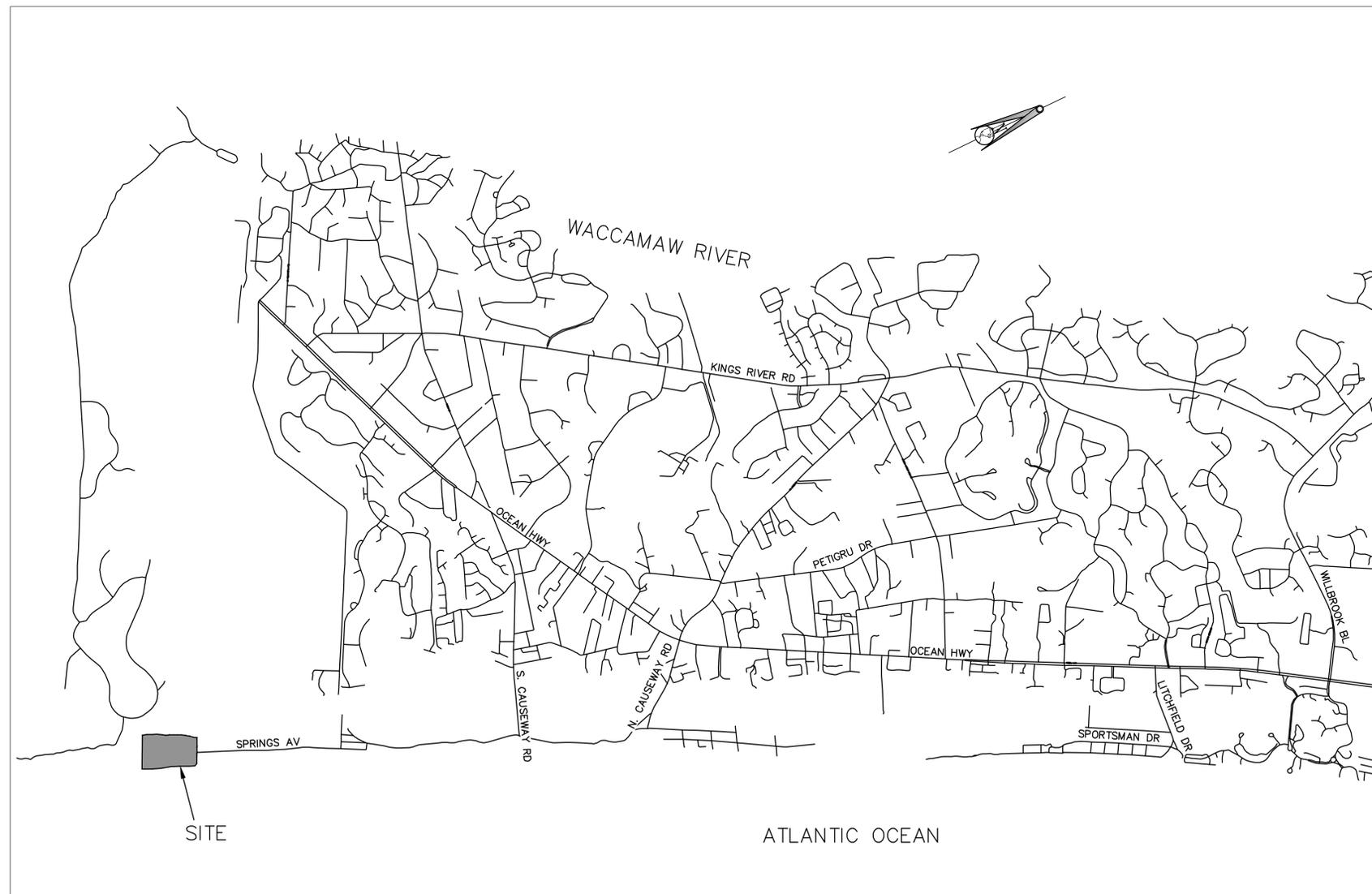


SITE IMPROVEMENT PLANS OF PAWLEYS ISLAND SOUTH PARKING LOT

GEORGETOWN COUNTY, SC

PREPARED FOR:
GEORGETOWN COUNTY CAPITAL PROJECTS
1920 CHURCH STREET
GEORGETOWN, SC 29440

04-27-2020
01/23/23



REVISION SCHEDULE			
NO.	DATE	DESCRIPTION	BY

EARTHWORKS
planning and design consultants

11655 HIGHWAY 707
MURRELLS INLET, SC 29576
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***STANDARD SCDHEC NOTES**

- IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABLE MEASUREMENTS SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION, FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FENCED OR OTHERWISE MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
- MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).
- THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
 - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
 - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
- AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
- IF EXISTING BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

* COPIED FROM "STORMWATER MANAGEMENT AND SEDIMENT AND EROSION CONTROL PLAN REVIEW CHECKLIST FOR DESIGN PROFESSIONALS" FILE NAME CHECKLIST.DOC, UPDATED 12/2012, PG. 11 - 12

UTILITY NOTES:

- ALL WORK SHOWN SHALL BE DONE IN ACCORDANCE WITH THESE PLANS AND SITE WORK SPECIFICATIONS.
- ALL NECESSARY PERMITS AND APPROVALS FROM AGENCIES GOVERNING THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION.
- EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION. CALL PUPS 1-800-922-0983 AND GCWSD 1-843-237-9727 FOR UTILITY LINE LOCATION.
- CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER, LATERALS, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION AND SCHEDULING OF THE TIE-INS/CONNECTIONS TO THEIR FACILITIES.
- THE SITE WORK CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SLEEVES, AND ANY OTHER MISCELLANEOUS), SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL.
- ALL WATER & SEWER CONSTRUCTION SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS OF THE GEORGETOWN COUNTY WATER & SEWER DISTRICT.
- SEWER LATERALS SHALL BE PLUGGED AT THE PROPERTY LINE. MARK SEWER END WITH TREATED POST PLACED IN GROUND.
- WHERE FIELD INSPECTIONS ARE REQUIRED BY THE REGULATORY AGENCIES, THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION A MINIMUM OF 48 HOURS IN ADVANCE TO SCHEDULE SUCH INSPECTIONS.
- ALL WATER TO MAINTAIN 36" COVER, SEWER TO MAINTAIN 36" COVER.
- THE SEWER SYSTEM IS DESIGNED TO BE ABOVE THE 50 YEAR FLOOD ELEVATION.
- A PUBLIC ENTITY SHALL BE RESPONSIBLE FOR THE OPERATION, MAINTENANCE, AND REPLACEMENT OF ALL SYSTEM COMPONENTS BEGINNING WITH THE SOLIDS INTERCEPTOR TANKS AND PUMPING SYSTEMS. PROPOSALS BY PRIVATE ENTITIES SHALL BE EVALUATED ON A CASE-BY-CASE BASIS. THE DEPARTMENT MAY EVALUATE THE CAPABILITY OF RELIABLE SYSTEM OPERATION IN ITS EVALUATION.
- WATER & SEWER SERVICES WILL BE 2 FT FROM THE PROPERTY LINE OR 5 FT FROM A OR DRAINAGE EASEMENT.
- THERE WILL BE A MINIMUM OF 10 FT HORIZONTAL SEPARATION BETWEEN THE WATER AND SEWER UTILITIES.
- THERE SHALL BE A MINIMUM OF 18 INCHES VERTICAL SEPARATION BETWEEN ALL UTILITY LINES.

CONSTRUCTION NOTES:

- CONTRACTOR SHALL ADJUST ANY MANHOLE RIM BY 3-1/2" (1 COURSE) UP OR DOWN TO FIT FIELD CONDITIONS. AT NO ADDITIONAL COST TO THE ENGINEER OR THE OWNER. ADJUSTMENTS ABOVE ONE COURSE FOR THE MANHOLE RIMS SHALL BE APPROVED BY THE ENGINEER.
- PROPOSED FIRE HYDRANTS LOCATED IN FIELD SHALL BE IN ACCORDANCE WITH THE LOCAL AUTHORITY'S SPECIFICATIONS AS SHOWN ON THE FIRE HYDRANT DETAILS. ANY SHOWN ON PLANS, LOCATION AND SCALE HAVE BEEN MODIFIED FOR CLARITY. DO NOT SCALE THE FIRE HYDRANT LOCATIONS FROM THE PLAN.
- PROPOSED CATCH BASIN GRATE ELEVATIONS ARE SUBJECT TO FIELD CHANGES ONLY IF APPROVED BY THE ENGINEER.
- ANY CHANGES OR DEVIATIONS FROM THE PERMITTED PLANS DURING CONSTRUCTION SHALL BE APPROVED BY THE ENGINEER. EXTRA WORK CAUSED BY THE FAILURE TO FOLLOW THE PLANS SHALL BE AT THE SOLE EXPENSE OF THE OWNER OR CONTRACTOR.
- FINISHED FLOOR ELEVATION TO BE ESTABLISHED BY THE BUILDING DESIGNER / ARCHITECT. ALL BUILDINGS SHALL BE A MINIMUM OF 12 INCHES ABOVE THE ROAD CENTERLINE ELEVATION.
- ANY LOCATIONS OR ELEVATIONS SHOWN ON PLANS AS EXISTING ARE TO BE FIELD VERIFIED BY CONTRACTOR IN COORDINATION WITH RESPECTIVE UTILITY AGENCY. ANY FOUND DEVIATION FROM PLAN LOCATIONS OR ELEVATIONS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL BEFORE CONSTRUCTION METHODS CAN COMMENCE.

GENERAL PAVEMENT NOTES:

- BASE COMPACTED TO 100% MODIFIED PROCTOR DENSITY. SUBGRADE COMPACTED TO 95% MODIFIED PROCTOR DENSITY. ALL FILL TO BE PLACED IN 6" LIFTS AND COMPACTED. MIN. 18" FOR COMPACTED SUBGRADE.
- PROTECT INLETS PRIOR TO PAVING.
- CONTRACTOR TO PROVIDE ASPHALT CORES, GRADATION AND DENSITY.
- THERE MUST BE AN APPROVED S/G AND CURBLINE PROOF ROLL PRIOR TO LAYING CURB AND GUTTER.
- UNDERDRAINS ARE TO BE INSTALLED BEHIND ALL CURB AND GUTTER AND EXTENDED FROM BOX TO BOX.
- ALL ROADWAY CROSS-SECTION MUST ADHERE TO THE COUNTY'S REGULATIONS.
- SOIL BORINGS SHALL BE TAKEN A MINIMUM OF EVERY 500 FT. OF ROADWAY CENTERLINE AND A GEOTECHNICAL REPORT SHALL ACCOMPANY THESE PLANS.
- ALL CLEARING AND GRUBBING IS TO MEET SCOT SPECIFICATIONS.
- A MINIMUM OF 6" OF GABC IS TO BE INSTALLED BELOW CURB.
- PROOF-ROLLING SHALL BE PERFORMED WITH A LOADED TANDEM AXLE DUMP TRUCK. WEIGHT TICKET SHOWING THE CURRENT LOAD COMING FROM A SC CERTIFIED SCALE MASTER MUST BE PROVIDED AT BEGINNING OF PROOF ROLL INSPECTION. WEIGHT TICKET CANNOT HAVE BEEN ISSUED MORE THAN ONE HOUR PRIOR TO BEGINNING PROOF ROLL INSPECTION. GROSS VEHICLE WEIGHT SHALL BE NO LESS THAN 65,000-LBS. IN LIEU OF THIS REQUIREMENT CONTRACTOR MAY PROVIDE TANDEM DUMP TRUCK LOADED WITH GABC WITH ZERO FREEBOARD. LOAD MUST BE DUMPED ON-SITE AT THE END OF THE PROOF ROLL FOR INSPECTION BY THE INSPECTOR. ANY MATERIAL FOUND OTHER THAN GABC WILL RESULT IN AN INSPECTION FAILURE.

STATE PLANE COORDINATES

ALL BEARINGS SHOWN HEREON ARE BASED UPON THE SOUTH CAROLINA STATE PLANE COORDINATES SYSTEM (NAD83) AND WERE PROVIDED BY THE SURVEYOR. STATE PLANE COORDINATES SHOWN ARE FOR REFERENCE ONLY AND DO NOT REPRESENT SURVEYED COORDINATES.

VERTICAL DATUM NAVD88

THE ELEVATIONS SHOWN HEREON WERE PROVIDED BY THE SURVEYOR AND ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

NOTE: SURVEYOR AND CONTRACTOR SHALL VERIFY LOCATION OF ALL INFRASTRUCTURE IMPROVEMENTS AND PROPERTY CORNERS PRIOR TO CONSTRUCTION AND NOTIFY THE DESIGN ENGINEER IF ANY DISCREPANCIES ARE FOUND.

WATER AND SEWER LEGEND:

- SANITARY MANHOLE (SMH)
- SANITARY PIPE (SAN)
- PROPOSED FIRE HYDRANT
- PROPOSED 2" BLOW OFF
- PROPOSED WATER VALVE
- PROPOSED SINGLE WATER SERVICE
- PROPOSED DOUBLE WATER SERVICE
- PROPOSED SINGLE SANITARY SERVICE
- PROPOSED DOUBLE SANITARY SERVICE

NOTE: REFER TO DETAIL SHEETS FOR DETAILED INFORMATION AND CONTACT ENGINEER WITH ANY QUESTIONS PRIOR TO PURCHASING AND INSTALLATION OF UTILITIES.

TRANSPORTATION LEGEND:

- "STOP" SIGN
- STREET SIGN
- TRAFFIC FLOW ARROW
- SPEED LIMIT SIGN
- "NO OUTLET" SIGN

NOTES:

GENERAL REQUIREMENTS:

- CONTRACT DOCUMENTS - THESE ARE THE DOCUMENTS ISSUED FOR CONSTRUCTION OF THE PROJECT AND INCLUDE AT A MINIMUM: 1) THE OWNER/CONTRACTOR AGREEMENT; 2) THE GENERAL AND ANY SUPPLEMENTARY CONDITIONS; 3) TECHNICAL SPECIFICATIONS; 4) CONSTRUCTION DRAWINGS (PLANS); AND, 5) ANY AUTHORIZED CHANGE ORDERS. THE CONTRACTOR WILL SATISFY HIMSELF THEREOF THAT THEY HAVE A COMPLETE SET OF THESE DOCUMENTS AND HAVE REVIEWED THE SAME AS THESE DOCUMENTS ARE COMPLEMENTARY OF EACH OTHER. SHOULD THERE BE A CONFLICT BETWEEN THE CONSTRUCTION DRAWINGS AND THE TECHNICAL SPECIFICATIONS; THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
- BEFORE UNDERTAKING EACH PART OF THE WORK, CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS AND CHECK AND VERIFY PERTINENT FIGURES SHOWN THEREON AND ALL FIELD MEASUREMENTS. CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO ENGINEER ANY CONFLICT, ERROR OR DISCREPANCY WHICH CONTRACTOR MAY DISCOVER AND SHALL OBTAIN A WRITTEN INTERPRETATION OR CLARIFICATION FROM ENGINEER BEFORE PROCEEDING WITH ANY WORK AFFECTED THEREBY.
- THE INFORMATION AND DATA SHOWN OR INDICATED IN THE CONTRACT DOCUMENTS WITH RESPECT TO EXISTING UNDERGROUND FACILITIES OR ON ADJACENT TO THE SITE IS BASED ON INFORMATION AND DATA FURNISHED TO THE ENGINEER BY THE OWNERS OF SUCH UNDERGROUND FACILITIES OR AS INDICATED ON THE UTILITY PLANS. CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, FOR LOCATING ALL UNDERGROUND FACILITIES SHOWN OR INDICATED IN THE CONTRACT DOCUMENTS, FOR COORDINATION OF THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION, AND FOR THE SAFETY AND PROTECTION OF THE SAME.

CONTRACTOR'S RESPONSIBILITIES

- CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK COMPETENTLY AND EFFICIENTLY, DEVOTING NECESSARY ATTENTION AND APPLYING SKILLS AND EXPERTISE AS MAY BE NECESSARY TO PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE GENERAL REQUIREMENTS, THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE TO SEE THAT THE FINISHED WORK COMPLIES ACCURATELY WITH THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL KEEP ON THE WORK AT ALL TIMES DURING ITS PROGRESS A COMPETENT RESIDENT SUPERINTENDENT, WHO SHALL HAVE AUTHORITY TO ACT ON BEHALF OF CONTRACTOR. ALL COMMUNICATIONS GIVEN TO THE SUPERINTENDENT SHALL BE AS BINDING AS IF GIVEN TO CONTRACTOR.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE TO THE OWNER FOR ALL ACTS AND OMISSIONS OF THE SUBCONTRACTORS, SUPPLIERS AND OTHER PERSONS AND ORGANIZATIONS PERFORMING OR FURNISHING ANY OF THE WORK UNDER A DIRECT OR INDIRECT CONTRACT WITH CONTRACTOR JUST AS CONTRACTOR IS RESPONSIBLE FOR CONTRACTORS OWN ACTS AND OMISSIONS.
- CONTRACTOR SHALL CONFINE CONSTRUCTION EQUIPMENT, THE STORAGE OF MATERIALS AND EQUIPMENT AND THE OPERATIONS OF WORKERS TO THE PROJECT SITE AND LAND AND AREAS IDENTIFIED IN AND PERMITTED BY THE CONTRACT DOCUMENTS AND OTHER AREAS AS PERMITTED (I.E. RIGHTS-OF-WAY AND EASEMENTS). CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY TO THE OWNER OR OCCUPANT FOR ANY DAMAGE TO ANY LAND OR AREA CONTIGUOUS TO THE AREAS PREVIOUSLY IDENTIFIED, RESULTING FROM THE PERFORMANCE OF THE WORK. CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER AND REGULATORY AGENCIES TO INDEMNIFY AND HOLD OWNER AND ENGINEER HARMLESS FROM AND AGAINST ALL CLAIMS BROUGHT BY SAID PARTIES ARISING OUT OF THE CONTRACTOR'S PERFORMANCE OF THE WORK.

OWNER'S RESPONSIBILITIES

- THE OWNER SHALL FURNISH THE DATA REQUIRED OF OWNER UNDER THE CONTRACT DOCUMENTS PROMPTLY AND SHALL MAKE PAYMENTS TO CONTRACTOR PROMPTLY AFTER THEY ARE DUE AS AGREED TO BY BOTH PARTIES.
- THE OWNER SHALL FURNISH THE LANDS UPON WHICH THE WORK IS TO BE PERFORMED, INCLUDING RIGHTS-OF-WAY AND EASEMENTS FOR SUCH OTHER LANDS WHICH ARE DESIGNATED FOR THE USE OF CONTRACTOR. EASEMENTS FOR PERMANENT STRUCTURES OR PERMANENT CHANGES IN EXISTING FACILITIES WILL BE OBTAINED AND PAID FOR BY OWNER. CONTRACTOR SHALL PROVIDE FOR ALL ADDITIONAL LANDS AND ACCESS THERETO THAT MAY BE REQUIRED FOR TEMPORARY CONSTRUCTION FACILITIES OR STORAGE OF MATERIALS AND EQUIPMENT.
- THE OWNER SHALL ISSUE ALL COMMUNICATIONS TO CONTRACTOR THROUGH ENGINEER.

ENGINEER'S RESPONSIBILITIES

- THE ENGINEER WILL BE OWNER'S REPRESENTATIVE DURING THE CONSTRUCTION PERIOD. MAKE VISITS TO THE SITE AT INTERVALS APPROPRIATE TO THE VARIOUS STAGES OF CONSTRUCTION TO OBSERVE THE PROGRESS AND QUALITY OF THE EXECUTED WORK AND TO DETERMINE, IN GENERAL, IF THE WORK IS PROCEEDING IN SUBSTANTIAL ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE ENGINEER WILL ISSUE WITH REASONABLE PROMPTNESS SUCH WRITTEN CLARIFICATIONS OR INTERPRETATIONS OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AS ENGINEER MAY DETERMINE NECESSARY, CONSISTENT WITH THE OVERALL INTENT OF THE CONTRACT DOCUMENTS.
- THE ENGINEER WILL HAVE AUTHORITY TO DISAPPROVE OR REJECT WORK WHICH ENGINEER BELIEVES TO BE DEFECTIVE AND WILL ALSO HAVE AUTHORITY TO REQUIRE SPECIAL INSPECTION OR TESTING OF THE WORK AS PROVIDED HEREIN. THE ENGINEER SHALL NOTIFY THE CONTRACTOR IN WRITING OF ANY DISAPPROVAL AND/OR REJECTION.
- ENGINEER WILL NOT BE RESPONSIBLE FOR CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION, OR THE SAFETY PRECAUTIONS AND PROGRAMS INCURRED THERETO, AND ENGINEER WILL NOT BE RESPONSIBLE FOR CONTRACTOR'S FAILURE TO PERFORM OR FURNISH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- ENGINEER WILL PROVIDE AT THE CONTRACTOR'S REQUEST A DIGITAL FILE (AUTOCAD FORMAT) FOR STAKING OUT THE PROJECT. THE ENGINEER AGREES NO WARRANTY OR IMPLIED, IN THE CONTRACTOR'S UTILIZATION OF THIS DATA SOLELY FOR THE STAKING OF THE WORK. THE CONTRACT DOCUMENTS, AS DEFINED ABOVE, WILL SERVE AS THE BINDING REQUIREMENTS FOR STAKING AND SUBSEQUENT CONSTRUCTION. THE CONTRACTOR AND/OR THEIR AGENT ARE RESPONSIBLE FOR THE PROPER LAYOUT OF THE PROJECT AND WILL NOTIFY THE ENGINEER OF ANY CONFLICTS ENCOUNTERED IN DIGITAL FILES RECEIVED FROM THE ENGINEER.

EXISTING UTILITIES

- THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS/INVERTS OF EXISTING UTILITIES WHERE CONNECTIONS WILL BE MADE AS PART OF THE WORK DEFINED HEREIN PRIOR TO THE START OF ANY UTILITY WORK. SHOULD THERE BE A DISCREPANCY BETWEEN THE CONSTRUCTION DRAWINGS AND ACTUAL FIELD MEASUREMENTS THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND REQUEST CLARIFICATION.
- EXISTING SUBSURFACE UTILITIES, UNLESS OTHERWISE NOTED ON THE EXISTING SURVEY PLAN, ARE BASED ON RECORD DOCUMENTS PROVIDED BY THE UTILITY COMPANY. THE CONTRACTOR SHALL CONTACT PALMETTO UTILITY PROTECTION SERVICES (P.U.P.S.) AT 1-888-721-7877 SEVENTY-TWO (72) HOURS PRIOR TO ANY EARTHWORK OPERATIONS.

PROPOSED UTILITIES

- PROPOSED WATER UTILITIES ARE SHOWN ON THE CONSTRUCTION DRAWINGS WITH GENERAL REFERENCE TO OFFSET FROM EXISTING AND/OR PROPOSED STRUCTURAL COMPONENTS. DEFLECTED (CURVED) WATERLINES ARE IDENTIFIED WITH A PROPOSED RADIUS THAT DOES NOT EXCEED THE RECOMMENDED DEFLECTION FOR THE PIPE JOINTS. PIPES ARE TO BE DEFLECTED AT JOINTS IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATION.
- LOCATION OF VALVES AND FIRE HYDRANTS ARE SHOWN ON THE PLANS TO DEPICT THE GENERAL LOCATION OF THE APPURTENANCE. DUE TO THE SCALE OF THE DRAWINGS THESE APPURTENANCES MAY BE SHOWN ABUTTING OTHER STRUCTURAL FEATURES OF THE PROJECT. THE CONTRACTOR SHALL LOCATE VALVES AND HYDRANTS IN AVAILABLE OPEN SPACE IN ACCORDANCE WITH THE LOCAL WATER AGENCY AND FIRE DEPARTMENT. THE CONTRACTOR IS FOREWARNED THAT STAKING OF VALVES AND HYDRANTS UTILIZING THE ENGINEER'S DIGITAL FILES DOES NOT RELIEVE HIM OF THIS RESPONSIBILITY AS THESE APPURTENANCES ARE ILLUSTRATIVE TO INDICATE THE GENERAL INTENT AND SCOPE OF WORK. THE CONTRACTOR WILL NOTIFY THE ENGINEER FOR ANY CLARIFICATION OF THE PROPOSED LOCATIONS OF FIRE HYDRANT AND VALVES.
- CONSTRUCTION OF GRAVITY SEWER (WASTE AND STORM) THAT TIE TO EXISTING GRAVITY SYSTEMS WILL COMMENCE AT THE EXISTING GRAVITY SYSTEM AND WORK AWAY FROM SAID TIE-IN POINT. SHOULD THE CONTRACTOR COMMENCE INSTALLATION OF GRAVITY SYSTEMS REMOTE TO THE GRAVITY TIE-IN POINT, SAID CONTRACTOR WILL ASSUME ALL LIABILITY ASSOCIATED WITH ANY MISALIGNMENT AT THE TIE-IN PERTAINING TO INVERT OR ANGLE AND ALL SUCH WORK WILL BE DEEMED DEFECTIVE AND WILL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- A MANDREL PULL (DEFLECTION TEST) WILL BE REQUIRED ON BOTH PVC SANITARY SEWERS AND PVC/HDPE STORM SEWERS. THE TEST WILL BE CONDUCTED AFTER BACKFILL HAS BEEN IN PLACE FOR A MINIMUM OF THIRTY (30) DAYS. PVC SANITARY SEWERS SHALL HAVE NO MORE THAN A 5% DEFLECTION. PVC/HDPE STORM SEWER SHALL HAVE NO MORE THAN A 7.5% DEFLECTION. THE CONTRACTOR WILL PROVIDE A PROOFING RING FOR THE MANDREL USED FOR DEFLECTION TESTING PRIOR TO CONDUCTING THE TEST FOR THE ENGINEER'S VERIFICATION OF THE MANDREL.

CONSTRUCTION SEQUENCE:

- INSTALL CONSTRUCTION ENTRANCE
- CLEAR AND GRUB AREAS FOR PERIMETER CONTROLS
- INSTALL SEDIMENT BASINS/CHECK DAMS/PERIMETER SILT FENCE
- COMPLETE SITE CLEARING & GRUBBING
- EXCAVATE PONDS AS NEEDED
- INSTALL UTILITIES AND STORMWATER PIPING/CONTROLS
- ROUGH GRADE ROADS AND DRAINAGE
- GRADING FOR REMAINDER OF SITE
- FINAL GRADING, LANDSCAPING AND STABILIZATION
- REMOVAL OF SEDIMENT CONTROLS WITHIN 30 DAYS OF FINAL STABILIZATION

NOTE: AS-BUILTS (RECORD DRAWINGS) ARE TO BE SUPPLIED TO GEORGETOWN COUNTY PRIOR TO FINAL INSPECTION. THESE ARE TO BE CERTIFIED BY EITHER A PE OR PLS

SEDIMENT AND EROSION CONTROL LEGEND:

- CONSTRUCTION ENTRANCE (SEE DETAIL)
- FILTRIX OR SILT FENCE (SEE DETAIL) LIMIT OF CONSTRUCTION
- RIP-RAP
- CONCRETE WASHOUT
- INLET PROTECTION - TYPE A
- INLET PROTECTION - TYPE I
- TEMPORARY SEEDING
- PERMANENT SEEDING
- SKIMMER

BUREAU OF WATER REQUIREMENTS:

- AN ONSITE INSPECTION BOX SHALL BE PROVIDED AND ACCESSIBLE UNTIL FINAL STABILIZATION IS ACHIEVED.
- A RAIN GAUGE SHALL BE PROVIDED BY THE C.E.P.S.C.I. INSPECTOR AND REMAIN ON-SITE AND OPERABLE UNTIL FINAL STABILIZATION IS ACHIEVED.
- THE CONTRACTOR SHALL MAINTAIN AND HAVE AVAILABLE ON-SITE AT ALL TIMES REQUIREMENTS SET FORTH IN THE PROVIDED SWPPP. TO INCLUDE BUT NOT LIMITED TO THE ON-SITE INSPECTION LOG AND ON-SITE MAINTENANCE LOG.

GRASSING SPECIFICATIONS

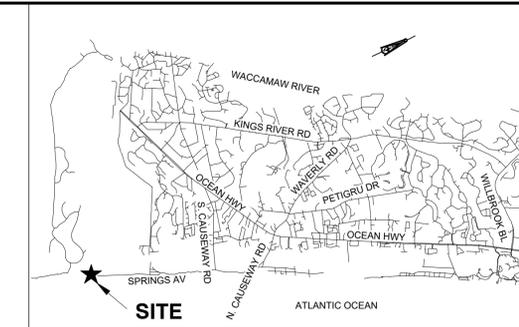
SPECIES	LIBRAC	TEMPORARY SEEDING - COASTAL SANDY, DROUGHTY SITES															
		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC				
BROWNTOP MILLET	40																
RYE, GRAIN	56																
WELL DRAINED, CLAYEY LOAMY SITES																	
BROWNTOP MILLET	40																
JAPANESE MILLET	40																
RYE, GRAIN	56																
OATS	75																

SPECIES	LIBRAC	PERMANENT SEEDING - COASTAL SANDY, DROUGHTY SITES															
		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC				
BROWNTOP MILLET	10																
BAHAGRASS	40																
RYE, GRAIN	40																
SPECIES LESPEREDZA	30																
BROWNTOP MILLET	10																
ATLANTIC COASTAL PINE GRASS	15																
BROWNTOP MILLET	10																
SWITCHGRASS	8																
HALMO	PLS																
LITTLE BLUESTEM	4																
SPECIES LESPEREDZA	30																
BROWNTOP MILLET	10																
WEEDING LOVEGRASS	8																

SPECIES	LIBRAC	WELL DRAINED, CLAYEY LOAMY SITES															
		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC				
BROWNTOP MILLET	10																
BAHAGRASS	40																
RYE, GRAIN	40																
CLOVER, CRIMSON	6																
BROWNTOP MILLET	10																
BAHAGRASS	30																
SPECIES LESPEREDZA	40																
BROWNTOP MILLET	10																
BERNARDIA COMMON	10																
SPECIES LESPEREDZA	40																
BROWNTOP MILLET	10																
BERNARDIA COMMON	12																
KOBE LESPEREDZA	10																
(ANNUAL)	10																
BROWNTOP MILLET	10																
BAHAGRASS	30																
BERNARDIA COMMON	6				</												

CONSTRUCTION SEQUENCE

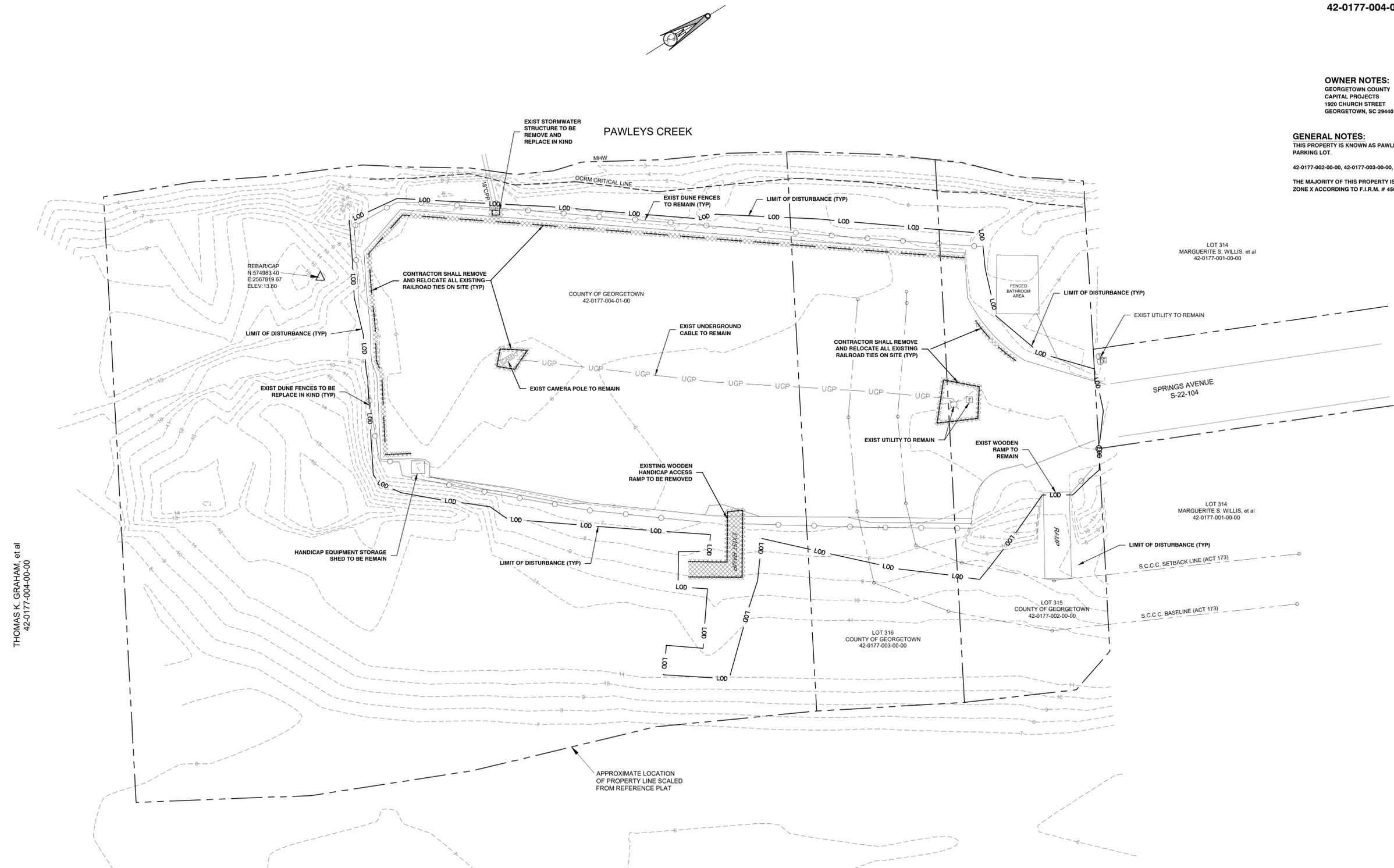
1. OBTAIN ALL NECESSARY PERMITS AND APPROVALS.
2. CONDUCT ON-SITE PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR, OWNER, GEORGETOWN COUNTY REPRESENTATIVE, THE ENGINEER, AND CONSTRUCTION MANAGER TO REVIEW THE PROJECT AND EXECUTE THE SWPPP.
3. CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WITHIN AND IMMEDIATELY ADJACENT TO THE PROJECT AREA. COORDINATE WITH UTILITY COMPANIES FOR ANY REMOVAL OR RELOCATING OF EXISTING UTILITIES AS NECESSARY.
4. INSTALL PERIMETER EROSION CONTROL DEVICES.
5. INITIATE ANY DEMOLITION AND DISPOSE OF WASTE IN A LEGAL MANNER.
6. ROUGH GRADE THE SITE.
7. SEED AND FERTILIZE ALL DENUDED AREAS PER SEEDING SPECIFICATIONS. WATER AND MAINTAIN ALL SEEDED AREAS TO ENSURE PROPER GROUND COVERAGE PRIOR TO FINAL APPROVAL.
8. COMPLETE ALL REMAINING SITE IMPROVEMENTS.
9. UPON APPROVAL BY GEORGETOWN COUNTY, SCDHEC / OCRM, REMOVE ALL TEMPORARY EROSION CONTROL DEVICES.



VICINITY MAP
 42-0177-002-00-00,
 42-0177-003-00-00,
 42-0177-004-01-00

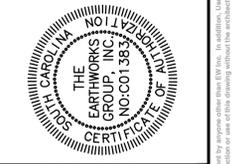
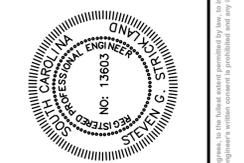
OWNER NOTES:
 GEORGETOWN COUNTY
 CAPITAL PROJECTS
 1920 CHURCH STREET
 GEORGETOWN, SC 29440

GENERAL NOTES:
 THIS PROPERTY IS KNOWN AS PAWLEYS ISLAND SOUTH PARKING LOT.
 42-0177-002-00-00, 42-0177-003-00-00, 42-0177-004-01-00
 THE MAJORITY OF THIS PROPERTY IS LOCATED IN FLOOD ZONE X ACCORDING TO F.I.R.M. # 45051C0535 H



THOMAS K. GRAHAM, et al
 42-0177-004-00-00

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REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	05/28/22	OCRM COMMENTS
2	01/23/23	GTC PW COMMENTS

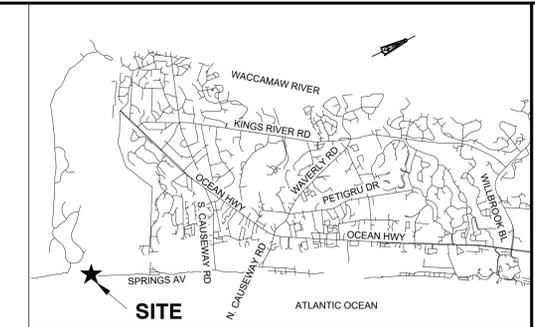
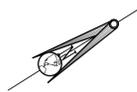
PAWLEYS ISLAND SOUTH PARKING LOT
EXISTING CONDITION & DEMOLITION PLAN
 PREPARED FOR: GEORGETOWN COUNTY CAPITAL PROJECTS
 GEORGETOWN COUNTY, SC

PROJECT:	201072
DATE:	
SCALE:	1" = 20'
DESIGNED BY:	DAT
DRAWN BY:	DAT
CHECKED BY:	MD/SGS

SHEET
C1.1

DRIVING NAME: V:\Projects\201072\pawleys_island_south_parking\OCRM\PLAN.dwg TAB: EXIST COND. Jun 07, 2023 - 1:03pm Information

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VICINITY MAP
 42-0177-002-00-00,
 42-0177-003-00-00,
 42-0177-004-01-00

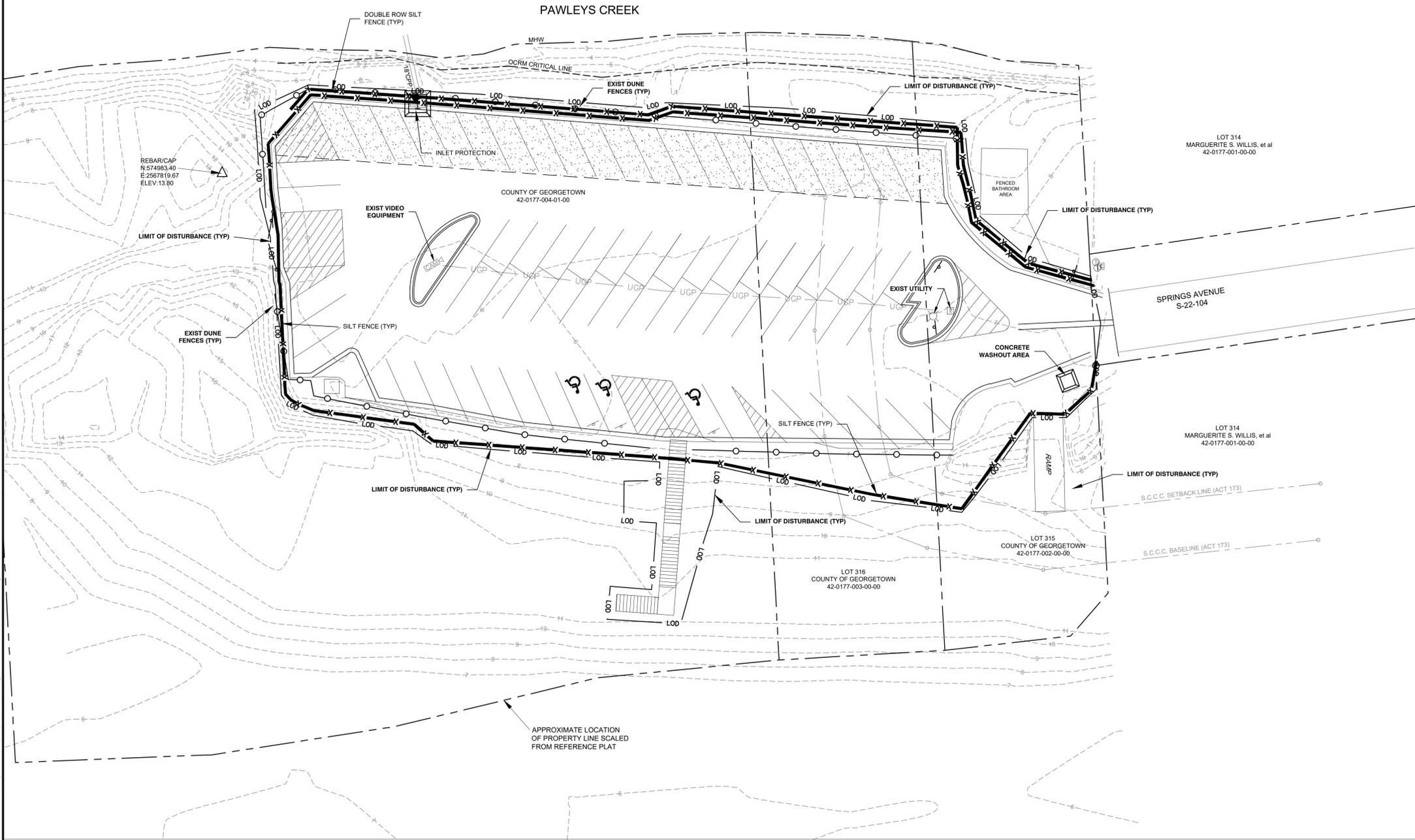
EROSION CONTROL LEGEND

DESCRIPTION	PLAN SYMBOL
SILT FENCE	— X —
LIMITS OF DISTURBANCE	— LOD —
STABILIZED CONSTRUCTION ENTRANCE	[Symbol: Rectangular box with internal lines]
CONCRETE WASHOUT	[Symbol: Square with internal lines]
STORM DRAIN INLET PROTECTION - CATCH BASIN INSERT	[Symbol: Square with 'I' inside]

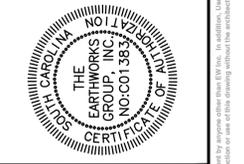
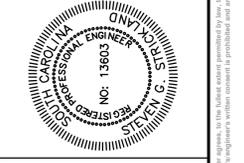
- CONSTRUCTION SEQUENCE**
1. ACQUIRE ALL NECESSARY PERMITS AND APPROVALS.
 2. LOCATE AND VERIFY ALL EXISTING UTILITIES ON SITE AND ADJACENT TO SITE.
 3. CONDUCT MEETING WITH THE CONTRACTOR, THE ENGINEER, GEORGETOWN COUNTY REPRESENTATIVE, PAWLEYS ISLAND REPRESENTATIVE, THE OWNER, GCWSD REPRESENTATIVE, TO REVIEW THE PROJECT AND EXECUTE THE SWPPP.
 4. INSTALL ALL SEDIMENT & EROSION CONTROL PER APPROVED PLANS AND SWPPP.
 5. DEMO AND REMOVE DEBRIS.
 6. GRADE THE SITE.
 7. INSTALL ALL PROPOSED IMPROVEMENTS.
 8. FINAL GRADING, LANDSCAPING AND STABILIZATION.
 9. REMOVAL OF SEDIMENT CONTROLS WITHIN 30 DAYS OF FINAL STABILIZATION.

NOTE: AS-BUILTS (RECORD DRAWINGS) ARE TO BE SUPPLIED TO GEORGETOWN COUNTY PRIOR TO FINAL INSPECTION. THESE ARE TO BE CERTIFIED BY EITHER A PE OR PLS.

THE LAND DISTURBING ACTIVITY WILL BE ACCOMPLISHED PURSUANT TO THE CONCEPT PLAN AND THE COUNTY HAS THE RIGHT TO CONDUCT ON-SITE INSPECTIONS.



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 (FAX) 843.651.7903
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REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	05/28/22	OCRM COMMENTS
2	01/23/23	GTC PW COMMENTS

PAWLEYS ISLAND SOUTH PARKING LOT
SEDIMENT & EROSION CONTROL PLAN
 PREPARED FOR: **GEORGETOWN COUNTY CAPITAL PROJECTS**
 GEORGETOWN COUNTY, SC

PROJECT:	201072
DATE:	
SCALE:	1" = 20'
DESIGNED BY:	DAT
DRAWN BY:	DAT
CHECKED BY:	MD/SGS

SHEET
EC1.0

DRAWING NAME: V:\Projects\201072\pawleys_island_south_parking_lot\EC1.0.dwg, 1:18.00, 11/08/2022, 11:20:00 AM, 2022-11-08 11:20:00 AM

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DRAWING NAME: V:\Projects\201072_Pawleys Island South Parking Lot\201072_Pawleys Island South Parking Lot\201072_Pawleys Island South Parking Lot.dwg DATE: 08/28/22 10:00 AM

THOMAS K. GRAHAM, et al
42-0177-004-00-00

DEVELOPMENT NOTES:
TOTAL AREA: 3.28 AC
TOTAL DISTURBED AREA = 0.71C
(30,971 SF)
TOTAL IMPERVIOUS AREA: 0.71 AC

TMS #42-0177-004-01-00
TOTAL ACREAGE: 2.47 AC
TOTAL WETLANDS: N/A
TOTAL UPLANDS: 2.00 AC (PERVIOUS)
TOTAL IMPERVIOUS: 0.47 AC

TMS #42-0177-002-00-00
TOTAL ACREAGE: 0.39 AC
TOTAL WETLANDS: N/A
TOTAL UPLANDS: 0.22 AC (PERVIOUS)
TOTAL IMPERVIOUS: 0.17 AC

TMS #42-0177-003-00-00
TOTAL ACREAGE: 0.42 AC
TOTAL WETLANDS: N/A
TOTAL UPLANDS: 0.35 AC (PERVIOUS)
TOTAL IMPERVIOUS: 0.07 AC

N/A SINGLE FAMILY LOTS
UPLAND OPEN SPACE N/A
WETLAND OPEN SPACE N/A
ROW N/A

ZONING: CP
NET DENSITY N/A
GROSS DENSITY N/A
MINIMUM LOT SIZE: 1 AC

OPEN SPACE:
POND OPEN SPACE N/A
UPLAND OPEN SPACE: 2.57 AC

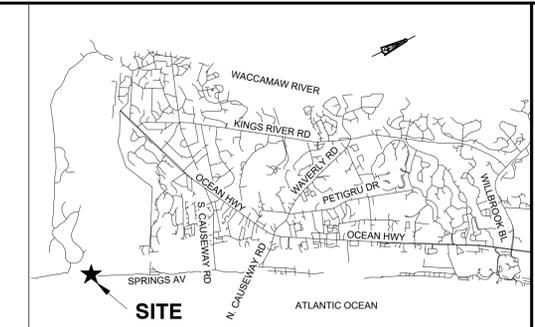
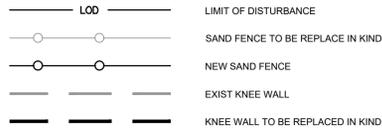
SETBACKS
ZONING: CP
FRONT SETBACK N/A
SIDE SETBACK N/A
REAR SETBACK N/A
MAXIMUM HEIGHT N/A

PARKING:
60' HANDICAP PARKING: 3 SP
60' STANDARD PARKING: 71 SP
TOTAL: 74 SP

OWNER NOTES:
GEORGETOWN COUNTY CAPITAL PROJECTS
1920 CHURCH STREET
GEORGETOWN, SC 29440

GENERAL NOTES:

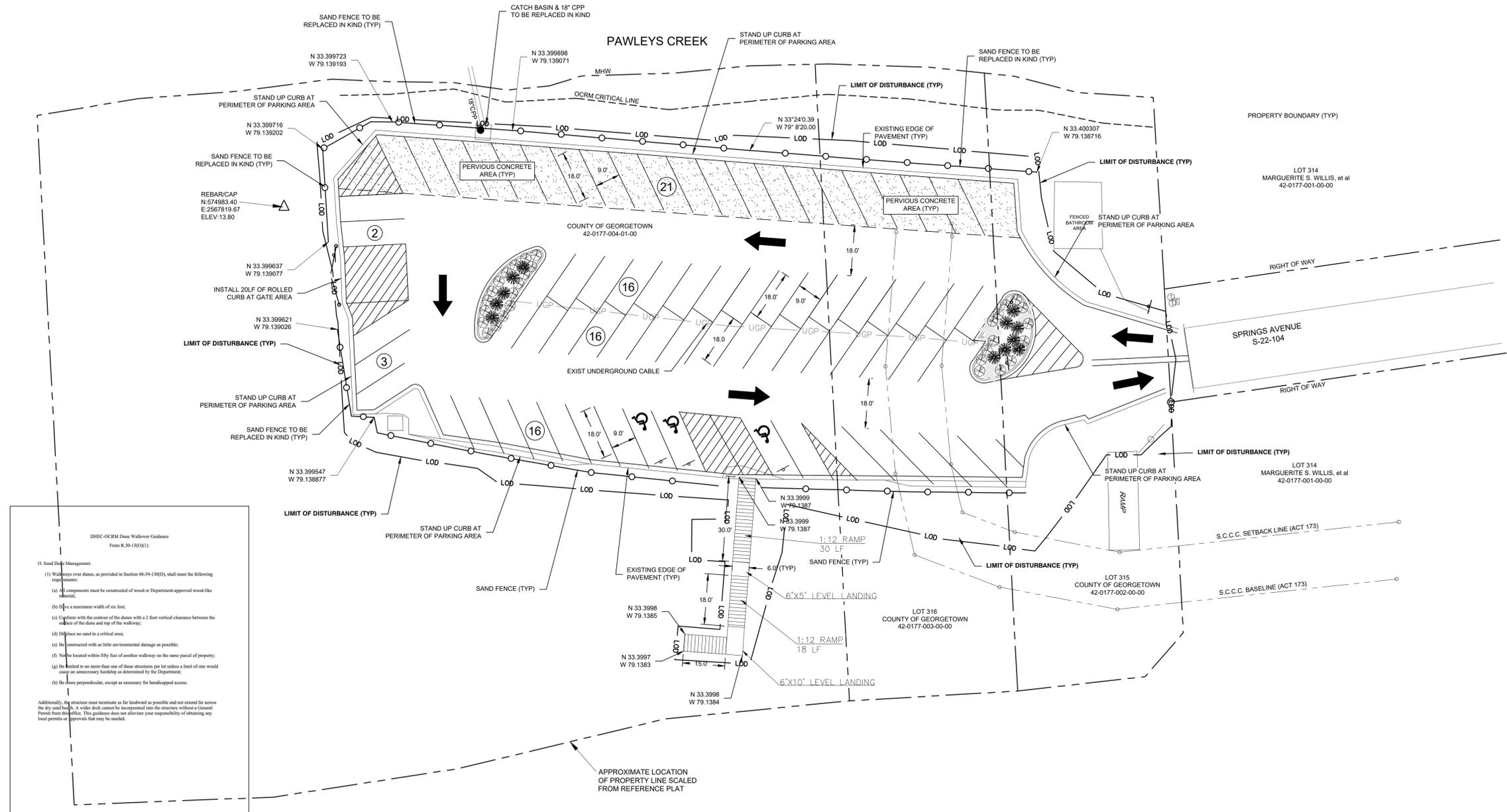
1. THIS PROPERTY IS KNOWN AS PAWLEYS ISLAND SOUTH PARKING LOT.
2. 42-0177-002-00-00, 42-0177-003-00-00, 42-0177-004-01-00
3. THE MAJORITY OF THIS PROPERTY IS LOCATED IN FLOOD ZONE VE 19 ACCORDING TO F.I.R.M. # 4502550001 D 3-16-1989
4. ALL PAVEMENT MARKING SHALL BE THERMOPLASTIC
5. EXISTING PARKING TO BE PAVED WITHIN THE EXISTING PARKING LOT.



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(FAX) 843.651.7903
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Professional Engineer Seal for Thomas K. Graham, No. 13603, State of South Carolina.

Professional Engineer Seal for The Earthworks Group, Inc., No. CO13633, State of South Carolina.



DHEC-OCRM Dune Walkover Guidance
From R.30-130(R):

O. Sand Dune Management.

- Walkways over dunes, as provided in Section 48-39-130(D), shall meet the following requirements:
 - All components must be constructed of wood or Department-approved wood-like material;
 - Have a maximum width of six feet;
 - Comply with the contour of the dune with a 2-foot vertical clearance between the surface of the dune and top of the walkway;
 - Displace no sand in a critical area;
 - Be constructed with as little environmental damage as possible;
 - Not be located within fifty feet of another walkway on the same parcel of property;
 - Be limited to no more than one of these structures per lot unless a limit of one would cause an unnecessary hardship as determined by the Department;
 - Be done perpendicular, except as necessary for handicapped access.

Additionally, the structure must terminate as far landward as possible and not extend far across the dry sand beach. A wider deck cannot be incorporated into the structure without a General Permit from the office. The guidance does not alleviate your responsibility of obtaining any local permits or approvals that may be needed.

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	08/28/22	OCRM COMMENTS
2	01/23/23	GTC PW COMMENTS

PAWLEYS ISLAND SOUTH PARKING LOT
SITE LAYOUT PLAN
PREPARED FOR: GEORGETOWN COUNTY CAPITAL PROJECTS
GEORGETOWN COUNTY, SC

PROJECT:	201072
DATE:	1" = 20'
SCALE:	DESIGNED BY: DAT
DESIGNED BY:	DRAWN BY: DAT
DRAWN BY:	CHECKED BY: MD/SGS

SHEET
C1.3

JOB NAME: 201072 - PAWLEYS ISLAND SOUTH PARKING LOT
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NOTES:

- PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- VERTICAL ELEVATIONS ARE BASED UPON NAVD 88.
- HORIZONTAL IS BASED UPON NAD 83.
- PROOF ROLLS, CORES, DENSITIES, AND GRADATIONS ARE REQUIRED.
- ALL EXISTING UTILITIES SHOWN ON THESE PLANS WERE NOT FIELD LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- NO GEOTECHNICAL REPORT HAS BEEN PREPARED AT THIS TIME.
- AREAS OF NEWPAVEMENT SHALL MATCH GRADES WITH EXISTING PAVEMENT
- THE LAND DISTURBING ACTIVITY WILL BE ACCOMPLISHED PURSUANT TO THE CONCEPT PLAN AND THE COUNTY HAS THE RIGHT TO CONDUCT ON-SITE INSPECTIONS.
- FINAL INSPECTIONS WILL NOT BE CONDUCTED UNTIL A FINAL AS-BUILT IS SUBMITTED TO THE COUNTY

LEGEND

— LOD ——— LIMIT OF DISTURBANCE

OWNER NOTES:
 GEORGETOWN COUNTY CAPITAL PROJECTS
 1920 CHURCH STREET
 GEORGETOWN, SC 29440

GENERAL NOTES:
 THIS PROPERTY IS KNOWN AS PAWLEYS ISLAND SOUTH PARKING LOT.

42-0177-002-00-00, 42-0177-003-00-00, 42-0177-004-01-00

THE MAJORITY OF THIS PROPERTY IS LOCATED IN FLOOD ZONE VE 21 ACCORDING TO F.I.R.M. # 4502550001 D 3-16-1989

DEVELOPMENT NOTES:
 TOTAL AREA: 3.28 AC
 TOTAL DISTURBED AREA = 0.71C (30,971 SF)
 TOTAL IMPERVIOUS AREA: 0.71 AC

TMS #42-0177-004-01-00
 TOTAL ACREAGE: 2.47 AC
 TOTAL WETLANDS: N/A
 TOTAL UPLANDS: 2.00 AC (PERVIOUS)
 TOTAL IMPERVIOUS: 0.47 AC

TMS #42-0177-002-00-00
 TOTAL ACREAGE: 0.39 AC
 TOTAL WETLANDS: N/A
 TOTAL UPLANDS: 0.22 AC (PERVIOUS)
 TOTAL IMPERVIOUS: 0.17 AC

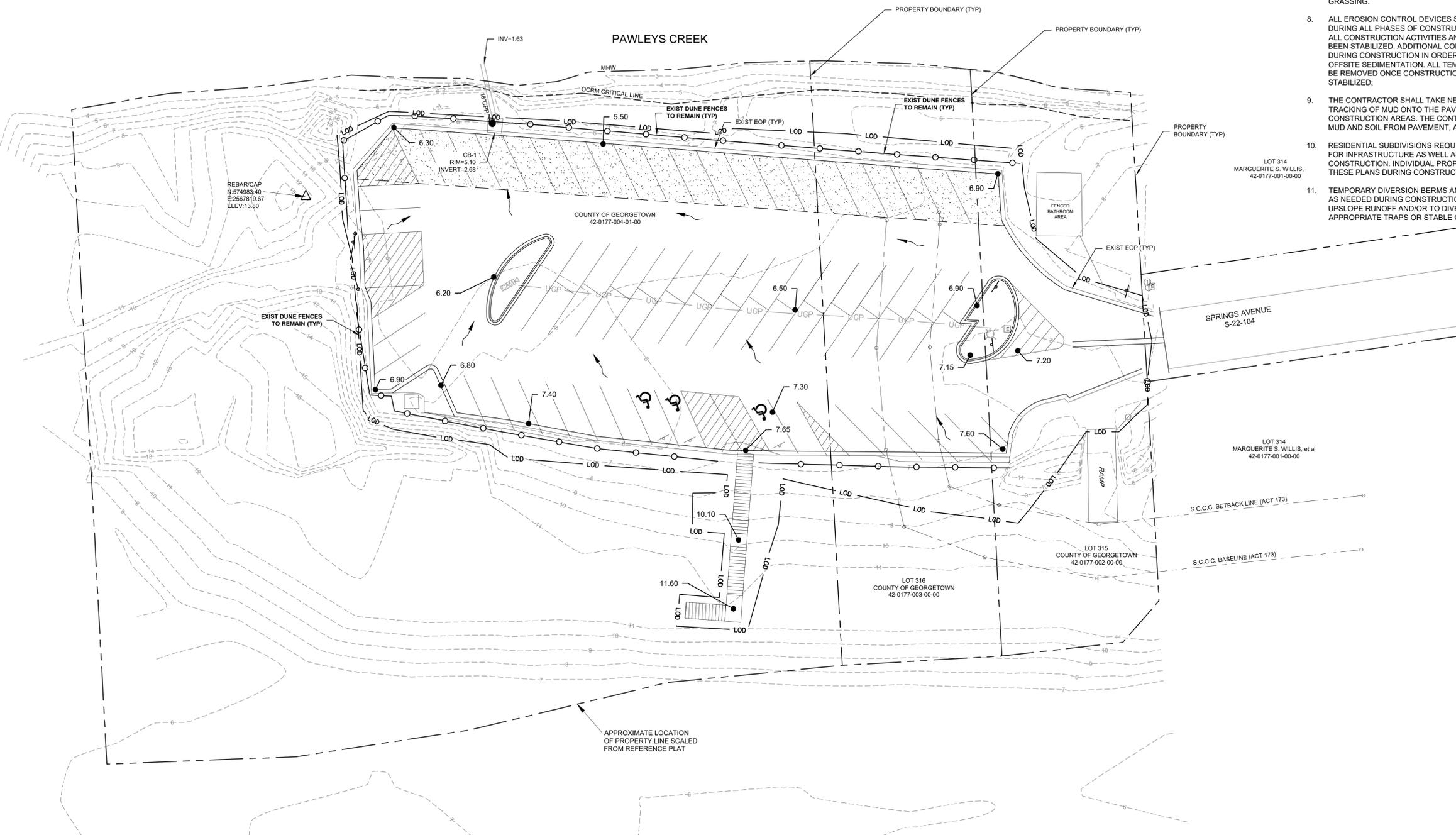
TMS #42-0177-003-00-00
 TOTAL ACREAGE: 0.42 AC
 TOTAL WETLANDS: N/A
 TOTAL UPLANDS: 0.35 AC (PERVIOUS)
 TOTAL IMPERVIOUS: 0.07 AC

N/A SINGLE FAMILY LOTS
 UPLAND OPEN SPACE N/A
 WETLAND OPEN SPACE N/A
 ROW N/A
 ZONING: CP
 NET DENSITY N/A
 GROSS DENSITY N/A
 MINIMUM LOT SIZE: 1 AC

OPEN SPACE:
 POND OPEN SPACE N/A
 UPLAND OPEN SPACE: 2.57 AC

SETBACKS:
 ZONING: CP
 FRONT SETBACK N/A
 SIDE SETBACK N/A
 REAR SETBACK N/A
 MAXIMUM HEIGHT N/A

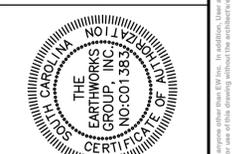
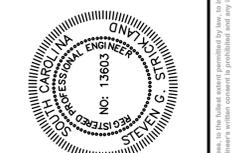
PARKING:
 60' COMPACT PARKING: 1 SP
 60' HANDICAP PARKING: 3 SP
 60' STANDARD PARKING: 71 SP
 TOTAL: 75 SP



STORMWATER STANDARD NOTES

- SLOPES WHICH EXCEED EIGHT (8) VERTICAL FEET SHALL BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, OR HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
- WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR
- FROZEN GROUND CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
- WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE ROUTINELY INSPECTED EVERY SEVEN DAYS OR EVERY FOURTEEN DAYS AND AFTER EACH RAINFALL OCCURRENCE THAT EXCEEDS ONE-HALF INCH. THE INSPECTION SCHEDULE SHALL BE CLEARLY STATED ON THE PLANS AND IN THE EROSION AND SEDIMENT CONTROL PLAN. DAMAGED OR INEFFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR SHALL TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM CONSTRUCTION AREAS. THE CONTRACTOR SHALL DAILY REMOVE MUD AND SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION; AND,
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.

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REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	05/28/22	OCRM COMMENTS
2	01/23/23	GTC PW COMMENTS

PAWLEYS ISLAND SOUTH PARKING LOT
GRADING & DRAINAGE PLAN
 PREPARED FOR: GEORGETOWN COUNTY CAPITAL PROJECTS
 GEORGETOWN COUNTY, SC

PROJECT:	201072
DATE:	
SCALE:	1" = 20'
DESIGNED BY:	DAT
DRAWN BY:	DAT
CHECKED BY:	MD/SGS

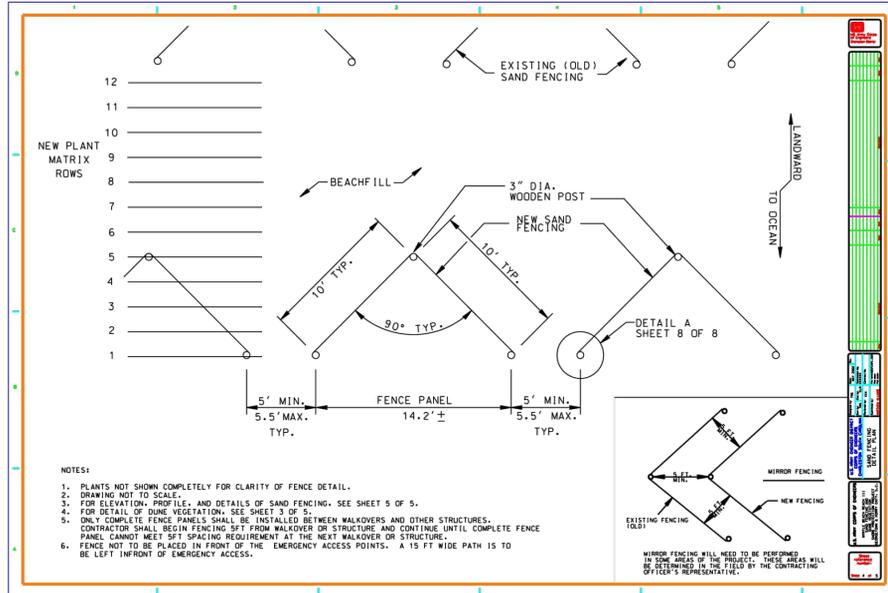
SHEET
C2.0

DRAWING NAME: V:\Projects\201072\pawleys_island_south_parking\OCRM\OCRM.dwg, 11/16/2022, 1:50pm, mtd/s/g

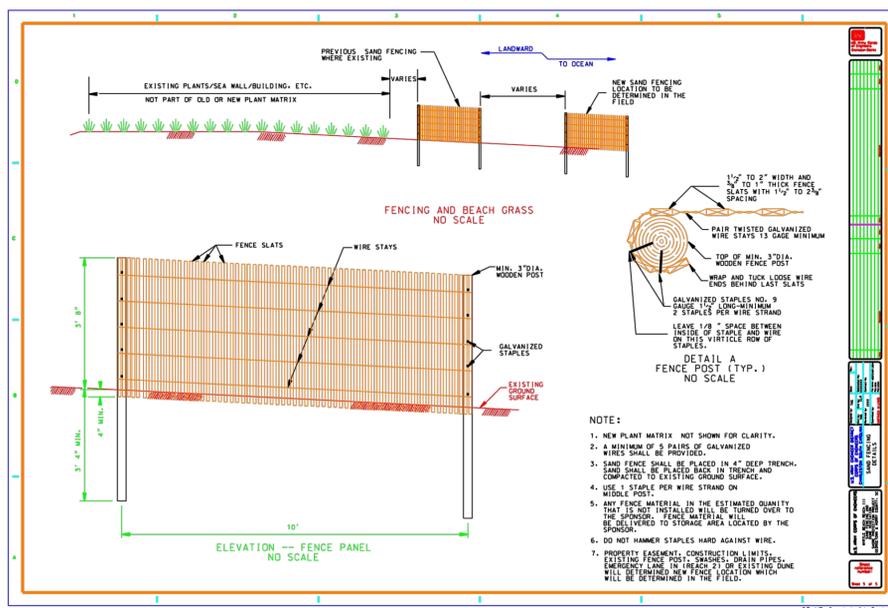
THOMAS K. GRAHAM, et al
 42-0177-004-00-00

JOB NAME: 201072 - PAWLEYS ISLAND SOUTH PARKING LOT

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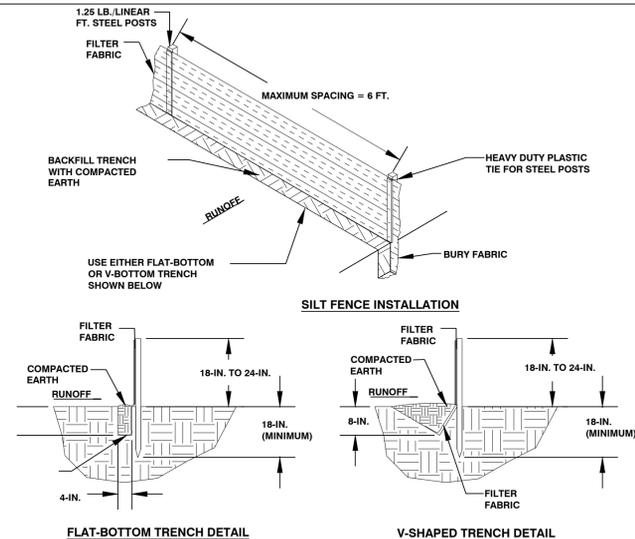


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NOTE:
 1. BOTTOM OF SIGN SHALL BE A MINIMUM OF SIXTY INCHES ABOVE FINISH GRADE.
 2. THE SIGN SHALL BE LOCATED AT THE HEAD OF EACH ACCESSIBLE PARKING SPACE.
 3. STRIPING SHALL COMPLY WITH ANSI A117.3.

HANDICAP PARKING SIGN
 N.T.S.



WHEN AND WHERE TO USE IT:

SILT FENCE IS APPLICABLE IN AREAS: WHERE THE MAXIMUM SHEET OR OVERLAND FLOW PATH LENGTH TO THE FENCE IS 100FT. WHERE THE MAXIMUM SLOPE STEEPNESS (NORMAL TO THE FENCE LINE) IS 2H:1V THAT DO NOT RECEIVE CONCENTRATION FLOWS GREATER THAN 0.5 CFS.

DO NOT PLACE SILT FENCE ACROSS CHANNELS OR USE IT AS A VELOCITY CONTROL BMP.

MATERIALS
 STEEL POSTS USE 48-INCH LONG STEEL POSTS THAT MEET THE FOLLOWING MINIMUM PHYSICAL REQUIREMENTS COMPOSED OF HIGH STRENGTH STEEL WITH A MINIMUM YIELD STRENGTH OF 50,000 PSI. HAVE A STANDARD "T" SECTION WITH A NOMINAL FACE WIDTH OF 1.38-INCHES AND A NOMINAL "T" LENGTH OF 1.48 INCHES. WITH 1.25 POUNDS PER FOOT (+/- .8%) HAVE A SOIL STABILIZATION PLATE WITH A MINIMUM CROSS SECTION AREA OF 17-SQUARE INCHES TO THE STEEL POSTS. PAINTED WITH A WATER BASED ENAMEL PAINT. USE STEEL POSTS WITH A MINIMUM LENGTH OF 4-FEET. WEIGHING 1.25 POUNDS PER LINEAR FOOT WITH PROJECTIONS TO AID IN FASTENING THE FABRIC. EXCEPT WHEN HEAVY CLAY SOILS ARE PRESENT ON SITE, STEEL POSTS WILL HAVE A METAL SOIL STABILIZATION PLATE WELDED NEAR THE BOTTOM SUCH THAT WHEN THE POST IS DRIVEN TO THE PROPER DEPTH, THE PLATE WILL BE BELOW THE GROUND LEVEL FOR ADDED STABILITY. THE SOIL PLATES SHOULD HAVE THE FOLLOWING CHARACTERISTICS: BE COMPOSED OF MINIMUM 15 GAUGE STEEL. HAVE A MINIMUM CROSS SECTION AREA OF 17-SQUARE INCHES.

GEOTEXTILE FILTER FABRIC
 FILTER FABRIC IS COMPOSED OF FIBERS CONSISTING OF LONG CHAIN SYNTHETIC POLYMERS COMPOSED OF AT LEAST 85% BY WEIGHT OF POLYOLEFINS, POLYESTERS, OR POYAMIDES. FORMED INTO A NETWORK SUCH THAT THE FILAMENTS OR YARNS RETAIN DIMENSIONAL STABILITY RELATIVE TO EACH OTHER. FREE OF ANY TREATMENT OR COATING WHICH MIGHT ADVERSELY ALTER ITS PHYSICAL PROPERTIES AFTER INSTALLATION. FREE OF DEFECTS OR FLAWS THAT SIGNIFICANTLY AFFECT ITS PHYSICAL AND/OR FILTERING PROPERTIES. CUT TO A MINIMUM WIDTH OF 36 INCHES. USE ONLY FABRIC APPEARING ON SCDOT APPROVAL SHEET #34 MEETING THE REQUIREMENT OF THE MOST CURRENT EDITION OF THE SCDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION. SILT FENCE DETAIL

INSTALLATION
 EXCAVATE A TRENCH APPROXIMATELY 6-INCHES WIDE AND 6-INCHES DEEP WHEN PLACING FABRIC BY HAND. PLACE 12-INCHES OF GEOTEXTILE FABRIC INTO THE 6-INCH DEEP TRENCH, EXTENDING THE REMAINING 6-INCHES TOWARDS THE UPSLOPE OF THE TRENCH. BACKFILL THE TRENCH WITH SOIL OR GRAVEL AND COMPACT. BURY 12-INCHES OF FABRIC INTO THE GROUND WHEN PNEUMATICALLY INSTALLING SILT FENCE WITH A SLICING METHOD. PURCHASE FABRIC IN CONTINUOUS ROLLS AND CUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, WRAP THE FABRIC TOGETHER AT A SUPPORT POST WITH BOTH ENDS FASTENED TO THE POST, WITH A 6-INCH MINIMUM OVERLAP. INSTALL POSTS TO A MINIMUM DEPTH OF 24-INCHES. INSTALL POSTS A MINIMUM OF 1 TO 2 INCHES ABOVE THE FABRIC, WITH NO MORE THAN 9 FEET OF THE POST ABOVE THE GROUND. SPACE POSTS TO MAXIMUM 6-FEET CENTERS. ATTACH FABRIC TO THE WOOD POSTS USING STAPLES MADE OF HEAVY-DUTY WIRE AT LEAST 1 1/2-INCH LONG, SPACED A MAXIMUM OF 6-INCHES APART. STAPLE A 2-INCH WIDE LATHE OVER THE FILTER FABRIC TO SECURELY FASTEN IT TO THE UPSLOPE SIDE OF WOODEN POSTS. ATTACH FABRIC TO THE STEEL POSTS USING HEAVY-DUTY PLASTIC TIES THAT ARE EVENLY SPACED IN A MANNER TO PREVENT SAGGING OR TEARING OF THE FABRIC. IN ALL CASES, TIES SHOULD BE AFFIXED IN NO LESS THAN 4 PLACES. INSTALL THE FABRIC A MINIMUM OF 24-INCHES ABOVE THE GROUND. WHEN NECESSARY, THE HEIGHT OF THE FENCE ABOVE GROUND MAY BE GREATER THAN 24-INCHES. IN TIDAL AREAS, EXTRA SILT FENCE HEIGHT MAY BE REQUIRED. THE POST HEIGHT WILL BE TWICE THE EXPOSED POST HEIGHT. POST SPACING WILL REMAIN THE SAME AND EXTRA HEIGHT FABRIC WILL BE 4, 6, OR 8 FEET TALL. LOCATE SILT FENCE CHECKS EVERY 100 FEET MAXIMUM AND AT LOW POINTS. INSTALL THE FENCE PERPENDICULAR TO THE DIRECTION OF FLOW AND PLACE THE FENCE THE PROPER DISTANCE FROM THE TOE OF STEEP SLOPES TO PROVIDE SEDIMENT STORAGE AND ACCESS FOR MAINTENANCE AND CLEANOUT.

INSPECTION AND MAINTENANCE
 INSPECT EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2 OR MORE OF PRECIPITATION. CHECK FOR SEDIMENT BUILDUP AND FENCE INTEGRITY. CHECK WHERE RUNOFF HAS ERODED A CHANNEL BENEATH THE FENCE OR WHERE THE FENCE HAS SAGGED OR COLLAPSED BY FENCE OVERTOPPING. IF THE FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE SECTION OF FENCE IMMEDIATELY. REMOVE SEDIMENT ACCUMULATED ALONG THE FENCE WHEN IT REACHES 1/3 THE HEIGHT OF THE FENCE, ESPECIALLY IF HEAVY RAINS ARE EXPECTED. REMOVE TRAPPED SEDIMENT FROM THE SITE OR STABILIZE IT ON SITE. REMOVE SILT FENCE WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED OR AFTER TEMPORARY BEST MANAGEMENT PRACTICES (BMPs) ARE NO LONGER NEEDED. PERMANENTLY STABILIZE DISTURBED AREAS RESULTING FROM FENCE REMOVAL.

SILT FENCE DETAIL
 N.T.S.

SF

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REVISION SCHEDULE	
NO.	DATE
1	05/29/22
2	01/23/23

PAWLEYS ISLAND SOUTH PARKING LOT
 SITE DETAILS
 PREPARED FOR: GEORGETOWN COUNTY CAPITAL PROJECTS
 GEORGETOWN COUNTY, SC

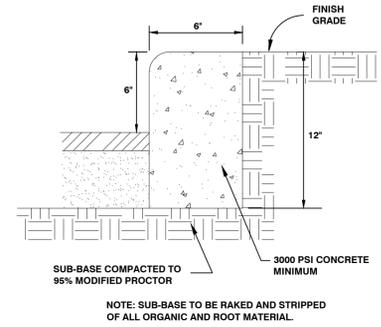
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DATE:	###/###/###
DESIGNED BY:	DATE
DRAWN BY:	DATE
CHECKED BY:	MD/SGS

SHEET
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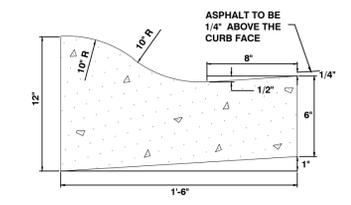
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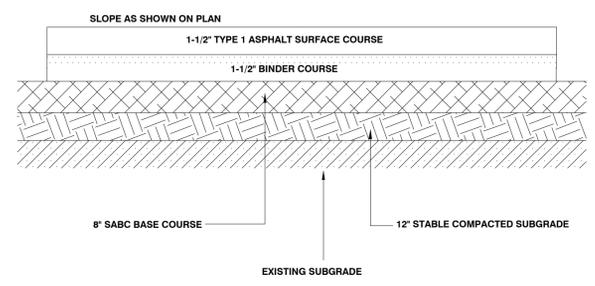
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CONCRETE CURB DETAIL
N.T.S.



ROLLED CURB - SECTION
N.T.S.



1. BASE COMPACTED TO 100% MODIFIED PROCTOR DENSITY. SUBGRADE COMPACTED TO 95% MODIFIED PROCTOR DENSITY. ALL FILL TO BE PLACED IN 6" LIFTS AND COMPACTED. MIN. 18" FOR COMPACTED SUBGRADE.
2. CONTRACTOR TO PROVIDE ASPHALT CORES, GRADATION AND DENSITY.
3. THERE MUST BE AN APPROVED S/G AND CURBLINE PROOF ROLL PRIOR TO LAYING CURB AND GUTTER.
4. UNDERDRAINS ARE TO BE INSTALLED UNDER ALL CURB AND GUTTER AND EXTENDED FROM BOX TO BOX.
5. ALL CLEARING AND GRUBBING IS TO MEET SCDOT SPECIFICATIONS.
6. A MINIMUM OF 6" OF GABC IS TO BE INSTALLED BELOW CURB.

STANDARD DUTY PAVEMENT - DETAIL
N.T.S.

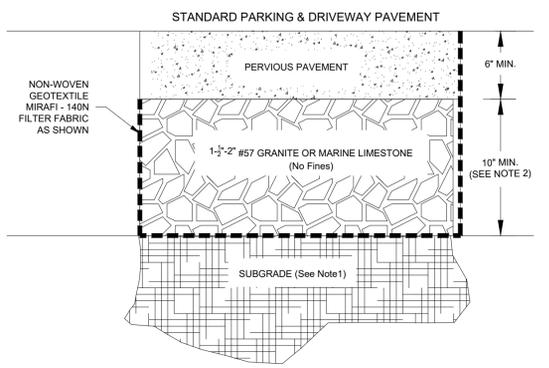
CONTRACTOR QUALIFICATIONS: THE FINISHING CONTRACTOR SHALL HAVE SUCCESSFULLY COMPLETED THE NRMCA PERVIOUS CONCRETE CONTRACTOR CERTIFICATION COURSE OR EQUIVALENT. IN LIEU OF THIS REQUIREMENT, THE PLACING CONTRACTOR SHALL FURNISH THE OWNER/ENGINEER/ARCHITECT A STATEMENT ATTESTING TO QUALIFICATIONS AND EXPERIENCE AND THE FOLLOWING:

1. A MINIMUM OF 2 COMPLETED PERVIOUS CONCRETE PROJECTS WITH ADDRESSES.
2. UNIT WEIGHT ACCEPTANCE DATA.
3. IN-SITU PAVEMENT TEST RESULTS INCLUDING VOID CONTENT AND UNIT WEIGHT.
4. SAMPLE OF PRODUCT (I.E. CORE OR TEST PANEL).
5. PROPOSED EQUIPMENT TO BE USED FOR PLACEMENT AND COMPACTION.

CONCRETE PRODUCER QUALIFICATION: THE CONCRETE PRODUCER SHALL HAVE SUCCESSFULLY COMPLETED THE NRMCA PERVIOUS CONCRETE CONTRACTOR COURSE OR EQUIVALENT.

IF THE PLACING CONTRACTOR AND/OR CONCRETE PRODUCER HAVE INSUFFICIENT EXPERIENCE WITH PORTLAND CEMENT PERVIOUS CONCRETE PAVEMENT AS OUTLINED IN SECTIONS 103 AND 104, THE PLACING CONTRACTOR SHALL RETAIN AN EXPERIENCED CONSULTANT WHO MEETS THE REQUIREMENTS IN SECTIONS 103 AND 104 TO MONITOR POSITIONING, HANDLING, AND PLACEMENT OPERATIONS AT THE CONTRACTOR'S EXPENSE.

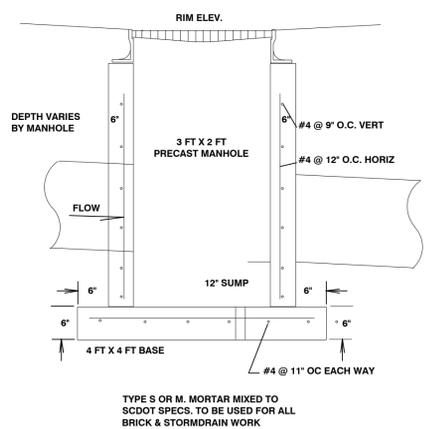
REFERENCE: RECOMMENDED SPECIFICATION FOR PORTLAND CEMENT PERVIOUS PAVEMENT.



- NOTES:
1. THE TOP 6" SHALL BE COMPOSED OF GRANULAR OR GRAVELY SOIL THAT IS PREDOMINANTLY SANDY WITH MORE THAN A MODERATE AMOUNT OF SILT OR CLAY.
 2. GEO-TECH ENGINEERING STUDY MUST BE COMPLETED TO ASSURE SUPPORT & PERMEABILITY OF SUBSOIL.
 3. BUFFER STRIP SHALL REQUIRE AT A MINIMUM 12 INCHES OF # 57 GRANITE OR MARINE LIMESTONE

PERVIOUS CONCRETE - DETAIL
N.T.S.

ALL DRAINAGE STRUCTURES ARE TO MEET AASHTO AND SCDOT SPECIFICATIONS. GRATE MFG. BY SUMITER MACHINERY CO. FRAME DIF-65 GRATE DIG-65 OR APPROVED EQUAL.



CATCH BASIN / JUNCTION BOX
NOT TO SCALE

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	05/28/23	OCRM COMMENTS
2	01/23/23	GTC PW COMMENTS

PAWLEYS ISLAND SOUTH PARKING LOT

PROJECT:	201072
DATE:	
SCALE:	NO SCALE
DESIGNED BY:	DAT
DRAWN BY:	DAT
CHECKED BY:	MD/SGS

DRAINAGE DETAILS

PREPARED FOR: GEORGETOWN COUNTY CAPITAL PROJECTS
GEORGETOWN COUNTY, SC

SHEET
C2.2

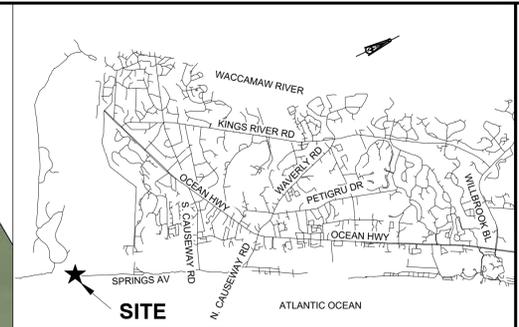
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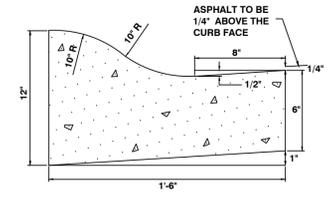
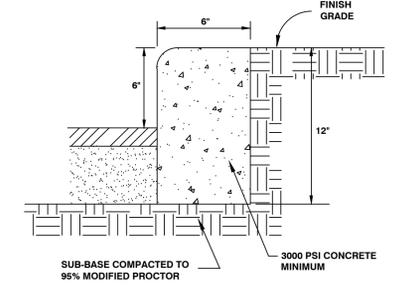
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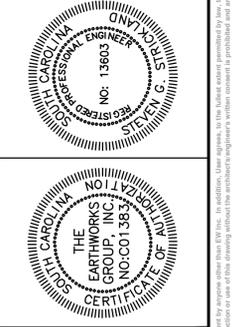


- ADDED HARD SURFACE
- SAND FENCE TO BE REPLACED IN KIND
- EXIST KNEE WALL
- KNEE WALL TO BE REPLACED IN KIND
- PERVIOUS CONCRETE AREA



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REVISION SCHEDULE	
NO.	DATE
1	05/28/23
2	01/23/23

PAWLEYS ISLAND SOUTH PARKING LOT
FEMA PLAN

PREPARED FOR: **GEORGETOWN COUNTY CAPITAL PROJECTS**
GEORGETOWN COUNTY, SC

PROJECT: 201072
DATE:
SCALE: 1" = 20'
DESIGNED BY: DAT
DRAWN BY: DAT
CHECKED BY: MD/SGS

SHEET
C1.3A

DRAWING NAME: V:\Projects\201072\pawleys_island_south_parking_lot\FEMA_PLAN.dwg TAD FEMA PLAN Jun 07, 2023, 12:50 pm mds/mw

JOB NAME: 201072 - PAWLEYS ISLAND SOUTH PARKING LOT

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