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MEDLEY MUNICIPAL SERVICES - KITCHEN RENOVATION

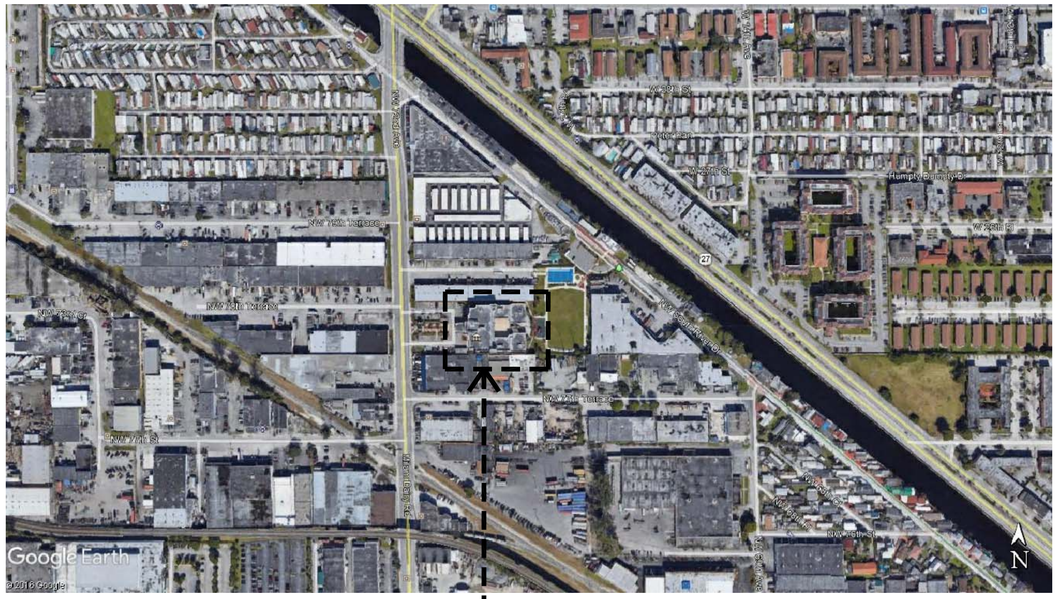
7777 NW 72ND AVENUE
Medley, Florida 33166

PERMIT SET
APRIL 9, 2020

NARRATIVE

THIS PROJECT CONSISTS OF THE REMODELING OF THE RECREATION ROOM KITCHEN AT THE MEDLEY MUNICIPAL SERVICES BUILDING, LOCATED IN THE 2ND FLOOR AT 7777 NW 72ND AVENUE, MEDLEY. FLORIDA. THE WORK ENTAILS NEW CABINETRY, FINISHES, AND KITCHEN EQUIPMENT. MEP MODIFICATIONS ARE BEING PERFORMED IN ORDER TO ACCOMMODATE THE NEW EQUIPMENT.

LOCATION MAP



N
PROJECT LOCATION

Project Team

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SHEET INDEX

		PERMIT SET 4/9/2020	REVISION 1 6/2/2020	REVISION 2 8/31/2020	REVISION 3 10/28/2020	REVISION 4 3/8/2021	REVISION 5 3/30/2021	REVISION 6 4/06/2021
	ARCHITECTURAL							
	COVER SHEET	●	●	●	●	●	●	●
GN-0.1	GENERAL NOTES, ABBREVIATIONS & DEMOLITION NOTES	●						
GN-0.2	CODE REQUIRED CLEARANCES & DIAGRAMS	●						
O-1.0	OVERALL FLOOR PLAN	●						
LS-1.0	LIFE SAFETY FLOOR PLAN	●		●				
D-1.0	DEMOLITION SECOND FLOOR PARTIAL PLAN	●						
D-2.0	DEMOLITION CEILING PLAN	●						
A-1.0	PROPOSED FLOOR PLAN	●						
A-1.1	PROPOSED EQUIPMENT PLAN	●						
A-1.2	PROPOSED FINISH PLAN	●						
A-2.0	PROPOSED CEILING PLAN	●						
A-3.0	PROPOSED INTERIOR ELEVATIONS AND FINISHES	●						
A-4.0	PROPOSED INTERIOR ELEVATIONS AND FINISHES	●				●	●	
	MECHANICAL							
M-1.0	MECHANICAL CEILING PLAN	●	●			●		●
M-1.1	MECHANICAL ROOF PLAN	●				●		
M-2.0	MECHANICAL NOTES, DETAILS AND SCHEDULES	●				●		●
M-2.1	MECHANICAL DETAILS	●	●			●		●
	ELECTRICAL							
E-1.0	ELECTRICAL FLOOR PLAN	●						
E-1.0A	ELECTRICAL ENLARGED PLAN	●	●			●		
E-2.0	PROPOSED LIGHTING PLAN	●						
E-3.0	ELECTRICAL PANELS AND SCHEDULES	●	●			●		
E-4.0	ELECTRICAL POWER RISER	●	●			●		
	PLUMBING							
P-0.1	PLUMBING SITE PLAN			●	●			
P-1.0	PLUMBING DEMOLITION PLAN	●		●				
P-2.0	PLUMBING FLOOR PLAN	●		●	●	●		
P-3.0	PLUMBING DETAILS	●		●				
P-4.0	PLUMBING DETAILS	●		●	●			
	FIRE PROTECTION							
FP-1.0	FIRE PROTECTION PLAN	●						
	STRUCTURAL							
S-1.0	FOUNDATION & GROUND FLOOR PLAN		●					

CODE RESEARCH

THE FOLLOWING BUILDING CODES, CURRENT EDITIONS UNLESS OTHERWISE SPECIFIED, WILL BE ADHERED TO:
- FLORIDA BUILDING CODE 6TH EDITION (2017): BUILDING
- FLORIDA BUILDING CODE 6TH EDITION (2017): ACCESSIBILITY
- FLORIDA BUILDING CODE 6TH EDITION (2017): MECHANICAL
- FLORIDA BUILDING CODE 6TH EDITION (2017): PLUMBING
- FLORIDA BUILDING CODE 6TH EDITION (2017): ELECTRICAL
- FLORIDA STATE FIRE PREVENTION CODE 2017
- NFPA 101 LIFE SAFETY CODE, 2018 EDITION
- FLORIDA ADMINISTRATIVE CODE

CLASSIFICATION OF WORK

ALTERATION LEVEL 2 - PER FBC EXISTING BUILDING 2017 SECTION 504.1

OCCUPANCY TYPE

BUSINESS GROUP - B - PER FBC 2017 SECTION 303.4
EXISTING TO REMAIN

OCCUPANCY COUNT

EXISTING TO REMAIN FOR BUILDING. (REFER TO LIFE SAFETY FOR MORE INFORMATION OF AFFECTED SPACE.)

CONSTRUCTION TYPE

TYPE III - A, SPRINKLERED

TO THE BEST OF THE ARCHITECTS AND ENGINEERS KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITIES HAVING JURISDICTION IN ACCORDANCE WITH THIS SECTION AND 633 FLORIDA STATUTES.

ABBREVIATIONS

NOTE: ALL ITEMS, PRODUCTS OR SYSTEMS ABBREVIATED MAY NOT BE INCLUDED ON THIS CONTRACT

A	
ABV	ABOVE
AFF	ABOVE FINISHED FLOOR
ASC	ABOVE SUSPENDED CEILING
ACC	ACCESS
AP	ACCESS PANEL
ACP	ACOUSTICAL PANEL
ACT	ACOUSTICAL CEILING TILE
ADD	ADDENDUM
ADH	ADHESIVE
ADJ	ADJACENT
ADJT	ADJUSTABLE
ADMIN	ADMINISTRATOR
A/C	AIR CONDITIONING
ALT	ALTERNATE
ALUM	ALUMINUM
ANC	ANCHOR (AGE), (ED)
AB	ANCHOR BOLT
ANOD	ANODIZED
APX	APPROXIMATE
ARCH	ARCHITECT (URE), (URAL)
ASSIST	ASSISTANCE
AUTO	AUTOMATIC
B	
BM	BEAM
BRG	BEARING
BPL	BEARING PLATE
BEL	BELOW
BET	BETWEEN
BVL	BEVELED
BLK	BLOCK
BLKG	BLOCKING
BD	BOARD
BL	BORROWED
BLT	BUILT
BS	BOTH SIDES
BW	BOTH WAY
BOT	BOTTOM
BOB	BOTTOM OF BEAM
BLDG	BUILDING
BI	BUILT-IN
C	
CAB	CABINET
CPT	CARPET (ED)
CIPC	CAST-IN-PLACE CONCRETE
CK	CALK (ING), CAULK (ING)
CLG	CEILING
CHT	CEILING HEIGHT
CPLP	CEMENT PLASTER (PORTLAND)
CEMB	CEMENTITIOUS BOARD
CTR	CENTER
℄	CENTER LINE
CER	CERAMIC
CT	CERAMIC TILE
CMT	CERAMIC MOSAIC TILE
CHBD	CHALKBOARD
CO	CLEAN OUT
CLR	CLEAR (ANCE)
CLO	CLOSET
CRC	COLD ROLLED CHANNEL
CW	COLD WATER
CC	COLOR CODE
COL	COLUMN
COMM	COMMUNICATIONS
COMPO	COMPOSITE (ION)
COMPR	COMPRESS (ED), (ION), (IBLE)
COMP	COMPUTER
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONN	CONNECT (ED), (ION)
CONST	CONSTRUCT (ED), (ION)
CONT	CONTINUE, CONTINUOUS
CONTR	CONTRACT (OR)
CJ	CONTROL JOINT
CG	CORNER GUARD
CORR	CORRIDOR
CORRG	CORRUGATED
CNTR	COUNTER
CS	COUNTERSINK
CTSK	COUNTERSUNK SCREW
CFM	CUBIC FEET PER MINUTE
CWL	CURTAIN WALL
D	
DPR	DAMPER
DL	DEAD LOAD
DEM	DEMOLISH, DEMOLITION
DMT	DEMOUNTABLE
DEP	DEPRESS (ED)
DET	DETAILS (S)
DIAG	DIAGONAL
DIA	DIAMETER
DIM	DIMENSION
DPR	DISPENSER
DO	DITTO
DIV	DIVISION
DR	DOOR
DBL	DOUBLE
DTA	DOVETAIL ANCHOR
DST	DOVETAIL ANCHOR SLOT
DN	DOWN
DS	DOWNSPOUT
D	DRAIN
DWR	DRAWER
DWG	DRAWING
DF	DRINKING FOUNTAIN
E	
EA	EACH
EF	EACH FACE
EW	EACH WAY
ELEC	ELECTRIC(AL)
EP	ELECTRICAL PANEL BOARD
EWC	ELECTRIC WATER COOLER
EWH	ELECTRICAL WATER HEATER
EL	ELEVATION
ELEV	ELEVATOR
EMER	EMERGENCY
ENC	ENCLOSE (URE)
EQ	EQUAL
EQUIP	EQUIPMENT
EXH	EXHAUST
EXIST	EXISTING
EB	EXPANSION BOLT
EJ	EXPANSION JOINT
EXP	EXPOSE (D)
EXT	EXTERIOR
EYEW	EYE WASH
F	
FWC	FABRIC WALL COVERING
FOS	FACE OF STUDS
FCU	FAN COIL UNIT
FAS	FASTEN (ER)
FT	FEET, FOOT
FBD	FIBERBOARD
FGL	FIBERGLASS
FIN	FINISH (ED)
FF	FINISH FLOOR
FFE	FINISHED FLOOR ELEVATION
F	
FFL	FINISHED FLOOR LINE
FA	FIRE ALARM
FEX	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FHC	FIRE HOSE CABINET
FP	FIREPROOF (ED), (ING)
FLAM	FLAMMABLE
FLG	FLASHING
FLX	FLEXIBLE
FLR	FLOOR (ING)
FLCO	FLOOR CLEANOUT
FD	FLOOR DRAIN
FLUOR	FLUORESCENT
FB	FOOT BOLT
FTG	FOOTING
FR	FRAME (D), (ING)
FZR	FREEZER
FA	FRESH AIR
FS	FULL SIZE
FBO	FURNISHED BY OTHERS
FF&E	FURNITURE, FIXTURE & EQUIPMENT
FUR	FURRED (ING)
FUT	FUTURE
G	
GA	GAGE, GAUGE
GPM	GALLONS PER MINUTE
GALV	GALVANIZE (D)
GI	GALVANIZED IRON
GKT	GASKET (ED)
GEN	GENERAL
GC	GENERAL CONTRACT (OR)
GL	GLASS, GLAZING
GLB	GLASS BLOCK
GB	GRAB BAR
GRD	GROUND
GT	GROUT GYP
BD	GYPSUM BOARD
H	
HC	HANDICAP (PED)
HDW	HARDWARE
HWD	HARDWOOD
HVAC	HEATING/VENTILATING AIR CONDITIONING
HDY	HEAVY DUTY
HGT	HEIGHT
HP	HIGH POINT
HM	HOLLOW METAL
HOR	HORIZONTAL
HB	HOSE BIBB
HD	HOT DIPPED
HWH	HOT WATER HEATER
HR	HOUR
I	
INCL	INCLUDE (D), (ING)
INFO	INFORMATION
ID	INSIDE DIAMETER
INSUL	INSULATE (D), (ION)
INT	INTERIOR
J	
JC	JANITOR'S CLOSET
JT	JOINT
JF	JOINT FILLER
JST	JOIST
JB	JUNCTION BOX

K	
KCPL	KEENE'S CEMENT PLASTER
KPL	KICKPLATE
KIT	KITCHEN
KO	KNOCKOUT
L	
LBL	LABEL
LAB	LABORATORY
LAM	LAMINATE (D)
LAUN	LAUNDRY
LAV	LAVATORY
LSW	LEAD SHIELDED WINDOW
LH	LEFT HAND
L	LENGTH
LT	LIGHT
LC	LIGHT CONTROL
LW	LIGHTWEIGHT
LIN	LINEN
LTL	LINTEL
LL	LIVE LOAD
LVR	LOUVER
LP	LOW POINT
M	
MFR	MANUFACTURE (ER)
MRB	MARBLE
MO	MASONRY OPENING
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANIC (AL)
MC	MEDICINE CABINET
MED	MEDIUM
MBR	MEMBER
MTL	METAL
MTFR	METAL FURRING
MPR	METAL PIPE RAILING
MTHR	METAL THRESHOLD
M	METER (S)
MWK	MILLWORK
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MOD	MODULAR
MLD	MOLDING, MOULDING
MR	MOISTURE RESISTANT
MT	MOUNT (ED), (ING)
MOV	MOVABLE
MUL	MULLION
N	
NL	NAILABLE
NAT	NATURAL
NGVD	NATIONAL GEODETIC VERTICAL DATUM
NOM	NOMINAL
N	NORTH
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
O	
OBS	OBSCURE
OC	ON CENTER (S)
OP	OPAQUE
OPG	OPENING
OJ	OPEN-WEBB JOIST
OPP	OPPOSITE
OD	OUTSIDE DIAMETER
OA	OVERALL
OH	OVERHEAD
P	
PNT	PAINT (ED)
PNL	PANEL
PB	PANIC BAR
PTD	PAPER TOWER DISPENSER
PTR	PAPER TOWER RECEPTOR
PBD	PARTICLE BOARD
PED	PEDESTAL
PERI	PERIMETER
PLAS	PLASTER
PLAM	PLASTIC LAMINATE
PL	PLATE
PG	PLATE GLASS
PLYWD	PLYWOOD
PT	PRESSURE TREAT (ED)
PVC	POLYVINYL CHLORIDE
PCF	POUNDS PER CUBIC FOOT
PSF	POUNDS PER SQUARE INCH
PFN	PREFINISHED
PBX	PULL BOX
PB	PUSH BUTTON
Q	
QT	QUARRY TILE
R	
RAD	RADIUS
RL	RAIL (ING)
RWL	RAINWATER LEADER
RECEP	RECEPTACLE, RECEPTION
REF	REFERENCE
REFR	REFRIGERATOR
REG	REGISTER
RAD	RADIUS
RL	RAIL (ING)
RWL	RAINWATER LEADER
RECEP	RECEPTACLE, RECEPTION
REF	REFERENCE
REFR	REFRIGERATOR
REG	REGISTER
REINF	REINFORCE (D), (ING)
REQ	REQUIRED
REM	REMOVE
RES	RESILIENT
RET	RETURN
RA	RETURN AIR
REV	REVISION (S), REVISED
RH	RIGHT HAND
R	RISER
RF	ROOF
RFD	ROOF DRAIN
RM	ROOM
RO	ROUGH OPENING
RUB	RUBBER
RB	RUBBER BASE
S	
SAN	SANITARY SEWER
SCN	SCREEN
SCHED	SCHEDULE (D)
SNT	SEALANT
SEC	SECRETARY
SECT	SECTION (S)
SHT	SHEET
SH	SHELF, SHELVING
SH & R	SHELF & ROD
SD	SIDE LIGHT
SIM	SIMILAR
SL	SLEEVE
SC	SOLID CORE
SP	SOUNDPROOF
S	SOUTH
SPK	SPEAKER
SPL	SPECIAL
SPEC	SPECIFICATION
SPR	SPRINKLER
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
SSMR	STANDING SEAM METAL ROOF
STA	STATION
STL	STEEL
STO	STORAGE
STR	STRUCTURE (AL)
STUC	STUCCO
SA	SUPPLY AIR
SUSP	SUSPENDED
SAT	SUSPENDED ACOUSTICAL TILE
SYM	SYMMETRY (ICAL)
SYS	SYSTEM
T	
TKBD	TACKBOARD
TEL	TELEPHONE
TV	TELEVISION
TEMP	TEMPERED
TH	THICK (ENED), (NESS)
THR	THRESHOLD
TLT	TOILET
TPTN	TOILET PARTITION
TPD	TOILET PAPER DISPENSER
TOL	TOLERANCE
T & G	TONGUE AND GROOVE
T & B	TOP AND BOTTOM
TOB	TOP OF BEAM
TOR	TOP OF ROOF
TOS	TOP OF SLAB
TB	TOWEL BAR
T	TREAD
U	
UC	UNDERCUT
UNF	UNFINISHED
UR	URINAL
UL	UNDERWRITERS LABORATORY
UON	UNLESS OTHERWISE NOTED
V	
VNR	VENEER
VTR	VENT THRU ROOF
V.I.F.	VERIFY IN FIELD
VERT	VERTICAL
VG	VERTICAL GRAIN
VEST	VESTIBULE
VIN	VINYL
VCT	VINYL COMPOSITE TILE
VB	VINYL BASE
VF	VINYL FABRIC
W	
WSCT	WAINSCOT
WTW	WALL TO WALL
WH	WALL HUNG
WC	WATER CLOSET
WP	WATERPROOF (ING)
WT	WIDE, WIDTH
WIN	WINDOW
W/	WITH
WO	WITHOUT
WD	WOOD
WDB	WOOD BASE

GENERAL DEMOLITION NOTES

1. DEMOLITION DRAWINGS ARE ONLY TO ASSIST IN SHOWING THE SCOPE OF DEMOLITION WORK AND IS NOT INTENDED TO INDICATE ALL DEMOLITION INVOLVED IN THE RENOVATION PROJECT. CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS AS REQUIRED TO COMPLETE THE JOB WHILE ADHERING TO ALL APPLICABLE CODES AND SAFETY GUIDELINES BEFORE, DURING, AND AFTER DEMOLITION WORK.

2. NOT ALL ITEMS TO BE DEMOLISHED ARE SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A WALK-THROUGH OF THE PROJECT PRIOR TO SUBMITTING A BID TO THE OWNER FOR IDENTIFYING POSSIBLE CRITICAL ITEMS OMITTED/ AMBIGUOUSLY OR NOT PROPERLY ADDRESSED, WHICH REQUIRE REMOVAL/ RELOCATION.

3. PROVIDE PROTECTIVE MEASURES AS REQUIRED TO GUARANTEE FREE AND SAFE PASSAGE TO AND FROM THE DIFFERENT AREAS OF THE BUILDING.

4. CUT, REMOVE, PATCH, ALTER, AND REFINISH EXISTING CONSTRUCTION AS REQUIRED TO LEAVE WORK COMPLETE AND IN SATISFACTORY CONDITION. CLOSELY MATCH TEXTURE AND FINISH OF EXISTING ADJACENT SURFACE.

5. CONTRACTOR SHALL TAKE ALL PRECAUTIONS REQUIRED TO PROTECT ALL CONCEALED UTILITIES. HE IS TO INSPECT CEILING AND CHASES TO ASSURE PROPER IDENTIFICATION OF UTILITIES PRIOR TO CUTTING, PATCHING, ETC.

6. OPENINGS LEFT THROUGH RATED AND SMOKE PARTITIONS DUE TO REMOVAL OF DUCTWORK AND/ OR CONDUITS SHALL BE CLOSED (BOTH SIDES) AS REQUIRED TO MAINTAIN DESIGNATED RATING.

7. CONTRACTOR SHALL SAW-CUT ALL OPENINGS IN CONCRETE BLOCK WALLS. CONTRACTOR SHALL NOT DEMOLISH OPENINGS WITH SLEDGE HAMMER UNTIL ALL PERIMETER LINES HAVE BEEN CUT.

8. RENOVATION WORK SHALL ENTAIL INTERVENTIONS IN AREAS OUTSIDE OF THE IMMEDIATE SCOPE OF WORK, INCLUDING WORK ABOVE AND/ OR BELOW THE FLOOR LEVEL WITHIN THE SCOPE. IT SHALL REQUIRE WORK INVOLVING REMOTE UTILITY LINES (ELECTRICAL, MECHANICAL, PLUMBING, COMMUNICATIONS, ETC.) ANY SUCH STRUCTURES, UTILITIES, FINISHES, AND EQUIPMENT REQUIRED TO RESTORE THE AREA TO FULLY OPERATIONAL CONDITIONS AND COMPLIANCE WITH RATING INTEGRITY TO MEET THE OWNER'S APPROVAL. ALL WORK AS DESCRIBED IN THIS NOTE SHALL BE INCLUDED AS PART OF THE BASE CONTRACT PRICE.

9. CONTRACTOR SHALL COORDINATE DEMOLITION WORK SCHEDULE WITH OWNER REPRESENTATIVE IN ORDER TO PROVIDE SUFFICIENT ADVANCE NOTICE FOR THE BEGINNING OF WORK IN EACH EXISTING AREA OR FLOOR LEVEL.

10. AFTER REMOVAL OF FURRED WALL CONSTRUCTION, CONTRACTOR SHALL VERIFY EXACT LOCATION OF EXISTING CONCRETE OR STEEL COLUMNS WITHIN WALLS AND INFORM ARCHITECT OF ANY CONFLICTS/ DISCREPANCIES PRIOR TO WALL DEMOLITION. A/E SHALL INSPECT CONDITION AND ISSUE A WRITTEN CLARIFICATION IN ORDER TO PROCEED WITH THE WORK.

11. PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY DEMOLITION AND/ OR INSTALLATION OF NEW WORK AND/ OR UTILITIES, PROVIDE A FLUSH AND EVEN SURFACE AS REQUIRED TO MATCH ADJACENT SURFACES AND/ OR RECEIVE NEW SCHEDULED FINISHES.

12. DEMOLITION WORK IS DENOTED BY DASHED LINES AND DEMOLITION KEYNOTES.

13. FOR ADDITIONAL REMOVAL WORK OF LIGHTING, PLUMBING FIXTURES, EQUIPMENT, ETC., SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.

14. CONTRACTOR SHALL COORDINATE REMOVAL OF STRUCTURAL ELEMENTS WITH ARCHITECTURAL/ STRUCTURAL DRAWINGS. IF ANY DISCREPANCIES OR DOUBTS ARE FOUND, CONTACT ARCHITECT/ ENGINEER IMMEDIATELY PRIOR TO ANY REMOVAL.

15. PREPARE EXISTING CONCRETE SLAB AS REQUIRED BY GRINDING, SCRAPING, ETC., INCLUDING LEVELING AS REQUIRED WITH "ARDEX" K-15 AND SD-F PATCHING (AS PER MANUFACTURER'S SPECIFICATIONS OR APPROVED EQUAL) TO MATCH ADJACENT SPACES.

16. VERIFY WITH MECHANICAL AND ELECTRICAL DRAWINGS ITEMS TO BE REMOVED/ RELOCATED.

17. DESTINATION OF ALL EXISTING SALVAGEABLE EQUIPMENT, PLUMBING FIXTURES, DOORS, AND FRAMES, ETC. TO BE REMOVED SHALL BE COORDINATED WITH THE OWNER.

18. PATCH WITH DURABLE SEAMS THAT ARE AS INVISIBLE AS POSSIBLE. COMPLY WITH SPECIFIED TOLERANCES.

19. INSPECT AND TEST PATCHED AREAS TO DEMONSTRATE INTEGRITY OF THE INSTALLATION WHERE FEASIBLE.

20. TAKE ADEQUATE MEASURES TO CONTROL MINIMIZE NOISE, DUST, WATER RUN-OFFS, AND OTHER DISRUPTIONS TO ADJACENT SPACES.

GENERAL NOTES AND REQUIREMENTS

1. THROUGH SUBMISSION OF A BID, THE CONTRACTOR AGREES THAT HE/SHE HAS EXAMINED THE SITE OF ALL PROPOSED WORK AND, HAVING BECOME FAMILIAR WITH ALL EXISTING PHYSICAL CONDITIONS AND ANY OBSTRUCTIONS TO THE WORK, SHALL INCLUDE IN THE BID ALL COSTS REQUIRED TO PROVIDE SATISFACTORY COMPLETION OF THE WORK, AND INCLUDING REMOVAL, RELOCATION, AND REPLACEMENT OF ALL OBJECTS AND OBSTRUCTIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF DOING THE WORK.

THIS PROJECT CONSISTS OF THE REMODELING OF THE RECREATION ROOM KITCHEN AT THE MEDLEY MUNICIPAL SERVICES BUILDING, LOCATED IN THE 2ND FLOOR AT 7777 NW 72ND AVENUE, MEDLEY. FLORIDA. THE WORK ENTAILS NEW CABINETRY, FINISHES, AND KITCHEN EQUIPMENT. MEP MODIFICATIONS ARE BEING PERFORMED IN ORDER TO ACCOMMODATE THE NEW EQUIPMENT.

2. THE RENOVATION CLASSIFICATION IS AN ALTERATION LEVEL 2 AS PER FBC 2017 EXISTING BUILDING CHAPTER 5, SECTION 504.1.

3. THROUGH THE BID THE CONTRACTOR AGREES TO CARRY OUT THE WORK TO FULL COMPLETION. ANY MATERIAL AND/ OR LABOR WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK AND/ OR TO COMPLY WITH REGULATIONS MUST BE PROVIDED AT NO EXTRA COST TO THE OWNER, WHETHER OR NOT SPECIFICALLY SHOWN OR SPECIFIED ON THE CONSTRUCTION DOCUMENTS.

4. THE CONTRACTOR SHALL STUDY ALL CONTRACT DOCUMENTS, CORRELATING THEM WITH ACTUAL FIELD DIMENSIONS AND CONDITIONS, AND SHALL PROMPTLY INFORM THE ARCHITECT IN WRITING OF ANY AMBIGUITIES, INCONSISTENCIES, OR ERRORS PRIOR TO SUBMITTING A BID.

5. THE CONTRACTOR SHALL CORRELATE THE CONTRACT DOCUMENTS WITH SHOP DRAWINGS AND FIELD DIMENSIONS AND CONDITIONS PRIOR TO PROCEEDING WITH THE WORK, AND SHALL REPORT ANY DISCREPANCIES OR POTENTIAL CONFLICTS IN WRITING TO THE ARCHITECT BEFORE STARTING CONSTRUCTION.

6. ITEMS PERTAINING TO ALL TRADES ARE SHOWN THROUGHOUT THE CONTRACT DOCUMENTS, AND THE CONTRACTOR SHALL THEREFORE ONLY DISTRIBUTE COMPLETE SETS TO ALL SUBCONTRACTORS. NO "EXTRAS" WILL BE PERMITTED FOR MISSED ITEMS.

7. DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS TAKE PRECEDENCE.

8. THE CONTRACTOR SHALL ENSURE THAT THE WORK COMPLIES WITH THE CURRENT REQUIREMENTS OF ALL APPLICABLE CODES AND REGULATIONS, INCLUDING BUT NOT LIMITED TO:

   A. FLORIDA BUILDING CODE 6TH EDITION (2017): BUILDING
   B. FLORIDA BUILDING CODE 6TH EDITION (2017): ACCESSIBILITY
   C. FLORIDA BUILDING CODE 6TH EDITION (2017): MECHANICAL
   D. FLORIDA BUILDING CODE 6TH EDITION (2017): PLUMBING
   E. FLORIDA BUILDING CODE 6TH EDITION (2017): ELECTRICAL
   F. FLORIDA STATE FIRE PREVENTION CODE 2017
   G. NFPA 101 LIFE SAFETY CODE, 2012 EDITION
   H. FLORIDA ADMINISTRATIVE CODE

10. OWNER WILL OBTAIN AND PAY FOR THE MASTER PERMIT ONLY. THE SELECTED CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL SUBSIDIARY REQUIRED PERMITS PRIOR TO COMMENCEMENT OF WORK, THE PAYING OF ALL APPLICABLE FEES, THE REQUESTING AND COORDINATION OF BUILDING DEPARTMENT INSPECTIONS AND APPROVALS IN ALL FIELDS OF THE WORK, AND OBTAINING OF A FINAL CERTIFICATE OF OCCUPANCY, ALL AT HIS EXPENSE.

11. THE CONTRACTORS SHALL WORK IN COOPERATION AND HARMONY WITH THE LANDLORD AND ADJACENT BUILDINGS AND TENANTS IN SCHEDULING WORK SO AS TO CAUSE THE LEAST INCONVENIENCE TO PERSONNEL AND PROPERTY. IF SECURITY IS REQUIRED WHILE WORKING IN ADJACENT SITES, THIS COST WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

12. CONTRACTOR SHALL PERFORM ALL WORK WITH THE BEST POSSIBLE WORKMANSHIP, JOINING, ALIGNING, MATCHING, AND FINISHING ALL SURFACES WITH SKILL TO PROVIDE A FLAWLESS APPEARANCE.

13. THE CONTRACTOR SHALL PROTECT THE PUBLIC AND ALL EXISTING FACILITIES, STRUCTURES, EQUIPMENT AND UTILITIES AGAINST DAMAGE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE AND/ OR INJURY DUE TO HIS ACT OR NEGLECT. THE OWNER, ARCHITECT, AND ENGINEER SHALL NOT BE RESPONSIBLE NOR IN ANY WAY HAVE CONTROL OF THE MEANS, METHODS, AND SEQUENCING OF CONSTRUCTION NOR SAFETY PRECAUTIONS AND PROGRAMS TO BE IMPLEMENTED BY THE CONTRACTOR.

14. THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL DEMOLITION AND/ OR CONSTRUCTION RELATED DEBRIS, OWNER SHALL CONTRACT ASBESTOS ABATEMENT CONTRACTOR AS REQUIRED

15. THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS, EQUIPMENT AND APPLIANCES WHICH ARE REQUIRED AS PART OF THE WORK, AND SHALL PROVIDE PROTECTION AGAINST VANDALISM, THEFT, WEATHER, AND ANY OTHER POTENTIAL SOURCE OF DAMAGE OR LOSS.

16. THE CONTRACTOR IS RESPONSIBLE FOR ALL OWNER FURNISHED MATERIALS ONCE DELIVERED AT THE SITE. PROVIDE PROTECTION AGAINST VANDALISM, THEFT, WEATHER, AND ANY OTHER FORM OF DAMAGE OR LOSS. THE CONTRACTOR WILL BE BACK CHARGED THE FULL COST OF REPLACEMENT INCLUDING FREIGHT, RESTOCKING FEES, AND PROJECT DELAYS RESULTING FROM LOSS OR DAMAGE. THE CONTRACTOR SHALL UNPACK AND VERIFY NATURE, QUANTITY, AND CONDITION OF SUCH MATERIALS, AND REPORT TO THE OWNER WITHIN 12 HOURS OF DELIVERY; FAILURE TO DO SO PLACES RESPONSIBILITY FOR ALL ITEMS UPON THE CONTRACTOR.

17. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE THE WORK OF ALL TRADES, PROVIDING TO THE ARCHITECT AND OWNER WEEKLY UPDATES OF THE PROJECT SCHEDULE SHOWING PARTICIPATION OF ALL TRADES. NO ADDITIONAL COMPENSATION SHALL BE DUE THE CONTRACTOR FOR ANY COST INCREASE OR PROJECT DELAY STEMMING FROM DEFICIENT SCHEDULING AND/ OR TRADE COORDINATION.

18. REQUIRED TESTS SHALL BE PERFORMED AT THE EXPENSE OF THE CONTRACTOR BY AN APPROVED CERTIFIED TESTING LABORATORY. TEST RESULTS SHALL BE PROMPTLY SUBMITTED TO THE ARCHITECT AND OWNER REPRESENTATIVE.

19. THE CONTRACTOR SHALL REMOVE, REPAIR, RESTORE, AND REPLACE EXISTING CONSTRUCTION WHERE SHOWN ON THE CONSTRUCTION DOCUMENTS, AND/ OR AS NEEDED FOR COMPLETION OF THE WORK. CUT ALL OPENING REQUIRED AND REPAIR AFTER CUTTING. ALL PROTRUSIONS, MARKS, CRACKS, EVIDENCE OF DEFICIENT OR DAMAGED CONDITIONS, SPLITS, CRACKS, CHIPPING, SPALLING, BREAKS, MISSING OR MISALIGNED PARTS, ITEMS OUT OF ADJUSTMENT, UNSOUND, BENT, TORN, OR OTHERWISE DEFICIENT OR INJURED IN ANY MANNER, SHALL BE CORRECTED, REPLACED, RESTORED, AND/ OR REPAIRED AT NO EXTRA COST. VERIFY METHOD AND PROCEDURE WITH OWNER'S REPRESENTATIVE AND/ OR ARCHITECT.

20. THE STRUCTURAL INTEGRITY OF THE BUILDING IS TO BE PROTECTED AT ALL TIMES.

21. PRIOR TO COMMENCING THE WORK THE CONTRACTOR SHALL RESOLVE WITH THE ARCHITECT AND ENGINEER ANY QUESTIONS REGARDING THE APPLICABILITY OF ALL SITUATIONS EQUIVALENT OR SIMILAR TO THOSE SPECIFICALLY DETAILED OR EXISTING, WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION.

22. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL FINISHED WORK AND SURFACES FROM DAMAGE CAUSED BY THE WORK OF OTHER TRADES, AND SHALL REPAIR OR REPLACE ANY DAMAGED ITEMS AT NO EXTRA COST AND AT THE DISCRETION OF THE OWNER.

23. THE CONTRACTOR SHALL MAINTAIN A THOROUGHLY CLEAN PROJECT SITE DAILY, ALLOWING FOR THE NECESSARY MANPOWER TO DO FOR CLEANING OF THE PROJECT PREMISES AND DISPOSAL OF ALL DEBRIS AT THE END OF EACH WORK DAY.

24. UPON FINAL COMPLETION OF THE WORK THE CONTRACTOR SHALL DELIVER TO THE OWNER PROFESSIONALLY CLEANED, FINISHED PREMISES READY FOR USE. THE CONTRACTOR SHALL CLEAN ALL SURFACES AFFECTED BY THE WORK, INTERIOR AND EXTERIOR, FREE OF ALL DIRT AND STAINING INCLUDING BUT NOT LIMITED TO:

   A. POLISHING ALL HARDWARE, METAL RAILS, PLUMBING TRIM AND ACCESSORIES, METAL SIGNS, METAL LIGHT FIXTURES, AND ORNAMENTS.
   B. THOROUGHLY CLEAN ALL PLUMBING FIXTURES, APPLIANCES, AND EQUIPMENT.
   C. CLEAN ALL SHELVING AND CABINETS INSIDE AND OUT.
   D. CLEAN ALL MIRRORS, DOOR GLAZING, AND WINDOWS AND FRAMES ALL SIDES.
   E. CLEAN ALL FLOORING THOROUGHLY INCLUDING BASE.

25. DOCUMENTATION: THE CONTRACTOR SHALL KEEP A RECORD SET OF ALL AS-BUILT DEVIATIONS FROM THE CONTRACT DOCUMENTS, ENTERED NEATLY IN COLOR PENCIL ON A SITE SET OF DRAWINGS AVAILABLE FOR INSPECTION AT ANY TIME. AN EXTRA SET OF DRAWINGS WILL BE PROVIDED FOR THIS PURPOSE. UPON COMPLETION OF CONSTRUCTION, AND BEFORE FINAL APPROVAL, THE CONTRACTOR WILL MAKE FINAL CORRECTIONS TO THE SITE SET, SHALL CERTIFY THAT EACH SHEET ACCURATELY REFLECTS THE WORK COMPLETED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND/ OR THE AFOREMENTIONED CORRECTIONS THEREOF, AND SHALL DELIVER THE SET TO THE ARCHITECT.

26. GENERAL CONDITIONS: THE GENERAL CONDITIONS OF THE AIA DOCUMENT A-201, LATEST EDITION, APPLY TO THIS PROJECT AND ARE AVAILABLE FROM THE ARCHITECT UPON REQUEST.

27. VERBAL REPRESENTATIONS DURING ANY STAGE OF THE PROJECT FROM INVITATION TO BID ONWARDS HAVE NO STANDING AND WILL NOT BE RELIED UPON AS VALID UNLESS DOCUMENTED AND SUBMITTED IN WRITING BY THE ARCHITECT.

28. THE CONTRACTOR IS RESPONSIBLE TO INFORM THE OWNER REPRESENTATIVE 72 HOURS IN ADVANCE OF ANY REQUIRED UTILITY SHUTDOWNS.

29. THESE DRAWINGS AND RELATED DOCUMENTS DETAIL THE WORK FOR THIS SPECIFIC BUILDING INDICATED BY JOB NUMBER AND LOCATION. THESE DOCUMENTS REMAIN THE PROPERTY OF RED DESIGN GROUP, LLC, AND MAY NOT BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT WRITTEN AUTHORIZATION OF RED DESIGN GROUP, LLC.

30. OWNER DIRECTIVES:

   A. THE CONTRACTOR SHALL FURNISH FULL TIME CONTINUOUS SUPERVISION. THE PROJECT SUPERINTENDENT SHALL REMAIN ON SITE THROUGH THE COMPLETION OF THE PUNCH LIST.
   B. ALL OWNER-FURNISHED MATERIALS ARE FURNISHED TAILGATE DELIVERY ONLY. THE CONTRACTOR IS RESPONSIBLE TO UNLOAD, EXAMINE, AND TRANSPORT MATERIALS FROM THE POINT OF OFF-LOAD TO THE JOBSITE OR STORAGE AREA AS APPLICABLE. MATERIALS WILL BE DELIVERED TO THE CLOSEST AVAILABLE TRUCK DOCK OR OTHER LOCATION AS DIRECTED.
   C. THE CONTRACTOR SHALL EMPLOY SUBCONTRACTORS WHO ARE EXPERIENCED AND WHO EMPLOY EXPERIENCED TRADESMEN.
   D. CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF ANY AND ALL OFF-SITE STORAGE OF OWNER SUPPLIED MATERIALS.

31. IN ISSUES OF SELECTION AND PURCHASE, SUBMITTALS, SCHEDULING, QUALITY ASSURANCE, CONTINGENCY, AND INSPECTION, AND TESTING ALLOWANCES, UNUSED MATERIALS, EXECUTION, MATERIALS, PRODUCT INSPECTION, PREPARATION, PERFORMANCE, FINISHING, FASTENING, CLEANING AND PRODUCT WARRANTIES, THE FOLLOWING SECTIONS OF THE LATEST AIA MASTERSPEC SHALL APPLY:

   01020 ALLOWANCES
   01045 CUTTING AND PATCHING
   01300 SUBMITTALS
   01631 PRODUCT SUBSTITUTIONS
   01740 WARRANTIES AND BONDS
   06100 ROUGH CARPENTRY
   06105 MISCELLANEOUS CARPENTRY
   06200 FINISH CARPENTRY
   07120 FLUID APPLIED WATERPROOFING
   07210 BUILDING INSULATION
   07270 FIRE STOPPING
   07901 JOINT SEALANTS
   08710 DOOR HARDWARE
   08800 GLAZING
   09200 LATH AND PLASTER
   09255 GYPSUM BOARD ASSEMBLIES
   09300 TILE
   09511 ACOUSTICAL PANEL SYSTEMS
   09660 RESILIENT TILE FLOORING
   09678 RESILIENT WALL BASE AND ACCESSORIES
   09680 CARPET
   09900 PAINTING
   09950 WALL COVERINGS
   10425 SIGNS

32. PRODUCTS:
   A. ALL DOORS ARE AS PER THE SCHEDULE AND DOOR ELEVATIONS.
   B. DOOR HARDWARE:
   VERIFY KEYING AND MASTER-KEYING REQUIREMENTS, AND BURGLAR ALARM INTERFACE REQUIREMENTS WITH OWNER'S PROJECT REPRESENTATIVE. WHEN SPECIFIED IN THE CONTRACT DOCUMENTS DOORS SHALL HAVE MAGNETIC LOCKS INTERFACING WITH THE FIRE ALARM SYSTEM SO AS TO OVERRIDE THE LOCK AND UNLOCK DURING ALARM MODE.
   C. RESILIENT TILE FLOORING:
   HEAVY DUTY COMMERCIAL GRADE VINYL TILE OF MAKE, COLORS, AND IN PATTERN AS SELECTED BY ARCHITECT. ADHESIVE SYSTEM SHALL BE HEAVY DUTY COMMERCIAL GRADE COMPATIBLE WITH THE EXISTING SLAB CONDITION. FINISH TO A POLISH GRADE
   D. RESILIENT WALL BASE AND ACCESSORIES:
   HEAVY DUTY COMMERCIAL 4"H RESILIENT WALL BASE, STRAIGHT, WITH PREFORMED CORNER PIECES, OF MAKE AND COLOR PER FINISH SCHEDULE, WITH APPROPRIATE ADHESIVE.
   E. PAINTING AND WALL COVERING:
   THE INTENT IS TO PROVIDE A SATISFACTORY FINISH TO ALL PARTS OF THE PROJECT, WHETHER NOTED HEREIN OR NOT. UNLESS SPECIFICALLY STATED OTHERWISE, PRIOR APPLYING APPROVED PAINT AND/OR WALL COVERING CLEAN,REPAIR AND PREPARE SURFACES PER SPECIFICATIONS AND/OR STANDARDS. SURFACES TO BE PAINTED SHALL BE COVERED THOROUGHLY. IF THE NUMBER OF COATS SPECIFIED DOES NOT ACCOMPLISH THE INTENT, THEN APPLY ADDITIONAL COATS OF SPECIFIED MATERIAL TO GIVE SATISFACTORY COVERAGE. SEE FINISH SCHEDULE. PAINTING CONTRACTOR SHALL REVIEW ALL DRAWINGS, PLANS, ELEVATIONS, AND PLAN/ DETAILS FOR HELPFUL CLARIFICATION OF ITEMS AND SURFACES TO BE PAINTED. REQUEST ADDITIONAL INFORMATION IF REQUIRED. BEFORE STARTING FINISH WORK, REMOVE HARDWARE, ACCESSORIES, PLATES, LIGHTING FIXTURES, AND SIMILAR ITEMS, PROVIDE AMPLE PROTECTION FOR SUCH ITEMS AND REPLACE AFTER FINISHING.

   USE ONLY PAINT AND RELATED MATERIALS SPECIFIED BY THE MANUFACTURER. CLEAN ALL SURFACES TO BE PAINTED FREE OF OILY STAINS AND LOOSE DIRT OR DUST BEFORE WORK IS STARTED.

   PAINTED DRYWALL TO RECEIVE ONE COAT OF LATEX PRIMER AND TWO COATS OF SPECIFIED PAINT. TINT PRIMER TO APPROXIMATE SHADE OF THE FINAL COAT. TOUCH UP ALL SUCTION SPOTS OR HOT SPOTS AFTER APPLICATION OF FIRST COAT AND BEFORE APPLYING SECOND COAT, TO PRODUCE AN EVEN RESULT IN THE FINISH COAT. DRY ALL COATS THOROUGHLY BEFORE APPLYING SUCCEEDING COATS. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR RE-COAT TIME. SEAL ALL DRYWALL SURFACES BEHIND MIRRORS. PUTTY ALL NAIL HOLES, COUNTERSINK SCREWS, BOLTS, CRACKS, ETC. BEFORE APPLYING PAINTS.

   SAND SMOOTH AND EVEN ALL WOOD SURFACES TO BE PAINTED BEFORE APPLYING FINISH, WALL COVERINGS, ETC. APPLY ALL STAINS PER MANUFACTURER'S SPECIFICATIONS. APPLY STAIN TO CLEAN/ DRY SURFACES ONLY. SAND ENAMELED FINISHES APPLIED TO WOOD OR METAL BETWEEN COATS WITH FINE SANDPAPER TO PRODUCE SMOOTH, EVEN FINISH. MAKE FINISH WORK UNIFORM, SMOOTH, FREE OF RUNS, SAGS, DEFECTIVE BRUSHING, AND CLOGGING. MAKE EDGES OF PAINT ADJOINING OTHER MATERIALS OR COLORS SHARP AND CLEAN WITHOUT OVERLAPPING.

33. CONTRACTOR TO SUBMIT SAMPLES/ PRODUCT DATA AND SHOP DRAWINGS FOR ALL REQUIRED/ PREFABRICATED ITEMS. DO NOT REPRODUCE THESE DRAWINGS FOR USE AS SHOP DRAWINGS.

34. SHOP DRAWINGS:

   THE CONTRACTOR SHALL SUBMIT FOUR SETS OF STAMPED AND APPROVED SUBMISSIONS OF SHOP DRAWINGS CALLED FOR ON THE CONTRACT DOCUMENTS AND/ OR REQUIRED BY OWNER AND/ OR BUILDING OFFICIALS TO THE ARCHITECT IN SUFFICIENT TIME TO BE REVIEWED AND PROCESSED SO AS TO CAUSE NO DELAY. DRAWINGS WILL NOT BE REVIEWED UNLESS APPROVED AND STAMPED BY CONTRACTOR.

THE FOLLOWING IS A PARTIAL LIST OF SUBMITTALS REQUIRED:

   METAL FABRICATIONS
   STEEL WALL FRAMING
   HARDWARE AND DOORS
   GLAZING ASSEMBLIES
   GLAZING FILM
   GYPSUM DRYWALL SYSTEMS
   WALL INSULATION
   PLASTER AND STUCCO
   WALL TEXTURE COMPOUNDS
   WATERPROOFING MEMBRANE
   VARNISH, SEALERS, AND COATINGS
   SEALANTS
   FIRE STOPPING
   PAINT

35. SUBSTITUTIONS OF MATERIALS OR EQUIPMENT OTHER THAN SPECIFIED SHALL BE PERMITTED ONLY UPON WRITTEN AUTHORIZATION FROM THE ARCHITECT OR ENGINEERS AND APPROVED BY OWNER. CONTRACTOR SHALL BEAR THE BURDEN OF PROOF THAT SUCH SUBSTITUTION IS EQUAL TO SPECIFIED ITEM AND CAN BE OBTAINED IN A TIMELY MANNER.

36. ALL MATERIALS USED IN THE INTERIOR MUST MEET THE FLAME SPREAD RATINGS AS PER APPLICABLE CODES. PROOF OF RATINGS MUST BE INCLUDED AS A PART OF THE FINAL INSPECTION PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

37. DIMENSIONS TO AND FROM NEW WALLS ARE FROM FINISH TO FINISH.

38. CONTRACTOR SHALL ENSURE ALL STRUCTURAL STEEL IS PAINTED WITH ONE COAT OF PRIMER AND ONE COAT OF RUST INHIBITING PAINT PRIOR TO ENCLOSURE OF ALL NEW STRUCTURE.

39. ALL WOOD IN CONTACT WITH NEW MASONRY SHALL BE ISOLATED FROM CONTACT OR TREATED WITH AN APPROVED WOOD PRESERVATIVE.

40. UNLESS OTHERWISE NOTED 2X F.R.T. WOOD BLOCKING SHALL BE USED FOR ALL SIGNS, HOOKS, CABINETS, TOILET ROOM VANITIES AND ACCESSORIES AND ANY OTHER WALL MOUNTED EQUIPMENT. BLOCKING TO EXTEND 3" ABOVE & BELOW REQUIRED MOUNTING HEIGHTS.

41. FASTENERS AND ANCHORAGE:

   CONTRACTOR SHALL PROVIDE NAILS, SCREWS, EPOXY ADHESIVE SYSTEMS AND OTHER ANCHORING DEVICES OF TYPE, SIZE, MATERIAL, AND FINISH, SUITABLE FOR INTENDED USE AND REQUIRED TO PROVIDE SECURE CONCEALED ATTACHMENT. USE HOT DIPPED GALVANIZED STEEL FASTENERS TO BE PLACED IN ALL CONDITIONS.

42. FOR INTERIOR FINISHES, REFER TO FINISH SCHEDULE.

43. ALL FRAMING LUMBER, PLYWOOD, AND CONCEALED WOOD SHALL BE FIRE RETARDANT TREATED (F.R.T) NO F.R.T. IN CEILING PLENUM OR ABOVE SPRINKLER COVERAGE, OR AS REQUIRED/ RESTRICTED BY LOCAL GOVERNING CODE(S).

   WHEN METAL PLATE BACKING IS USED IT SHALL BE A CONTINUOUS 6" HIGH GALVANIZED PLATE 20 GA MIN OR AS NOTED ON PLANS

44. FLOORING NOTES:

   FLOOR PREPARATION FOR FINISH FLOORING:

   THE CONTRACTOR SHALL EXAMINE FLOOR SLAB CONDITIONS TO DETERMINE TO WHAT EXTENT THE FLOOR PREPARATION, LEVELING, CHIP HAMMERING, ETC. WILL BE NECESSARY TO FURNISH A SMOOTH, LEVEL SUBSTRATE FOR THE PROPER INSTALLATION OF ALL FINISH FLOORING MATERIALS. THE COST OF SUCH WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. UNEVEN SUBSTRATE WILL NOT BE ACCEPTED AS A REASON FOR POORLY INSTALLED FLOORING MATERIALS.

   CONTROL AND EXPANSION JOINTS FOR FINISH FLOORING:

THE CONTRACTOR IS RESPONSIBLE TO EXAMINE THE SUBSTRATE AND INSTALL CONTROL OR EXPANSION JOINTS AS REQUIRED DUE TO EXISTING CONDITIONS. WHEN CONTROL JOINTS/ EXPANSION JOINTS ARE REQUIRED, THE CONTRACTOR IS TO CONTACT THE OWNER'S CONSTRUCTION MANAGER FOR APPROVAL OF METHODS OR SYSTEMS PRIOR TO INSTALLATION.

POLISH PAVERS:

   PAVERS ARE TO BE SET ABSOLUTELY FLUSH FOR A SMOOTH, LEVEL FLOOR WITHOUT TRIPPING HAZARDS. THE CONTRACTOR IS RESPONSIBLE TO CORRECT RAISED PAVERS FOR THE ENTIRE DURATION OF THE WARRANTY PERIOD AT THE DIRECTION OF THE OWNER'S CONSTRUCTION MANAGER. A RAISED PAVER SHALL BE ANY PAVER WHISH IS HIGHER THAN AN ADJACENT PAVER BY 1/32" OR MORE OR IN THE SOLE OPINION OF THE OWNER PRESENTS A TRIPPING HAZARD TO CUSTOMERS OR STAFF.

45. THE CONTRACTOR IS TO ESTABLISH A CONTROLLED AREA FOR EATING, DRINKING, UNDER NO CIRCUMSTANCES WILL THE OWNER ALLOW SMOKING.

46. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTING FINISHED FLOORING SURFACES FROM DAMAGE BY SUBCONTRACTORS.

47. CONTRACTOR SHALL PROVIDE FIRE PROOFING SEALANT AND/ OR CLOSURE AT PENETRATIONS OR OPENINGS EXPOSED DURING RENOVATION WORK IN ORDER TO GUARANTEE REQUIRED FIRE RATING OF STRUCTURE AND PARTITION ASSEMBLIES.

48. THE MANUFACTURERS OF METAL DOORS AND FRAMES MUST BE:
   -AS APPROVED BY OWNER STANDARDS

49. THE MANUFACTURES FOR WOOD DOORS MUST BE:
   -AS APPROVED BY OWNER STANDARDS

50. THE MANUFACTURERS FOR DOOR HARDWARE MUST BE:
   -AS APPROVED BY OWNER STANDARDS

51. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECT AND OWNER REVIEW. SHOP DRAWINGS SHALL INDICATE COORDINATION BETWEEN:

   -DOOR HARDWARE SUPPLIER
   -ELECTRICAL WORK
   -CARD ACCESS SYSTEM
   -HANDICAPPED OPERATOR
   -DOOR PREPARATION REQUIRED TO RECEIVE ABOVE ITEMS

52. PROVIDE ADDITIONAL SHEET METAL REINFORCING BACKING OR WOOD BACKING AT MOUNTING LOCATIONS IN TOILET COMPARTMENTS AND WHERE RECOMMENDED BY TOILET ACCESSORIES MANUFACTURER.

53. PROVIDE A MINIMUM OF THREE KEYS FOR EACH KEYED ACCESSORY. COORDINATE REQUIREMENTS WITH OWNER REPRESENTATIVE.

54. PROVIDE SOAP DISPENSERS WITH KEYED LOCK. PROVIDE ONE WALL MOUNTED SOAP DISPENSER OVER EACH LAVATORY. ALWAYS LOCATE THE DISPENSER ABOVE THE LAVATORY TO AVOID SOAP SPILLAGE ON THE FLOOR. AT LOCATIONS WITH MULTIPLE COUNTER MOUNTED LAVATORIES CONSIDER USING ONE DISPENSER FOR EACH PAIR OF LAVATORIES. REFER TO FINISH SCHEDULE.

55. PROVIDE SPECIAL WELDED CONSTRUCTION HEAVY-DUTY 18 GAGE 304 STAINLESS STEEL TUBING AND FLANGES. THE BUILDING CODE REQUIREMENTS WILL GOVERN THE TYPE OF ANCHORAGE REQUIRED WHILE THE ACCESSIBILITY CODE WILL DETERMINE THE CONFIGURATION, SIZE AND LOCATION OF THE GRAB BARS. SPECIFY SATIN FINISH, CONSIDER USING A SANITARY GRID FINISH FOR HEAVY DUTY USE PUBLIC TOILETS, AND CLOSED ENDS WITH MOUNTING FLANGES. PROVIDE ADEQUATE WALL SUPPORT. REFER TO FINISH SCHEDULE.

56. PROVIDE SEAT COVERS DISPENSERS AT ALL TOILETS FABRICATED OF HEAVY-DUTY TYPE 304 STAINLESS STEEL WITH EXPOSED SURFACES IN ARCHITECTURAL SATIN FINISH. UNITS SHALL BE RECESSED. REFER TO FINISH SCHEDULE.

57. MIRRORS SHALL BE 1/4" TEMPERED GLASS, ELECTROLYTICALLY COPPER-PLATED, AND IN STAINLESS STEEL FRAMES WITH CONCEALED THEFT PROOF MOUNTINGS. REFER TO THE LATEST ACCESSIBILITY STANDARDS FOR SELECTION OF MIRRORS TO BE USED BY WHEELCHAIR USERS. WHEN REQUIRED BY PROGRAM REQUIREMENTS, SHELVES SHALL BE SURFACE MOUNTED HEAVY-GAGE TYPE 304 STAINLESS STEEL IN ARCHITECTURAL SATIN FINISH WITH WELDED STAINLESS STEEL BRACKET, FRONT FLANGE AND ROUNDED CORNERS. SELECT APPROPRIATE SIZE FROM MANUFACTURER'S STANDARD INCH LENGTHS.

58. SINK MOUNTING: PER OWNER STANDARDS AND INTERIOR DESIGN DEPARTMENT SELECTION.

59. FINISH OR EXPOSED MOUNTING DEVICES AND FASTENERS SHALL MATCH ACCESSORY. ALL FASTENERS SHALL BE THEFT RESISTANT TYPES.

60. FINISHES: UNLESS OTHER ALTERNATES INDICATED, ALL EXPOSED SIDES OF ALL ACCESSORIES SHALL BE OF ARCHITECTURAL SATIN FINISH STAINLESS STEEL.

61. THE CONTRACTOR SHALL CONFIRM PRODUCT AVAILABILITY AS SOON AS POSSIBLE DURING CONSTRUCTION AND NOTIFY OWNER'S CONSTRUCTION PROJECT MANAGER IF ANY ITEM SPECIFIED IS NO LONGER AVAILABLE OR HAS CHANGED SIGNIFICANTLY IN DESIGN.

62. ALL PRODUCTS DELIVERED TO THE SITE SHALL BE OF THE HIGHEST QUALITY AND SHALL BE STORED IN A SUITABLE LOCATION UNTIL INSTALLATION.

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Sheet Information

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Drawn	CD
Checked	EH
Approved	EHM

Title

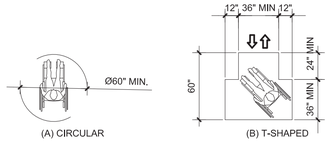
GENERAL NOTES, ABBREVIATION & DEMOLITION NOTES

Sheet

GN-0.1

TURNING SPACE

FIGURE 304.3 - SIZE OF TURNING SPACE

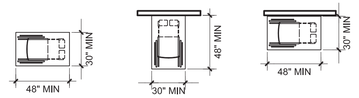


(A) CIRCULAR (B) T-SHAPED

CLEAR FLOOR SPACE

FIGURE 305.3 SIZE OF CLEAR FLOOR SPACE

FIGURE 305.5 POSITION OF CLEAR FLOOR SPACE

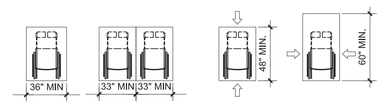


(A) FORWARD (B) PARALLEL

ASSEMBLY AREAS

FIGURE 802.1.2 - WIDTH OF WHEELCHAIR SPACE IN ASSEMBLY AREAS

FIGURE 802.1.3 - DEPTH OF WHEELCHAIR SPACE IN ASSEMBLY AREAS

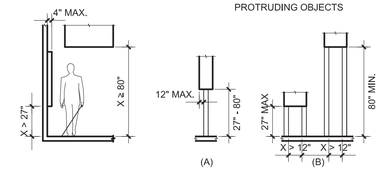


(A) SINGLE SPACE (B) MULTIPLE ADJACENT SPACES (A) FRONT OR REAR ACCESS (B) SIDE ACCESS

PROTRUDING OBJECTS

FIGURE 307.2 - LIMITS OF PROTRUDING OBJECTS

FIGURE 307.3 - POST-MOUNTED PROTRUDING OBJECTS



(A) (B)

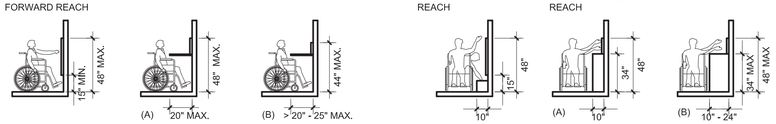
REACH RANGES

FIGURE 308.2.1 - UNOBSTRUCTED FORWARD REACH

FIGURE 308.2.2 - UNOBSTRUCTED HIGH FORWARD REACH

FIGURE 308.2.1 UNOBSTRUCTED SIDE REACH

FIGURE 308.2.1 UNOBSTRUCTED HIGH SIDE REACH

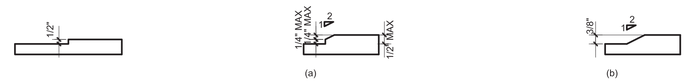


(A) 20" MAX. (B) > 20" - 25" MAX. (A) (B)

CHANGES IN LEVEL

FIGURE 303.2 - CARPET ON FLOOR SURFACES

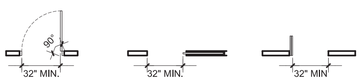
FIGURE 303.3 - BEVELED CHANGES IN LEVEL



(a) (b)

DOORS, DOORWAYS AND GATES -CLEAR WIDTH

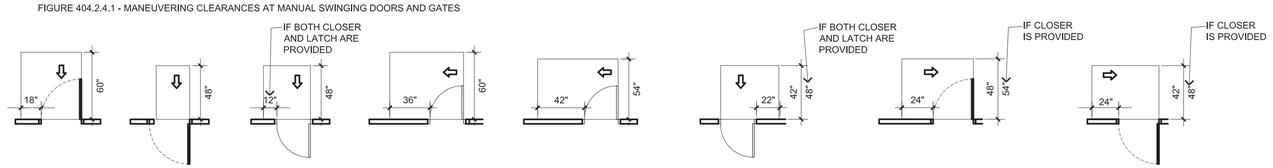
FIGURE 404.2.3 - CLEAR WIDTH OF DOORWAYS



(A) HINGED DOOR (B) SLIDING DOOR (C) FOLDING DOOR

DOORS, DOORWAYS AND GATES-MINIMUM MANEUVERING CLEARANCES

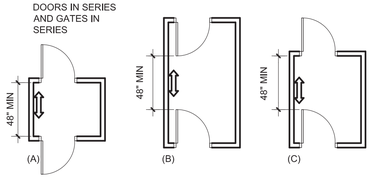
FIGURE 404.2.4.1 - MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS AND GATES



(A) FRONT APPROACH, PULL SIDE (B) FRONT APPROACH, PUSH SIDE (B) FRONT APPROACH, PUSH SIDE (C) HINGE APPROACH, PULL SIDE (D) HINGE APPROACH, PULL SIDE (E) HINGE APPROACH, PUSH SIDE (F) LATCH APPROACH, PULL SIDE (E) HINGE APPROACH, PUSH SIDE

ACCESIBLE DOORS IN A SERIES

FIGURE 404.2.6 DOORS IN SERIES AND GATES IN SERIES



(A) (B) (C)

DOORS, DOORWAYS AND GATES-MINIMUM MANEUVERING CLEARANCES

FIGURE 404.2.4.5 MANEUVERING CLEARANCE AT RECESSED DOORS AND GATES

FIGURE 404.2.4.2 MANEUVERING CLEARANCE AT DOORWAYS WITHOUT DOORS, SLIDING DOORS, GATES, AND FOLDING DOORS

(A) PULL SIDE (B) PUSH SIDE (C) PUSH SIDE, DOOR PROVIDED WITH BOTH CLOSER AND LATCH (A) FRONT APPROACH (B) SIDE APPROACH (C) POCKET OR HINGE APPROACH (D) STOP OR LATCH APPROACH

HANDRAILS

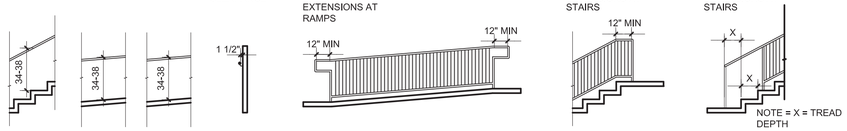
FIGURE 505.4 HANDRAIL HEIGHT

FIGURE 505.5 HANDRAIL CLEARANCE

FIGURE 505.10.1 TOP AND BOTTOM HANDRAIL EXTENSIONS AT RAMPS

FIGURE 505.10.2 TOP HANDRAIL EXTENSIONS AT STAIRS

FIGURE 505.10.3 BOTTOM HANDRAIL EXTENSIONS AT STAIRS

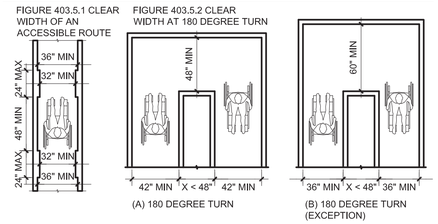


(A) STAIRS (B) RAMP (C) WALKING SURFACES

WALKING SURFACES

FIGURE 403.5.1 CLEAR WIDTH OF AN ACCESSIBLE ROUTE

FIGURE 403.5.2 CLEAR WIDTH AT 180 DEGREE TURN

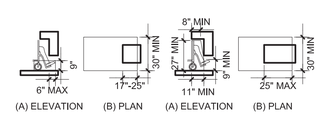


(A) 180 DEGREE TURN (B) 180 DEGREE TURN (EXCEPTION)

KNEE & TOE CLEARANCES

FIGURE 306.2 TOE CLEARANCE

FIGURE 306.3 KNEE CLEARANCE



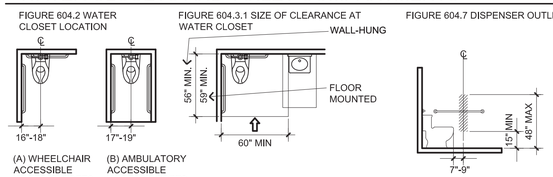
(A) ELEVATION (B) PLAN (A) ELEVATION (B) PLAN

WATER CLOSETS AND TOILET COMPARTMENTS

FIGURE 604.2 WATER CLOSET LOCATION

FIGURE 604.3.1 SIZE OF CLEARANCE AT WATER CLOSET

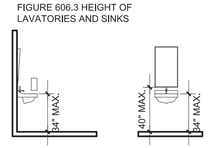
FIGURE 604.7 DISPENSER OUTLET LOCATION



(A) WHEELCHAIR ACCESSIBLE WATER CLOSETS (B) AMBULATORY ACCESSIBLE WATER CLOSETS

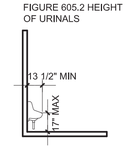
LAVATORIES & SINKS

FIGURE 606.3 HEIGHT OF LAVATORIES AND SINKS

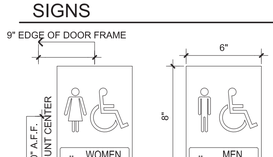


URINALS

FIGURE 605.2 HEIGHT OF URINALS



SIGNS

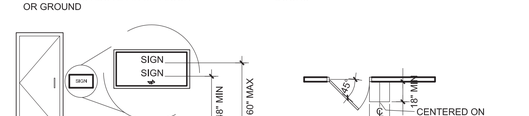


PROVIDE (1) SIGN PER TOILET ROOM AND (1) SIGN PER EXIT PASSAGEWAY / DISCHARGE COMPLYING WITH ICC/ANSI A117.1-2017 OR THE LOCAL AUTHORITY HAVING JURISDICTION. BLACK PLASTIC (FIELD) BACKGROUND W/ WHITE RAISED UPPERCASE LETTERS, BRAILLE AND EMBLEMS.

SIGNS - RAISED CHARACTERS

FIGURE 703.4.1 HEIGHT OF TACTILE CHARACTERS ABOVE FINISH FLOOR OR GROUND

FIGURE 703.3.11 LOCATION OF TACTILE SIGNS AT DOORS



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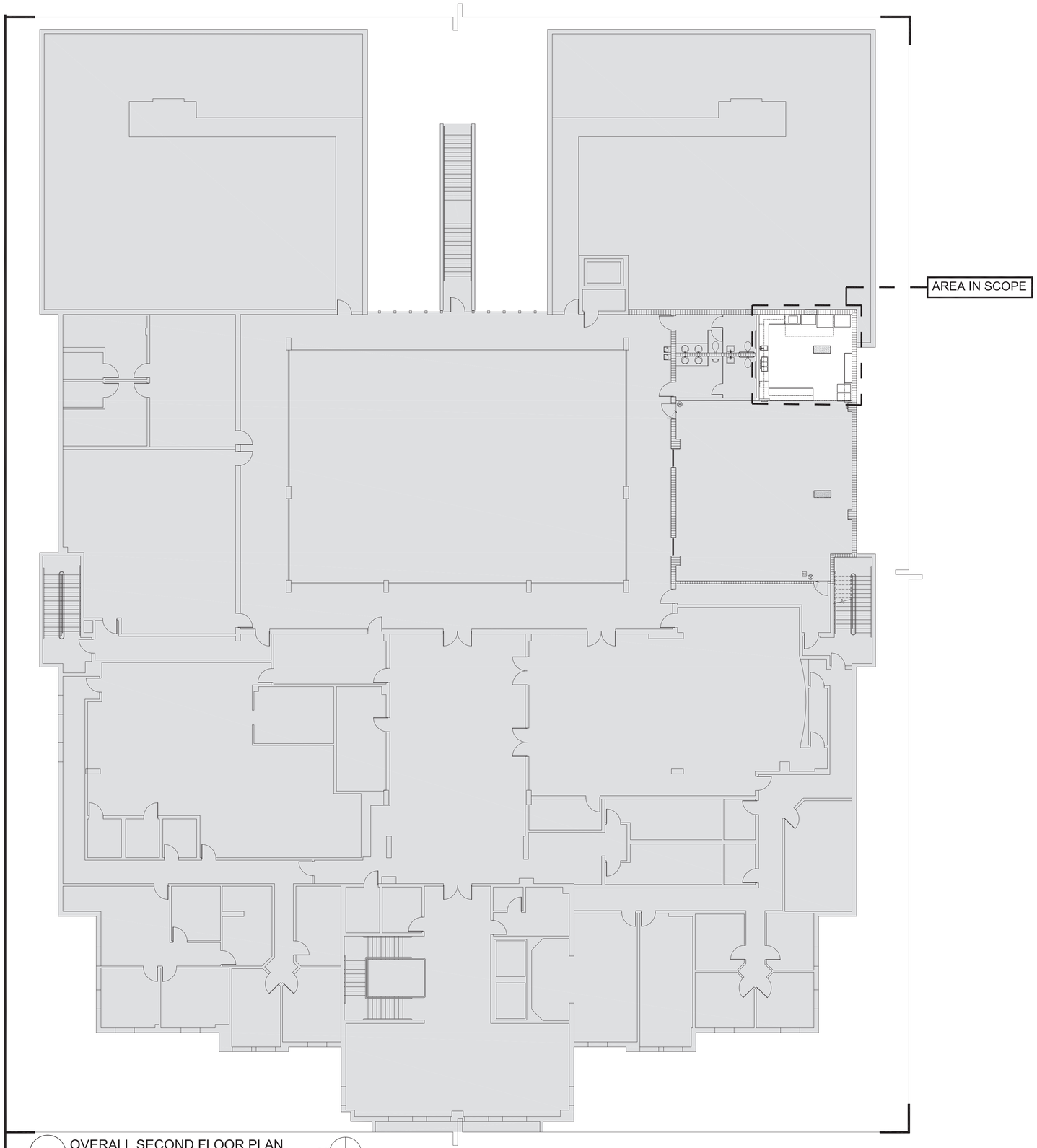
CODE REQUIRED CLEARANCES & DIAGRAMS

Sheet

GN-0.2



1 OVERALL SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

N

EGRESS REQUIREMENTS

TRAVEL DISTANCES PER FBC 2017 BUILDING CHAPTER 10

OCCUPANCY TYPE OF AFFECTED AREA: ASSEMBLY
SQUARE FOOTAGE OF ROOM: 1,665 SQ.FT.
OCCUPANCY COUNT OF ROOM: 1,665 / 15 = 111 PEOPLE

		REQUIRED	PROVIDED
-COMMON PATH OF EGRESS TRAVEL LIMIT	=	100 FT.	21' - 8"
-DEAD END LIMIT	=	50 FT.	N/A
-EXIT ACCESS TRAVEL DISTANCE LIMIT	=	300 FT.	48' - 0"
-DISTANCES BETWEEN EXIT SIGNS	=	100 FT.	45 FT.
-MINIMUM NUMBER OF EXITS (1-500 OCCUPANTS)	=	2 EXITS	2 EXITS

NOTES

1. PROPOSED RENOVATIONS ARE IN ACCORDANCE WITH THE CODES AND REGULATION LISTED ON THE COVER SHEET.
2. PROVIDE ONE CERTIFIED 2A-10BC FIRE EXTINGUISHER FOR EACH 3,000 SQ. FT. AND WITH A MAXIMUM TRAVEL DISTANCE OF 75' FT.
3. TOP OF FIRE EXTINGUISHER NOT TO EXCEED 5'-0" ABOVE FINISH FLOOR. (SEE INTERIOR ELEVATIONS AND MOUNTING HEIGHT SHEET).
4. CONTRACTOR TO SEAL ALL EXISTING & NEW PENETRATIONS. REFER TO GENERAL NOTES. (INDIVIDUAL DISCIPLINES SUPERSEDE ARCHITECT DETAILS).
5. ALL NEW FIRE RATING ARE TO BE CONSTRUCTED PER U.L. REQUIREMENTS OR TESTING AGENCIES.

FLAME SPREAD RATING

ALL MATERIALS USED IN THE INTERIOR MUST MEET THE FLAME SPREAD RATINGS AS PER FBC 2017 TABLE 803.9

OCCUPANCY	"B" SPRINKLERED
EXITS	"B" INTERIOR FINISH
EXIT ACCESS	"C" INTERIOR FINISH
OTHER SPACES	"C" INTERIOR FINISH
	"C" FINISH ALLOWED IN ADMINISTRATIVE SPACES

CONTRACTOR TO SUBMIT ONE COPY OF FLAME SPREAD DATA SHEET TO PROJECT MANAGER, ONE COPY TO ARCHITECT/ ENGINEER. ONE COPY TO BE HELD AT JOB SITE AT ALL TIMES.

LIFE SAFETY PLAN LEGEND

EXIT SIGN; FIRE SPRINKLER HEAD; SMOKE DETECTOR (SD); FIRE EXTINGUISHER (FE); FIRE ALARM (FA)	LIFE SAFETY DEVICES
	EXTERIOR CMU WALL
	EXIT ACCESS PATH OF TRAVEL

NOTE:

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS ONCE DEMOLITION HAS BEEN COMPLETED. IF ANY CONDITIONS ARE DISCOVERED THAT WERE NOT VISIBLE PRIOR TO DEMOLITION AND WHICH MAY AFFECT THE PROJECT INTENT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT'S OFFICE IMMEDIATELY PRIOR TO CONTINUING ANY WORK.

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OVERALL SECOND FLOOR PLAN

Sheet

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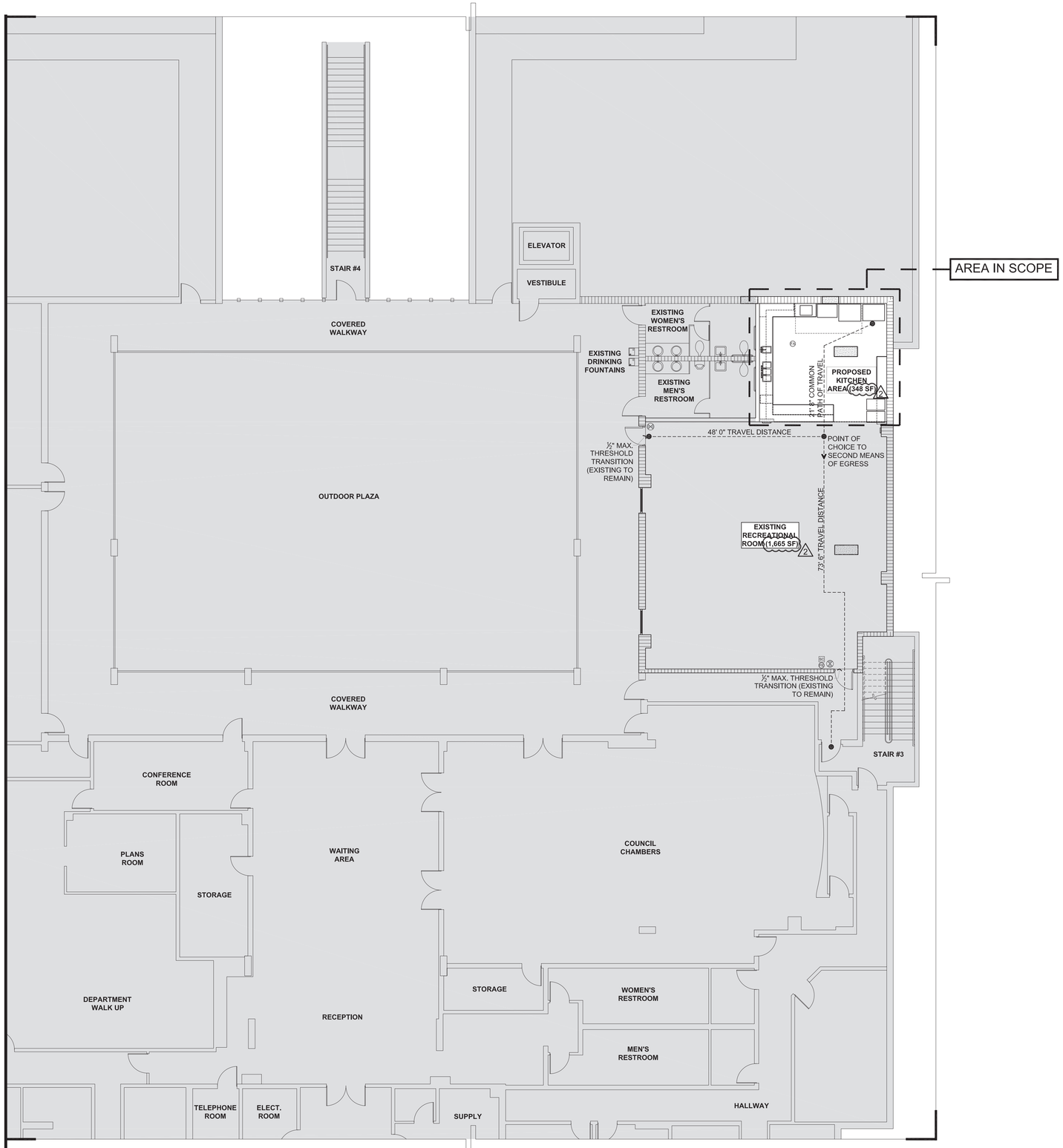

1 LIFE SAFETY - SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

EGRESS REQUIREMENTS

TRAVEL DISTANCES PER FBC 2017 BUILDING CHAPTER 10

OCCUPANCY TYPE OF AFFECTED AREA: ASSEMBLY
SQUARE FOOTAGE OF ROOM: 1,665 SQ.FT.
OCCUPANCY COUNT OF ROOM: 1,665 / 15 = 111 PEOPLE

		REQUIRED	PROVIDED
-COMMON PATH OF EGRESS TRAVEL LIMIT	=	100 FT.	21' - 8"
-DEAD END LIMIT	=	50 FT.	N/A
-EXIT ACCESS TRAVEL DISTANCE LIMIT	=	300 FT.	48' - 0"
-DISTANCES BETWEEN EXIT SIGNS	=	100 FT.	45 FT.
-MINIMUM NUMBER OF EXITS (1-500 OCCUPANTS)	=	2 EXITS	2 EXITS

NOTES

1. PROPOSED RENOVATIONS ARE IN ACCORDANCE WITH THE CODES AND REGULATION LISTED ON THE COVER SHEET.
2. PROVIDE ONE CERTIFIED 2A-10BC FIRE EXTINGUISHER FOR EACH 3,000 SQ. FT. AND WITH A MAXIMUM TRAVEL DISTANCE OF 75' FT.
3. TOP OF FIRE EXTINGUISHER NOT TO EXCEED 5'-0" ABOVE FINISH FLOOR. (SEE INTERIOR ELEVATIONS AND MOUNTING HEIGHT SHEET).
4. CONTRACTOR TO SEAL ALL EXISTING & NEW PENETRATIONS. REFER TO GENERAL NOTES. (INDIVIDUAL DISCIPLINES SUPERSEDE ARCHITECT DETAILS).
5. ALL NEW FIRE RATING ARE TO BE CONSTRUCTED PER U.L. REQUIREMENTS OR TESTING AGENCIES.

FLAME SPREAD RATING

ALL MATERIALS USED IN THE INTERIOR MUST MEET THE FLAME SPREAD RATINGS AS PER FBC 2017 TABLE 803.9

OCCUPANCY	"B" SPRINKLERED
EXITS	"B" INTERIOR FINISH
EXIT ACCESS	"C" INTERIOR FINISH
OTHER SPACES	"C" INTERIOR FINISH
	"C" FINISH ALLOWED IN ADMINISTRATIVE SPACES

CONTRACTOR TO SUBMIT ONE COPY OF FLAME SPREAD DATA SHEET TO PROJECT MANAGER, ONE COPY TO ARCHITECT/ ENGINEER. ONE COPY TO BE HELD AT JOB SITE AT ALL TIMES.

LIFE SAFETY PLAN LEGEND

EXIT SIGN, FIRE SPRINKLER HEAD, SMOKE DETECTOR, FIRE EXTINGUISHER, FIRE ALARM	LIFE SAFETY DEVICES
	EXTERIOR CMU WALL
	EXIT ACCESS PATH OF TRAVEL

NOTE:

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS ONCE DEMOLITION HAS BEEN COMPLETED. IF ANY CONDITIONS ARE DISCOVERED THAT WERE NOT VISIBLE PRIOR TO DEMOLITION AND WHICH MAY AFFECT THE PROJECT INTENT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT'S OFFICE IMMEDIATELY PRIOR TO CONTINUING ANY WORK.

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LIFE SAFETY SECOND FLOOR PLAN

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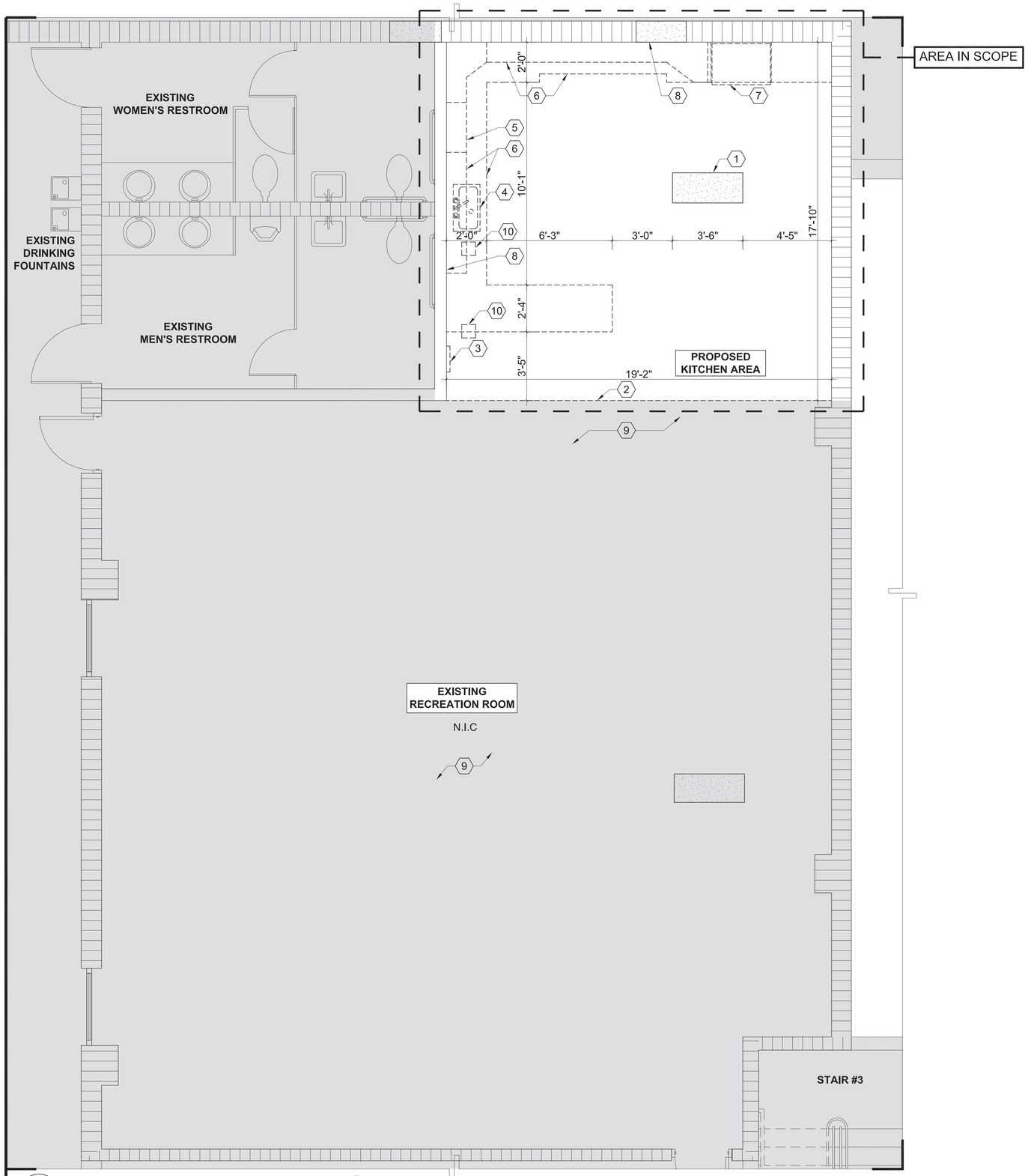

1 DEMOLITION - SECOND FLOOR PLAN
SCALE: 3/8" = 1'-0"

FLOOR PLAN DEMOLITION KEY NOTES

NOTE: DO NOT REMOVE ANY WALL OR PARTITION THAT APPEARS TO BE STRUCTURAL. (ROOF SUPPORTING) WITHOUT CONSULTING ARCHITECT.

1. EXISTING COLUMN TO REMAIN. GC TO PROTECT DURING CONSTRUCTION.
2. LINE DENOTES BOUNDARY OF EXISTING FLOORING TO BE REMOVED. PREPARE UNDERLAY TO RECEIVE NEW FINISH. REFER TO FINISH PLAN FOR MORE INFORMATION.
3. EXISTING ELECTRICAL PANEL TO BE RELOCATED. REFER TO MEP DRAWINGS FOR MORE INFORMATION.
4. EXISTING SINK TO BE REMOVED AND REPLACED WITH NEW. REFER TO PROPOSED FLOOR PLAN AND MEP DRAWINGS FOR MORE INFORMATION.
5. EXISTING MICROWAVE TO BE RELOCATED. REFER TO EQUIPMENT PLAN AND MEP DRAWINGS FOR MORE INFORMATION.
6. EXISTING UPPER AND LOWER CABINETS TO BE REMOVED. GC TO REPAIR WALLS AS REQUIRED AND PREPARE WALLS TO RECEIVE NEW BACKING FOR PROPOSED KITCHEN LAYOUT.
7. EXISTING REFRIGERATOR TO BE REMOVED AND REPLACED WITH NEW. REFER TO SHEET A-1.1 FOR MORE INFORMATION.
8. GC TO PATCH WALLS AND PROVIDE NEW GWB AS REQUIRED AFTER CABINET REMOVAL. PROVIDE NEW BACKING FOR NEW CABINETRY AND EQUIPMENT INSTALLATION.
9. EXISTING FLOORING TO REMAIN. GC TO PROTECT DURING CONSTRUCTION.
10. SAW-CUT FLOOR TO INSTALL FLOOR SINK DRAIN. REINFORCE, PATCH, SEAL, AND PAINT AS REQUIRED. X-RAY CONCRETE SLAB BEFORE CUTTING. SEE PLUMBING DRAWINGS FOR MORE INFORMATION.

DEMOLITION FLOOR PLAN LEGEND

	EXISTING PARTITION TO REMAIN
	EXISTING CMU WALL TO REMAIN
	EXISTING PARTITION TO BE REMOVED
	EXISTING CONCRETE COLUMN TO REMAIN
	HATCH DENOTES AREA TO BE REMOVED
	HATCH DENOTES AREA NOT IN CONTRACT
	EXISTING DOOR, FRAME, AND HARDWARE TO BE REMOVED
	EXISTING DOOR, FRAME, AND HARDWARE TO REMAIN
1	DEMOLITION KEY NOTE SYMBOL

NOTE:
CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS ONCE DEMOLITION HAS BEEN COMPLETED. IF ANY CONDITIONS ARE DISCOVERED THAT WERE NOT VISIBLE PRIOR TO DEMOLITION AND WHICH MAY AFFECT THE PROJECT INTENT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT'S OFFICE IMMEDIATELY PRIOR TO CONTINUING ANY WORK.

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DEMOLITION SECOND FLOOR PLAN

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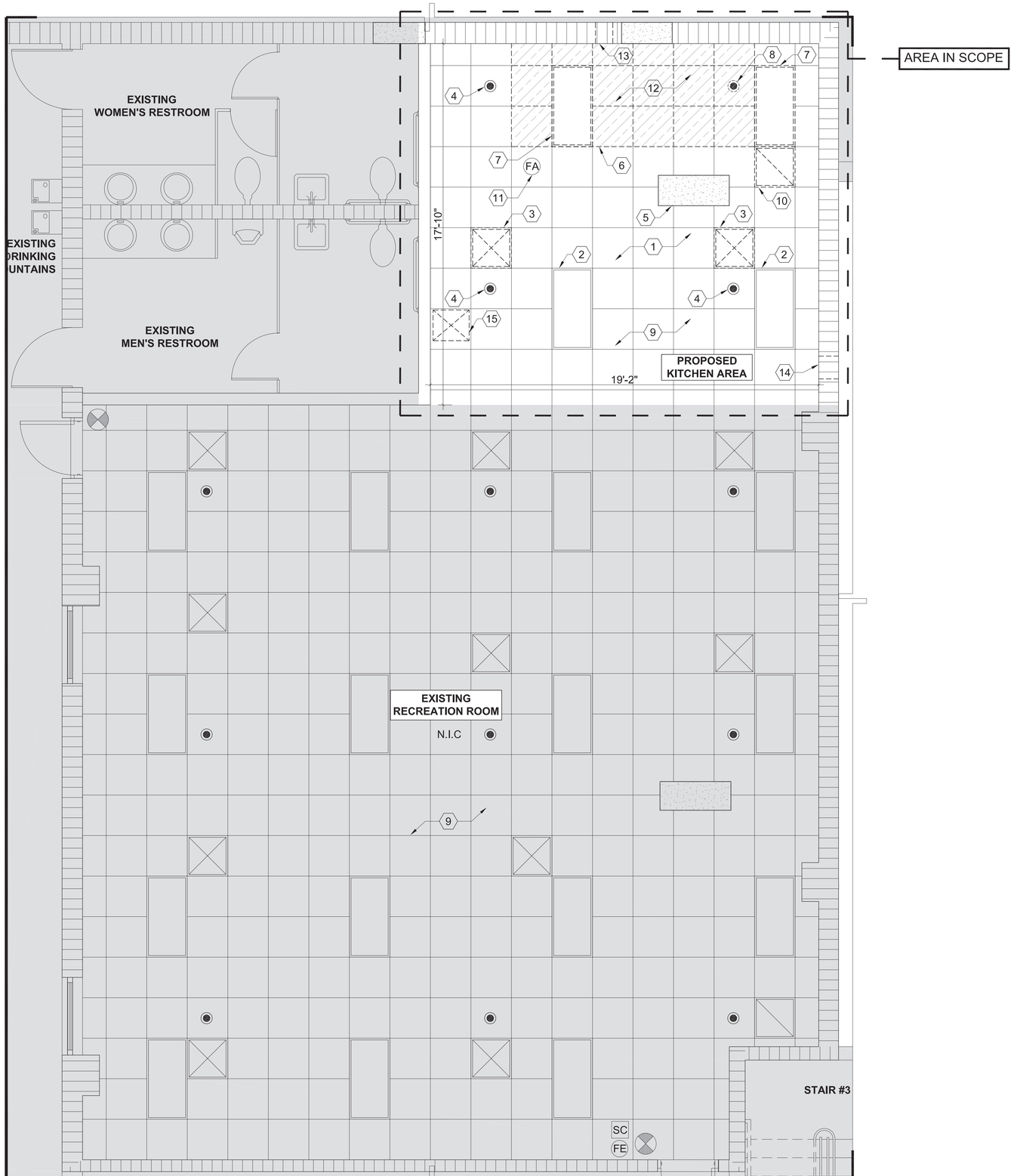

1 DEMOLITION CEILING PLAN - SECOND FLOOR
SCALE: 3/8" = 1'-0"

CEILING PLAN DEMOLITION KEY NOTES

NOTE: DO NOT REMOVE ANY WALL OR PARTITION THAT APPEARS TO BE STRUCTURAL (ROOF SUPPORTING) WITHOUT CONSULTING ARCHITECT.

1. EXISTING CEILING TILE AND GRID TO REMAIN. GC TO PROVIDE NEW CEILING TILE AS REQUIRED IN ANY AREA AFFECTED BY THE CONSTRUCTION. ALTERNATE #1: PROVIDE ALTERNATE PRICE FOR REMOVAL OF ENTIRE CEILING AND REPLACEMENT WITH NEW.
2. EXISTING 2X4 LIGHTING FIXTURES TO REMAIN.
3. EXISTING HVAC SUPPLY GRILL TO BE RELOCATED.
4. EXISTING FIRE SPRINKLER TO REMAIN.
5. EXISTING COLUMN TO REMAIN.
6. HATCH DENOTES AREA OF CEILING TO BE DEMOLISHED.
7. REMOVE 2X4 LIGHTING FIXTURE. REFER TO ENGINEER DRAWINGS FOR MORE INFORMATION.
8. EXISTING FIRE SPRINKLER HEAD TO BE RELOCATED. REFER TO ENGINEERING DRAWINGS FOR MORE INFORMATION.
9. REPLACE ANY EXISTING STAINED CEILING TILES WITH NEW THROUGHOUT, AS REQUIRED.
10. EXISTING RETURN GRILL TO BE RELOCATED. REFER TO PROPOSED CEILING AND MEP DRAWINGS FOR MORE INFORMATION.
11. EXISTING FIRE ALARM TO REMAIN.
12. REMOVE CEILING TILE GRID, LIGHTS, ETC. AS REQUIRED FOR KITCHEN HOOD INSTALLATION.
13. SAW-CUT HOLE ON EXISTING CMU WALL FOR THE INSTALLATION OF HOOD EXHAUST. REINFORCE, PATCH, SEAL AND PAINT AS REQUIRED. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
14. SAW-CUT HOLE ON EXISTING CMU WALL FOR THE INSTALLATION OF OUTSIDE AIR INTAKE. REINFORCE, PATCH, SEAL, AND PAINT AS REQUIRED. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.
15. SAW-CUT HOLE IN EXISTING ROOF DECK FOR THE INSTALLATION OF HOOD MAKE UP AIR. REINFORCE, PATCH, SEAL, AND PAINT AS REQUIRED. SEE MECHANICAL DRAWINGS FOR MORE INFORMATION.

DEMOLITION CEILING PLAN LEGEND

	EXISTING PARTITION TO REMAIN
	EXISTING CMU WALL TO REMAIN
	EXISTING PARTITION TO BE REMOVED
	EXISTING CONCRETE COLUMN TO REMAIN
	EXISTING CEILING TILES AND GRID TO BE REMOVED.
	HATCH DENOTES AREA NOT IN CONTRACT.
	EXISTING 2' x 4' FLUORESCENT LIGHT FIXTURES TO BE REMOVED (COORDINATE STORAGE WITH OWNER)
	EXISTING HVAC SUPPLY AND RETURN GRILLS TO BE REMOVED (COORDINATE STORAGE WITH OWNER)
	EXISTING FIRE SPRINKLER HEADS TO REMAIN. RELOCATE AS REQUIRED.
SC	EXISTING SECURITY CAMERAS TO BE REMOVED.
SD	EXISTING SMOKE DETECTORS TO BE REMOVED.
	EXISTING EMERGENCY EXIT SIGNS TO BE REMOVED.

NOTE:

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS ONCE DEMOLITION HAS BEEN COMPLETED. IF ANY CONDITIONS ARE DISCOVERED THAT WERE NOT VISIBLE PRIOR TO DEMOLITION AND WHICH MAY AFFECT THE PROJECT INTENT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT'S OFFICE IMMEDIATELY PRIOR TO CONTINUING ANY WORK.

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DEMOLITION CEILING PLAN SECOND FLOOR

Sheet

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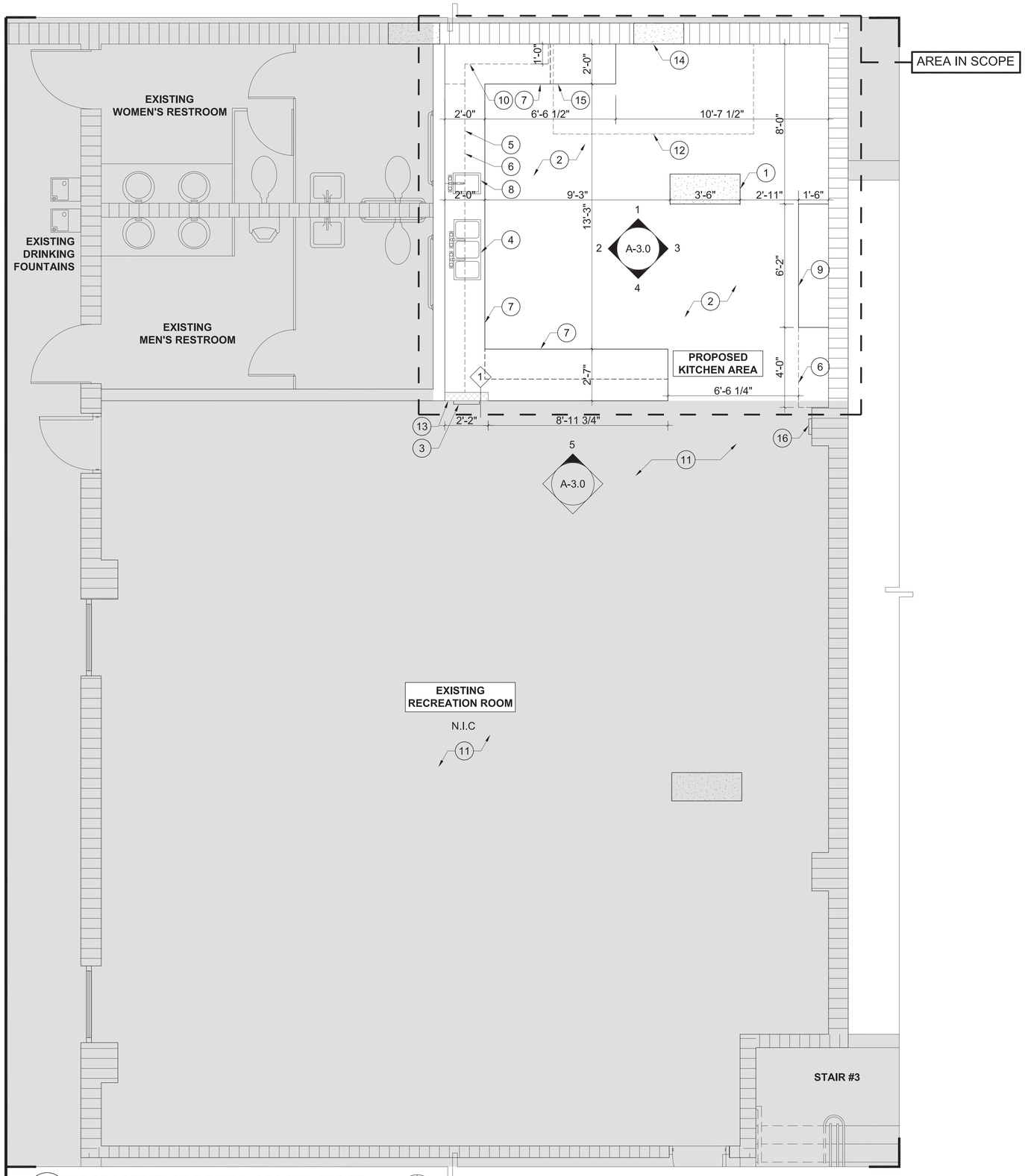

1 PROPOSED FLOOR PLAN - SECOND FLOOR
SCALE: 3/8" = 1'-0"

FLOOR PLAN KEY NOTES

1. EXISTING COLUMN TO REMAIN. GC TO PROTECT DURING CONSTRUCTION.
2. PROVIDE NEW FLOORING. REFER TO FINISH PLAN AND SCHEDULE FOR MORE INFORMATION.
3. PROPOSED LOCATION FOR NEW ELECTRICAL PANEL. COORDINATE WITH MEP DRAWINGS.
4. PROVIDE NEW INTEGRATED THREE COMPARTMENT SINK. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOI TO FABRICATION.
5. PROPOSED LOCATION FOR RELOCATED MICROWAVE. REFER TO EQUIPMENT PLAN AND MEP DRAWINGS FOR MORE INFORMATION.
6. NEW UPPER CABINETS. REFER TO ELEVATIONS FOR MORE INFORMATION.
7. NEW BASE CABINETS. REFER TO ELEVATIONS FOR MORE INFORMATION.
8. PROVIDE NEW INTEGRATED HAND SINK. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
9. NEW PANTRY. REFER TO ELEVATIONS FOR MORE DETAILS.
10. NEW OPEN SHELVES. REFER TO ELEVATIONS FOR MORE INFORMATION.
11. EXISTING FLOORING TO REMAIN. GC TO PROTECT DURING CONSTRUCTION.
12. LINE DENOTES LOCATION OF OVERHEAD HOOD. REFER TO CEILING PLAN AND MEP DRAWINGS FOR MORE INFORMATION. LOCATE EXISTING COLUMN AND PROTECT DURING CONSTRUCTION. DO NOT AFFECT OR MODIFY COLUMN INTEGRITY WHEN INSTALLING NEW HOOD OR BACKING FOR ANY OTHER EQUIPMENT/CABINETRY.
13. PROPOSED WALL. REFER TO WALL SECTION FOR MORE INFORMATION.
14. EXISTING COLUMN. GC TO PROTECT DURING CONSTRUCTION. EXISTING SLAB IS A POST TENSION SLAB.
15. NEW STAINLESS STEEL OPEN SHELVES. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
16. KILL PULL STATION. COORDINATE WITH MEP DRAWINGS. PATCH AND PAINT AS REQUIRED TO CONCEAL CONDUIT.

FLOOR PLAN LEGEND

	EXISTING CONCRETE COLUMN
	HATCH DENOTES AREA NOT IN CONTRACT
	EXISTING MASONRY WALL
	EXISTING PARTITION TO REMAIN
	NEW PARTITION
D100 NEW / EXISTING	DOOR SYMBOL
1 / 2 / 3 / 4 A-0.0	ELEVATIONS SYMBOL
1	NEW WORK KEY NOTE SYMBOL

NOTE:
CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS BEFORE COMENCING CONSTRUCTION. IF ANY CONDITIONS ARE DISCOVERED THAT WERE NOT VISIBLE PREVIOUSLY AND WHICH MAY AFFECT THE PROJECT INTENT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT'S OFFICE IMMEDIATELY PRIOR TO CONTINUING ANY WORK.

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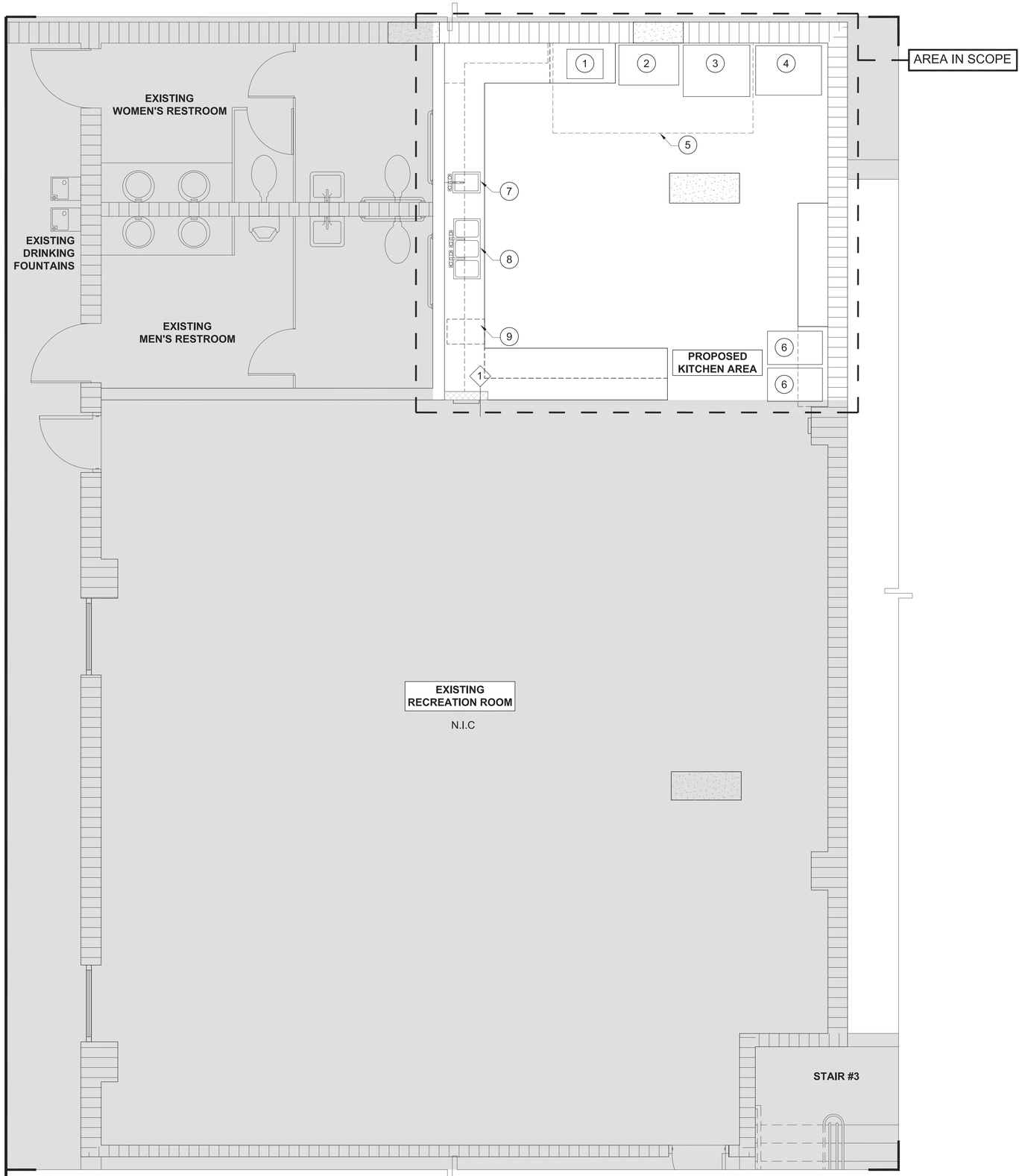
PROPOSED CONSTRUCTION FLOOR PLAN

Sheet

A-1.0



1 PROPOSED FURNITURE & EQUIPMENT PLAN - SECOND FLOOR
SCALE: 3/8" = 1'-0"

N

EQUIPMENT LEGEND

1. ELECTRIC COUNTERTOP FRYERS. GLOBE, MODEL PF32E DUAL TANK, OR APPROVED EQUAL. PROVIDED BY OWNER, INSTALLED BY GC.
2. ELECTRIC RANGES. IMPERIAL, MODEL IR-6-E, OR APPROVED EQUAL. PROVIDED BY OWNER, INSTALLED BY GC.
3. STACKABLE DOUBLE DECK ELECTRIC CONVECTION OVENS. VULCAN, VC55E SERIES, OR APPROVED EQUAL (2). PROVIDED BY OWNER, INSTALLED BY GC.
4. REACH-IN SOLID SLIDE 2-DOOR REFRIGERATOR. TRUE TSD-33, OR APPROVED EQUAL. PROVIDED BY OWNER, INSTALLED BY GC.
5. WALL MOUNTED EXHAUST WITH FRONT EXTERNAL PLENUM. MODEL NDFC 54, OR APPROVED EQUAL. REFER TO REFLECTED CEILING PLAN FOR MORE INFORMATION. PROVIDED BY OWNER, INSTALLED BY GC.
6. HEATED HOLDING/PROOFING CABINET. AVANTCO HPU-1836, FULL SIZE, OR APPROVED EQUAL (2). PROVIDED BY OWNER, INSTALLED BY GC.
7. INTEGRATED HAND SINK. GC TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
8. INTEGRATED THREE COMPARTMENT SINK. GC TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
9. UNDERCOUNTER ICE MAKER. HOSHIZAKI, AM-50BAJ-AD. FURNISHED AND INSTALLED BY GC.

GENERAL NOTE:

ALL EQUIPMENT TO BE COORDINATED WITH ELECTRICAL CONNECTIONS IN MEP DRAWINGS.

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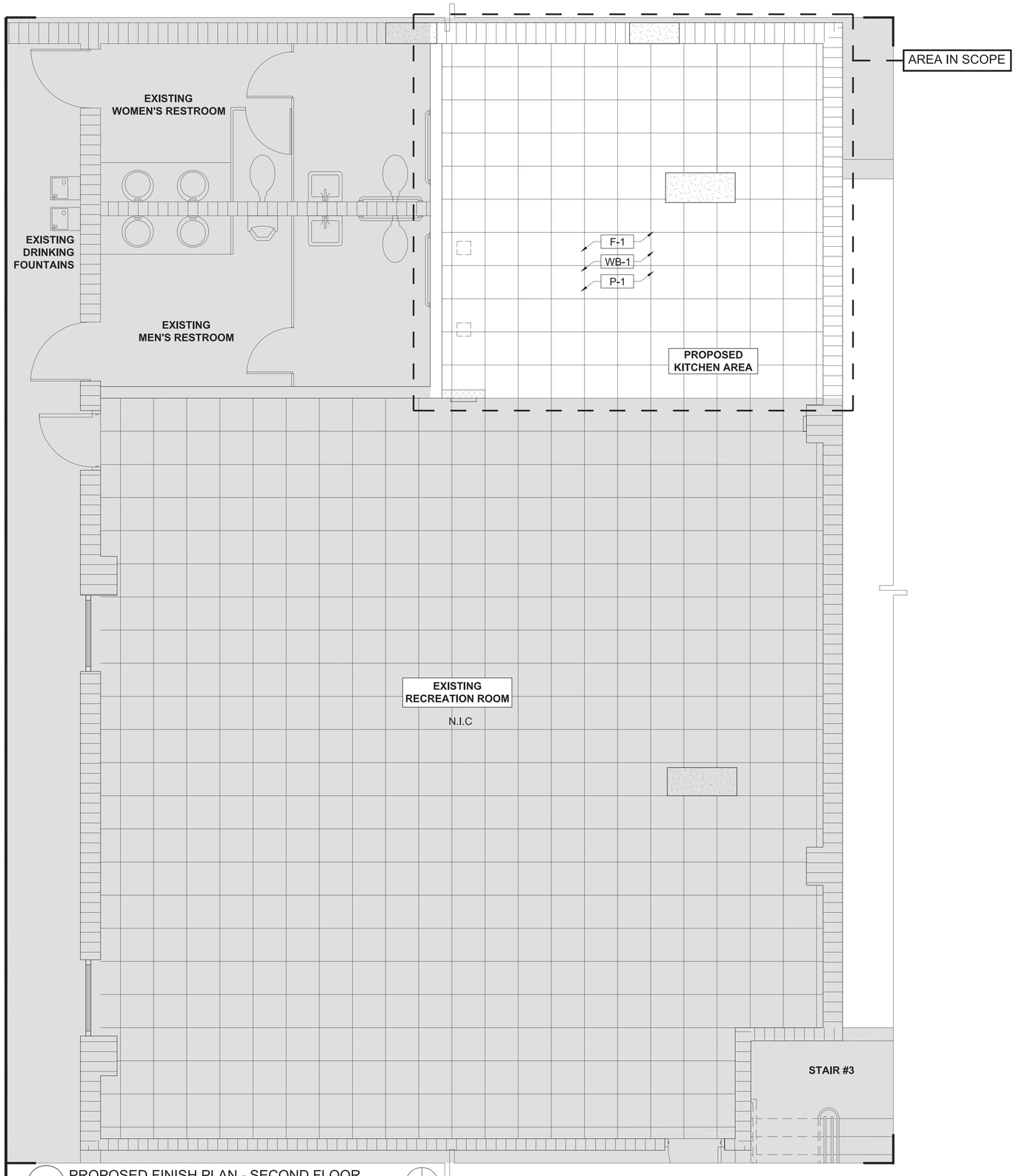
PROPOSED EQUIPMENT PLAN

Sheet

A-1.1



1 PROPOSED FINISH PLAN - SECOND FLOOR
SCALE: 3/8" = 1'-0"

FLOORING FINISH LEGEND

TAG	DESCRIPTION	SPECIFICATION
F-1	FLOOR TILE	PRODUCT: FLOORING TILE MANUFACTURER: TBD COLOR: TBD SIZE: 20"X20" LOCATION: REFER TO FINISH PLAN.
WB-1	TILE WALL BASE	PRODUCT: TILE WALL BASE MANUFACTURER: TBD COLOR: TBD SIZE: TBD LOCATION: REFER TO ELEVATIONS.

WALL FINISH LEGEND

TAG	DESCRIPTION	SPECIFICATION
PT-1	INTERIOR PAINT	PRODUCT: PAINT COLOR: SIMPLY WHITE SW7021 FINISH: FLAT MANUFACTURER: SHERWIN WILLIAMS LOCATION: REFER TO ELEVATIONS. PROVIDE NEW PAINT FOR ENTIRE ROOM.

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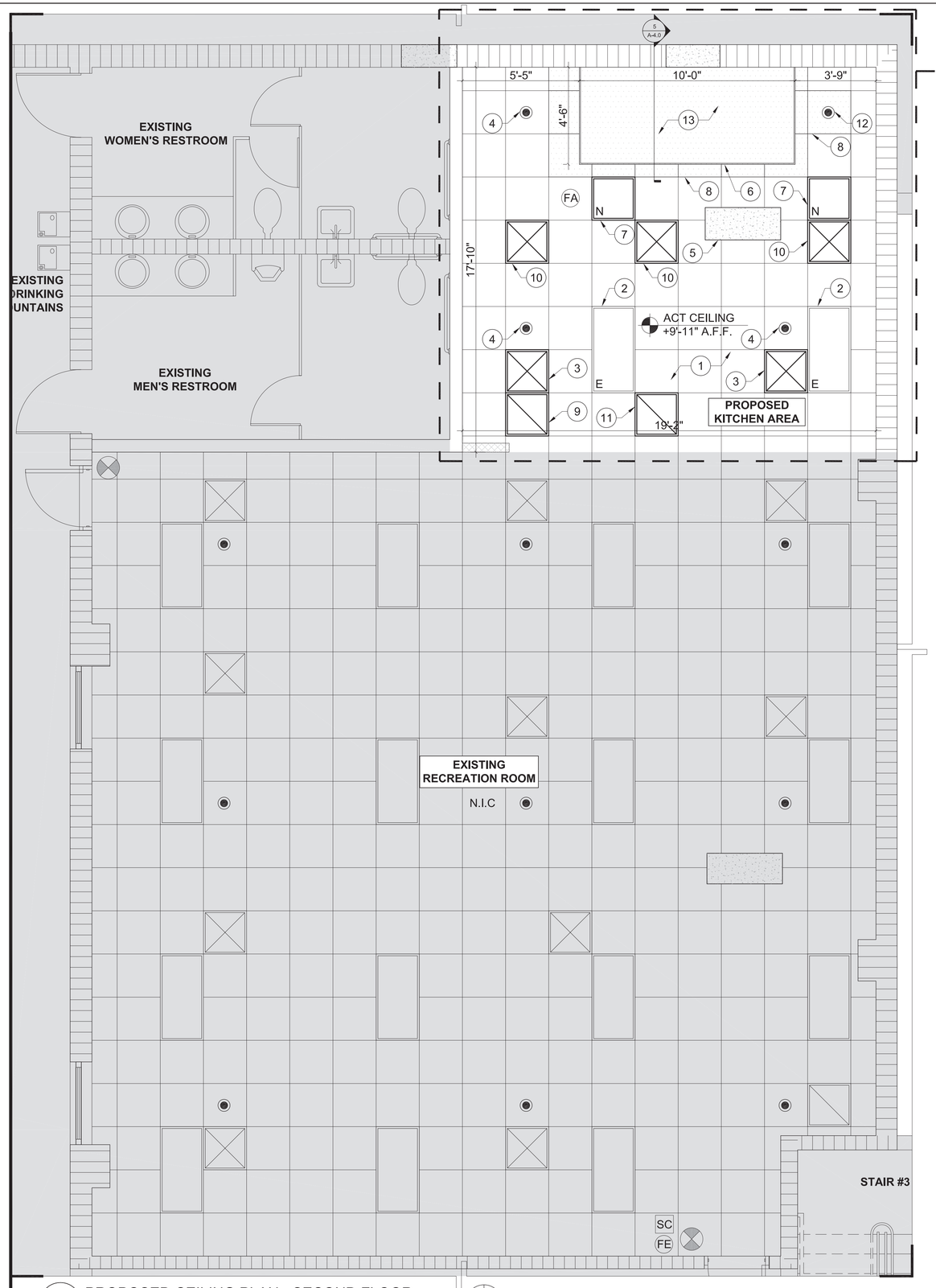
PROPOSED
FINISH PLAN

Sheet

A-1.2



1 PROPOSED CEILING PLAN - SECOND FLOOR
SCALE: 3/8" = 1'-0"

CEILING PLAN KEY NOTES

1. EXISTING CEILING TILE AND GRID TO REMAIN. ALTERNATE #1: PROVIDE ALTERNATE PRICE FOR REMOVAL OF ENTIRE CEILING AND REPLACEMENT WITH NEW.
2. EXISTING 2X4 LIGHTING FIXTURES TO REMAIN.
3. RELOCATED HVAC SUPPLY GRILL TO REMAIN.
4. EXISTING FIRE SPRINKLER TO REMAIN.
5. EXISTING COLUMN TO REMAIN.
6. PROPOSED SOFFIT ABOVE FOR NEW HOOD. REFER TO SHEET A-3.0 AND A-4.0 FOR MORE INFORMATION.
7. PROPOSED 2X2 LIGHT FIXTURE, TO MATCH EXISTING TYPE.
8. PROPOSED CEILING TILE GRID TO MATCH EXISTING.
9. PROPOSED LOCATION OF RELOCATED HVAC RETURN GRILL. REFER TO MEP DRAWINGS FOR MORE INFORMATION.
10. PROPOSED LOCATION OF NEW HVAC SUPPLY GRILL. REFER TO MEP DRAWINGS FOR MORE INFORMATION.
11. PROPOSED LOCATION OF NEW HVAC RETURN GRILL. REFER TO MEP DRAWINGS FOR MORE INFORMATION.
12. RELOCATED FIRE SPRINKLER. REFER TO MEP DRAWINGS FOR MORE INFORMATION.
13. PROPOSED HOOD. REFER TO SHEET A-3.0 AND SHEET A-4.0 FOR MORE INFORMATION.

NEW CEILING PLAN LEGEND

	NEW HEADER
2' x 2'	NEW ACOUSTICAL CEILING TILE
E 2'X4' / N 2'X2'	LIGHT FIXTURE
SUPPLY (SIZE VARIES) / RETURN	HVAC GRILL SYSTEM
EXIT SIGN / FIRE SPRINKLER HEAD / FE FIRE EXTINGUISHER / FA FIRE ALARM / SD SMOKE DETECTOR	LIFE SAFETY DEVICES
CEILING EL. 0'-0"	CEILING HEIGHT SYMBOL
1	NEW WORK KEY NOTE SYMBOL

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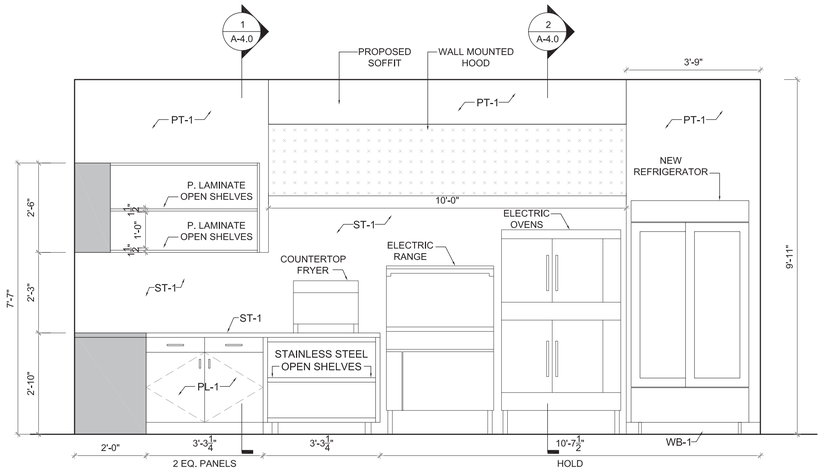
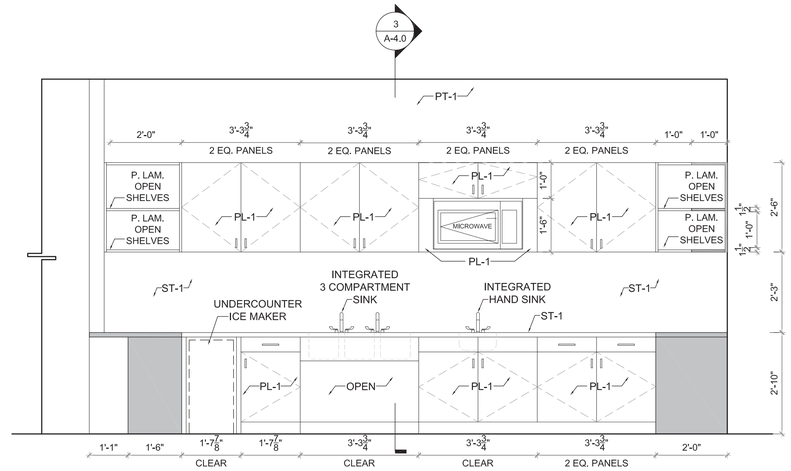
PROPOSED REFLECTED CEILING PLAN

Sheet

A-2.0



1 MILLWORK ELEVATION
1/2" = 1'-0"



2 MILLWORK ELEVATION
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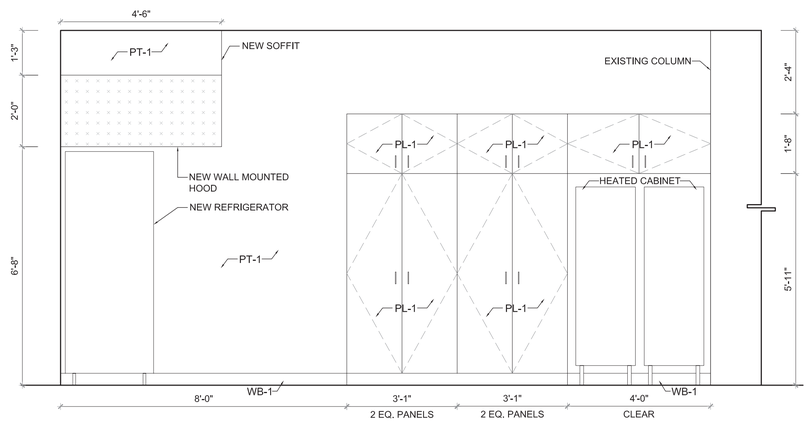

3 MILLWORK ELEVATION
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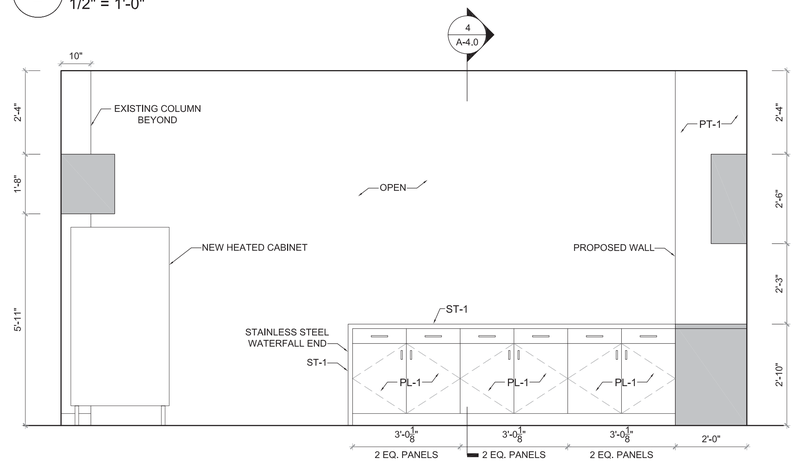

4 MILLWORK ELEVATION
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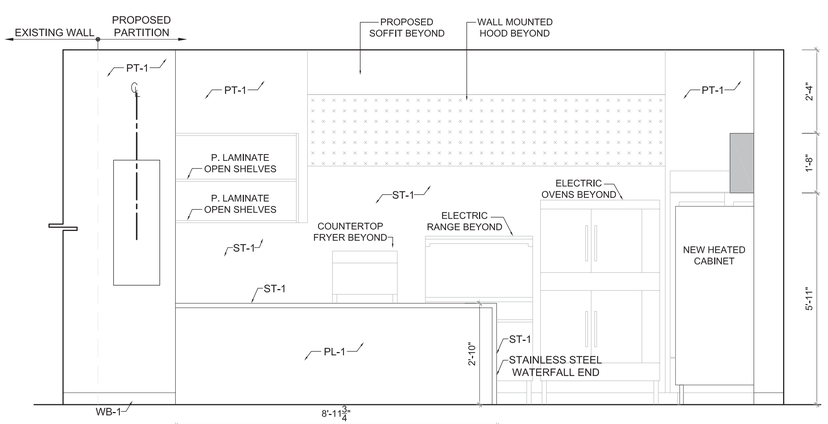

5 MILLWORK ELEVATION
1/2" = 1'-0"

GENERAL FINISH LEGEND

TAG	DESCRIPTION	SPECIFICATION
PT-1	INTERIOR PAINT	PRODUCT: PAINT COLOR: SIMPLY WHITE SW7021 FINISH: FLAT MANUFACTURER: SHERWIN WILLIAMS LOCATION: REFER TO ELEVATIONS. PROVIDE NEW PAINT FOR ENTIRE ROOM.
WB-1	TILE WALL BASE	PRODUCT: TILE WALL BASE MANUFACTURER: TBD COLOR: TBD SIZE: TBD LOCATION: REFER TO ELEVATIONS.
ST-1	STAINLESS STEEL PANELS	PRODUCT: STAINLESS STEEL WALL PANELS MODEL #: 304 METAL, 206AE COLOR: POLISHED STAINLESS STEEL MANUFACTURER: T.B.D. SIZE: REFER TO ELEVATIONS. V.I.F.
PL-1	PLASTIC LAMINATE	PRODUCT: CABINETRY PLASTIC LAMINATE COLOR: UPTOWN WALNUT MANUFACTURER: WILSONART SIZE: REFER TO ELEVATIONS. V.I.F.

GENERAL NOTE:

CONTRACTOR TO PROVIDE ALTERNATE PRICE FOR STAINLESS STEEL CABINETS.

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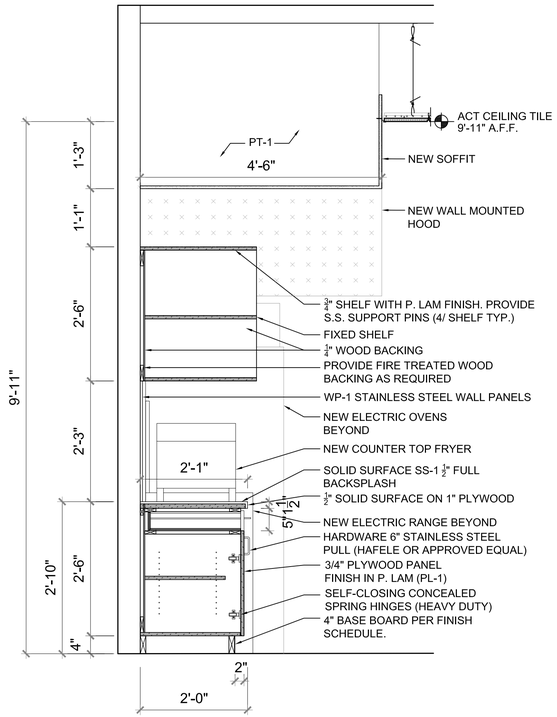
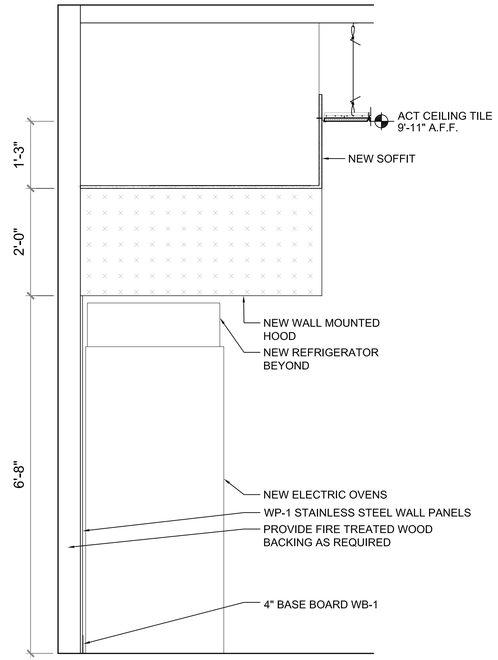
PROPOSED INTERIOR ELEVATIONS AND FINISHES

Sheet

A-3.0



1 MILLWORK SECTION
3/4" = 1'-0"



2 MILLWORK SECTION
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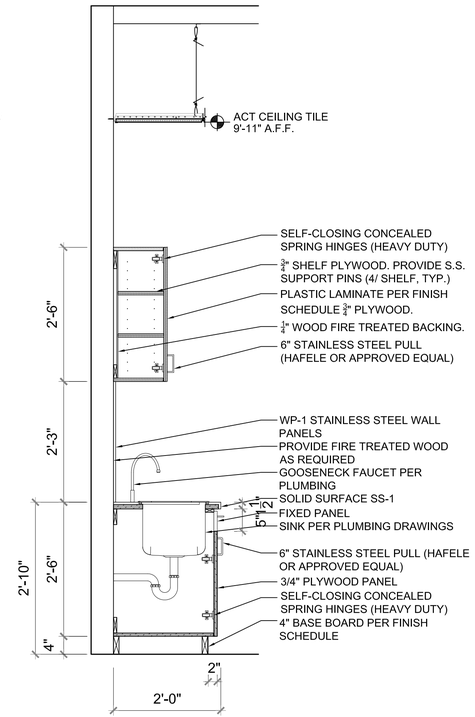
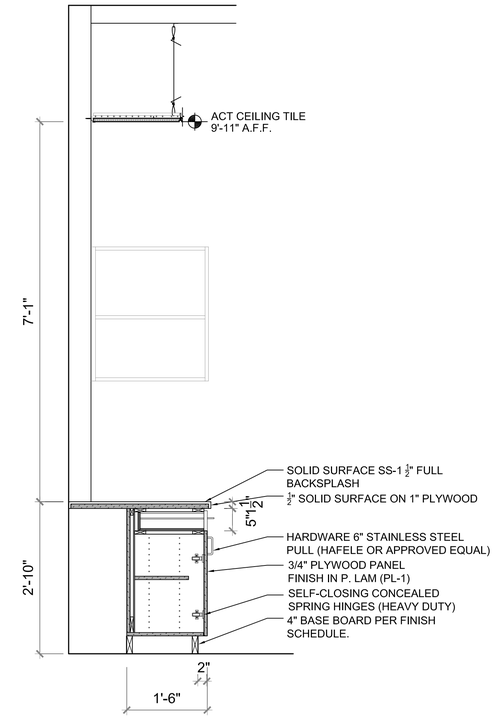
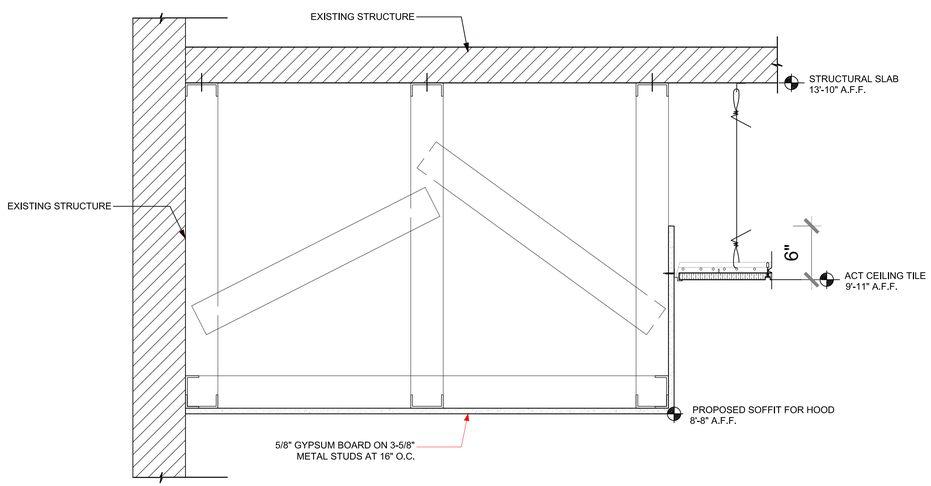


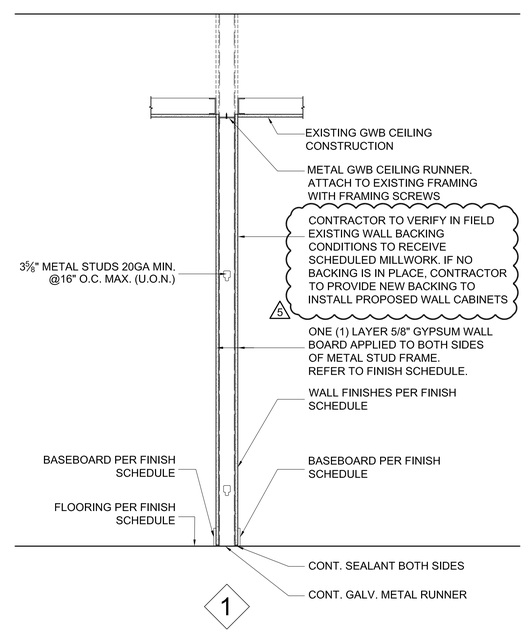
3 MILLWORK SECTION @ SINK
3/4" = 1'-0"



4 MILLWORK SECTION
3/4" = 1'-0"



5 SOFFIT DETAIL
1 1/2" = 1'-0"



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3	MIAMI DADE COMMENTS	8-31-2020
4	MIAMI DADE COMMENTS	10-28-2020
5	TOWN OF MEDLEY COMMENTS	3-8-2021
5 6	TOWN OF MEDLEY COMMENTS	3-30-2021

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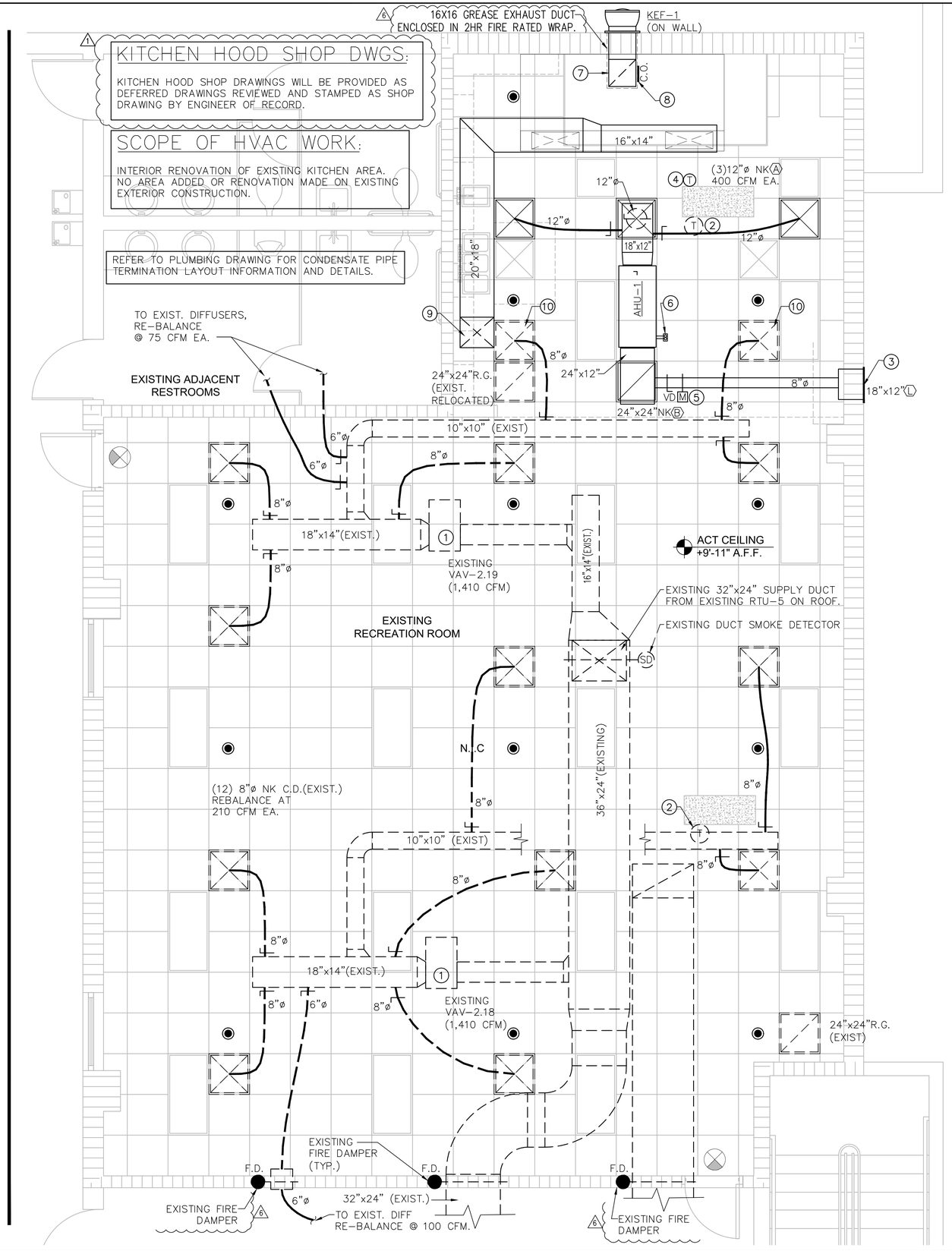
PROPOSED INTERIOR ELEVATIONS AND FINISHES

Sheet

A-4.0



KEY NOTES – HVAC:

1. EXISTING VAV-BOX IN CEILING SPACE TO REMAIN. RE-BALANCE AT 1,410 CFM.
2. EXISTING THERMOSTAT SENSOR. VERIFY LOCATION
3. OUTSIDE AIR INTAKE LOUVER. PROVIDE INSEC SCREEN. LOUVER SHALL BE MIAMI DADE HURRICANE RESISTANT POTTORFF MANUFACTURER MODEL EFD-637-MD, NOA 18-1211.08 (OR EQUAL) INSTALL LOUVER AS HIGH AS POSSIBLE. LOUVER SHALL BE SEPARATE 10'-0" MIN. FROM ANY EXHAUST OPENING.
4. PROGRAMMABLE THERMOSTAT IN A PLASTIC TAMPER COVER, 48" A.F.F.
5. MOTORIZED DAMPER (NORMALLY OPEN). DAMPER SHALL BE TURN TO CLOSED POSITION DURING SPACE UNOCCUPIED HOURS.
6. REFRIGERANT PIPES THROUGH ROOF PENETRATION COWL. SEE DETAIL.
7. 16"x16" EXHAUST AIR DUCTWORK TO KEF-1 ON WALL.
8. CLEAN-OUT ACCESS PANEL.
9. FULL SIZE DISCHARGE FROM KSF-1 ON ROOF.
10. DIFFUSER RELOCATED AS SHOWN.

TYPE I HOOD SYSTEM SHALL BE DESIGNED AND INSTALLED TO AUTOMATICALLY ACTIVATE THE EXHAUST FAN WHENEVER COOKING OPERATIONS OCCUR. THE ACTIVATION OF THE EXHAUST FAN SHALL OCCUR THROUGH AN INTERLOCK WITH THE COOKING APPLIANCES, BY MEANS OF HEAT SENSORS OR BY MEANS OF OTHER APPROVED METHODS. COMPLYING WITH F.M.C. 507.2.1.1

FIRE MODE REQUIRES THE EXHAUST FAN TO CONTINUE TO OPERATE; SUPPLY FAN STOPS AND ACTIVATES BUILDING ALARM SYSTEM. HOOD EXHAUST FAN SHALL OPERATE WHENEVER THE EXTINGUISHING SYSTEM (FIRE SUPPRESSION SYSTEM) IS ACTIVATED.

GENERAL NOTES-HOOD DUCTWORK

1. SQUARE THROAT ELBOWS ARE NOT PERMITED.
2. HOOD EXHAUST DUCTS. MATERIAL: 16 GAUGE GALVANIZED STEEL CONSTRUCTION. ALL CONTINUOUS LIQUID TIGHT EXTERNAL WELDS. PROVIDE DUCT ACCESS PANELS AT ALL ELBOWS & TURNS, AND AT 10 FT. INTERVALS IN HORIZONTAL RUNS CONSTRUCTED & INSTALLED AS PER NFPA 96.HORIZONTAL DUCTS TO HAVE A MINIMUM 1/4 SLOPE TOWARD THE HOOD, WITHOUT FORMING DIPS OR TRAPS WHICH MIGHT COLLECT RESIDUES.
3. HOOD SUPPLY DUCTS. 24 GA. GALVANIZED-STEEL CONSTRUCTION.

1 MECHANICAL CEILING PLAN
SCALE: 3/8" = 1'-0"

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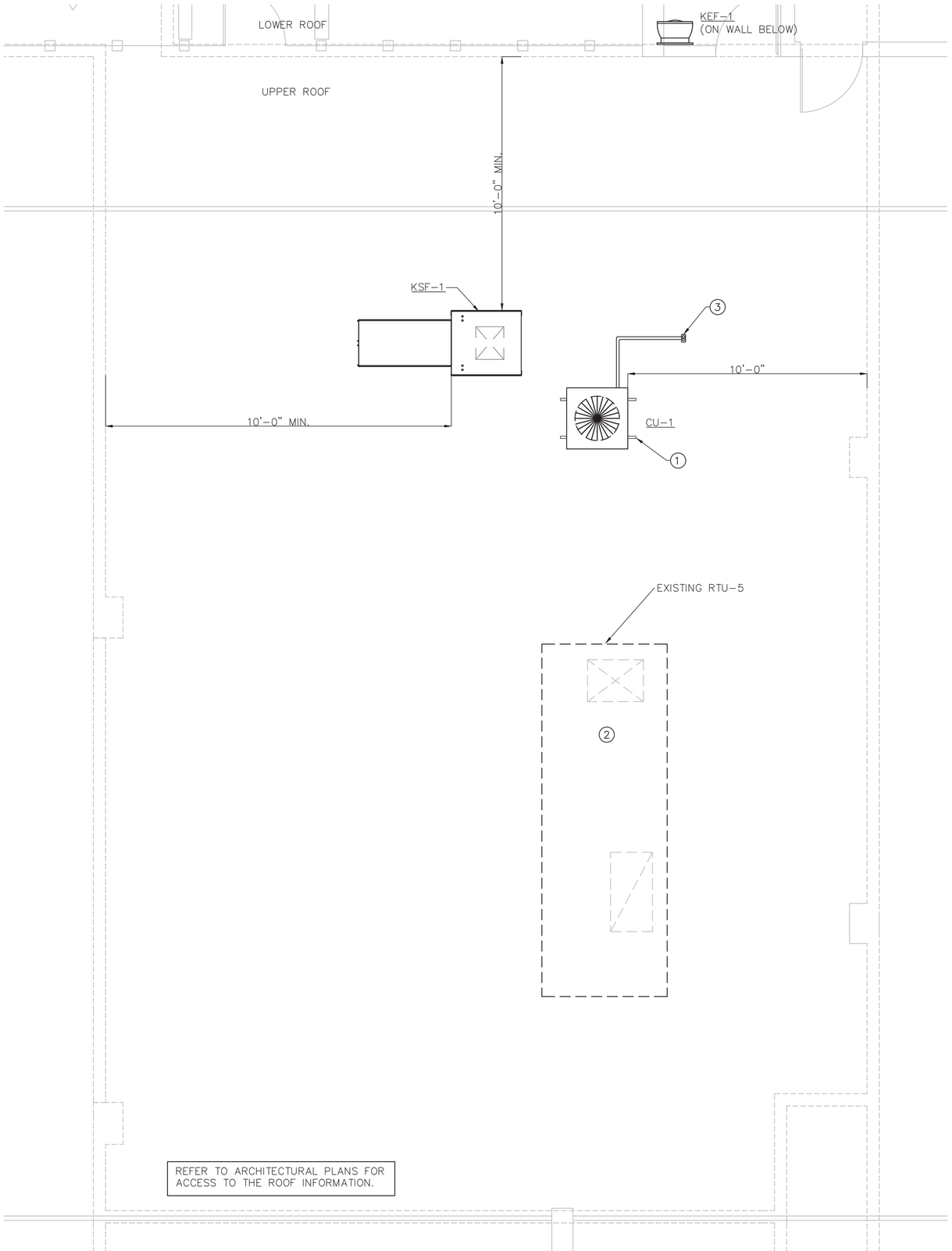
MECHANICAL CEILING PLAN

Sheet

M-1.0



KEY NOTES – HVAC:

1. CONDENSING UNIT ON ROOF RACK SUPPORT. SEE DETAIL.
2. EXISTING RTU–5.
3. REFRIGERANT PIPES THROUGH ROOF PENETRATION COWL. SEE DETAIL.

1 MECHANICAL ROOF PLAN
SCALE: 3/8" = 1'-0"

N

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MEDLEY MUNICIPAL SERVICES BUILDING RECREATION ROOM RENOVATION

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Seal:

Eduardo H. Muhina, AR 0014862

Revisions

NUMBER	ISSUE	DATE
1	100% CD REVIEW SET	04-09-2020

Sheet Information

Date	04-09-2020
RDG Job Number	19020
Scale	AS SHOWN
Drawn	JM, TB, HI
Checked	JM, TB, HI
Approved	JM

Title

MECHANICAL ROOF PLAN

Sheet

M-1.1

H.V.A.C. GENERAL NOTES

1. GENERAL

1.1 PROVIDE (FURNISH AND INSTALL) ALL NECESSARY MATERIALS AND LABOR FOR A COMPLETELY OPERATIONAL AIR CONDITIONING, HEATING AND VENTILATING SYSTEM AS SHOWN ON THE DRAWINGS AND HEREIN SPECIFIED

1.2 INSTALL IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, ASH RAE, SMACNA, NFPA AND LOCAL ORDINANCES.

1.3 SCOPE OF WORK :
PROVIDE THE FOLLOWING COMPLETE SYSTEMS:
A. SUPPLY AND RETURN DUCT SYSTEM.
B. EXHAUST SYSTEM FOR TOILET ROOMS.
C. AIR CONDITIONING UNITS WITH REFRIGERANT PIPING AND CONTROLS.
D. INDEPENDENT TEST AND BALANCE.

1.4 CONTRACTOR MUST BE FAMILIAR WITH THIS TYPE OF INSTALLATION AND THOROUGHLY UNDERSTAND ALL THE REQUIREMENTS FOR THE INSTAUATION OF EACH PIECE OF EQUIPMENT HEREIN SHOWN. ITS PROPER OPERATION REQUIREMENTS AND TESTING PROCEDURES FOR CITY APPROVALS.

1.5 PAY FOR ALL FEES. INSPECTIONS AND CONNECTION CHARGES REQUIRED

1.6 VERIFY AT JOB SITE ALL SPACE CONDITIONS, DIMENSIONS AND EQUIPMENT SIZES PRIOR TO DUCT FABRICATION OR INSTALLATION. COORDINATE REQUIREMENTS TO AVOID INTERFERENCE WITH OTHER TRADES.

1.7 NATURE OF DESIGN DRAWINGS:
DESIGN DRAWINGS ARE DIAGRAMMATIC AND DO NOT INTEND TO SHOW EVERY FITTING, ELBOW, TRANSITION, ETC., THAT WILL BE NECESSARY FOR A COMPLETE OPERATIONAL SYSTEM AS REQUIRED BY THESE SPECIFICATIONS.

1.8 COORDINATION DRAWINGS:
PREPARE 1/4" SCALE COORDINATION DRAWINGS SHOWING MAJOR SYSTEM COMPONENTS FOR ARCHITECT AND/OR ENGINEER APPROVAL.

1.9 SUBMIT SHOP DRAWINGS FOR ARCHITECT AND/OR ENGINEER APPROVAL BEFORE PROCEEDING WITH THE PURCHASE OR INSTALLATION OF EQUIPMENT AND MATERIALS. SUBMIT ALL AT ONCE IN A BINDER WITH AN INDEX AND DIVIDERS AS REQUIRED TO SEPARATE ALL DIFFERENT MATERIALS AND EQUIPMENT.

1.10 GUARANTEE ALL WORK FREE OF DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.

2. MATERIALS

2.1 DUCTWORK: ALL JOINTS SEALED WITH HIGH PRESSURE MASTIC.

2.1.1 GENERAL. ALL DUCT SIZES SHOWN ARE CLEAR INSIDE DIMENSIONS.

2.1.2 DUCTWORK MATERIALS:
A. CONCEALED SUPPLY AND RETURN AIR DUCTS SHALL BE GALVANIZED SHEET METAL DOUBLE WALL, CONSTRUCTED AND INSTALLED ACCORDING TO LATEST EDITION OF SMACNA'S LOW PRESSURE CONSTRUCTION STANDARD. RECOMMENDATIONS, AND SMACNA'S STANDARDS.

B. ROOM EXHAUST AND FRESH AIR INTAKES: GALVANIZED SHEET METAL, CONSTRUCTED AND INSTALLED ACCORDING TO LATEST EDITION OF SMACNA'S LOW PRESSURE CONSTRUCTION STANDARD. (0.5" W.G.) SEAL ALL JOINTS WITH APPROVED FIRE RATED MASTIC. (30 GAUGE MINIMUM)

2.1.3 DUCT INSULATION: (ALL A/C SUPPLY & RETURN) 1-1/2" THICK, 1-1/2 LB. DENSITY GLASS FIBER BLANKET WITH REINFORCED ALUMINUM FOIL VAPOR BARRIER. SEAL ALL JOINTS WITH APPROVED FIRE RATED MASTIC.

2.1.4 ACOUSTICAL LINING: (ALL A/C SUPPLY & RETURN) LINE FIRST 10 FEET FROM UNIT WITH 1" THICK GLASS FIBER MATT FACED. PAINT WITH ANTIBACTERIAL COATING. ATTACH TO DUCT WITH APPROVED SMACNA'S PROCEDURE.

2.1.5 EXPOSED DUCT DROP OFF FROM MAIN DUCT TO DIFFUSERS NECK SHALL BE OF GALVANIZED SHEET METAL, CONSTRUCTED AND INSTALLED ACCORDING TO LATEST EDITION OF SMACNA'S LOW PRESSURE CONSTRUCTION STANDARD. SEAL ALL JOINTS WITH APPROVED FIRE RATED MASTIC. LINE DUCTWORK INTERIOR WITH 1" THICK GLASS FIBER MATT FACED. PAINT WITH ANTIBACTERIAL COATING. ATTACH TO DUCT WITH APPROVED SMACNA PROCEDURE.

2.1.6 DUCTWORK ACCESSORIES:
A. PROVIDE DOUBLE THICKNESS TURNING VANES AT ALL SQUARE ELBOWS. WHERE THE ELBOWS ARE RECTANGULAR, INSTALL SINGLE THICKNESS INSTEAD.
A1. ALTERNATE A: PROVIDE 3-PIECE ELBOWS IN LIEU OF TURNING VANES FOR GLASS FIBER DUCTS ONLY.
A2. ALTERNATE A: PROVIDE FULL RADIUS ELBOWS IN LIEU OF TURNING VANES.
B. PROVIDE VOLUME EXTRACTORS BEHIND EACH SUPPLY OUTLET PJND AT EACH DUCT BRANCH.

2.2 AIR DISTRIBUTION PRODUCTS:

2.2.1 PROVIDE SUPPLY AND RETURN GRILLES AND DIFFUSERS AS INDICATED ON THE DRAWINGS.

2.2.2 PROVIDE EXTRUDED ALL ALUMINUM AIR DISTRIBUTION PRODUCTS.

2.2.3 PROVIDE FINISHES AND TYPES OF MOUNT IN COORDINATION WITH THE CEILING TYPES AS SHOWN ON ARCHITECTURAL DRAWINGS.

2.2.4 PROVIDE OPPOSED BLADE, KEY OPERATED DAMPERS BEHIND ALL AIR SUPPLY OUTLETS.

2.2.5 PROVIDE ACCESS PANELS IN WALLS OR CEILING FOR DAMPERS, CONTROL DEVICES, ETC. ACCESS PANELS SHALL BE MILCOR FLUSH TYPE.

2.3 FIRE DAMPERS:

2.3.1 FURNISH AND INSTALL FIRE DAMPERS WHERE INDICATED ON DRAWINGS. THESE DAMPERS SHALL BE CO-INSTALLED TO CONFORM TO NFPA 90A, AND UL 555-1968. PROVIDE DUCT ACCESS DOORS FOR ACCESSIBILITY TO FIRE DAMPERS. FIRE DAMPERS SHALL BEAR UL LABEL AND SHALL PROVIDE 100% FREE AREA, SPACE PERMITING.

2.4 PIPING

2.4.1 REFRIGERANT PIPING. SEAMLESS COPPER TYPE "L" AND HARD OR SOFT DRAWN ON ACR COPPER TUBING WITH WROUGHT COPPER BRAZED JOINT FITTINGS, WITH SILVER BRAZING CONTAINING NOT LESS THAN 49% SILVER.

2.4.2 PIPING INSULATION:
INSULATE ALL REFRIGERANT SUCTION PIPING WITH 3/4" CLOSED CELL POLYETHYLENE PRE MOLDED INSULATION, WITH AN APPROVED PIPE AND SMOKE JACKET. PAINT ALL EXPOSED INSULATION WITH TWO COATS OF WHITE LATEX PAINT.

2.5 ALL AIR CONDITIONING COMPRESSORS SHALL BE WARRANTED FOR A MINIMUM OF FIVE YEARS AFTER DATE OF ACCEPTANCE OF THE PROJECT.

2.6 CONTROLS:

2.6.1 GENERAL:
PROVIDE THE NECESSARY AUTOMATIC CONTROLS FOR PROPER OPERATION OF ALL EQUIPMENT SPECIFIED HEREIN. FURNISH MAGNETIC STARTERS AND INTERLOCK WIRING INDICATED FOR EACH PIECE OF EQUIPMENT.

2.6.2 PUBLIC AREA DX EQUIPMENT:
PROVIDE AIR CONDITIONING UNITS WITH PROGRAMMABLE MATCHING LOW VOLTAGE HEAT -COOL THERMOSTATS WITH ON-OFF AUTO SUB-BASE SWITCH, FURNISHED BY THE EQUIPMENT MANUFACTURER WITH HEAT-COOL STEPS AS REQUIRED.

2.6.3 CONTROL WIRING:
PROVIDE (FURNISH & INSTALL) POWER SUPPLY WIRING SOURCE TO POWER CONNECTION, INCLUDE STARTERS, DISCONNECTS AND REQUIRED ELECTRICAL DEVICES, INTERLOCK WIRING, RACEWAY, CONDUITS, PULL WIRES AND EXPOSED CONDUITS FOR TEMPERATURE CONTROL SYSTEM. ALL WIRING SHALL RUN IN CONDUITS. NO EXCEPTION.

2.7 STARTERS:
PROVIDE MAGNETIC STARTER FOR ALL MECHANICAL EQUIPMENT IN THIS SECTION, OF TYPE DESCRIBED ON THE SCHEDULES WITH HAND-OFF-AUTO BUTTON POSITIONS ON THE COVER AND RED-GREEN PILOT LIGHTS. PROVIDE THE NECESSARY AUXILIARY OPEN AND CLOSED CONTACTS FOR THE INTENDED OPERATION AND INTERLOCKS.

2.8 IDENTIFICATION:
LABEL ALL EQUIPMENT WITH ENGRAVED BLACK PLASTIC PLAQUES 12" X 4" HIGH WITH 1.5" LETTERS.

3. EXECUTION

3.1 INSTALL ALL EQUIPMENT AND MATERIALS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S MANUALS AND RECOMMENDATIONS, PAYING SPECIAL ATTENTION TO REQUIRED CLEARANCES FOR INSTALLATION, OPERATION AND SERVICE.

3.2 SEAL ALL DUCT JOINTS WITH APPROVED FIRE AND SMOKE RATED HIGH PRESSURE MASTIC.

3.3 THERMOSTAT LOCATION:
THERMOSTAT LOCATION IS CRITICAL TO PROPER EQUIPMENT OPERATION. INSTALL THERMOSTAT AT LOCATIONS SHOWN ON PLANS. RELOCATE ONLY WHEN APPROVED BY THE ARCHITECT AND/OR ENGINEER IN WRITING.

3.4 WHERE R/A IS PROPOSED BY WAY OF DOOR UNDERCUTS. PROVIDE A MINIMUM 1" CLEAR SPACE BETWEEN THE BOTTOM OF THE DOOR AND THE FLOOR FINISH CARPET OR TILE.

3.5 EQUIPMENT MUST OPERATE FREE OF OBJECTIONABLE NOISE AND VIBRATION. REPAIR AND/OR REPLACE ALL SOURCES OF NOISE AND VIBRATION FOUND TO BE OBJECTIONABLE. TO THE SATISFACTION OF THE ARCHITECT AND/OR ENGINEER.

3.6 TEST AND BALANCE:

3.6.1 BALANCE ALL SYSTEMS TO PROVIDE AIR QUANTITIES AND CAPACITIES TO MATCH SPECIFIED FLOWS & CAPACITIES.

3.6.2 NOTIFY ARCHITECT AND/OR ENGINEER OF ANY DEFICIENCIES NOTED DURING TESTING AND BALANCING.

3.6.3 CALIBRATE FLOWS TO NEW EQUIPMENT PER MANUFACTURER'S REQUIREMENTS BEFORE COMPLETING TEST AND. BALANCE PROCEDURES.

3.6.4 ALLOW NECESSARY TIME FOR IMPLEMENTING PROPOSED SOLUTIONS BEFORE CONTINUING WITH TEST AND BALANCE.

3.6.5 AT END OF TEST AND BALANCE ISSUE A COMPLETE REPORT FOR ARCHITECT AND/OR ENGINEER APPROVAL AND ALLOW TIME AND PROVIDE NECESSARY INSTRUMENTS FOR SPOT CHECKING WITH ARCHITECT AND/OR ENGINEER.

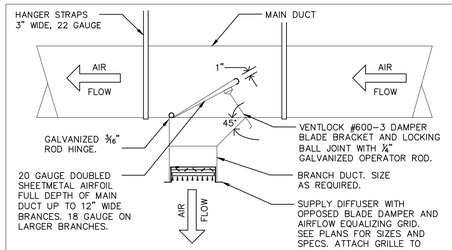
3.6.6 SUBMIT FINAL TEST AND BALANCE REPORT TO ARCHITECT AND/OR ENGINEER FOR ACCEPTANCE. AIR QUANTITIES SHOWN ARE TO BE ADJUSTED AS REQUIRED TO MEET SPECIFIC JOB CONDITIONS.

3.7 STRICTLY FOLLOW ALL MANUFACTURER'S INSTALLATION MANUALS AND INSTRUCTIONS IN THE INSTALLATION OF ALL EQUIPMENT. OBTAIN, FROM EACH MANUFACTURER. PROPER CERTIFICATION FOR THE ADEQUACY OF THE INSTALLATION OF ALL PIECES OF EQUIPMENT BEFORE PLACING SYSTEM IN OPERATION.

3.8 PROVIDE MAINTENANCE AND OPERATION MANUAL

3.9 PROVIDE AS-BUILT REPRODUCIBLE DRAWINGS.

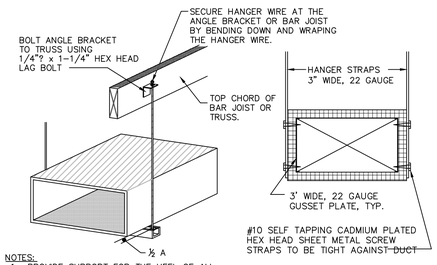
3.10 PROVIDE INSTRUCTION AND/OR TRAINING TO OWNER'S DESIGNATED PERSONNEL.



"B" SUPPLY DIFFUSER-DUCT TAKE-OFF DETAIL
N.T.S.

HANGER SIZES FOR RECTANGULAR DUCT

MAX SIZE	HANGER	HORIZONTAL SUPPORT CHANNEL	MAXIMUM SPACING
28"	12 GAUGE WIRE	3"X1.5" @ 24 GAUGE FOR "A" < 6"	6'-0"
48"	12 GAUGE WIRE	3"X2" @ 22 GAUGE FOR "A" < 18"	6'-0"
84"	12 GAUGE WIRE	3"X2" @ 22 GAUGE FOR "A" < 18"	4'-0"



NOTES:
1. PROVIDE SUPPORT FOR THE HEEL OF ALL ELBOWS OVER 18" WIDE.
2. PROVIDE SUPPORT AT THE INLET AND OUTLET OF ALL FITTINGS AND TRANSITIONS.
3. PROVDIE TIE ROD OR SHEET MATAL CHANNELS REINFORCING AS REQUIRED BY THE LATEST ADDITION OF THE SMACNA FIBROUS GLASS DUCT CONSTRUCTION STANDARD.

DUCTBOARD HANGER DETAIL
N.T.S.

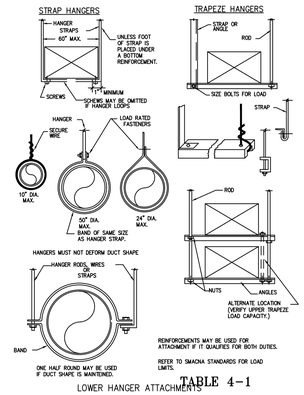


TABLE 4-1
LOWER HANGER ATTACHMENTS

RECTANGULAR DUCT HANGERS
MINIMUM SIZE

MAXIMUM HALF OF DUCT PERIMETER	PAIR AT 10 FT SPACING		PAIR AT 8 FT SPACING		PAIR AT 5 FT SPACING		PAIR AT 4 FT SPACING	
	STRAP	WIRE/ ROD	STRAP	WIRE/ ROD	STRAP	WIRE/ ROD	STRAP	WIRE/ ROD
P/2 = 30"	1"x22 GA.	10 GA. (.135")	1"x22 GA.	10 GA. (.135")	1"x22 GA.	12 GA. (.106")	1"x22 GA.	12 GA. (.106")
P/2 = 72"	1"x18 GA.	3/8"	1"x20 GA.	1/4'	1"x22 GA.	1/4"	1"x22 GA.	1/4"
P/2 = 96"	1"x16 GA.	3/8"	1"x18 GA.	3/8"	1"x20 GA.	3/8"	1"x22 GA.	1/4"
P/2 = 120"	1.5"x16 GA.	1/2"	1"x16 GA.	3/8"	1"x18 GA.	3/8'	1"x20 GA.	1/4"
P/2 = 168"	1.5"x16 GA.	1/2"	1.5"x16 GA.	1/2"	1"x16 GA.	1/2"	1"x18 GA.	3/8"
P/2 = 192"	–	1/2"	1.5"x16 GA.	1/2"	1"x16 GA.	1/2"	1"x16 GA.	3/8"
P/2 = 193" UP	SPECIAL ANALYSIS REQUIRED							

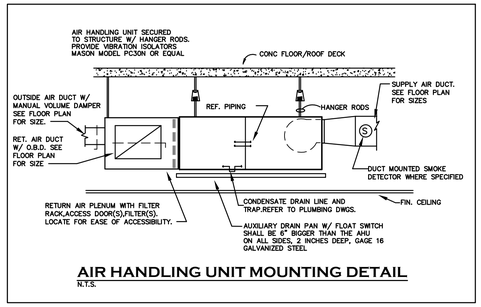
AS PER SMACNA TABLE 4-1 & FIG. 4-4

DUCT HANGER DETAIL
N.T.S.

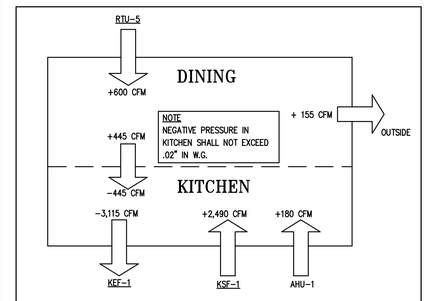
SPLIT AC UNIT SCHEDULE

	UNIT DESIGNATION	AHU-1
	AREA SERVED	SEE DWG.
	NOMINAL TONNAGE	3.0
	LOCATION	CEILING
	OPERATING WEIGHT, LBS	122
	DESIGN MANUFACTURER	CARRIER
	MODEL NUMBER	FB4CNF036T00
	SEER / MIN.	14.5
FAN SECTION		R-410
	TOTAL AIR, CFM	1,200
	VENT AIR, CFM	180 CFM
	EXTERNAL STATIC PRESSURE, IN OF WATER	0.4
	FAN MOTOR HP. (NON-OVERLOAD)	1/2-4.1 FLA
		208/1/60
	DIMENSIONS	---
CLG. COIL	FACE VELOCITY - FPM	---
	DESIGN AIR ACROSS COIL, CFM.	1,200
	GRAN TOTAL CAPACITY, BTU/HR	33,400
	TOTAL SENSIBLE CAPACITY, BTU/HR	24,500
	ENTERING AIR TEMP., F°DB/WB	80/67
	COIL MODEL NO.	----
FILTER	TYPE & THICKNESS	DISPOSABLE-1"
	QUANTITY AND SIZE	1-
HEATER	HEAT COIL TYPE	ELECT.
	ELECTRICAL SERVICE AVAILABLE	208/1/60
	AUXILIARY ELECTRIC HEAT, KW	34,130 BTUH
	STAGES & KW PER STAGE	1/10.0 KW
	MCI/MOCP	53.8/60
AIR COOLED CONDENSING UNIT	UNIT DESIGNATION	CU-1
	TYPE OF FAN	PROP.
	NO. OF FANS AND HP	1- 0.5 FLA
	AMBIENT AIR TEMP. F DB	95
	CONDENSING TEMP. F DB	---
	NO. OF COMPRESSORS/ TYPE	1/SCROLL
	COMPRESSORS F.L.A./L.R.A. EACH	14.1/77.0
	CAPACITY REDUCTION.	0-100%
	MIN. CIRC. AMP	18.1
	MAX. CIRC. PROT.	30
	ELECTRICAL SERVICE AVAILABLE	208/1/60
	OPERATING WEIGHT, LBS	165
	DESIGN MANUFACTURER	CARRIER
	MODEL NUMBER	CA16NA036
	REFRIG. PIPE SIZE, SUCTION/LIQUID	7/8"-3/8"

NOTES:
1. ALL THERMOSTAT SHALL BE PROGRAMMABLE THERMOSTAT.
2. FAN COIL UNIT SHALL BE PROVIDED WITH FACTORY INSTALLED CIRCUIT BREAKER.
3. PROVIDE AUXILIARY DRAIN PAN WITH FLOAT SWITCH TO STOP UNIT AND AVOID OVERFLOW IF ACTIVATED.



AIR HANDLING UNIT MOUNTING DETAIL
N.T.S.



O/A BALANCE DIAGRAM
NOT TO SCALE

OUTDOOR AIR CALCULATIONS
AS PER FL BLDG CODE 2017 (TABLE 403.3)

AREA DESIGNATION	NET AREA	PERSONS/ 1000 ☐'	TOTAL PERSONS	CFM / PERSONS	CFM / FT2	CFM REQUIRED	CFM PROVIDED	SYSTEM DESIGNATION
DINING AREA	1,322	70	92	7.5	0.18	778	780	RTU-5 (EXISTING) (600 CFM)
KITCHEN AREA	348	--	--	--	0.7**	243		KEF-1

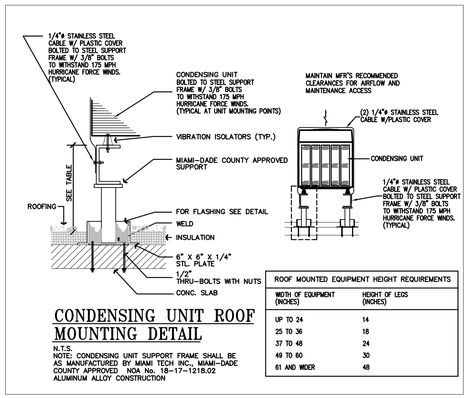
(**) MIN. EXHAUST RATE (TABLE 403.3 2017 FBCM)
REQUIRED EXHAUST: 243 CFM
PROVIDED EXHAUST: 625 CFM BY EXHAUST FAN KEF-1 > 243 CFM

AIR DISTRIBUTION SCHEDULE

TYPE	DESCRIPTION	ACCESSORIES	MANUFACTURER & MODEL NO.
A	CEILING DIFFUSER	OPPOSED BLADE DAMPER	TITUS-TDC-AA 24" MODULE
B	FILTER RETURN GRILLE	---	TITUS-4FL
L	ALUMINUM LOUVER	---	POTTORFF EFD-637-MD NOA: 18-1211.08

HVAC DESIGN REQUIRES:	YES	NO
DUCT SMOKE DETECTOR (EXISTING)	✓	
FIRE DAMPER (EXISTING)	✓	
SMOKE DETECTOR		✓
FIRE RATED ENCLOSURE		✓
FIRE RATED ROOF CELING ASSEMBLY		✓
FIRE STOPPING		✓
SMOKE CONTROL		✓

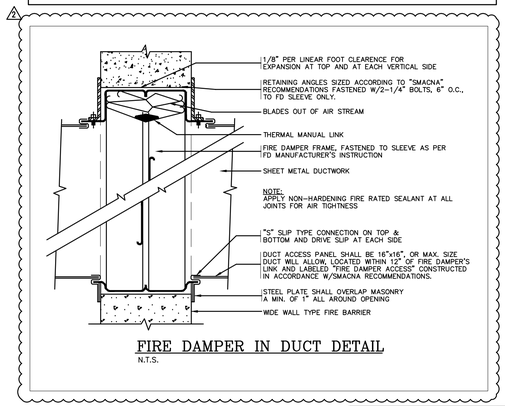
6



CONDENSING UNIT ROOF MOUNTING DETAIL
N.T.S.
NOTE: CONDENSING UNIT SUPPORT FRAME SHALL BE AS MANUFACTURED BY MIAMI TECH INC., MIAMI-DADE COUNTY APPROVED NOA No. 18-17-1218.02 ALUMINUM ALLOY CONSTRUCTION

ROOF MOUNTED EQUIPMENT HEIGHT REQUIREMENTS	
WIDTH OF EQUIPMENT (INCHES)	HEIGHT OF LEGS (INCHES)
UP TO 24	14
25 TO 36	18
37 TO 48	24
49 TO 60	30
61 AND WIDER	48

2



FIRE DAMPER IN DUCT DETAIL
N.T.S.

1 MECHANICAL NOTES, DETAILS AND SCHEDULES
SCALE: N.T.S.

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Eduardo H. Muhina, AR 0014862

Revisions

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1	100% CD REVIEW SET	04-09-2020
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6	B.D.C.	04-06-2021

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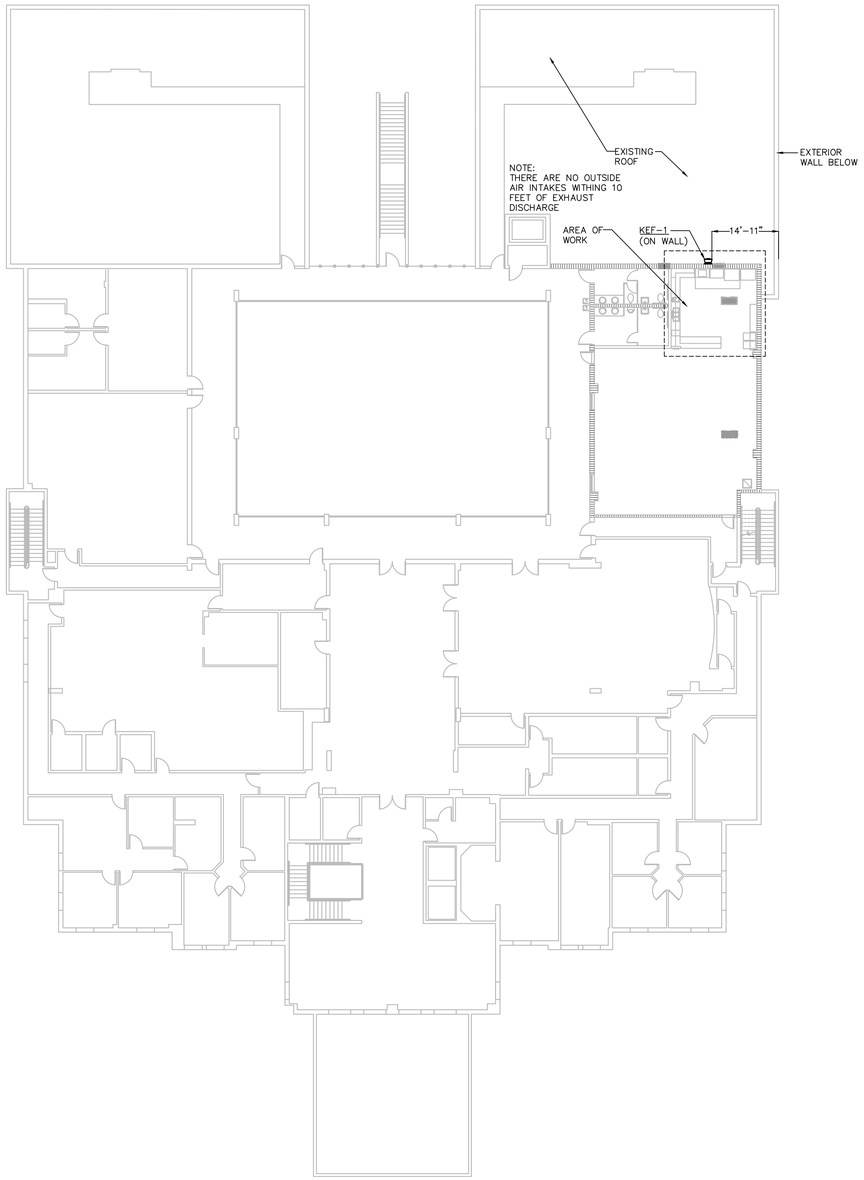
Approved	JM

Title

MECHANICAL NOTES DETAILS & SCHEDULES

Sheet

M-2.0



1 OVERALL SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"

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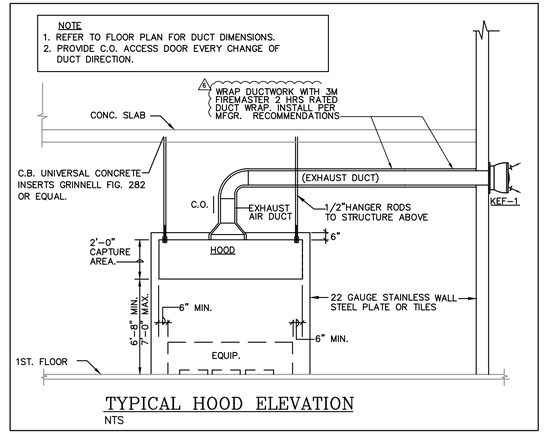
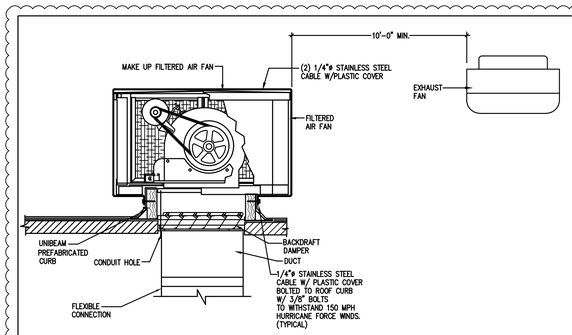


TYPICAL HOOD ELEVATION
NTS



SUPPLY FAN ROOF MOUNTING DETAIL
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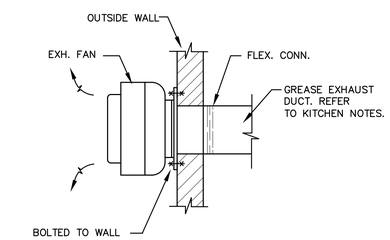

KEF-1 FAN MOUNTING DETAIL
N.T.S.

2 MECHANICAL DETAILS
SCALE: N.T.S.

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MEDLEY MUNICIPAL SERVICES BUILDING RECREATION ROOM RENOVATION

7777 NW 72ND AVENUE MEDLEY, FLORIDA 33166

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Seal:

Eduardo H. Muhina, AR 0014862

Revisions

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1	100% CD REVIEW SET	04-09-2020
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Title

MECHANICAL DETAILS

Sheet

M-2.1

NOTES:

A. ALL WORK HEREIN DESCRIBED AND SHOWN ON DRAWINGS AND REQUIRED TO MAKE PROJECT COMPLETE IN EVERY RESPECT, PLUS ANY AND ALL PATCHING NECESSARY SHALL BE DONE TO THE COMPLETE SATISFACTION OF THE ARCHITECT/ENGINEER AND/OR OWNER AND SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS. ALL MATERIALS SHALL MATCH EXISTING WHERE APPLICABLE AND ALL CONSTRUCTION AND ALTERATION LEFT IN NEW CONDITION.

B. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO VISIT THE PROJECT SITE, EXAMINE THE CONDITIONS OF THE EXISTING AREA OF DEMOLITION. PROVIDE TEMPORARY POWER FOR THIS DEMOLITION WORK. ADDITIONAL COSTS TO ACHIEVE THE INTENDED SCOPE OF WORK WILL NOT BE ACCEPTED.

C. CONTRACTOR SHALL COORDINATE ALL WORK WITH OWNER TO DETERMINE OWNER'S REQUIREMENTS REGARDING ACCESS, TIME OF WORK, PROTECTION OD EXISTING CONDITIONS, ETC.

D. ALL ITEMS TO BE REMOVED SHALL BE REMOVED WITH UTMOST CARE AND WITHOUT DAMAGE AND THOSE ITEMS NOT DESIGNATED TO BE REUSED SHALL BE DELIVERED TO THE OWNER OR DISPOSED OF AS PER HIS WRITTEN INSTRUCTIONS.

E. ALL ALTERATIONS, DEMOLITION AND REMOVAL, CUTTING AND PATCHING AND OTHER WORK NECESSARY FOR CONSTRUCTION OF THIS CONTRACT SHALL BE PERFORMED WITHOUT ADDITIONAL COST TO THE OWNER. THIS SHALL INCLUDE REMOVAL, REROUTING, ETC. OF ALL ELECTRICAL ITEMS REQUIRED TO COMPLETE INSTALLATION INTENDED.

F. PATCH OR REPLACE ALL DAMAGED FLOOR, WALL, CEILING, ETC. SURFACES ALTERED TO ACCOMMODATE THE NEW CONSTRUCTION. PATCHED SURFACES SHALL MATCH EXISTING ADJACENT SURFACES.

G. ALL CUTTING, PATCHING, DEMOLITION, REPAIRING, REPLACING ETC. NECESSARY UNDER THIS CONTRACT SHALL BE COORDINATED BY THE GENERAL CONTRACTOR. WHERE THE GENERAL CONTRACTOR. WHERE APPLICABLE COORDINATE WORK WITH UTILITY COMPANIES, LOCAL AND STATE AUTHORITIES HAVING JURISDICTION, OWNER'S REPRESENTATIVES AND ALL APPLICABLE CODES.

H. WHERE ALTERATIONS TAKE PLACE IN OCCUPIED AREAS, CONTRACTOR SHALL CLEAN UP DAILY, AND NOISE SHALL BE KEPT TO A MINIMUM.

I. NONE OF THE SERVICES TO EXISTING BUILDINGS SHALL BE DISRUPTED IN ANY WAY EXCEPT WITH THE WRITTEN PERMISSION OF THE OWNER.

J. ALL EQUIPMENT PRESENTLY "HOT" AND REQUIRED TO BE MAINTAINED SHALL BE RETURNED TO THIS CONDITION AFTER PERFORMING THE CHANGES TO EXISTING BUILDING. REROUTE CONDUITS AND EXTEND OR REPLACE CIRCUITS AS REQUIRED. PERFORM WORK AT CONVENIENCE OF THE OWNER.

K. WHERE WIRING DEVICES ARE SHOWN TO BE REMOVED ON PLANS, REMOVE ALL ASSOCIATED WIRING AND CONDUIT BACK TO THE SOURCE OR MAINTAIN CONTINUITY

OF THE CIRCUIT IF OTHER LOADS ARE SERVED FORM THE SAME CIRCUIT. CONSOLIDATE PARTIALLY LOADED CONVENIENCE RECEPTACLE CIRCUITS TO MAXIMIZE SPACE MADE AVAILABLE AT THE PANELBOARD.

L. WHERE NEW WORK IS INDICATED IN EXISTING ELECTRICAL PANELBOARDS CONTRACTOR SHALL UPDATE ALL DIRECTORIES IN EXISTING PANEL BOARDS

M. EXECUTE ALL WORK IN SUCH A MANNER TO AVOID INTERFERENCE WITH THE USE OF PASSAGE TO AND FROM ADJOINING BUILDING OR AREAS.

N. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGE TO EXISTING BUILDING AND TO CONTENTS THEREOF INCLUDING MACHINERY, FURNITURE, EQUIPMENT, ETC. AND DAMAGE TO BUILDINGS OR CONTENTS THEREOF DUE TO CONTRACTOR OPERATIONS, SHALL BE REPAIRED OF REPLACED AT DIRECTION OF ARCHITECT/ENGINEER, AND/OR OWNER, THE CONTRACTOR, AT NO EXTRA COST TO THE OWNER.

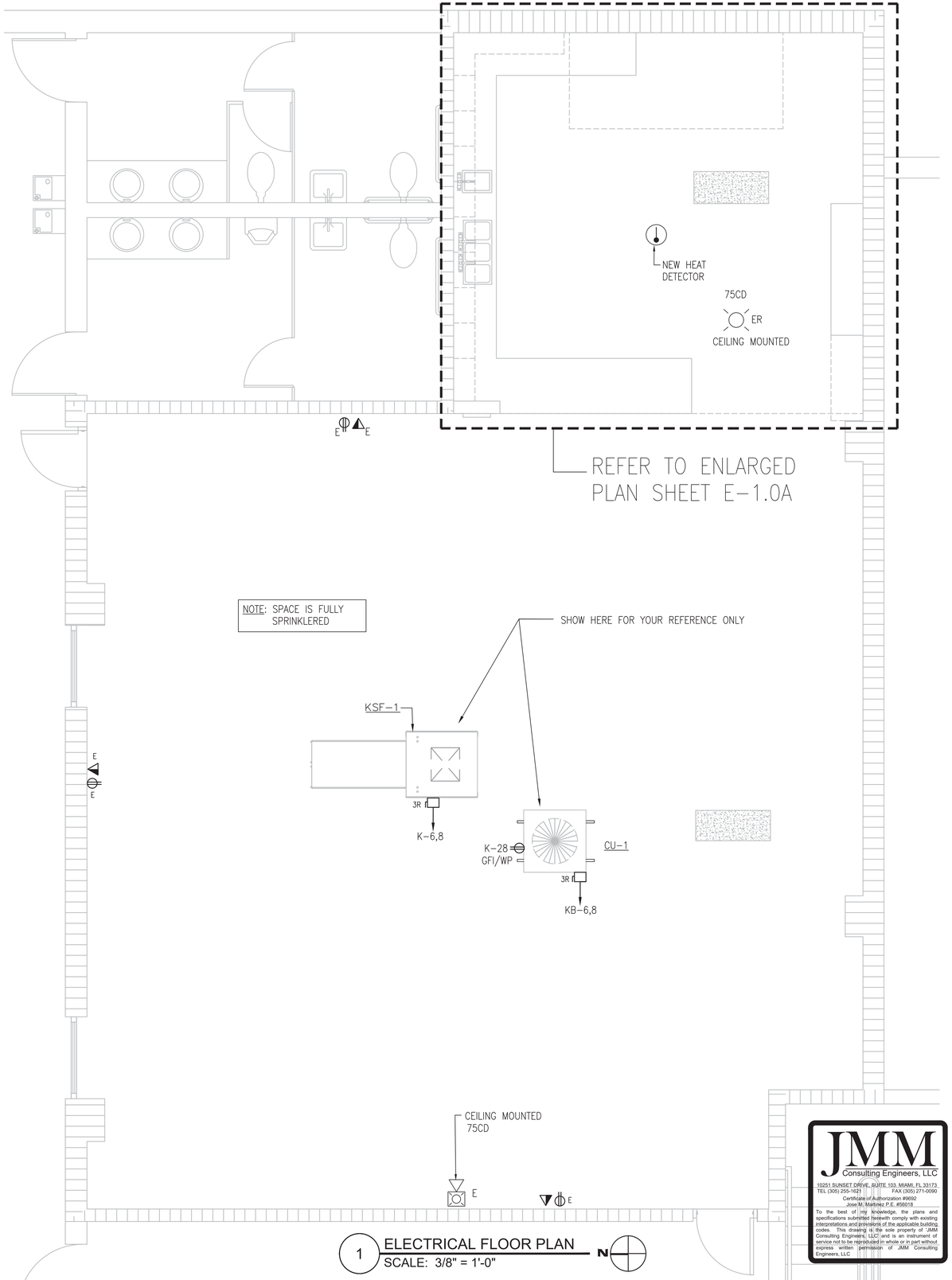
O. CONNECTION TO EXISTING STRUCTURES OR SYSTEMS SHALL BE MADE IN SUCH A MANNER THAT AS LITTLE TIME AS ABSOLUTELY POSSIBLE WILL BE TAKEN, AND CONTRACTOR WILL BE REQUIRED TO COORDINATE FULLY WITH OWNER IN CONNECTION WITH CONVENIENCE AND SAFETY OF ALL PERSONS INVOLVED, INCLUDING EMPLOYEES.

LETTER SYMBOLS

E – EXISTING TO REMAIN

ER – EXISTING TO BE REPLACED

ALL DEVICES ARE NEW UNLESS OTHERWISE INDICATED BY SYMBOLS ABOVE.



1 ELECTRICAL FLOOR PLAN
SCALE: 3/8" = 1'-0"

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ELECTRICAL FLOOR PLAN

Sheet

E-1.0

CODED NOTES:

1. ELECTRICAL COUNTER (2)-FRYERS (MODEL PF32E DUAL)
2. NEW ELECTRIC RANGES. IMPERIAL, MODEL IR-6-E, OR APPROVED EQUAL.
3. NEW DOUBLE DECK ELECTRIC CONVECTION OVENS. VOLCAN, VC55E SERIES, OR APPROVED EQUAL.
4. REACH-IN SOLID SLIDE (2) DOOR REFRIGERATOR. TRU TSD 33
5. WALL MOUNTED EXHAUST WITH FRONT EXTERNAL PLENUM. MODEL NDFC 54, OR APPROVED EQUAL.
6. HEATED HOLDING/PROOFING CABINET, AVANTCO HPU-1836 NDFC 54, OR APPROVED EQUAL.
9. UNDER COUNTER ICE MAKER HOSHIZACKI AM-50BAJ-AD

ELECTRICAL KITCHEN NOTES:

1. ALL WIRING DEVICES SHOWN SHALL CONFORM WITH THE MALE PLUGS OF EQUIPMENT SUPPLIED BY VENDORS OF THE UNIT.
2. CONTRACTOR SHALL FURNISH AND INSTALL ALL CORDS AND PLUGS DEEMED NECESSARY FOR THE PROPER FINAL INSTALLATION OF ALL ELECTRICAL EQUIPMENT AND/ OR APPLIANCES.
3. PRIOR TO ROUGH-IN OF ELECTRICAL DEVICES COORDINATE EXACT LOCATION AND MOUNTING HEIGHTS WITH KITCHEN CONSULTANTS
4. EC TO INSTALL ALL NECESSARY DEVICES FOR THE OPERATION OF THE FIRE PROTECTION SYSTEM TO SHUT OFF ALL SOURCES OF FUEL AND HEAT AS REQUIRED BY CIRCULAR #96 OF N.F.PA.
5. ALL OUTLETS SHALL BE GFI TYPE AS PER NEC 210-8(B)
6. HEIGHT OF ALL OUTLETS TO BE VERIFIED WITH ARCHITECT AND FOOD CONSULTANT DRAWINGS
7. PERMANENTLY CONNECTED KITCHEN EQUIPMENT NOT SUPPLIED WITH ON/OFF UNIT SWITCH, (WHICH ARE PART OF APPLIANCE), TO SERVE AS A DISCONNECT MEANS, TO BE PROVIDED WITH ONE IN COMPLIANCE WITH N.E.C.
8. WHERE JUNCTION BOX IS SHOWN FOR EQUIPMENT CONNECTION, PROVIDE DIRECT CONNECTION OR MATCHING RECEPTACLE WHEN CORD AND PLUG IS PROVIDED WITH EQUIPMENT. WHERE EQUIPMENT REQUIRES CORD CONNECTION AND CORD IS NOT FURNISHED BY KITCHEN EQUIPMENT SUPPLIER. ELECTRICAL CONTRACTOR TO FURNISH 3 OR 4 WIRE CORDS OF THE RATING OF THE BRANCH CIRCUIT CONDUCTORS, ATTACHMENT CAPS AND RECEPTACLES SHALL BE NEMA APPROVED TYPE OF BRANCH CIRCUIT RATING.
9. ALL DUPLEX RECEPTACLES IN WET LOCATIONS SHALL BE PROVIDED WITH COVER PLATES.
10. PRIOR TO ROUGH- IN OF ELECTRICAL DEVICES COORDINATE EXACT LOCATION AND MOUNTING HEIGHTS WITH ARCHITECTURAL DRAWINGS.
11. FOR EXACT LOCATION OF ELECTRICAL WATER HEATERS REFER TO PLUMBING DWGS.
12. HOOD (EF AND SF) AS PER MANUFACTURER COORDINATE FANS LOAD ON PANEL AS PER MANUFACTURER SPECIFICATIONS

ADDITIONAL ELECTRICAL KITCHEN NOTES

HOOD EXAUST FANS SHALL BE INTERLOCKED WITH THE FIRE SUPPRESSION SYSTEM AND COOKING EQUIPMENT THAT PRODUCES SMOKE OR GREASE-LADEN VAPORS. THESE EQUIPMENT ARE TO BE DISCONNECTED AUTOMATICALLY WHEN THE FIRE EXTINGUISHING SYSTEM IS ACTIVATED. INSTALL ALL NECESSARY DEVICES AND MAKE ALL NECESSARY CONNECTIONS. CONTRACTOR SHALL CONNECT ANSUL SYSTEM TO MAIN FIREA ALARM PANEL THRU THE MONITOR MODULE AND TEST IT TO ENSURE PROPER FUNCTIONING.

HOOD (EF AND SF) ELECTRICAL CONTRACTOR COORDINATE FANS LOAD ON PANEL AS PER MANUFACTURER SPECIFICATIONS --INSTALL ALL NECESSARY CONTROL, STARTERS, DISCONNECTS AND CONDUIT, ALL DEEMED NECESSARY FOR THE PROPER INSTALLATION E.C. MUST COORDINATE AND MAKE SPACE ALLOWANCES FOR SAID DEVICES.

PRIOR TO ROUGH-IN OF ELECTRICAL DEVICES COORDINATE EXACT LOCATION AND MOUNTING HEIGHTS WITH SYSTEM CONSULTANTS AND ARCHITECTURAL DWGS.

KITCHEN CONTRACTOR TO INSTALL ALL NECESSARY DEVICES FOR THE OPERATION OF THE FIRE PROTECTION SYSTEM TO SHUT OFF ALL SOURCES OF FUEL AND HEAT TO ALL EQUIPMENT LOCATED UNDER VENTILATING EQUIPMENT. AS REQUIRED BY CIRCULAR #96 OF THE N.F.PA. AND IN ACCORDANCE WITH THE AUTHORITIES HAVING JURISDICTION. CONTRACTORS AND MISCELLANEOUS EQUIPMENT TO BE FURNISHED BY KITCHEN EQUIPMENT CONTRACTOR.

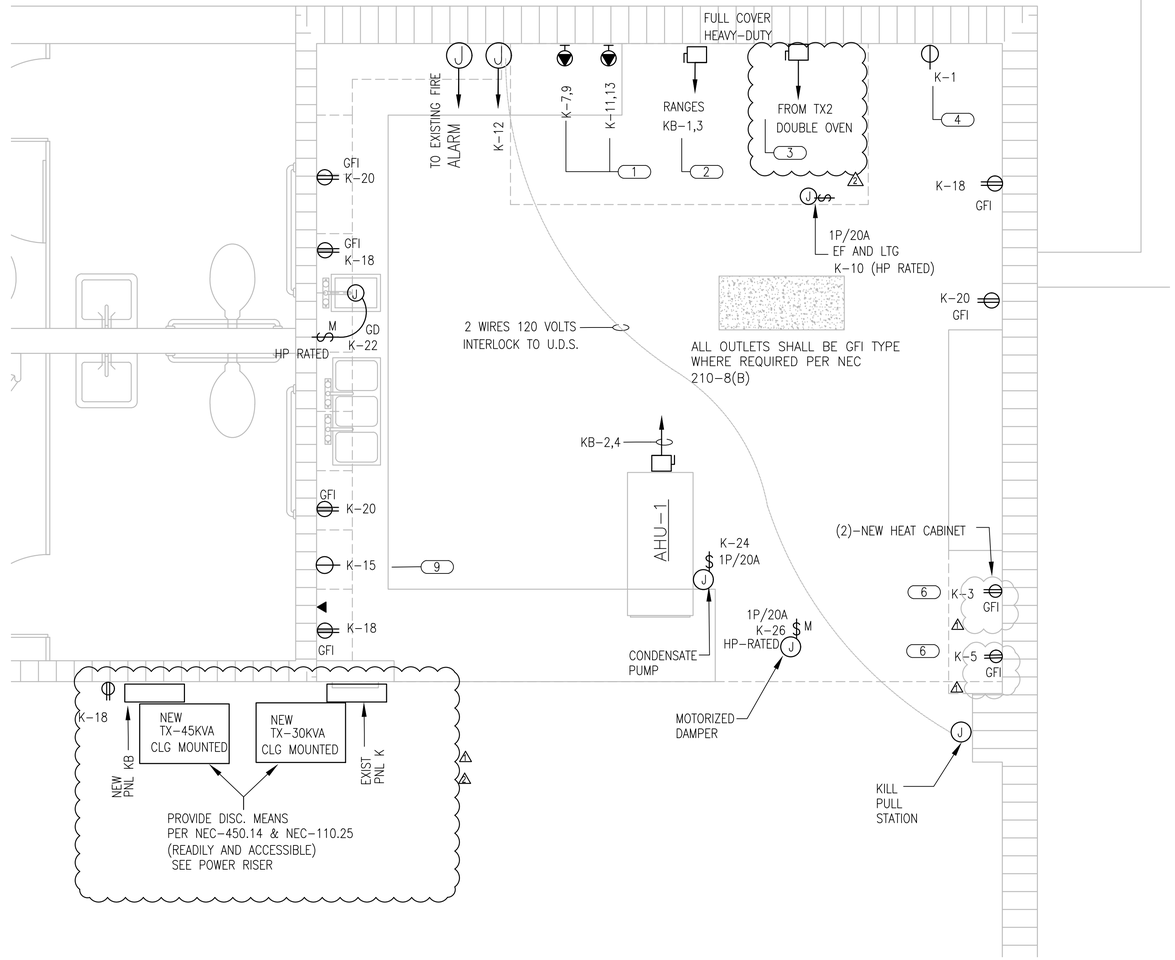
SUBMIT COORDINATED SHOP DRAWINGS OF THE FIRE PROTECTION SYSTEM BETWEEN RESPECTIVE TRADES AND EXISTING FIRE ALARM SYSTEM.

LETTER SYMBOLS

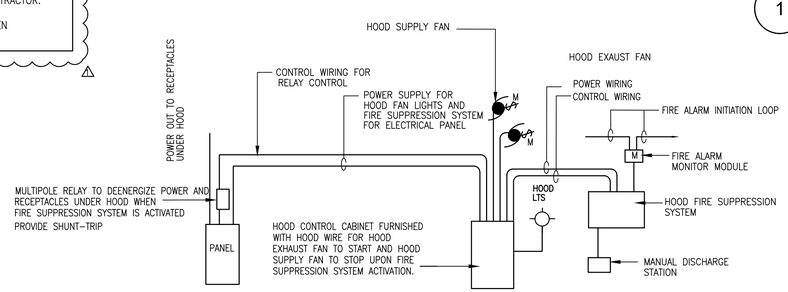
E - EXISTING TO REMAIN

ER - EXISTING TO BE REPLACED

ALL DEVICES ARE NEW UNLESS OTHERWISE INDICATED BY SYMBOLS ABOVE.



1 ENLARGED KITCHEN - ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



TYPICAL EXHAUST HOOD CONTROL DIAGRAM

SCALE: N.T.S.

HOOD SUPPLY FANS TO STOP IF FIRE ALARM SYSTEM IS ACTIVATED
HOOD EXHAUST FANS TO START IF FIRE ALARM SYSTEM IS ACTIVATED

EC TO INSTALL ALL NECESSARY DEVICES FOR THE OPERATION OF THE FIRE PROTECTION SYSTEM TO SHUT OFF ALL SOURCES OF FUEL AND HEAT AS REQUIRED BY CIRCULAR #96 OF N.F.PA.

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ELECTRICAL ENLARGED PLAN

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E-1.0A

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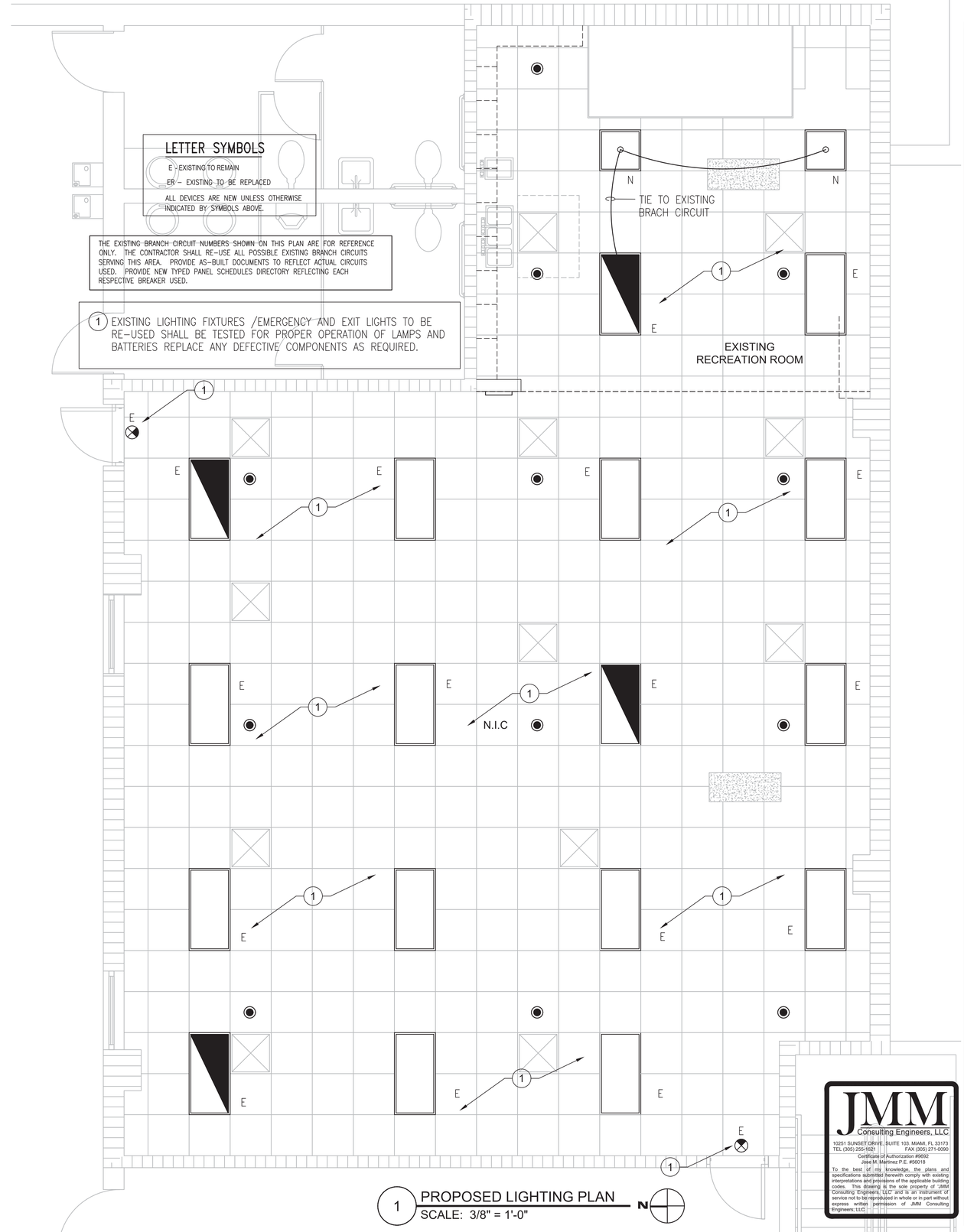
ELECTRICAL SYMBOL LEGEND

- 2'X4' FLUORESCENT LIGHT FIXTURE . SELECTED BY OWNER
- 2'X4' FLUORESCENT EMERGENCY LIGHT FIXTURE . SELECTED BY OWNER
- FLUORESCENT DOWNLIGHT
- FLUORESCENT DOWNLIGHT EMERGENCY LIGHT FIXTURE
- WALL OR CEILING MOUNTED EXIT LIGHT FIXTURE WITH BATTERY BACK-UP. ARROWS, NUMBER OF FACES AND MOUNTING AS REQUIRED TO INDICATE A CLEAN PATH TO EXIT. SELECTED BY OWNER
- $ — 120/277 V., 20 AMP., SINGLE POLE LIGHT SWITCH.
- $3 — 120/277V., 20 AMP., THREE WAY SWITCH.
- $M — MANUAL MOTOR STARTER.
- ELECTRICAL PANEL
- * FUSED DISCONNECT SWITCH PER MANUFACTURER OF EQUIPMENT RECOMMENDATIONS
- MAGNETIC MOTOR STARTER, PROVIDED BY MECHANICAL CONTRACTOR, INSTALLED BY ELECTRICAL CONTRACTOR.
- ELECTRIC MOTOR.
- EQUIPMENT CONNECTION WITH FLEXIBLE CONDUIT.
- HOMERUN TO PANEL (U.O.N. 12 AWG IN 16 (1/2 ") CONDUIT. MARKS DENOTE - NUMBER OF WIRES (HOT OR SWITCH LEGS) LONG MARK - NEUTRAL, NO MARK - NEUTRAL & ONE HOT WIRE DARK CIRCLE SYMBOL - GREEN GROUND
- 20A., 120 V., QUADRUPLEX RECEPTACLE, TWO DUPLEX IN TWO BOX. 18" A.F.F.
- 20 A., 120,. V., DUPLEX RECEPTACLE, GROUNDING TYPE, U.O.N. MOUNTED 18" A.F.F.
- FLOOR MOUNTED POWER/TELE-DATA OUTLET
- J — CEILING OR WALL MOUNTED JUNCTION BOX.
- J — CEILING OR WALL MOUNTED JUNCTION BOX.



1 PROPOSED LIGHTING PLAN
SCALE: 3/8" = 1'-0"

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PROPOSED LIGHTING PLAN

Sheet

E-2.0

EXISTING PANEL "K"

MOUNTING: SURFACE
SHORT CIRCUIT RATING: 22K AIC
LOCATION: SECOND FLOOR

VOLTS: 120/208V, 3ø, 4W
MAIN BUS AMPS: 200A
MAIN BREAKER : MLO

LOAD	COND.	WIRE	TRIP	POLE	DESCRIPTION	CKT No.	CKT No.	DESCRIPTION	POLE	TRIP	WIRE	COND.	LOAD
(1) 2600	3/4"	10	20	1	(4) (2) DOOR REFRIGERATOR	1	2	EF-1	2	30	10	3/4"	2080
2600	3/4"	10	20	1	(6) HEATED HOTLINE CABINET	3	4	SEE EQUIPMENT NAME PLATE					
2600	3/4"	10	20	1	(6) HEATED HOTLINE CABINET	5	6	SF-1	2	30	10	3/4"	1664
(2) 2691	3/4"	10	20	2	(1) FRYER	7	8	SEE EQUIPMENT NAME PLATE					
						9	10	SF AND LIGHT	1	20	10	3/4"	1664
(2) 2691	3/4"	10	20	2	(1) FRYER	11	12	FIRE SUPPRESSION SYSTEM	1	20	10	1/2"	500
						13	14	MICROWAVE OVEN	1	20	10	1/2"	1200
(1) 1200	3/4"	10	20	1	(9) ICE MAKER	15	16	REFRIGERATOR-GFI TYPE BKR	1	20	10	1/2"	1200
--	--	--	--	1	SPACE	17	18	REC. ABOVE DE COUNTER	1	20	10	1/2"	720
--	--	--	--	1	SPACE	19	20	REC. ABOVE DE COUNTER	1	20	10	1/2"	720
--	--	--	--	1	SPACE	21	22	GARBAGE DISPOSAL-GFI TYP BKR	1	20	10	1/2"	900
--	--	--	--	1	SPACE	23	24	CONDENSATE PUMP	1	20	12	1/2"	200
--	--	--	--	1	SPACE	25	26	MOTORIZED DAMPER	1	20	12	1/2"	200
--	--	--	--	1	SPACE	27	28	RECEPTACLES ON ROOF	1	20	12	3/4"	360
--	--	--	--	1	SPACE	29	30	SPACE	1	–	–	–	–
--	--	--	--	1	SPACE	31	32	SPACE	1	–	–	–	–
--	--	--	--	1	SPACE	33	34	SPACE	1	–	–	–	–
--	--	--	--	1	SPACE	35	36	SPACE	1	–	–	–	–
--	--	--	--	1	SPACE	37	38	SPACE	1	–	–	–	–
--	--	--	--	1	SPACE	39	40	SPACE	1	–	–	–	–
--	--	--	--	1	SPACE	41	42	SPACE	1	–	–	–	–

TOTAL CONNECTED LOAD: SEE DEMAND VA
LOAD ANALISYS AMPS

VERIFY EXACT LOCATION AND EQUIPMENT PLATE. PRIOR TO ROUGH INSTALLATION.
HOOD (EF AND SF) ELECTRICAL CONTRACTOR COORDINATE FANS LOAD ON PANEL AS PER MANUFACTURER SPECIFICATIONS
PROVIDE NEW CIRCUIT BREAKER, WIRES AND CONDUITS. AS NOTED.

(1) PROVIDE GFCI CIRCUIT BREAKER
(2) CONNECT VIA MULTIPOLE CONTACTOR FOR SHUT DOWN WHEN FIRE SUPPRESSION SYSTEM IS ACTIVATED, REFER TO "TYPICAL EXHAUST HOOD CONTROL DETAIL", SHEET E-1.0A

EXISTING PANEL DP

MOUNTING: SURFACE
SHORT CIRCUIT RATING: EXIST. 65K AIC
LOCATION: MAIN ELECTRICAL RM

BASED ON: 277/480, 3ø, 4W
MAIN BUS AMPS: 1200A
MAIN BREAKER AMPS: 1200A/3P

LOAD	COND.	WIRE	TRIP	POLE	DESCRIPTION	CKT No.	CKT No.	DESCRIPTION	POLE	TRIP	WIRE	COND.	LOAD
39300	1 1/2"	# 4	100	3	EXISTING PANEL 1H	1	2	EXISTING PANEL 2H	3	150	1/0	1 1/2"	69600
290000	(2)-3"	(2) SETS 250K CMIL	500	3	EXISTING PANEL M	3	4	EXISTING SERVICE GUTTER VIA TRANSFORMER 150 KVA FEEDS PANELS EXIST. 1L / EXIST. 2L AND NEW K	3	225	2 SETS 250 KCMIL	3 1/2"	23000
--	--	--	40	3	TVSS	5	6	NEW SERVICE GUTTER PANEL KB T-45 KVA DOUBLE OVEN T-30 KVA	3	125	1	1 1/2"	52019
-	-	-	-	-	-- SPACE	7	8	SPACE	-	-	-	-	--

TOTAL DEMAND LOA : SEE DEMAND
LOAD ANALISYS

(1) VERIFY WITH EQUIP. PLATE PRIOR TO ORDERING AND INSTALLATION.

PANEL K

I. ESTIMATED DEMAND LOAD ANALYSIS

BASED ON 120/208V, 3ø, 4W

I.0 KITCHEN EQUIPMENT

(2) FRYER	5,782	VA
(1)-REFRIGERATOR	1,200	VA
(1)-MICROWAVE OVEN	1,500	VA
(1)-HEATED HOTLINE CABINET	1,440	VA
KITCHEN EQUIP. LOAD 9,922 @ 65% (NEC TABLE-220-56) =	6,449	VA

II. MISCELLANEOUS

GARBAGE DISPOSAL	900	VA
EF-1	2,080	VA
SF-1	1,664	VA
MOTORIZED DAMPER	200	VA
SF AND LIGHT	,1664	VA
FIRE SUPPRESSION SYSTEM	500	VA
RECEPTACLES	1800	VA
CONDENSATE PUMP	200	VA
TOTAL DEMAND LOAD (*)	15,457	VA =

EXISTING PANEL DP ESTIMATED DEMAND LOAD ANALYSIS

BASED ON 277/480V, 3ø, 4W

I. INDIVIDUAL PANEL SERVICE

EXISTING PANEL 1H	=	39,300	VA
EXISTING PANEL M	=	290,000	VA
EXISTING PANEL 2H	=	69,600	VA
TOTAL CONNECTED PANEL LOAD	=	398,900	VA

II. TOTAL CONNECTED EXISTING SERVICE GUTTER #1- EXISTING TRANSFORMER

EXISTING PANELS 1L	=	34,400	VA
EXISTING PANELS 2L	=	72,400	VA
EXISTING PANELS 2L	=	27,400	VA
EXISTING PANEL K **WITH NEW KITCHEN EQUIP.**	=	15,457	VA (*)
EXISTING SERVICE GUTTER TOTAL	=	148, 657 VA	< 150 KVA EXISTING TX #1

III. NEW SERVICE GUTTER#2 -NEW TRASNFORMER = 52,019 VA (**)

$$= \frac{599,576}{480 \times \sqrt{3}}$$

TOTAL EXISITNG PANEL DP = 722 AMPS < 1200A

THE EXISTING SERVICE IS ADEQUATE TO HANDLE THE NEW LOAD AS SHOWN

NEW PANEL "KB"

MOUNTING: SURFACE
SHORT CIRCUIT RATING: 22K AIC
LOCATION: SECOND FLOOR

VOLTS: 120/208V, 3ø, 4W
MAIN BUS AMPS: 225A
MAIN BREAKER : 175/3P

LOAD	COND.	WIRE	TRIP	POLE	DESCRIPTION	CKT No.	CKT No.	DESCRIPTION	POLE	TRIP	WIRE	COND.	LOAD
(1) 16000	1 1/2"	3	100	2	(2) ELECTRICAL RANGE	1	2	AHU-1 SEE MECHANICAL EQUIP. NAME PLATE	2	60	6	1"	11019
					SEE EQUIPMENT NAME PLATE	3	4						
--	--	--	-	1	SPACE	5	6	CU-1 SEE MECHANICAL EQUIP. NAME PLATE	2	30	10	3/4"	2995
--	--	–	–	1	SPARE	7	8						
--	--	–	–	1	SPARE	9	10	SPACE	1	–	–	–	–
--	--	–	–	1	SPARE	11	12	SPACE	1	–	–	–	–
--	--	–	–	1	SPARE	13	14	SPACE	1	–	–	–	–
--	--	–	–	1	SPACE	15	16	SPACE	1	–	–	–	–
--	--	–	–	1	SPACE	17	18	SPACE	1	–	–	–	–
--	--	–	–	1	SPACE	19	20	SPACE	1	–	–	–	–
--	--	–	–	1	SPACE	21	22	SPACE	1	–	–	–	–
--	--	–	–	1	SPACE	23	24	SPACE	1	–	–	–	–
--	--	–	–	1	SPACE	25	26	SPACE	1	–	–	–	–
--	--	–	–	1	SPACE	27	28	SPACE	1	–	–	–	–
--	--	–	–	1	SPACE	29	30	SPACE	1	–	–	–	–

TOTAL CONNECTED LOAD: SEE DEMAND VA
LOAD ANALISYS AMPS

VERIFY EXACT LOCATION AND EQUIPMENT PLATE. PRIOR TO ROUGH INSTALLATION.
HOOD (EF AND SF) ELECTRICAL CONTRACTOR COORDINATE FANS LOAD ON PANEL AS PER MANUFACTURER SPECIFICATIONS

(1) CONNECT VIA MULTIPOLE CONTACTOR FOR SHUT DOWN WHEN FIRE SUPPRESSION SYSTEM IS ACTIVATED, REFER TO "TYPICAL EXHAUST HOOD CONTROL DETAIL", SHEET E-1.0A

III. ESTIMATED DEMAND LOAD ANALYSIS-NEW SERVICE GUTTER

BASED ON 120/208V, 3ø, 4W

EQUIPMENT LOAD -PANEL KB TX 45

ELECTRICAL RANGE ----------	16,000 VA
AHU-1 (10KW HTR)	11,019 VA
TOTAL DEMAND LOAD	27,019 VA < T-45 KVA

DOUBLE OVEN -PANEL KB TX-30 KVA

DOUBLE OVEN ----------	25.000 VA < T-30 KVA

TOTAL NEW SERVICE GUTTER = 52,019 VA = 62AMP (**)

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Title

ELECTRICAL PANELS SCHEDULES

Sheet

E-3.0

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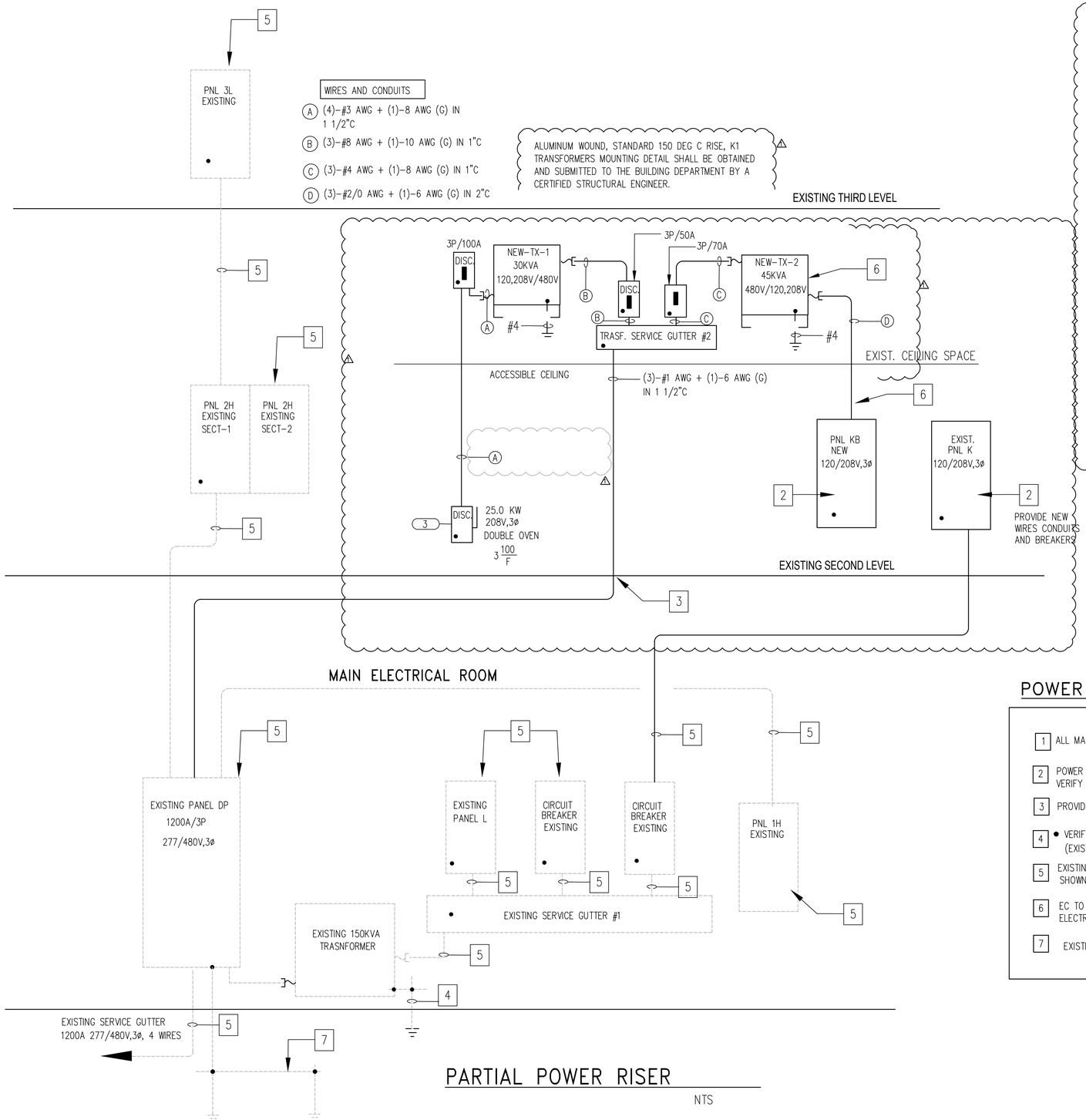
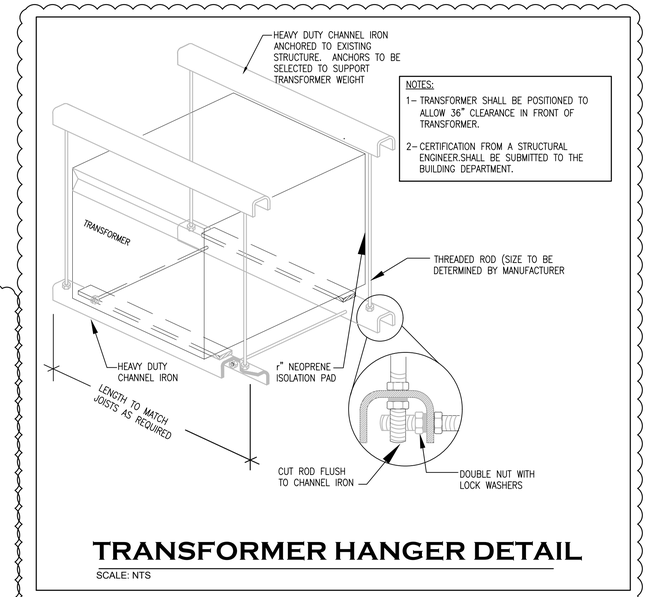


PARTIAL POWER RISER

NTS

ALL ELECTRICAL EQUIPMENT INDICATED BY A CONTINUOS LINE IS NEW

ALL ELECTRICAL EQUIPMENT INDICATED BY A DASHED LINE IS EXISTING TO REMAIN



TRANSFORMER HANGER DETAIL

SCALE: NTS

POWER RISER-NOTES

1. ALL MAIN DISCONNECT SHALL BE IDENTIFIED. INDICATE THE EXISTING LOAD SERVED
2. POWER SUPPLY SHALL BE IDENTIFIED AT EACH PANEL @ MAIN WITH PERMANENT LABELS. VERIFY BONDING CONNECTIONS FOR ALL MAIN AND PANEL.
3. PROVIDE FIRE SEALING AT WALL AND CEILING PENETRATIONS. PROVIDE CONDUIT AS PER NEC IF REQUIRED.
4. • VERIFY AND PROVIDE GROUNDING EQUIPMENT FOR ALL PANELS IN COMPLIANCE NEC-250, IF REQUIRED. (EXISTING GROUND TO REMAIN.)
5. EXISTING EQUIPMENT, WIRING (FEEDER) AND CONDUIT TO REMAIN AS IS. NOT ON THE SCOPE OF WORK. SHOWN ON THIS PLAN FOR REFERENCE ONLY.
6. EC TO VERIFY AND PROVIDE DEDICATED CLEARANCES SPACE (COMPLY WITH ARTICLE 110-26 OF THE NATIONAL ELECTRICAL CODE.)
7. EXISTING GROUND TO REMAIN. EC TO VERIFY AND PROVIDE AS PER NEC-250

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ELECTRICAL POWER RISER

Sheet

E-4.0

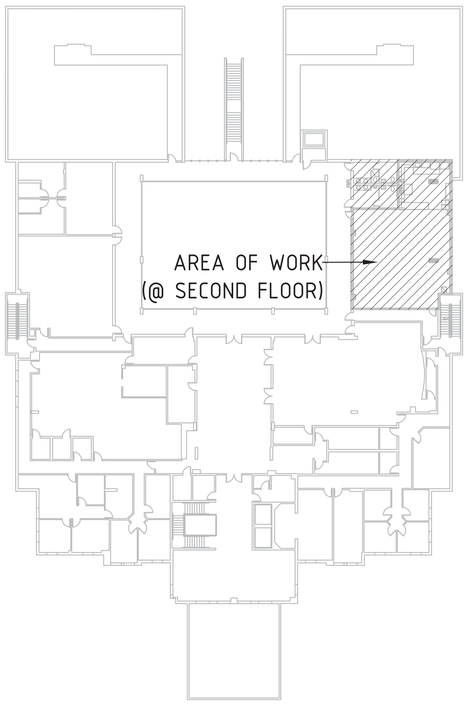
FOG 2.0 RER-DERM
FOG Control Device (FCD)
Installation Inspection

Approval Date:	
Inspector:	

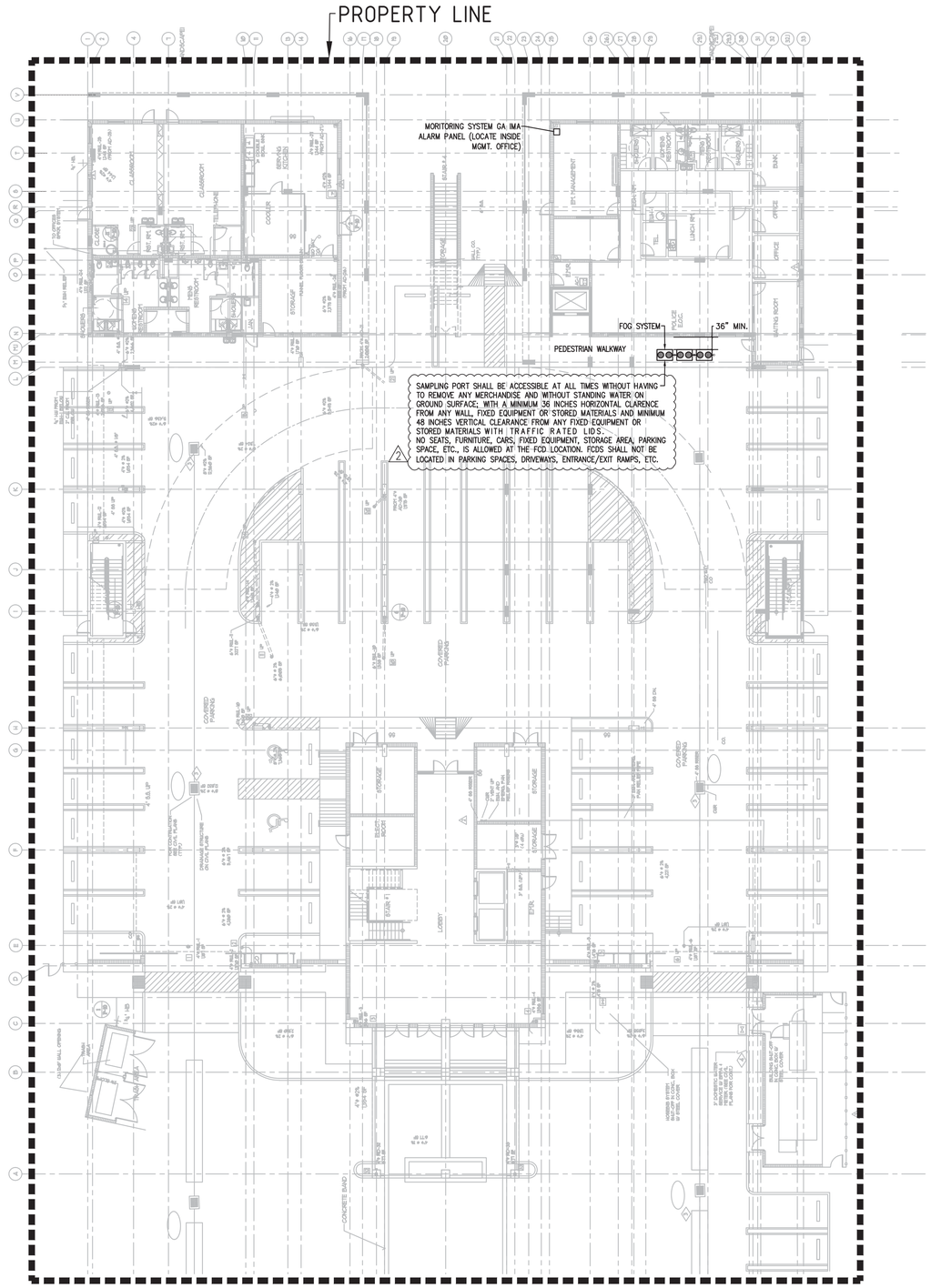
DERM's FCD Installation Inspection Required Prior to Plumbing Final for all Municipal projects. Failure to secure DERM's FCD Installation Inspection will result in disapproval of Final Inspection by the Municipal Building Official, pursuant to Section 24.42-6, MDC Code.

To schedule DERM's FCD Installation inspection for Municipal projects please send an email to **iFOG2@miamidade.gov**, 24 hours prior to desired date. Provide DERM plans process M-number, complete address of the site, folio number, and contact person name and phone number.

Updated: 4/26/2018



2 KEY PLAN
SCALE: N.T.S.



1 PLUMBING SITE PLAN
SCALE: 1/16" = 1'-0"

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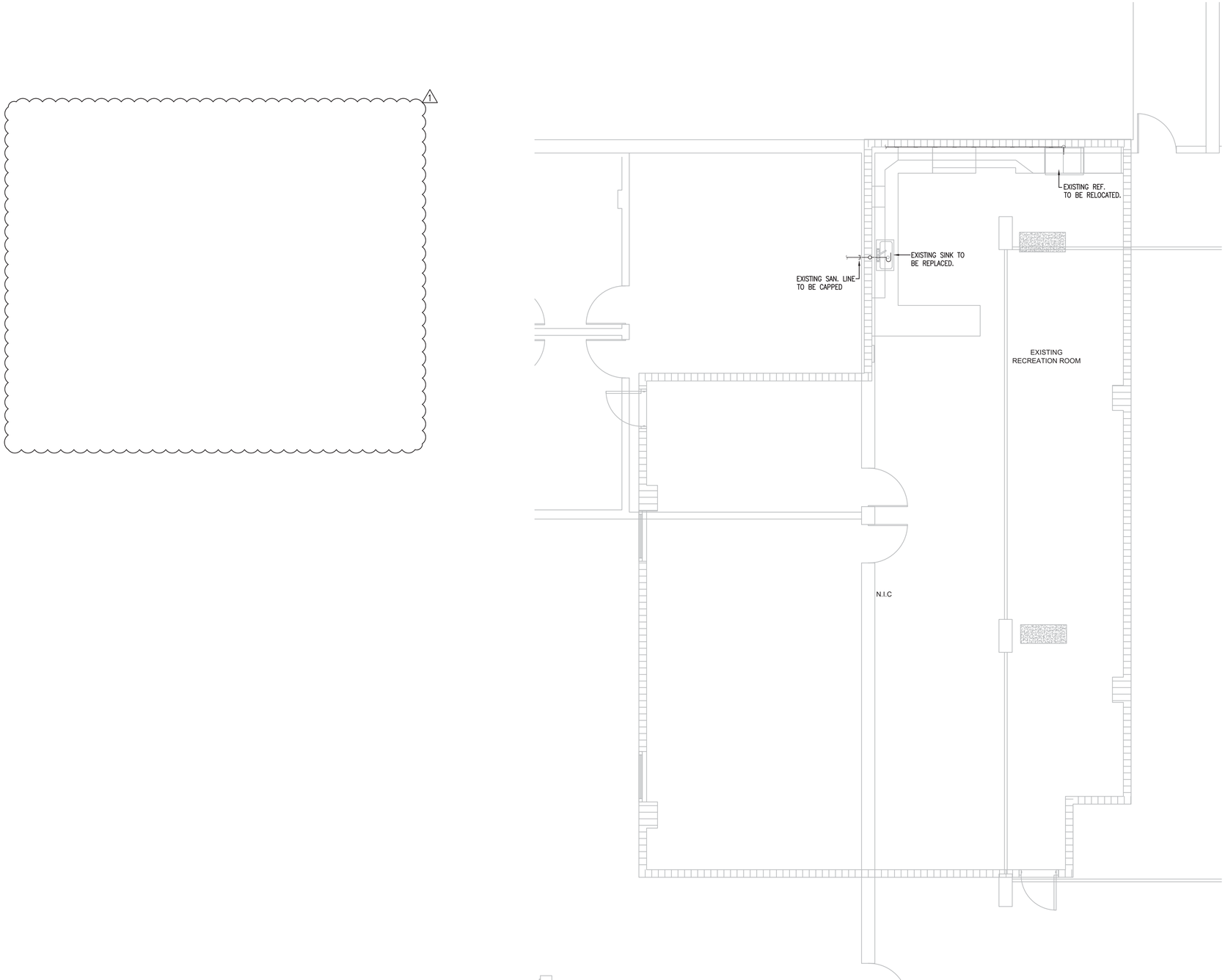
PLUMBING SITE PLAN

NEW SHEET 1

Sheet
P-0.1



1 PLUMBING DEMOLITION PLAN
SCALE: 3/8" = 1'-0"

N

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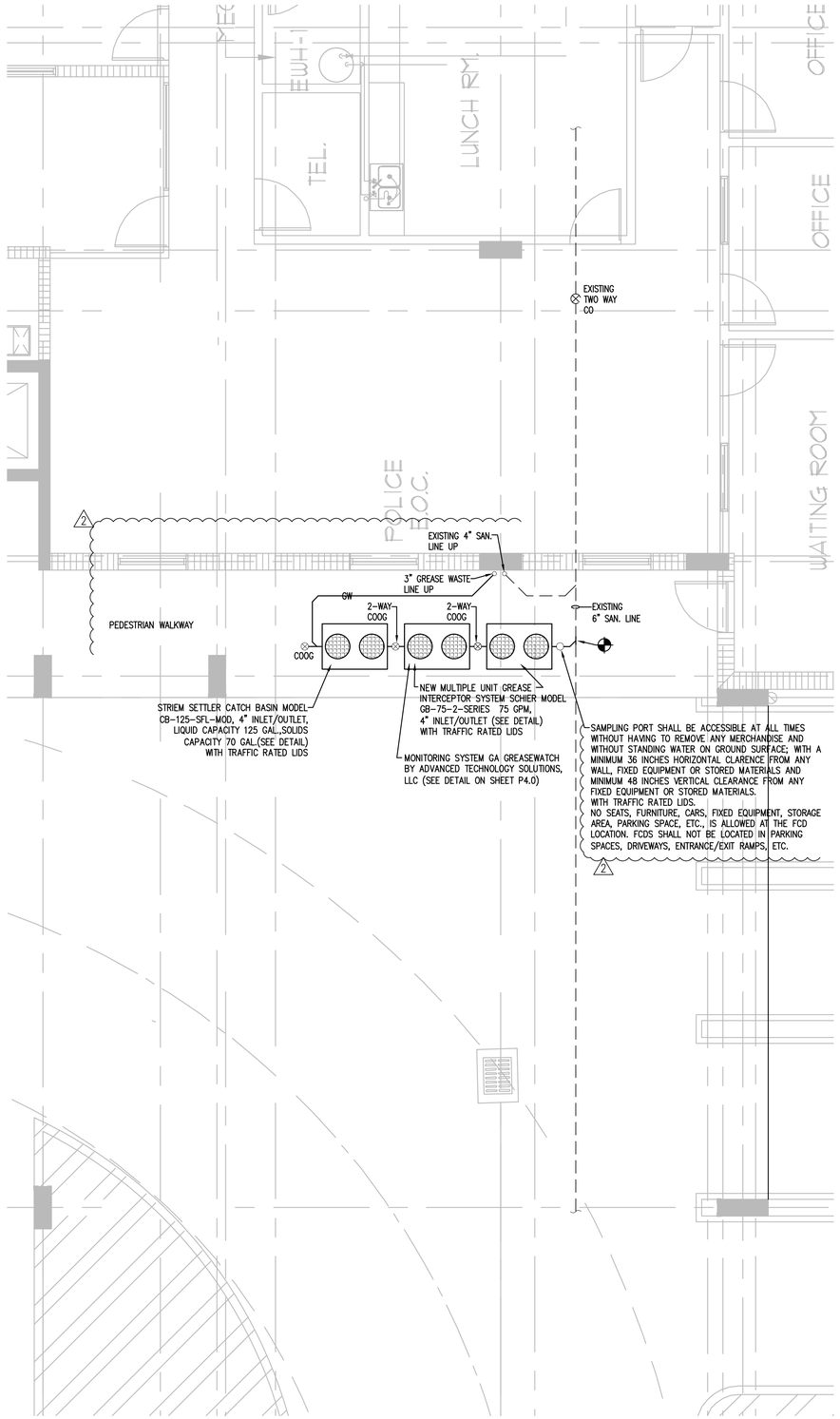
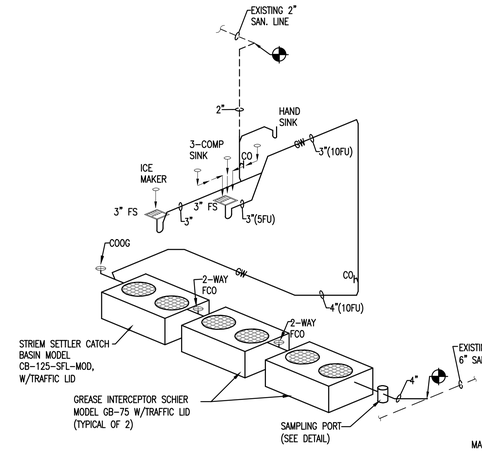
PLUMBING
DEMOLITION PLAN

Sheet

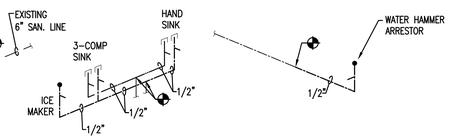
P-1.0



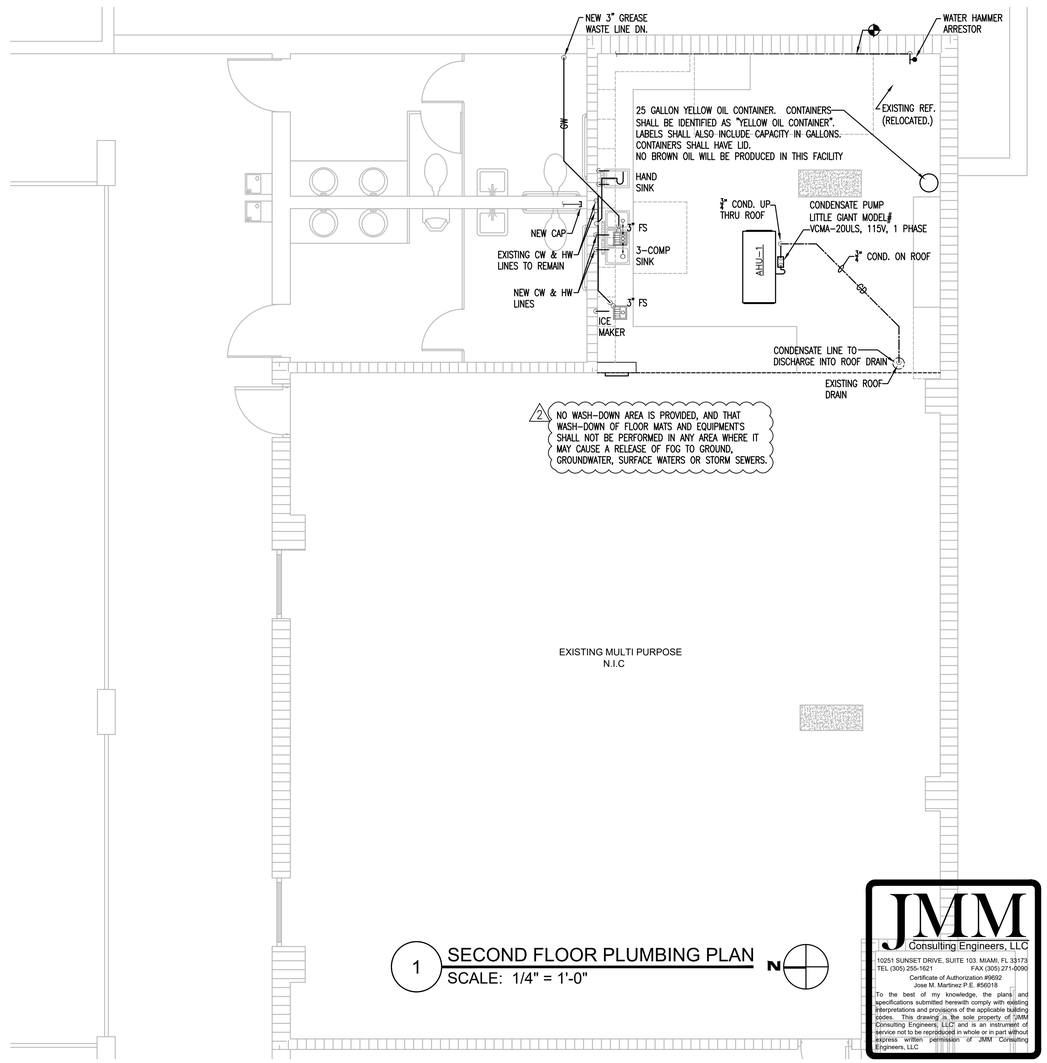
1 PARTIAL GROUND FLOOR PLUMBING PLAN
SCALE: 1/4" = 1'-0"



SANITARY PIPING ISOMETRIC
N.T.S.



DOMESTIC WATER PIPING ISOMETRIC
N.T.S.



1 SECOND FLOOR PLUMBING PLAN
SCALE: 1/4" = 1'-0"

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PLUMBING
FLOOR PLAN

Sheet

P-2.0

PLUMBING SPECIFICATION

1. GENERAL:

MATERIAL SHALL BE NEW, UNUSED, BEST OF THEIR RESPECTIVE KINDS AND FREE FROM DEFECTS IN WORKMANSHIP. IN CONFORMANCE WITH THE LATEST PUBLICATIONS IN FORCE AT TIME OF BIDDING.

2. PIPE AND FITTINGS:

A. DRAINAGE WASTE AND VENT PIPING INCLUDING:
PVC DRAINAGE WASTE AND PIPING (DWV) CONFORMING TO ASTM D-2665, UNDERGROUND NO HUB CAST IRON CISPI STANDARD 301 ABOVE GROUND AND CAST IRON HUB, PLAIN END ASTM A-74 WITH NEO-PRENE GASKETS UNDERGROUND. INSTALL PLASTIC (PVC) PIPES ONLY WHEN ITS APPROVED BY LOCAL AUTHORITIES AND NOT TO BE USED IN AIR RETURN PLENUM.

B. DOMESTIC WATER SUPPLY PIPING: COPPER PIPE TYPE 'L' WITH BRONZE OR WROUGHT COPPER SOLDER JOINT FITTINGS, ASTM.B88-78.

C. NOT USED

D. STORM DRAIN PIPING: AS HEREIN BEFORE SPECIFIED FOR SANITARY SOIL, WASTE AND VENT PIPING.

3. JOINTS AND METHODS OF CONNECTION:

A. DWV COPPER PIPE: JOINT WITH 95-5 TIN-ANTIMONY SOLDER, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

B. TYPE 'L' COPPER TUBE: JOIN WITH 95-5 TIN-ANTIMONY SOLDER, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

C. STEEL PIPE:

a. THREADED JOINTS: AFTER CUTTING AND BEFORE THREADING, REAM ALL PIPE AND REMOVE BURRS. MAKE JOINTS WITH JOINT COMPOUND APPLIED TO MALE THREADS ONLY.

b. FLANGED JOINTS: STANDARD WEIGHT, 150 P.S.I. STEEL, WITH APPROVED RED RUBBER GASKET OR NEOPRENE RUBBER GASKET, INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS.

4. UNIONS AND FLANGES:

A. COPPER PIPE: BRONZE UNIONS FOR 2 INCHES AND SMALLER. FOR 2-1/2 INCHES AND LARGER USE BRONZE FLANGED CONNECTIONS 150 POUND CLASS.

B. DIELECTRIC UNIONS OR FLANGES: UNIONS SHALL MEET DIMENSIONAL REQUIREMENTS AND TENSILE STRENGTH OF PIPE UNIONS IN ACCORDANCE WITH FED. SPEC. WW-U-531E. UNIONS OR FLANGES SHALL BE SUITABLE FOR REQUIRED OPERATING PRESSURES AND TEMPERATURE CONDITIONS. UNIONS SHALL HAVE METAL CONNECTIONS ON BOTH ENDS. ENDS SHALL BE THREADED OR SOLDERED TO MATCH ADJACENT PIPING. METAL PARTS OF UNION OR FLANGED SHALL BE SEPARATED TO PREVENT CURRENT FLOW BETWEEN DISSIMILAR METALS. EPCO DIELECTRIC PIPE FITTINGS OR EQUIVALENT.

5. ESCUTCHEONS:

CHROME PLATED OR STAINLESS STEEL WITH SET SCREWS FOR HOLDING SECURELY IN PLACE. USE ESCUTCHEONS ON PIPES PASSING THROUGH WALLS, FLOORS AND CEILINGS OF FINISHED AREAS.

6. PIPE INSULATION:

A. ALL CONDENSATE LINES SHALL BE INSULATED WITH 3/4" FIRE RETARDANT ARMAFLEX INSULATION WITH A MAXIMUM OF 25/50 FLAME SPREAD AND SMOKE DEVELOPED RESPECTIVELY.

B. ALL HOT WATER AND TEMPERED WATER LINES SHALL BE INSULATED WITH 1" FIRE RETARDANT ARMAFLEX INSULATION WITH A MAXIMUM OF 25/50 FLAME SPREAD AND SMOKE DEVELOPED RESPECTIVELY.

7. INSTANT-FLOW WATER HEATERS SHALL BE OF THE CAPACITY AND ELECTRICAL CHARACTERISTICS INDICATED ON PLANS AS MANUFACTURED BY CHRONOMITE LABORATORIES,INC.

8. TRAP PRIMER SHALL BE SELF PRIMING TYPE ON COLD WATER SUPPLY LINE AS MANUFACTURED BY PRECISION PLUMBING PRODUCTS, INC. "PRIME-RITE" #PR-500. WHEN TWO OR MORE TRAPS REQUIRE PRIMING, PROVIDE WITH DISTRIBUTION UNIT #DU-2, 3 OR 4 AND SUPPLY TUBE #SS-8 ASSEMBLY. PROVIDE ACCESS PANEL AND INSTALL AS PER MANUFACTURER'S RECOMMENDATION.

9. FLOOR DRAINS: AS MANUFACTURED BY JOSAM.

A. FD-1: JOSAM 30000-A SERIES WITH 6"x6" SQUARE NIKALOY TOP AND 1/2" TRAP PRIMER CONNECTION.

PLUMBING GENERAL NOTES

A. UNLESS OTHERWISE SPECIFIED ON THIS DRAWING CONTRACTOR SHALL REFER TO ORIGINAL LANDLORD SPECIFICATIONS FOR ALL APPLICABLE REQUIREMENTS, NOTES, DETAILS, CONSTRUCTION'S STANDARDS, ETC., COORDINATE WITH LANDLORD REQUIREMENTS PRIOR TO ORDERING AND/OR INSTALLATION OF ANY EQUIPMENT AND ACCESSORIES SHOWN.

B. ALL WORK SHALL BE DONE IN ACCORDANCE WITH FLORIDA PLUMBING CODE 2017 EDITION

1. SITE INVESTIGATION:

EXAMINATION OF CONTRACT DOCUMENTS AND SITE OF WORK; THE BIDDER IS REQUIRED, BEFORE SUBMITTING HIS PROPOSAL, TO VISIT THE SITE OF THE PROPOSED WORK AND FAMILIARIZE HIMSELF/HERSELF WITH THE NATURE AND EXTEND OF THE WORK AND ANY LOCAL CONDITIONS THAT MAY IN ANY MANNER AFFECT THE WORK TO BE DONE AND EQUIPMENT, MATERIALS AND LABOR REQUIRED THEREFORE. SINCE THE WORK INVOLVES EXISTING BUILDINGS, SYSTEM AND FACILITIES, SPECIAL CONSIDERATION SHALL BE GIVEN TO EXAMINATION OF WORKING CONDITIONS, EXISTING FACILITIES AND ALL BUILDING STRUCTURES TO FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS. VARIATIONS IN ROUTING AND/OR CONSTRUCTION SHOULD BE ANTICIPATED BY THIS CONTRACTOR AND ARE EXPRESSLY INCLUDED AS PART OF THE WORK WHENEVER REQUIRED AT NO ADDITIONAL COST TO THE OWNER. IGNORANCE ON THE PART OF THE CONTRACTOR WILL IN NO WAY RELIEVE HIM OF THE OBLIGATION AND RESPONSIBILITIES ASSUMED UNDER THIS CONTRACT.

2. THE NATURE OF THE REMODEL TYPE CONSTRUCTION POSES SPECIAL PROBLEMS FOR THE DESIGN ENGINEERS AS WELL AS THE PLUMBING CONTRACTOR. EVERY EFFORT HAS BEEN MADE BY THE ENGINEERS TO SHOW AND IDENTIFY THE LOCATIONS AND TYPES OF EXISTING PLUMBING SYSTEMS. THE MAJOR PORTION OF THE PLUMBING SYSTEMS ARE AS SHOWN ON THE DRAWINGS HOWEVER DEVIATIONS MAY BECOME EVIDENT AS THE JOB PROGRESSES. PLUMBING CONTRACTOR SHALL PERFORM A FIELD VERIFICATION BEFORE BIDDING THIS PROJECT.

3. CONTRACTOR WILL BE RESPONSIBLE FOR COODINATING HIS DEMOLITION WORK WITH OTHER TRADES, AND TO PROTECT FROM DAMAGE EXISTING SYSTEMS TO REMAIN.

4. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING PIPES BEFORE COMMENCING TO WORK AND MAKE MODIFICATIONS AS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

5. ALL PIPING SHALL BE INSTALLED RECESSED IN BLOCK WALLS, CHASES OR PARTITIONS.

6. EXISTING PIPES SERVING AREAS NOT COVERED BY THIS CONTRACT BUT IN SERVICE AT THIS TIME SHALL NOT BE INTERRUPTED EXCEPT AS A TEMPORARY INTERRUPTION COORDINATED WITH THE OWNER AND LANDLORD.

7. PLUMBING CONTRACTOR SHALL PAY ALL FEES, INSPECTION AND CONNECTION CHARGES REQUIRED.

8. PLUMBING CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS AND EQUIPMENT.

9. COORDINATE ALL WORK WITH OTHER TRADES.

10. PLUMBING CONTRACTOR SHALL GUARANTEE ALL WORK FREE OF DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.

11. PROVIDE SHOCK ABSORBERS SIZE, QUANTITY AND LOCATION AS PER P.D.I. STANDARDS.

12. PROVIDE SHUT-OFF VALVE FOR EACH GROUP OF FIXTURE AND EACH FIXTURE SUPPLY.

13. WHEREVER DISSIMILAR METALS ARE TO BE JOINED, A DIELECTRIC FITTING SHALL BE PROVIDED TO CONNECT BOTH TYPES OF PIPES.

14. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL ROUGH-INS WITH THE MANUFACTURER BEFORE MAKING ANY INSTALLATION.

15. POTABLE HOT AND COLD WATER SYSTEMS SHALL BE "LEAD FREE" WITH LEAD CONTENT NOT EXCEEDING 0.2 PERCENT FOR SOLDER AND FLUXES AND 8 PERCENT FOR PIPE FITTINGS, FIXTURES AND TRIM. CONTRACTOR SHALL VERIFY MANUFACTURER'S COMPLIANCE.

16. ALL POTABLE HOT AND COLD WATER SYSTEMS SHALL BE FLUSHED CLEAR, STERILIZED WITH AN APPROVED SOLUTION AND THROUGHLY FLUSHED OF ALL RESIDUAL SOLUTION AFTER FINAL PRESSURE TESTS AND WITH ALL TRIM AND CONNECTIONS INSTALLED.

17. PROVIDE SHUT-OFF AND VACUUM BREAKER TO ALL HOSE BIBBS AND FAUCETS WITH HOSE-END CONNECTIONS.

18. ALL FLOOR DRAINS SHALL HAVE TRAP PRIMERS TO PROTECT THE SEAL OF THE TRAP.

19. PVC PIPING IS NOT ALLOWED IN RETURN AIR PLENUMS. IF RETURN AIR PLENUMS ARE USED, CONTRACTOR SHALL REPLACE ALL EXISTING PVC PIPING WITH CAST IRON OR COPPER PIPING.

20. DRAINAGE SYSTEM DESIGN IS BASED ON 1/8" PER FOOT MINIMUM FALL FOR PIPES 3" OR LARGER AND 1/4" PER FOOT MINIMUM FALL FOR PIPES 2" OR SMALLER, ANY DEVIATIONS SHALL BE APPROVED BY ARCHITECT/ENGINEER.

21. ALL VENT THROUGH ROOF OPENINGS SHALL BE OFFSETED TO A MINIMUM DISTANCE OF 3'-0" FROM PARRAPET WALL OR ROOF EDGE. SEE ARCHITECTURAL DRAWINGS FOR ROOF FLASHING. LEAD FLASHING WILL NOT BE ACCEPTED.

22. DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED WITH PRE-MANUFACTURED SLEEVE IN ACCORDANCE WITH FLORIDA PLUMBING CODE 404.6.4. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

PLUMBING LEGEND

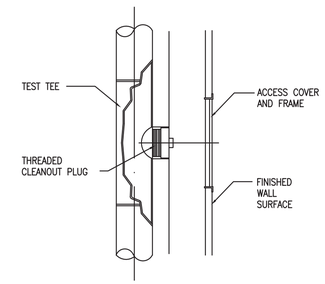
SYMBOL	DESCRIPTION
	COLD WATER LINE (CW)
	HOT WATER RECIRC. (HWR)
CD	CONDENSATE DRAIN LINE
	HOT WATER LINE (HW)
	SANITARY WASTE LINE (SAN)
	SANITARY VENT LINE (V)
	CHECK VALVE
FCO	FLOOR CLEAN OUT
CO	WALL CLEAN OUT
	GATE VALVE
HB	HOSE BIBB
	VALVE IN BOX
VIV	GATE VALVE IN VERTICAL
	"P" TRAP
	WATER HAMMER ARRESTOR
ABV.	ABOVE
BLW	BELOW
CEIL., CLG.	CEILING
FL.	FLOOR
F.U.	FIXTURE UNIT
(UG)	UNDERGROUND
V.T.R.	VENT THRU ROOF
VB	VACUUM BREAKER
TP	TRAP PRIMER
	CONNECTION (NEW TO EXISTING)

NOTE:
SYMBOLS INDICATED MAY NOT BE USED ON DRAWINGS

PLUMBING FIXTURE CONNECTION SCHEDULE

SYMBOL	DESCRIPTION	DRAIN	COLD WATER	HOT WATER	MODEL	ACCESSORIES
HAND SINK	SINGLE COMP. SINK (1.5 GPM @ 60 PSI)	1 1/2"	1/2"	--	ELKAY #PSR-1722 SINGLE BASIN-BASIN SELF-RIMMING	McGUIRE #151 GRID DRAIN (1 REQ'D) #88912 1 1/2" P-TRAP (1 REQ'D) #2165 SUPPLY STOPS (1 REQ'D)
3-COMP. SINK	TRIPLE COMP. SINK (1.5 GPM @ 60 PSI) (PROVIDE AERATOR W/ FLOW CONTROL)	2) 1 1/2"	1/2"	1/2"	ELKAY #E3C16X20-OX 3-COMP. SINK	T&S BRASS MODEL NO.B-0231 SINK MIXING FAUCET, 12" SWING NOZZLE, WALL MOUNTED, 8" CENTERS ON SINK FAUCET WITH 1/2" IPS ECCENTRIC FLANGED FEMALE INLETS, LEVER HANDLES.

(*) WHERE SHOWN ON PLANS ONLY
1. ALL PLUMBING FIXTURES SHALL COMPLY WITH FPC TABLE 604.4



WALL CLEANOUT

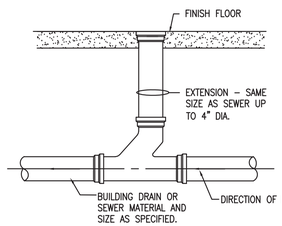
DETAIL OF CLEANOUTS

N.T.S.

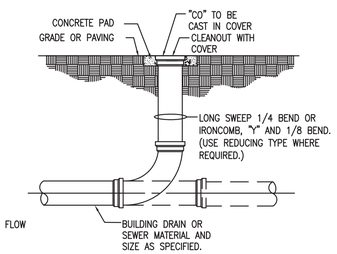
HANGER SPACING

PIPING MATERIAL	MAXIMUM HORIZONTAL SPACING	MAXIMUM VERTICAL SPACING
CAST IRON	5' (A)	15'
COPPER PIPE	12'	10'
COPPER TUBING 1 1/4"ø AND LESS	6'	10'
COPPER TUBING 1 1/2"ø AND OVER	10'	10'
PVC PIPE	4'	10' (B)
STEEL PIPE	12'	15'

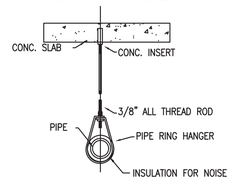
A - SPACING SHALL BE 10' IF 10' LENGTHS ARE INSTALLED
B - MID STORY GUIDE FOR 2"ø AND LARGER



INTERIOR FLOOR CLEANOUT

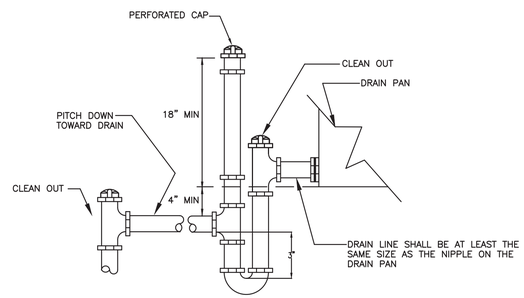


EXTERIOR CLEANOUT
(LIGHT TRAFFIC AREA)



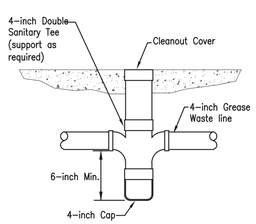
PIPE HANGER

N.T.S.



TYPICAL CONDENSATE DRAIN TRAP

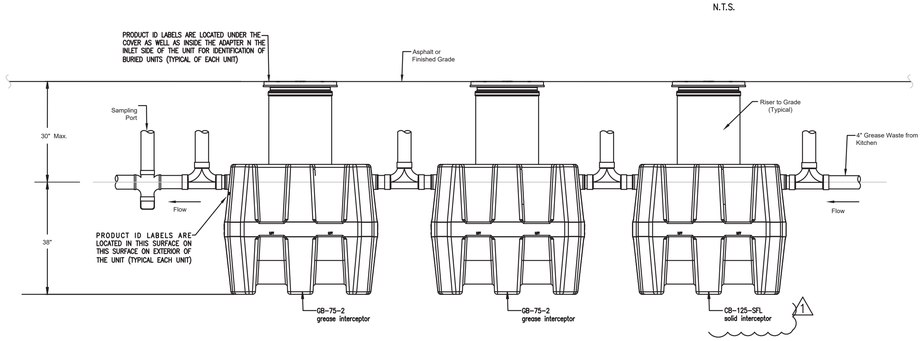
NO SCALE



NOTE:
SAMPLING POINT SHALL BE ACCESSIBLE AT ALL TIMES WITH MINIMUM OF TWO FEET HORIZONTAL CLEARANCE AND FOUR FEET VERTICAL CLEARANCE AS SHOWN ON THE PLANS.

SAMPLING POINT DETAIL

N.T.S.



FOG System Side View Detail

SCALE: 1:1

01 PLUMBING DETAILS
SCALE: N.T.S.

JMM Consulting Engineers, LLC
10251 SUNSET DRIVE, SUITE 103 MIAMI, FL 33173
TEL (305) 255-1621 FAX (305) 271-0090
Certificate of Authorization #9692
Jose M. Martinez P.E. #50018

To the best of my knowledge, the plans and specifications submitted hereweth comply with existing interpretations and provisions of the applicable building codes. This drawing is the sole property of JMM Consulting Engineers, LLC and is an instrument of service not to be reproduced in whole or in part without express written permission of JMM Consulting Engineers, LLC

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architecture . interiors . planning

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MEDLEY MUNICIPAL SERVICES BUILDING RECREATION ROOM RENOVATION

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MEDLEY, FLORIDA 33166

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Seal:

Eduardo H. Muhina, AR 0014862

Revisions

NUMBER	ISSUE	DATE
1	100% CD REVIEW SET	04-09-2020
1	DERM COMMENTS	08/07/20

Sheet Information

Date	04-09-2020
RDG Job Number	19020
Scale	AS SHOWN
Drawn	JM, TB, HI
Checked	JM, TB, HI
Approved	JM

Title

PLUMBING DETAILS

Sheet

P-3.0

SYSTEM SPECIFICATIONS (GB-75-2-Series)

1. 4" inlet/outlets (No-Hub)
2. Max flow rate: 75 GPM
3. Liquid capacity: 125 Gallons
4. Max grease capacity: 861 lbs.
   Grease capacity based off 99% efficiency per Miami Derm FOG 2.0 requirement
5. Max solids/sediment capacity: 38.4 Gallons
6. Pickable H20 rated cast iron covers
7. Maximum operating temperature 140 F° continuous.

NOTES

1. Each unit certified and listed by IAPMO to ASME #A112.14.3 and CSA B481.1 grease interceptor standards
2. Flow control to be installed in first unit only.
3. For gravity drainage applications only. Do not use for pressure applications.
4. 3/8" thick seamless high density polyethylene walls.
5. Unit supplied with built-in adapter(s) for up to 3-1/2" of adjustability. Additional riser(s) are also available for deeper burial depth.
6. Cover placement allows full access to tank for proper maintenance.
7. Vent not required unless per local code.
8. Designed narrow footprint allows clearance through doorways and down stairwells.
9. Engineered inlet and outlet diffusers are removable to inspect/clean piping.
10. For on-the-floor or buried applications.
11. Locate interceptor as close as possible to grease producing fixtures.
12. Integral Air Relief / Anti-siphon.
13. Three outlet options for easy rough in. Unit shipped with outlet diffuser in outlet "B".

DIFFUSION FLOW TECHNOLOGY

The inlet diffuser splits incoming effluent into two paths that utilize the entire liquid volume of the tank for efficient grease separation. The calibrated openings greatly reduce effluent turbulence. The effluent enters the tank without disturbing the grease or sediment layers.

The outlet diffuser allows only effluent which is free of grease to exit the tank. It can easily be attached to any of the three outlets provided to ease jobsite piping layouts.

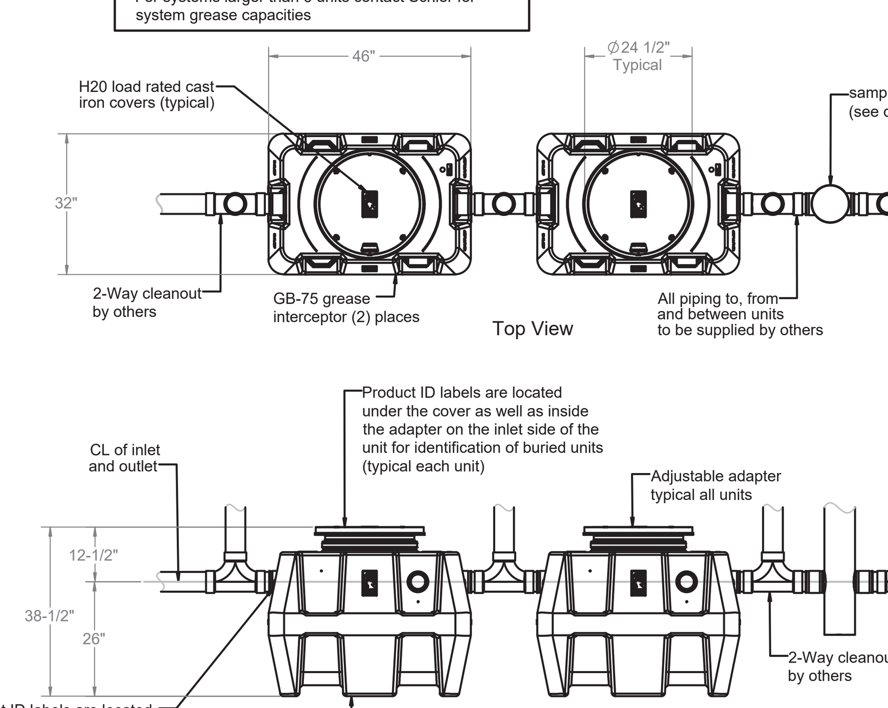
OPTIONS:

- Teleglide field adjustable risers for extending covers to grade
- High water anchor kit (set of 2)
- Male pipe thread
- 6" pipe connections
- Highway rated (16,000 lbs) composite cover
- Anchor kits

Grease Capacities of Multiple Unit Systems at 99% Efficiency per Miami Derm FOG 2.0 Requirement

1. GB-75-2 series = 861 lbs.
2. GB-75-3 series = 1,598 lbs.
3. GB-75-4 series = 2,335 lbs.
4. GB-75-5 series = 3,072 lbs.
5. GB-75-6 series = 3,809 lbs.

For systems larger than 6 units contact Schier for system grease capacities



MODEL NUMBER:	LAYOUT DETAIL: 900-0119-01	
GB-75-2-Series	DESCRIPTION: MULTIPLE UNIT GREASE INTERCEPTOR SYSTEM LAYOUT DETAILFOR 99% GREASE RATING EFFICIENCY FOR MIAMI DERM FOG 2.0	9500 Woodend Road Edwardsville, KS 66111 Tel: 800-827-7119 Fax: 800-827-9664 www.schierproducts.com
PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SCHIER PRODUCTS. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SCHIER PRODUCTS IS PROHIBITED.	DWG BY: TEU DATE: 4/3/2018 REV: - ECO: -	

1

TEST REPORT

IAPMO R&T LAB

5001 East Philadelphia Street
Ontario, California – USA 91761-2816
Ph: 909.472.4100 | Fax: 909.472.4243
http://www.iapmortl.org

Report Number: 1757-17012 **Project Number:** 28747

Report Issued: August 28th, 2017

Client: Schier Products
9500 Woodend Rd.
Edwardsville, KS 66111 **Contact:** Ben Brown

Source of Samples: Samples were manufactured at the client's facility in Edwardsville, KS. The sample was witnessed tested by Dale E. Holloway of IAPMO R&T Lab on August 22nd, 2017. Samples are manufactured in good condition.

Date of Testing: August 21st, 2017 through August 25th, 2017.

Sample Description: HDPE Grease Interceptor.

Model: **"GB-75-2-Series" (75 gpm)**

Refer to the manufacturer's drawings and installation instructions for more detailed measurements and information.

Scope of Testing: The above grease interceptor was witnessed tested to meet the requirements of ASME A112.14.3-2000 (Reaffirmed 2014) "Grease Interceptors", and CSA B481.1-12 "Testing and rating of grease interceptors using lard".

Conclusion: **The "GB-75-2-Series" (75 gpm) Grease Interceptor DID COMPLY with the requirements of ASME A112.14.3-2000 (Reaffirmed 2014) for "Grease Interceptors" and CSA B481.1-12 "Testing and rating of grease interceptors using lard".**

By the signature below, I certify that all the testing and preparation for this report was performed under direct supervision of IAPMO R&T Lab, unless otherwise stated.

Witness tested and reported by,

Dale E. Holloway, Regional Technical Manager
IAPMO R&T Lab

All testing and sample preparation for this report was performed under the continuous, direct supervision of IAPMO R&T Lab, unless otherwise stated. The observations, test results and conclusions in this report apply only to the specific samples tested and are not indicative of the quality or performance of similar or identical products. Only the Client shown above is authorized to copy or distribute the report, and then only in its entirety. Any use of the IAPMO R&T Lab name for the sale or advertisement of the tested material, product or service must first be approved in writing by IAPMO R&T Lab.

SPECIFICATIONS

1. 4" inlet/outlet Sch. 40. Plain End(No-Hub)
2. Flow rate: 125 GPM*
3. Liquid capacity: 125 Gallons
4. Solids capacity: 70 Gallons
5. Unit weight w/std. covers: 130 lbs.
6. H20 rated pickable cast iron cover, 16,000 lbs load.
7. Maximum operating temperature 140°F continuous.
   *1/4" slope based on Manning's formula with friction factor, N=0.012"

NOTES

1. For gravity drainage applications only. Do not use for pressure applications.
2. 3/8" thick seamless polyethylene tank.
3. Unit supplied with built-in adapter for up to 3" of adjustability. Additional riser(s) available for deeper burial depth.
4. Cover placement allows full access to tank for proper maintenance.
5. Designed narrow footprint allows clearance through doorways and down stairwells.
6. Diffuser is removable to inspect or clean piping.
7. For on the-floor or buried applications.

ENGINEER SPECIFICATION GUIDE

Striem Settler™ Catch Basin model CB-125-SFL shall be lifetime guaranteed and made in USA of seamless, rotationally-molded polyethylene with a minimum 3/8" uniform wall thickness. Catch Basin shall be furnished for below grade installation with a H20 rated pickable cast iron cover with 16,000 lb load capacity. Catch Basin shall be provided with outlet and inlet connection.

THIRD PARTY STRUCTURAL ANALYSIS

The CB-125-SFL has been structurally analyzed in accordance with the requirements of IBC 2012 and ASCE/SEI 7 for direct burial. The maximum burial depth and backfill material are specified in our installation instructions. The structural design has been reviewed and sealed by a professional engineer registered in the state of California. A sealed structural analysis report is available upon request.

OPTIONS

- ☐ **6P** - 6" Plain end inlet / outlet
- ☐ **CC24** - Integral membrane clamping collar
- ☐ **AK-1** - High water table 304 stainless steel anchor kit

TeleGlide RISER OPTIONS

- ☐ **SR24** - >3"-21"
- ☐ **LR24** - >21"-36"
- ☐ **SR24** - >36"-40"
- ☐ **SR24** + **LR24** - >40"-55"
- ☐ **LR24** - >55"-69"

PO IS NON-CANCELABLE
ORDER IS NON-RETURNABLE

Signature of Approval: ____________
Company: ____________
Date of Approval: ____________
Specifying Engineer: ____________
Engineering Firm: ____________

PROPRIETARY AND CONFIDENTIAL
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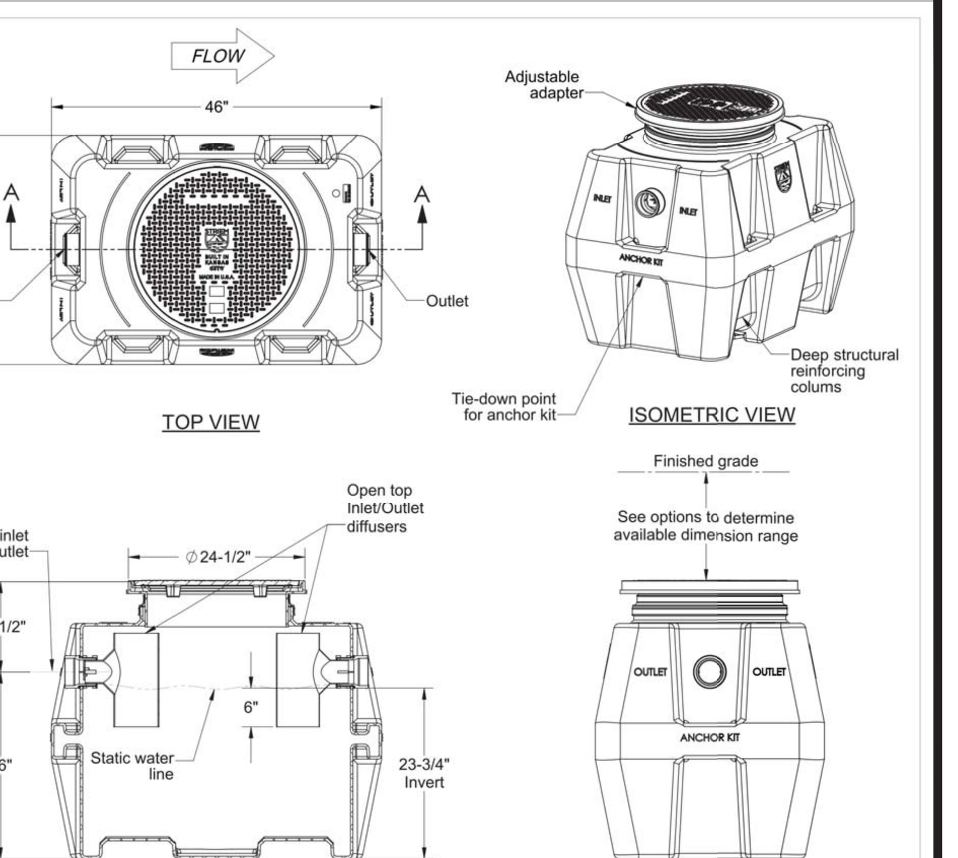
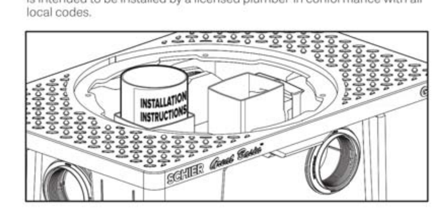


MODEL NUMBER: CB-125-SFL	SPECIFICATION SHEET
DESCRIPTION: SETTLER SERIES 110 GALLON LIQUID STORAGE CAPACITY POLYETHYLENE CATCH BASIN WITH H20 RATED PICKABLE CAST IRON COVER	Striem 3100 Brinkerhoff Kansas City, KS 66115 Tel: 913-222-1500 Fax: 913-291-0457 www.striemco.com Made in the U.S.A
DWG BY: MJ DATE: 02/14/19 REV: 0 ECO:	

SPECIAL PRECAUTIONS
For All Schier Grease Interceptor Installations

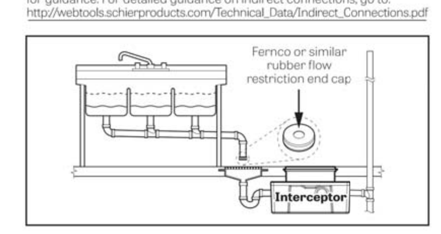
Installation Instructions

Installation instructions and additional components are located inside the interceptor. Read all instructions prior to installation. This interceptor is intended to be installed by a licensed plumber in conformance with all local codes.



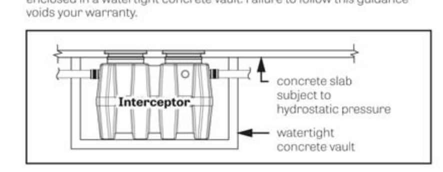
When Installing Interceptor Inside

If your dishwashing sink(s) discharges into a floor drain/sink (drain), you must regulate the flow into the drain to avoid an overflow of water onto the kitchen floor. This can be done by installing a valve or flow restriction cap on the sink piping that discharges into the drain. See drawing below for guidance. For detailed guidance on indirect connections, go to: http://webtools.schierproducts.com/Technical_Data/Indirect_Connections.pdf



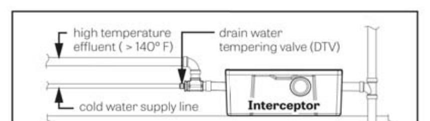
Hydrostatic Slabs (or Pressure Slabs)

When installed under a hydrostatic slab (slab designed to withstand upward lift, usually caused by hydrostatic pressure) interceptor must be enclosed in a watertight concrete vault. Failure to follow this guidance voids your warranty.



High Temperature Kitchen Water

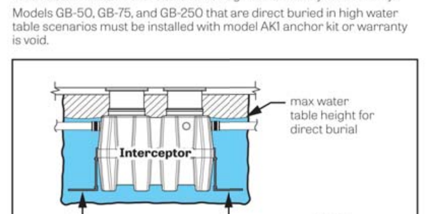
If water is entering the interceptor at excessive temperature (over 140° F), a drain water tempering valve (DTV) must be installed. Most state and local plumbing codes prohibit water above 140° F being discharged into the sanitary sewer. Water above 140° F will weaken or deform PVC Schedule 40 pipe, poly drainage fixtures like interceptors and erode the coating of cast iron (leading to eventual failure). Failure to follow this guidance voids your warranty.



High Water Table Installations

Interceptors and risers are not designed to withstand water table height in excess of the top of the unit when buried (see figure). If it is possible for this to occur, install the interceptor and risers in a water-tight concrete vault or backfill with concrete or flowable fill (wet concrete and flowable backfill should be poured in stages to avoid crushing the interceptor). At risk areas include but are not limited to tidal surge areas, floodplains and areas that receive storm water. Failure to follow this guidance voids your warranty.

Models GB-50, GB-75, and GB-250 that are direct buried in high water table scenarios must be installed with model AK1 anchor kit or warranty is void.



SCHIER LIFETIME GUARANTEED GREASE INTERCEPTORS | MODEL NUMBER: GB-75-2-SERIES | DESCRIPTION: Polyethylene Grease Interceptor 75 GPM - 250 gallon capacity | PART #: 4045-038-XX | DWG BY: B. Karrer | DATE: 08/23/2017 | REV: 1 03/06/2018 | ECO:

9500 Woodend Road | Edwardsville, KS 66111 | Tel: 913-951-3300 | Fax: 913-951-3399 | www.schierproducts.com © Copyright 2017 Schier, All Rights Reserved

057-1590-01 page 2 of 7

INSTALLATION (1 of 3)

WARNING! DO NOT AIR TEST UNITS OR TELEGLIDE RISER SYSTEM! Doing so may result in property damage, personal injury or death.

LEAK/SEAL TESTING

Cap/plug all base unit plumbing connections and remove covers. **For base unit testing**, fill with water to just above the highest connection. **For riser system testing** (if required) fill with water to finished grade level. **CAUTION: Risers must be supported before filling with water to prevent tipping.** Inspect units, connections and all gaskets and clamps (if applicable) for leaks. Check water level at specific time intervals per local code.

GENERAL INSTALLATION INSTRUCTIONS

Schier grease interceptors are manufactured with an internal flow control system. They do not require an external flow control system or air intake vent. Schier grease interceptors are not to be installed in any other manner except as shown. Consult local codes for separate trapping requirements, cleanout locations and additional installation instructions.

1. The **flow control plate is not installed** on either unit in the series. When the units are installed 13 feet or more below the fixtures being served, or a high flow/increased head pressure condition exists (causing a flow rate above 75 GPM), install the inlet diffuser flow control plate **on the primary unit only** to maintain proper flow rate.
2. Set units on level solid surface as close as possible to fixtures being served.
3. Connect outlet diffusers to the desired outlets (A,B,C). Units are shipped with the outlet diffusers in location B and sealing caps on locations A and C.
4. These units are intended to be piped in series. Do not pipe in parallel. Connect inlet drainage line to primary unit. Connect primary unit outlet to secondary unit inlet. Connect outlet drainage line to secondary unit. Mechanically couple pipes to unit. **Do not solvent weld.**
5. For units with cast iron covers, remove retainer clips prior to burial.

IMPORTANT! DO NOT INSTALL FLOW CONTROL ON THE SECONDARY UNIT.
NOTE: Do not install below a hydrostatic slab.

BELOW GRADE INSTALLATION INSTRUCTIONS EXCAVATION

1. Surrounding soil must be undisturbed soil or well compacted engineering fill.
2. Width and length of excavation shall be a minimum of 12" greater than the tanks on all sides and depth shall be 6" deeper than tank bottoms.
3. Set the tanks level on a 6" deep layer of well-packed crushed aggregate material and connect waste piping per General Installation Instructions.

BACKFILL

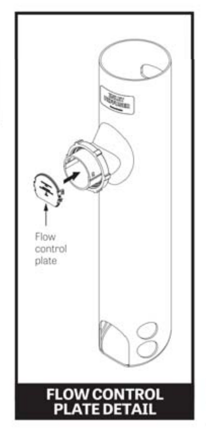
1. Preparation of sub grade per geotech recommendations.
2. Stabilize and compact sub grade to 95% proctor.
3. Fill units with water before backfilling to stabilize unit and prevent float-out during backfilling. Secure covers and risers (if necessary) to the units.
4. Backfill evenly around tanks using crushed aggregate (approximately 3/4" size rock or sand, with no fines), or flowable fill. **Do not compact backfill around units.**

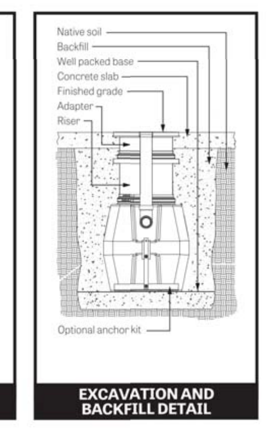
FINISHED CONCRETE SLAB

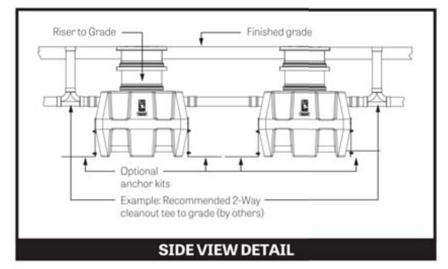
Slab must extend 18" minimum outside the footprint of the units.

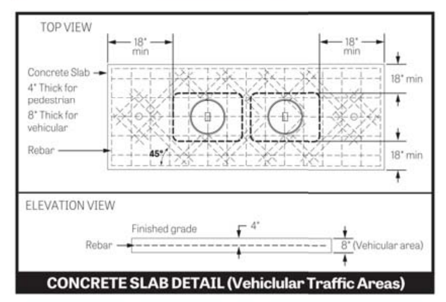
Pedestrian traffic or greenspace areas: 4" Thick reinforced concrete slab required.

Vehicular traffic areas: Minimum 8" Thick concrete slab with rebar required. Thickness of concrete around cover to be determined by specifying engineer. If traffic loading is required the concrete slab dimensions shown are for guideline purposes only. Concrete to be 28 day compressive strength to 4,000 PSI. Use NO. 4 rebar (ø 1/2") grade 60 steel per ASTM A615: connected with tie wire. Rebar to be 2-1/2" from edge of concrete and spaced in a 12" grid with 4" spacing around access openings.









SCHIER LIFETIME GUARANTEED GREASE INTERCEPTORS | MODEL NUMBER: GB-75-2-SERIES | DESCRIPTION: Polyethylene Grease Interceptor 75 GPM - 250 gallon capacity | PART #: 4045-038-XX | DWG BY: B. Karrer | DATE: 08/23/2017 | REV: 1 03/06/2018 | ECO:

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page 4 of 7

1

INTERCEPTOR MONITORING ALARM

ADVANCE TECHNOLOGY SOLUTIONS, LLC.
1348 Delta Drive,
Saginaw, MI 48638
Mario Rubines
786-295-1114
mrubines@bellsouth.net
Florida Sales

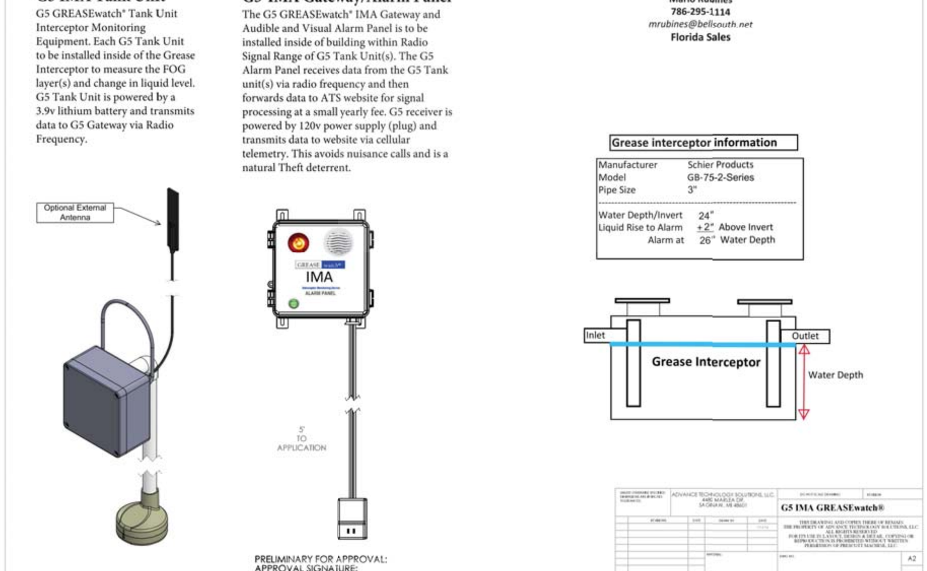
G5 IMA Tank Unit

G5 GREASEwatch® Tank Unit Interceptor Monitoring Equipment. Each G5 Tank Unit to be installed inside of the Grease Interceptor to measure the FOG layer(s) and change in liquid level. G5 Tank Unit is powered by a 3.9v lithium battery and transmits data to G5 Gateway via Radio Frequency.

G5-IMA Gateway/Alarm Panel

The G5 GREASEwatch® IMA Gateway and Audible and Visual Alarm Panel is to be installed inside of building within Radio Signal Range of G5 Tank Unit(s). The G5 Alarm Panel receives data from the G5 Tank unit(s) via radio frequency and then forwards data to ATS website for signal processing at a small yearly fee. G5 receiver is powered by 120v power supply (plug) and transmits data to website via cellular telemetry. This avoids nuisance calls and is a natural Theft deterrent.

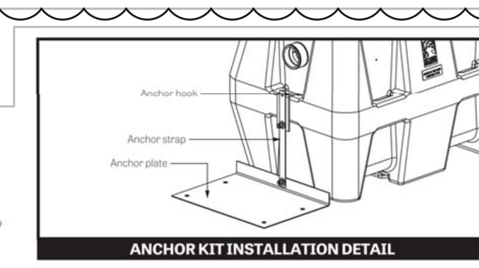
Grease interceptor information	
Manufacturer	Schier Products
Model	GB-75-2-Series
Pipe Size	3"
Water Depth/Invert	24"
Liquid Rise to Alarm	+2" Above Invert
Alarm at	26" Water Depth



ANCHOR KIT INSTALLATION

Stainless steel anchor kit is recommended for installation in high water table conditions to prevent float out. Necessity to be determined by specifying engineer. Hold down force achieved by backfill weight acting on Anchor Plate.

Slide Anchor Hook over tie down point on end wall and bolt to Anchor Strap. Bolt Anchor Strap to Anchor Plate using provided stainless steel hardware. If required, Anchor Plate may be bolted to concrete slab using provided holes.



SCHIER LIFETIME GUARANTEED GREASE INTERCEPTORS | MODEL NUMBER: GB-75-2-SERIES | DESCRIPTION: Polyethylene Grease Interceptor 75 GPM - 250 gallon capacity | PART #: 4045-038-XX | DWG BY: B. Karrer | DATE: 08/23/2017 | REV: 1 03/06/2018 | ECO:

9500 Woodend Road | Edwardsville, KS 66111 | Tel: 913-951-3300 | Fax: 913-951-3399 | www.schierproducts.com © Copyright 2017 Schier, All Rights Reserved

057-1590-01 page 5 of 7

"GB-75-2-Series" (75 gpm) Grease Interceptor					INCREMENTAL				ACCUMULATED			
Test No.	Grease Sink	Water Sink	Drop Time (sec)	Flow Rate (GPM)	Lbs added	Lbs skimmed	Lbs retained	Efficiency (%)	Lbs added	Lbs skimmed	Lbs retained	Efficiency (%)
58	1	2	111	77.0	15	0.36	14.64	97.6	870	8.94	861.10	99.0
59	2	1	111	77.0	15	0.37	14.63	97.5	885	9.31	875.69	98.9
60	1	2	112	76.3	15	0.49	14.51	96.7	900	9.80	890.20	98.9
61	2	1	112	76.3	15	0.54	14.46	96.4	915	10.34	904.66	98.9
62	1	2	110	77.7	15	0.53	14.47	96.5	930	10.87	919.13	98.8
63	2	1	112	76.3	15	0.44	14.56	97.1	945	11.31	933.69	98.8
64	1	2	110	77.7	15	0.70	14.30	95.3	960	12.01	947.99	98.7
65	2	1	111	77.0	15	0.47	14.53	96.9	975	12.48	962.52	98.7
66	1	2	111	77.0	15	0.69	14.31	95.4	990	13.17	976.83	98.7
67	2	1	111	77.0	15	0.57	14.43	96.2	1005	13.74	991.26	98.6
68	1	2	112	76.3	15	0.52	14.48	96.5	1020	14.26	1005.74	98.6
69	2	1	112	76.3	15	0.47	14.53	96.9	1035	14.73	1020.27	98.6
70	1	2	111	77.0	15	0.50	14.50	96.7	1050	15.23	1034.77	98.5
71	2	1	111	77.0	15	0.60	14.40	96.0	1065	15.83	1049.17	98.5
72	1	2	111	77.0	15	0.67	14.33	95.5	1080	16.50	1063.50	98.5
73	2	1	112	76.3	15	0.54	14.46	96.4	1095	17.04	1077.96	98.4
74	1	2	111	77.0	15	0.58	14.42	96.1	1110	17.62	1092.38	98.4
75	2	1	111	77.0	15	0.63	14.37	95.8	1125	18.25	1106.75	98.4
76	1	2	109	78.4	15	0.55	14.45	96.3	1140	18.80	1121.20	98.4
77	2	1	109	78.4	15	0.58	14.42	96.1	1155	19.38	1135.62	98.3
78	1	2	113	75.7	15	0.40	14.60	97.3	1170	19.78	1150.22	98.3
79	2	1	112	76.3	15	0.58	14.42	96.1	1185	20.36	1164.64	98.3
80	1	2	110	77.7	15	0.60	14.40	96.0	1200	20.96	1179.04	98.3
81	2	1	112	76.3	15	0.49	14.51	96.7	1215	21.45	1193.55	98.2
82	1	2	110	77.7	15	0.71	14.29	95.3	1230	22.16	1207.84	98.2
83	2	1	111	77.0	15	0.73	14.27	95.1	1245	22.89	1222.11	98.2
84	1	2	109	78.4	15	0.65	14.35	95.7	1260	23.54	1236.46	98.1
85	2	1	113	75.7	15	0.60	14.40	96.0	1275	24.14	1250.86	98.1

Performance Requirement Rating

The client requested to perform individual runs instead of groups of 5.

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FOG 2.0 RER-DERM

Hydromechanical FOG Control Device (H-FCD)

Required Information	Tank No. 1	Tank No. 2	Tank No. 3	Tank No. 4
Capacity (gpm)	75	75		
FOG Load Capacity (lbs) at 99% Efficiency	861			
Manufacturer	Schier Products	Schier Products		
Model No.	GB-75-2-series	GB-75-2-series		
3rd Party Certifier (i.e., PDI, CSA, ASME)	ASME	ASME		
Interceptor Monitoring Alarm Model No.	G5 IMA	N/A		
Interceptor Monitoring Device Model No.	G5 GREASEWATCH	N/A		
Solid Separator Make and Model	Striem CB-125-SFL			

Updated: 4/26/2018

DERM's FOG Control Device (FCD) Installation Inspection Required Prior to Plumbing Final for all Municipal projects. Failure to secure DERM's FCD Installation Inspection will result in disapproval of Final Inspection by the Municipal Building Official, pursuant to Section 24.42-6, MDC Code. To schedule DERM's FCD Installation Inspection for Municipal projects please send an email to iFOG2@miamidade.gov, 24 hours prior to desired date. Provide DERM plans process M-number, complete address of the site, folio number, and contact person name and phone number.

1

1

GREASE TRAP FLOW CALCULATION:

FIXTURE	VOLUME (CU. INCHES)	LOADING FACTOR	GAL.
HAND SINK 3-COMP SINK	(25"X11"X8") = 2200 (3)(25"X11"X12") = 9900	0.75 0.75	7.14 32.14
DRAINAGE FLOW RATE FOR 1 MINUTE =			39.28
FLOOR SINK: (2) 3" FS X 5FU/2X1=			5.0
FLOW RATE CALCULATED =			44.28
FLOW RATE USED =			75

YELLOW VOLUME CALCULATION:

FIXTURE	VOLUME (CU. INCHES)	LOADING FACTOR	GAL.
DEEP FRYER	(16"X26"X16") = 6656	0.75	21.6

GREASE GENERATED (GAL) = 22 GAL
MINIMUM CONTAINER SIZE REQUIRED = 22 GALLONS/0.9
MINIMUM CONTAINER SIZE REQUIRED = 25 GALLONS
TIMES OIL WILL BE DISCARDED = 1 PER WEEK
FREQUENCY OF EMPTYING CONTAINER = ONCE PER WEEK

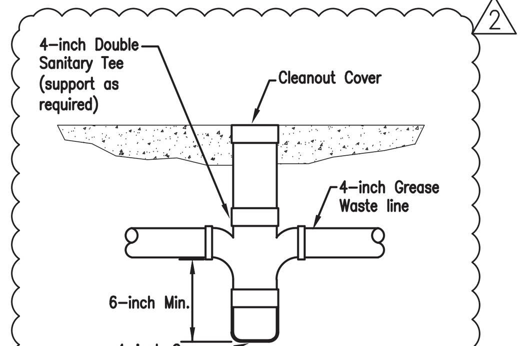
* YELLOW GREASE CONTAINER SHALL BE EMPTY @ 90% CAPACITY OR SOONER.

PUMP OUT FREQUENCY CALCULATION:
MULTI PURPOSE HALL
GREASE PROFDUCTION FACTOR = 0.0065 LB/MEAL
OF SEATS = 1329/15 = 89 SEATS
OF TAKE OUT MEALS/DAY = 0 MEALS
OF MEALS/DAY = 89 SEATS X 4 MEALS/DAY = 356 MEALS
LB GREASE PER DAY = 356 MEALS X 0.0065 = 2.31 LBS.

POF = 90 DAYS

TOTAL LBS OF GREASE PRODUCED = 2.31 LBS X 90 DAYS = 208 LBS

2



NOTE:
SAMPLING POINT SHALL BE ACCESSIBLE AT ALL TIMES WITH MINIMUM OF THREE FEET HORIZONTAL CLEARANCE AND FOUR FEET VERTICAL CLEARANCE AS SHOWN ON THE PLANS.

SAMPLING POINT DETAIL
N.T.S.

NOTE:
SAMPLING PORT SHALL BE ACCESSIBLE AT ALL TIMES WITHOUT HAVING TO REMOVE ANY MERCHANDISE AND WITHOUT STANDING WATER ON GROUND SURFACE; WITH A MINIMUM 36 INCHES HORIZONTAL CLARENCE FROM ANY WALL, FIXED EQUIPMENT OR STORED MATERIALS AND MINIMUM 48 INCHES VERTICAL CLEARANCE FROM ANY FIXED EQUIPMENT OR STORED MATERIALS.

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TEL (305) 255-1621 FAX (305) 271-0090
Certificate of Authorization #9692
Jose M. Martinez P.E. #56018

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MEDLEY MUNICIPAL SERVICES BUILDING RECREATION ROOM RENOVATION

7777 NW 72ND AVENUE
MEDLEY, FLORIDA 33166

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Seal:

Eduardo H. Muhina, AR 0014862

Revisions

NUMBER	ISSUE	DATE
1	100% CD REVIEW SET	04-09-2020
1	DERM COMMENTS	08/07/20
2	DERM COMMENTS	10/12/20

Sheet Information

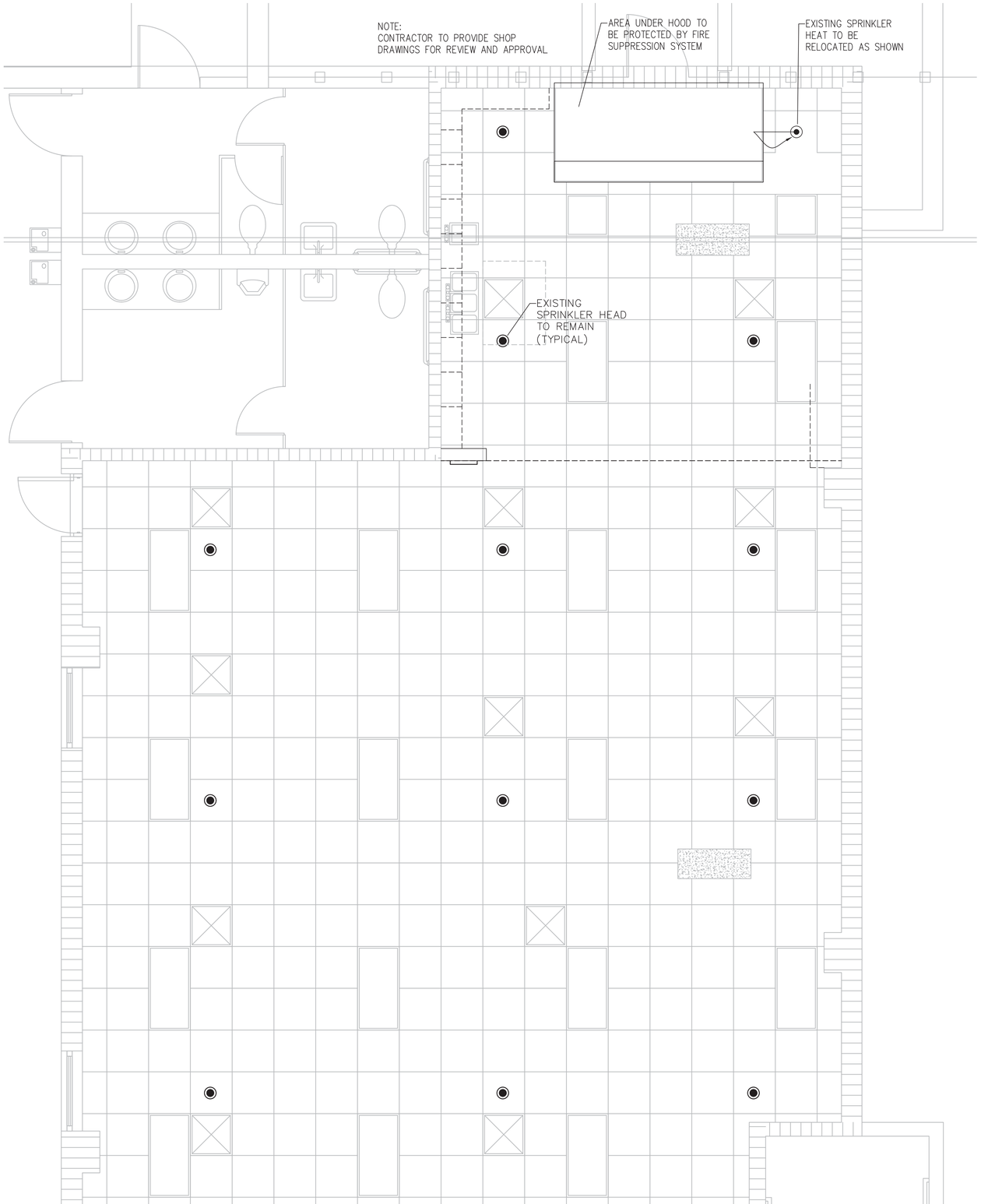
Date	04-09-2020
RDG Job Number	19020
Scale	AS SHOWN
Drawn	JM, TB, HI
Checked	JM, TB, HI
Approved	JM

Title

PLUMBING DETAILS

Sheet

P-4.0



1 FIRE PROTECTION PLAN
SCALE: 3/8" = 1'-0"

N

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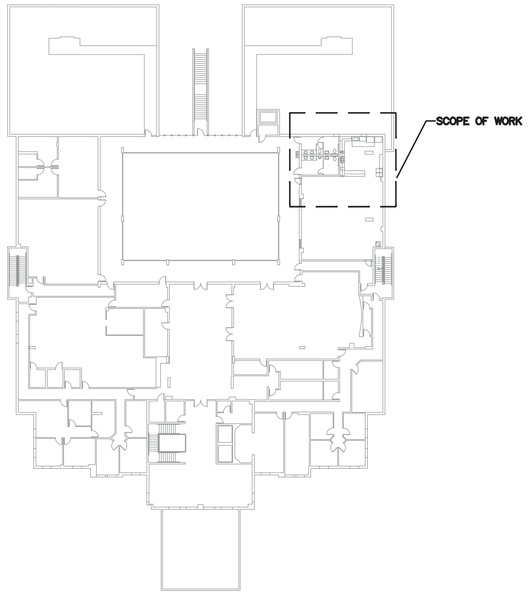
FIRE PROTECTION PLAN

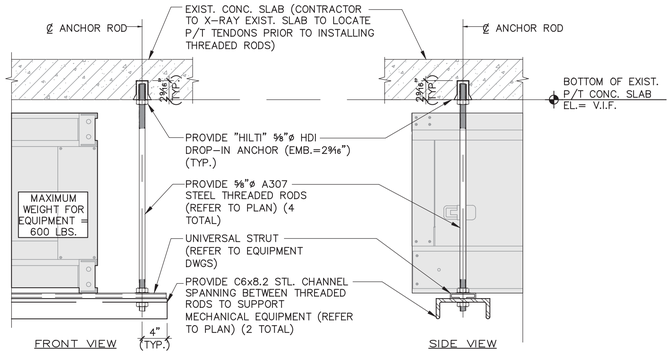
Sheet

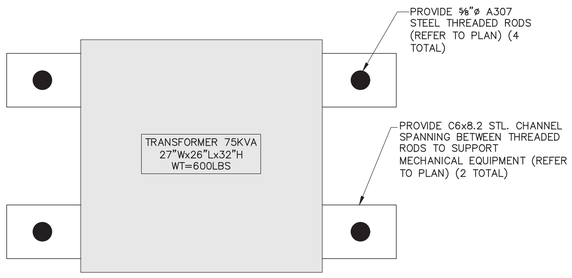
FP-1.0



KEY PLAN

SCALE : 1/32"=1'-0"





PLAN VIEW

DETAIL A

SCALE : 1½"=1'-0"

PLAN NOTES:

1. COORDINATE W/ARCHITECTURAL & OTHER DRAWINGS FOR INFORMATION NOT SHOWN ON THIS PLAN.
2. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS, ELEVATIONS, DRAINS, DRAINAGE SLOPE, ETC. NOT SHOWN.
3. COORDINATE W/ARCHITECTURAL & OTHER DRAWINGS FOR INFORMATION NOT SHOWN ON THIS PLAN.

STRUCTURAL NOTES

1. GENERAL:

A. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY IN WRITTING ANY ERRORS, INCONSISTENCIES, OR OMISSIONS ON THE DRAWINGS TO THE ENGINEER FOR CLARIFICATION, PRIOR TO FABRICATION & INSTALLATION OF ANY STRUCTURAL MEMBERS.

B. THE CONTRACTOR IS RESPONSIBLE AND SHALL COMPLY WITH THE REQUIREMENTS OF THE 2017 FLORIDA BUILDING CODE AND ALL LOCAL, STATE AND FEDERAL LAWS.

C. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT LIMITED TO: BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. INSPECTION VISITS TO THE SITE BY THE STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.

D. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING HIS CONSTRUCTION DOCUMENTS WITH ANY REVISED DRAWINGS AND SPECIFICATIONS, OR CLARIFICATION SKETCHES ISSUED DURING THE COURSE OF CONSTRUCTION.

E. THE CONTRACTOR SHALL ADEQUATELY PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC, AND BE RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLECT.

F. NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED OR OTHERWISE REDUCED IN SIZE OR STRENGTH WITHOUT PRIOR APPROVAL IN WRITING FROM THE STRUCTURAL ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS INCURRED.

G. CONTRACTOR SHALL COORDINATE STRUCTURAL AND OTHER DRAWINGS WHICH ARE PART OF THE CONTRACT DOCUMENTS FOR ANCHORED, EMBEDDED OR SUPPORTED ITEMS WHICH MAY AFFECT THE STRUCTURAL DRAWINGS.

H. THESE DRAWINGS ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK AND ARE PARTLY DIAGRAMMATIC. THESE DRAWINGS ARE NOT INTENDED TO BE SCALED OR TO SERVE AS SHOP DRAWINGS OR PORTIONS THEREOF.

I. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT, EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.

J. DEFICIENT WORK SHALL BE REPLACED OR REPAIRED, AS DETERMINED BY THE ENGINEER, AT NO COST TO THE OWNER, INCLUDING ENGINEERING COSTS INCURRED.

K. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE DURATION OF THE PROJECT WORK. THE STRUCTURAL ENGINEER WILL NOT ADVISE ON NOR ISSUE DIRECTION AS TO SAFETY PRECAUTIONS.

L. ALL STRUCTURAL ELEMENTS OF THE PROJECT HAVE BEEN DESIGNED BY THE STRUCTURAL ENGINEER TO RESIST THE CODE-REQUIRED VERTICAL AND LATERAL FORCES THAT COULD OCCUR IN THE FINAL COMPLETED STRUCTURE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL REQUIRED BRACING DURING CONSTRUCTION TO MAINTAIN THE STABILITY & SAFETY OF ALL STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PROCESS UNTIL THE LATERAL-LOAD RESISTING OR STABILITY-PROVIDING SYSTEM IS COMPLETELY INSTALLED AND THE STRUCTURE IS COMPLETELY TIED TOGETHER.

M. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT WHEN PLACED ON FLOOR OR ROOF. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT. PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE STRUCTURE HAS NOT ACHIEVED DESIGN STRENGTH.

N. THESE NOTES SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS ISSUED BY THE ARCHITECT. DISCREPANCIES SHALL BE BROUGHT TO ATTENTION TO THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

O. ANY MATERIALS OF PRODUCTS SUBMITTED FOR APPROVAL THAT ARE DIFFERENT FROM THOSE SPECIFIED IN THE STRUCTURAL PLANS WILL BE REVIEWED AND APPROVED ONLY IF THE FOLLOWING CRITERIA ARE SATISFIED:

1. A COST SAVINGS TO THE OWNER IS DOCUMENTED & SUBMITTED WITH THE REQUEST.
2. THE MATERIAL OR PRODUCT HAS BEEN APPROVED BY THE FLORIDA BUILDING CODE AND THE PRODUCT APPROVAL REPORT IS SUBMITTED WITH THE REQUEST.

SUBMITTALS NOT SATISFYING THE ABOVE CRITERIA WILL NOT BE CONSIDERED.

P. WHEN PERFORMING WORK BELOW GRADE, CARE SHALL BE TAKEN TO AVOID DAMAGING ANY EXISTING UTILITIES. ALL UNKNOWN UTILITIES DISCOVERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPORTED TO ALL AFFECTED PARTIES, INCLUDING THE ARCHITECT/ENGINEER.

Q. THE CONTRACTOR SHALL USE EXTREME CAUTION IN THE DEMOLITION OF EXISTING STRUCTURES. SUCH DEMOLITION SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE STRUCTURAL INTEGRITY OF ALL EXISTING STRUCTURES TO REMAIN. PROVIDE TEMPORARY SHORING WHERE REQUIRED.

R. THE CONTACTOR SHALL VISIT THE SITE AND BECOME FULLY AWARE OF THE EXISTING CONDITIONS & EXTENT OF WORK REQUIRED TO COMPLETE THE PROJECT PRIOR TO THE START OF WORK.

S. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY WORK PERMITS AND APPROVALS REQUIRED BY THE LOCAL AGENCY HAVING JURISDICTION TO PERFORM THE WORK INDICATED.

2. STRUCTURAL STEEL:

A. ALL STRUCTURAL STEEL SHALL CONFORM TO THE FOURTEENTH EDITION OF THE ALLOWABLE STRESS DESIGN (ASD) "MANUAL OF STEEL CONSTRUCTION" OF THE AISC, PUBLISHED IN 2010.

B. UNLESS OTHERWISE NOTED, ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING ASTM SPECIFICATIONS:

MEMBER	ASTM	MIN. STRENGTH
STRUCTURAL TUBING (HSS)	A500 (GRADE B)	46 KSI
STEEL PIPE	A53 (GRADE B)	35 KSI
W SHAPES	A992	50 KSI
OTHER ROLLED PLATES/SHAPES	A36	36 KSI
CONNECTION BOLTS	A325	92 KSI
ANCHOR BOLTS	F1554	58 KSI

C. HEADED STUDS SHALL BE NELSON GRANULAR FLUX-FILLED HEADED ANCHOR STUDS AND SHALL BE MADE FROM C-1015 COLD ROLLED STEEL AND SHALL CONFORM TO ASTM SPECIFICATION A-108, GRADES 1015-1020 WITH MINIMUM TENSILE STRENGTH OF 60 KSI.

D. UNLESS OTHERWISE NOTED, ALL CONNECTIONS SHALL BE SHEAR TYPE CONNECTIONS AND DESIGNED BY THE FABRICATOR FOR THE FACTORED SHEAR FORCES INDICATED ON PLAN IN ACCORDANCE WITH THE ASTM SPECIFICATIONS FOR ALLOWABLE DESIGN. ALL BOLTS SHALL BE SHEAR/BEARING TYPE BOLTS AND BE "SNUG-TIGHT".

E. ALL WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1 USING E70-XX ELECTRODES. (SMAW) UNLESS OTHERWISE NOTED, PROVIDE CONTINUOUS MINIMUM SIZED FILLET WELDS AS PER AISC REQUIREMENTS. ALL FILLER MATERIAL SHALL HAVE A MINIMUM YIELD STRENGTH OF 58 KSI. ALL WELDING TO BE PERFORMED BY CERTIFIED WELDERS AS REQUIRED BY AWS & 2017 FLORIDA BUILDING CODE. SLAG SHALL BE REMOVED FROM ALL WELDS FOR INSPECTION.

F. HOLES IN STEEL SHALL BE DRILLED OR PUNCHED. ALL SLOTTED HOLES SHALL BE PROVIDED WITH SMOOTH EDGES. BURNING OF HOLES AND TORCH CUTTING AT THE SITE IS NOT PERMITTED.

G. ALL STRUCTURAL STEEL PERMANENTLY EXPOSED TO VIEW SHALL BE SHOP PAINTED WITH ONE COAT OF SSPC 15-68, RED OR GRAY OXIDE-TYPE PAINT.

H. COLUMNS, ANCHOR BOLTS, BASE PLATES, ETC. HAVE BEEN DESIGNED FOR THE FINAL COMPLETED CONDITION AND HAVE NOT BEEN INVESTIGATED FOR POTENTIAL LOADINGS ENCOUNTERED DURING STEEL ERECTION AND CONSTRUCTION. ANY INVESTIGATION OF THE COLUMNS, ANCHOR BOLTS, BASE PLATES, ETC. FOR ADEQUACY DURING THE STEEL ERECTION AND CONSTRUCTION PROCESS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

I. STEEL FABRICATORS SHALL BE AN AISC CERTIFIED SHOP FOR CATEGORY I STEEL STRUCTURES AND MAINTAIN DETAILED QUALITY CONTROL PROCEDURES AS REQUIRED TO SATISFY THE SPECIAL INSPECTION REQUIREMENTS OF THE 2017 FLORIDA BUILDING CODE.

J. ALL STRUCTURAL STEEL PERMANENTLY EXPOSED TO WEATHER, SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A153-09 AND A123/A123M-09. PROVIDE GALVANIZED BOLTS FOR STEEL PERMANENTLY EXPOSED TO WEATHER. GALVANIZING SHALL BE DONE BY BOLT MANUFACTURER.

K. FIELD CUTTING OF STRUCTURAL STEEL IS NOT PERMITTED EXCEPT WHERE ACCEPTED BY THE ENGINEER OF RECORD IN WRITING. CUTTING OR ENLARGEMENT OF BOLT HOLES WITH TORCHES IS STRICTLY PROHIBITED.

L. CONTRACTOR TO OBTAIN ALL FIELD MEASUREMENTS REQUIRED FOR PROPER FABRICATION AND INSTALLATION OF WORK PRIOR TO DETAILING. PRECISE MEASUREMENTS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

M. FOR FIREPROOFING REQUIREMENTS AND ASSEMBLIES REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.

N. A REGISTERED PROFESSIONAL ENGINEER SHALL INSPECT THE WELDING AND BOLTING OF STRUCTURAL STEEL FRAMINGS AS PER SECTION 2214.3.4 OF THE 2017 FLORIDA BUILDING CODE.

O. GROUT FOR COLUMN BASE PLATES AND PRESET BEARING PLATES SHALL BE NON-SHRINK, NON-METALLIC GROUT WITH A COMPRESSIVE STRENGTH OF AT LEAST 5,000 PSI IN 28 DAYS.

TO THE BEST OF MY KNOWLEDGE THESE PLANS CONFORM TO THE STRUCTURAL REQUIREMENTS OF F.B.C. 2017, LATEST REVISIONS, INCLUDING SECTIONS PERTAINING TO H.V.H.Z.

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Seal:

Eduardo H. Muhina, AR 0014862

Revisions

NUMBER	ISSUE	DATE
	PERMIT SET	4-9-2020
1	BLDG. DEPT. COMMENTS	6-2-2020

Sheet Information

Date	4-9-2020
RDG Job Number	19020
Scale	AS SHOWN
Drawn	NP
Checked	AR
Approved	AR

Title

FOUNDATION & GROUND FLOOR PLAN

Sheet

S-1 (1)