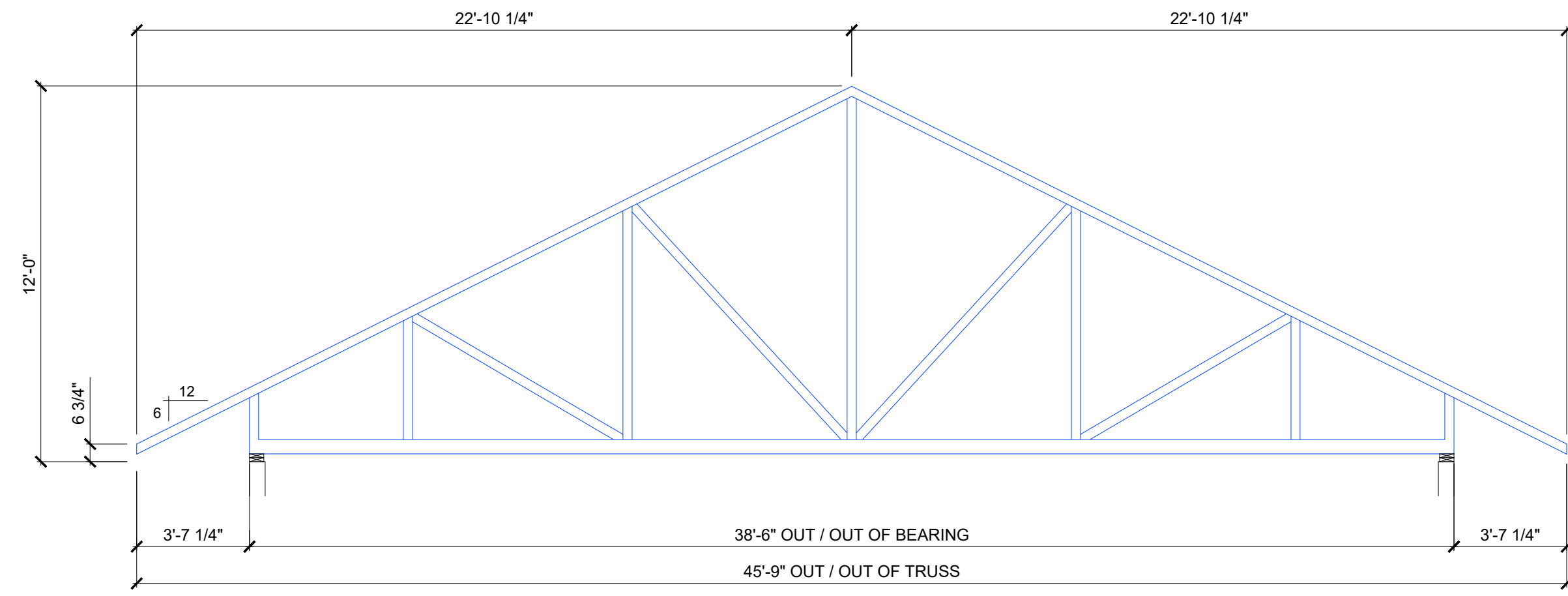
CITY OF WILSON  
ATTN: DALE EDMONDS  
112 GOLDSBORO ST. E  
WILSON, NC 27894  
252.399.2273



Rev.	Date:	Description:

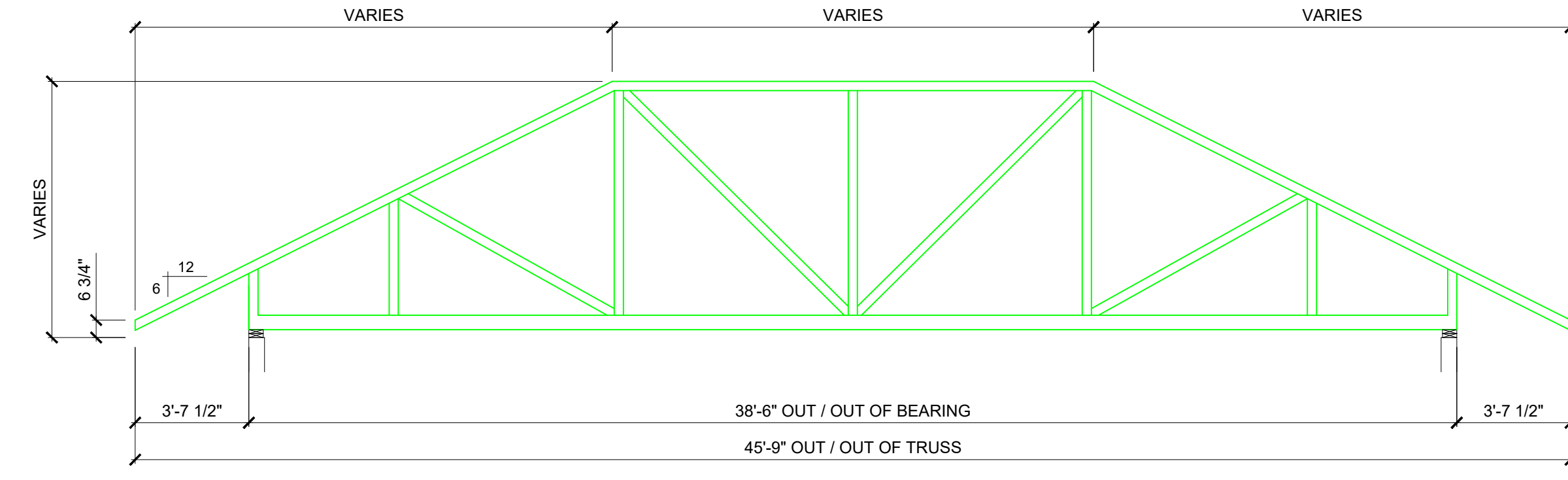
Title Sheet: FOUNDATION PLAN / STEEL FRAMING PLAN  
Project: Gillette Pickleball Complex Open Shelter  
New Construction For:  
3238 Corbett Ave NE Elm City, NC 27822

Drawn by: M. Winstead  
Issue Date: 03-15-23  
Project Number: 22-091  
Sheet: S-1



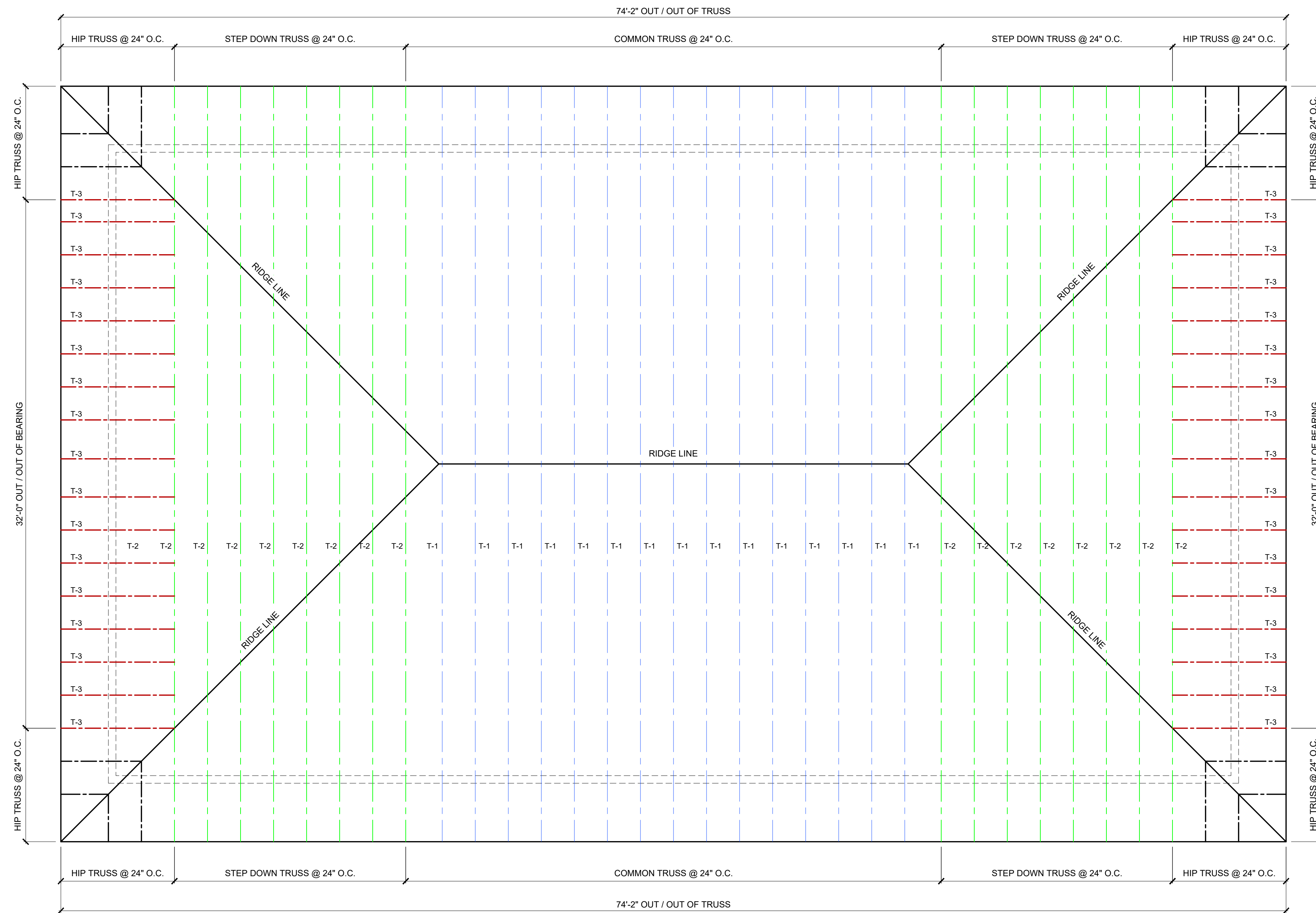
T-1 COMMON TRUSS PROFILE

SCALE: 1/4" = 1'-0"



T-2 STEP DOWN TRUSS PROFILE

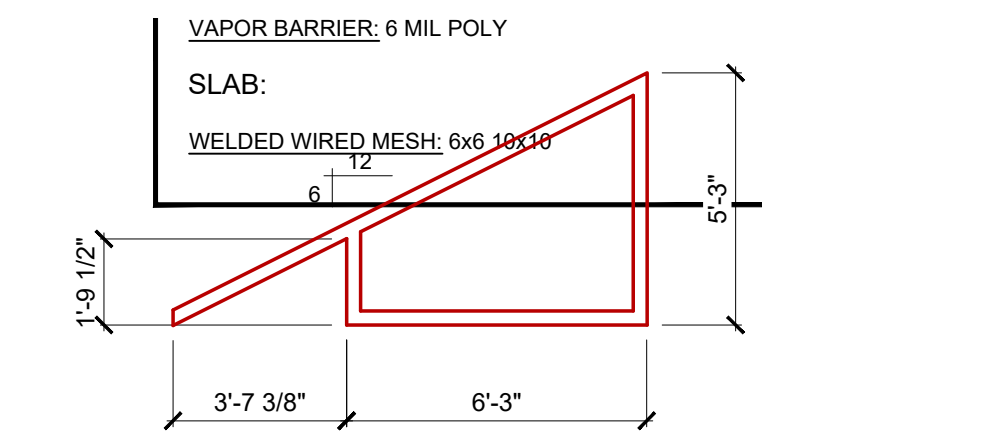
SCALE: 1/4" = 1'-0"



ROOF FRAMING PLAN

TOTAL: 2,737 SQ. FT.

SCALE: 1/4" = 1'-0"



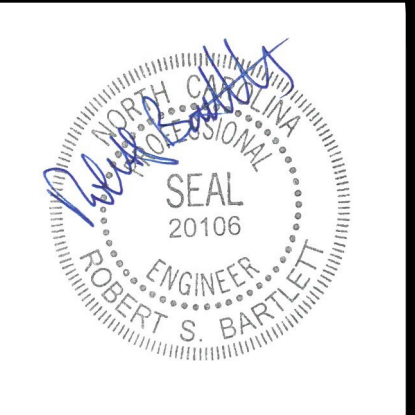
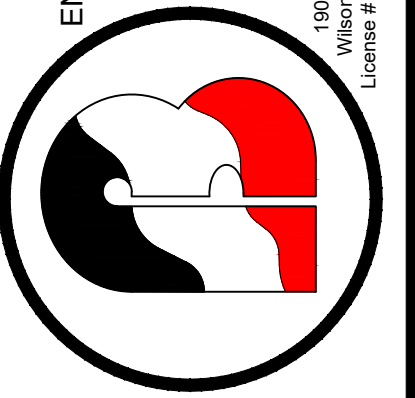
T-3 MONO TRUSS PROFILE

SCALE: 3/4" = 1'-0"

Owner:

CITY OF WILSON  
ATTN: DALE EDMONDS  
112 GOLDSBORO ST. E  
WILSON, NC 27894  
252.399.2273

**BARTLETT**  
ENGINEERING & SURVEYING, PC

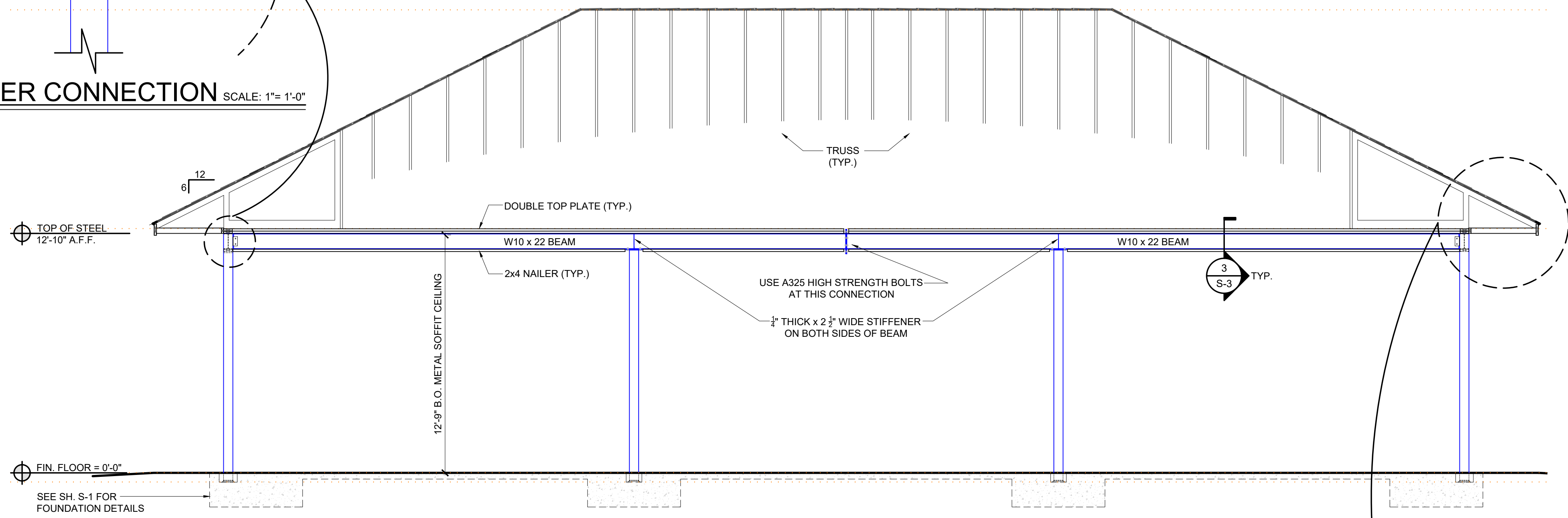
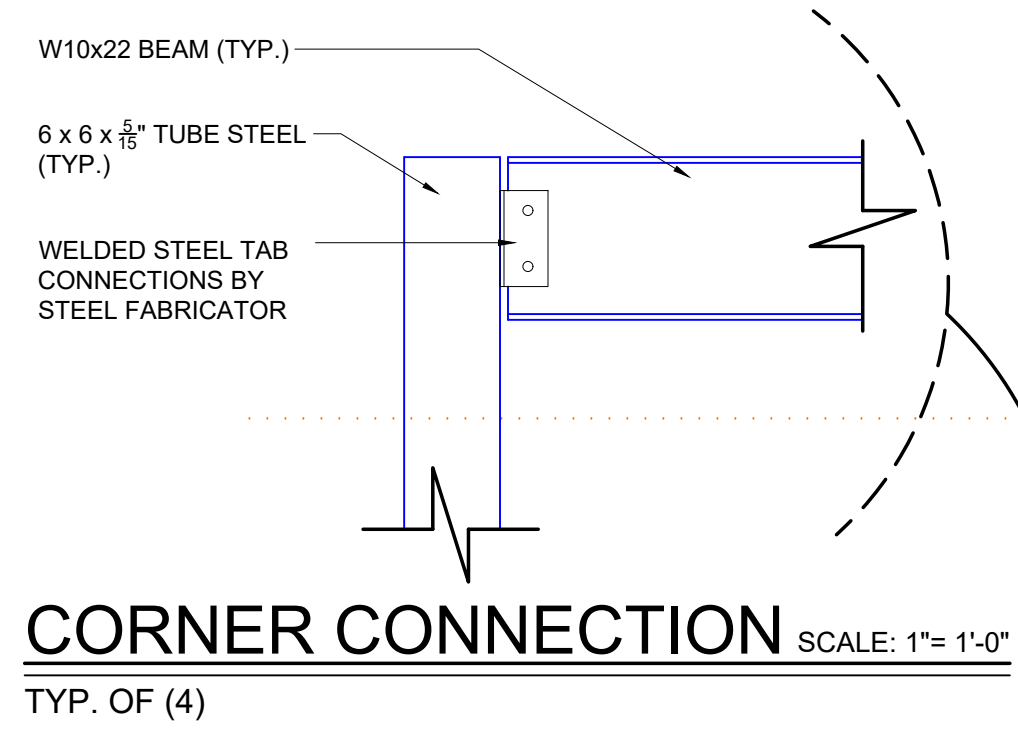


Rev.	Date:	Description:

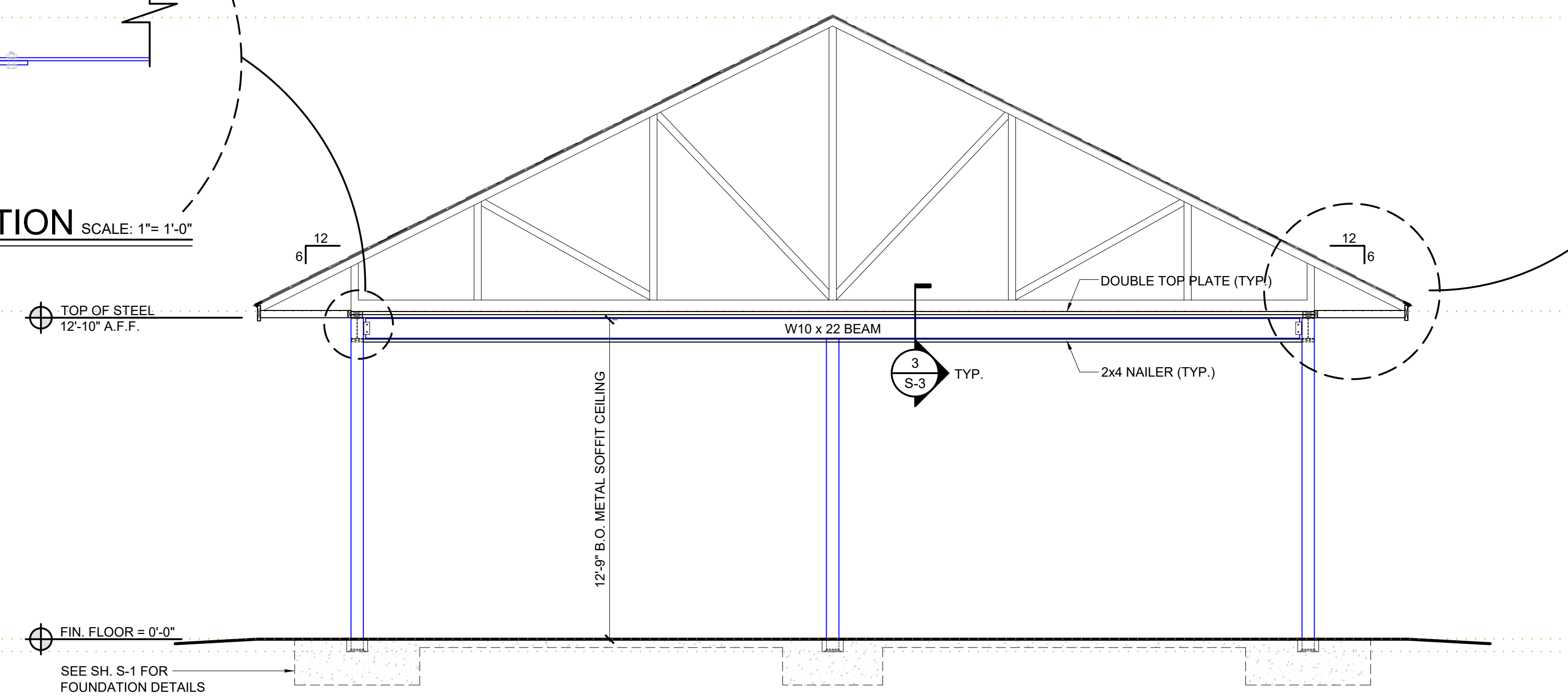
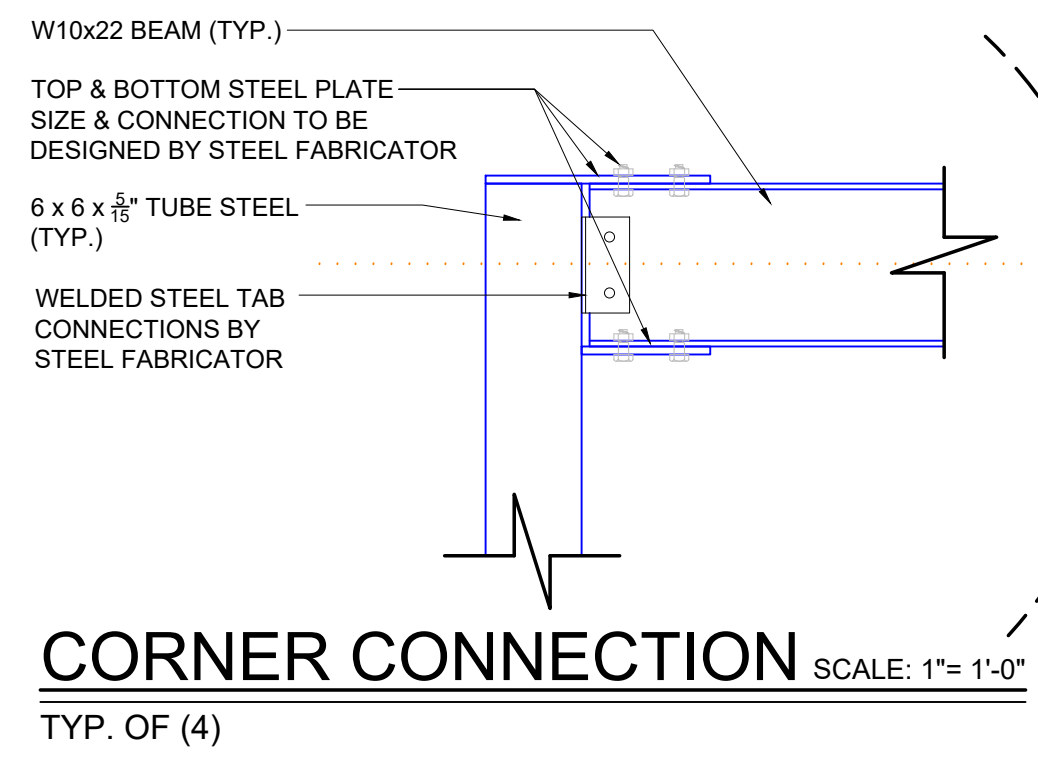
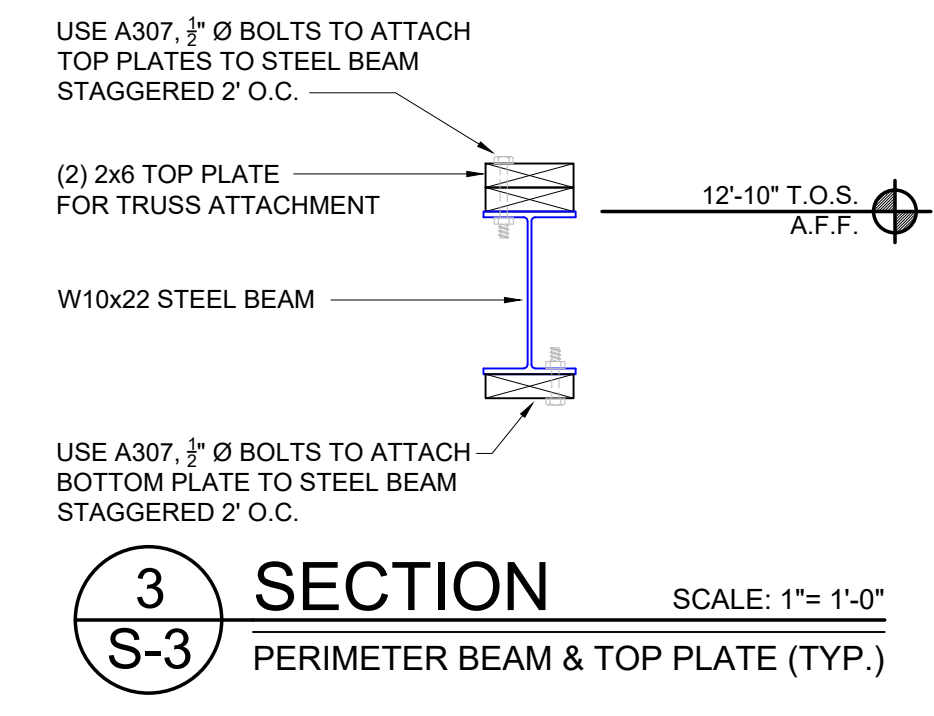
Title Sheet: **ROOF FRAMING PLAN**

Project: **Open Shelter**  
New Construction For:  
**Gillette Pickleball Complex**  
3238 Corbett Ave NE Elm City, NC 27822

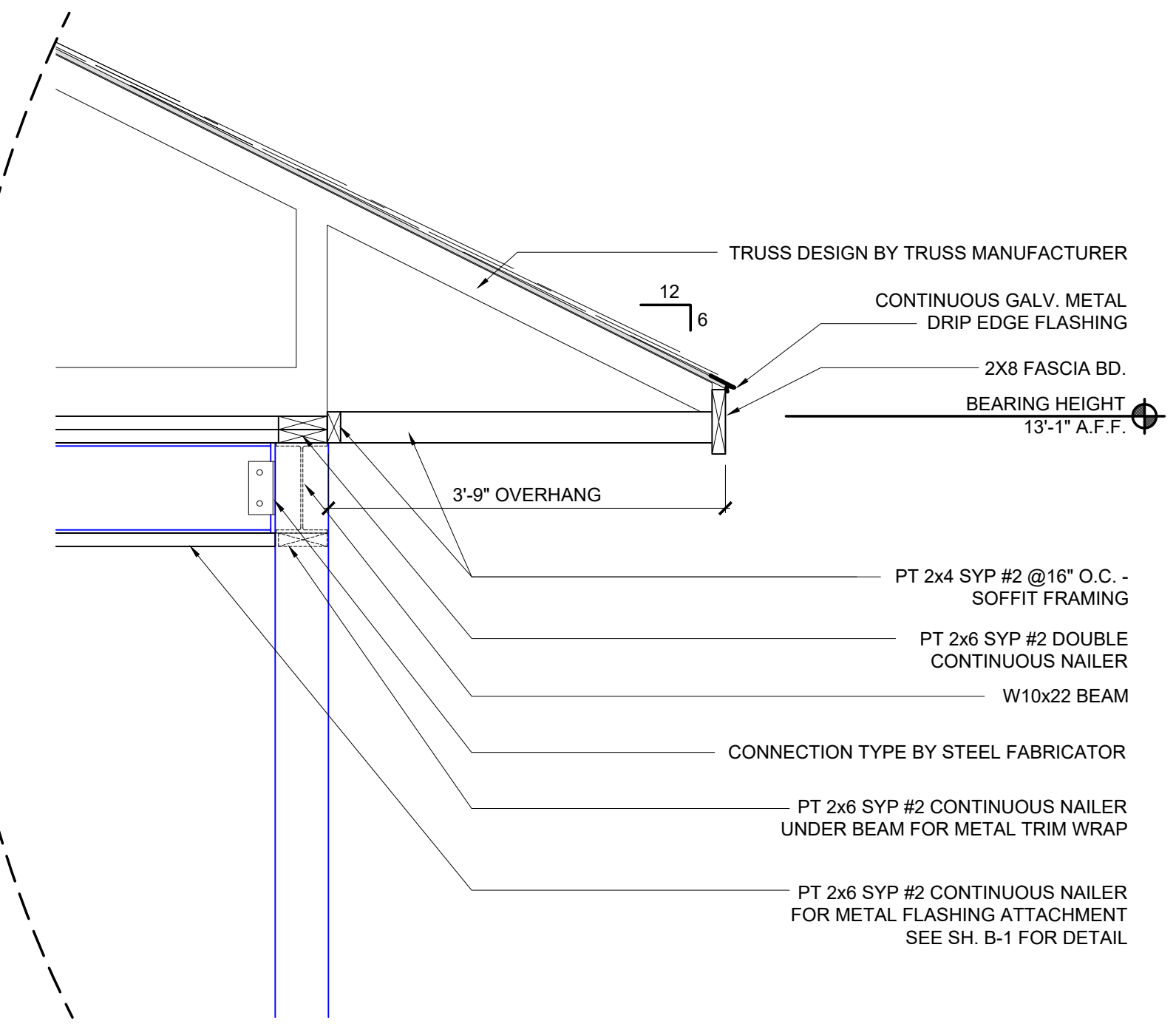
Drawn by: M. Winstead  
Issue Date: 03-15-23  
Project Number: 22-091  
Sheet: **S-2**



**1**  
S-3  
**LONGITUDENAL SECTION** SCALE: 1/4"= 1'-0"



**2**  
S-3  
**CROSS SECTION** SCALE: 1/4"= 1'-0"



**ENLARGED EAVE FRAMING DETAIL**

Owner:  
CITY OF WILSON  
ATTN: DALE EDMONDS  
112 GOLDSBORO ST. E  
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Rev.	Date:	Description:

Title Sheet:	SECTIONS
Project:	New Construction For: Gillette Pickleball Complex Open Shelter 3238 Corbett Ave NE Elm City, NC 27822
Drawn by:	M. Winstead
Issue Date:	03-15-23
Project Number:	22-091
Sheet:	S-3

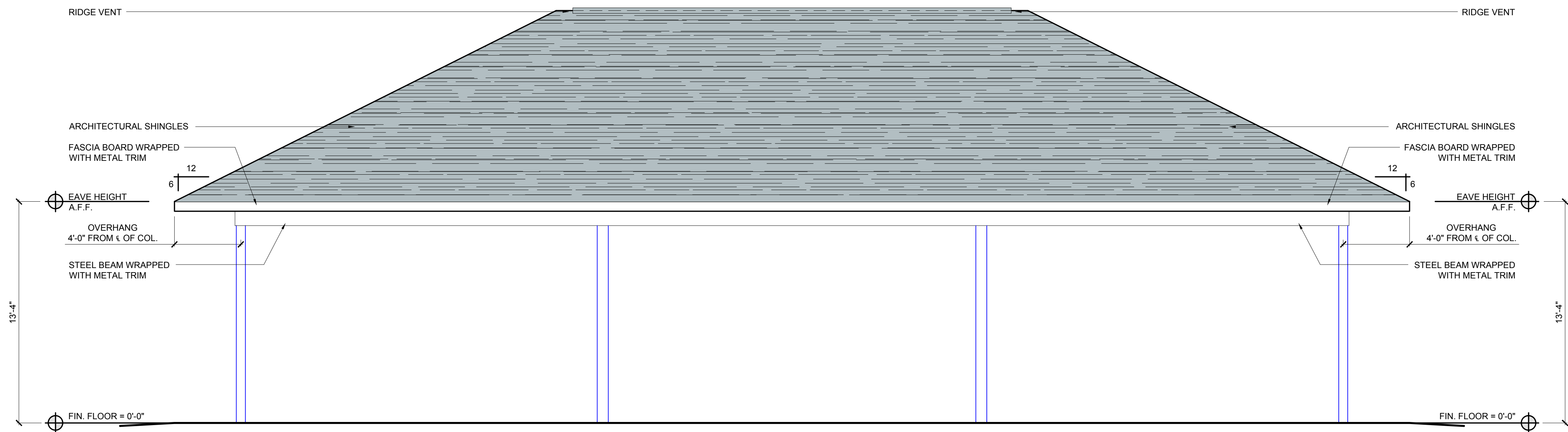


**GENERAL NOTES**

**\* EXTERIOR FINISHES:**  
**CONCRETE:** EXPOSED  
**STRUCTURAL STEEL:** PAINTED, BENJAMIN MOORE SUPER SPEC. HP D.T.M. ALKYD LOW LUSTRE P23 OR EQUAL - COLOR SELECTED BY OWNER  
**STRUCTURAL STEEL PRIMER:** FACTORY APPLIED PRIMER TO BE COMPATIBLE WITH SPECIFIED FINISH PAINT  
**PERFORATED METAL SOFFIT PANEL:** 24 GA. MATRIX STYLE BY MCELROY OR EQUAL - COLOR SELECTED BY OWNER  
**FLAT CEILING PANEL:** 24 GA. MATRIX STYLE BY MCELROY OR EQUAL - COLOR SELECTED BY OWNER

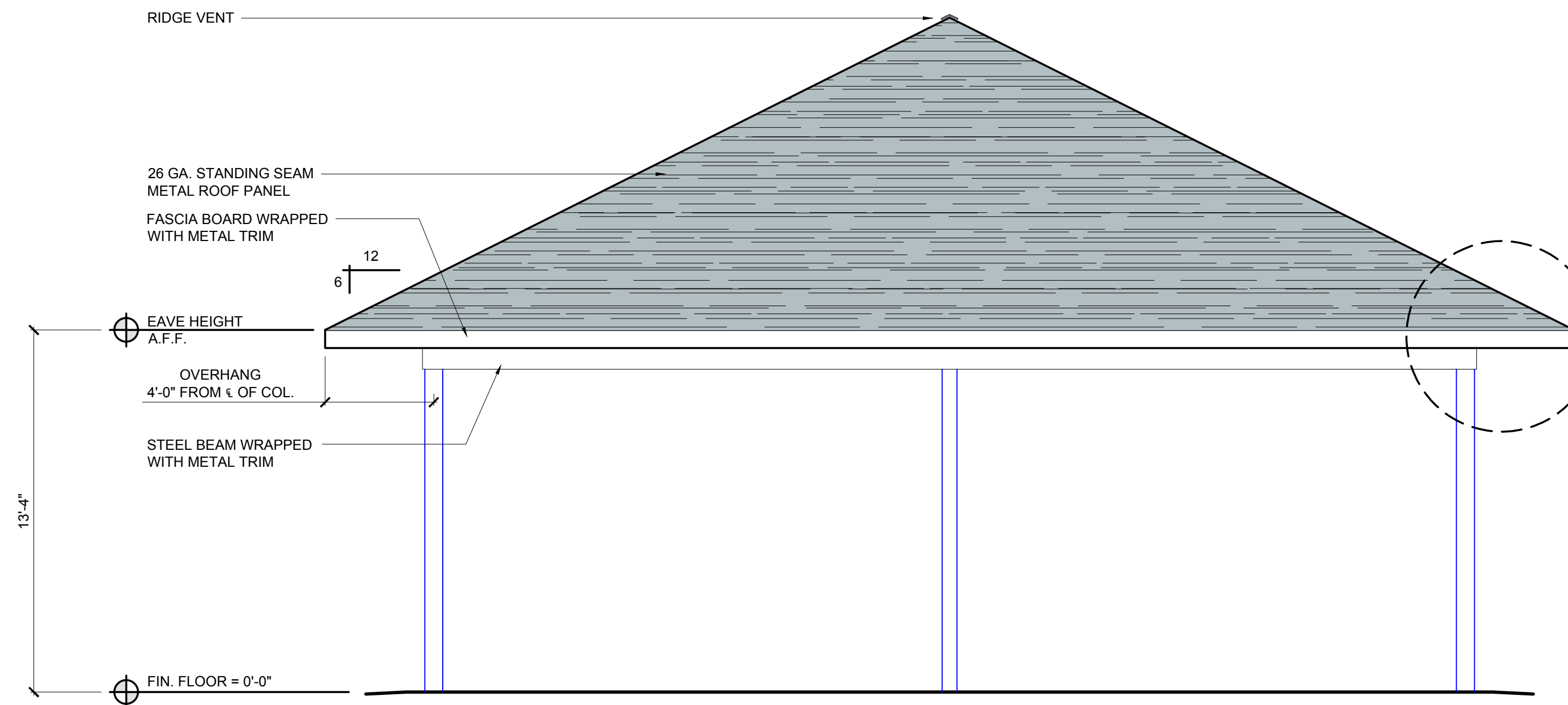
**\* UNDER SLAB:**  
**SOIL TREATMENT:** SOIL TREATMENT FOR SUBTERRANEAN TERMITES SHALL BE REQUIRED PER NC STATE BUILDING CODE SECTION 2304.11.8.2 AND THE STRUCTURE PEST CONTROL SECTION OF THE NC DEPARTMENT OF AGRICULTURAL AND CONSUMER SERVICES.  
**VAPOR BARRIER:** 6 MIL POLY  
**SLAB:**  
**WELED WIRE MESH:** 6x6 10x10

**ALTERNATE NO. 1**  
**ALL STEEL MEMBERS TO BE GALVANIZED IN LIEU OF SPECIFIED PAINT**



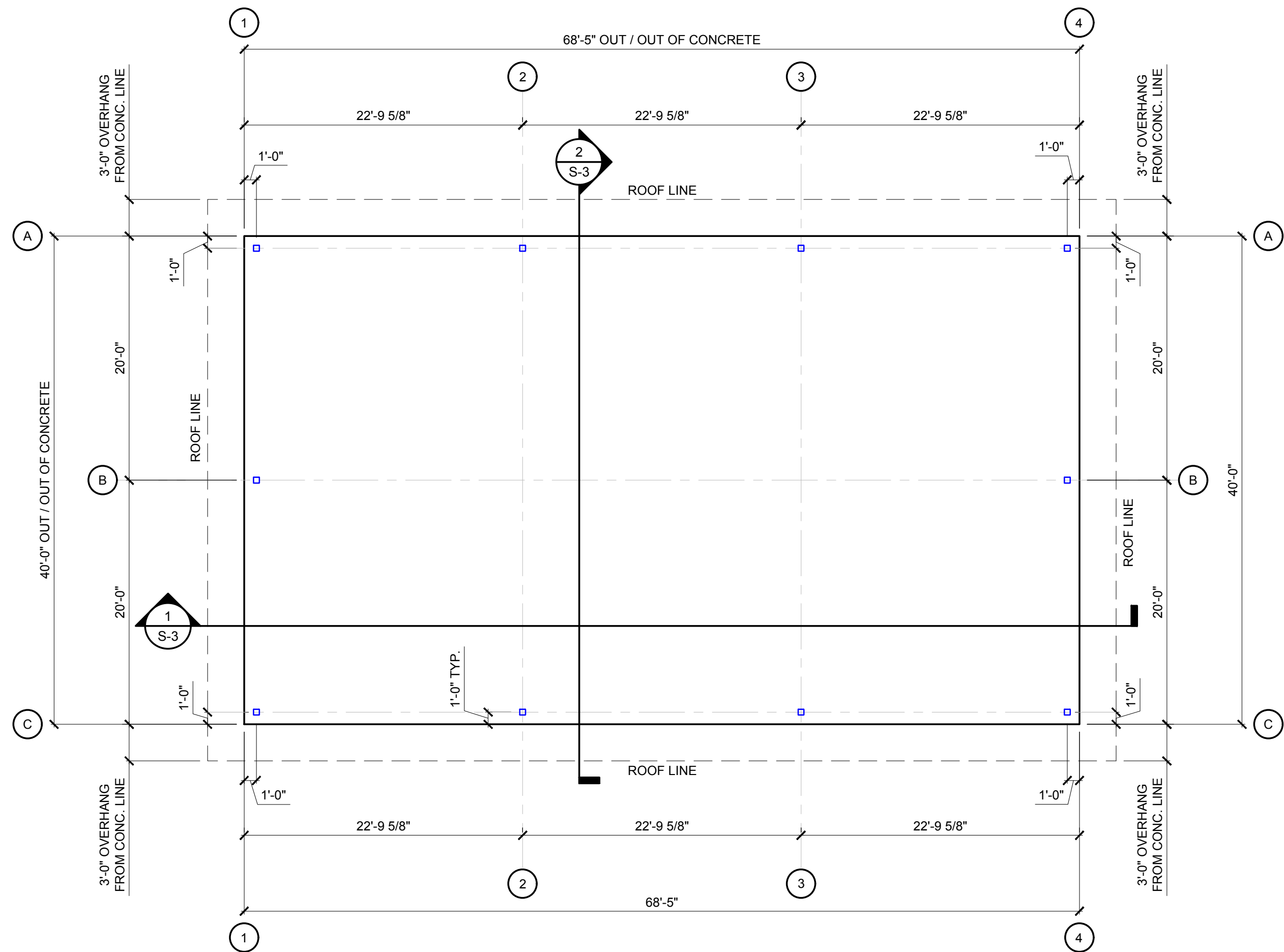
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**SIDE ELEVATION**

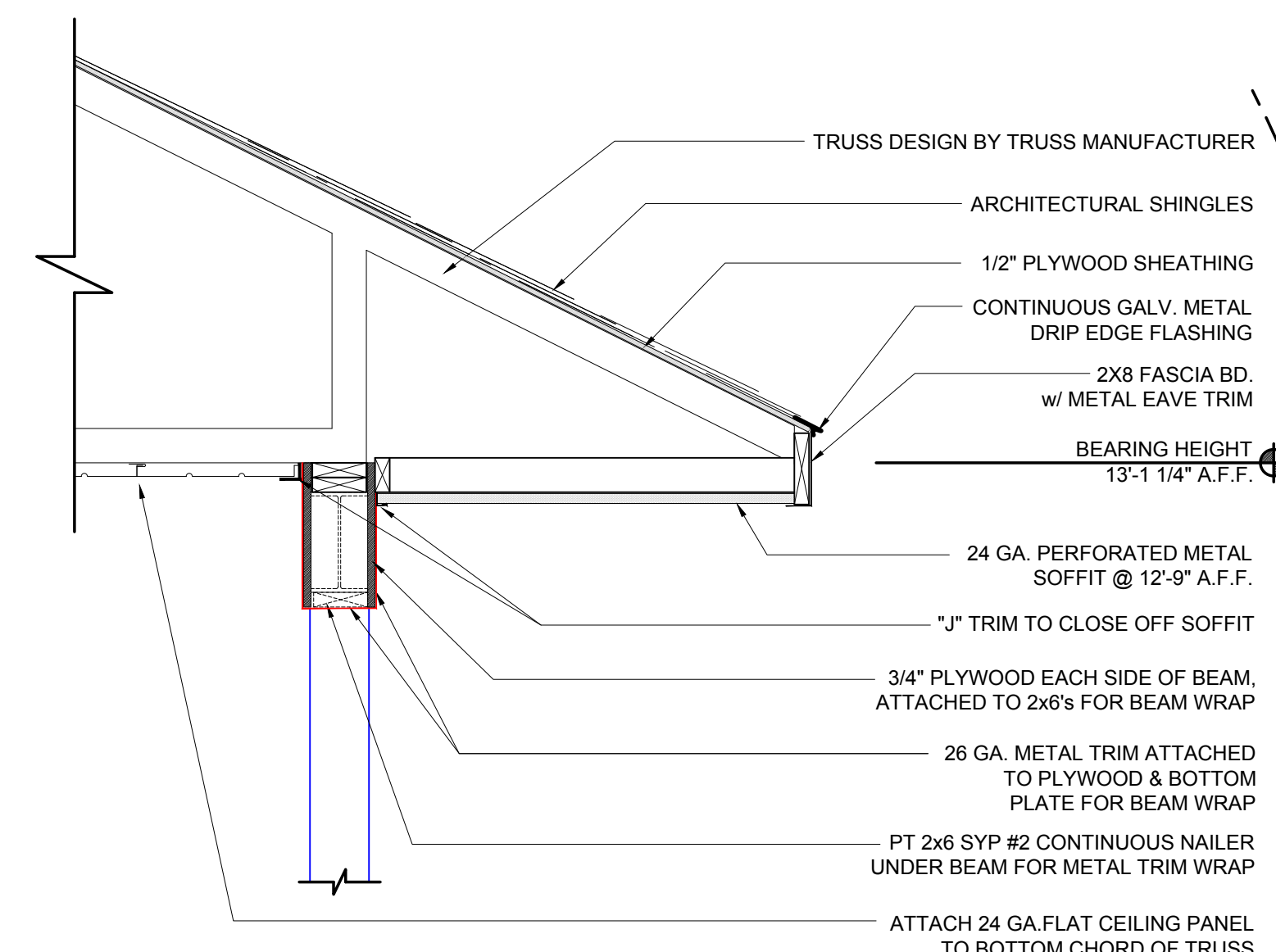
SCALE: 1/4" = 1'-0"



**FLOOR PLAN**

SCALE: 1/8" = 1'-0"

TOTAL: 2,737 SQ. FT.



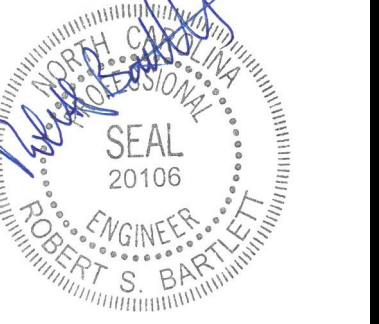
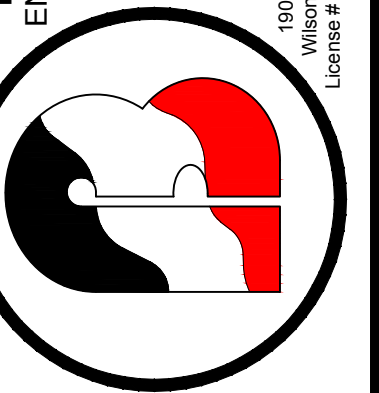
**ENLARGED EAVE FRAMING DETAIL**

N.T.S.

**CITY OF WILSON**  
**ATTN: DALE EDMONDS**  
**112 GOLDSBORO ST. E**  
**WILSON, NC 27894**  
**252.399.2273**

Owner:

**BARTLETT**  
**ENGINEERING & SURVEYING, PC**



Rev.	Date:	Description:

Title Sheet: **FLOOR PLAN / ELEVATIONS**

New Construction For:  
**Gillette Pickleball Complex**  
**Open Shelter**  
 3238 Corbett Ave NE Elm City, NC 27822

Drawn by: **M. Winstead**  
 Issue Date: **03-15-23**  
 Project Number: **22-091**  
 Sheet: **B-1**

LIGHT FIXTURE SCHEDULE						
SYMBOL	MANUFACTURER	DESCRIPTION	LAMPS		MOUNTING	
			NO.	WATTS		TYPE
	LITHONIA OR EQUAL	"CSVT" SERIES 4' LED VAPOR TIGHT STRIP. 120V 4,946 LUMENS, 4,000K COLOR TEMP.	-	42	LED'S	SURFACE

NOTES:

NOTE (1) - FIXTURES SHALL HAVE DISCONNECTING MEANS MEETING THE REQUIREMENTS OF NEC ARTICLE 410.130(G).

NOTE (2) - COORDINATE ALL FIXTURE REQUIREMENTS, COLOR TEMP, CRI (COLOR RENDERING INDEX), ETC. WITH OWNER PRIOR TO INSTALLATION.

NOTE (3) - SHIFT LOCATIONS OF FIXTURES IN MECHANICAL AREAS IF/AS REQUIRED TO BEST LIGHT SPACES & AVOID CONFLICTS WITH DUCTS, PIPING, ETC.

NOTE (4) - PROVIDE CHANNEL SUPPORTS WITH HANGER RODS, ETC. WHERE NECESSARY TO SUSPEND FIXTURES BENEATH DUCTWORK, PIPING, ETC.

- GENERAL ELECTRICAL NOTES:**
- WORK SHALL COMPLY WITH NATIONAL ELECTRICAL CODE (NEC), STATE BUILDING CODE, AND ALL REQUIREMENTS OF THE LOCAL INSPECTOR. ALL WORK SHALL BE BY LICENSED ELECTRICAL CONTRACTOR.
  - ALL BRANCH CIRCUITS SHALL BE E.M.T., RIGID CONDUIT OR MC CABLE AS PERMITTED OR REQUIRED. RIGID CONDUIT SHALL BE USED FOR CIRCUITS UNDER SLAB ON GRADE, OR WHERE APPROVED SCHEDULE 80 PVC MAY BE USED. EXPOSED CONDUIT SHALL BE PAINTED PER OWNER'S DIRECTION.
  - ALL CONDUCTORS SHALL BE COPPER.
  - ALL EQUIPMENT LOADS SHALL BE VERIFIED BEFORE EQUIPMENT AND/OR CIRCUIT INSTALLATION. VERIFY LOCATION OF ALL RECEPTACLES WITH OWNER PRIOR TO INSTALLATION.
  - PROVIDE GREEN GROUNDING CONDUCTOR CONTINUOUS FROM DEVICE TO PANEL GROUND BAR.
  - EMT FITTINGS SHALL BE HEXAGONAL ALL STEEL, COMPRESSION TYPE.
  - RECEPTACLES AND SWITCHES SHALL BE COMMERCIAL GRADE BRYANT, SIERRA, LEVITON BRAND EXCEPT AS SPECIFIED.
  - ALL WALL OUTLET BOXES SHALL BE STEEL CITY OR RACO WITH PLATES.
  - ALL CIRCUITS SHALL BE TESTED WITH 500 VOLT TESTER PRIOR TO ENERGIZING.
  - MOUNTING HEIGHTS FOR ALL SWITCHES & RECEPTACLES TO BE ADA COMPLIANT PER ANSI A117.1.

ELECTRICAL LEGEND			
MARK	DESCRIPTION	MARK	DESCRIPTION
	"LED" LIGHT FIXTURE		"GFCI" DUPLEX RECEPTACLE
	"LED" UNSWITCHED LIGHT FIXT. WITH BATTERY STANDBY (SECURITY/ EMERGENCY LT.)		"GFCI" DUPLEX RECEPTACLE IN WEATHER-PROOF COVER
	CEILING FAN		SWITCHED BRANCH CIRCUIT
			UNSWITCHED BRANCH CIRCUIT
	SINGLE-POLE SWITCH IN WEATHER-PROOF, LOCKABLE COVER		HOMERUN
	DIMMER SWITCH IN WEATHER-PROOF, LOCKABLE COVER		JUNCTION BOX
	DUPLEX RECEPTACLE		

**ELECTRICAL SUMMARY**

ELECTRICAL SYSTEM AND EQUIPMENT:

Method of Compliance:

Prescriptive (Energy Code)     Prescriptive (ASHRAE 90.1)

Performance (Energy Code)     Performance (ASHRAE 90.1)

Lighting Schedule

Lamp type required in fixture: \_\_\_\_\_ N/A

Number of lamps in fixture: \_\_\_\_\_

Ballast type used in fixture: \_\_\_\_\_

Number of ballasts in fixture: \_\_\_\_\_

Total wattage per fixture: \_\_\_\_\_

Total interior wattage specified -vs- allowed: \_\_\_\_\_

Total exterior wattage specified -vs- allowed: \_\_\_\_\_

Additional Prescriptive Compliance

506.2.1 More Efficient Mechanical Equipment

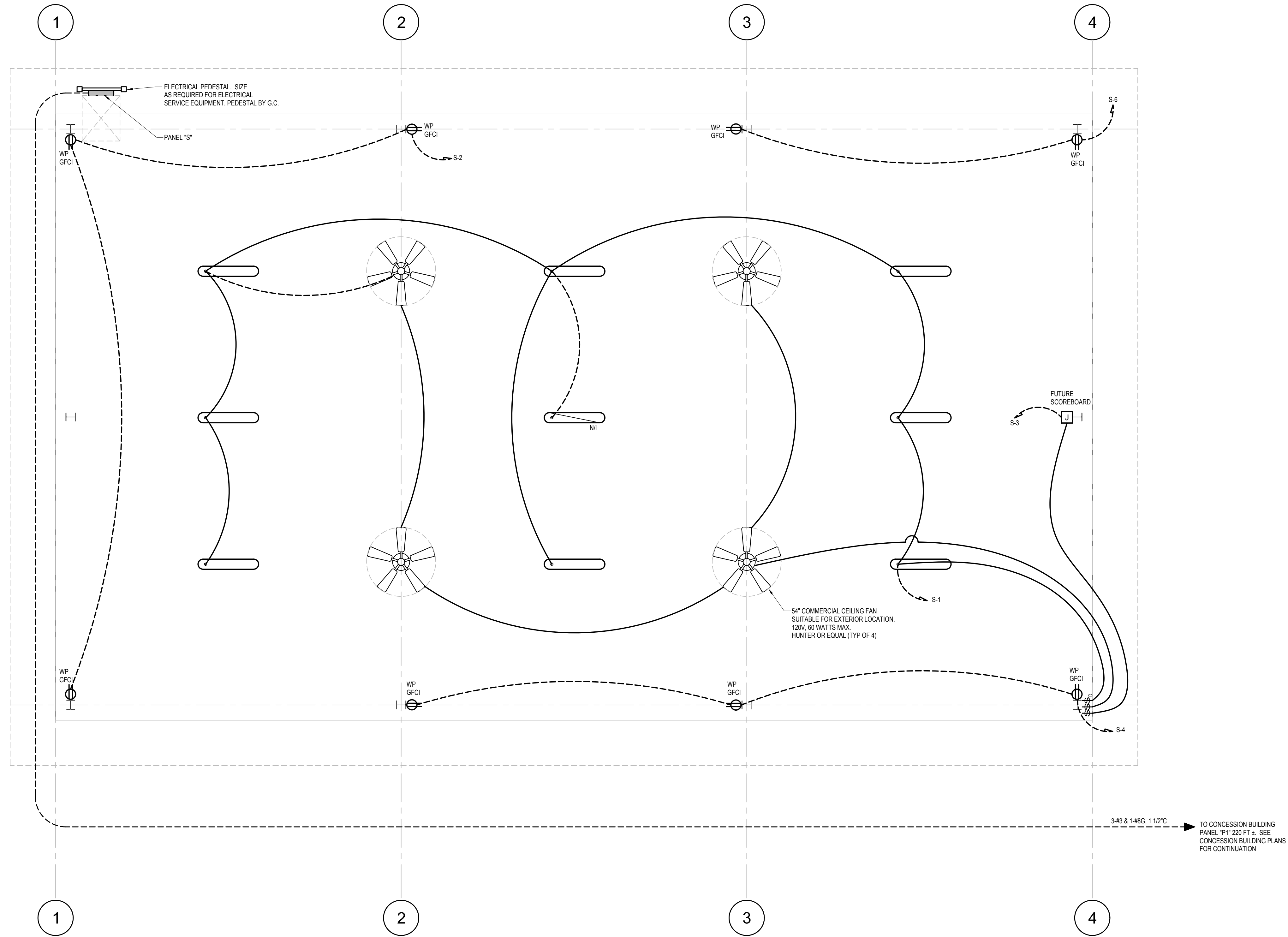
506.2.2 Reduced Lighting Power Density

506.2.3 Energy Recovery Ventilation Systems

506.2.4 Higher Efficiency Service Water Heating

506.2.5 On-Site Supply of Renewable Energy

506.2.6 Automatic Daylighting Control Systems



**ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

Prepared for:  
CITY OF WILSON  
ATTN: DALE EDMONDS  
112 GOLDSBORO ST. E  
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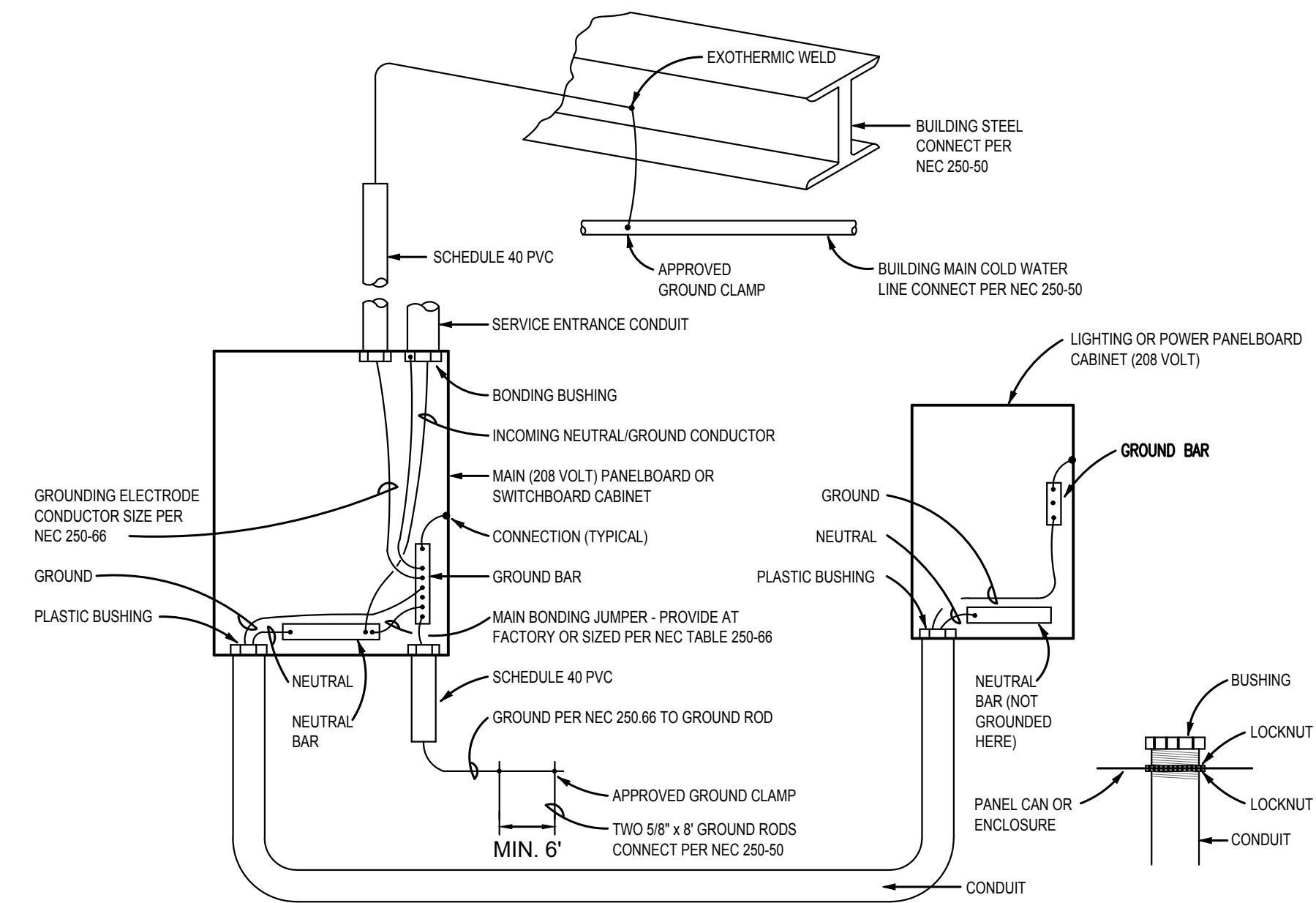


Rev.	Date:	Description:

**ELECTRICAL PLAN**

Project: Gillette Pickleball Complex  
New Construction For:  
Small Shelter  
323B Corbett Ave NE Elm City, NC 27822

Drawn by: JLT  
Issue Date: 03-15-23  
Project Number: 22-091  
Sheet: **E-1**



- NOTES:**
- GROUNDING ELECTRODE CONDUCTOR SHALL BE RUN CONTINUOUSLY (UNBROKEN) FROM COLD WATER LINE AND/OR BUILDING STEEL AND GROUND ROD TO GROUND BAR BEFORE BONDING TO ANY CONDUIT BUSHING.
  - ALL THE FOLLOWING GROUNDING ELECTRODES THAT ARE PRESENT SHALL BE BONDED TOGETHER TO FORM THE GROUNDING ELECTRODE SYSTEM PER NEC 250.52:
    - METAL UNDERGROUND WATER PIPE IN DIRECT CONTACT WITH EARTH FOR 10 FT OR MORE
    - METAL FRAME OF THE BUILDING
    - ANY ELECTRODE ENCASED BY AT LEAST 2 IN. OF CONCRETE, CONSISTING OF 20 FT OR MORE BARE OR ZINC GALVANIZED OR OTHER ELECTRICALLY CONDUCTIVE COATED STEEL REINFORCING BARS OR RODS NOT LESS THAN 1/2" IN DIAMETER
    - GROUND RINGS ENCRINGLING THE BUILDING
    - ROD AND PIPE ELECTRODES NOT LESS THAN 8 FT.
    - PLATE ELECTRODES

**TYPICAL BONDING & GROUNDING DIAGRAM**  
NO SCALE

PANEL: S MTD: SURFACE TYPE: "SQ-D"  
VOLTS: 120/240 PHASE: 1 WIRE: 3  
100 AMP MAINS WITH 100 AMP MB NEMA 3R

L1	L2	CIRCUIT	POLES	TRIP	ASSIGNMENT	PHASE	ASSIGNMENT	TRIP	POLES	CIRCUIT	L1	L2
5.2		1	1	20	LIGHTS & CEILING FANS	o	RECEPT.	20	1	2	4.5	
		5	3	1	20	o	RECEPT.	20	1	4		4.5
X		5	1	20	FUTURE SCOREBOARD	o	RECEPT.	20	1	6	3	
	X	7			SPACE	o	SPACE			8		X
X		9			SPACE	o	SPACE			10	X	
	X	11			SPACE	o	SPACE			12		X
X		13			SPACE	o	SPACE			14	X	
	X	15			SPACE	o	SPACE			16		X
X		17			SPACE	o	SPACE			18	X	
	X	19			SPACE	o	SPACE			20		X
X		21			SPACE	o	SPACE			22	X	
	X	23			SPACE	o	SPACE			24		X
5.2	5.0					L1-12.7 L2-9.5					7.5	4.5

11.1 AMPS

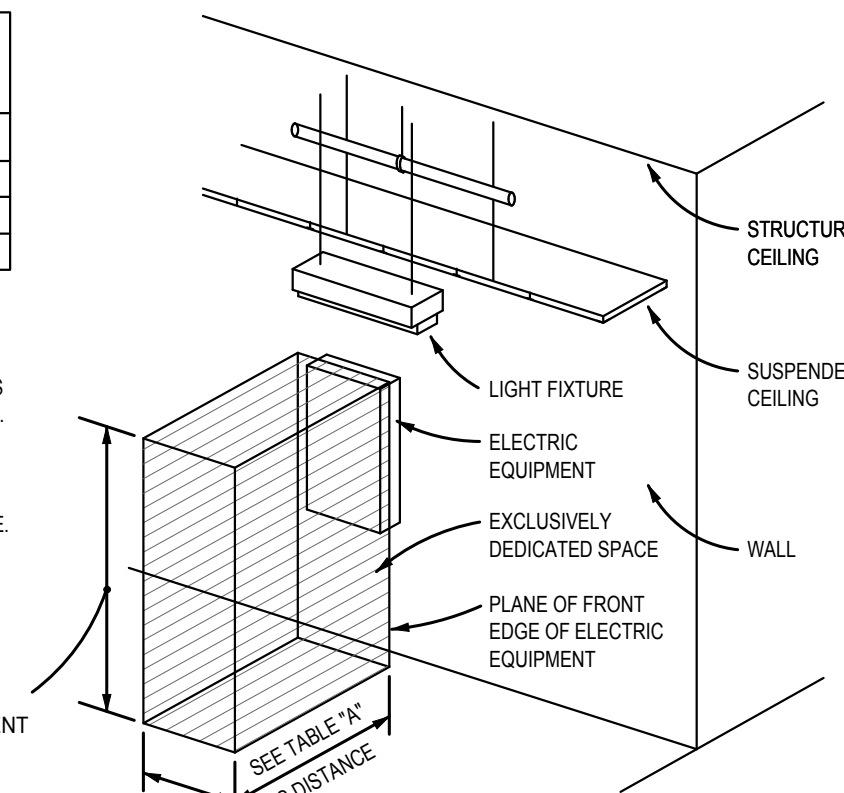
**TABLE "A"**  
WORKING CLEARANCES

VOLTAGE TO GROUND (NOMINAL)	CONDITION 1 (MINIMUM CLEAR DISTANCE)	2	3
0-150	3'	3'	3'
151-600	3'	3 1/2'	4'

WHERE THE "CONDITIONS" ARE AS FOLLOWS:

- EXPOSED LIVE PARTS ON ONE SIDE AND NO LIVE OR GROUNDED PARTS ON THE OTHER SIDE OF THE WORKING SPACE. OR EXPOSED LIVE PARTS ON BOTH SIDES EFFECTIVELY GUARDED BY SUITABLE WOOD OR OTHER INSULATING MATERIALS. INSULATED WIRE OR INSULATED BUSBARS OPERATING AT NOT OVER 300 VOLTS SHALL NOT BE CONSIDERED LIVE PARTS.
- EXPOSED LIVE PARTS ON ONE SIDE AND GROUNDED PARTS ON THE OTHER SIDE.
- EXPOSED LIVE PARTS ON BOTH SIDES OF THE WORK SPACE (NOT GUARDED AS PROVIDED IN CONDITION 1) WITH THE OPERATOR BETWEEN.

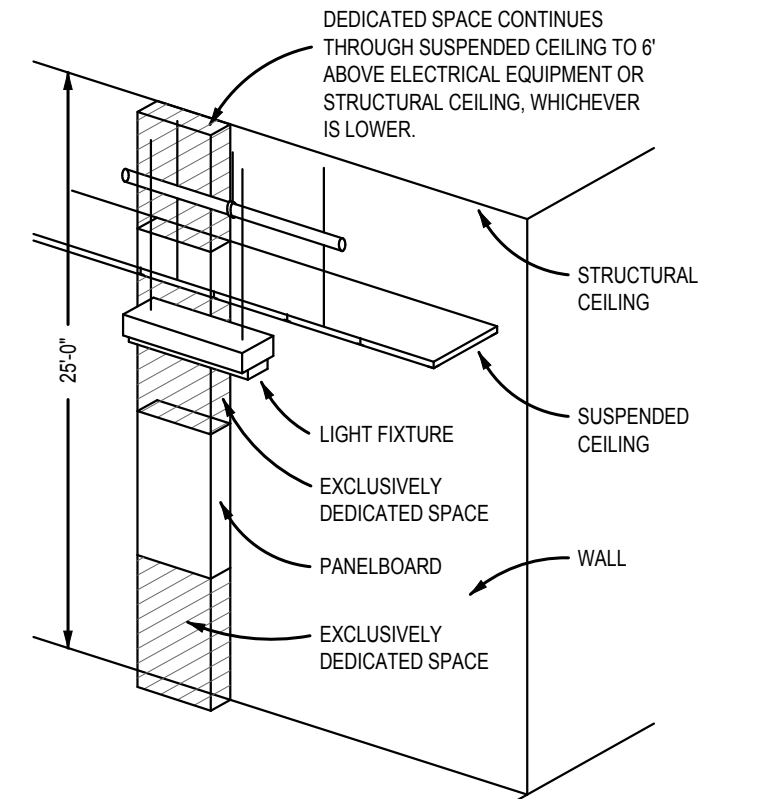
6 1/2" MINIMUM OR HEIGHT OF EQUIPMENT



**NOTES:**

- THIS FIGURE ILLUSTRATES THE WORKING SPACE IN FRONT OF ELECTRICAL EQUIPMENT REQUIRED BY NEC SECTION 110-26.
- THIS INCLUDES BUT IS NOT LIMITED TO PANELBOARDS, SAFETY SWITCHES, MOTOR STARTERS, JUNCTION BOXES AND OTHER ELECTRICAL EQUIPMENT.

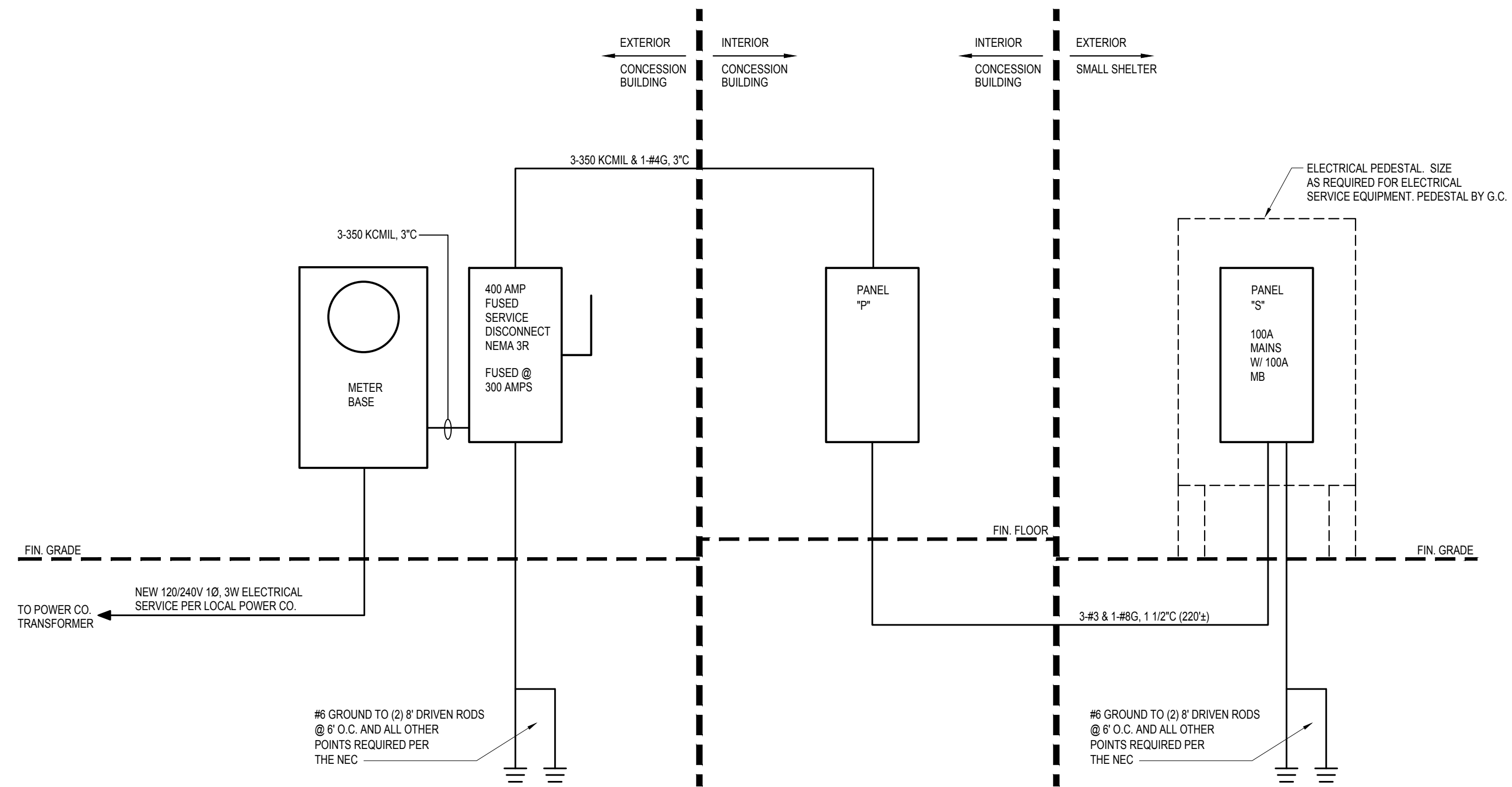
**DEDICATED WORKING SPACE REQUIREMENTS**  
NO SCALE



**NOTES:**

- THIS FIGURE ILLUSTRATES THE ADDITIONAL EXCLUSIVELY DEDICATED SPACE REQUIRED OVER AND UNDER PANELBOARDS FOR CABLES, RACEWAYS, ETC. TO AND FROM PANELBOARDS REQUIRED BY NEC SECTION 110-26.
- NO PIPING, DUCTWORK OR EQUIPMENT FOREIGN TO THE ELECTRICAL EQUIPMENT OR ARCHITECTURAL APPURTENANCES SHALL BE PERMITTED TO BE INSTALLED IN, ENTER OR PASS THROUGH THE DEDICATED SPACES SHOWN. FOR EXCEPTIONS SEE NEC SECTION 110-26F.

ALL ELECTRIC EQUIPMENT



**ELECTRICAL RISER DIAGRAM**  
NO SCALE

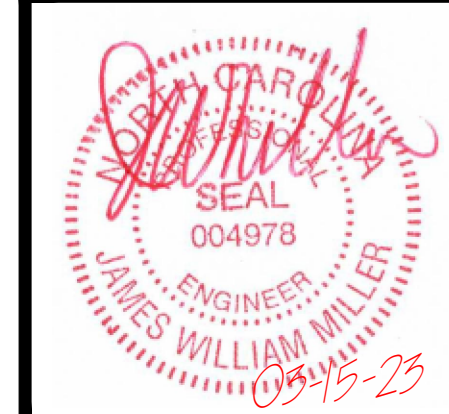
**NOTES:**

- AIC RATINGS SHALL BE VERIFIED AND PROPER PLAQUES APPLIED PRIOR TO ENERGIZING.
- ELECTRICAL CONTRACTOR SHALL LABEL UTILITY AVAILABLE FAULT CURRENT AND DATE PER NEC.
- PANEL BREAKERS & FUSES SHALL BE RATED 22K AIC MIN. UNLESS AVAILABLE FAULT CURRENT IS HIGHER, THEN RATING SHALL BE INCREASED TO EXCEED AVAILABLE FAULT CURRENT.

Prepared for:

CITY OF WILSON  
ATTN: DALE EDMONDS  
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Email: jaswmiller@gmail.com



Rev: Description: Date:

Title Sheet: ELECTRICAL PANEL SCHEDULE & RISER

Project: Gillette Pickleball Complex Small Shelter  
New Construction For:  
323B Corbett Ave NE Elm City, NC 27822

Drawn by: JLT  
Issue Date: 03-15-23  
Project Number: 22-091  
Sheet: