

Plans For:

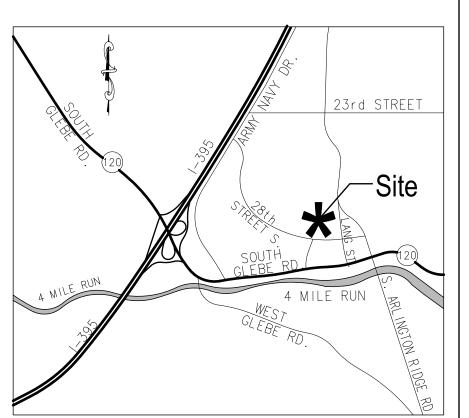
Gunston Park

Enclosed Athletics Facility Improvements

1401 28th Street South, Arlington, VA 22206

Table of Contents:

Sheet	Sheet Name
01	Cover Sheet
02	Existing Conditions Plan
03	Demolition Plan
04	Erosion and Sediment Control Notes
05	Erosion and Sediment Control -
	Phase 1 and 2
06	Erosion and Sediment Control Details
07	Site Layout Plan
80	Pre and Post Developmen Land
	Cover Map
09	Water Quantity Computations
10	Site Details I



DEPARTMENT OF PARKS AND RECREATION

Park Development Division

THE CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE CONDITIONS OF THE SITE

THE CONTRACTOR SHALL SUBMIT A REQUIRED "RESPONSIBLE LAND DISTURBER"

THE CONTRACTOR IS RESPONSIBLE FOR LICENSING AS REQUIRED BY APPLICABLE

THE CONTRACTOR IS RESPONSIBLE FOR ALL SALES, USE AND CAPITAL GAINS TAXES

THE CONTRACTOR SHALL IDENTIFY ALL STAGING AREAS AND LIMITS OF WORK FOR

SHALL OCCUR WITHIN TIMES SPECIFIED BY LOCAL ORDINANCES.

FOR PROVIDING THE PLAN TO DES FOR THEIR REVIEW AND APPROVAL

11. THE CONTRACTOR SHALL BE ON SITE AT TIME OF ALL MATERIALS DELIVERIES.

LIMITS OF WORK SHALL NOT BE USED FOR STORAGE OR MOVEMENT OF MATERIALS,

APPROVAL BY THE PROJECT OFFICER PRIOR TO THE START OF WORK. AREAS OUTSIDE

THE CONTRACTOR SHALL OBTAIN THE PROJECT OFFICER'S APPROVAL FOR TIMES OF DAY DURING WHICH CONSTRUCTION OPERATIONS MAY OCCUR. ALL CONSTRUCTION OPERATIONS

THEREFORE, A MAINTENANCE OF TRAFFIC (MOT) PLAN IS NOT EXPECTED TO BE REQUIRED.

DETERMINES THAT AN MOT PLAN IS REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE

THE CONTRACTOR SHALL KEEP THE SITE CLEAN AND FREE OF TRASH AT ALL TIMES DURING

CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE A TRASH RECEPTACLE TO BE USED ON

SITE DURING CONSTRUCTION AND SHALL REMOVE TRASH FROM THE SITE ON A DAILY BASIS.

13. THE CONTRACTOR SHALL KEEP VEHICULAR ACCESS AREAS CLEAN DURING CONSTRUCTION.

CONSTRUCTION ACTIVITIES FOR THIS PROJECT OCCUR ENTIRELY ON PARK PROPERTY.

HOWEVER, IF THE ARLINGTON DEPARTMENT OF ENVIRONMENTAL SERVICES (DES)

LOCATE AND PRESERVE EXISTING UTILITIES.

BY THE PROJECT OFFICER.

MACHINERY OR DEBRIS.

UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE LOCATIONS DETERMINED FROM VISIBLE EVIDENCE AND AVAILABLE RECORDS. ADDITIONAL UNDERGROUND UTILITY LINES

CONTRACTOR SHALL NOT SUBSTITUTE PRODUCTS OR MATERIALS WITHOUT PRIOR APPROVAL

MAY BE PRESENT THAT ARE NOT SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO

CERTIFICATION LETTER AS PART OF OBTAINING A BUILDING (OR DISTURBANCE) PERMIT

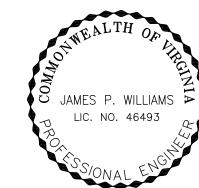
GENERAL NOTES

2100 Clarendon Boulevard, Suite 414, Arlington, VA 22201 Phone: 703.228.7598 Fax: 703.228.3328 www.arlingtonva.us

LANDSCAPE ARCHITECT/ CIVIL ENGINEER



4501 Daly Drive Chantilly, VA 20151 Phone: 703-263-1900 www.gordon.us.com

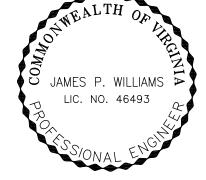


ARLINGTON COUNTY

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT ARLINGTON COUNTY DES
- COUNTY DES STANDARDS AND SPECIFICATIONS, ANY EXISTING ENTRANCES, CURB AND
- ARLINGTON COUNTY STANDARDS, ANY EXISTING ENTRANCES NOT BEING USED IN
- THIS AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY TRAFFIC CONTROLS THAT ARE DISTURBED DURING CONSTRUCTION. NOTIFY THE TRANSPORTATION ENGINEERING & OPERATIONS BUREAU AT (703) 228-3575, 24 HOURS PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL OBTAIN PERMITS FROM THE INSPECTION SERVICES DIVISION PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION OF ON-SITE FACILITIES. FOR INFORMATION AND PERMIT REQUIREMENTS TELEPHONE (703) 228-3800.

- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 811, 72 HOURS PRIOR TO THE START OF ANY EXCAVATION OR CONSTRUCTION, FOR THE MARKING OF UNDERGROUND UTILITIES IN THE RIGHT-OF-WAY.
- UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE LOCATIONS DETERMINED FROM VISIBLE EVIDENCE AND AVAILABLE RECORDS. ADDITIONAL UNDERGROUND UTILITY LINES MAY BE PRESENT THAT ARE NOT SHOWN. THE CONTRACTOR SHALL

LOCATE AND PRESERVE ALL EXISTING UTILITIES.



DEPARTMENT OF ENVIRONMENTAL SERVICES

- **G** Gordon 4501 Daly Drive Chantilly, VA 20151 Phone: 703-263-1900 www.gordon.us.com

- THE CONTRACTOR SHALL NOT DISTURB OR REMOVE ANY TRAFFIC CONTROL SIGNS, PARKING METERS OR ANY OTHER TRAFFIC CONTROL DEVICE WITHOUT PRIOR PERMISSION FROM THE TRANSPORTATION ENGINEERING & OPERATIONS BUREAU. CONTACT TRANSPORTATION ENGINEERING AT (703) 228-3575.
- THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE TRANSPORTATION ENGINEERING & OPERATIONS BUREAU, PRIOR TO PLACING ANY OBSTRUCTION WITHIN THE PUBLIC RIGHT OF WAY, OR ON SIDEWALKS ALONG THE FRONTAGE OF THIS DEVELOPMENT.

UTILITY MARKING REQUIREMENTS:



VICINITY MAP - 1"=2000"

/EHICULAR AND OTHER PAVED AREAS SHALL BE WASHED FREE OF MUD ON A WEEKLY BASIS 14. THE CONTRACTOR SHALL SECURE THE CONSTRUCTION AREA WITH FENCING AT END OF WORKDAY AND WHEN CONTRACTOR IS NOT ON SITE. THE CONTRACTOR SHALL DISTRIBUTE ALL PROJECT MATERIALS AND EQUIPMENT AND DISTRIBUTE ANY STOCKPILES IN SUCH A MANNER AS TO PROTECT EXISTING CONDITIONS, SUCH AS UTILITIES, PAVING, VEGETATION, ETC. THE CONTRACTOR SHALL NOT STOCKPILE SOIL OR CONSTRUCTION MATERIALS, OR DRIVE VEHICLES WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES TO REMAIN. THE CONTRACTOR SHALL OBTAIN THE PROJECT OFFICER'S APPROVAL FOR ALL CONSTRUCTION ACCESS AREAS, STAGING AND STOCKPILE AREAS PRIOR 16. THE CONTRACTOR SHALL NOT BLOCK STREETS, PARKING AREAS, HOUSE OR DRIVEWAY ENTRANCES DURING CONSTRUCTION WITHOUT THE PROJECT OFFICER'S PERMISSION AND APPROVAL OF ANY RIGHT-OF-WAY PERMITS IF REQUIRED. THE CONTRACTOR SHALL STAKE THE ALIGNMENT OF ALL PAVEMENT, WALLS, CURBING, SAFETY SURFACING AND SITE FEATURES IN THE FIELD FOR APPROVAL BY THE PROJECT OFFICER PRIOR TO CONSTRUCTION. 18. THE CONTRACTOR SHALL PROMPTLY REPAIR ALL DAMAGE TO EXISTING PAVEMENT,

> REPAIRS SHALL BE AT CONTRACTOR'S EXPENSE. 19. CONTRACTOR SHALL REMOVE ALL EXCESS SOIL, TEMPORARY FENCING, EROSION CONTROL MEASURES, STABILIZATION MATERIALS, AND OTHER DEBRIS AND SHALL DISPOSE LEGALLY UPON COMPLETION OF THE PROJECT. CONTRACTOR SHALL THOROUGHLY WASH AND CLEAN ALL PAVED AREAS. WALLS, SITE FURNISHINGS AND FEATURES, ETC. UPON COMPLETION OF

DRIVEWAYS, AND ADJACENT FACILITIES CAUSED BY CONSTRUCTION OPERATIONS. COST OF

20. REFER TO INDIVIDUAL DRAWINGS FOR ADDITIONAL NOTES.

COUNTY HAS FINALLY ACCEPTED THE PROPOSED WATER AND/OR SEWER MAIN. ALSO, ALL SURFACES OVER THE UTILITY EXCAVATIONS SHALL EITHER BE RESTORED TO THE ORIGINAL CONDITION OR FINISHED AS PER THE PROPOSED DESIGN BEFORE THE ACCEPTANCE OF THE PROJECT. PAVEMENT PATCHING FOR UTILITY CUTS IN THE PUBLIC STREETS SHALL BE PERFORMED IN ACCORDANCE WITH ARLINGTON COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES CONSTRUCTION STANDARDS AND SPECIFICATIONS OR AS PER VDOT ROAD AND BRIDGE STANDARDS AND SPECIFICATIONS DEPENDING UPON THE STREET JURISDICTION. PRIOR TO FINAL PAVING, THE CONTRACTOR SHALL ADJUST ALL EXISTING VALVE BOXES AND SANITARY SEWER MANHOLE FRAME AND COVERS AS PER COUNTY STANDARDS, REMOVE ALL ABANDONED SANITARY MANHOLES AND VALVE BOXES OVER THE ABANDONED WATER MAINS, AND COMPLETE ALL NECESSARY WATER MAIN "CUT AND CAPS".

SERVICES. UPON PHYSICAL INSPECTION, THE COUNTY RESERVES THE RIGHT TO REJECT THE

CONTRACTOR SHALL BE REGISTERED IN THE COMMONWEALTH OF VIRGINIA. SATISFACTORY

A RIGHT OF WAY PERMIT IS REQUIRED TO WORK IN ARLINGTON COUNTY STREETS. IN

INSTANCES OF EXCAVATIONS IN STATE RIGHT OF WAY. THE DATE AND NUMBER OF ALL PERMITS

IF ANY OTHER EASEMENT IS NEEDED, TWO (2) COPIES OF THE DESCRIPTION OF SUCH

WRITTEN NOTICE OF TENTATIVE STARTING DATE OF CONSTRUCTION, WHICH SHALL BE A

EASEMENT, AS ACTUALLY RECORDED, SHALL BE FURNISHED, INCLUDING THE PLACE, DATE AND

MINIMUM OF ONE (1) WEEK FOLLOWING THE DATE OF NOTICE. IN ADDITION. THE CONTRACTOR

SHALL FURNISH THE NAMES AND TELEPHONE NUMBERS OF TWO (2) RESPONSIBLE PERSONS

ACTUAL CONSTRUCTION SHALL NOT BEGIN UNTIL THE ABOVE ITEMS HAVE BEEN COMPLETED

AND THE ARLINGTON COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES APPROVED THE STARTING DATE AND ARRANGEMENTS HAVE BEEN MADE FOR THE REQUIRED INSPECTION

3. ALL CONSTRUCTION SHALL BE ACCOMPLISHED FROM APPROVED PLANS, SPECIFICATIONS AND

CUT SHEETS SUBMITTED BY A REGISTERED ENGINEER AND APPROVED BY THE COUNTY. TO

PRIOR TO MOBILIZATION AND CONSTRUCTION PLANS SHALL BE REVISED ACCORDINGLY.

IN THE PRESENCE OF THE COUNTY'S REPRESENTATIVE. WATER AND SEWER SERVICE

6. EXISTING WATER SERVICES MAY BE ALLOWED FOR CONSTRUCTION PURPOSES ONLY FOR

WHICH CONTRACTOR SHALL REQUEST TO THE ARLINGTON COUNTY'S UTILITY SERVICES BY

SHALL REQUEST TO THE UTILITY SERVICES IN WRITING FOR THE DISCONTINUATION OF ALL

EXISTING WATER SERVICES. ALSO, THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL

7. THE CONTRACTOR SHALL MAINTAIN BACKFILL FOR UTILITY EXCAVATIONS UNTIL ARLINGTON

CALLING 703-228-3636. PRIOR TO THE FINAL ACCEPTANCE OF THE PROJECT, THE DEVELOPER

CONNECTIONS SHALL NOT BE MADE UNTIL THE WATER AND/OR SEWER MAINS AND

EXISTING METER BOXES RELATED TO THE SERVICES BEING DISCONTINUED.

4. NO EXISTING WATER MAINS, FIRE HYDRANTS, OR SANITARY SEWERS MAY BE TAKEN OUT OF

AVOID CONSTRUCTION DELAYS, ALL NECESSARY TEST HOLE INFORMATION SHALL BE OBTAINED

SERVICE OR MADE INACCESSIBLE BY THE CONTRACTOR WITHOUT THE PRIOR APPROVAL FROM

5. UPON COMPLETION OF CONSTRUCTION, ALL FINAL TESTS, AS REQUIRED. SHALL BE PERFORMED

APPURTENANCES HAVE BEEN APPROVED AND ACCEPTED BY ARLINGTON COUNTY DEPARTMENT

REQUIRED BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) SHALL BE FURNISHED.

. BEFORE START OF CONSTRUCTION. THE CONTRACTOR SHALL FURNISH THE FOLLOWING INFORMATION AND/OR EVIDENCE OF COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND

EVIDENCE SHALL BE FURNISHED OF THE CONTRACTOR'S PRIOR EXPERIENCE AS PRIME

INSTALLATIONS. FURTHER, THE CONTRACTOR SHALL FURNISH A LETTER WITH A LIST OF

CONTRACTOR IN THE CONSTRUCTION OF WATER MAINS AND/OR SANITARY SEWER

MATERIALS AND SUPPLIERS FOR PROPOSED PROJECT.

WHO CAN BE CONTACTED IN CASE OF EMERGENCY.

THE DEPARTMENT OF ENVIRONMENTAL SERVICES.

OF ENVIRONMENTAL SERVICES.

REFERENCE OF SUCH RECORDATION.

ARLINGTON COUNTY

8. UPON COMPLETION, APPROVAL, AND ACCEPTANCE OF WATER AND/OR SEWER MAINS AND APPURTENANCES, THE DEVELOPER'S REGISTERED ENGINEER SHALL SUBMIT TO ARLINGTON COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES. A SET OF MYLAR TRACINGS INDICATING THE AS-BUILT CONDITIONS AND A SIGNED STATEMENT CONFIRMING THAT THE WORK, AS INDICATED, IS ACCEPTABLE TO THE ENGINEER. SUCH SUBMITTALS SHALL BE MADE BEFORE REQUESTING REDUCTION AND/OR RELEASE OF THE SURETY BOND.

21-DPR-ITB-356 SWM # 20-0147

Mir

ARLINGTON

DEPARTMENT OF PARKS

AND RECREATION

Planning and Design Unit

Phone: 703.228.7598 Fax: 703.228.3328

Project Name and Location

Enclosed Athletic

BY RIGHT (COUNTY PROJECT)

1401 28th St S, Arlington, VA

Gunston Park

Improvements

COVER SHEET

Facility

Sheet Title

Approvals

DEPARTMENT DIRECTOR

DESIGN TEAM SUPERVISOR

URBAN FORESTRY

Revisions

PARK SERVICE AREA MANAGER

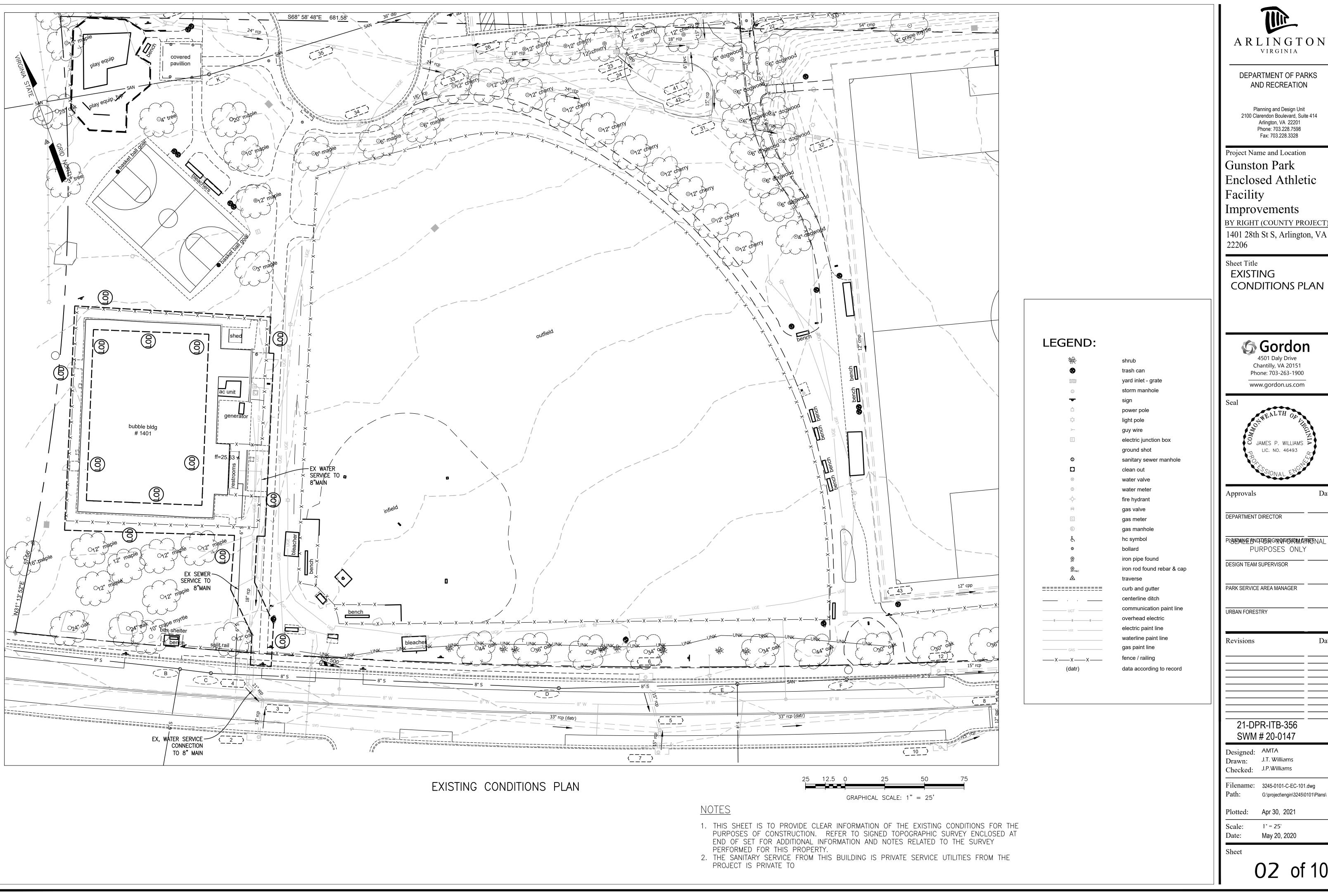
PLANNING AND DESIGN DIVISION CHIEF

Designed: N/A Drawn: N/A Checked: J.P Williams

Filename: 3245-0101-C-GI-001.dwg G:\project\engin\3245\0101\Plans\

Plotted: Apr 30, 2021

May 20, 2020





DEPARTMENT OF PARKS AND RECREATION

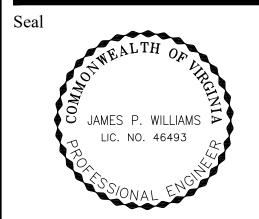
Planning and Design Unit 2100 Clarendon Boulevard, Suite 414 Arlington, VA 22201 Phone: 703.228.7598 Fax: 703.228.3328

Project Name and Location Gunston Park Enclosed Athletic Improvements BY RIGHT (COUNTY PROJECT)

EXISTING CONDITIONS PLAN

₲ Gordon

4501 Daly Drive Chantilly, VA 20151 Phone: 703-263-1900 www.gordon.us.com



DEPARTMENT DIRECTOR

PLSENINE ENDEDGERGNING FORM AFFIRE NAL PURPOSES ONLY

DESIGN TEAM SUPERVISOR

URBAN FORESTRY

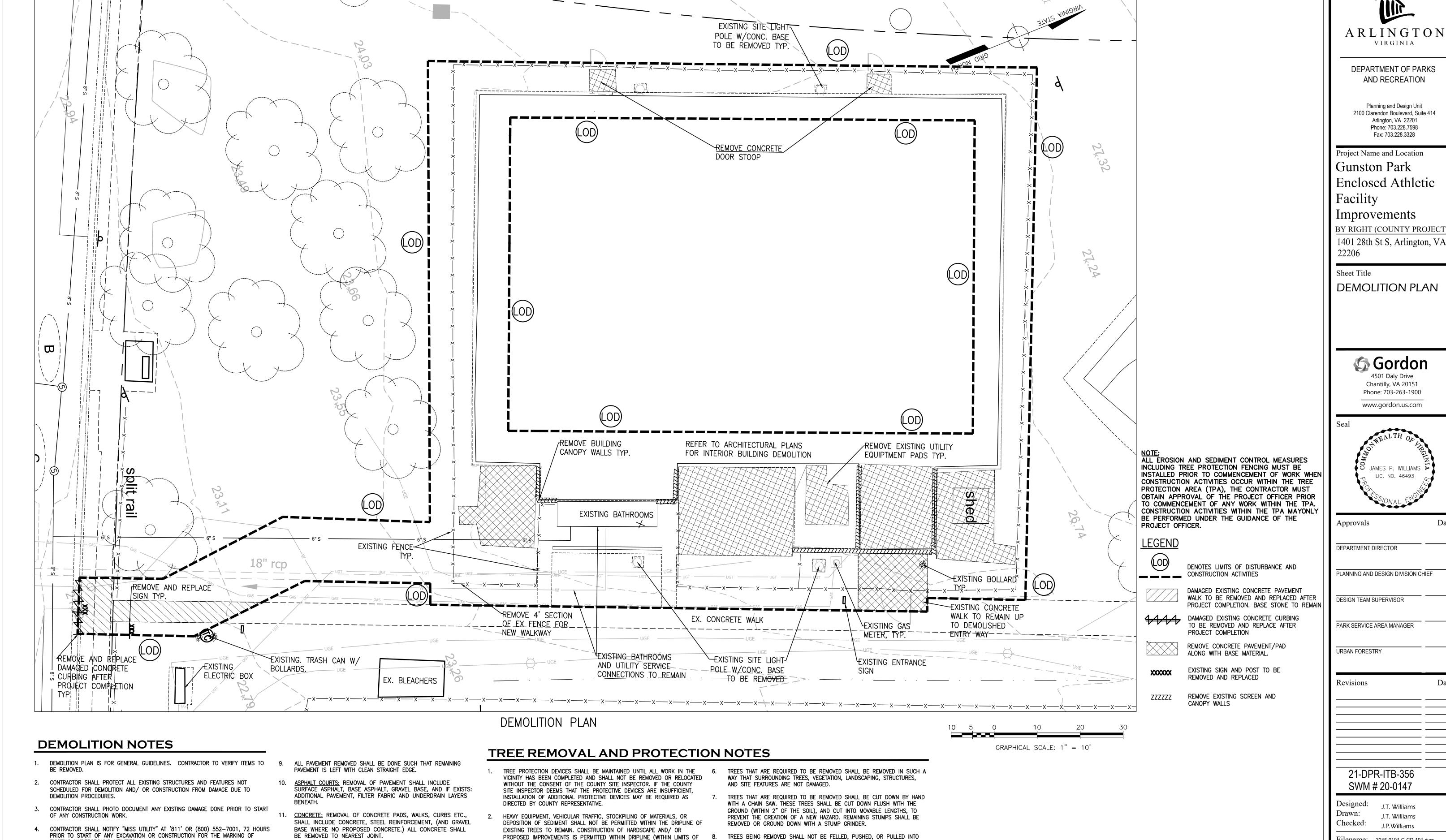
21-DPR-ITB-356 SWM # 20-0147

Designed: AMTA Drawn: J.T. Williams

Filename: 3245-0101-C-EC-101.dwg

G:\project\engin\3245\0101\Plans\

Plotted: Apr 30, 2021 1" = 25'



WORK) WITH LIGHT DUTY EQUIPMENT.

ARLINGTON COUNTY ARBORIST.

BE NAILED OR AFFIXED TO TREES TO BE PRESERVED.

CAREFULLY AS PER PROJECT OFFICER'S APPROVAL.

NO PROTECTIVE DEVICES, SIGNS, UTILITY BOXES OR OTHER OBJECTS SHALL

DEMOLITION. CONSTRUCTION AND/OR CLEARING, AND POSES A HAZARD TO

OFFICER AND TAKE SUCH ACTION AS NECESSARY TO ELIMINATE THE HAZARD

ANY DAMAGE INFLICTED TO THE ABOVE OR BELOW-GROUND PORTIONS OF

THE TREES SHOWN TO BE PRESERVED SHALL BE REPAIRED IMMEDIATELY. ALL DAMAGED BRANCHES IN THE CROWN SHALL BE CUT OFF CLEANLY PER

4. IN THE EVENT THAT A TREE OR PORTION THEREOF IS DEAD OR DYING DUE

EITHER LIFE OR PROPERTY, THE CONTRACTOR SHALL NOTIFY PROJECT

TO CONSTRUCTION OR ENVIRONMENTAL CHANGES RESULTING FROM

12. REMOVE AND STOCKPILE OF ALL TOPSOIL AND SOD WITHIN L.O.W.

IN LOCATION OF PROPOSED HARDSCAPE FOR LATER USE.

DISPOSE OF ANY MATERIAL NOT USED AS PART OF THESE

MOBILIZING OR PERFORMING ANY WORK. LOCATIONS OF PICTURES TO

13. MODIFY EXISTING STORM STRUCTURES PER GRADING PLAN.

MODIFICATIONS.

BE RECORDED ON THIS SHEET.

15. MILL ASPHALT TO A DEPTH OF 2".

7. ALL PAVEMENT DAMAGED/ CRACKED DUE TO THE CONSTRUCTION, SHALL BE REMOVED 14. CONTRACTOR SHALL PROVIDE EXISTING DAMAGE PHOTOS PRIOR TO

TREE PRESERVATION AREAS. EQUIPMENT OPERATORS SHALL NOT CLEAN ANY

PART OF THEIR EQUIPMENT BY SLAMMING IT AGAINST THE TRUNKS OF TREES

TO BE RETAINED.

EXISTING UNDERGROUND UTILITIES.

INSPECTED PRIOR TO DEMOLITION.

STANDARDS AND SPECIFICATIONS.

FROM THE SITE.

NEW PAVING IN ACCORDANCE WITH SPECIFICATIONS.

5. DEMOLITION STAGE EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED AND

AND REPLACED AT THE CONTRACTOR'S EXPENSE IN ACCORDANCE WITH JOB

ALL MATERIAL FROM DEMOLITION NOT IDENTIFIED FOR REUSE SHALL BE REMOVED

ASPHALT MAY BE SCARIFIED AND PULVERIZED AND USED AS SUBGRADE/ FILL FOR

DEPARTMENT OF PARKS AND RECREATION

Mir

Planning and Design Unit 2100 Clarendon Boulevard, Suite 414 Arlington, VA 22201

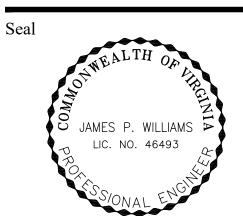
Project Name and Location Gunston Park Enclosed Athletic Improvements

BY RIGHT (COUNTY PROJECT) 1401 28th St S, Arlington, VA

DEMOLITION PLAN

₲ Gordon

4501 Daly Drive Chantilly, VA 20151 Phone: 703-263-1900 www.gordon.us.com



Date

Date

DEPARTMENT DIRECTOR

PARK SERVICE AREA MANAGER

URBAN FORESTRY

21-DPR-ITB-356 SWM # 20-0147

J.T. Williams J.T. Williams

J.P.Williams Filename: 3245-0101-C-CD-101.dwg

G:\project\engin\3245\0101\Plans\

Plotted: Apr 30, 2021

Scale: 1" = 10' May 20, 2020

Sheet

Date:

EROSION AND SEDIMENT CONTROL NARRATIVE

PROJECT DESCRIPTION

THE PURPOSE OF THIS PROJECT IS THE REDEVELOPMENT OF GUNSTON PARK TENNIS BUBBLE STRUCTURE ALONG WITH ASSOCIATED SITE DRAINAGE. THE SITE IS LOCATED AT 1412 28H STREET SOUTH IN ARLINGTON VIRGINIA AND IS ACCESSED OFF OF 28TH STREET SOUTH. A TOTAL OF 0.253 ACRES WILL BE DISTURBED (LOD) DURING THE RECONSTRUCTION DUE TO CLEARING AND GRADING.

EXISTING SITE CONDITIONS

THE EXISTING SITE HAS EXISTING PATHS AND TENNIS BUBBLE STRUCTURE THAT DRAIN SOUTH TOWARDS OPEN BASEBALLS FIELDS AND EXISTING STORM INLETS (STRUCTURES 1,4, AND 8) THAT CONVEY STORMWATER OFFSITE TO THE COUNTY STORMWATER SYSTEM. THE SITE MODERATELY SLOPES TO THE SOUTH BETWEEN 2-10% WITH SOME EXISTING SMALL TREES.

ADJACENT PROPERTY

THE PROJECT IS BOUNDED TO THE NORTH BY GUNSTON JUNIOR HIGH SCHOOL, SOUTH BY S 28TH STREET, AND WEST BY SINGLE FAMILY RESIDENTIAL HOMES. THE ENTRY INTO PARKING AREA IS FROM THE EAST ON SOUTH LANG STREET.

OFFSITE AREAS:

NO CONSTRUCTION OFFSITE IS ANTICIPATED.

CRITICAL EROSION AREAS

THERE ARE AREAS OF 3:1 SLOPES OR GREATER PROPOSED WITH THIS PROJECT. THESE AREAS ARE TO BE SEEDED, MULCHED AND TACKED WITHIN 7 DAYS AFTER START OF GRADING, OR SODDED AND PEGGED WITHIN 7 DAYS AFTER START.

THIS PROJECT AREA IS OUTSIDE THE 100-YEAR FLOODPLAIN AND IS NOT INCLUDED IN ANY RESOURCE PROTECTION AREAS PER ARLINGTON COUNTY GIS AND FEMA DATA.

EROSION AND SEDIMENT CONTROL MEASURES

UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE HANDBOOK. THE MINIMUM STANDARDS OF THE VIRGINIA EROSION & SEDIMENT CONTROL HANDBOOK (VESCH) SHALL BE ADHERED TO UNLESS OTHERWISE WAIVED OR APPROVED BY A VARIANCE.

STRUCTURAL PRACTICES

- 1. SILT FENCE BARRIER 3.05
- SILT FENCE SEDIMENT BARRIERS WILL BE INSTALLED DOWNSLOPE OF AREAS WITH MINIMAL GRADES TO FILTER SEDIMENT-LADEN RUNOFF FROM SHEET FLOW.
- 2. CONSTRUCTION FENCE/TREE PROTECTION 3.38
 A FENCE BARRIER IS TO BE PLACED AROUND THE TREES AND VEGETATED AREAS WHICH WILL NOT BE DISTURBED TO PROTECT THE TREES AND OTHER VEGETATION FROM CONSTRUCTION EQUIPMENT AND SOIL COMPACTION.
- 3. TEMPORARY CONSTRUCTION ENTRANCE 3.02
- ONE TEMPORARY CONSTRUCTION ENTRANCE 3.02

 ONE TEMPORARY CONSTRUCTION ENTRANCES WITH WASH RACKS SHALL BE INSTALLED WITHIN THE ENTRANCE AT NORTH QUINCY STREET. DURING MUDDY CONDITIONS, DRIVERS OF CONSTRUCTION VEHICLES WILL BE REQUIRED TO WASH THEIR WHEELS BEFORE ENTERING THE STREET. WASH SHALL NOT BE DIRECTED INTO STORM SYSTEM, EXISTING OR PROPOSED.
- 4. STORM DRAIN INLET PROTECTION 3.07
- ALL STORM SEWER INLETS SHALL BE PROTECTED DURING CONSTRUCTION. SEDIMENT—LADEN WATER SHALL BE FILTERED BEFORE ENTERING THE STORM SEWER INLETS.
- 5. STORM DRAIN OUTLET PROTECTION 3.18
 ALL STORM SEWER OUTLETS SHALL BE PROTECTED DURING CONSTRUCTION TO MINIMIZE THE POTENTIAL FOR DOWNSTREAM EROSION BY REDUCING VELOCITY AND ENERGY OF CONCENTRATED STORMWATER
- 6. DIVERSION DIKE- 3.09
 DIVERSION DIKES SHALL BE PLACED TO DIVERT STORM RUNOFF FROM UPSLOPE DRAINAGE AREAS AWAY FROM UNPROTECTED DISTURBED AREAS AND SLOPES TO A STABILIZED OUTLET.

VEGETATIVE PRACTICES

- 1. TEMPORARY SEEDING 3.31
 ALL DENUDED AREAS WHICH WILL BE LEFT DORMANT FOR MORE THAN 7 DAYS SHALL BE SEEDED WITH FAST GERMINATING TEMPORARY VEGETATION IMMEDIATELY FOLLOWING GRADING. SELECTION OF THE SEED MIXTURE WILL DEPEND ON THE TIME OF YEAR IT IS APPLIED.
- 2. TOPSOILING (STOCKPILE) 3.30
 - TOPSOIL WILL BE STRÍPPED FROM AREAS TO BE GRADED AND STOCKPILED FOR LATER USE. THE STOCKPILE LOCATION WILL BE ON SITE WITHIN THE LIMITS OF CLEARING.

MANAGEMENT STRATEGIES

AS POSSIBLE.

- CONSTRUCTION WILL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY
- 2. TEMPORARY SEEDING OR OTHER STABILIZATION WILL FOLLOW SEVEN (7) DAYS AFTER GRADING.
- 3. AREAS WHICH ARE NOT TO BE DISTURBED WILL BE CLEARLY MARKED BY FLAGS, SIGNS, ETC.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES.
- AFTER ACHIEVING ADEQUATE STABILIZATION, THE TEMPORARY E&S CONTROLS WILL BE CLEANED UP AND REMOVED WITH APPROVAL FROM THE ARLINGTON COUNTY FIELD MANAGER.

PERMANENT STABILIZATION

ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH SEEDING PER STANDARD AND SPECIFICATION SECTION 329100. EROSION CONTROL BLANKETS WILL BE INSTALLED OVER FILL SLOPES WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND HAVE BEEN SEEDED TO PROTECT THE SLOPES FROM HILL AND GULLY EROSION AND TO ALLOW SEED TO GERMINATE PROPERLY. MULCH (STRAW OR FIBER) WILL BE USED ON RELATIVELY FLAT AREAS. IN ALL SEEDING OPERATIONS, SEED, FERTILIZER, AND LIME WILL BE APPLIED PER SPEC. SECTION 329100

PERMANENT SEEDING:

- ALL AREAS DENUDED BY THIS CONSTRUCTION SHALL BE STABILIZED WITH APPROPRIATE TURF GRASSES, GROUND COVER, AND/OR OTHER ACCEPTABLE MEASURES.
- 2. PERMANENT VEGETATION COVER MUST MEET THE REQUIREMENTS OF DEQ TECHNICAL BULLETIN NO. 4
- 3. THE PLANTING SOIL MUST HAVE ENOUGH FINE GRAINED SOIL, SUFFICIENT PORE SPACE, SUFFICIENT DEPTH AND FREE FROM TOXIC OR EXCESSIVE QUANTITIES OF ROOTS AND SHALL BE APPLIED IN ACCORDANCE SPEC. SECTION 329100

EMPORARY SEEDING

TABLE 3.31-B (Revised June 2003) TEMPORARY SEEDING SPECIFICATIONS QUICK REFERENCE FOR ALL REGIONS

<u>SEED</u>					
APPLICATION DATES	SPECIES	APPLICATION RATES			
Sept. 1 - Feb. 15	50/50 Mix of Annual Ryegrass (Iolium multi-florum) & Cereal (Winter) Rye (Secale cereale)	50 -100 (lbs/acre)			
Feb. 16 - Apr. 30	Annual Ryegrass (Iolium multi-florum)	60 - 100 (lbs/acre)			
May 1 - Aug. 31	German Millet	50 (lbs/acre)			

FERTILIZER & LIME

- Apply 10-10-10 fertilizer at a rate of 450 lbs. / acre (or 10 lbs. / 1,000 sq. ft.)
- Apply Pulverized Agricultural Limestone at a rate of 2 tons/acre (or 90 lbs. / 1,000 sq. ft.)
 NOTE:
- 1 A soil test is necessary to determine the actual amount of lime required to adjust the soil pH of site.
 2 Incorporate the lime and fertilizer into the top 4 6 inches of the soil by disking or by other means.
 3 When applying Slowly Available Nitrogen, use rates available in <u>Erosion & Sediment Control Technical Bulletin</u>
 4 , 2003 Nutrient Management for Development Sites at http://www.dcr.state.va.us/sw/e&s.htm#pubs

DUST CONTROL NARRATIVE

THE CONTRACTOR SHALL UTILIZED DUST CONTROL MEASURES AS DEFINED IN THE VIRGINIA STATE EROSION AND SEDIMENT CONTROL HANDBOOK TO PREVENT SURFACE AND AIR MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES AND REDUCE THE PRESENCE OF AIRBORNE SUBSTANCES WHICH MAY PRESENT HEALTH HAZARDS, TRAFFIC SAFETY PROBLEMS OR HARM ANIMAL OR PLANT LIFE.

GENERAL LAND CONSERVATION NOTES

1. NO DISTURBED AREA WILL REMAIN DENUDED FOR MORE THAN 7 CALENDAR DAYS UNLESS OTHERWISE AUTHORIZED BY THE DIRECTOR OR HIS AGENT.

2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING. FIRST AREAS TO BE CLEARED ARE TO BE THOSE REQUIRED FOR THE PERIMETER CONTROLS.

3. ALL STORM AND SANITARY SEWER LINES NOT IN STREETS ARE TO BE MULCHED AND SEEDED WITHIN 7 DAYS AFTER BACKFILL. NO MORE THAN 500 FEET ARE TO BE OPEN AT ANY ONE TIME.

4. ELECTRIC POWER, TELEPHONE AND GAS SUPPLY TRENCHES ARE TO BE COMPACTED, SEEDED AND MULCHED WITHIN 7 DAYS OF BACKFLLL.

5. ALL TEMPORARY EARTH BERMS, DIVERSIONS AND SEDIMENT CONTROL DAMS ARE TO BE MULCHED AND SEEDED FOR TEMPORARY VEGETATIVE COVER IMMEDIATELY AFTER GRADING. STRAW OR HAY MULCH IS REQUIRED. THE SAME APPLIES TO ALL SOIL STOCKPILES.

6. DURING CONSTRUCTION, ALL STORM SEWER INLETS WILL BE PROTECTED BY INLET PROTECTION DEVICES, MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS.

7. ANY DISTURBED AREA NOT COVERED BY NOTE # 1 ABOVE AND NOT PAVED, SODDED OR BUILT UPON BY NOVEMBER 1ST, OR DISTURBED AFTER THAT DATE, SHALL BE MULCHED WITH HAY OR STRAW AT THE RATE OF 2 TONS PER ACRE AND OVER—SEEDED NO LATER THAN MAY 15TH.

8. AT THE COMPLETION OF THE CONSTRUCTION PROJECT AND PRIOR TO BOND RELEASE, ALL TEMPORARY SEDIMENT CONTROLS SHALL BE REMOVED AND ALL DENUDED AREAS SHALL BE STABILIZED. ARLINGTON COUNTY INSPECTOR TO APPROVE REMOVAL OF ALL TEMPORARY SLLTATION MEASURES.

MAINTENANCE

IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND AFTER EACH SIGNIFICANT RAINFALL. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

- THE SILT FENCE BARRIER WILL BE CHECKED REGULARLY FOR UNDERMINING OR DETERIORATION OF THE FABRIC. SEDIMENT SHALL BE REMOVED WHEN THE LEVEL OS SEDIMENT DEPOSITION REACHES HALF WAY TO THE TOP OF THE BARRIER.
- 2. THE SEEDED AREAS WILL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RE-SEEDED AS NEEDED.
- 3. THE CONSTRUCTION ENTRANCE WILL BE CHECKED REGULARLY AND MAY REQUIRE PERIODIC TOP DRESSING WITH STONES OR THE WASHING AND REWORKING OF EXISTING STONE AS CONDITIONS DEMAND.

GENERAL EROSION & SEDIMENT CONTROL NOTES

IS ACHIEVED.

- ES-1: UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE <u>VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK</u> AND VIRGINIA REGULATIONS VR 625-02-00 EROSION AND SEDIMENT CONTROL PROGRAM.
- :-2: THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
- S-3: ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
- ES-4: A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.

 ES-5: PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE
- PLANS (INCLUDING, BUT NOT LIMITED TO, OFF—SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.

 ES—6: THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL
- MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.

 S-7: ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES
- ES-8: DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO AN APPROVED FILTERING DEVICE.

DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION

9: THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF—PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY. THE ARLINGTON COUNTY FIELD MANAGER HAS THE AUTHORITY TO ADD, MODIFY, OR DELETE EROSION AND SEDIMENT CONTROLS AS NEEDED IN THE FIELD, AS SITE CONDITIONS WARRANT.

CONSTRUCTION SEQUENCE

- PHASE I A. FLAG LIMITS OF WORK (LOW) AS SHOWN ON PLANS. INSTALL THE TEMPORARY CONSTRUCTION ENTRANCE WITH WASH RACKS. MUD AND DEBRIS SHALL BE WASHED FROM ALL CONSTRUCTION VEHICLES AND EQUIPMENT PRIOR TO LEAVING THE SITE. WATER TANK TRUCKS WILL BE USED IF PUBLIC METERED WATER IS NOT AVAILABLE.
- PHASE I B. INSTALL TREE PROTECTION MEASURES IN ALL DESIGNATED AREAS
- PHASE I C. CLEAR AND GRUB THE AREAS NECESSARY TO INSTALL THE PHASE I E&S CONTROLS DEVICES AS SHOWN ON THE PLANS.
- PHASE I D. INSTALL PHASE 1 EROSION & SEDIMENT CONTROLS AS SHOWN ON THESE PLANS.
- SE I E. ONCE THE PHASE I EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND WITH THE APPROVAL OF THE ARLINGTON COUNTY FIELD MANAGER, CLEAR AND GRUB THE REMAINDER OF THE SITE AND DEMO EXISTING FEATURES AS SHOWN ON DEMOLITION PLAN.
- PHASE IA F STOCKPILE AND STABILIZE THE TOPSOIL.
- PHASE IA G. ROUGH GRADE THE SITE LEAVING PHASE I CONTROLS IN PLACE.
- PHASE II H. INSTALL THE PHASE II CONTROL DEVICES AS SHOWN ON THESE PLANS.
- PHASE II I. INSTALL ALL OTHER UTILITIES AS NECESSARY. PROVIDE PERMANENT SEEDING ALONG DISTURBED AREAS WHEN WORK IS COMPLETED.
- PHASE II J. INSTALL THE REMAINING STORM STRUCTURES, PIPING, INLET AND OUTLET PROTECTION AS SHOWN ON THESE PLANS. PROVIDE PERMANENT SEEDING ALONG DISTURBED AREAS WHEN WORK IS COMPLETED.
- PHASE II K. FINAL GRADE AREAS OF THE SITE.
- HASE II L. STABILIZE ALL UNPAVED AREAS. ALL UNPAVED AREAS WILL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH SPEC. SECTION 329100 AND STANDARD SPECIFICATION 3.33 OF THE VIRGINIA STATE EROSION AND SEDIMENT CONTROL HANDBOOK AS REQUIRED.
- PHASE II M. REMOVE CONTROLS AS UPSTREAM AREAS ARE STABILIZED ONLY AFTER HAVING RECEIVED APPROVAL FROM THE ARLINGTON COUNTY EROSION AND SEDIMENT CONTROL INSPECTOR.
- PHASE II N. ALL EXISTING STORM DRAINAGE PIPE IS TO BE CLEANED OF SILT PRIOR TO REMOVAL OF CONTROLS.

NOTE:

ALL TEMPORARY EROSION CONTROLS MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.

date

Qianqian Li, P.E. ESC Program Administrator Department of Environmental Sevices 2100 Clarendon Boulevard, Suite 813 Arlington, Virginia 22201

Re: Erosion and Sediment Control Permit Application for:

street address

lot, block, section subdivision

permit number

Dear Mrs. Li:

I hereby certify that I accept the responsibilities of <u>Responsible Land Disturber</u> for the above referenced project. I understand that these responsibilities include:

- 1. Reviewing the erosion and sedimentation (E&S) plan for the project.
- Walking the site prior to construction to identify critical areas.
 Conducting a pre-construction briefing with earth moving and site contractors to present the E&S plan and
- highlight the presence of critical areas, the limits of clearing and the required E&S controls and tree protection measures to be installed. Call 703-228-0760 to schedule pre-construction meeting.

 4. Regularily inspecting the site during construction to ensure that all E&S controls are functioning and are
- adequate to address erosion and sedimentation. Inspect the site 48 hours after a runoff-generating storm, and provide a copy of the inspection findings to the county.
- 5. Reporting to the owner the presence inadequate or non functioning E&S controls when they are observed.
- 6. Ensuring that temporary soil stabilization is applied within 7 days to areas denuded that will remain undisturbed for longer than 14 days. Permanent stabilization shall be applied to areas that are to be left dormant
- for more than one year.

 7. Calling (703) 228-0760 at least 80 hours before demolishing any structure.

I may be reached at _____ with questions about this plan or my execution of the duties of _____ telephone number

Sincerely,

signed

name printed

Responsible Land Disturber.

professional registration (type and number)

Pre-Storm Erosion and Sediment Control Checklist

Per Erosion and Sediment Control General Note 6, the Contractor is responsible for the installation and maintenance of any additional erosion and sediment control (ESC) measures necessary to prevent erosion and sedimentation as determined by the County. These supplementary practices are in addition to those shown in an ESC plan. ESC practices shall be modified as needed to ensure only clear water is discharged from the site.

The following actions shall be taken <u>prior to storm events with predicted heavy and/or large volume</u>
<u>rainfall</u> to prevent sediment discharges from a construction site. A typical summer thunderstorm is an example of a storm event with predicted heavy and/or large volume rainfall.

Perimeter controls

- ☐ Silt fence shall be checked for undermining, holes, or deterioration of the fabric. Fencing shall be replaced immediately if the fabric is damaged or worn. Silt fence must be trenched into the ground per state specifications (Std & Spec 3.09).
- ☐ Wooden stakes or steel posts shall be properly secured upright into the ground. Damaged posts or stakes must be replaced.
- ☐ Sediment that has accumulated against the silt fence should be removed. Accumulated
- Hay bales or a stone berm should be placed across the construction entrance to prevent sediment from leaving the construction site.

sediment must be removed when the level reaches one-half the height of the fencing.

Exposed slopes and soil

- ☐ Exposed slopes not at the final stabilization phase shall be covered with tarps, plastic sheeting, or erosion control matting. Covering material shall be properly secured/anchored.
- ☐ Controls shall be installed to prevent concentrated flow down an exposed slope. Berms or diversion dikes shall be installed at the top of cut / exposed slopes to direct storm flow around the disturbed area.
- Exposed slopes at the final stabilization phase shall be stabilized using slope stabilization practices such as soil stabilization blankets or matting as specified in the Virginia Erosion and Sediment Control Handbook (VESCH) Std & Spec 3.36. Blankets or mats must be properly secured and anchored to the slope using staples, pins, or stakes.
- ☐ Seeded areas shall be checked and reseeded as necessary to cover exposed soil. Recently seeded areas shall be protected by straw or soil stabilization blankets to prevent seeding from being washed away.

Stockpiles

Stockpiled soil and other loose materials that can be washed away shall be covered with a tarp, plastic sheeting, or other stabilization matting. The cover must be properly secured / anchored down to prevent it from being blown off and exposing materials to rain. Controls such as hay bales or booms should be placed along the perimeter of the stock pile (downhill side).

Inlet protection

☐ Inlet protection controls shall be inspected to ensure they are functioning properly and flooding will not occur. Clogged or damaged controls must be replaced immediately. Ensure controls allow for overflow / bypass of stormwater runoff during significant storm events.

In addition to these pre-storm actions, all erosion and sediment control (ESC) measures must be checked <u>daily</u> and <u>after each significant rainfall</u>.



DEPARTMENT OF PARKS AND RECREATION

Planning and Design Unit 2100 Clarendon Boulevard, Suite 414 Arlington, VA 22201 Phone: 703.228.7598 Fax: 703.228.3328

Project Name and Location
Gunston Park
Enclosed Athletic
Facility
Improvements

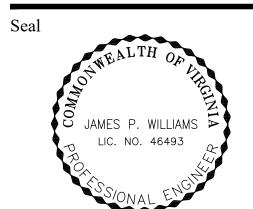
BY RIGHT (COUNTY PROJECT) 1401 28th St S, Arlington, VA 22206

Sheet Title
EROSION SEDIMENT
CONTROL NOTES



Phone: 703-263-1900 www.gordon.us.com

Chantilly, VA 20151



Approvals Date

DEPARTMENT DIRECTOR

PLANNING AND DESIGN DIVISION CHIEF

PARK SERVICE AREA MANAGER

URBAN FORESTRY

DESIGN TEAM SUPERVISOR

Revisions Date

21-DPR-ITB-356

SWM # 20-0147

Designed: J.T.Williams
Drawn: J.T.Williams
Checked: J.P.Williams

Filename: 3245-0101-C-GC-001.dwg
Path: G:\project\engin\3245\0101\Plans\

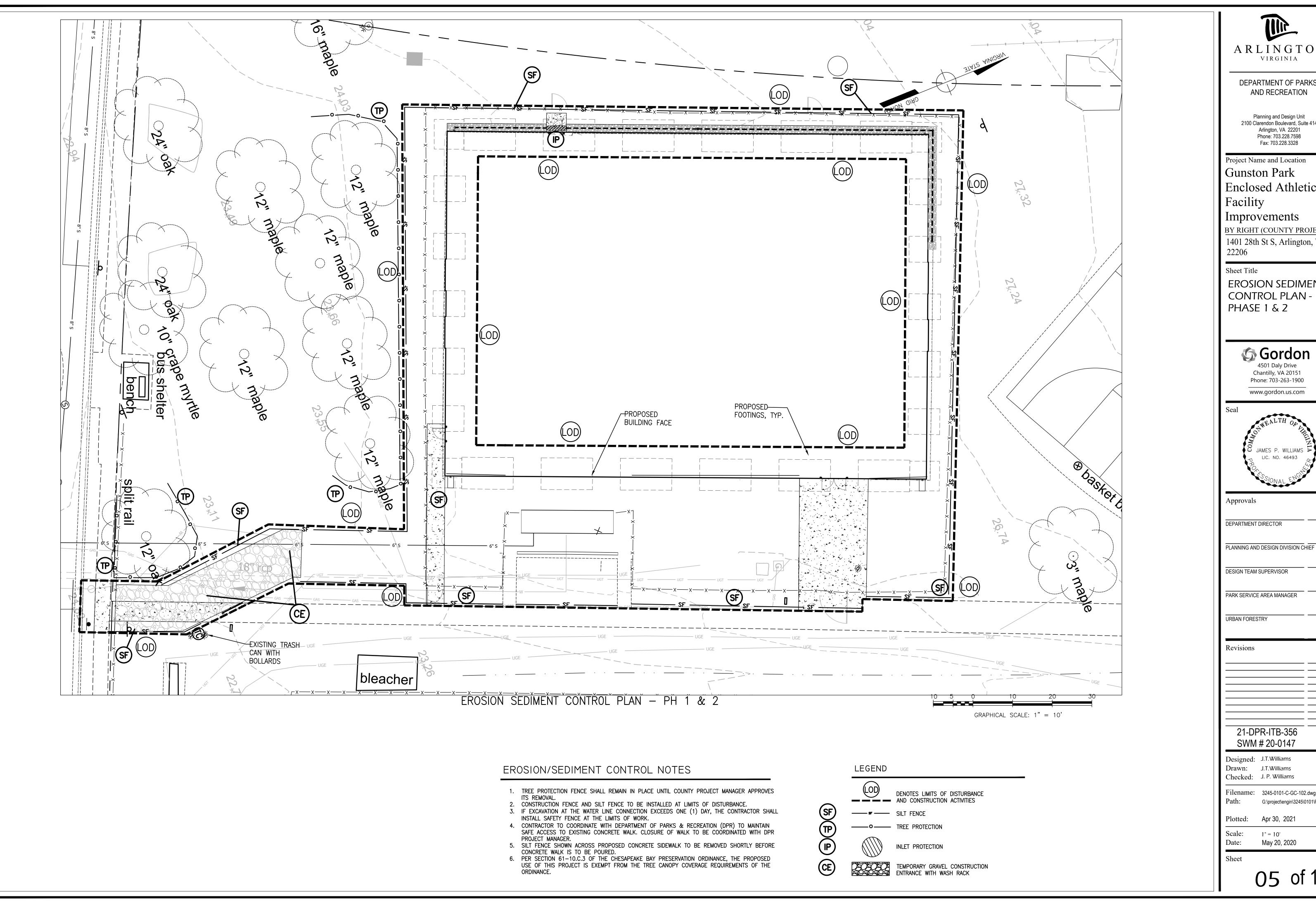
Plotted: Apr 30, 2021
Scale: N/A

Sheet

Date:

04 of 10

May 20, 2020





DEPARTMENT OF PARKS AND RECREATION

Planning and Design Unit 2100 Clarendon Boulevard, Suite 414 Arlington, VA 22201 Phone: 703.228.7598 Fax: 703.228.3328

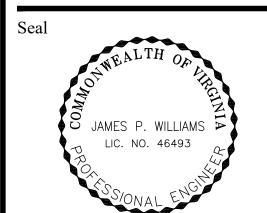
Project Name and Location Gunston Park Enclosed Athletic

BY RIGHT (COUNTY PROJECT) 1401 28th St S, Arlington, VA

EROSION SEDIMENT CONTROL PLAN -PHASE 1 & 2



4501 Daly Drive Chantilly, VA 20151 Phone: 703-263-1900 www.gordon.us.com



PARK SERVICE AREA MANAGER

SWM # 20-0147

Designed: J.T.Williams Drawn: J.T.Williams

Filename: 3245-0101-C-GC-102.dwg

G:\project\engin\3245\0101\Plans\

Plotted: Apr 30, 2021

1" = 10'

ARLINGTON COUNTY SWPPP TEMPLATE (SECTIONS 2.0, 5.0, 7.0) DATED 9/2016

2.0 Authorized Non-Stormwater Discharges

External buildings wash down Uncontaminated foundation or footing drains Uncontaminated excavation dewatering Landscape irrigation

Others [describe]

Type of Authorized Non-Stormwater Discharge

Likely Present at Your Project Site? Yes

5.0 Potential Sources of Pollution & Pollution Prevention Practices

				Polluta	ants							
Pollutant-Generating Activity	Likely Present at your Project Site?	Sediment	Nutrients	Heavy Metals	pH (acids and bases)	Pesticides & Herbicides	Oil & Grease	Bacteria & Viruses	Trash, Debris, Solids	Other Toxic Chemicals	Pollution Prevention Practice	Responsible Party
Clearing, grading, excavating, and un-stabilized areas	X Yes ☐ No	Х							Х		(1)	
Paving operations	☐ Yes ☐ No	Х					Х		Х		(2)	
Concrete washout and cement waste	X Yes ☐ No			Х	Х				Х		(3)	
Structure construction, stucco, painting, and cleaning	☐ Yes 🏻 No			Х	Х				Х	Х	(4)	
Dewatering operations	☐ Yes 🏻 No	Х	Х						Х		(5)	
Material delivery and storage	⊠ Yes □ No	Х	Х	Х	Х		Х		х	Х	(6)	Construction Activity Operator (See Cover Page of this SWPPP)
Material use during building process	☐ Yes 🏻 No		Х	Х	Х		Х		Х	Х	(7)	rage of this Svvrrr)
Solid waste disposal	X Yes ☐ No								Х	Х	(8)	
Sanitary waste	☐ Yes 🏻 No		Х		Х			Х			(9)	
Landscaping operations	X Yes ☐ No	Х	Х			Х			Х	Х	(10)	
Others [describe]	☐ Yes 🏻 No	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	[X]	(11)	

Pollution Prevention Practices:

- Clearing, grading, excavating and un-stabilized areas Utilize erosion and sediment controls to prevent sediment laden or turbid runoff from leaving the construction site. Dispose of clearing debris at acceptable disposal sites. Apply permanent or temporary stabilization, sodding and/or mulching to denuded areas in accordance with the erosion and sediment control specifications and the general VPDES permit for discharges
- of stormwater from construction activities. Paving operations – Cover storm drain inlets during paving operations and utilize pollution prevention materials such as drip pans and absorbent/oil dry for all paving machines to limit leaks and spills of paving materials and
- Concrete washout and cement waste Direct concrete wash water into a leak-proof container or leak-proof settling basin that is designed so that no overflows can occur due to inadequate sizing or precipitation. Hardened concrete wastes shall be removed and disposed of in a manner consistent with the handling of other
- construction wastes. **Structure construction, stucco, painting and cleaning** – Enclose, cover or berm building material storage areas if susceptible to contaminated stormwater runoff. Conduct painting operations consistent with local air quality and OSHA regulations. Mix paint indoors, in a containment area or in a flat unpaved area. Prevent the discharge of soaps, solvents, detergents and wash water from construction materials, including the clean-up of
- stucco paint, form release oils and curing compounds. Dewatering operations - Construction site dewatering from building footings or other sources may not be discharged without treatment. Sediment laden or turbid water shall be filtered, settled or similarly treated prior to discharge.
- Material delivery and storage Designate areas of the construction site for material delivery and storage. Place near construction entrances, away from waterways, and avoid transport near drainage paths or
- Material use during building process Use materials only where and when needed to complete the construction activity. Follow manufacturer's instructions regarding uses, protective equipment, ventilation, flammability and mixing of chemicals.
- Solid waste disposal Designate a waste collection area on the construction site that does not receive a substantial amount of runoff from upland areas and does not drain directly to a waterway. Ensure that containers have lids so they can be covered before periods of rain, and keep containers in a covered area
- whenever possible. Schedule waste collection to prevent the containers from overfilling. Sanitary waste – Prevent the discharge of sanitary waste by providing convenient and well-maintained portable sanitary facilities. Locate sanitary facilities in a convenient location away from waterways.
- (10) Landscaping operations Maintain as much existing vegetation as practicable. Apply permanent or temporary stabilization, sodding and/or mulching to denuded areas in accordance with the erosion and sediment control specifications and the general VPDES permit for discharges of stormwater from construction activities. Apply nutrients in accordance with manufacturer's recommendations and not during rainfall events.
- (11) Others If applicable, describe your Pollution Prevention Practice.

7.0 Spill Prevention & Response

Most spills can be cleaned up following manufacturer specifications. Absorbent/oil dry, sealable containers, plastic bags, and shovels/brooms are suggested minimum spill response items that should be available at this location.

Protect equipment and property 3rd Priority: Protect the environment

- 1. Check for hazards (flammable material, noxious fumes, cause of spill) if flammable liquid, turn off engines and nearby electrical equipment. If serious hazards are present leave the area and call 911. LARGE SPILLS ARE LIKELY TO PRESENT A HAZARD.
- 2. Make Sure the spill area is safe to enter and that it does not pose an immediate threat to health or safety of
- Stop the spill source.
- 4. Call co-workers and supervisor for assistance and to make them aware of the spill and potential dangers. 5. If possible, stop spill from entering drains (use absorbent or other material as necessary).
- 6. Stop spill from spreading (use absorbent or other material)
- 7. If spilled material has entered a storm sewer; contact locality's storm water department. 8. Clean up spilled material according to manufacturer specifications, for liquid spills use absorbent materials
- and do not flush area with water. 9. Properly dispose of cleaning materials and used absorbent material according to manufacturer specifications.

Emergency Contacts:

Normal Working Hours

703-583-3800 DEQ Northern Regional Office

Nights, Holidays & Weekends

VA Dept. of Emergency Management 24 Hour Reporting Service

804-674-2400

Local Contacts

703-558-2222 Arlington County Fire & Police DES Water, Sewer, Streets 24-Hour Emergency 703-228-6555 703-750-1400 Washington Gas Emergency

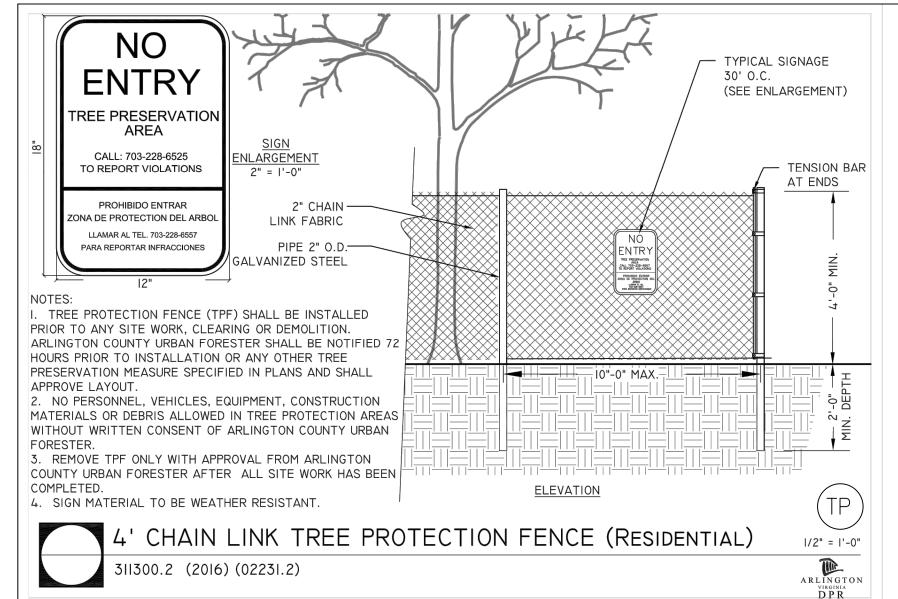
POLLUTION PREVENTION NOTE PER ARLINGTON

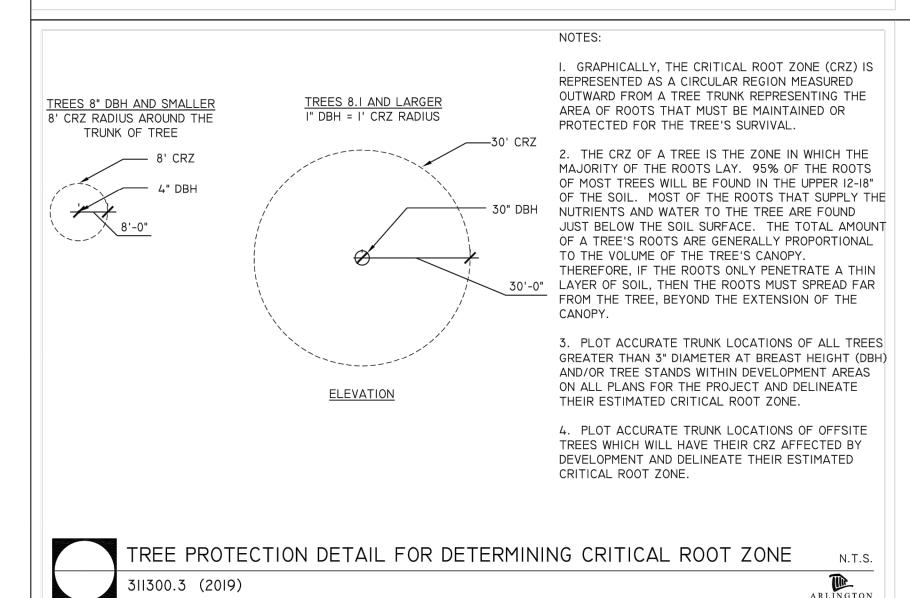
STORMWATER MANUAL (SEPT. 2016)

ONLY THE FOLLOWING NON-STORMWATER DISCHARGES ARE AUTHORIZED BY ARLINGTON COUNTY'S MS4 PERMIT, UNLESS THE STATE WATER CONTROL BOARD, THE VIRGINIA SOIL AND WATER CONSERVATION BOARD (BOARD), OR ARLINGTON COUNTY DETERMINES THE DISCHARGE TO BE A SIGNIFICANT SOURCE OF POLLUTANTS TO SURFACE WATERS: WATER LINE FLUSHING; LANDSCAPE IRRIGATION DIVERTED STREAM FLOWS; RISING GROUND WATERS; UNCONTAMINATED GROUND WATER INFILTRATION (AS DEFINED AT 40 CFR 35.2005(20)); UNCONTAMINATED PUMPED GROUND WATER; DISCHARGES FROM POTABLE WATER SOURCES; FOUNDATION DRAINS; AIR CONDITIONING CONDENSATION: IRRIGATION WATER: SPRINGS: WATER FROM CRAWL SPACE PUMPS: FOOTING DRAINS: LAWN WATERING: INDIVIDUAL RESIDENTIAL CAR WASHING: FLOWS FROM RIPARIAN HABITATS AND WETLANDS: DECHLORINATED SWIMMING POOL DISCHARGES: DISCHARGES OR FLOWS FROM FIRE FIGHTING: AND. OTHER ACTIVITIES GENERATING DISCHARGES IDENTIFIED BY THE DEPARTMENT OF ENVIRONMENTAL QUALITY AS NOT REQUIRING VPDES AUTHORIZATION.

APPROPRIATE CONTROLS MUST BE IMPLEMENTED TO PREVENT ANY NON-STORMWATER DISCHARGES NOT INCLUDED ON THE ABOVE LIST (E.G., CONCRETE WASH WATER, PAINT WASH WATER, VEHICLE WASH WATER, DETERGENT WASH WATER, ETC.) FROM BEING DISCHARGED INTO ARLINGTON COUNTY'S MS4 SYSTEM, WHICH INCLUDES THE CURB AND GUTTER SYSTEM, AS WELL AS CATCH BASINS AND OTHER STORM DRAIN INLETS, OR STREAM NETWORK.

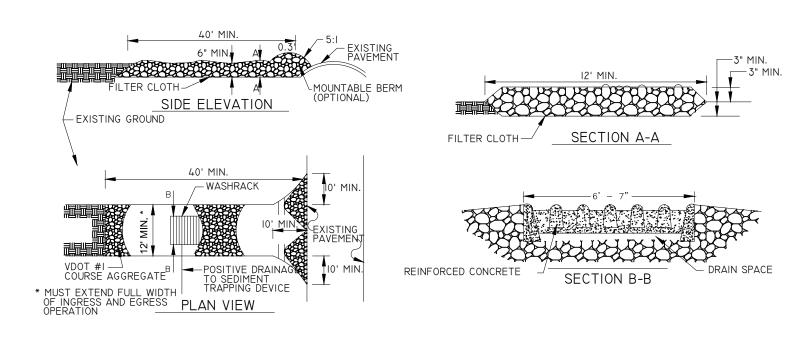
PER CHAPTER 26 OF THE ARLINGTON COUNTY CODE, IT SHALL BE UNLAWFUL FOR ANY PERSON TO DISCHARGE DIRECTLY OR INDIRECTLY INTO THE STORM SEWER SYSTEM OR STATE WATERS, ANY SUBSTANCE LIKELY, IN THE OPINION OF THE COUNTY MANAGER, TO HAVE AN ADVERSE EFFECT ON THE STORM SEWER SYSTEM OR STATE WATERS.





TREE PRESERVATION

- 1. BEFORE ANY GRADING, DEMOLITION, OR OTHER DISTURBANCE, INCLUDING TREE REMOVAL, A PRECONSTRUCTION MEETING SHALL BE HELD WITH AN ARLINGTON COUNTY URBAN FORESTER. CHANGES TO THE PLAN, BASED ON FIELD CONDITIONS, MAY BE REQUESTED BY THE URBAN FORESTER AT THE TIME OF THE PRECONSTRUCTION MEETING.
- 2. TREE PROTECTION SHALL BE INSTALLED PER PLAN, WITH ANY CHANGES REQUESTED AT THE PRECONSTRUCTION MEETING, AND INSPECTED BY AN ARLINGTON COUNTY URBAN FORESTER. EROSION AND SEDIMENT CONTROLS ARE INSPECTED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES.
- 3. REMOVAL OF TREES, NOTED FOR REMOVAL ON THE PLAN, INSIDE A TREE PRESERVATION AREA SHALL BE PERFORMED, BY HAND, WITHOUT GROUND DISTURBANCE, OR DISTURBANCE TO NEARBY PRESERVED TREES. TREES IN THESE AREAS SHALL BE CUT FLUSH TO THE GROUND, WITHOUT STUMP GRINDING.
- 4. NO CHANGES SHALL BE MADE TO TREE PRESERVATION OR PROPOSED LANDSCAPE UNLESS DIRECTED BY AN ARLINGTON COUNTY URBAN FORESTER.
- 5. FOLLOW ANSI STANDARDS WHEN PRUNING TREES. ANY PRUNING BEYOND 5% OF THE CANOPY SHALL BE COMMUNICATED AND APPROVED TO THE URBAN FORESTER
- 6. DO NOT REMOVE TREES ON OTHER PROPERTIES, OR RIGHTS-OF-WAY, WITHOUT WRITTEN PERMISSION OF THE OWNER. 7. TREE PROTECTION AREAS SHALL HAVE ALL NON-NATIVE INVASIVE VINES REMOVED AT THE END OF THE PROJECT. WHERE DEEMED NECESSARY BY THE COUNTY URBAN FORESTER TO ENSURE TREE SURVIVAL, THE PROTECTION AREA SHALL BE COVERED WITH SHREDDED HARDWOOD MULCH, OR OTHER ORGANIC MULCH AS APPROVED BY THE COUNTY URBAN
- 8. AT THE END OF THE PROJECT, PRESERVED AND PLANTED TREES MUST BE INSPECTED AND APPROVED BY AN ARLINGTON QOUNTY URBAN FORESTER.



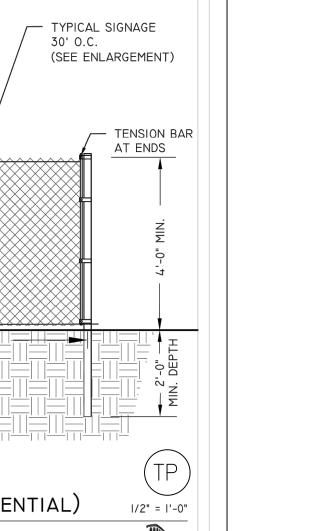
1. THE CONSTRUCTION ENTRANCE ON THIS PROJECT HAS BEEN MODIFIED FROM A STANDARD 70' LENGTH TO A 40' LENGTH DUE TO THE RELATIVELY MINOR SITE

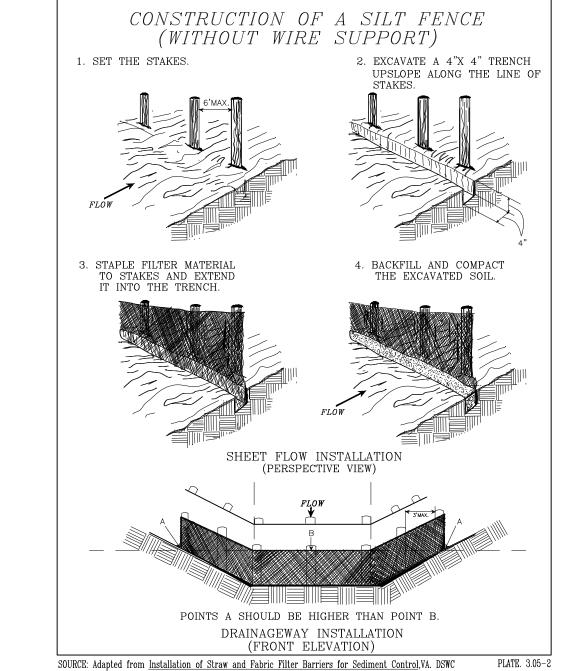
DISTURBANCE AND ACCESS ON THE COUNTY'S PARK RENOVATION PROJECTS.

NE CONSTRUCTION ENTRANCE

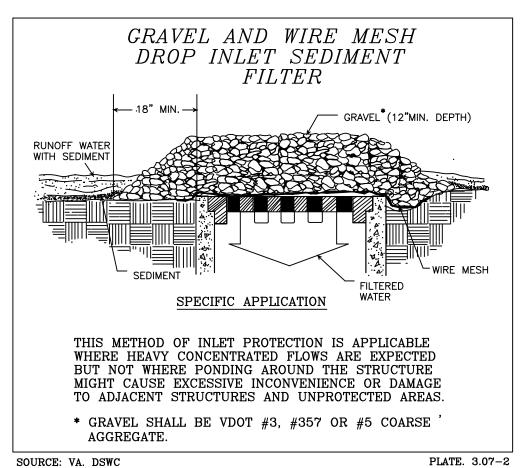
SOURCE: VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, 1992

Section 02370.X (2016)





SILT FENCE



GRAVEL AND WIRE MESH DROP INLET SEDIMENT FILTER



DEPARTMENT OF PARKS AND RECREATION

Planning and Design Unit 2100 Clarendon Boulevard, Suite 414 Arlington, VA 22201 Phone: 703.228.7598 Fax: 703.228.3328

Project Name and Location Gunston Park **Enclosed Athletic** Facility Improvements BY RIGHT (COUNTY PROJECT) 1401 28th St S, Arlington, VA

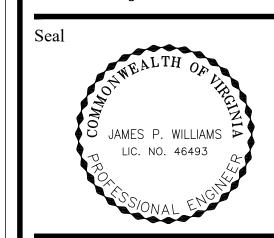
Sheet Title **EROSION AND** SEDIMENT CONTROL **DETAILS**

Not to Scale

ARLINGTO



Chantilly, VA 20151 Phone: 703-263-1900 www.gordon.us.com



Approvals

URBAN FORESTRY

DEPARTMENT DIRECTOR
PLANNING AND DESIGN DIVISION CHIEF
DESIGN TEAM SUPERVISOR
PARK SERVICE AREA MANAGER

Date Revisions

21-DPR-ITB-356 SWM # 20-0147

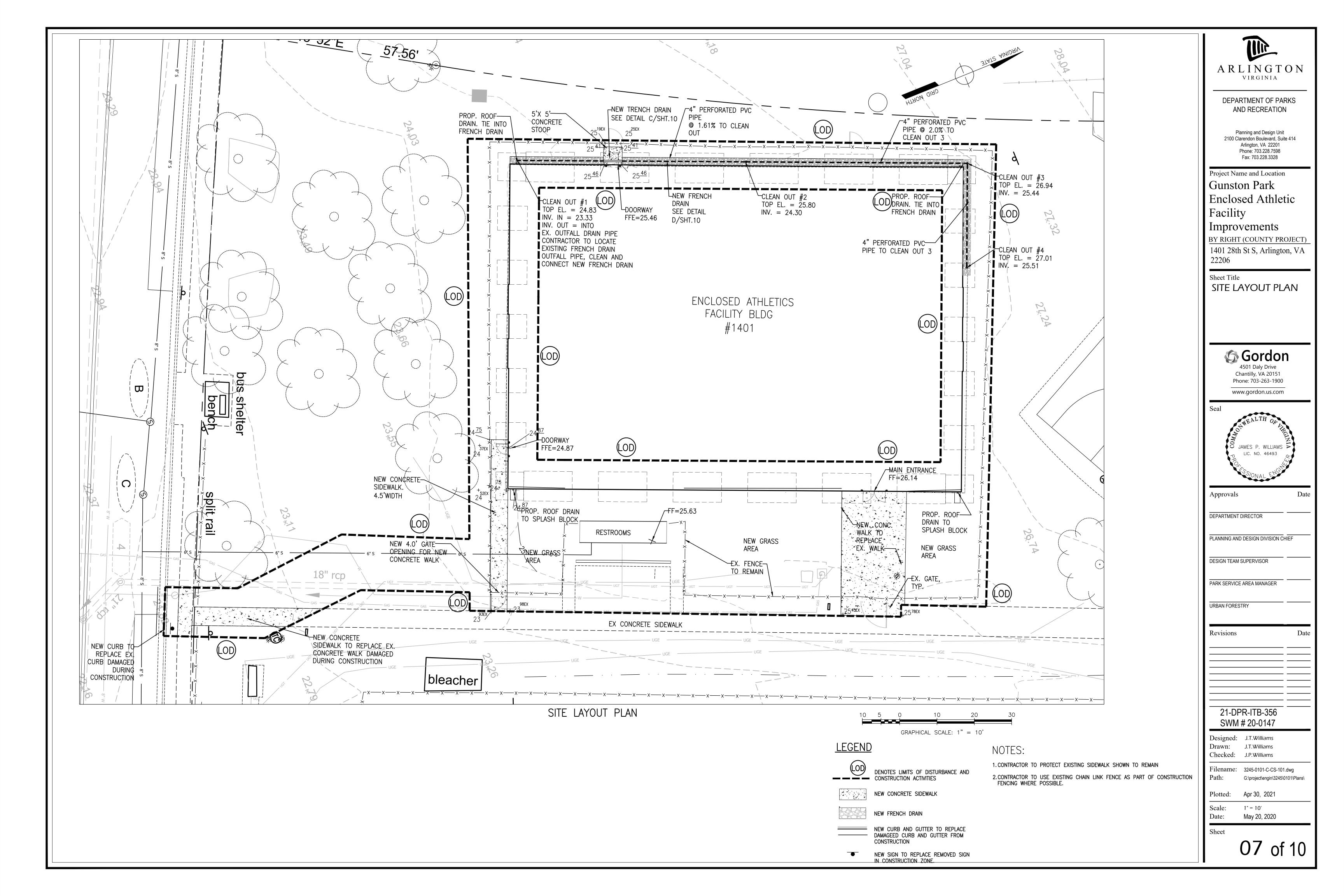
Designed: T. Lin T. Lin Drawn: Checked: J. Williams

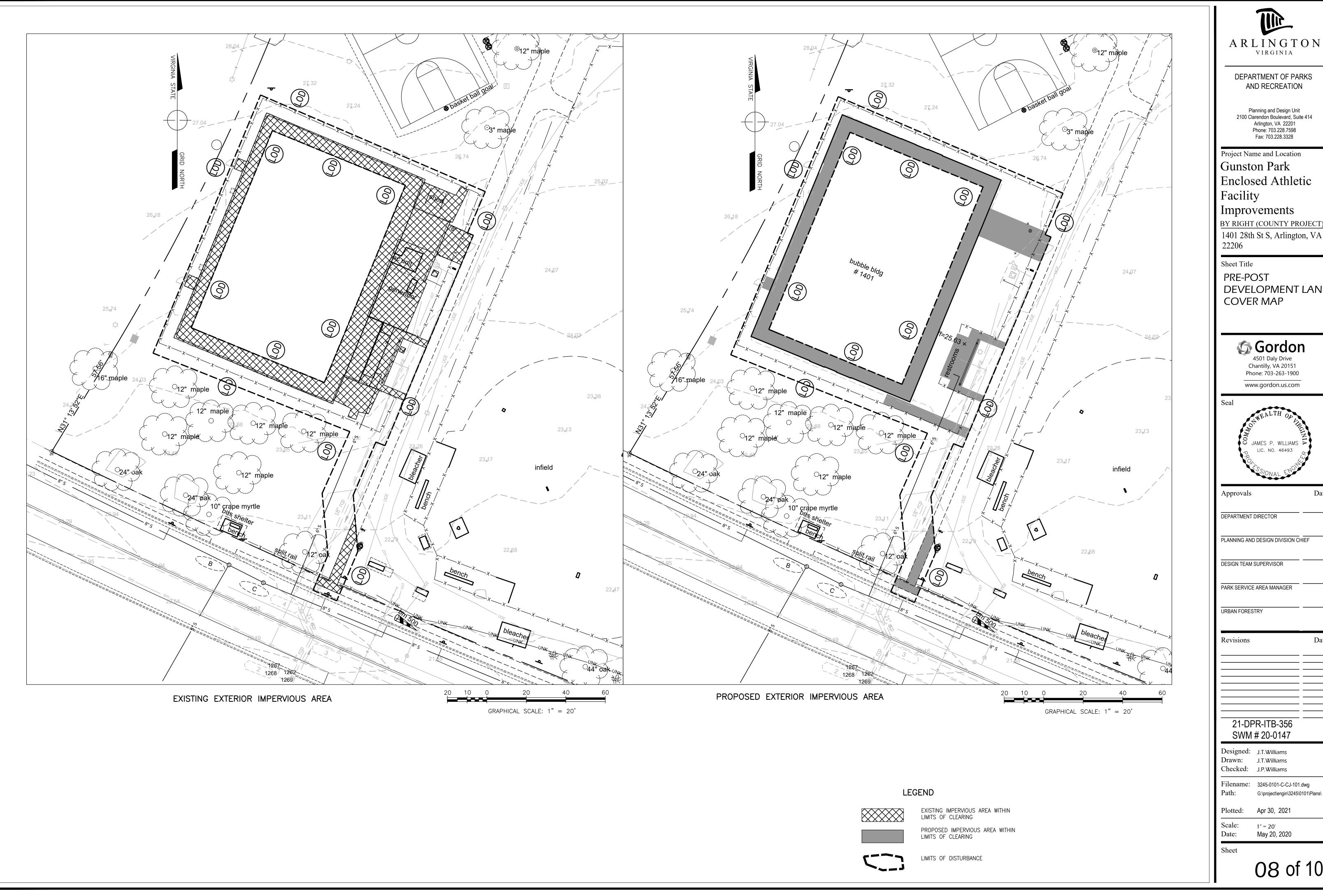
Filename: 3245-0101-C-GC-501.dwg G:\project\engin\3245\0101\Plans\

Plotted: Apr 30, 2021

N/A Scale: May 20, 2020 Date:

Sheet





Tim ARLINGTON

DEPARTMENT OF PARKS AND RECREATION

Planning and Design Unit 2100 Clarendon Boulevard, Suite 414 Arlington, VA 22201 Phone: 703.228.7598 Fax: 703.228.3328

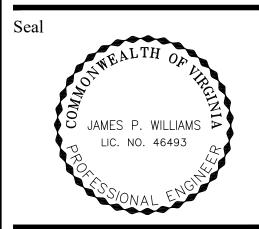
Project Name and Location Gunston Park Enclosed Athletic Facility Improvements

BY RIGHT (COUNTY PROJECT) 1401 28th St S, Arlington, VA

PRE-POST DEVELOPMENT LAND COVER MAP

Gordon
4501 Daly Drive
Chantilly, VA 20151

Phone: 703-263-1900 www.gordon.us.com



DEPARTMENT DIRECTOR

PLANNING AND DESIGN DIVISION CHIEF

DESIGN TEAM SUPERVISOR

PARK SERVICE AREA MANAGER

Revisions

21-DPR-ITB-356 SWM # 20-0147

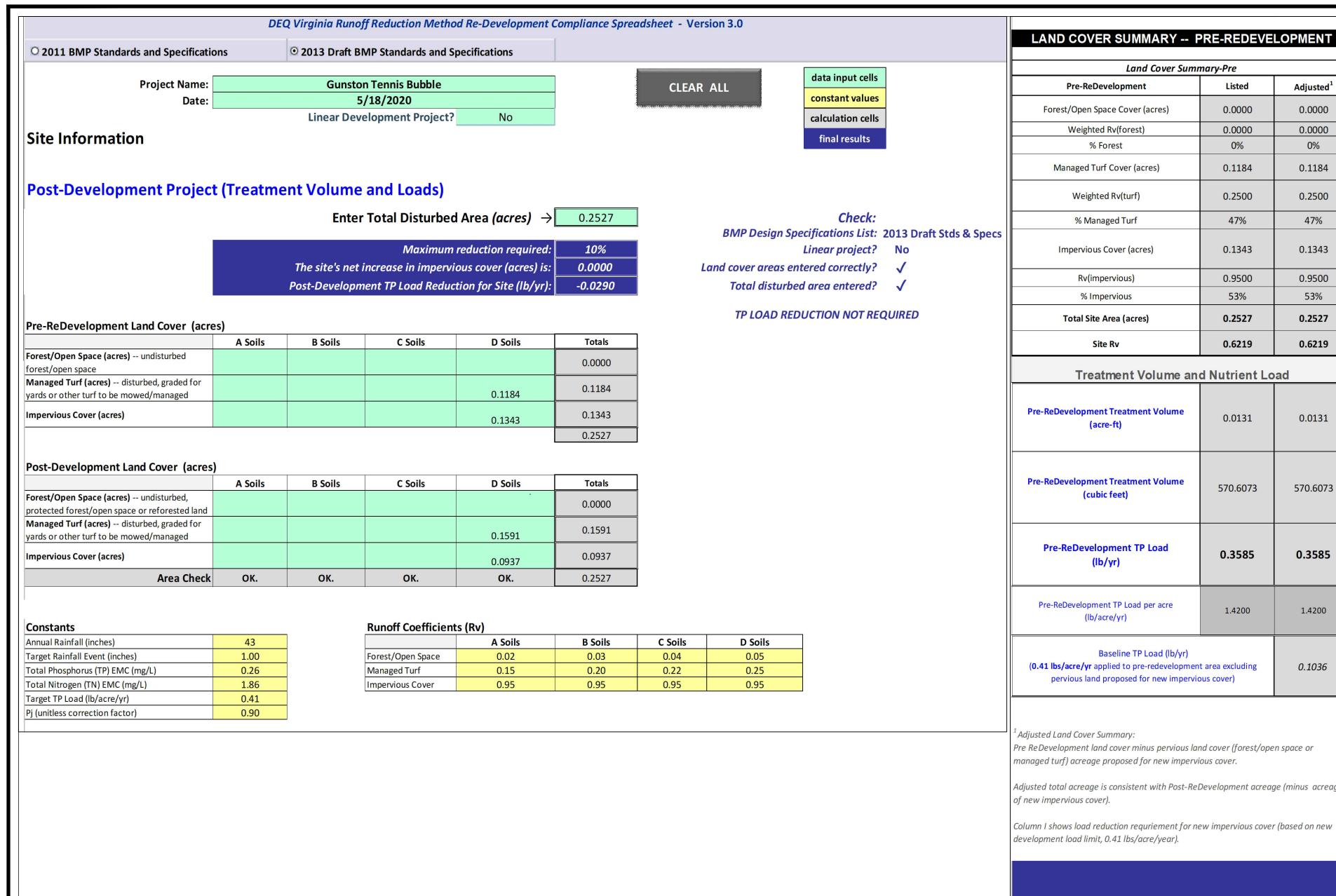
Designed: J.T.Williams Drawn: J.T.Williams

Filename: 3245-0101-C-CJ-101.dwg

Plotted: Apr 30, 2021 1" = 20'

08 of 10

May 20, 2020



Land Cover Summary-Pre					
Pre-ReDevelopment	Listed	Adjusted			
Forest/Open Space Cover (acres)	0.0000	0.0000			
Weighted Rv(forest)	0.0000	0.0000			
% Forest	0%	0%			
Managed Turf Cover (acres)	0.1184	0.1184			
Weighted Rv(turf)	0.2500	0.2500			
% Managed Turf	47%	47% 0.1343			
Impervious Cover (acres)	0.1343				
Rv(impervious)	0.9500	0.9500			
% Impervious	53%	53%			
Total Site Area (acres)	0.2527	0.2527			
Site Rv	0.6219	0.6219			
Treatment Volume an	d Nutrient Lo	ad			
Pre-ReDevelopment Treatment Volume (acre-ft)	0.0131	0.0131			
Pre-ReDevelopment Treatment Volume (cubic feet)	570.6073	570.6073 0.3585			
Pre-ReDevelopment TP Load (lb/yr)	0.3585				
Pre-ReDevelopment TP Load per acre (lb/acre/yr)	1.4200	1.4200			
Baseline TP Load (lb/yr) (0.41 lbs/acre/yr applied to pre-redevelopment pervious land proposed for new impervious land proposed for		0.1036			

Adjusted Land Cover Summary: Pre ReDevelopment land cover minus pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover. Adjusted total acreage is consistent with Post-ReDevelopment acreage (minus acreage of new impervious cover).

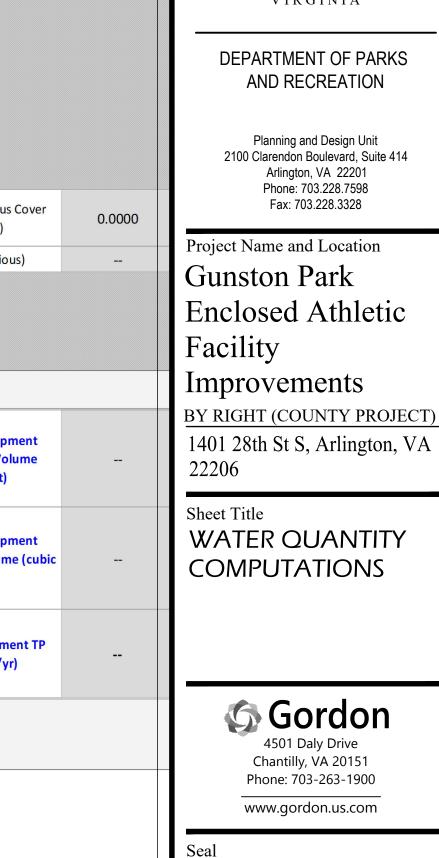
LAND COVER SUMMARY -- POST DEVELOPMENT Land Cover Summary-Post (Final) Land Cover Summary-Post Land Cover Summary-Post Post ReDev. & New Impervious Post-ReDevelopment **Post-Development New Impervious** Forest/Open Space Forest/Open Space 0.0000 0.0000 Cover (acres) Cover (acres) Weighted Rv(forest) 0.0000 0.0000 Weighted Rv(forest) 0% % Forest 0% % Forest Managed Turf Cover Managed Turf Cover 0.1591 0.1591 0.2500 0.2500 Weighted Rv (turf) Weighted Rv (turf) 63% % Managed Turf 63% % Managed Turf New Impervious Cover ReDev. Impervious 0.0937 0.0000 0.0937 npervious Cover (acres) Cover (acres) 0.9500 Rv(impervious) 0.9500 Rv(impervious) Rv(impervious) % Impervious 37% % Impervious 37% Total ReDev. Site Area Final Site Area (acres) 0.2527 0.2527 (acres) **Final Post Dev Site Rv** 0.5095 ReDev Site Rv 0.5095 Treatment Volume and Nutrient Load nal Post-Developr Post-ReDevelopment **Post-Development** 0.0107 0.0107 **Treatment Volume Treatment Volume** Treatment Volume (acre-ft) (acre-ft) (acre-ft) inal Post-Developmer Post-ReDevelopment Post-Development 467.4331 467.4331 **Treatment Volume Treatment Volume Treatment Volume (cubic** (cubic feet) (cubic feet) **Final Post-**Post-ReDevelopmer **Development TI** Post-Development TP 0.2937 0.2937 Load (TP) Load (lb/yr) (lb/yr) Post-ReDevelopment Ti Final Post-Development 1.1600 TP Load per acre Load per acre 1.1600 (lb/acre/yr) Max. Reduction (Below Pre-

TP Load Reduction

Required for

Redeveloped Area

Post-Development Requirement for Site Area



TP Load Reduction

Required for New

mpervious Area (lb/yr)

Tir

ARLINGTON

VIRGINIA

Arlington, VA 22201

Phone: 703.228.7598

Fax: 703.228.3328

4501 Daly Drive

JAMES P. WILLIAMS

LIC. NO. 46493

Approvals

DEPARTMENT DIRECTOR

DESIGN TEAM SUPERVISOR

PARK SERVICE AREA MANAGER

PLANNING AND DESIGN DIVISION CHIEF

TP Load Reduction Required (lb/yr) Nitrogen Loads (Informational Purposes Only) WATER QUALITY REQUIREMENT COMPUTATIONS Pre-ReDevelopment TN Load (lb/yr) 2.5647

WATER QUALITY NARRATIVE

THE SITE IS DEFINED BY THE TOTAL APPLICABLE AREA WITHIN THE LIMITS OF DISTURBANCE (LOD) OF 0.253 ACRES.

THE IMPERVIOUS AREA FOR THE EXISTING CONDITION IS 0.13 ACRES (53.1%) AND THE IMPERVIOUS AREA FOR THE PROPOSED CONDITION IS 0.09 ACRES (36.8%). THE COUNTY AND STATE WATER QUALITY REQUIREMENTS ARE MET BY THE REDUCTION IN IMPERVIOUS AREA. SEE THE VRRM SPREADSHEET RESULTS ON THIS PAGE.

WATER QUANTITY NARRATIVE

DUE TO THE OVERALL REDUCTION OF IMPERVIOUS AREA WITHIN THE LOD, WATER QUANTITY COMPLIANCE IS ACHIEVED BY A REDUCTION IN SHEET FLOW VOLUME. THE SITE GENERALLY DRAINS OVERLAND TO THE SOUTHEAST AND DOES NOT CONCENTRATE UNTIL OUTSIDE OF THE PROJECT LOD.

Final Post-Development TN Load (Post-ReDevelopment & New Impervious) 2.1010 (lb/yr)

TP LOAD REDUCTION NOT REQUIRED

URBAN FORESTRY Date 21-DPR-ITB-356 SWM # 20-0147

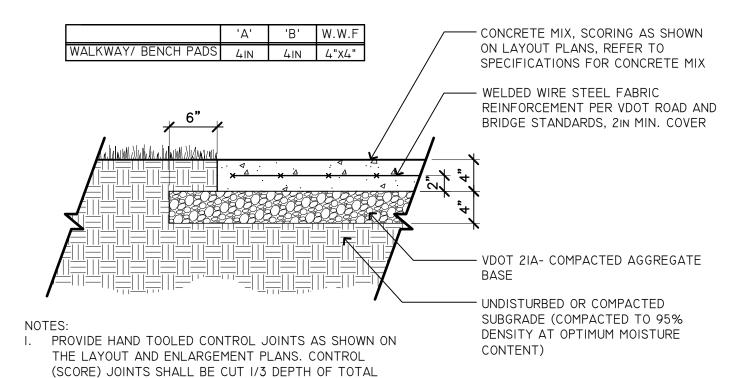
Designed: J.P.Williams J.T.Williams Drawn: Checked: J.P.Williams

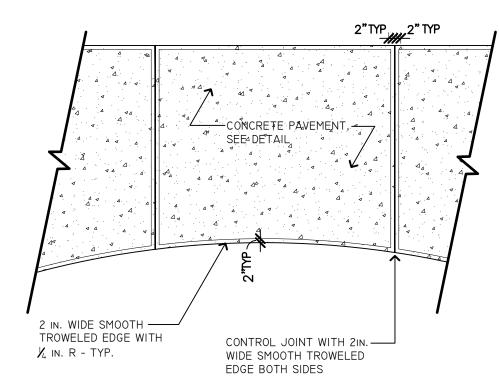
G:\project\engin\3245\0101\Plans\ Plotted: Apr 30, 2021

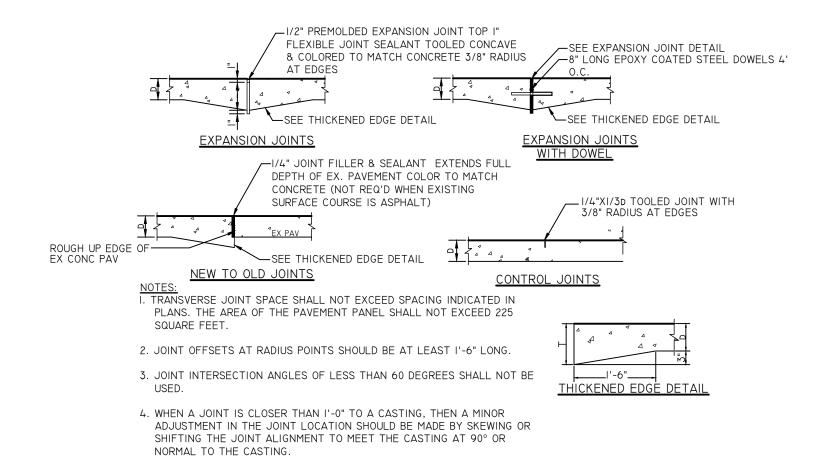
Filename: 3245-0101-C-CJ-110.dwg

Scale: May 20, 2020

Sheet







CONCRETE PAVING JOINT DETAILS

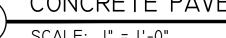
CONCRETE PAVEMENT

. REFER TO CONSTRUCTION DETAILS FOR LOCATIONS OF

3. FINISH IN ACCORDANCE WITH VDOT 404.07, SIDEWALK

4. ALL EXPANSION JOINTS TO BE DOWELED TO PREVENT

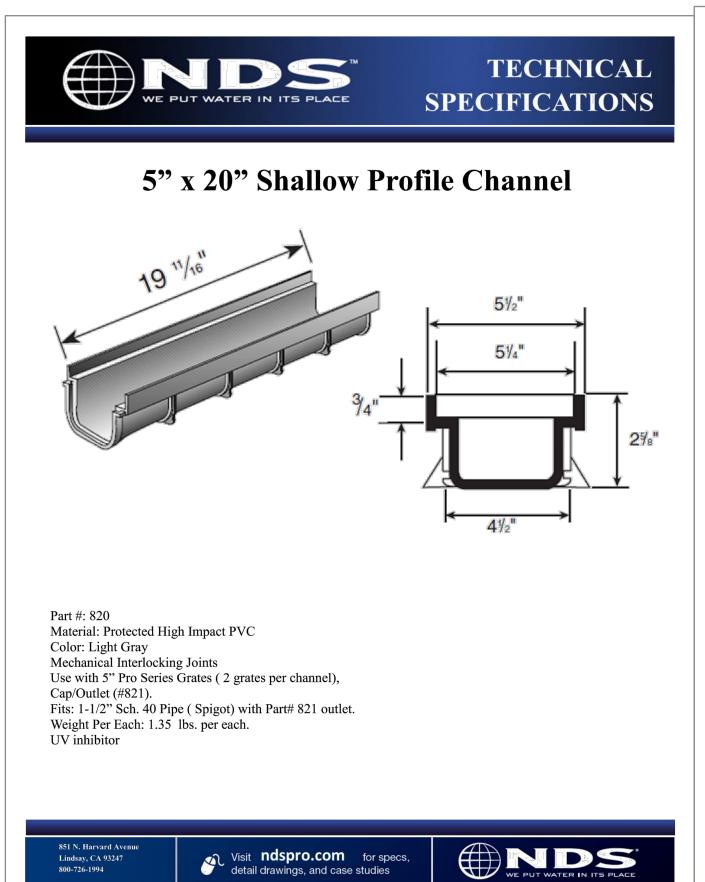
EXPANSION JOINTS. REFER TO SPECS FOR MATERIAL AND

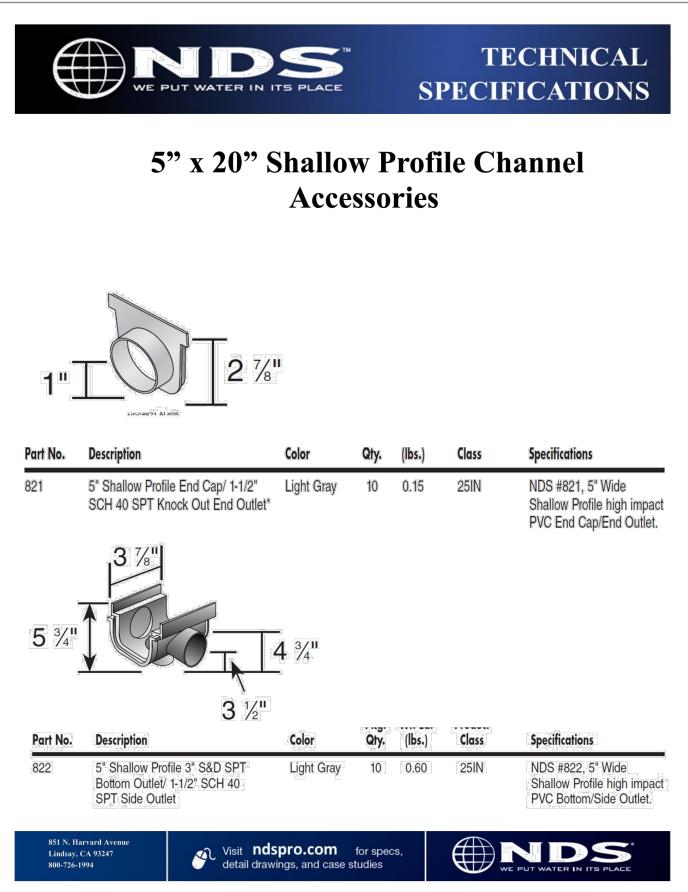


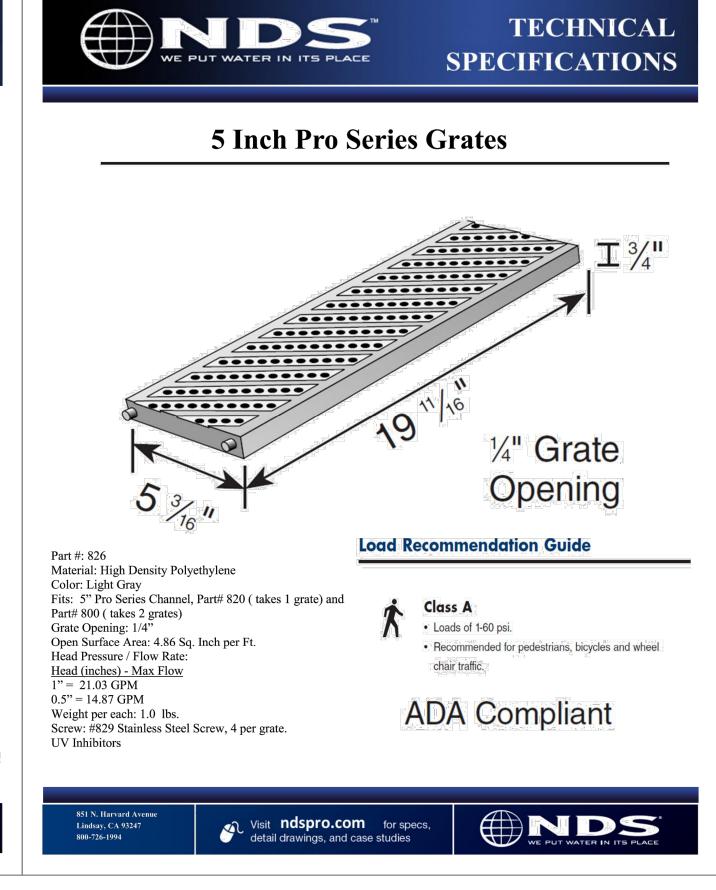
FUTURE DIFFERENTIAL SETTLEMENT.

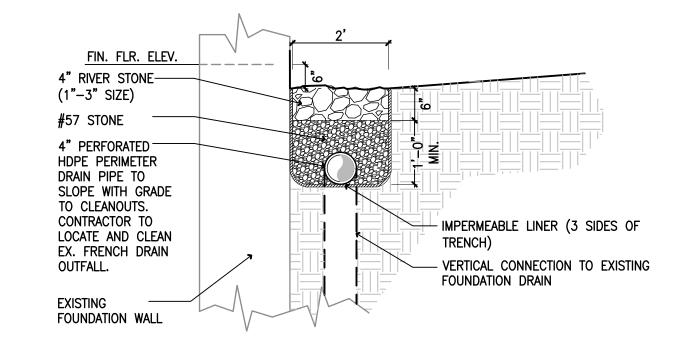
CONCRETE THICKNESS.

FINISH

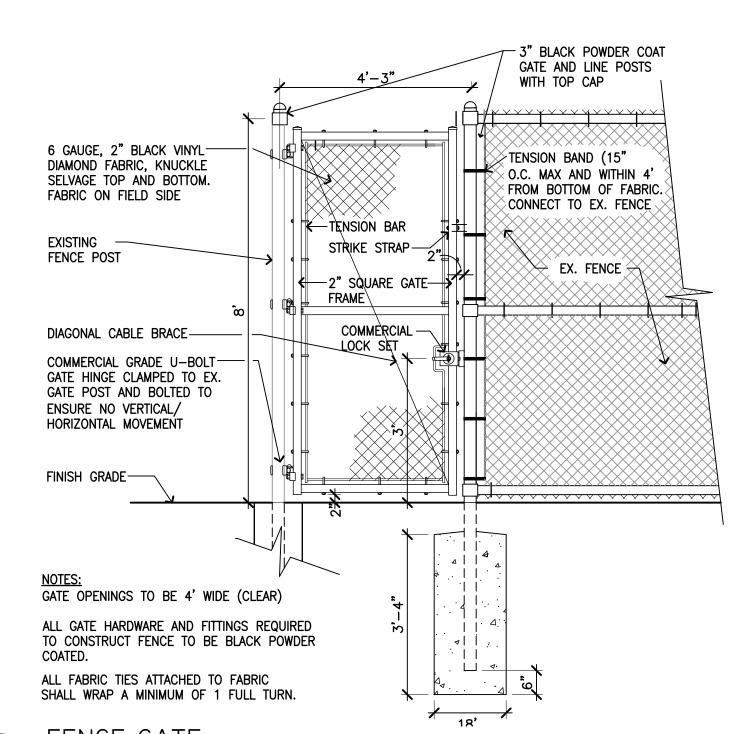














TRENCH DRAIN

SWM # 20-0147 Designed: J.T.Williams Drawn: J.T.Williams Checked: J.P.Williams

21-DPR-ITB-356

ARLINGTON

VIRGINIA

DEPARTMENT OF PARKS AND RECREATION

Planning and Design Unit

2100 Clarendon Boulevard, Suite 414

Arlington, VA 22201 Phone: 703.228.7598

Fax: 703.228.3328

Project Name and Location

Enclosed Athletic

BY RIGHT (COUNTY PROJECT)

1401 28th St S, Arlington, VA

4501 Daly Drive

Chantilly, VA 20151 Phone: 703-263-1900

www.gordon.us.com

JAMES P. WILLIAMS

LIC. NO. 46493

Date

Date

Gunston Park

Improvements

SITE DETAILS I

Facility

Sheet Title

Approvals

DEPARTMENT DIRECTOR

DESIGN TEAM SUPERVISOR

URBAN FORESTRY

Revisions

PARK SERVICE AREA MANAGER

PLANNING AND DESIGN DIVISION CHIEF

Filename: 3245-0101-L-DT-501.dwg G:\project\engin\3245\0101\Plans\

Plotted: Apr 30, 2021 Scale: AS NOTED

May 20, 2020 Sheet

Date: