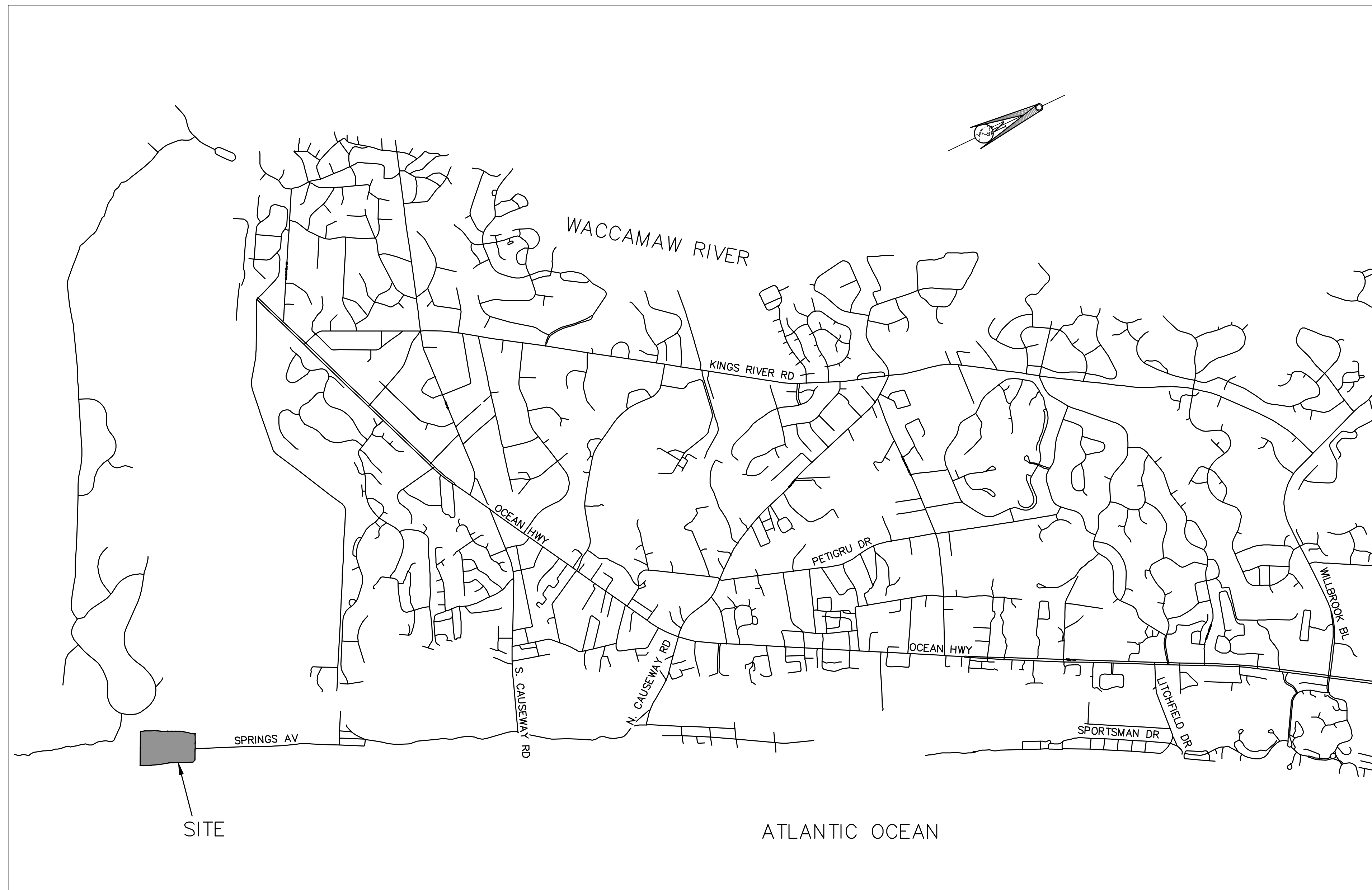


# SITE IMPROVEMENT PLANS OF PAWLEYS ISLAND SOUTH PARKING LOT

# GEORGETOWN COUNTY, SC

PREPARED FOR:  
GEORGETOWN COUNTY CAPITAL PROJECTS  
1920 CHURCH STREET  
GEORGETOWN, SC 29440

**04-27-2020**  
**01/23/23**

[illegible]

**EARTHWORKS**  
planning and design consultants

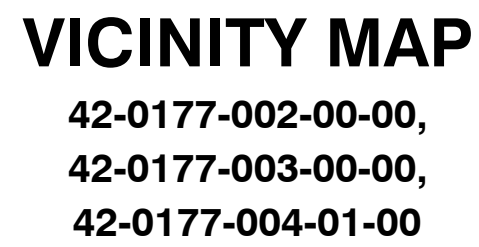
**11655 HIGHWAY 707  
MURRELLS INLET, SC 29576  
843.651.7900  
(FAX) 843.651.7903  
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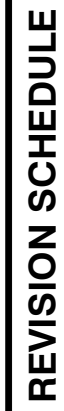


THOMAS K. GRAHAM, et al  
42-0177-004-00-00

1. OBTAIN ALL NECESSARY PERMITS AND APPROVALS.
2. CONDUCT ON-SITE PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR, OWNER, GEORGETOWN COUNTY REPRESENTATIVE, THE ENGINEER, AND CONSTRUCTION MANAGER TO REVIEW THE PROJECT AND EXECUTE THE SWPPP.
3. NOTIFY THE CONTRACTOR TO STOP ANY EXISTING UTILITIES WITHIN AND IMMEDIATELY ADJACENT TO THE PROJECT AREA. COORDINATE WITH UTILITY COMPANIES FOR ANY REMOVAL OR RELOCATING OF EXISTING UTILITIES AS NECESSARY.
4. INSTALL PERIMETER EROSION CONTROL DEVICES.
5. INITIATE ANY DEMOLITION AND DISPOSE OF WASTE IN A LEGAL MANNER.
6. ROUGH GRADE THE SITE.
7. SEED AND FERTILIZE ALL DENuded AREAS PER SEEDING SPECIFICATIONS. WATER AND MAINTAIN ALL SEEDED AREAS TO ENSURE PROPER GROUND COVERAGE PRIOR TO FINAL APPROVAL.
8. COMPLETE ALL REMAINING SITE IMPROVEMENTS.
9. UPON APPROVAL BY GEORGETOWN COUNTY, SCDEC / OCRM, REMOVE ALL TEMPORARY EROSION CONTROL DEVICES.



**GENERAL NOTES:**  
THIS PROPERTY IS KNOWN AS PAWLEYS ISLAND SOUTH  
PARKING LOT.  
  
42-0177-002-00-00, 42-0177-003-00-00, 42-0177-004-01-00  
  
THE MAJORITY OF THIS PROPERTY IS LOCATED IN FLOOD  
ZONE X ACCORDING TO F.I.R.M. # 45051C0535 H



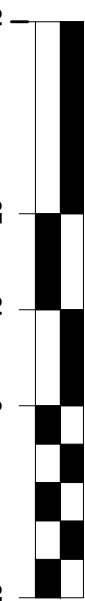
# PAW! EYE ICE AND COLD!! PARKING LOT

## EXISTING CONDITION & DEMOLITION PLAN

PREPARED FOR: **GEORGETOWN COUNTY CAPITAL PROJECTS**

PREPARED FOR: **GEORGETOWN COUNTY CAPITAL PROJECTS**

GEORGETOWN COUNTY, SC



PROJECT:	201072
DATE:	
SCALE:	1" = 20'
DESIGNED BY:	DAT
DRAWN BY:	DAT
CHECKED BY:	MD/SGS

**SHEET**

# C1.1

# EARTHWORKS

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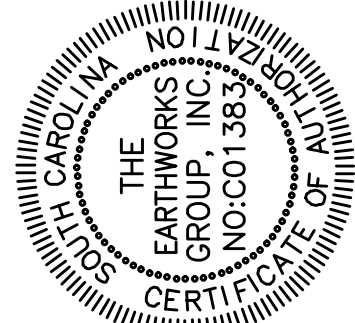
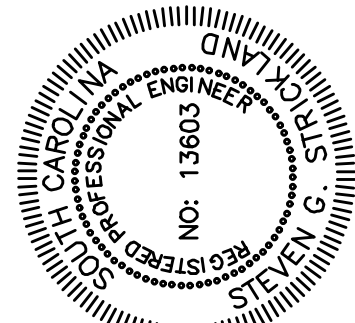
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planning and design consultants

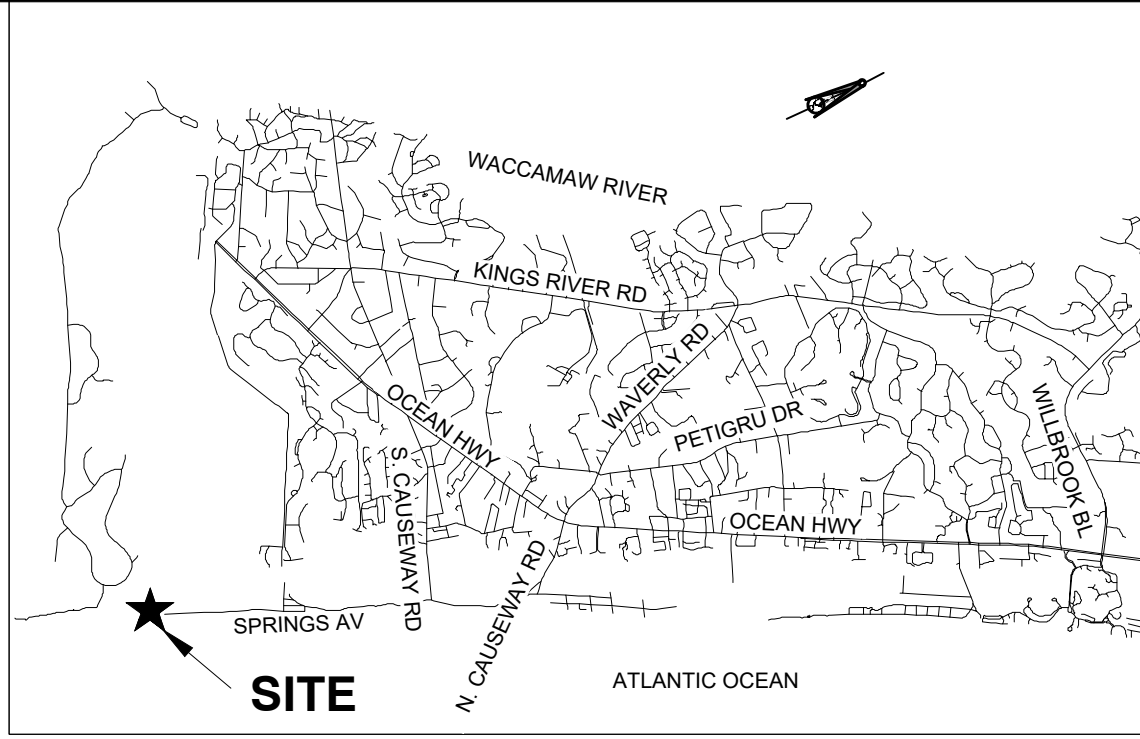
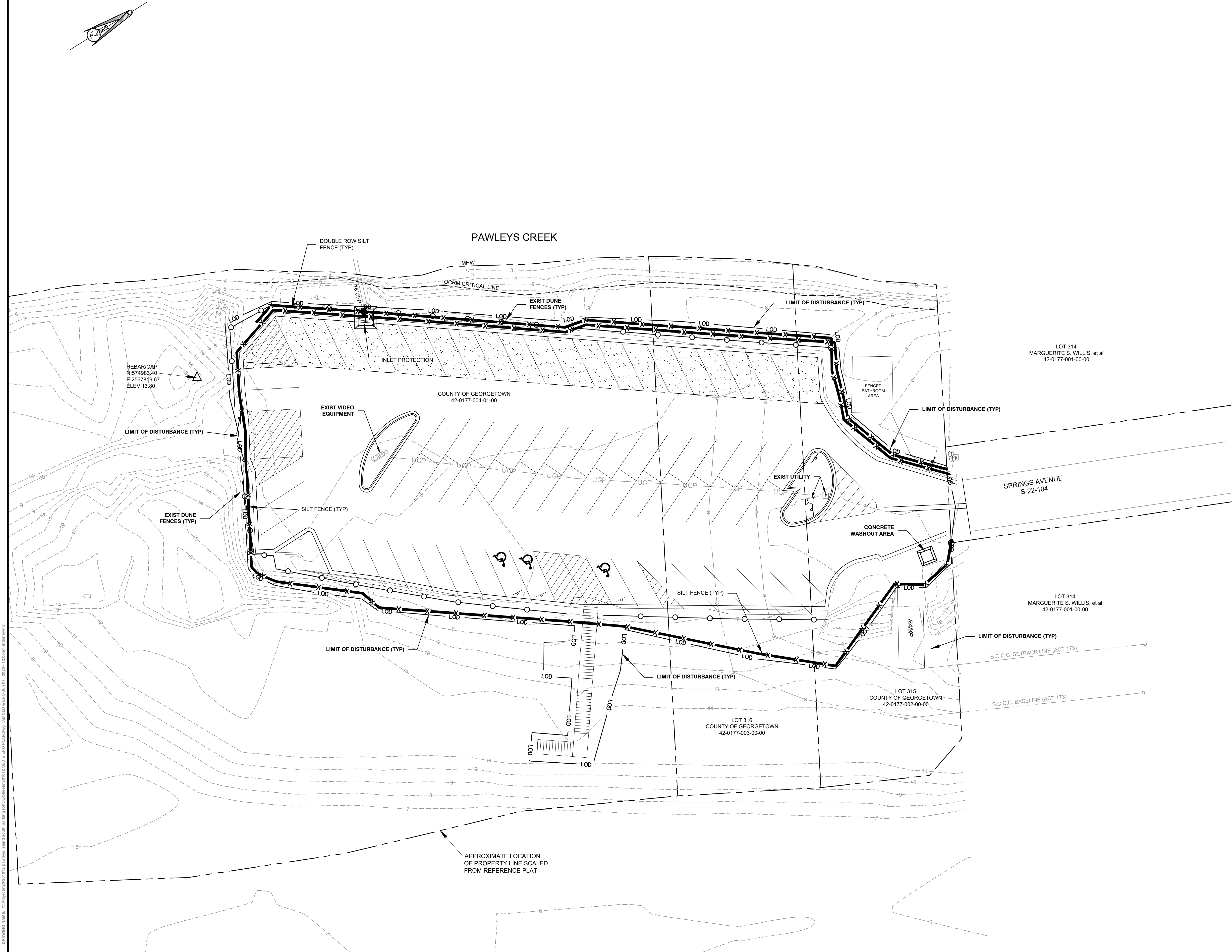
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[illegible]

DRAWING NAME: V:\Projects\201072 parking island south parking lot\CE Sheets\201072 SED & ERO PLN.dwg; T&B SED & ERO Jun 07, 2023; 12:20pm midwestnet



VICINITY MAP

42-0177-002-00-00,  
42-0177-003-00-00,  
42-0177-004-01-00

EROSION CONTROL LEGEND

DESCRIPTION	PLAN SYMBOL
SILT FENCE	
LIMITS OF DISTURBANCE	
STABILIZED CONSTRUCTION ENTRANCE	
CONCRETE WASHOUT	
STORM DRAIN INLET PROTECTION - CATCH BASIN INSERT	

CONSTRUCTION SEQUENCE

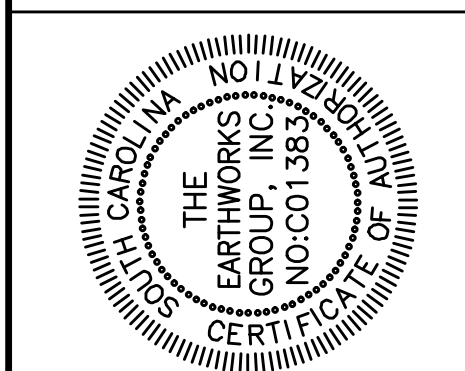
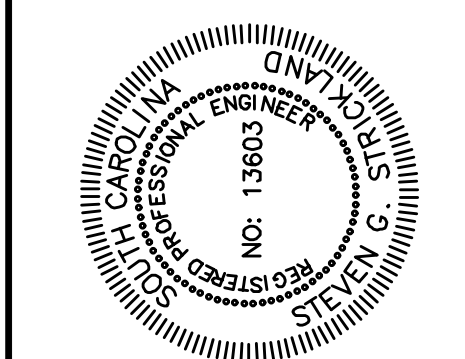
1. ACQUIRE ALL NECESSARY PERMITS AND APPROVALS.
2. LOCATE AND VERIFY ALL EXISTING UTILITIES ON SITE AND ADJACENT TO SITE.
3. CONDUCT MEETING WITH THE CONTRACTOR, THE ENGINEER, GEORGETOWN COUNTY REPRESENTATIVE, PAWLEYS ISLAND REPRESENTATIVE, THE OWNER, GCWSD REPRESENTATIVE, TO REVIEW THE PROJECT AND EXECUTE THE SWPPP.
4. INSTALL ALL SEDIMENT & EROSION CONTROL PER APPROVED PLANS AND SWPPP.
5. DEMO AND REMOVE DEBRIS.
6. GRADE THE SITE.
7. INSTALL ALL PROPOSED IMPROVEMENTS.
8. FINAL GRADING, LANDSCAPING AND STABILIZATION.
9. REMOVAL OF SEDIMENT CONTROLS WITHIN 30 DAYS OF FINAL STABILIZATION.

NOTE: AS-BUILTS (RECORD DRAWINGS) ARE TO BE SUPPLIED TO GEORGETOWN COUNTY PRIOR TO FINAL INSPECTION. THESE ARE TO BE CERTIFIED BY EITHER A PE OR PLS

THE LAND DISTURBING ACTIVITY WILL BE ACCOMPLISHED PURSUANT TO THE CONCEPT PLAN AND THE COUNTY HAS THE RIGHT TO CONDUCT ON-SITE INSPECTIONS.

planning and design consultants

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REVISION SCHEDULE			
NO.	DATE	DESCRIPTION	BY
1	05/28/22	OCRM COMMENTS	DAT
2	01/23/23	GTC PW COMMENTS	MHD

PAWLEYS ISLAND SOUTH PARKING LOT

SEDIMENT & EROSION CONTROL PLAN

PREPARED FOR:  
GEORGETOWN COUNTY CAPITAL PROJECTS  
GEORGETOWN COUNTY, SC

PROJECT: 201072

DATE:

SCALE: 1" = 20'

DESIGNED BY: DAT

DRAWN BY: DAT

CHECKED BY: MD/SGS

SHEET

EC1.0

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...\\07 MB fenpl-4.dgn 5/30/2008 8:36:26 AM

...\\07 MB fendetail-5.dgn 5/30/2008 8:37:08 AM

- NOTE:**
1. BOTTOM OF SIGN SHALL BE A MINIMUM OF SIXTY INCHES ABOVE FINISH GRADE.
  2. THE SIGN SHALL BE LOCATED AT THE HEAD OF EACH ACCESSIBLE PARKING SPACE..
  3. STRIPING SHALL COMPLY WITH ANSI A117.3.

**HANDICAP PARKING SIGN**  
**N.T.S.**

**WHEN AND WHERE TO USE IT:**

SILT FENCE IS APPLICABLE IN AREAS: WHERE THE MAXIMUM SHEET OR OVERLAND FLOW PATH LENGTH TO THE FENCE IS 100FT. WHERE THE MAXIMUM SLOPE STEEPNESS (NORMAL TO THE FENCE LINE) IS 2H:1V THAT DO NOT RECEIVE CONCENTRATION FLOWS GREATER THAN 0.5 CFS.

**DO NOT PLACE SILT FENCE ACROSS CHANNELS OR USE IT AS A VELOCITY CONTROL BMP.**

**MATERIALS**  
STEEL POSTS USE 48-INCH LONG STEEL POSTS THAT MEET THE FOLLOWING MINIMUM PHYSICAL REQUIREMENTS COMPOSED OF STEEL WITH A TENSILE STRENGTH STEEL WITH A MINIMUM YIELD STRENGTH OF 50,000 PSI. HAVE A STANDARD "T" SECTION WITH A NOMINAL FLAT WIDTH OF 1.38-INCHES AND A NOMINAL "T" LENGTH OF 1.48 INCHES, WITH 1.25 POUNDS PER FOOT ( $\pm 8\%$ ) HAVE A SOIL STABILIZATION PLATE WITH A MINIMUM CROSS SECTION AREA OF 17-SQUARE INCHES TO THE STEEL POSTS. PAINTED WITH A WATER BASED ENAMEL PAINT. USE STEEL POSTS WITH A MINIMUM LENGTH OF 4-FEET, WEIGHING 1.25 POUNDS PER LINEAR FOOT. THE STEEL POSTS WILL BE WELDED TO THE SOIL STABILIZATION PLATE. THE STEEL POSTS WILL HAVE A METAL SOIL STABILIZATION PLATE WELDED NEAR THE BOTTOM SUCH THAT WHEN THE POST IS DRIVEN TO THE PROPER DEPTH, THE PLATE WILL BE BELOW THE GROUND LEVEL FOR ADDED STABILITY. THE SOIL PLATES SHOULD BE DESIGNED TO HAVE THE FOLLOWING CHARACTERISTICS, BE COMPOSED OF MINIMUM 15 GAUGE STEEL, HAVE A MINIMUM CROSS SECTION AREA OF 17-SQUARE INCHES.

**GEOTEXTILE FILTER FABRIC:** COMPOSED OF FIBERS CONSISTING OF LONG CHAIN SYNTHETIC POLYMERS COMPOSED OF AT LEAST 85% BY WEIGHT OF POLYOLEFINS, POLYESTERS, OR POLYAMIDES. FORMED INTO A NETWORK SUCH THAT THE FILAMENTS OR FIBERS ARE DIMENSIONALLY STABLE UNDER TENSION. THE FABRIC IS NOT TO BE COATED OR TREATED IN ANY MANNER WHICH MAY ADVERSELY ALTER ITS PHYSICAL PROPERTIES AFTER INSTALLATION. FREE OF DEFECTS OR FLAWS THAT SIGNIFICANTLY AFFECT ITS PHYSICAL AND/OR FILTERING PROPERTIES. CUT TO A MINIMUM WIDTH OF 36 INCHES. USE ONLY FABRIC THAT MEETS OR EXCEEDS THE REQUIREMENTS OF THE MOST CURRENT EDITION OF THE SCDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION. SILT FENCE DETAIL.

**INSTALLATION**

EXCAVATE A TRENCH APPROXIMATELY 6-INCHES WIDE AND 6-INCHES DEEP WHEN PLACING FABRIC BY HAND. PLACE 2-INCHES OF GEOTEXTILE LINE ALONG THE 6-INCH DEEP TRENCH, EXTENDING THE REMAINING 6-INCHES TOWARDS THE WOODEN POSTS. BACKFILL THE TRENCH WITH SOIL OR GRAVEL AND COMPACT. BURY 12-INCHES OF FABRIC INTO THE GROUND WHEN PNEUMATICALLY INSTALLING SILT FENCE WITH A SENDING METHOD. PURCHASE FABRIC IN CONTINUOUS ROLLS AND CUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, WRAP THE FABRIC TOGETHER WITH AN OVERLAP OF 6-INCHES. SECURE THE FABRIC TO THE WOODEN POSTS WITH 12-INCH GALVANIZED STEEL POSTS TO A MINIMUM DEPTH OF 24-INCHES. INSTALL POSTS A MINIMUM OF 1 TO 2 INCHES ABOVE THE FABRIC, WITH NO MORE THAN 3 FEET OF THE POST ABOVE THE GROUND. SPACE POSTS TO MAXIMUM 6-FEET CENTERS. ATTACH FABRIC TO THE WOOD POSTS USING STAPLES MADE OF HEAVY-DUTY WIRE AT LEAST 1 1/2-INCH LONG. SPACE A MAXIMUM OF 6-INCHES BETWEEN STAPLES. ATTACH FABRIC TO THE WOODEN POSTS USING HEAVY-DUTY PLASTIC TIES THAT ARE EVENLY SPACED IN A MANNER TO PREVENT SAGGING OR TEARING OF THE FABRIC. IN ALL CASES, TIES SHOULD BE AFFIXED IN NO LESS THAN 4 PLACES. INSTALL THE FABRIC A MINIMUM OF 24-INCHES ABOVE THE GROUND, WHEN NECESSARY. THE HEIGHT OF THE FENCE ABOVE THE GROUND SHOULD BE GREATER THAN THE GRAIN OF THE WIND. THE HEIGHT OF THE FENCE ABOVE THE GROUND SHOULD BE TWICE THE EXPOSED POST HEIGHT. POST SPACING WILL REMAIN THE SAME AND EXTRA HEIGHT FABRIC WILL BE 4, 5, OR 6 FEET TALL. LOCATE SILT FENCE CHECKS EVERY 100 FEET MAXIMUM AND AT LOW POINTS. INSTALL THE FENCE TO ALLOW WATER TO FLOW THROUGH THE FENCE. LOCATE THE FENCE TO ALLOW WATER TO FLOW FROM THE TOE OF STEEP SLOPES TO PROVIDE SEDIMENT STORAGE AND ACCESS FOR MAINTENANCE AND CLEANOUT.

**INSPECTION AND MAINTENANCE**  
INSPECT EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2 OR MORE OF PRECIPITATION. CHECK FOR SEDIMENT BUILDUP AND FENCE INTEGRITY. CHECK WHERE RUNOFF HAS ERODED A CHANNEL BENEATH THE FENCE, OR WHERE THE FENCE HAS SAGGED OR COLLAPSED BY FENCE OVERTOPPING. IF THE FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE SECTION OF FENCE IMMEDIATELY. REMOVE SEDIMENT ACCUMULATED ALONG THE FENCE WHEN IT REACHES 1/3 THE HEIGHT OF THE FENCE, ESPECIALLY IF THE SEDIMENT IS EXPOSED TO WIND-DRIVEN TRAPPED SEDIMENT FROM THE SITE OR STABILIZE IT ON SITE. REMOVE SILT FENCE WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED OR AFTER TEMPORARY BEST MANAGEMENT PRACTICES (BMPs) ARE NO LONGER NEEDED. PERMANENTLY STABILIZE DISTURBED AREAS RESULTING FROM FENCE REMOVAL.

**SILT FENCE DETAIL**  
N.T.S.

**SF**



**CONCRETE CURB DETAIL**  
**N.T.S.**

**ROLLED CURB - SECTION**  
**N.T.S.**

## STANDARD DUTY PAVEMENT - DETAIL

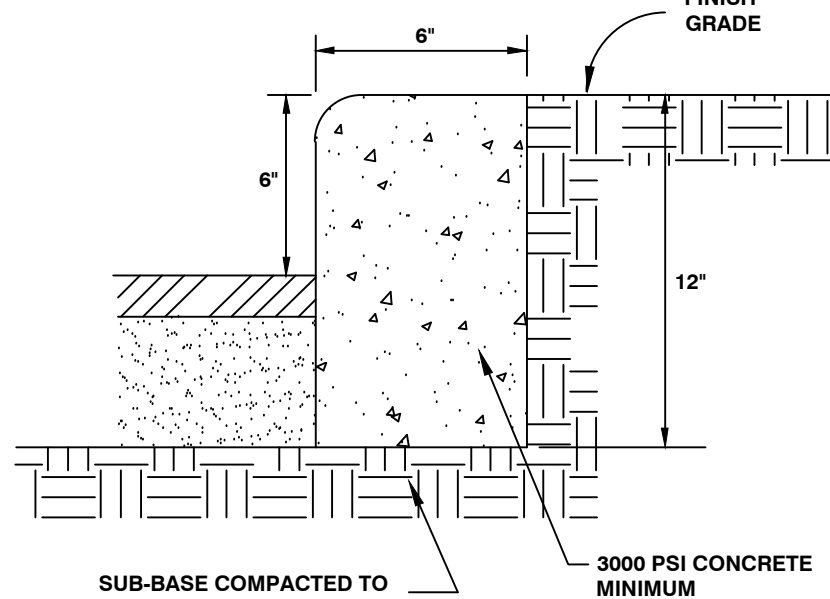
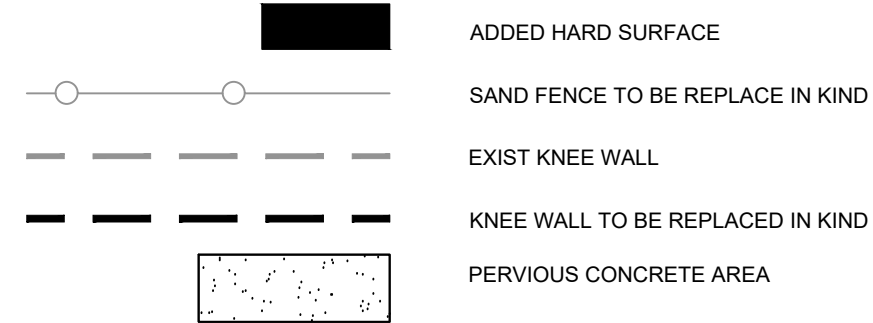
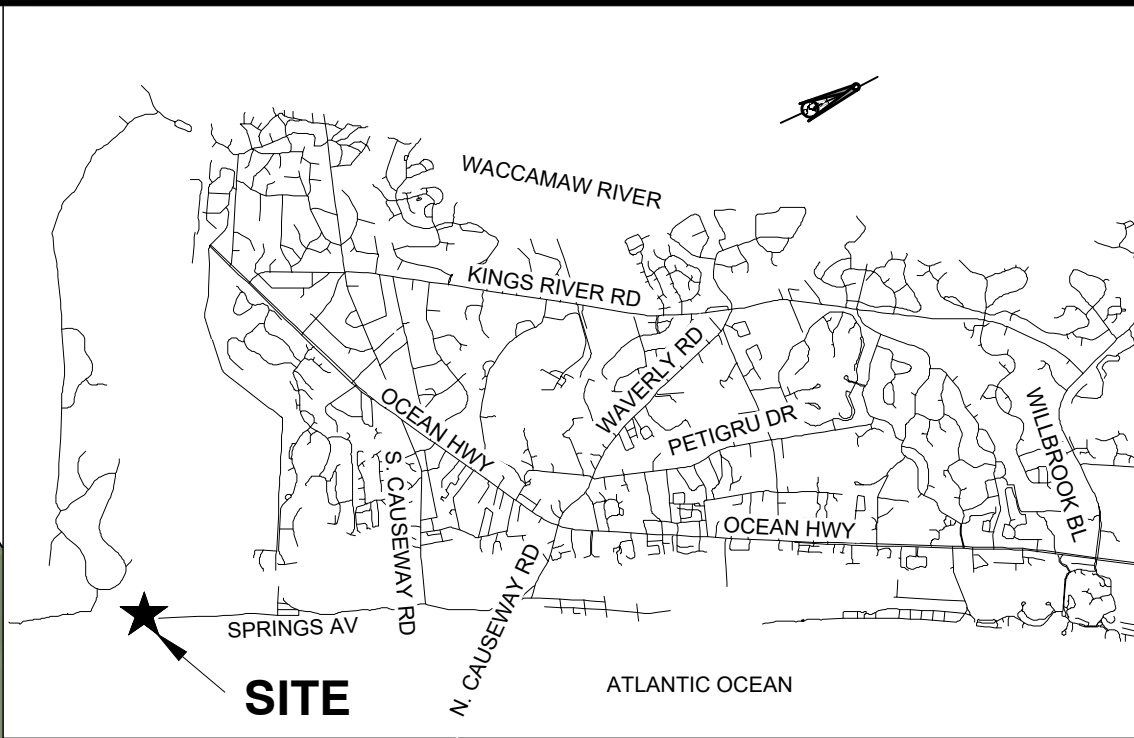
**PERVIOUS CONCRETE - DETAIL**

N.T.S.

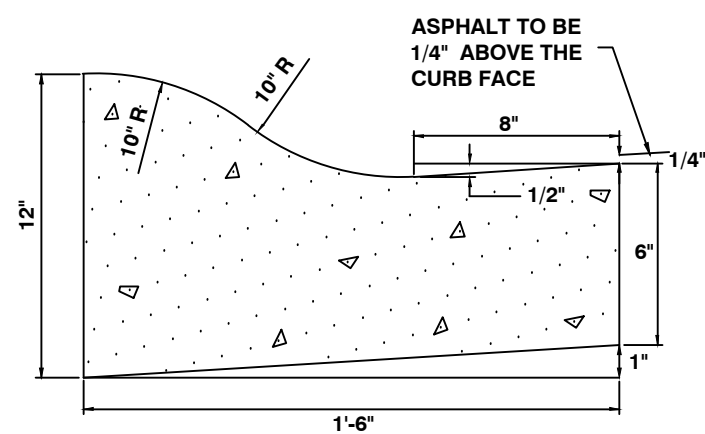
**CATCH BASIN / JUNCTION BOX**  
**NOT TO SCALE**

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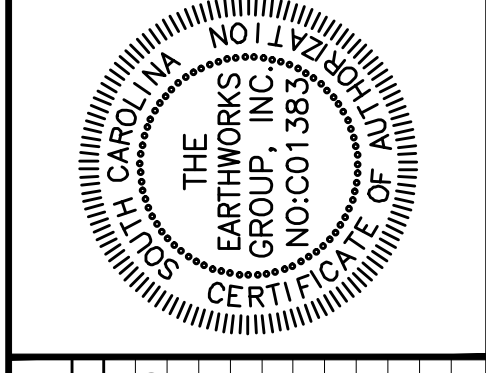
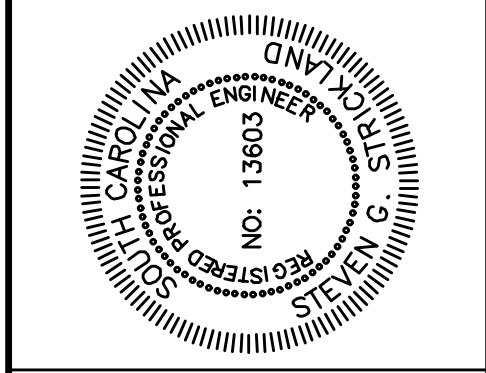
NOTE: SUB-BASE TO BE RAKED AND STRIPPED OF ALL ORGANIC AND ROOT MATERIAL.  
**CONCRETE CURB DETAIL**  
N.T.S.



TO BE INSTALLED AT ACCESS GATE AT REAR OF PARKING AREA.  
**ROLLED CURB - SECTION**  
N.T.S.

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NO.	DATE	DESCRIPTION
1	05/28/22	OCRM COMMENTS
2	01/23/23	GTC PW COMMENTS

**PAWLEYS ISLAND SOUTH PARKING LOT**

**FEMA PLAN**

PREPARED FOR: **GEORGETOWN COUNTY CAPITAL PROJECTS**  
GEORGETOWN COUNTY, SC

**PROJECT:** 201072

**DATE:**

**SCALE:** 1" = 20'

**DESIGNED BY:** DAT

**DRAWN BY:** DAT

**CHECKED BY:** MD/SGS

**SHEET**  
**C1.3A**