



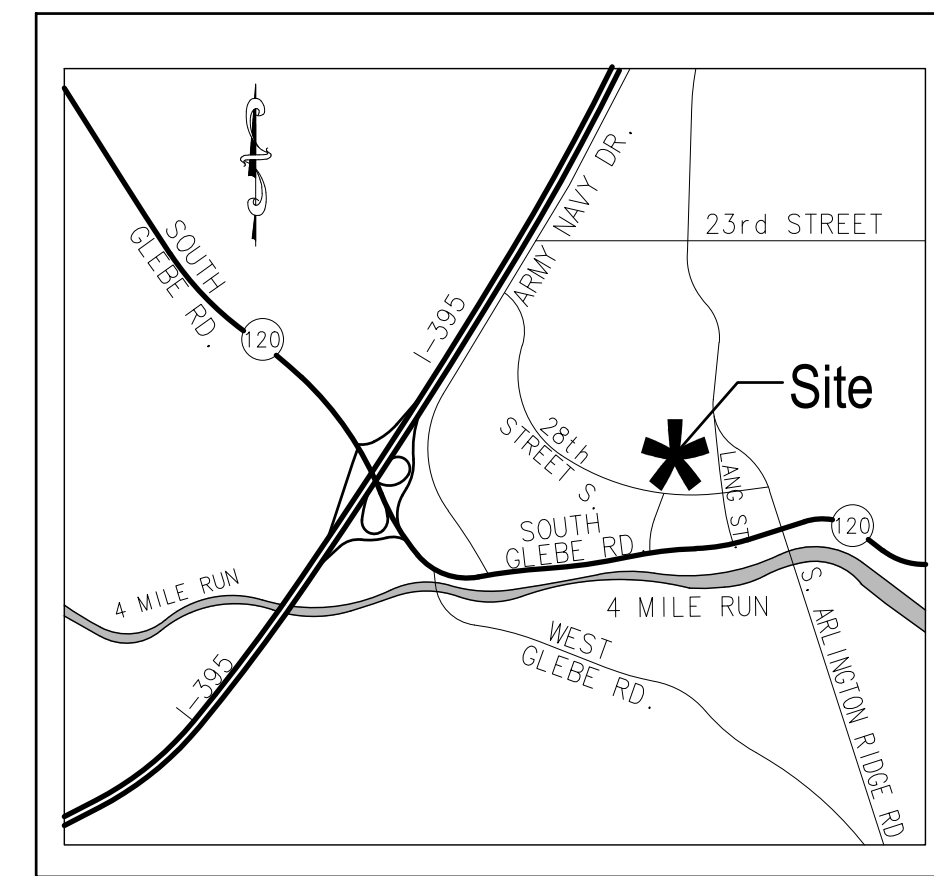
Plans For: Gunston Park

Enclosed Athletics Facility Improvements

1401 28th Street South, Arlington, VA 22206

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VICINITY MAP - 1"=2000'

DEPARTMENT OF PARKS AND RECREATION

Park Development Division

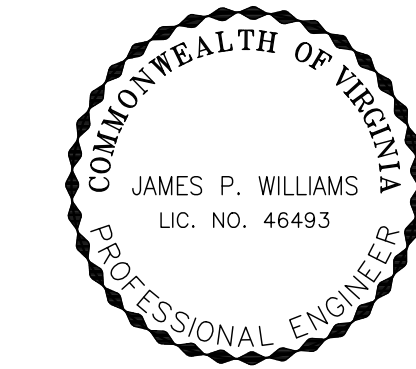
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SECURITY CONSULTING



GENERAL NOTES

- THE CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE CONDITIONS OF THE SITE. THE CONTRACTOR SHALL THOROUGHLY EXAMINE AND BE FAMILIAR WITH THE DRAWINGS AND SPECIFICATIONS. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES, OMISSIONS, AMBIGUITIES OR CONFLICTS IN OR AMONG THE CONTRACT DOCUMENTS OR BE IN DOUBT AS TO THEIR MEANING, HE SHALL BRING THESE ITEMS TO THE ATTENTION OF THE PROJECT OFFICER FOR DIRECTION BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND BE RESPONSIBLE FOR ADHERENCE TO ALL ORDINANCES, REGULATIONS, LAWS AND CODES HAVING JURISDICTION OVER THE PROPERTY.
- THE CONTRACTOR SHALL SUBMIT A REQUIRED "RESPONSIBLE LAND DISTURBER" CERTIFICATION LETTER AS PART OF OBTAINING A BUILDING (OR DISTURBANCE) PERMIT.
- THE CONTRACTOR IS RESPONSIBLE FOR LICENSING AS REQUIRED BY APPLICABLE REGULATORY AGENCIES.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SALES, USE AND CAPITAL GAINS TAXES.
- UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE LOCATIONS DETERMINED FROM VISIBLE EVIDENCE AND AVAILABLE RECORDS. ADDITIONAL UNDERGROUND UTILITY LINES MAY BE PRESENT THAT ARE NOT SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE EXISTING UTILITIES.
- CONTRACTOR SHALL NOT SUBSTITUTE PRODUCTS OR MATERIALS WITHOUT PRIOR APPROVAL BY THE PROJECT OFFICER.
- THE CONTRACTOR SHALL IDENTIFY ALL STAGING AREAS AND LIMITS OF WORK FOR APPROVAL BY THE PROJECT OFFICER PRIOR TO THE START OF WORK. AREAS OUTSIDE LIMITS OF WORK SHALL NOT BE USED FOR STORAGE OR MOVEMENT OF MATERIALS, MACHINERY OR DEBRIS.
- THE CONTRACTOR SHALL OBTAIN THE PROJECT OFFICER'S APPROVAL FOR TIMES OF DAY DURING WHICH CONSTRUCTION OPERATIONS MAY OCCUR. ALL CONSTRUCTION OPERATIONS SHALL OCCUR WITHIN TIMES SPECIFIED BY LOCAL ORDINANCES.
- CONSTRUCTION ACTIVITIES FOR THIS PROJECT OCCUR ENTIRELY ON PARK PROPERTY. THEREFORE, A MAINTENANCE OF TRAFFIC (MOT) PLAN IS NOT EXPECTED TO BE REQUIRED. HOWEVER, IF THE ARLINGTON DEPARTMENT OF ENVIRONMENTAL SERVICES (DES) DETERMINES THAT AN MOT PLAN IS REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE PLAN TO DES FOR THEIR REVIEW AND APPROVAL.
- THE CONTRACTOR SHALL BE ON SITE AT TIME OF ALL MATERIALS DELIVERIES.
- THE CONTRACTOR SHALL KEEP THE SITE CLEAN AND FREE OF TRASH AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE A TRASH RECEPTACLE TO BE USED ON SITE DURING CONSTRUCTION AND SHALL REMOVE TRASH FROM THE SITE ON A DAILY BASIS.
- THE CONTRACTOR SHALL KEEP VEHICULAR ACCESS AREAS CLEAN DURING CONSTRUCTION. VEHICULAR AND OTHER PAVED AREAS SHALL BE WASHED FREE OF MUD ON A WEEKLY BASIS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL SECURE THE CONSTRUCTION AREA WITH FENCING AT END OF WORKDAY AND WHEN CONTRACTOR IS NOT ON SITE.
- THE CONTRACTOR SHALL DISTRIBUTE ALL PROJECT MATERIALS AND EQUIPMENT AND DISTRIBUTE ANY STOCKPILES IN SUCH A MANNER AS TO PROTECT EXISTING CONDITIONS, SUCH AS UTILITIES, PAVING, VEGETATION, ETC. THE CONTRACTOR SHALL NOT STOCKPILE SOIL OR CONSTRUCTION MATERIALS, OR DRIVE VEHICLES WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES TO REMAIN. THE CONTRACTOR SHALL OBTAIN THE PROJECT OFFICER'S APPROVAL FOR ALL CONSTRUCTION ACCESS AREAS, STAGING AND STOCKPILE AREAS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOT BLOCK STREETS, PARKING AREAS, HOUSE OR DRIVEWAY ENTRANCES DURING CONSTRUCTION WITHOUT THE PROJECT OFFICER'S PERMISSION AND APPROVAL OF ANY RIGHT-OF-WAY PERMITS IF REQUIRED.
- THE CONTRACTOR SHALL STAKE THE ALIGNMENT OF ALL PAVEMENT, WALLS, CURBING, SAFETY SURFACING AND SITE FEATURES IN THE FIELD FOR APPROVAL BY THE PROJECT OFFICER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROMPTLY REPAIR ALL DAMAGE TO EXISTING PAVEMENT, DRIVEWAYS, AND ADJACENT FACILITIES CAUSED BY CONSTRUCTION OPERATIONS. COST OF REPAIRS SHALL BE AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL REMOVE ALL EXCESS SOIL, TEMPORARY FENCING, EROSION CONTROL MEASURES, STABILIZATION MATERIALS, AND OTHER DEBRIS AND SHALL DISPOSE LEGALLY UPON COMPLETION OF THE PROJECT. CONTRACTOR SHALL THOROUGHLY WASH AND CLEAN ALL PAVED AREAS, WALLS, SITE FURNISHINGS AND FEATURES, ETC. UPON COMPLETION OF THE PROJECT.
- REFER TO INDIVIDUAL DRAWINGS FOR ADDITIONAL NOTES.

ARLINGTON COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES WATER-SEWER CONSTRUCTION REQUIREMENTS (REVISED MARCH 2005)

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ARLINGTON COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES CONSTRUCTION STANDARDS & SPECIFICATIONS (LATEST EDITION) AND SHALL BE APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES. UPON PHYSICAL INSPECTION, THE COUNTY RESERVES THE RIGHT TO REJECT THE USE OF ANY MATERIAL FOUND TO BE DEFECTIVE OR NOT CONFORMING TO THE STANDARDS AND SPECIFICATIONS.
- BEFORE START OF CONSTRUCTION, THE CONTRACTOR SHALL FURNISH THE FOLLOWING INFORMATION AND/OR EVIDENCE OF COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND LAWS, TO THE ARLINGTON COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES:
 - THE NAME AND ADDRESS OF THE CONTRACTOR HIRED TO WORK ON THE PROJECT. THE CONTRACTOR SHALL BE REGISTERED IN THE COMMONWEALTH OF VIRGINIA. SATISFACTORY EVIDENCE SHALL BE FURNISHED OF THE CONTRACTOR'S PRIOR EXPERIENCE AS PRIME CONTRACTOR IN THE CONSTRUCTION OF WATER MAINS AND/OR SANITARY SEWER INSTALLATIONS. FURTHER, THE CONTRACTOR SHALL FURNISH A LETTER WITH A LIST OF MATERIALS AND SUPPLIERS FOR PROPOSED PROJECT.
 - A RIGHT OF WAY PERMIT IS REQUIRED TO WORK IN ARLINGTON COUNTY STREETS. IN INSTANCES OF EXCAVATIONS IN STATE RIGHT OF WAY, THE DATE AND NUMBER OF ALL PERMITS REQUIRED BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) SHALL BE FURNISHED.
 - IF ANY OTHER EASEMENT IS NEEDED, TWO (2) COPIES OF THE DESCRIPTION OF SUCH EASEMENT, AS ACTUALLY RECORDED, SHALL BE FURNISHED, INCLUDING THE PLACE, DATE AND REFERENCE OF SUCH RECORDATION.
 - WRITTEN NOTICE OF TENTATIVE STARTING DATE OF CONSTRUCTION, WHICH SHALL BE A MINIMUM OF ONE (1) WEEK FOLLOWING THE DATE OF NOTICE. IN ADDITION, THE CONTRACTOR SHALL FURNISH THE NAMES AND TELEPHONE NUMBERS OF TWO (2) RESPONSIBLE PERSONS WHO CAN BE CONTACTED IN CASE OF EMERGENCY.
- ACTUAL CONSTRUCTION SHALL NOT BEGIN UNTIL THE ABOVE ITEMS HAVE BEEN COMPLETED AND THE ARLINGTON COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES APPROVED THE STARTING DATE AND ARRANGEMENTS HAVE BEEN MADE FOR THE REQUIRED INSPECTION SERVICE.
- ALL CONSTRUCTION SHALL BE ACCOMPLISHED FROM APPROVED PLANS, SPECIFICATIONS AND CUT SHEETS SUBMITTED BY A REGISTERED ENGINEER AND APPROVED BY THE COUNTY. TO AVOID CONSTRUCTION DELAYS, ALL NECESSARY TEST HOLE INFORMATION SHALL BE OBTAINED PRIOR TO MOBILIZATION AND CONSTRUCTION PLANS SHALL BE REVISED ACCORDINGLY.
- NO EXISTING WATER MAINS, FIRE HYDRANTS, OR SANITARY SEWERS MAY BE TAKEN OUT OF SERVICE OR MADE INACCESSIBLE BY THE CONTRACTOR WITHOUT THE PRIOR APPROVAL FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES.
- UPON COMPLETION OF CONSTRUCTION, ALL FINAL TESTS, AS REQUIRED, SHALL BE PERFORMED IN THE PRESENCE OF THE COUNTY'S REPRESENTATIVE. WATER AND SEWER SERVICE CONNECTIONS SHALL NOT BE MADE UNTIL THE WATER AND/OR SEWER MAINS AND APPURTENANCES HAVE BEEN APPROVED AND ACCEPTED BY ARLINGTON COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES.
- EXISTING WATER SERVICES MAY BE ALLOWED FOR CONSTRUCTION PURPOSES ONLY FOR WHICH CONTRACTOR SHALL REQUEST TO THE ARLINGTON COUNTY'S UTILITY SERVICES BY CALLING 703-228-3636. PRIOR TO THE FINAL ACCEPTANCE OF THE PROJECT, THE DEVELOPER SHALL REQUEST TO THE UTILITY SERVICES IN WRITING FOR THE DISCONTINUATION OF ALL EXISTING WATER SERVICES. ALSO, THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING METER BOXES RELATED TO THE SERVICES BEING DISCONTINUED.
- THE CONTRACTOR SHALL MAINTAIN BACKFILL FOR UTILITY EXCAVATIONS UNTIL ARLINGTON COUNTY HAS FINALLY ACCEPTED THE PROPOSED WATER AND/OR SEWER MAIN. ALSO, ALL SURFACES OVER THE UTILITY EXCAVATIONS SHALL EITHER BE RESTORED TO THE ORIGINAL CONDITION OR FINISHED AS PER THE PROPOSED DESIGN BEFORE THE ACCEPTANCE OF THE PROJECT. PAVEMENT PATCHING FOR UTILITY CUTS IN THE PUBLIC STREETS SHALL BE PERFORMED IN ACCORDANCE WITH ARLINGTON COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES CONSTRUCTION STANDARDS AND SPECIFICATIONS OR AS PER VDOT ROAD AND BRIDGE STANDARDS AND SPECIFICATIONS DEPENDING UPON THE STREET JURISDICTION. PRIOR TO FINAL PAVING, THE CONTRACTOR SHALL ADJUST ALL EXISTING VALVE BOXES AND SANITARY SEWER MANHOLE FRAME AND COVERS AS PER COUNTY STANDARDS. REMOVE ALL ABANDONED SANITARY MANHOLES AND VALVE BOXES OVER THE ABANDONED WATER MAINS, AND COMPLETE ALL NECESSARY WATER MAIN "CUT AND CAPS".
- UPON COMPLETION, APPROVAL, AND ACCEPTANCE OF WATER AND/OR SEWER MAINS AND APPURTENANCES, THE DEVELOPER'S REGISTERED ENGINEER SHALL SUBMIT TO ARLINGTON COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES, A SET OF MYLAR TRACINGS INDICATING THE AS-BUILT CONDITIONS AND A SIGNED STATEMENT CONFIRMING THAT THE WORK, AS INDICATED, IS ACCEPTABLE TO THE ENGINEER. SUCH SUBMITTALS SHALL BE MADE BEFORE REQUESTING REDUCTION AND/OR RELEASE OF THE SURETY BOND.

ARLINGTON COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES

NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY DES STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL REMOVE AND REPLACE, TO THE CURRENT ARLINGTON COUNTY DES STANDARDS AND SPECIFICATIONS, ANY EXISTING ENTRANCES, CURB AND GUTTER OR SIDEWALK ALONG THE FRONTAGE OF THIS SITE IN POOR CONDITION, OR DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND CLOSING, TO ARLINGTON COUNTY STANDARDS, ANY EXISTING ENTRANCES NOT BEING USED IN CONJUNCTION WITH THIS DEVELOPMENT.
- THE CONTRACTOR SHALL OBTAIN ARLINGTON COUNTY PERMITS FOR ALL OF THIS SITE.
- THERE MAY BE UNDERGROUND CONDUIT, CABLES AND TRAFFIC DETECTION DEVICES IN THIS AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY TRAFFIC CONTROLS THAT ARE DISTURBED DURING CONSTRUCTION. NOTIFY THE TRANSPORTATION ENGINEERING & OPERATIONS BUREAU AT (703) 228-3575, 24 HOURS PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL NOT DISTURB OR REMOVE ANY TRAFFIC CONTROL SIGNS, PARKING METERS OR ANY OTHER TRAFFIC CONTROL DEVICE WITHOUT PRIOR PERMISSION FROM THE TRANSPORTATION ENGINEERING & OPERATIONS BUREAU. CONTACT TRANSPORTATION ENGINEERING AT (703) 228-3575.
- THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE TRANSPORTATION ENGINEERING & OPERATIONS BUREAU, PRIOR TO PLACING ANY OBSTRUCTION WITHIN THE PUBLIC RIGHT OF WAY, OR ON SIDEWALKS ALONG THE FRONTAGE OF THIS DEVELOPMENT.
- THE CONTRACTOR SHALL OBTAIN PERMITS FROM THE INSPECTION SERVICES DIVISION PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION OF ON-SITE FACILITIES. FOR INFORMATION AND PERMIT REQUIREMENTS TELEPHONE (703) 228-3800.

UTILITY MARKING REQUIREMENTS:

- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 811, 72 HOURS PRIOR TO THE START OF ANY EXCAVATION OR CONSTRUCTION, FOR THE MARKING OF UNDERGROUND UTILITIES IN THE RIGHT-OF-WAY.
- UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE LOCATIONS DETERMINED FROM VISIBLE EVIDENCE AND AVAILABLE RECORDS. ADDITIONAL UNDERGROUND UTILITY LINES MAY BE PRESENT THAT ARE NOT SHOWN. THE CONTRACTOR SHALL LOCATE AND PRESERVE ALL EXISTING UTILITIES.



DEPARTMENT OF PARKS AND RECREATION

Planning and Design Unit
2100 Clarendon Boulevard, Suite 414
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Phone: 703.228.7598
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Project Name and Location
Gunston Park Enclosed Athletic Facility Improvements
BY RIGHT (COUNTY PROJECT)
1401 28th St S, Arlington, VA 22206

Sheet Title
COVER SHEET



Seal

Approvals Date

DEPARTMENT DIRECTOR

PLANNING AND DESIGN DIVISION CHIEF

DESIGN TEAM SUPERVISOR

PARK SERVICE AREA MANAGER

URBAN FORESTRY

Revisions Date

21-DPR-ITB-356
SWM # 20-0147

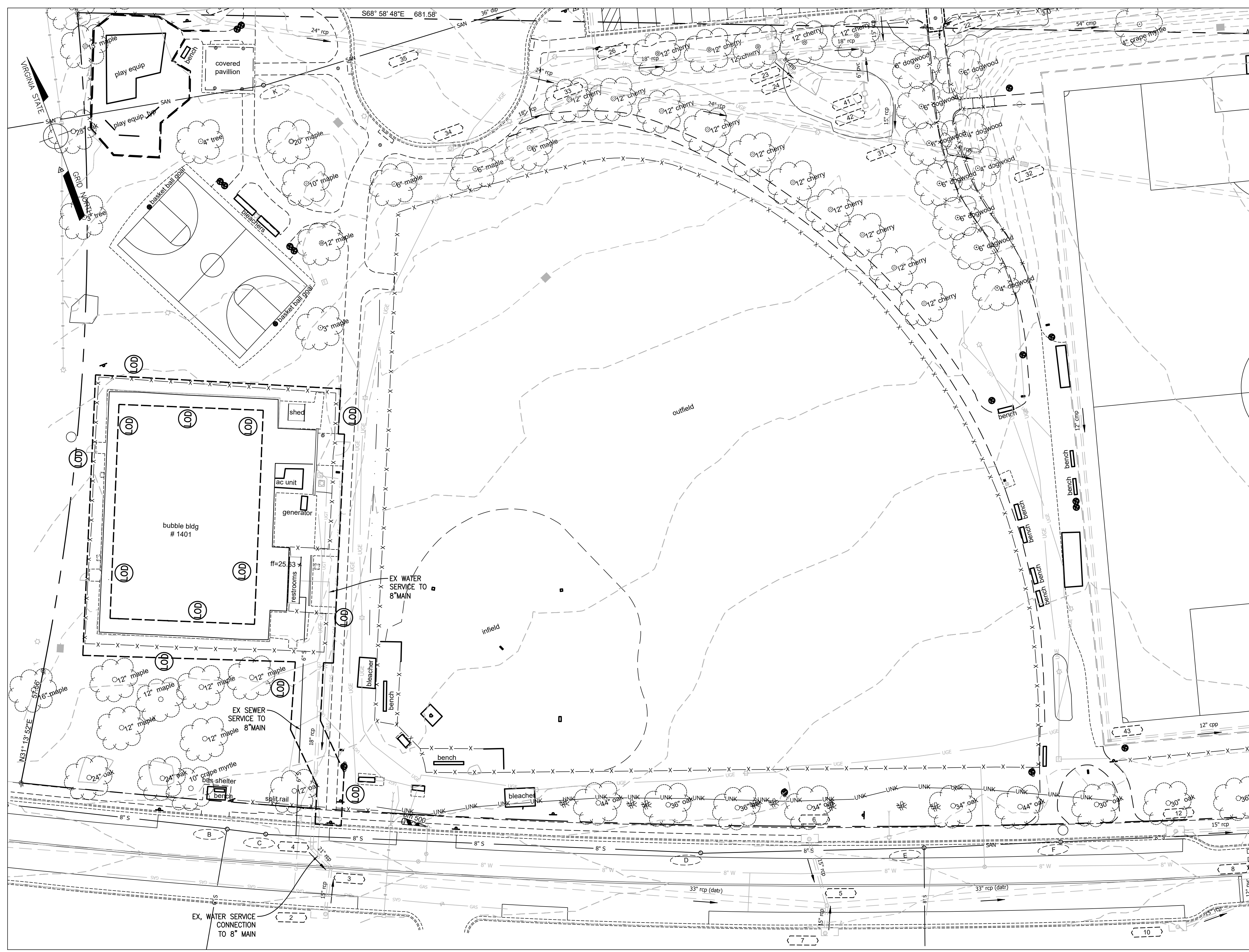
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Drawn: N/A
Checked: J.P. Williams

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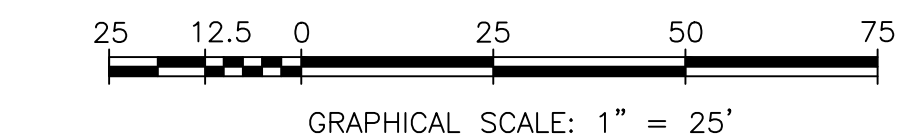
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Date: May 20, 2020

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EXISTING CONDITIONS PLAN



NOTES

1. THIS SHEET IS TO PROVIDE CLEAR INFORMATION OF THE EXISTING CONDITIONS FOR THE PURPOSES OF CONSTRUCTION. REFER TO SIGNED TOPOGRAPHIC SURVEY ENCLOSED AT END OF SET FOR ADDITIONAL INFORMATION AND NOTES RELATED TO THE SURVEY PERFORMED FOR THIS PROPERTY.
2. THE SANITARY SERVICE FROM THIS BUILDING IS PRIVATE SERVICE UTILITIES FROM THE PROJECT IS PRIVATE TO

LEGEND:

	shrub
	trash can
	yard inlet - grate
	storm manhole
	sign
	power pole
	light pole
	guy wire
	electric junction box
	ground shot
	clean out
	water valve
	water meter
	fire hydrant
	gas valve
	gas meter
	gas manhole
	hc symbol
	bollard
	iron pipe found
	iron rod found rebar & cap
	traverse
	curb and gutter
	centerline ditch
	communication paint line
	overhead electric
	electric paint line
	waterline paint line
	gas paint line
	fence / railing
	data according to record



DEPARTMENT OF PARKS AND RECREATION

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EXISTING CONDITIONS PLAN

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Seal

Approvals	Date
DEPARTMENT DIRECTOR	
DESIGN TEAM SUPERVISOR	
PARK SERVICE AREA MANAGER	
URBAN FORESTRY	

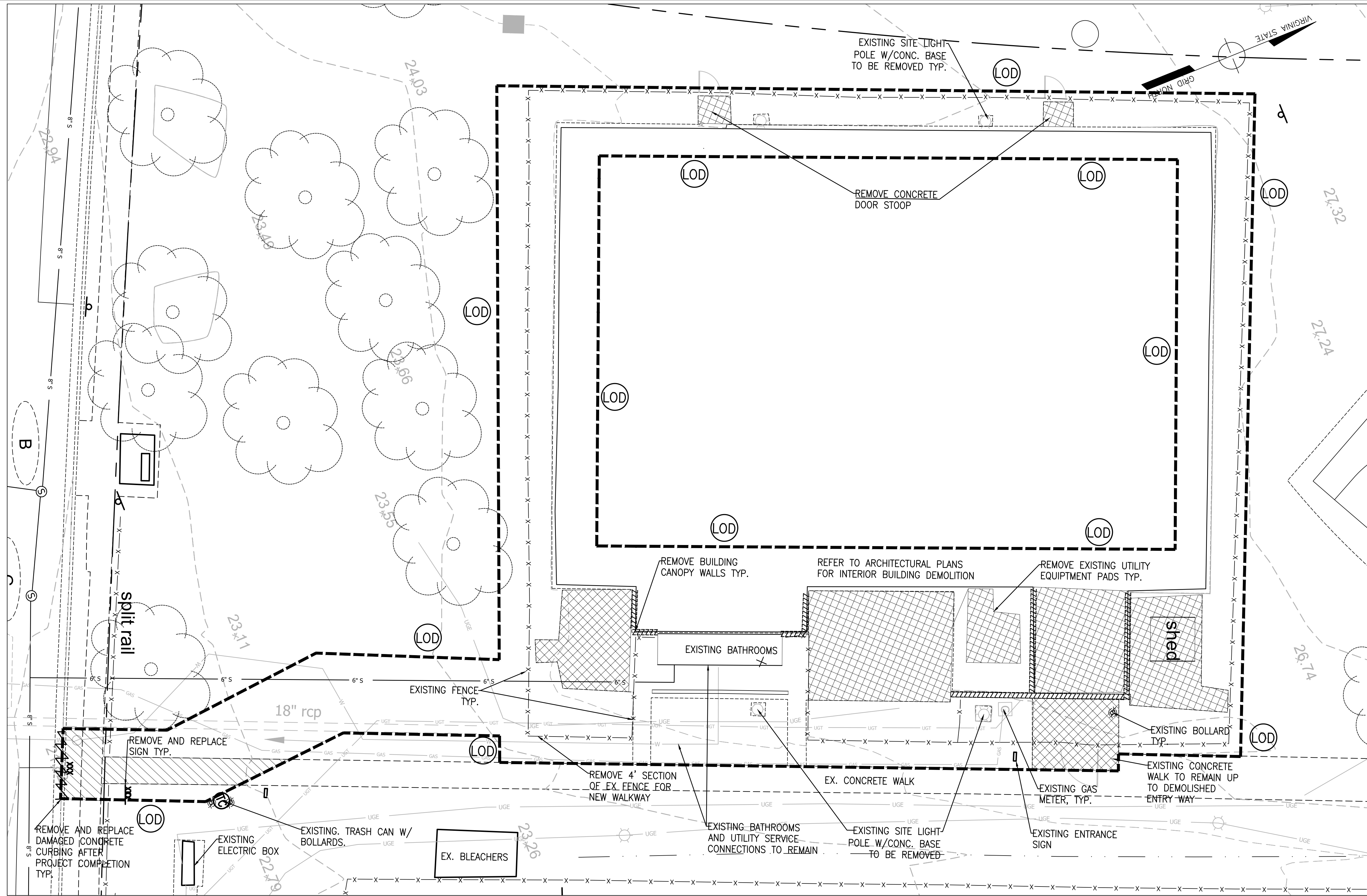
Revisions	Date

21-DPR-ITB-356
SWM # 20-0147

Designed: AMTA
Drawn: J.T. Williams
Checked: J.P. Williams

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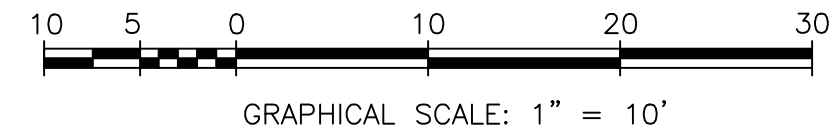
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Date: May 20, 2020



NOTE:
ALL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING TREE PROTECTION FENCING MUST BE INSTALLED PRIOR TO COMMENCEMENT OF WORK WHEN CONSTRUCTION ACTIVITIES OCCUR WITHIN THE TREE PROTECTION AREA (TPA). THE CONTRACTOR MUST OBTAIN APPROVAL OF THE PROJECT OFFICER PRIOR TO COMMENCEMENT OF ANY WORK WITHIN THE TPA. CONSTRUCTION ACTIVITIES WITHIN THE TPA MAY ONLY BE PERFORMED UNDER THE GUIDANCE OF THE PROJECT OFFICER.

- LEGEND**
- (LOD) DENOTES LIMITS OF DISTURBANCE AND CONSTRUCTION ACTIVITIES
 - DAMAGED EXISTING CONCRETE PAVEMENT WALK TO BE REMOVED AND REPLACED AFTER PROJECT COMPLETION. BASE STONE TO REMAIN
 - DAMAGED EXISTING CONCRETE CURBING TO BE REMOVED AND REPLACED AFTER PROJECT COMPLETION
 - REMOVE CONCRETE PAVEMENT/PAD ALONG WITH BASE MATERIAL.
 - EXISTING SIGN AND POST TO BE REMOVED AND REPLACED
 - REMOVE EXISTING SCREEN AND CANOPY WALLS

DEMOLITION PLAN

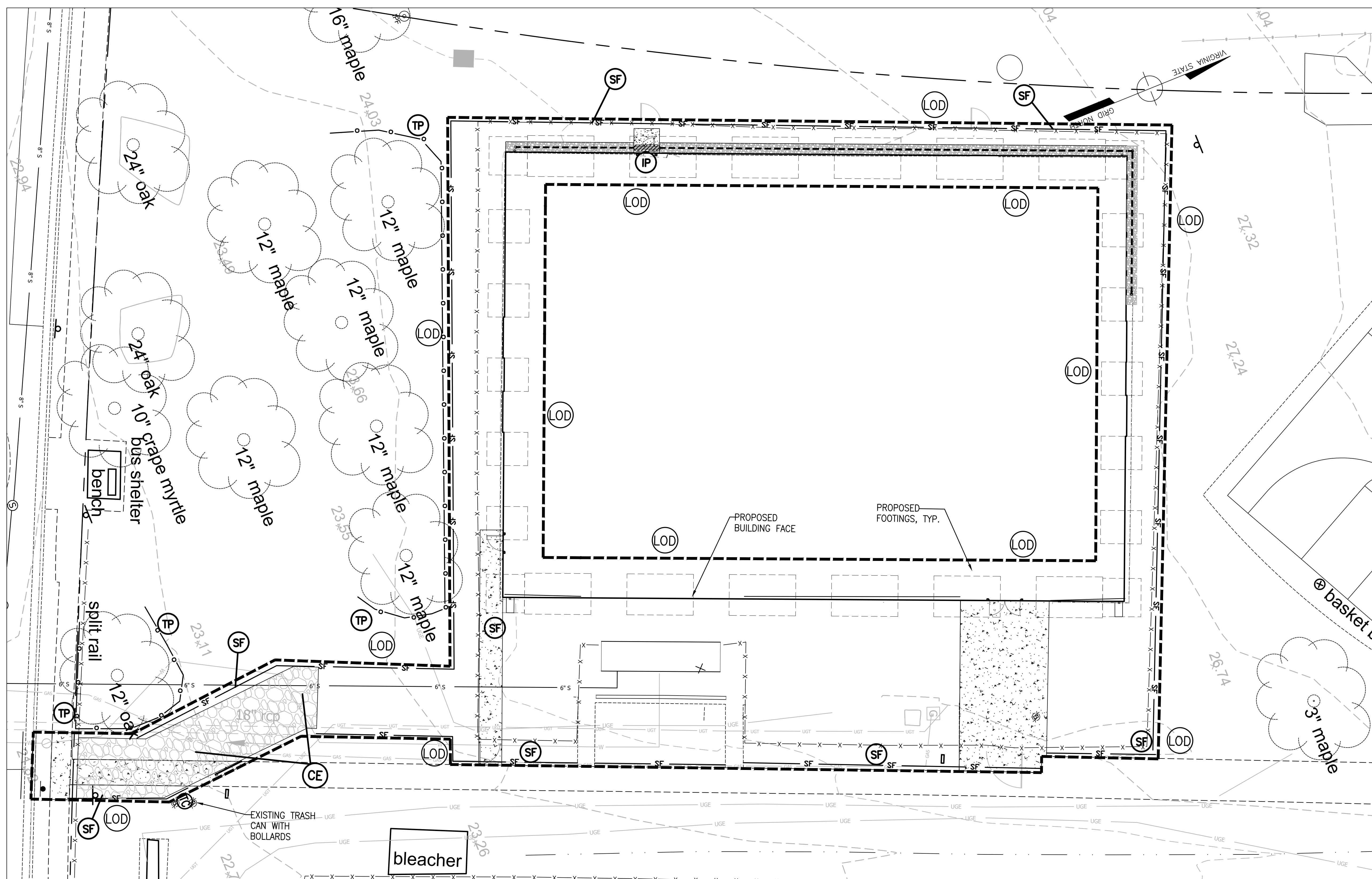


DEMOLITION NOTES

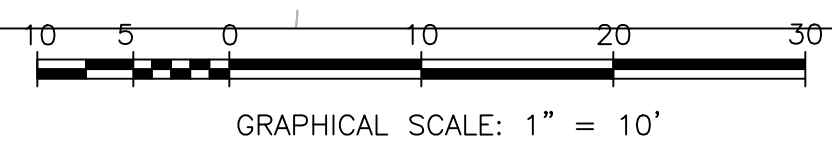
1. DEMOLITION PLAN IS FOR GENERAL GUIDELINES. CONTRACTOR TO VERIFY ITEMS TO BE REMOVED.
2. CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES AND FEATURES NOT SCHEDULED FOR DEMOLITION AND/ OR CONSTRUCTION FROM DAMAGE DUE TO DEMOLITION PROCEDURES.
3. CONTRACTOR SHALL PHOTO DOCUMENT ANY EXISTING DAMAGE DONE PRIOR TO START OF ANY CONSTRUCTION WORK.
4. CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT '811' OR (800) 552-7001, 72 HOURS PRIOR TO START OF ANY EXCAVATION OR CONSTRUCTION FOR THE MARKING OF EXISTING UNDERGROUND UTILITIES.
5. DEMOLITION STAGE EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED AND INSPECTED PRIOR TO DEMOLITION.
6. ASPHALT MAY BE SCARIFIED AND PULVERIZED AND USED AS SUBGRADE/ FILL FOR NEW PAVING IN ACCORDANCE WITH SPECIFICATIONS.
7. ALL PAVEMENT DAMAGED/ CRACKED DUE TO THE CONSTRUCTION, SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE IN ACCORDANCE WITH JOB STANDARDS AND SPECIFICATIONS.
8. ALL MATERIAL FROM DEMOLITION NOT IDENTIFIED FOR REUSE SHALL BE REMOVED FROM THE SITE.
9. ALL PAVEMENT REMOVED SHALL BE DONE SUCH THAT REMAINING PAVEMENT IS LEFT WITH CLEAN STRAIGHT EDGE.
10. ASPHALT COURTS: REMOVAL OF PAVEMENT SHALL INCLUDE SURFACE ASPHALT, BASE ASPHALT, GRAVEL BASE, AND IF EXISTS: ADDITIONAL PAVEMENT, FILTER FABRIC AND UNDERDRAIN LAYERS BENEATH.
11. CONCRETE: REMOVAL OF CONCRETE PADS, WALKS, CURBS ETC., SHALL INCLUDE CONCRETE, STEEL REINFORCEMENT, (AND GRAVEL BASE WHERE NO PROPOSED CONCRETE.) ALL CONCRETE SHALL BE REMOVED TO NEAREST JOINT.
12. REMOVE AND STOCKPILE OF ALL TOPSOIL AND SOD WITHIN L.O.W. IN LOCATION OF PROPOSED HARDSCAPE FOR LATER USE.
13. MODIFY EXISTING STORM STRUCTURES PER GRADING PLAN. DISPOSE OF ANY MATERIAL NOT USED AS PART OF THESE MODIFICATIONS.
14. CONTRACTOR SHALL PROVIDE EXISTING DAMAGE PHOTOS PRIOR TO MOBILIZING OR PERFORMING ANY WORK. LOCATIONS OF PICTURES TO BE RECORDED ON THIS SHEET.
15. MILL ASPHALT TO A DEPTH OF 2".

TREE REMOVAL AND PROTECTION NOTES

1. TREE PROTECTION DEVICES SHALL BE MAINTAINED UNTIL ALL WORK IN THE VICINITY HAS BEEN COMPLETED AND SHALL NOT BE REMOVED OR RELOCATED WITHOUT THE CONSENT OF THE COUNTY SITE INSPECTOR. IF THE COUNTY SITE INSPECTOR DEMS THAT THE PROTECTIVE DEVICES ARE INSUFFICIENT, INSTALLATION OF ADDITIONAL PROTECTIVE DEVICES MAY BE REQUIRED AS DIRECTED BY COUNTY REPRESENTATIVE.
2. HEAVY EQUIPMENT, VEHICULAR TRAFFIC, STOCKPILING OF MATERIALS, OR DEPOSITION OF SEDIMENT SHALL NOT BE PERMITTED WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN. CONSTRUCTION OF HARDSCAPE AND/ OR PROPOSED IMPROVEMENTS IS PERMITTED WITHIN DRIPLINE (WITHIN LIMITS OF WORK) WITH LIGHT DUTY EQUIPMENT.
3. NO PROTECTIVE DEVICES, SIGNS, UTILITY BOXES OR OTHER OBJECTS SHALL BE NAILED OR AFFIXED TO TREES TO BE PRESERVED.
4. IN THE EVENT THAT A TREE OR PORTION THEREOF IS DEAD OR DYING DUE TO CONSTRUCTION OR ENVIRONMENTAL CHANGES RESULTING FROM DEMOLITION, CONSTRUCTION AND/OR CLEARING, AND POSES A HAZARD TO EITHER LIFE OR PROPERTY, THE CONTRACTOR SHALL NOTIFY PROJECT OFFICER AND TAKE SUCH ACTION AS NECESSARY TO ELIMINATE THE HAZARD CAREFULLY AS PER PROJECT OFFICER'S APPROVAL.
5. ANY DAMAGE INFLICTED TO THE ABOVE OR BELOW-GROUND PORTIONS OF THE TREES SHOWN TO BE PRESERVED SHALL BE REPAIRED IMMEDIATELY. ALL DAMAGED BRANCHES IN THE CROWN SHALL BE CUT OFF CLEANLY PER ARLINGTON COUNTY ARBORIST.
6. TREES THAT ARE REQUIRED TO BE REMOVED SHALL BE REMOVED IN SUCH A WAY THAT SURROUNDING TREES, VEGETATION, LANDSCAPING, STRUCTURES, AND SITE FEATURES ARE NOT DAMAGED.
7. TREES THAT ARE REQUIRED TO BE REMOVED SHALL BE CUT DOWN BY HAND WITH A CHAIN SAW. THESE TREES SHALL BE CUT DOWN FLUSH WITH THE GROUND (WITHIN 2" OF THE SOIL), AND CUT INTO MOVABLE LENGTHS, TO PREVENT THE CREATION OF A NEW HAZARD. REMAINING STUMPS SHALL BE REMOVED OR GROUND DOWN WITH A STUMP GRINDER.
8. TREES BEING REMOVED SHALL NOT BE FELLED, PUSHED, OR PULLED INTO TREE PRESERVATION AREAS. EQUIPMENT OPERATORS SHALL NOT CLEAN ANY PART OF THEIR EQUIPMENT BY SLAMMING IT AGAINST THE TRUNKS OF TREES TO BE RETAINED.



EROSION SEDIMENT CONTROL PLAN - PH 1 & 2



EROSION/SEDIMENT CONTROL NOTES

1. TREE PROTECTION FENCE SHALL REMAIN IN PLACE UNTIL COUNTY PROJECT MANAGER APPROVES ITS REMOVAL.
2. CONSTRUCTION FENCE AND SILT FENCE TO BE INSTALLED AT LIMITS OF DISTURBANCE.
3. IF EXCAVATION AT THE WATER LINE CONNECTION EXCEEDS ONE (1) DAY, THE CONTRACTOR SHALL INSTALL SAFETY FENCE AT THE LIMITS OF WORK.
4. CONTRACTOR TO COORDINATE WITH DEPARTMENT OF PARKS & RECREATION (DPR) TO MAINTAIN SAFE ACCESS TO EXISTING CONCRETE WALK. CLOSURE OF WALK TO BE COORDINATED WITH DPR PROJECT MANAGER.
5. SILT FENCE SHOWN ACROSS PROPOSED CONCRETE SIDEWALK TO BE REMOVED SHORTLY BEFORE CONCRETE WALK IS TO BE POURED.
6. PER SECTION 61-10.C.3 OF THE CHESAPEAKE BAY PRESERVATION ORDINANCE, THE PROPOSED USE OF THIS PROJECT IS EXEMPT FROM THE TREE CANOPY COVERAGE REQUIREMENTS OF THE ORDINANCE.

LEGEND

- DENOTES LIMITS OF DISTURBANCE AND CONSTRUCTION ACTIVITIES
- SILT FENCE
- TREE PROTECTION
- INLET PROTECTION
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE WITH WASH RACK

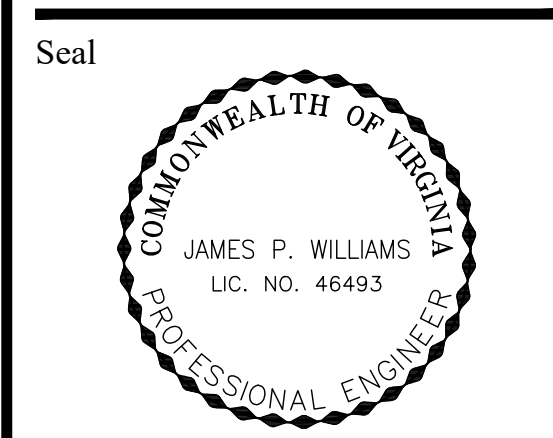


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Sheet Title
EROSION SEDIMENT CONTROL PLAN - PHASE 1 & 2



Approvals	Date
DEPARTMENT DIRECTOR	
PLANNING AND DESIGN DIVISION CHIEF	
DESIGN TEAM SUPERVISOR	
PARK SERVICE AREA MANAGER	
URBAN FORESTRY	

Revisions	Date

21-DPR-ITB-356
SWM # 20-0147

Designed: J.T.Williams
Drawn: J.T.Williams
Checked: J. P. Williams

Filename: 3245-0101-C-GC-102.dwg
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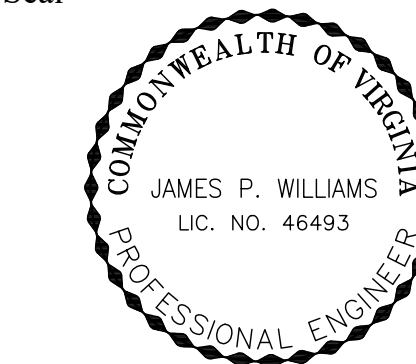
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Project Name and Location
**Gunston Park
Enclosed Athletic
Facility
Improvements**
BY RIGHT (COUNTY PROJECT)
1401 28th St S, Arlington, VA
22206

Sheet Title
SITE LAYOUT PLAN

Gordon
4501 Daly Drive
Chantilly, VA 20151
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Seal



Approvals _____ Date _____

DEPARTMENT DIRECTOR _____

PLANNING AND DESIGN DIVISION CHIEF _____

DESIGN TEAM SUPERVISOR _____

PARK SERVICE AREA MANAGER _____

URBAN FORESTRY _____

Revisions _____ Date _____

21-DPR-ITB-356
SWM # 20-0147

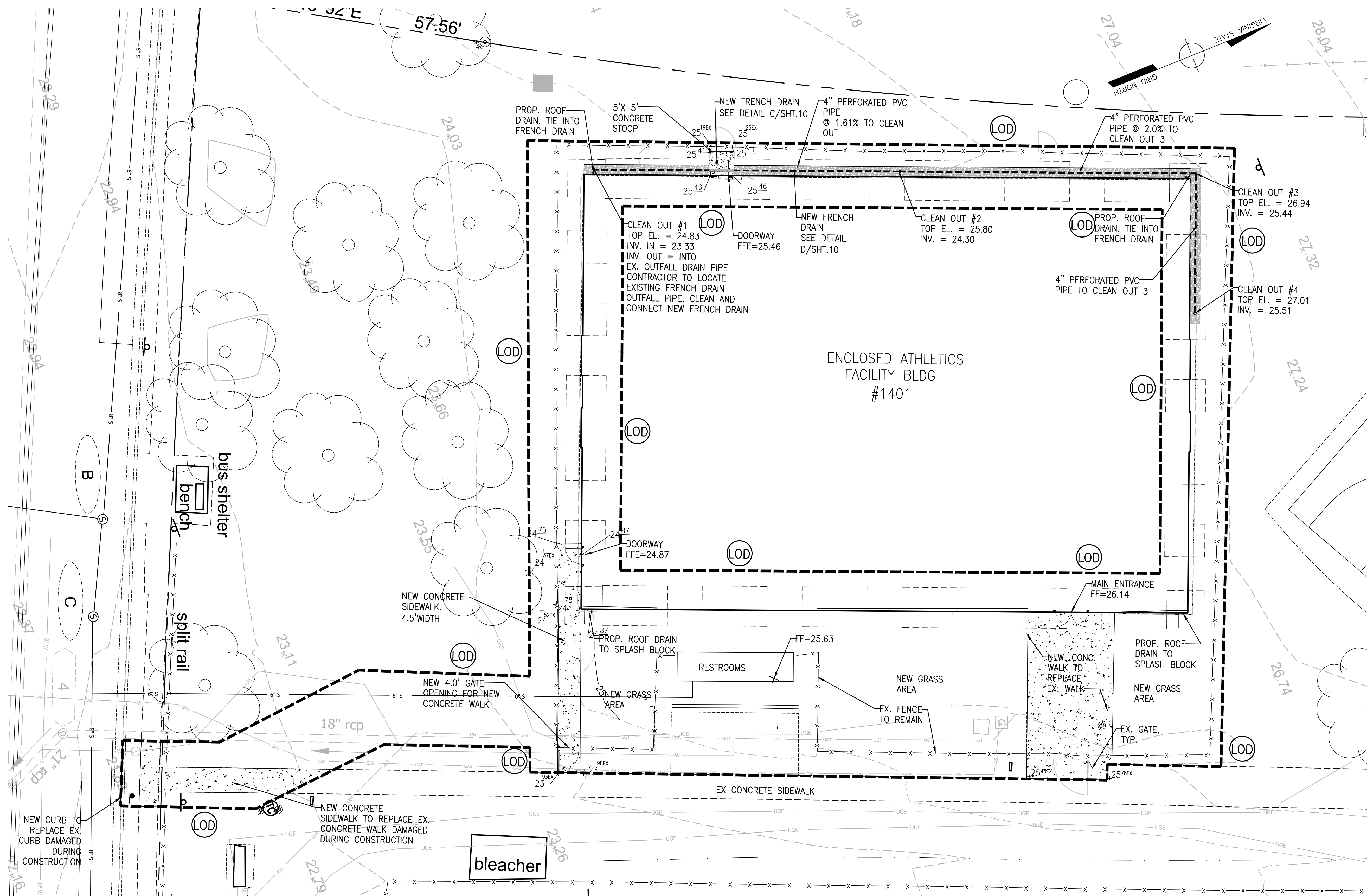
Designed: J.T. Williams
Drawn: J.T. Williams
Checked: J.P. Williams

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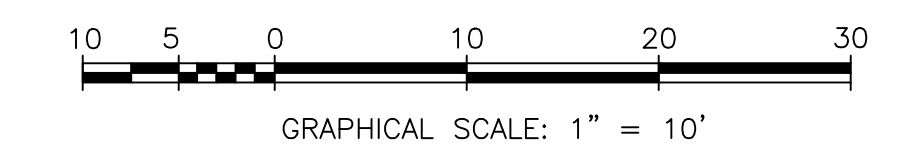
Plotted: Apr 30, 2021

Scale: 1" = 10'
Date: May 20, 2020

Sheet



SITE LAYOUT PLAN



LEGEND

- DENOTES LIMITS OF DISTURBANCE AND CONSTRUCTION ACTIVITIES
- NEW CONCRETE SIDEWALK
- NEW FRENCH DRAIN
- NEW CURB AND GUTTER TO REPLACE DAMAGED CURB AND GUTTER FROM CONSTRUCTION
- NEW SIGN TO REPLACE REMOVED SIGN IN CONSTRUCTION ZONE

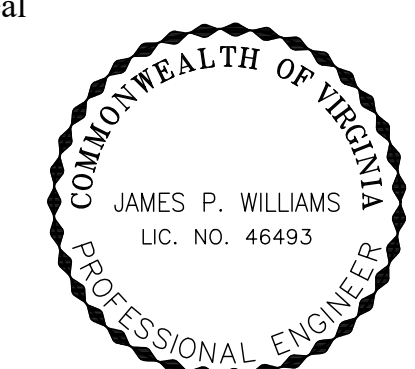
NOTES:

1. CONTRACTOR TO PROTECT EXISTING SIDEWALK SHOWN TO REMAIN
2. CONTRACTOR TO USE EXISTING CHAIN LINK FENCE AS PART OF CONSTRUCTION FENCING WHERE POSSIBLE.

Project Name and Location
**Gunston Park
Enclosed Athletic
Facility
Improvements**
BY RIGHT (COUNTY PROJECT)
1401 28th St S, Arlington, VA
22206

Sheet Title
**PRE-POST
DEVELOPMENT LAND
COVER MAP**

Gordon
4501 Daly Drive
Chantilly, VA 20151
Phone: 703-263-1900
www.gordon.us.com

Seal


Approvals	Date
DEPARTMENT DIRECTOR	
PLANNING AND DESIGN DIVISION CHIEF	
DESIGN TEAM SUPERVISOR	
PARK SERVICE AREA MANAGER	
URBAN FORESTRY	

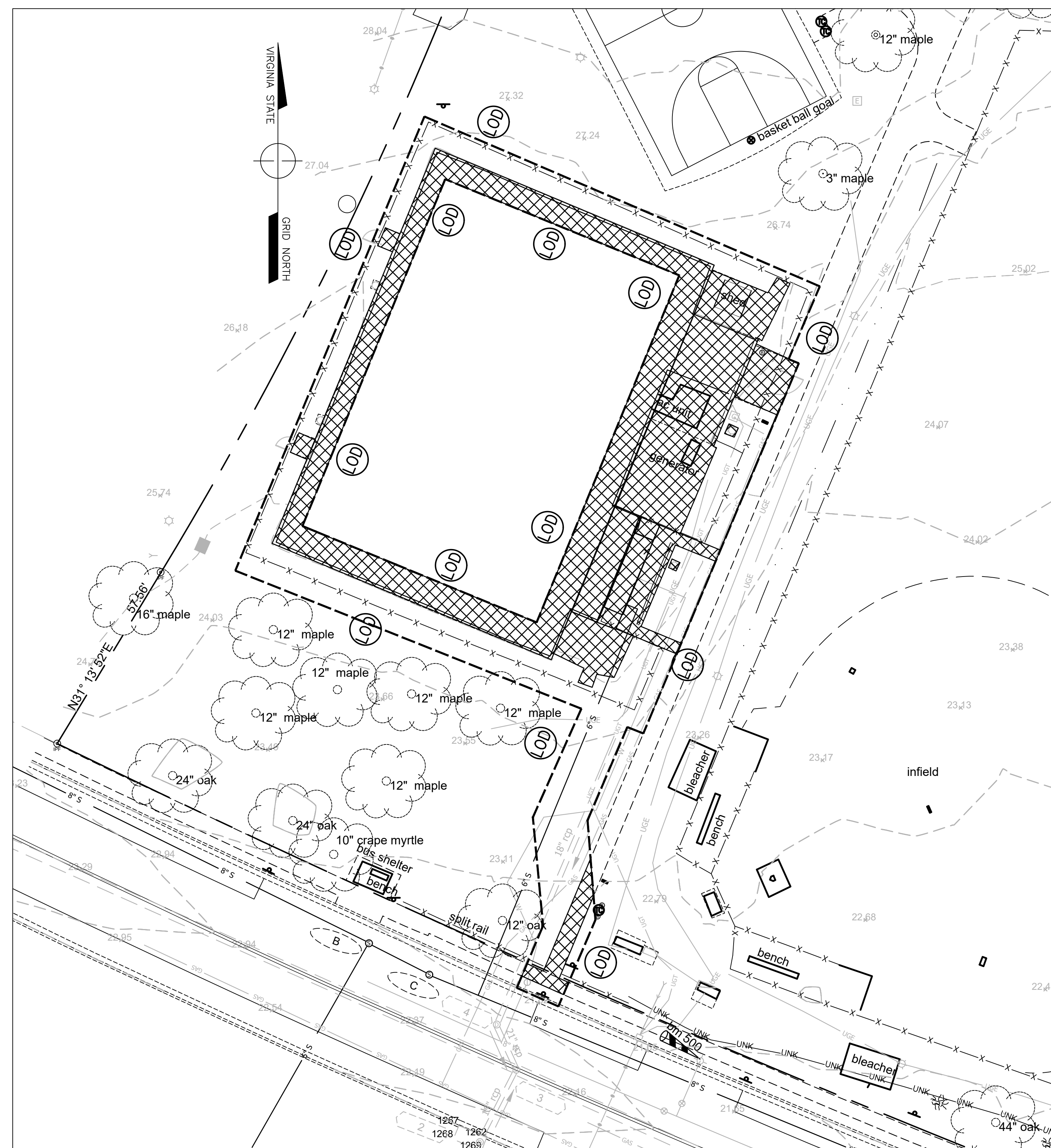
Revisions	Date

21-DPR-ITB-356
SWM # 20-0147

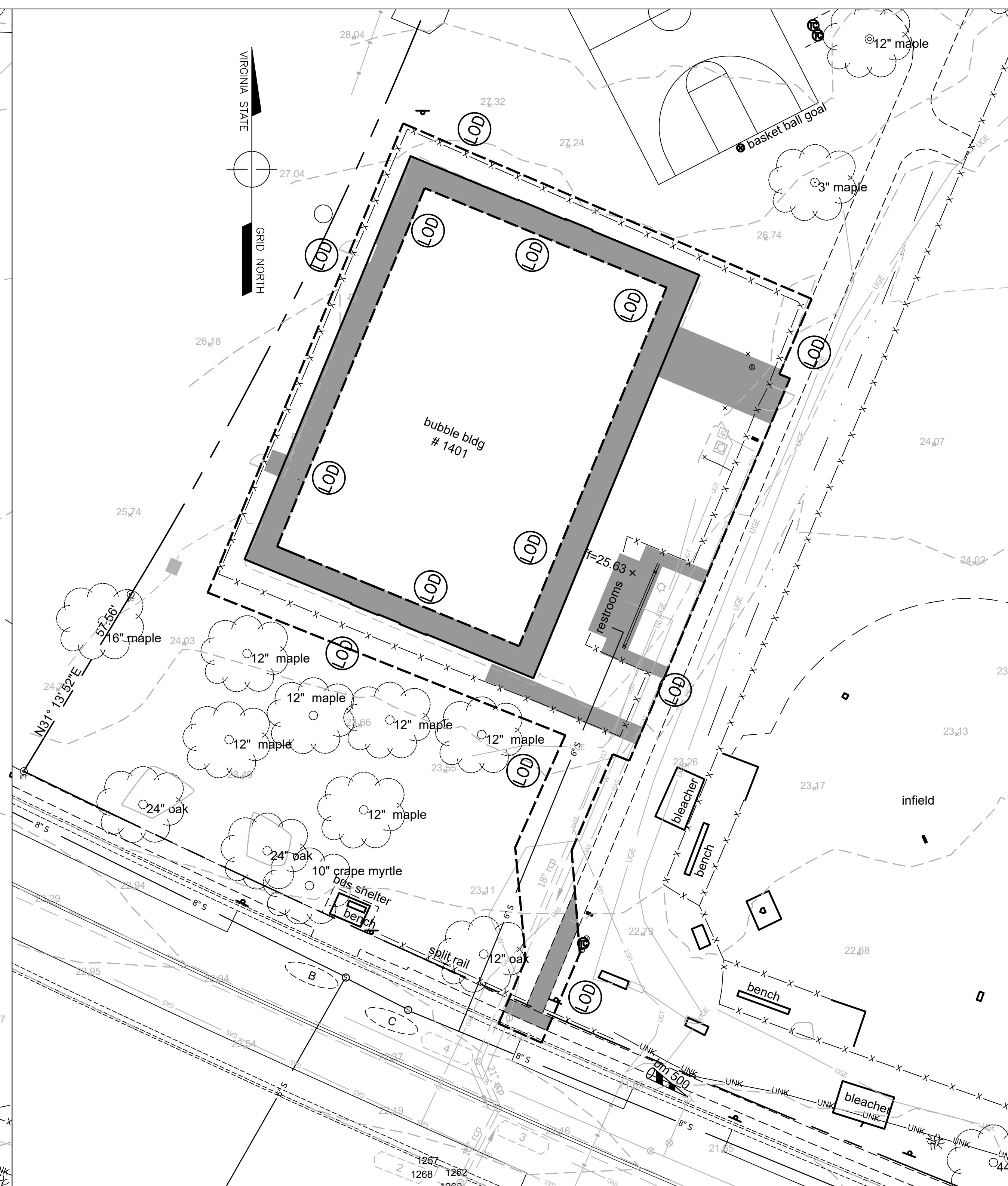
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Drawn: J.T.Williams
Checked: J.P.Williams
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Plotted: Apr 30, 2021
Scale: 1" = 20'
Date: May 20, 2020

Sheet






EXISTING EXTERIOR IMPERVIOUS AREA
GRAPHICAL SCALE: 1" = 20'



PROPOSED EXTERIOR IMPERVIOUS AREA
GRAPHICAL SCALE: 1" = 20'

LEGEND

-  EXISTING IMPERVIOUS AREA WITHIN LIMITS OF CLEARING
-  PROPOSED IMPERVIOUS AREA WITHIN LIMITS OF CLEARING
-  LIMITS OF DISTURBANCE

2011 BMP Standards and Specifications | 2013 Draft BMP Standards and Specifications

Project Name: **Gunston Tennis Bubble**
 Date: **5/18/2020**
 Linear Development Project? **No**

CLEAR ALL

data input cells
 constant values
 calculation cells
 final results

Site Information

Post-Development Project (Treatment Volume and Loads)

Enter Total Disturbed Area (acres) → **0.2527**

Maximum reduction required: **10%**
 The site's net increase in impervious cover (acres) is: **0.0000**
 Post-Development TP Load Reduction for Site (lb/yr): **-0.0290**

Check:
 BMP Design Specifications List: 2013 Draft Stds & Specs
 Linear project? **No**
 Land cover areas entered correctly? **✓**
 Total disturbed area entered? **✓**
TP LOAD REDUCTION NOT REQUIRED

Pre-ReDevelopment Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed forest/open space					0.0000
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed				0.1184	0.1184
Impervious Cover (acres)				0.1343	0.1343
					0.2527

Post-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested land					0.0000
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed				0.1591	0.1591
Impervious Cover (acres)				0.0937	0.0937
Area Check	OK.	OK.	OK.	OK.	0.2527

Constants

Annual Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Total Phosphorus (TP) EMC (mg/L)	0.26
Total Nitrogen (TN) EMC (mg/L)	1.86
Target TP Load (lb/acre/yr)	0.41
Pj (unitless correction factor)	0.90

Runoff Coefficients (Rv)

	A Soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

LAND COVER SUMMARY -- PRE-REDEVELOPMENT

Land Cover Summary-Pre		
Pre-ReDevelopment	Listed	Adjusted ¹
Forest/Open Space Cover (acres)	0.0000	0.0000
Weighted Rv(forest)	0.0000	0.0000
% Forest	0%	0%
Managed Turf Cover (acres)	0.1184	0.1184
Weighted Rv(turf)	0.2500	0.2500
% Managed Turf	47%	47%
Impervious Cover (acres)	0.1343	0.1343
Rv(impervious)	0.9500	0.9500
% Impervious	53%	53%
Total Site Area (acres)	0.2527	0.2527
Site Rv	0.6219	0.6219

Treatment Volume and Nutrient Load

Pre-ReDevelopment Treatment Volume (acre-ft)	0.0131	0.0131
Pre-ReDevelopment Treatment Volume (cubic feet)	570.6073	570.6073
Pre-ReDevelopment TP Load (lb/yr)	0.3585	0.3585
Pre-ReDevelopment TP Load per acre (lb/acre/yr)	1.4200	1.4200
Baseline TP Load (lb/yr) (0.41 lbs/acre/yr applied to pre-redevelopment area excluding pervious land proposed for new impervious cover)		0.1036

¹ Adjusted Land Cover Summary:

Pre ReDevelopment land cover minus pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover.

Adjusted total acreage is consistent with Post-ReDevelopment acreage (minus acreage of new impervious cover).

Column 1 shows load reduction requirement for new impervious cover (based on new development load limit, 0.41 lbs/acre/year).

LAND COVER SUMMARY -- POST DEVELOPMENT

Land Cover Summary-Post (Final)			
Post ReDev. & New Impervious		Land Cover Summary-Post	
Forest/Open Space Cover (acres)		0.0000	
Weighted Rv(forest)		0.0000	
% Forest		0%	
Managed Turf Cover (acres)		0.1591	
Weighted Rv (turf)		0.2500	
% Managed Turf		63%	
Impervious Cover (acres)		0.0937	
Rv(impervious)		0.9500	
% Impervious		37%	
Final Site Area (acres)		0.2527	
Final Post Dev Site Rv		0.5095	

Treatment Volume and Nutrient Load

Final Post-Development Treatment Volume (acre-ft)	0.0107	Post-ReDevelopment Treatment Volume (acre-ft)	0.0107	Post-Development Treatment Volume (acre-ft)	--
Final Post-Development Treatment Volume (cubic feet)	467.4331	Post-ReDevelopment Treatment Volume (cubic feet)	467.4331	Post-Development Treatment Volume (cubic feet)	--
Final Post-Development TP Load (lb/yr)	0.2937	Post-ReDevelopment Load (TP) (lb/yr)*	0.2937	Post-Development TP Load (lb/yr)	--
Final Post-Development TP Load per acre (lb/acre/yr)	1.1600	Post-ReDevelopment TP Load per acre (lb/acre/yr)	1.1600		
		Max. Reduction Required (Below Pre-ReDevelopment Load)	10%		
		TP Load Reduction Required for Redeveloped Area (lb/yr)	-0.0290	TP Load Reduction Required for New Impervious Area (lb/yr)	0

Post-Development Requirement for Site Area

TP Load Reduction Required (lb/yr) **-0.0290** ** **TP LOAD REDUCTION NOT REQUIRED**

Nitrogen Loads (Informational Purposes Only)

Pre-ReDevelopment TN Load (lb/yr)	2.5647	Final Post-Development TN Load (Post-ReDevelopment & New Impervious) (lb/yr)	2.1010
-----------------------------------	--------	--	--------

A WATER QUALITY REQUIREMENT COMPUTATIONS

WATER QUALITY NARRATIVE

THE SITE IS DEFINED BY THE TOTAL APPLICABLE AREA WITHIN THE LIMITS OF DISTURBANCE (LOD) OF 0.253 ACRES.

THE IMPERVIOUS AREA FOR THE EXISTING CONDITION IS 0.13 ACRES (53.1%) AND THE IMPERVIOUS AREA FOR THE PROPOSED CONDITION IS 0.09 ACRES (36.8%). THE COUNTY AND STATE WATER QUALITY REQUIREMENTS ARE MET BY THE REDUCTION IN IMPERVIOUS AREA. SEE THE VRRM SPREADSHEET RESULTS ON THIS PAGE.

WATER QUANTITY NARRATIVE

DUE TO THE OVERALL REDUCTION OF IMPERVIOUS AREA WITHIN THE LOD, WATER QUANTITY COMPLIANCE IS ACHIEVED BY A REDUCTION IN SHEET FLOW VOLUME. THE SITE GENERALLY DRAINS OVERLAND TO THE SOUTHEAST AND DOES NOT CONCENTRATE UNTIL OUTSIDE OF THE PROJECT LOD.



DEPARTMENT OF PARKS AND RECREATION

Planning and Design Unit
 2100 Clarendon Boulevard, Suite 414
 Arlington, VA 22201
 Phone: 703.228.7598
 Fax: 703.228.3328

Project Name and Location

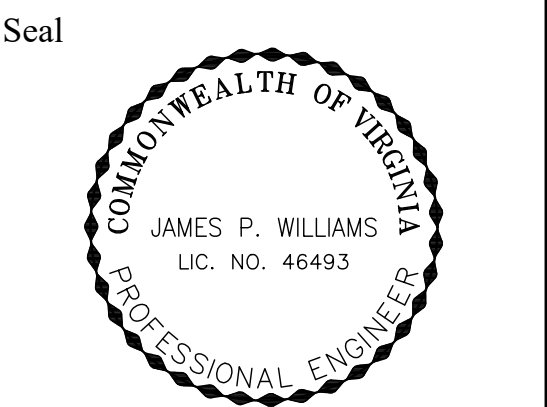
Gunston Park Enclosed Athletic Facility Improvements

BY RIGHT (COUNTY PROJECT)
 1401 28th St S, Arlington, VA 22206

Sheet Title
WATER QUANTITY COMPUTATIONS



4501 Daly Drive
 Chantilly, VA 20151
 Phone: 703-263-1900
 www.gordon.us.com



Approvals Date

DEPARTMENT DIRECTOR

PLANNING AND DESIGN DIVISION CHIEF

DESIGN TEAM SUPERVISOR

PARK SERVICE AREA MANAGER

URBAN FORESTRY

Revisions Date

21-DPR-ITB-356
 SWM # 20-0147

Designed: J.P.Williams
 Drawn: J.T.Williams
 Checked: J.P.Williams

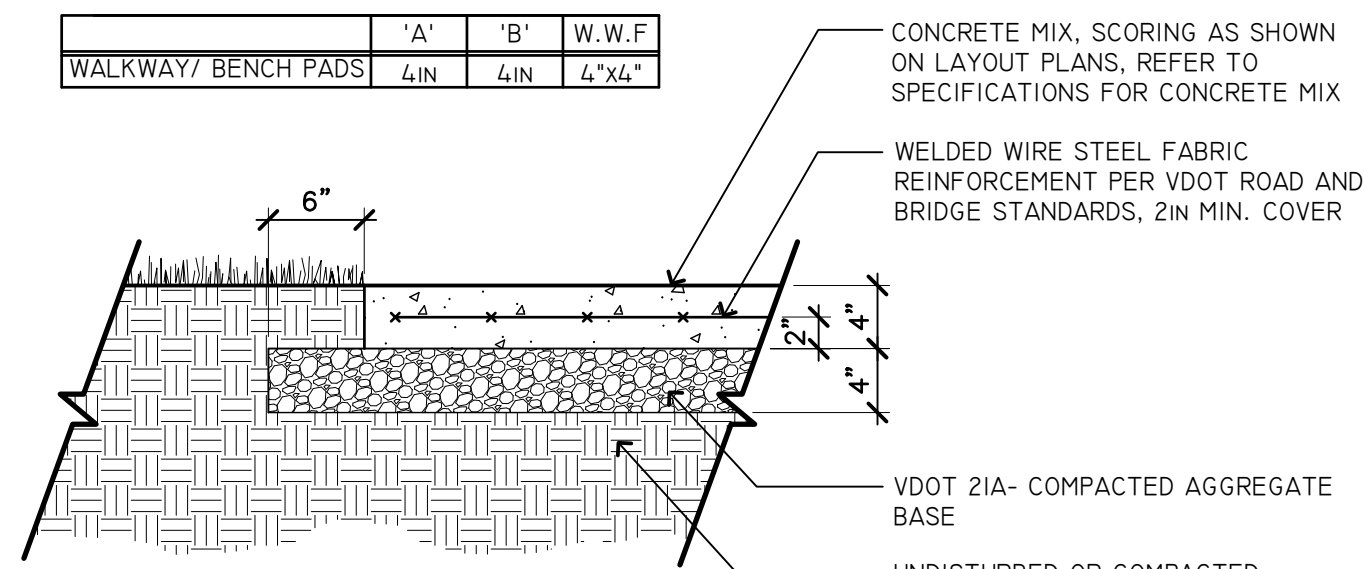
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 Date: May 20, 2020

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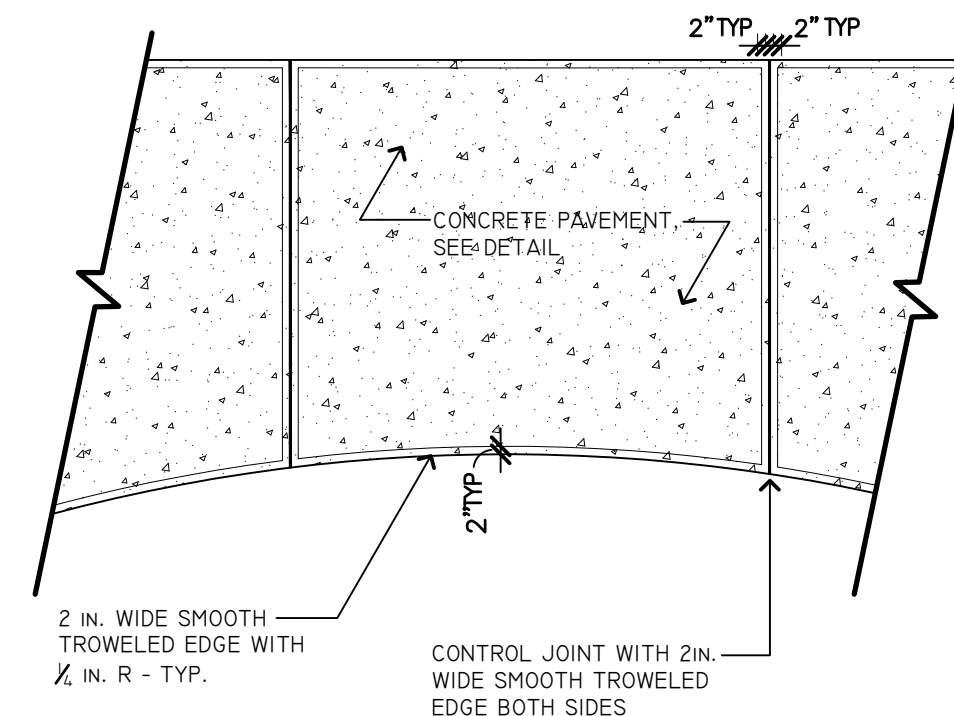
WALKWAY/ BENCH PADS	'A'	'B'	W.W.F
	4IN	4IN	4"x4"



- NOTES:**
1. PROVIDE HAND TOOLED CONTROL JOINTS AS SHOWN ON THE LAYOUT AND ENLARGEMENT PLANS. CONTROL (SCORE) JOINTS SHALL BE CUT 1/3 DEPTH OF TOTAL CONCRETE THICKNESS.
 2. REFER TO CONSTRUCTION DETAILS FOR LOCATIONS OF EXPANSION JOINTS. REFER TO SPECS FOR MATERIAL AND TYPE.
 3. FINISH IN ACCORDANCE WITH VDOT 404.07, SIDEWALK FINISH
 4. ALL EXPANSION JOINTS TO BE DOWELED TO PREVENT FUTURE DIFFERENTIAL SETTLEMENT.

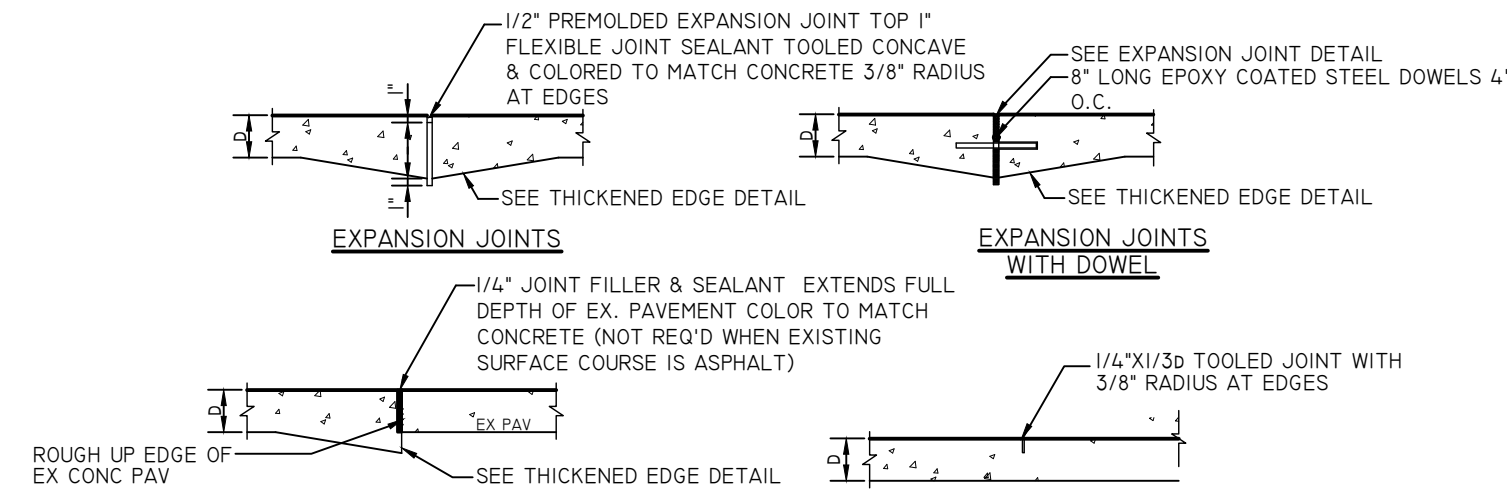
A CONCRETE PAVEMENT

SCALE: 1" = 1'-0"

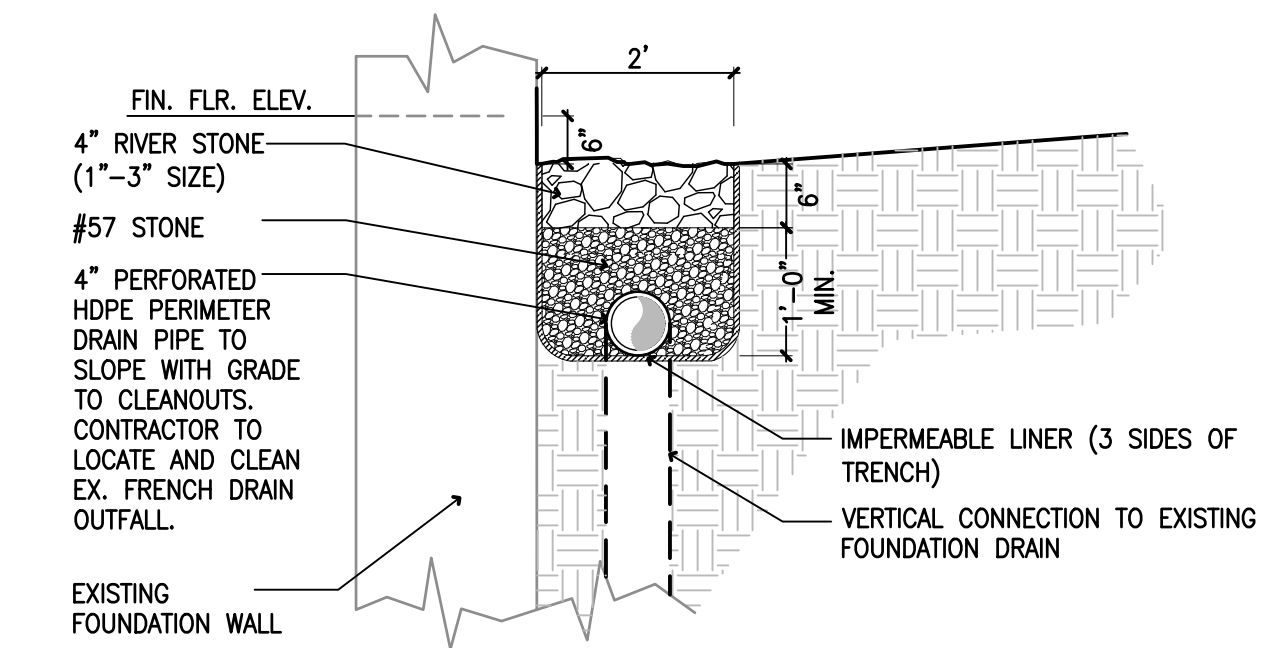


B CONCRETE PAVING JOINT DETAILS

SCALE: N.T.S.



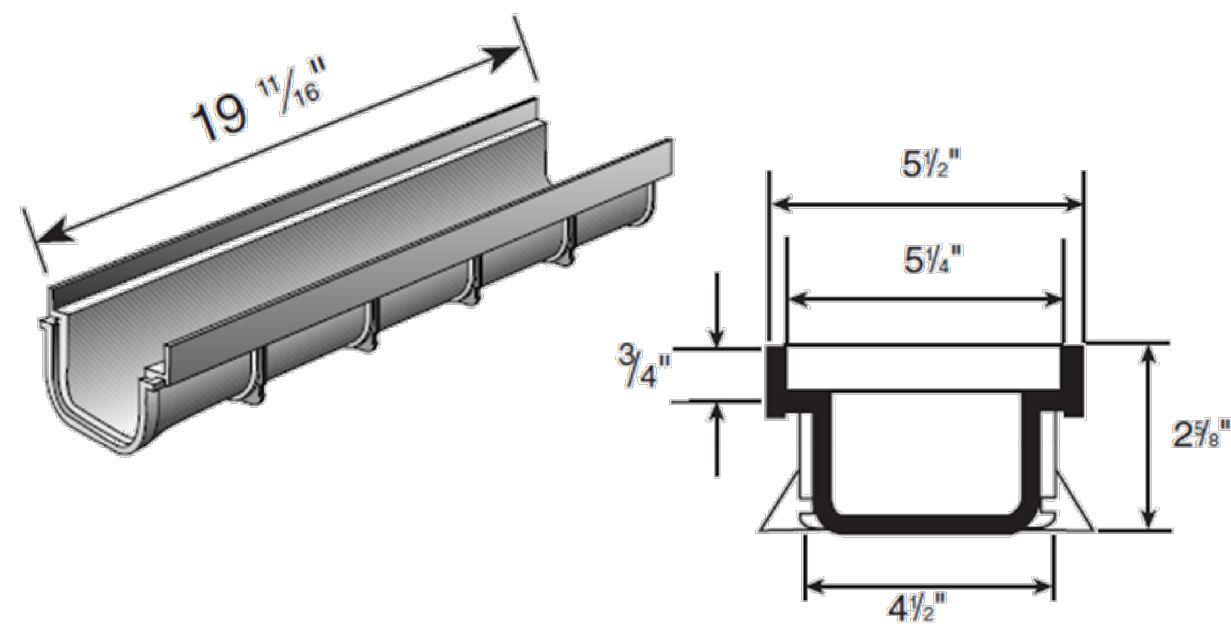
- NOTES:**
1. TRANSVERSE JOINT SPACE SHALL NOT EXCEED SPACING INDICATED IN PLANS. THE AREA OF THE PAVEMENT PANEL SHALL NOT EXCEED 225 SQUARE FEET.
 2. JOINT OFFSETS AT RADIUS POINTS SHOULD BE AT LEAST 1'-6" LONG.
 3. JOINT INTERSECTION ANGLES OF LESS THAN 60 DEGREES SHALL NOT BE USED.
 4. WHEN A JOINT IS CLOSER THAN 1'-0" TO A CASTING, THEN A MINOR ADJUSTMENT IN THE JOINT LOCATION SHOULD BE MADE BY SKEWING OR SHIFTING THE JOINT ALIGNMENT TO MEET THE CASTING AT 90° OR NORMAL TO THE CASTING.



D FRENCH DRAIN

N. T. S.

5" x 20" Shallow Profile Channel

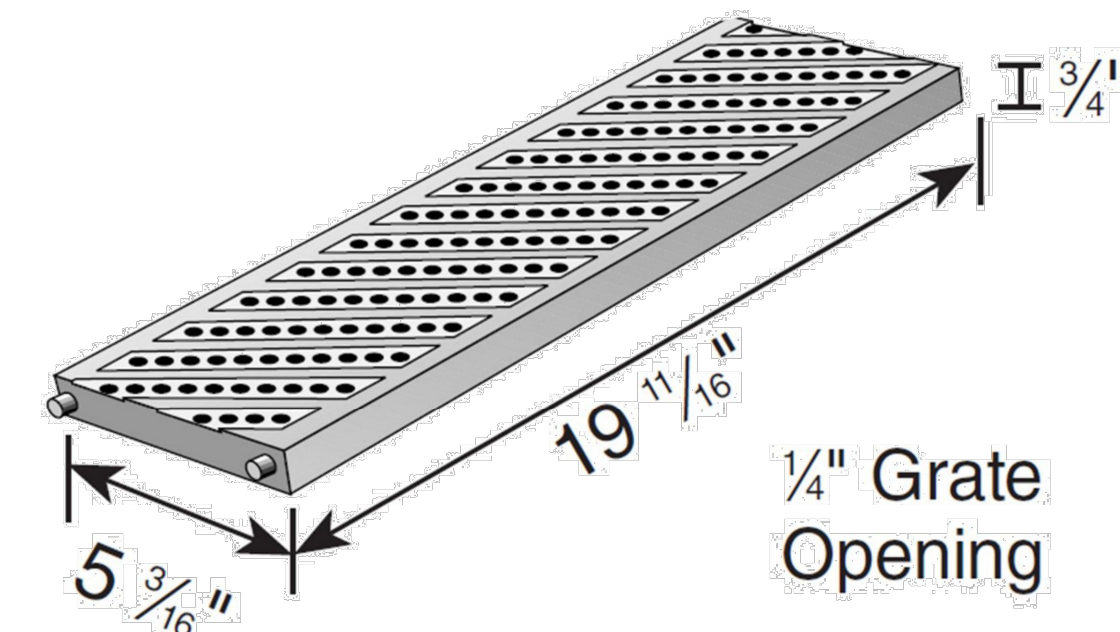


Part #: 820
 Material: Protected High Impact PVC
 Color: Light Gray
 Mechanical Interlocking Joints
 Use with 5" Pro Series Grates (2 grates per channel), Cap/Outlet (#821).
 Fits: 1-1/2" Sch. 40 Pipe (Spigot) with Part# 821 outlet.
 Weight Per Each: 1.35 lbs. per each.
 UV inhibitor

5" x 20" Shallow Profile Channel Accessories

Part No.	Description	Color	Qty.	(lbs.)	Class	Specifications
821	5" Shallow Profile End Cap/ 1-1/2" SCH 40 SPT Knock Out End Outlet	Light Gray	10	0.15	25IN	NDS #821, 5" Wide Shallow Profile high impact PVC End Cap/End Outlet.
822	5" Shallow Profile 3" S&D SPT Bottom Outlet/ 1-1/2" SCH 40 SPT Side Outlet	Light Gray	10	0.60	25IN	NDS #822, 5" Wide Shallow Profile high impact PVC Bottom/Side Outlet.

5 Inch Pro Series Grates



Load Recommendation Guide

Class A

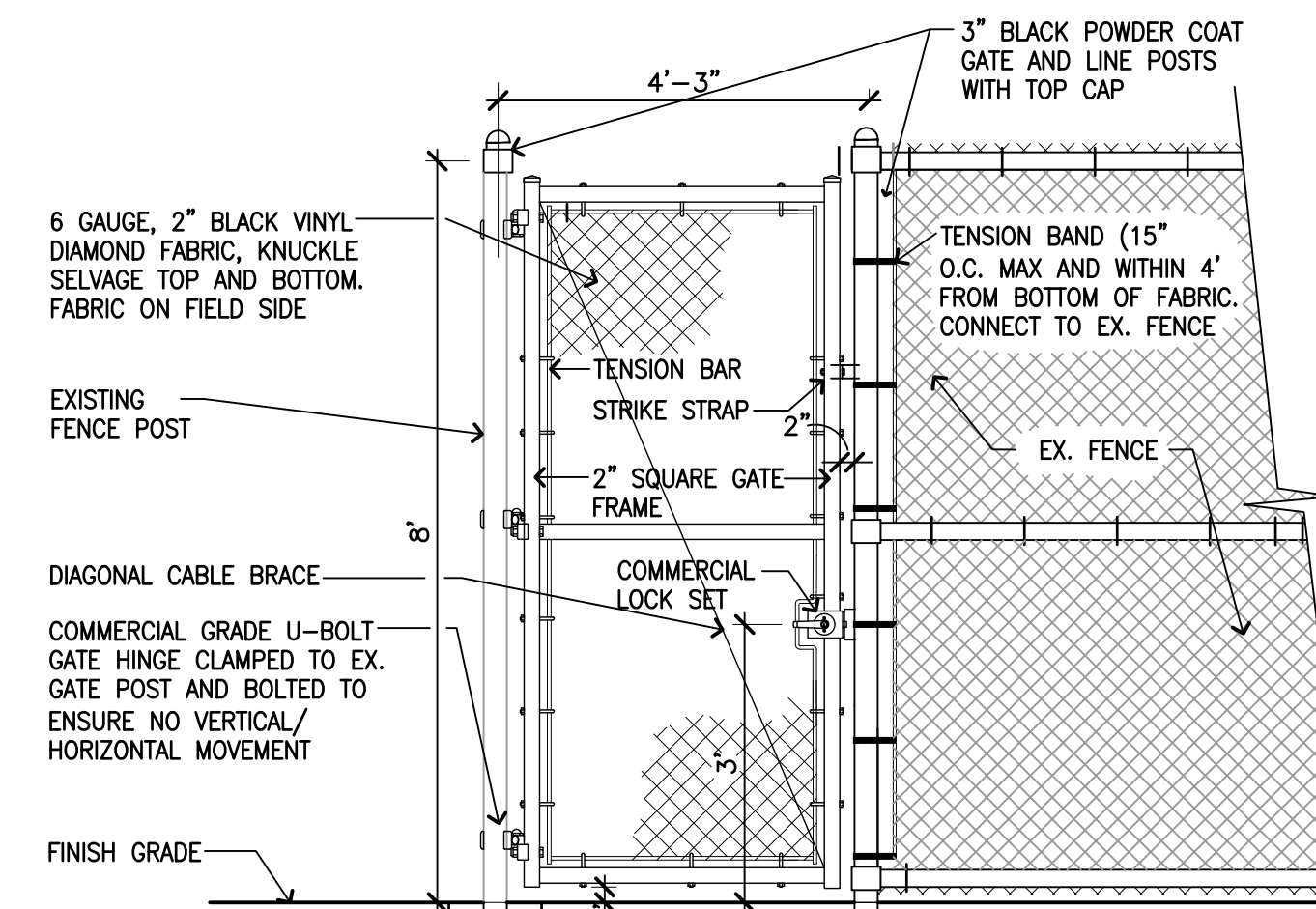
- Loads of 140 psi.
- Recommended for pedestrians, bicycles and wheelchair traffic.

ADA Compliant

Part #: 826
 Material: High Density Polyethylene
 Color: Light Gray
 Fits: 5" Pro Series Channel, Part# 820 (takes 1 grate) and Part# 800 (takes 2 grates)
 Grate Opening: 1/4"
 Open Surface Area: 4.86 Sq. Inch per Ft.
 Head Pressure / Flow Rate:
 Head (inches) - Max Flow
 1" = 21.03 GPM
 0.5" = 14.87 GPM
 Weight per each: 1.0 lbs.
 Screw: #829 Stainless Steel Screw, 4 per grate.
 UV Inhibitors

E FENCE GATE

SCALE: 1/2"=1'-0"



- NOTES:**
- GATE OPENINGS TO BE 4" WIDE (CLEAR)
 - ALL GATE HARDWARE AND FITTINGS REQUIRED TO CONSTRUCT FENCE TO BE BLACK POWDER COATED.
 - ALL FABRIC TIES ATTACHED TO FABRIC SHALL WRAP A MINIMUM OF 1 FULL TURN.

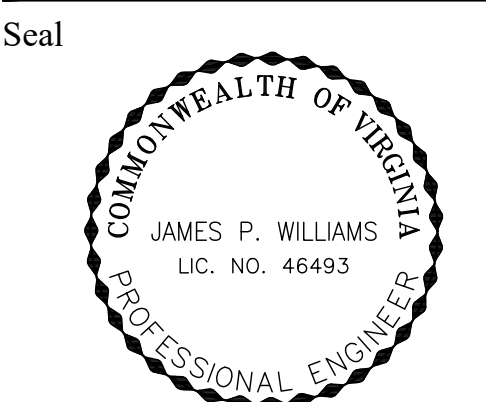
C TRENCH DRAIN

N. T. S.

Project Name and Location
**Gunston Park
 Enclosed Athletic
 Facility
 Improvements**

BY RIGHT (COUNTY PROJECT)
 1401 28th St S, Arlington, VA
 22206

Sheet Title
SITE DETAILS I



Approvals Date

DEPARTMENT DIRECTOR _____
 PLANNING AND DESIGN DIVISION CHIEF _____
 DESIGN TEAM SUPERVISOR _____
 PARK SERVICE AREA MANAGER _____
 URBAN FORESTRY _____

Revisions Date

21-DPR-ITB-356
 SWM # 20-0147

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 Drawn: J.T.Williams
 Checked: J.P.Williams

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Plotted: Apr 30, 2021

Scale: AS NOTED
 Date: May 20, 2020

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