

**Indian River County
Purchasing Division
1800 27th Street
Vero Beach, FL 32960
Phone (772) 226-1416**



ADDENDUM NO. 3

Date: **09/23/2021**

Project Name: **JACKIE ROBINSON TRAINING COMPLEX VILLAS REMODEL (IRC-1914A)**

Bid Number: **2022009**

Bid Opening Date: **Thursday, September 30, 2021 at 2:00 p.m.**

This addendum is released to provide answers to questions received to date, and to replace pages from the Plan Set as noted in "Attachments".

All information provided herein is hereby incorporated into the bid documents.

This addendum must be acknowledged where indicated on the bid form, or the bid will be declared non-responsive.

SUMMARY OF REVISIONS:

- Architectural plan sheets A-2 thru A-5: The bedroom windows in all of the suites are to remain. These were mis-labeled on plans to be replaced, therefore there will be no change in quantity.
- Sheet A-2 - Additional "r" call-outs have been added to room 107.
- Sheet A-4 – Shading has been added to Kitchen ceilings in rooms 150, 151, 153, and 154. Shading was also added to living room ceiling in room 161.
- Mechanical/Electrical Plans M-1 thru M-4; Trane PTAC unit specified in A/C Equipment schedule is no longer available and has been replaced with a GE PTAC unit, associated electrical notes have been revised.
- Itemized Bid Schedule; Item 1 expanded the description of Mobilization.
- Appendix C - Asbestos Survey Report: Page 4 of report under Drywall System (Texture) the word friable has been replaced with non-friable.

QUESTIONS:

QUESTION: I know that the contractor is responsible for the moving, storage and replacement of the existing furniture in the rooms, will we be able to use one of the larger meeting rooms to store this furniture and keep it in a climate-controlled atmosphere? If not, then will there be a location that we can designate to put climate-controlled units with electric available?

ANSWER: *We are not requiring a climate-controlled atmosphere for storage. Storage must be clean and dry, to protect contents from elements. Furnishing must be cleaned prior to placing back into finished Villa room.*

Attachments:

Revised Plan Set Sheets A-2 thru A-5 labeled "Addendum #3, dated 9/22/2021"

Revised Mechanical Plan Sheets ME-1 through ME-4 labeled "Addendum #3, dated 9/21/2021"

Page #4 of Asbestos Identification Survey (Appendix C) dated 7/19/2021

Itemized Bid Schedule "Addendum #3, dated 9/23/2021"

ITEMIZED BID SCHEDULE

PROJECT NAME: JACKIE ROBINSON TRAINING COMPLEX - VILLAS REMODEL

PROJECT NO. IRC-1914A

BID NO. 2022009

BIDDER'S NAME _____

Item No.	Description	Unit	Unit Price	Quantity	Amount
1	MOBILIZATION - FOR CONTRACTS OF 120 CONTRACT DAYS DURATION OR LESS, PARTIAL PAYMENT WILL BE MADE AT 50% OF THE BID PRICE PER MONTH FOR THE FIRST TWO MONTHS. FOR CONTRACTS IN EXCESS OF 120 CONTRACT DAYS DURATION, PARTIAL PAYMENT WILL BE MADE AT 25% OF THE BID PRICE PER MONTH FOR THE FIRST FOUR MONTHS. IN NO EVENT SHALL MORE THAN 50% OF THE BID PRICE BE PAID PRIOR TO COMMENCING CONSTRUCTION ON THE PROJECT SITE	LS		1	
2	PUBLIC CONSTRUCTION BOND	LS		1	
3	REMOVE CLEAN, AND REINSTALL EXISTING FURNITURE, PROVIDE STORAGE AS NECESSARY	LS		1	
4	325 SF VILLA ROOM REMODEL - WORK INCLUDES CLEANING OF ALL HARD SURFACES, REMOVAL OF CARPET AND TILE IN LIVING AREA, FURNISH AND INSTALL LVT FLOORING, REMOVE AND REPLACE ANY MOLD OR WATER DAMAGED DRYWALL CEILINGS AND WALLS, AS INDICATED ON PLANS, PAINTING OF ALL WALLS, AND TEXTURING OF MAIN AREA CEILING	EA		2	
5	400 SF VILLA ROOM REMODEL - WORK INCLUDES CLEANING OF ALL HARD SURFACES, REMOVAL OF CARPET AND TILE IN LIVING AREA, FURNISH AND INSTALL LVT FLOORING, CUT EXISTING BULKHEADS DOWN TO 8" BELOW CEILING, REMOVE AND REPLACE ANY MOLD OR WATER DAMAGED DRYWALL CEILINGS AND WALLS, AS INDICATED ON PLANS, PAINTING OF ALL WALLS, AND TEXTURING OF MAIN AREA CEILING	EA		48	
6	620 SF VILLA SUITE REMODEL - WORK INCLUDES CLEANING OF ALL HARD SURFACES, REMOVAL OF CARPET AND TILE IN LIVING AREA AND BEDROOM, FURNISH AND INSTALL LVT FLOORING, CUT EXISTING BULKHEADS DOWN TO 8" BELOW CEILING, REMOVE AND REPLACE ANY MOLD OR WATER DAMAGED DRYWALL CEILINGS AND WALLS, AS INDICATED ON PLANS, PAINTING OF ALL WALLS, AND TEXTURING OF MAIN LIVING AREA AND BEDROOM CEILING	EA		7	
7	WINDOWS 6'-2" X 4'-0"	EA		90	
8	EXHAUST FAN	EA		52	
9	EXTERIOR DOOR WEATHER STRIPPING	EA		57	
10	REPAIR CRACKED AND SPALLED STUCCO AT DOOR THRESHOLDS	EA		20	
11	REPAIR RUSTED TAPCON SCREWS IN EXTERIOR DOOR FRAMES	PR		50	
12	REPLACE RUSTED FASTENERS AT DOOR CLOSERS WITH STAINLESS STEEL HARDWARE	EA		10	
13	INSULATION BAFFLES	EA		667	
14	SOFFIT VENTS	EA		667	

ITEMIZED BID SCHEDULE**PROJECT NAME: JACKIE ROBINSON TRAINING COMPLEX - VILLAS REMODEL****PROJECT NO. IRC-1914A****BID NO. 2022009****BIDDER'S NAME** _____

Item No.	Description	Unit	Unit Price	Quantity	Amount
15	ATTIC ACCESS HATCH	EA		55	
16	ABANDONED A/C DUCT WORK (REMOVE)	PR		44	
17	BLOWN IN INSULATION (R-27) IN ALL VILLA BUILDINGS	LS		1	
18	REMOVE A/C REGISTERS AND PATCH CEILING	EA		110	
19	REMOVE EXISTING T-111 SIDING FROM BELOW FRONT WINDOW, INSTALL INSULATION AND PROVIDE NEW VAPOR BARRIER	EA		87	
20	RECUALK EXISTING BATHROOM WINDOWS	EA		87	
21	REPAIR SPALLED STUCCO AND CONCRETE AT THRESHOLD	EA		20	
JRTC VILLAS REMODEL			SUB-TOTAL		
FORCE ACCOUNT					\$300,000.00
TOTAL BID AMOUNT (INCLUDING FORCE ACCOUNT)			TOTAL		

TOTAL PROJECT BID AMOUNT IN WORD _____

SF = Square Foot LS = Lump Sum EA = Each PR = Per Room

ALTERNATE "A" ASBESTOS ABATEMENT

Item No.	Description	Unit	Unit Price	Quantity	Amount
1A	REMOVE ASBESTOS CONTAINING POPCORN CEILING - 325 SF ROOM	PR		10	
2A	REMOVE ASBESTOS CONTAINING POPCORN CEILING - 400 SF ROOM	PR		67	
3A	REMOVE ASBESTOS CONTAINING POPCORN CEILING - 620 SF ROOM	PR		10	
SUB-TOTAL					
TOTAL OPTIONAL/ALTERNATE BID					

ALTERNATE "B" ASBESTOS ENCAPSULATION

Item No.	Description	Unit	Unit Price	Quantity	Amount
1A	APPLY SPECIAL PAINT TO ENCAPSULATE ASBESTOS CONTAINING POPCORN CEILING - 325 SF ROOM	PR		10	
2A	APPLY SPECIAL PAINT TO ENCAPSULATE ASBESTOS ASBESTOS CONTAINING POPCORN CEILING - 400 SF ROOM	PR		67	
3A	APPLY SPECIAL PAINT TO ENCAPSULATE ASBESTOSASBESTOS CONTAINING POPCORN CEILING - 620 SF ROOM	PR		10	
SUB-TOTAL					
TOTAL OPTIONAL/ALTERNATE BID					

ITEMIZED BID SCHEDULE**PROJECT NAME: JACKIE ROBINSON TRAINING COMPLEX - VILLAS REMODEL****PROJECT NO. IRC-1914A****BID NO. 2022009****BIDDER'S NAME** _____**ALTERNATE "C" ASBESTOS ENCAPSULATION**

Item No.	Description	Unit	Unit Price	Quantity	Amount
1A	COVER POPCORN CEILING WITH 1/4" THICK GYPSUM BOARD AND APPLY TEXTURE - 325 SF ROOM	PR		10	
2A	COVER POPCORN CEILING WITH 1/4" THICK GYPSUM BOARD AND APPLY TEXTURE - 400 SF ROOM	PR		67	
3A	COVER POPCORN CEILING WITH 1/4" THICK GYPSUM BOARD AND APPLY TEXTURE - 620 SF ROOM	PR		10	
SUB-TOTAL					
TOTAL OPTIONAL/ALTERNATE BID					

ALTERNATE "D" A/C CHANGE OUT

Item No.	Description	Unit	Unit Price	Quantity	Amount
1A	REMOVE EXISTING MINI-SPLIT A/C SYSTEM	EA		57	
2A	PATCH WALL AS REQUIRED BY A/C REMOVAL	LS		1	
3A	INSTALL PTAC A/C UNITS BELOW FRONT WINDOW	EA		57	
4A	INSTALL ELECTRIC FOR NEW PTAC (PACKAGED TERMINAL AIR CONDITIONER) UNITS	EA		57	
SUB-TOTAL					
TOTAL OPTIONAL/ALTERNATE BID					

NOTE: IF THERE IS A DISCREPANCY BETWEEN THE PLANS (SUMMARY OF PAY ITEMS) AND THE ITEMIZED BID SCHEDULE. THE BID SCHEDULE WILL BE UTILIZED FOR BIDDING PURPOSES.

I. INTRODUCTION/SURVEY RESULTS

Gaudet Associates, Inc., a licensed Florida Asbestos Business (ZA#0000011), was retained to perform a pre-renovation asbestos material identification survey for Jackie Robinson Training Complex Villas at 4007 26th Street in Vero Beach, FL.

The survey encompassed the interiors of eleven units. The Villas are single story and are constructed of concrete block on a concrete slab. The interior of the Villas are popcorn ceilings, drywall system, ceramic tile, carpet and vinyl tile. All materials appear to be homogenous throughout all Villas. The Villas are slated to be renovated.

No samples were collected of the roof system.

Gaudet Associates, Inc. scheduled an EPA Certified Building Inspector, Mr. Michael McGovern to perform the survey on July 12, 2021. The purpose of the survey was to identify, bulk sample and quantify suspect asbestos containing building materials in those areas accessible to the inspector. The inspector collected a total of thirty-eight (38) samples. These samples were analyzed by a National Voluntary Laboratory Accreditation Program (NVLAP) accredited laboratory using Polarized Light Microscopy (PLM).

The Environmental Protection Agency's (EPA) definition of an asbestos-containing material is one that is greater than one (1%) percent asbestos. **Eleven (11) of the samples collected proved positive to asbestos content.**

Materials that are assumed to be asbestos-containing:

<u>Material</u>	<u>Location</u>	<u>Approx. Quantity</u>
Drywall System	Throughout Villas	60,000 Sq. Ft.
Popcorn Ceilings	Throughout Villas	34,564 Sq. Ft.

Drywall System (Texture)

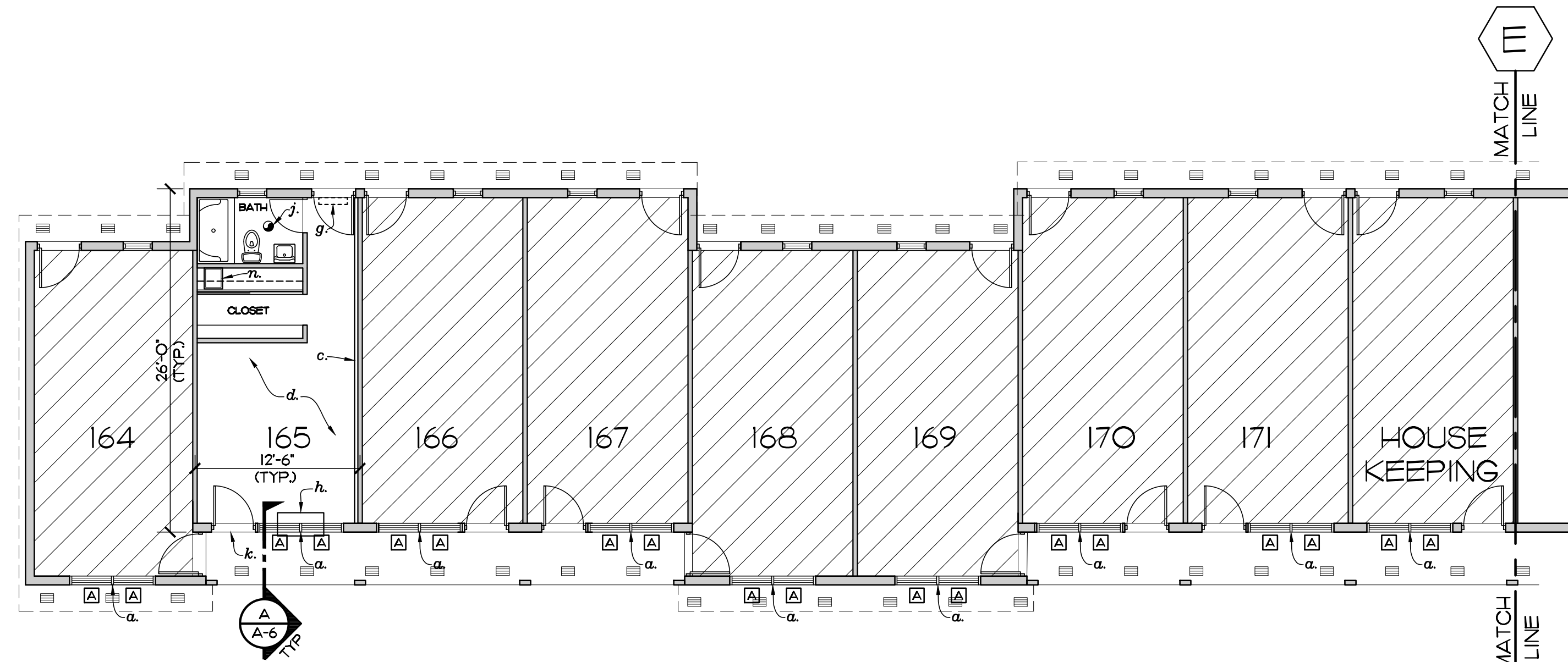
The drywall system (texture) contains two (2%) percent Chrysotile asbestos and is **non-friable** in its present state. This material is located throughout the Villas.

Popcorn Ceilings

The popcorn ceilings contain three to five (3-5%) percent Chrysotile asbestos and is friable. This material is located throughout the Villas.

RECOMMENDATIONS

Gaudet Associates, Inc. recommends that if the drywall system texture and popcorn ceilings are to be disturbed during renovation activities, these materials must be removed by a Florida licensed Asbestos Abatement Contractor under the direction of a Florida Licensed Asbestos Consultants. All work shall be performed in accordance with all Local, State and Federal regulations.



FLOOR PLAN (UNIT 165)
SCALE: 1/8" = 1'-0"
NO WORK: UNITS 164, 166-171

DESCRIPTION OF WORK:

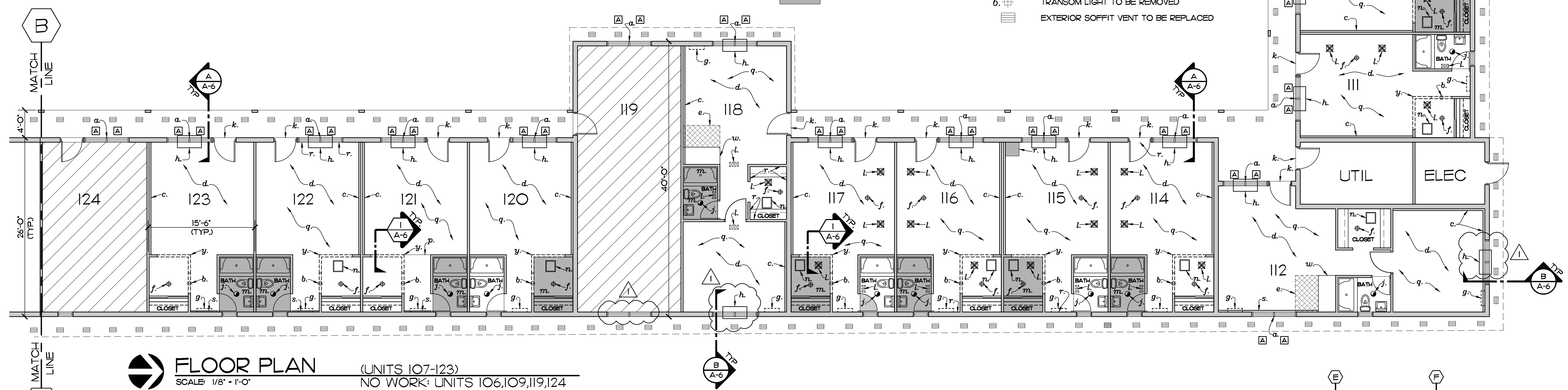
- a. REMOVE AND REPLACE WINDOW, SEE WINDOW SCHEDULE SHEET A-6
- b. REMOVE TRANSOM LIGHTS IN HEADER
- c. PANELING TO REMAIN, PAINT WITH SW 7067 CITYSCAPE
- d. REMOVE/REPLACE CARPET WITH LVT FLOORING THROUGHOUT (SURFACE WORK-FOSSIL GREY, AQ352-9)
- e. REMOVE TILE FLOORING, REPLACE WITH LVT FLOORING
- f. LIGHT TO REMAIN
- g. ALTERNATE I: REMOVE EXISTING A/C UNIT PATCH AND PAINT DRYWALL
- h. ALTERNATE II: PROVIDE NEW PTAC UNIT. SEE MECHANICAL
- j. NEW EXHAUST FAN, SEE SHEET ME-1
- k. DOOR STEP TO BE REPAIRED AND REPAINTED, PROVIDE NEW DOOR WEATHER STRIPPING
- l. CEILING SUPPLY OR RETURN AIR GRILLE TO BE REMOVED, PATCH HOLE WITH 1/2" GYP BD. PAINT, MATCH EXISTING
- m. REMOVE EXISTING DRYWALL CEILING AND REPLACE WITH 1/2" GYPSUM BD. PAINT, MATCH EXISTING
- n. REMOVE AND REPLACE EXISTING ACCESS PANEL WITH NYSTROM INSULATED FIRE RATED ACCESS PANEL
- p. REMOVE VCT FLOORING, REPLACE WITH LVT FLOORING
- q. PAINT ALL CEILINGS WHERE NOTED AND A/C GRILLES HAVE BEEN REMOVED, MATCH EXISTING
- r. REPLACE DRYWALL WHERE NOTED
- s. PANELING TO REMAIN, REPLACE AS NEEDED IF DAMAGED FROM A/C REMOVAL, MATCH EXISTING, PAINT WITH SW 7661 REFLECTION
- t. CLEAN EXISTING BLOCK WALL, PAINT WITH SW7661, REF. UNITS 133/136 SHEET A-3 ONLY (NONE ON THIS SHEET)
- u. EXISTING EXHAUST FAN TO REMAIN, UNIT 134-136 SHEET A-3 UNIT 102 SHEET A-5
- w. EXISTING COUNTERTOP TO REMAIN
- y. EXISTING HEADERS TO BE REMOVED, AND REPLACED WITH HIGHER HEADER SEE DETAIL I/A-5

GENERAL NOTES:

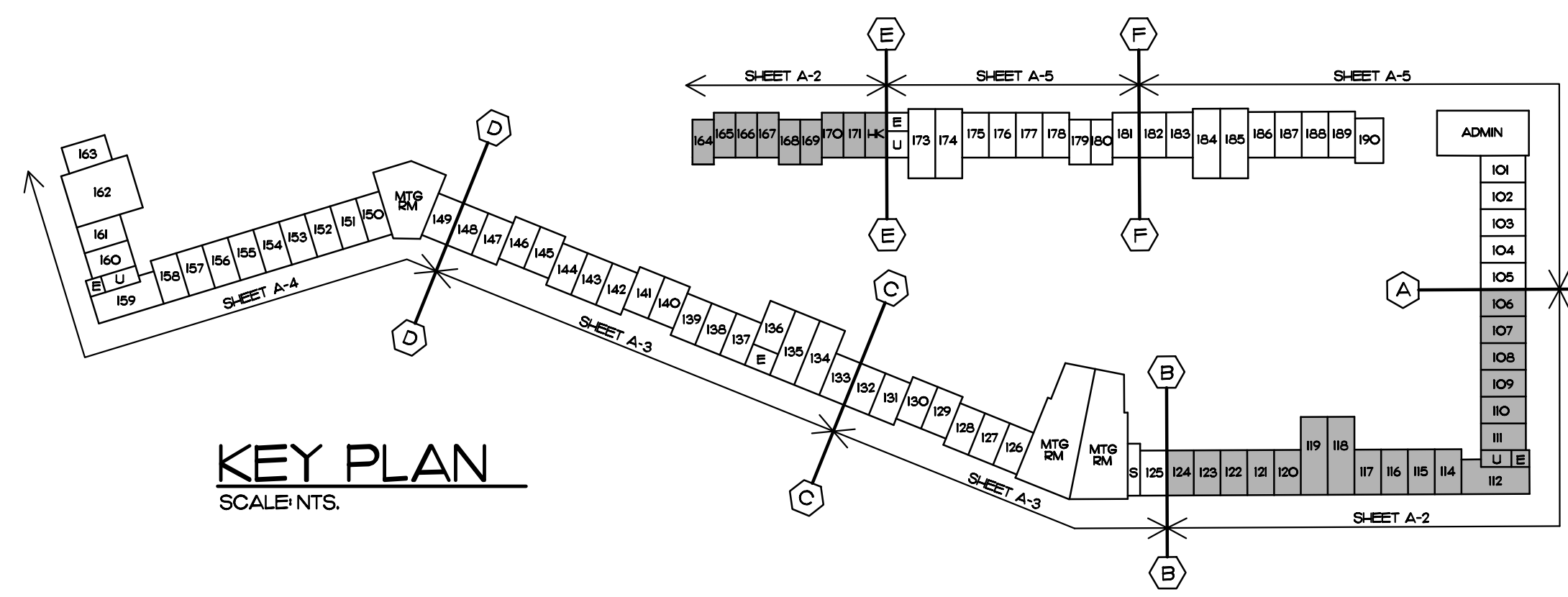
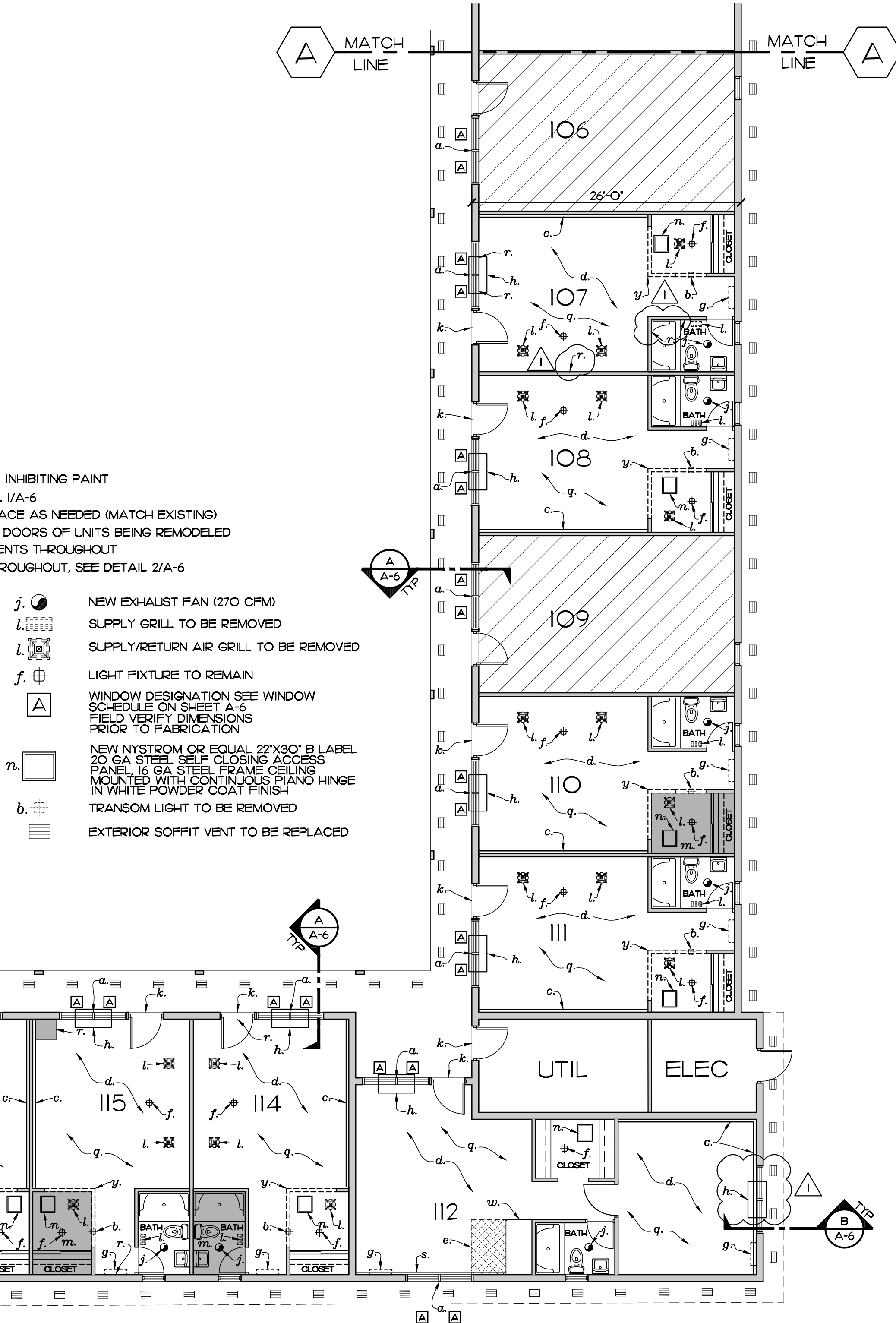
1. PAINT ALL WALLS THROUGHOUT WITH MOLD INHIBITING PAINT
2. SHORTEN HEADERS TO 8" DEEP, SEE DETAIL I/A-6
3. PAINT ALL WOOD BASE THROUGHOUT/REPLACE AS NEEDED (MATCH EXISTING)
4. REPLACE WEATHER STRIPPING ON ALL EXT. DOORS OF UNITS BEING REMODELED
5. REMOVE/REPLACE ALL EXTERIOR SOFFIT VENTS THROUGHOUT
6. PROVIDE INSULATION BAFFLES AT EAVE THROUGHOUT, SEE DETAIL 2/A-6

LEGEND

- EXISTING WALLS
- NO WORK IN THIS AREA (EXCEPT WINDOWS)
- REMOVE EXISTING TILE FLOOR/VCT FOR LVT SPEC
- EXISTING A/C UNIT TO BE REMOVED
- REMOVE DRYWALL CEILING AND REPLACE WITH 1/2" GYP BD. PAINT
- NEW EXHAUST FAN (270 CFM)
- SUPPLY GRILLE TO BE REMOVED
- SUPPLY/RETURN AIR GRILLE TO BE REMOVED
- LIGHT FIXTURE TO REMAIN
- WINDOW DESIGNATION SEE WINDOW SCHEDULE ON SHEET A-6
- FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION
- NEW NYSTROM OR EQUAL 22"x30" B LABEL 20 GA STEEL SELF CLOSING ACCESS PANEL, 16 GA STEEL FRAME CEILING MOUNTED WITH CONTINUOUS PLANO HINGE IN WHITE POWDER COAT FINISH
- TRANSOM LIGHT TO BE REMOVED
- EXTERIOR SOFFIT VENT TO BE REPLACED

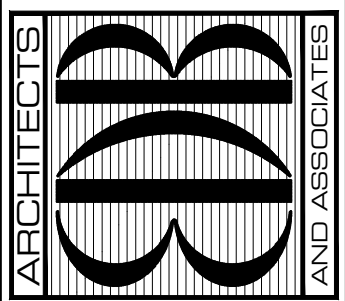


FLOOR PLAN (UNITS 107-123)
SCALE: 1/8" = 1'-0"
NO WORK: UNITS 106, 109, 119, 124



KEY PLAN
SCALE: N.T.S.

EDLUND · DRITENBAS · BINKLEY
ARCHITECTS AND ASSOCIATES, P.A.
AR-AA 000086
65 ROYAL PALM POINTE, SUITE "D"
VERO BEACH, FLORIDA 32960
PHONE: (772) 569-4320



SEAL:

PROJECT: JACKIE ROBINSON TRAINING
COMPLEX-VILLAS REMODEL
INDIAN RIVER COUNTY
127C VILLAS
3501 26TH ST VERO BEACH, FL 32960

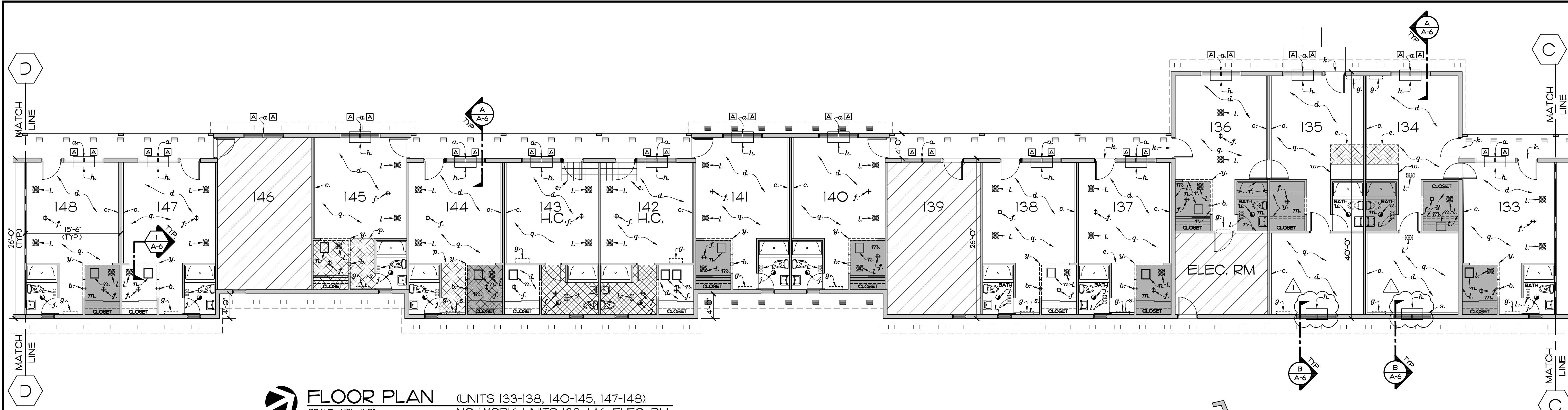
FOR:

NO.	DATE	REVISIONS
1	22SEPT21	REVISIONS PER ADDENDUM #5

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COMM. NO: 100220VB
DATE: AUGUST 24, 2021
BY: LJD
CHK'D: JFB

SHEET NO.
A-2
OF SIX



FLOOR PLAN (UNITS 133-138, 140-145, 147-148)
SCALE: 1/8" = 1'-0"
NO WORK: UNITS 139, 146, ELEC. RM

DESCRIPTION OF WORK:

- a. REMOVE AND REPLACE WINDOW, SEE WINDOW SCHEDULE SHEET A-6
- b. REMOVE TRANSOM LIGHTS IN HEADER
- c. PANELING TO REMAIN, PAINT WITH SW 7067 CITYSCAPE
- d. REMOVE/REPLACE CARPET WITH LVT FLOORING THROUGHOUT (SURFACE WORX-FOSSIL GREY, AQ352-9)
- e. REMOVE TILE FLOORING, REPLACE WITH LVT FLOORING
- f. LIGHT TO REMAIN
- g. ALTERNATE 1: REMOVE EXISTING A/C UNIT PATCH AND PAINT DRYWALL
- h. ALTERNATE 1: PROVIDE NEW PTAC UNIT; SEE MECHANICAL
- j. NEW EXHAUST FAN, SEE SHEET ME-1
- k. DOOR STEP TO BE REPAIRED AND REPAINTED, PROVIDE NEW DOOR WEATHER STRIPPING
- l. CEILING SUPPLY OR RETURN AIR GRILLE TO BE REMOVED, PATCH HOLE WITH 1/2" GYP BD, PAINT

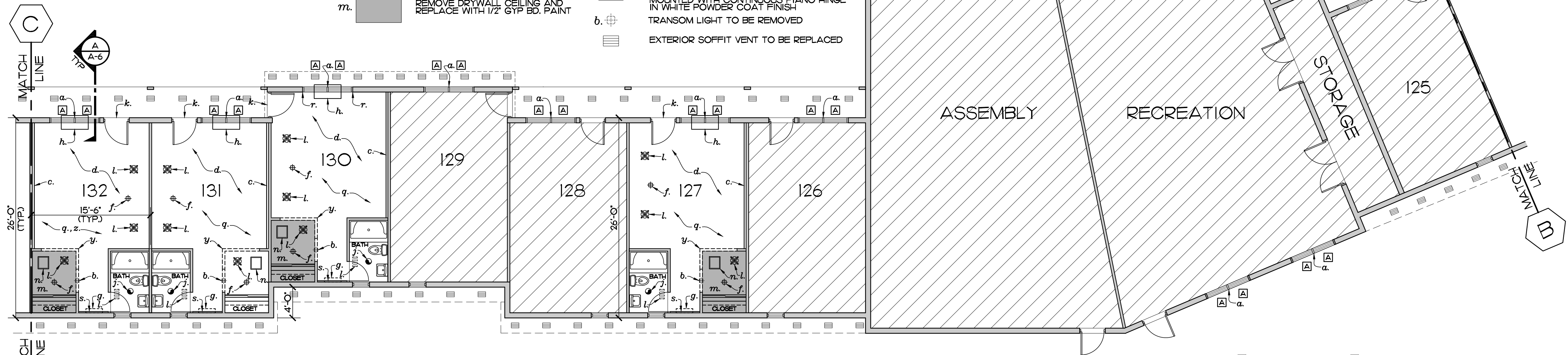
- m. REMOVE EXISTING DRYWALL CEILING AND REPLACE WITH 1/2" GYPSUM BD, PAINT, MATCH EXISTING
- n. REMOVE AND REPLACE EXISTING ACCESS PANEL WITH NYSTRUM INSULATED FIRE RATED ACCESS PANEL
- p. REMOVE VCT FLOORING, REPLACE WITH LVT FLOORING
- q. PAINT ALL CEILINGS WHERE NOTED AND A/C GRILLES HAVE BEEN REMOVED, MATCH EXISTING
- r. REPLACE DRYWALL WHERE NOTED
- s. PANELING TO REMAIN, REPLACE AS NEEDED IF DAMAGED FROM A/C REMOVAL, MATCH EXISTING, PAINT WITH SW 7661 REFLECTION
- t. CLEAN EXISTING BLOCK WALL, PAINT WITH SW7661, REF. UNITS 133/136 SHEET A-3 ONLY
- u. EXISTING EXHAUST FAN TO REMAIN, UNIT 134-136 SHEET A-3 UNIT 102 SHEET A-5
- w. EXISTING COUNTERTOP TO REMAIN
- y. EXISTING HEADERS TO BE REMOVED, AND REPLACED W/HIGHER HEADER SEE DETAIL 1/A-6

GENERAL NOTES:

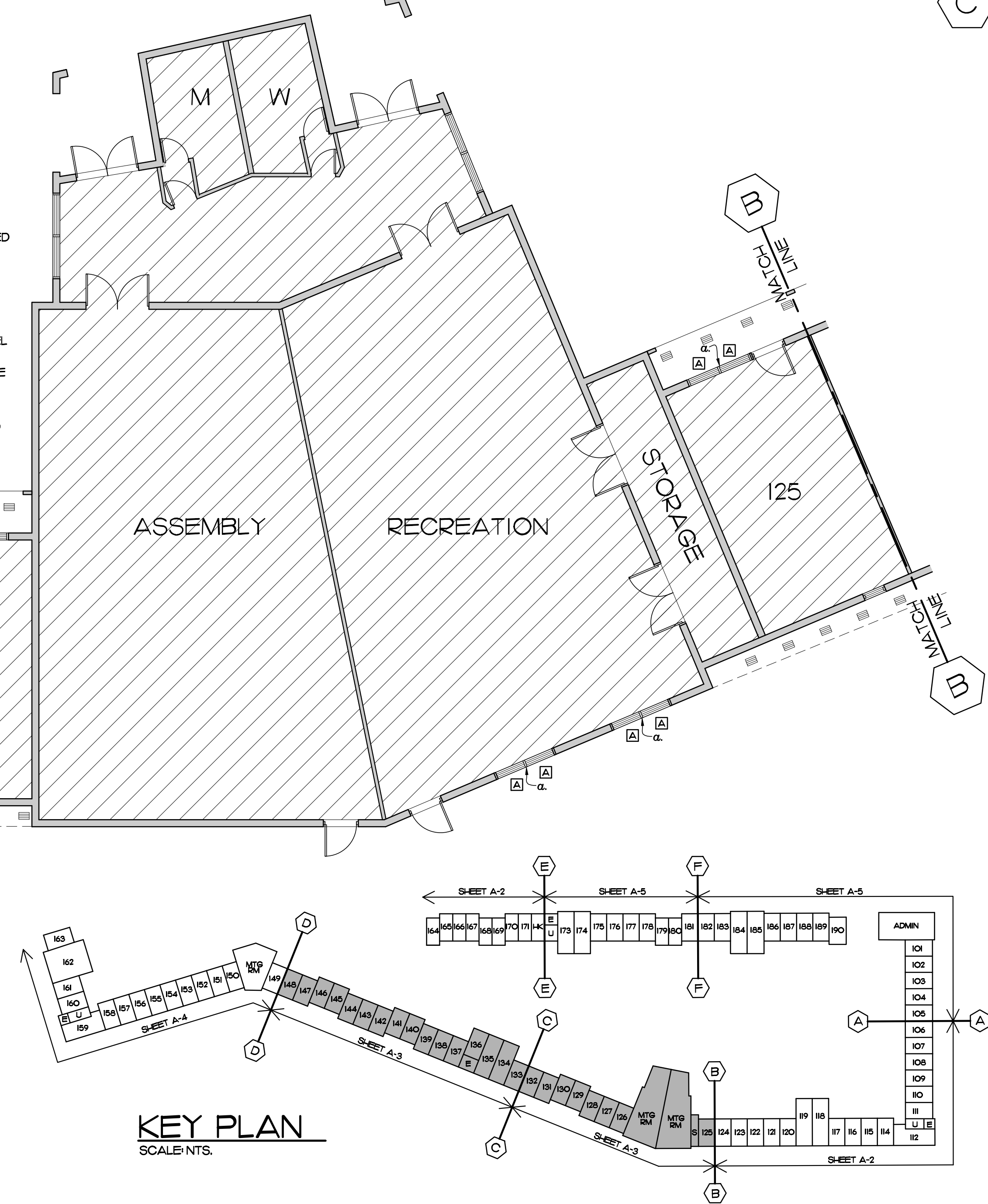
1. PAINT ALL WALLS THROUGHOUT WITH MOLD INHIBITING PAINT
2. SHORTEN HEADERS TO 8" DEEP, SEE DETAIL 1/A-6
3. PAINT ALL WOOD BASE THROUGHOUT/REPLACE AS NEEDED (MATCH EXISTING)
4. REPLACE WEATHER STRIPPING ON ALL EXT. DOORS OF UNITS BEING REMODELED
5. REMOVE/REPLACE ALL EXTERIOR SOFFIT VENTS THROUGHOUT
6. PROVIDE INSULATION BAFFLES AT EAVE THROUGHOUT, SEE DETAIL 2/A-6

LEGEND

- EXISTING WALLS
- NO WORK IN THIS AREA (EXCEPT WINDOWS)
- REMOVE EXISTING TILE FLOOR/VCT REPLACE WITH LVT, SEE NOTE 'd' FOR LVT SPEC
- EXISTING A/C UNIT TO BE REMOVED
- REMOVE DRYWALL CEILING AND REPLACE WITH 1/2" GYP BD, PAINT
- NEW EXHAUST FAN (270 CFM)
- SUPPLY GRILL TO BE REMOVED
- SUPPLY/RETURN AIR GRILL TO BE REMOVED
- LIGHT FIXTURE TO REMAIN
- WINDOW DESIGNATION SEE WINDOW SCHEDULE ON SHEET A-6 FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION
- NEW NYSTRUM OR EQUAL 22"x30" B LABEL 20 GA STEEL SELF CLOSING ACCESS PANEL, 16 GA STEEL FRAME CEILING MOUNTED WITH CONTINUOUS PIANO HINGE IN WHITE POWDER COAT FINISH
- TRANSOM LIGHT TO BE REMOVED
- EXTERIOR SOFFIT VENT TO BE REPLACED

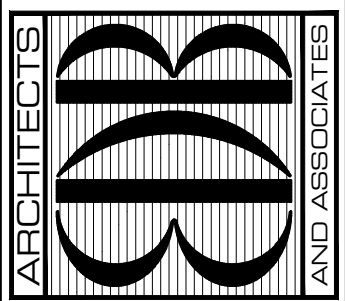


FLOOR PLAN (UNITS 127, 130-132)
SCALE: 1/8" = 1'-0"
NO WORK: UNITS 125, 126, 128-129 RECREATION, ASSEMBLY, STORAGE



KEY PLAN
SCALE: N.T.S.

EDLUND · DRITENBAS · BINKLEY
ARCHITECTS AND ASSOCIATES, P.A.
AR-AA 000086
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VERO BEACH, FLORIDA 32960
PHONE: (772) 569-4320



SEAL:

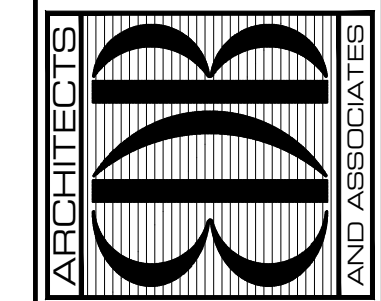
PROJECT: JACKIE ROBINSON TRAINING
COMPLEX-VILLAS REMODEL
INDIAN RIVER COUNTY
187C VILLAS
3901 26TH ST VERO BEACH, FL 32960

NO.	DATE	REVISIONS
1	23SEP22	REVISIONS PER ADDENDUM #3

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COMM. NO: 100220VB
DATE: AUGUST 24, 2021
BY: LJD
CHK'D: JFB

SHEET NO.
A-3
OF SIX



SEAL:

PROJECT: JACKIE ROBINSON TRAINING
COMPLEX-VILLAS REMODEL

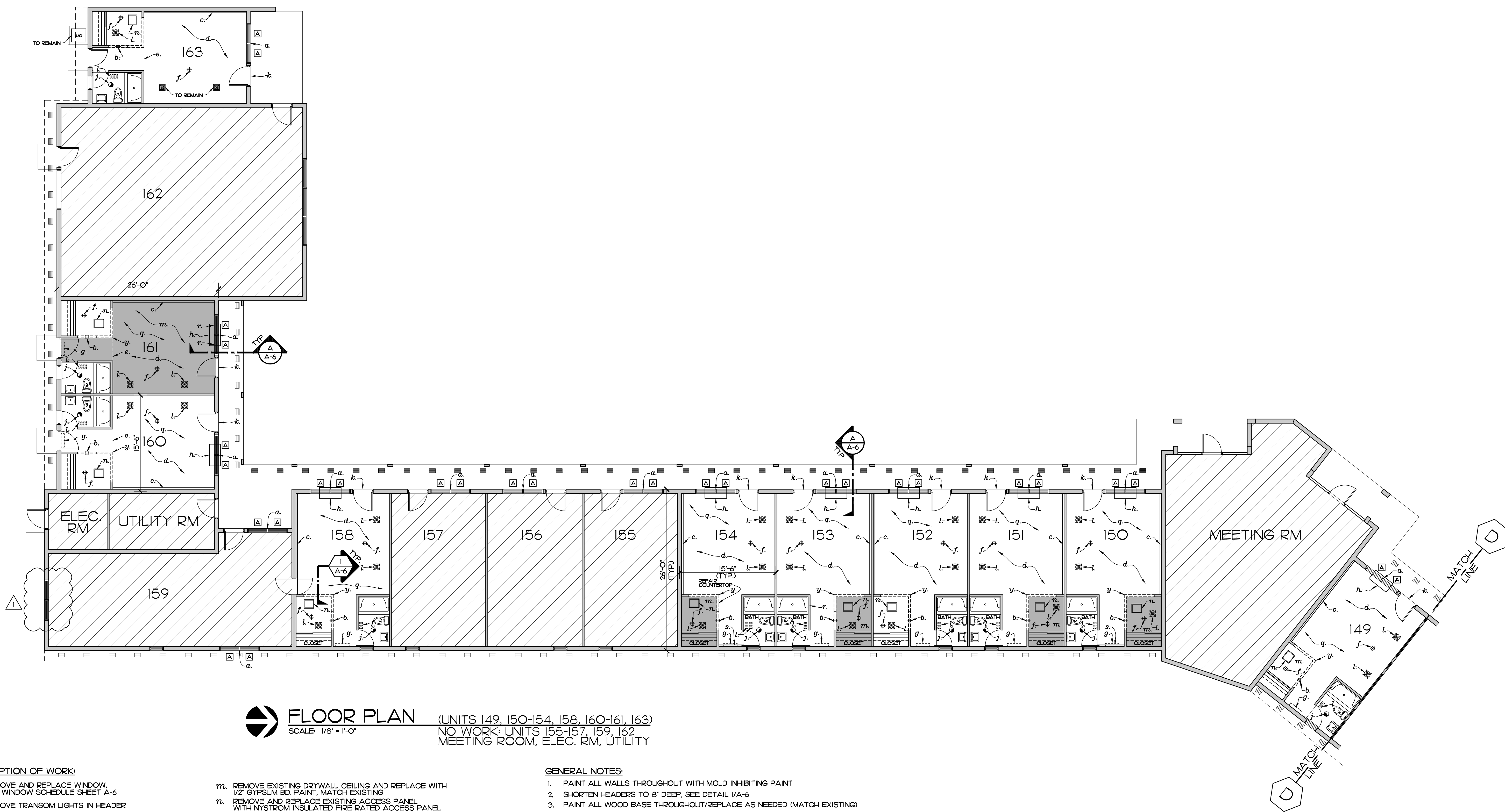
FOR: INDIAN RIVER COUNTY
127C VILLAS
3901 26TH ST VERO BEACH, FL 32960

NO.	DATE	REVISIONS
1		23SEP121 REVISIONS PER ADDENDUM #3

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COMM. NO: 100220VB
DATE: AUGUST 24, 2021
BY: LJD
CHKD: JFB

SHEET NO.
A-4
OF SIX



FLOOR PLAN (UNITS 149, 150-154, 158, 160-161, 163)
SCALE: 1/8" = 1'-0"
NO WORK: UNITS 155-157, 159, 162
MEETING ROOM, ELEC. RM, UTILITY

DESCRIPTION OF WORK:

- a. REMOVE AND REPLACE WINDOW, SEE WINDOW SCHEDULE SHEET A-6
- b. REMOVE TRANSOM LIGHTS IN HEADER
- c. PANELING TO REMAIN, PAINT WITH SW 7067 CITYSCAPE
- d. REMOVE/REPLACE CARPET WITH LVT FLOORING THROUGHOUT (SURFACE WORK-FOSSIL GREY, AQ352-9)
- e. REMOVE TILE FLOORING, REPLACE WITH LVT FLOORING
- f. LIGHT TO REMAIN
- g. ALTERNATE 1: REMOVE EXISTING A/C UNIT PATCH AND PAINT DRYWALL
- h. ALTERNATE 1: PROVIDE NEW PTAC UNIT; SEE MECHANICAL
- j. NEW EXHAUST FAN, SEE SHEET ME-1
- k. DOOR STEP TO BE REPAIRED AND REPAINTED, PROVIDE NEW DOOR WEATHER STRIPPING
- l. CEILING SUPPLY OR RETURN AIR GRILLE TO BE REMOVED, PATCH HOLE WITH 1/2" GYP BD. PAINT

- m. REMOVE EXISTING DRYWALL CEILING AND REPLACE WITH 1/2" GYPSUM BD. PAINT, MATCH EXISTING
- n. REMOVE AND REPLACE EXISTING ACCESS PANEL WITH NYSTROM INSULATED FIRE RATED ACCESS PANEL
- o. REMOVE VCT FLOORING, REPLACE WITH LVT FLOORING
- q. PAINT ALL CEILINGS WHERE NOTED AND A/C GRILLES HAVE BEEN REMOVED, MATCH EXISTING
- r. REPLACE DRYWALL WHERE NOTED
- s. PANELING TO REMAIN, REPLACE AS NEEDED IF DAMAGED FROM A/C REMOVAL, MATCH EXISTING, PAINT WITH SW 7661 REFLECTION
- t. CLEAN EXISTING BLOCK WALL, PAINT WITH SW7661, REF. UNITS 133/136 SHEET A-3 ONLY (NONE ON THIS SHEET)
- u. EXISTING EXHAUST FAN TO REMAIN, UNIT 134-136 SHEET A-3 UNIT 102 SHEET A-5
- w. EXISTING COUNTERTOP TO REMAIN
- y. EXISTING HEADERS TO BE REMOVED, AND REPLACED WITH HIGHER HEADER SEE DETAIL 1/A-6

GENERAL NOTES:

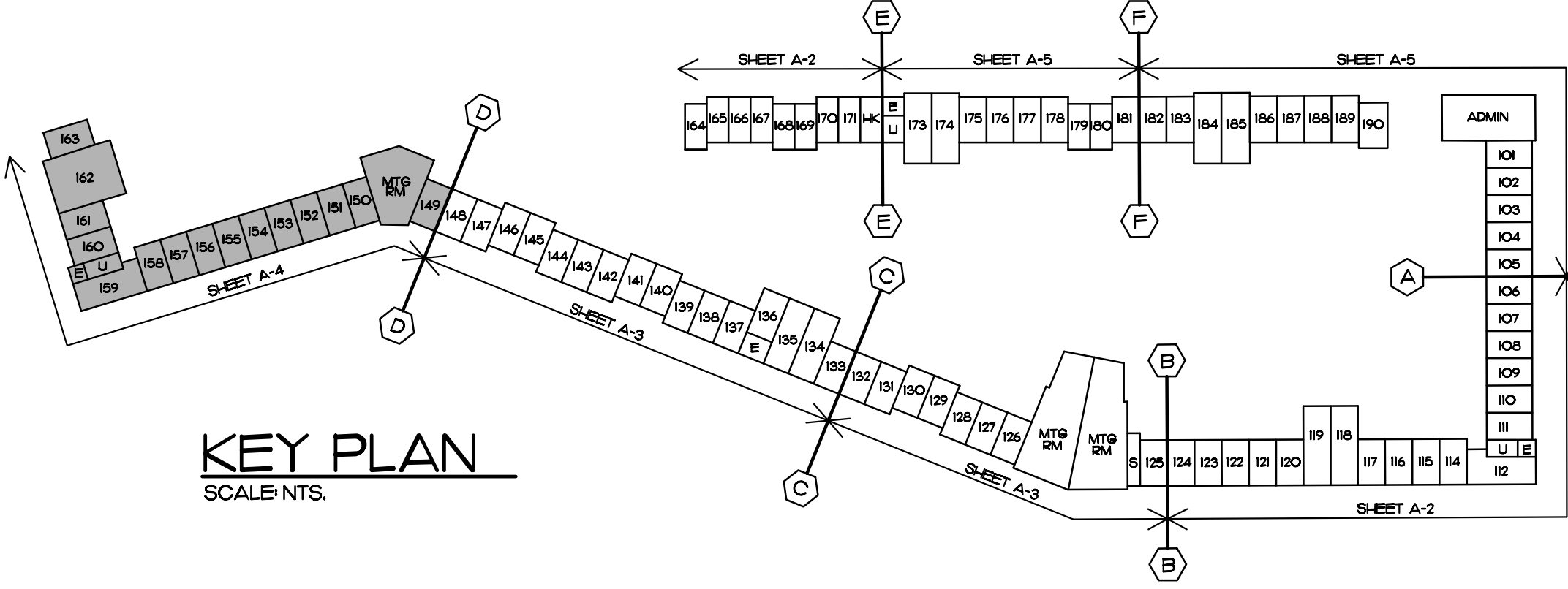
1. PAINT ALL WALLS THROUGHOUT WITH MOLD INHIBITING PAINT
2. SHORTEN HEADERS TO 8" DEEP, SEE DETAIL 1/A-6
3. PAINT ALL WOOD BASE THROUGHOUT/REPLACE AS NEEDED (MATCH EXISTING)
4. REPLACE WEATHER STRIPPING ON ALL EXT. DOORS OF UNITS BEING REMODELED
5. REMOVE/REPLACE ALL EXTERIOR SOFFIT VENTS THROUGHOUT
6. PROVIDE INSULATION BAFFLES AT EAVE THROUGHOUT, SEE DETAIL 2/A-6

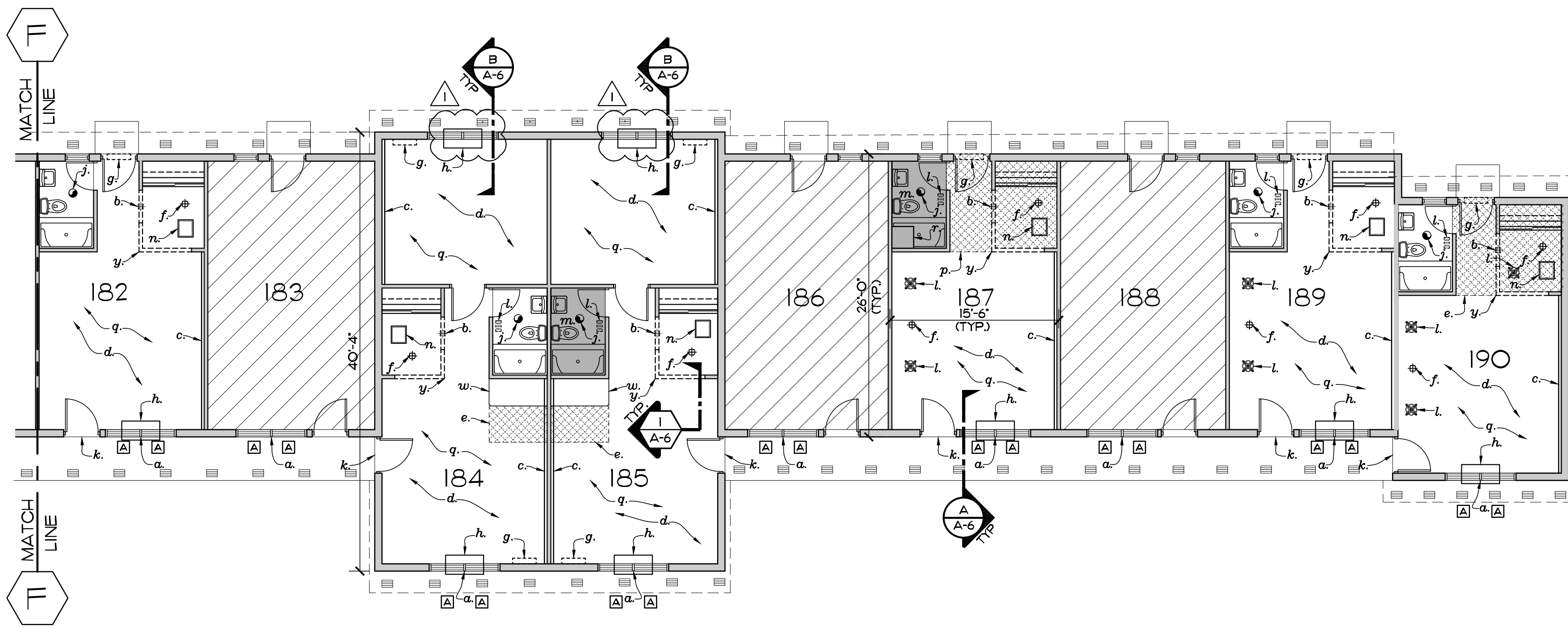
LEGEND

- EXISTING WALLS
- NO WORK IN THIS AREA (EXCEPT WINDOWS)
- REMOVE EXISTING TILE FLOOR/VCT REPLACE WITH LVT, SEE NOTE 'd' FOR LVT SPEC
- EXISTING A/C UNIT TO BE REMOVED
- REMOVE DRYWALL CEILING AND REPLACE WITH 1/2" GYP BD. PAINT

- j. NEW EXHAUST FAN (270 CFM)
- l. SUPPLY GRILL TO BE REMOVED
- l. SUPPLY/RETURN AIR GRILL TO BE REMOVED
- f. LIGHT FIXTURE TO REMAIN
- WINDOW DESIGNATION SEE WINDOW SCHEDULE ON SHEET A-6
- FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION
- NEW NYSTROM OR EQUAL 22"x30" B LABEL 20 GA STEEL SELF CLOSING ACCESS PANEL 16 GA STEEL FRAME CEILING MOUNTED WITH CONTINUOUS PIANO HINGE IN WHITE POWDER COAT FINISH
- b. TRANSOM LIGHT TO BE REMOVED
- EXTERIOR SOFFIT VENT TO BE REPLACED

KEY PLAN
SCALE: NTS.





FLOOR PLAN (UNIT 182, 184-185, 187, 189-190)
SCALE: 1/8" = 1'-0" NO WORK: UNITS 183, 186, 188

DESCRIPTION OF WORK:

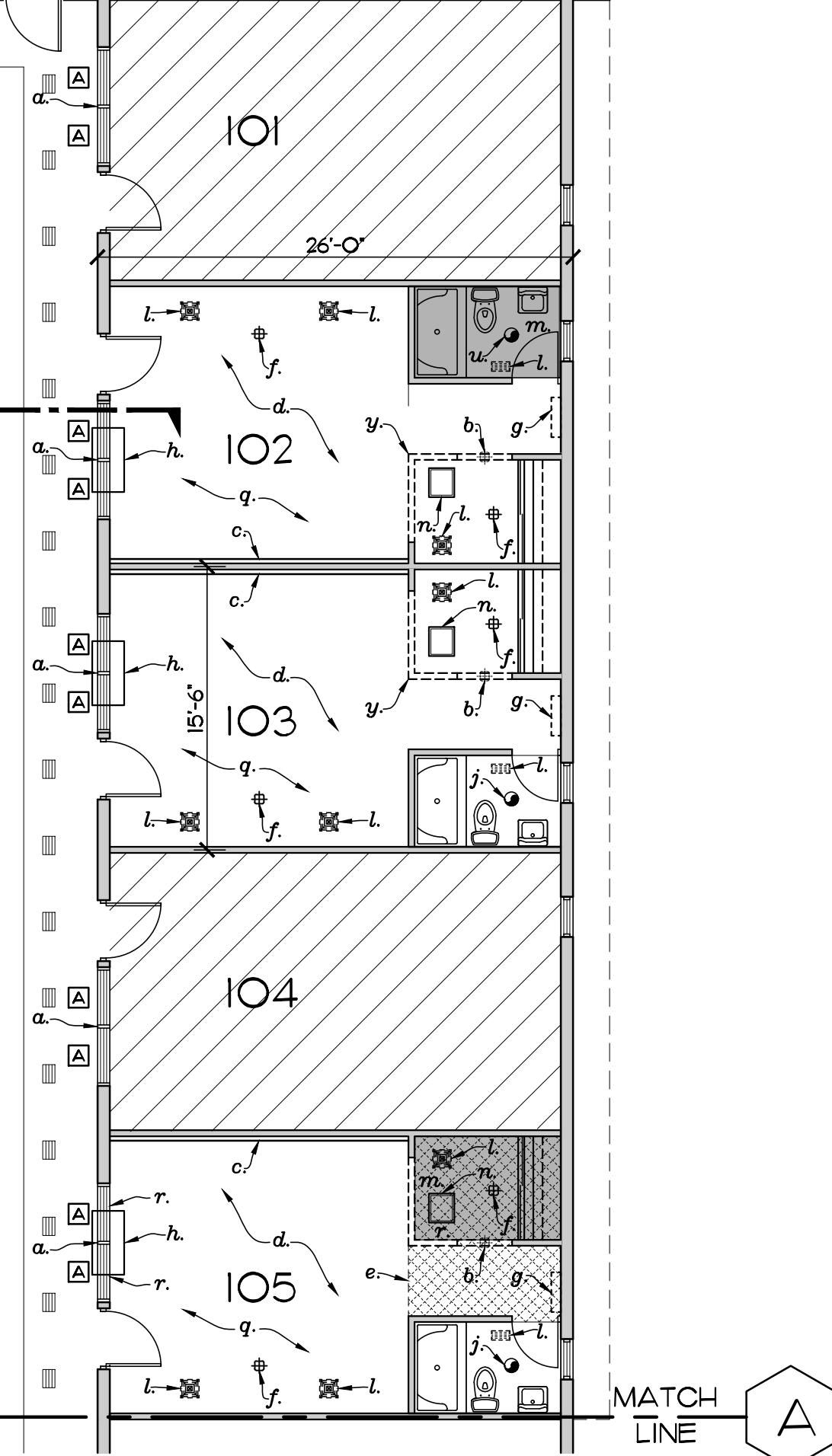
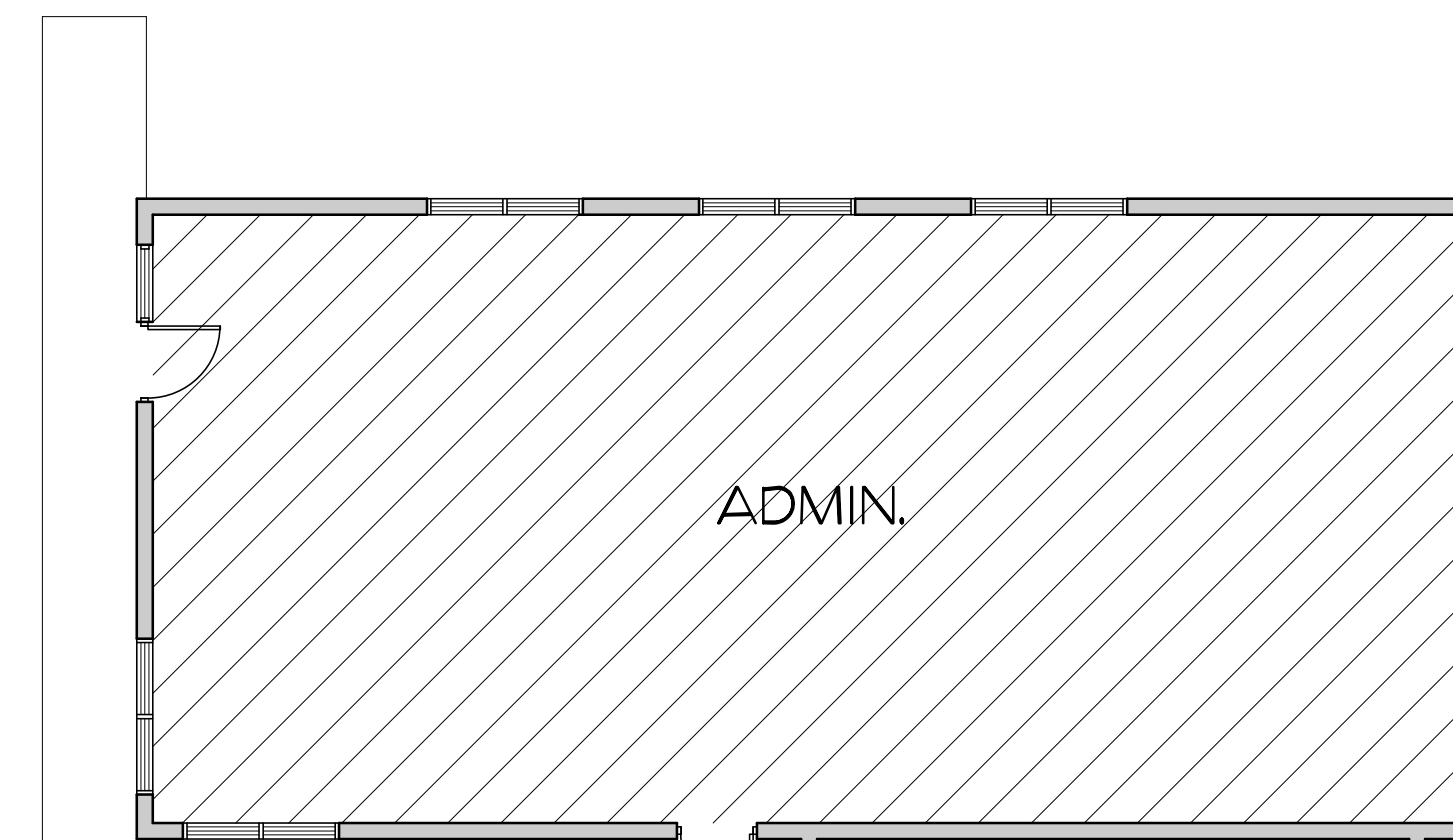
- | | |
|--|--|
| <p>a. REMOVE AND REPLACE WINDOW, SEE WINDOW SCHEDULE SHEET A-6</p> <p>b. REMOVE TRANSOM LIGHTS IN HEADER</p> <p>c. PANELING TO REMAIN, PAINT WITH SW 7067 CITYSCAPE</p> <p>d. REMOVE/REPLACE CARPET WITH LVT FLOORING THROUGHOUT (SURFACE WORK-FOSSIL GREY, AQ352-9)</p> <p>e. REMOVE TILE FLOORING, REPLACE WITH LVT FLOORING</p> <p>f. LIGHT TO REMAIN</p> <p>g. ALTERNATE 1: REMOVE EXISTING A/C UNIT PATCH AND PAINT DRYWALL</p> <p>h. ALTERNATE 1: PROVIDE NEW PTAC UNIT; SEE MECHANICAL</p> <p>j. NEW EXHAUST FAN, SEE SHEET ME-1</p> <p>k. DOOR STEP TO BE REPAIRED AND REPAINTED, PROVIDE NEW DOOR WEATHER STRIPPING</p> <p>l. CEILING SUPPLY OR RETURN AIR GRILLE TO BE REMOVED, PATCH HOLE WITH 1/2" GYP BD, PAINT</p> | <p>m. REMOVE EXISTING DRYWALL CEILING AND REPLACE WITH 1/2" GYPSUM BD, PAINT, MATCH EXISTING</p> <p>n. REMOVE AND REPLACE EXISTING ACCESS PANEL WITH NYSTROM INSULATED FIRE RATED ACCESS PANEL</p> <p>p. REMOVE VCT FLOORING, REPLACE WITH LVT FLOORING</p> <p>q. PAINT ALL CEILINGS WHERE NOTED AND A/C GRILLES HAVE BEEN REMOVED, MATCH EXISTING</p> <p>r. REPLACE DRYWALL WHERE NOTED</p> <p>s. PANELING TO REMAIN, REPLACE AS NEEDED IF DAMAGED FROM A/C REMOVAL, MATCH EXISTING, PAINT WITH SW 7661 REFLECTION</p> <p>t. CLEAN EXISTING BLOCK WALL, PAINT WITH SW7661, REF. UNITS 183/186 SHEET A-3 ONLY (NONE ON THIS SHEET)</p> <p>u. EXISTING EXHAUST FAN TO REMAIN, UNIT 184-186 SHEET A-3 UNIT 187 SHEET A-5</p> <p>w. EXISTING COUNTERTOP TO REMAIN</p> <p>y. EXISTING HEADERS TO BE REMOVED, AND REPLACED WITH NEWER HEADER SEE DETAIL 1/A-5</p> |
|--|--|

GENERAL NOTES:

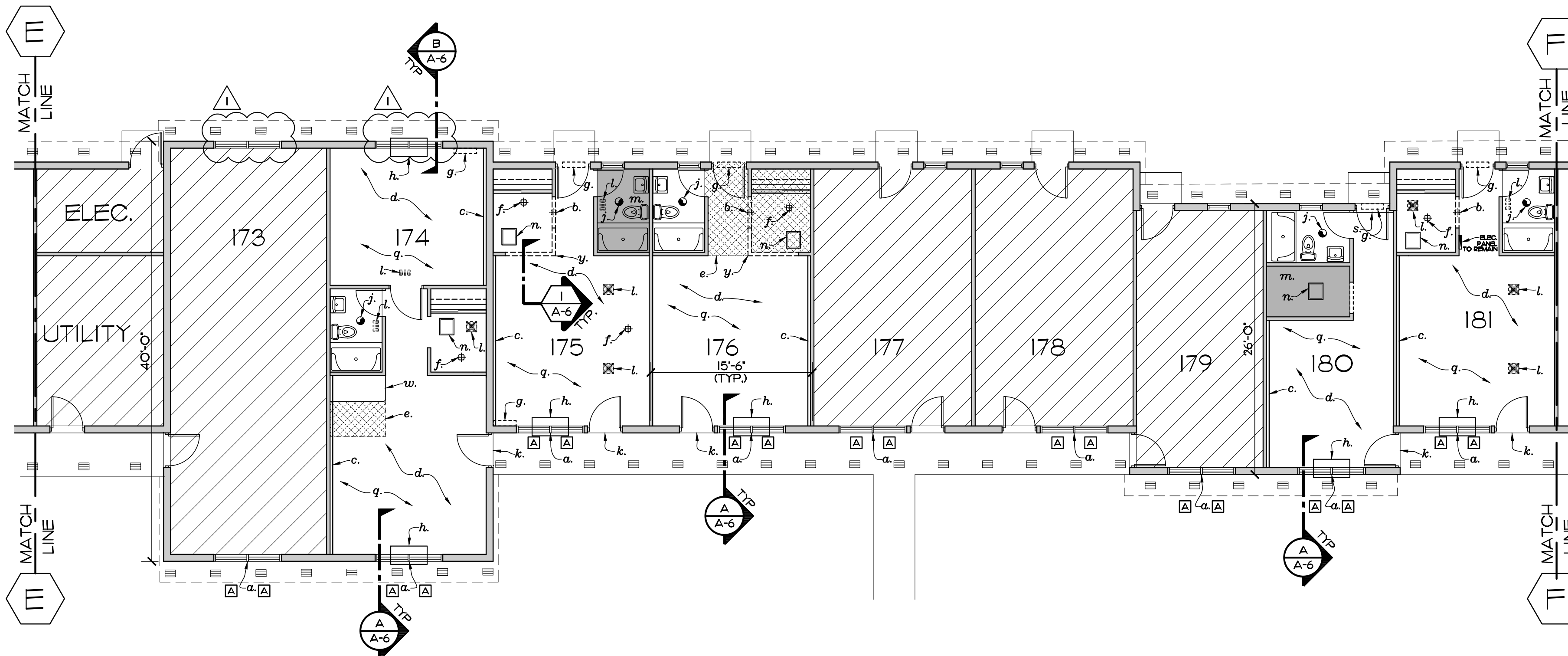
1. PAINT ALL WALLS THROUGHOUT WITH MOLD INHIBITING PAINT
2. SHORTEN HEADERS TO 8" DEEP, SEE DETAIL 1/A-6
3. PAINT ALL WOOD BASE THROUGHOUT/REPLACE AS NEEDED (MATCH EXISTING)
4. REPLACE WEATHER STRIPPING ON ALL EXT. DOORS OF UNITS BEING REMODELED
5. REMOVE/REPLACE ALL EXTERIOR SOFFIT VENTS THROUGHOUT
6. PROVIDE INSULATION BAFFLES AT EAVE THROUGHOUT, SEE DETAIL 2/A-6

LEGEND

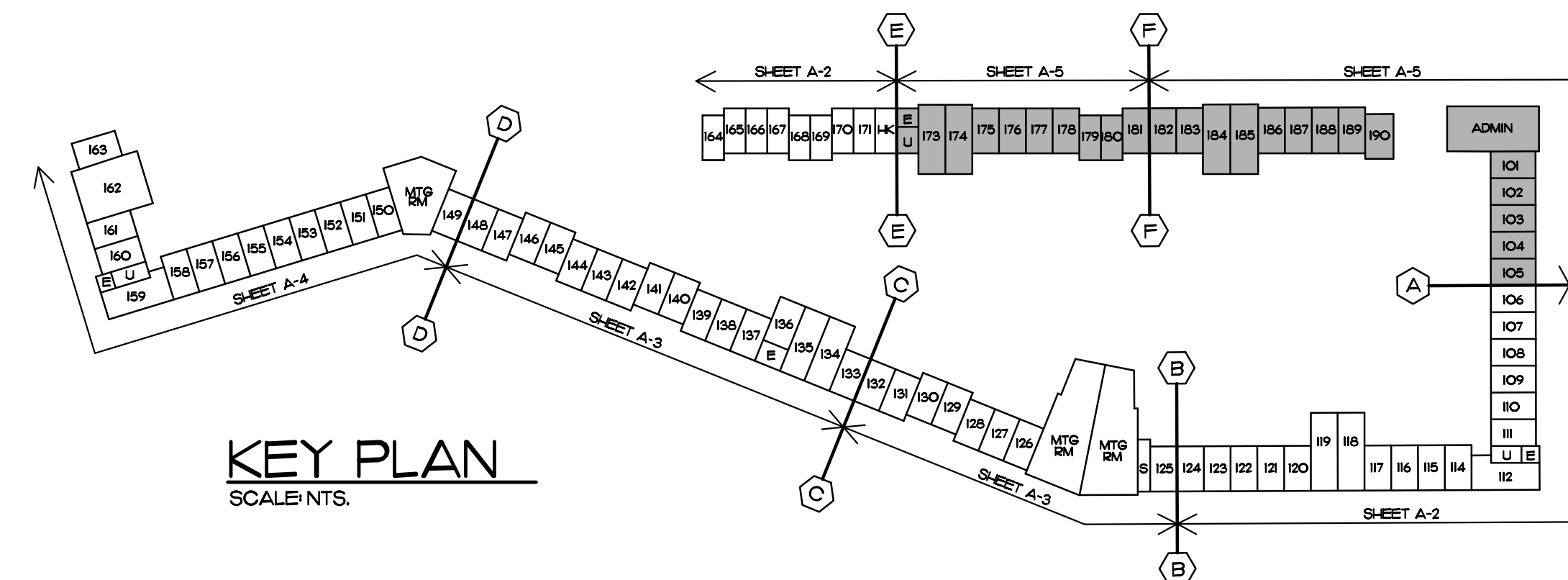
- | | |
|---|---|
| <p>EXISTING WALLS</p> <p>NO WORK IN THIS AREA (EXCEPT WINDOWS)</p> <p>REMOVE EXISTING TILE FLOOR/VCT REPLACE WITH LVT, SEE NOTE "u" FOR LVT SPEC</p> <p>EXISTING A/C UNIT TO BE REMOVED</p> <p>REMOVE DRYWALL CEILING AND REPLACE WITH 1/2" GYP BD, PAINT</p> | <p>NEW EXHAUST FAN (270 CFM)</p> <p>SUPPLY GRILLE TO BE REMOVED</p> <p>SUPPLY/RETURN AIR GRILLE TO BE REMOVED</p> <p>LIGHT FIXTURE TO REMAIN</p> <p>WINDOW DESIGNATION SEE WINDOW SCHEDULE ON SHEET A-6 FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION</p> <p>NEW NYSTROM OR EQUAL 22"x30" B LABEL 20 GA STEEL SELF-CLOSING ACCESS PANEL, 16 GA STEEL FRAME CEILING MOUNTED WITH CONTINUOUS PLANO HINGE IN WHITE POWDER COAT FINISH</p> <p>TRANSOM LIGHT TO BE REMOVED</p> <p>EXTERIOR SOFFIT VENT TO BE REPLACED</p> |
|---|---|



FLOOR PLAN (UNIT 102, 103, 105)
SCALE: 1/8" = 1'-0" NO WORK: UNITS 101, 104, ADMIN

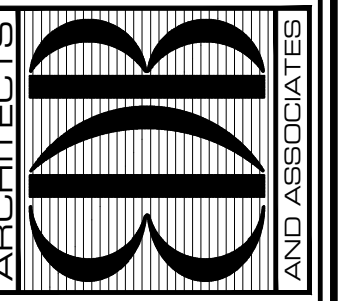


FLOOR PLAN (UNIT 174-176, 180-181)
SCALE: 1/8" = 1'-0" NO WORK: UNITS 173, 177-179, ELEC, UTILITY



KEY PLAN
SCALE: N.T.S.

EDLUND · DRITENBAS · BINKLEY
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AR-AA 000086
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VERO BEACH, FLORIDA 32960
PHONE: (772) 569-4320



SEAL:

PROJECT: JACKIE ROBINSON TRAINING
COMPLEX-VILLAS REMODEL
INDIAN RIVER COUNTY
187C VILLAS
3901 26TH ST VERO BEACH, FL 32960

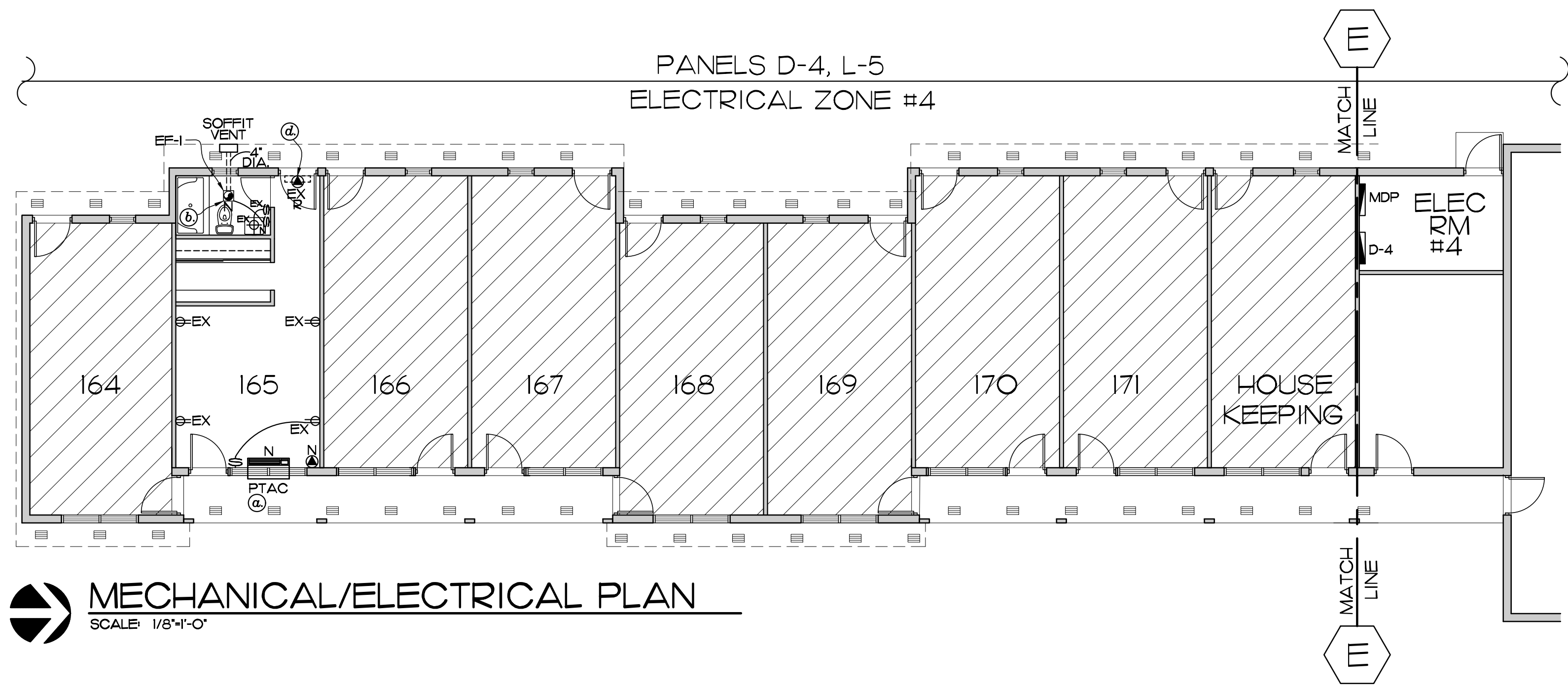
FOR:

NO.	DATE	REVISIONS
1		23SEP21 REVISIONS PER ADDENDUM #3

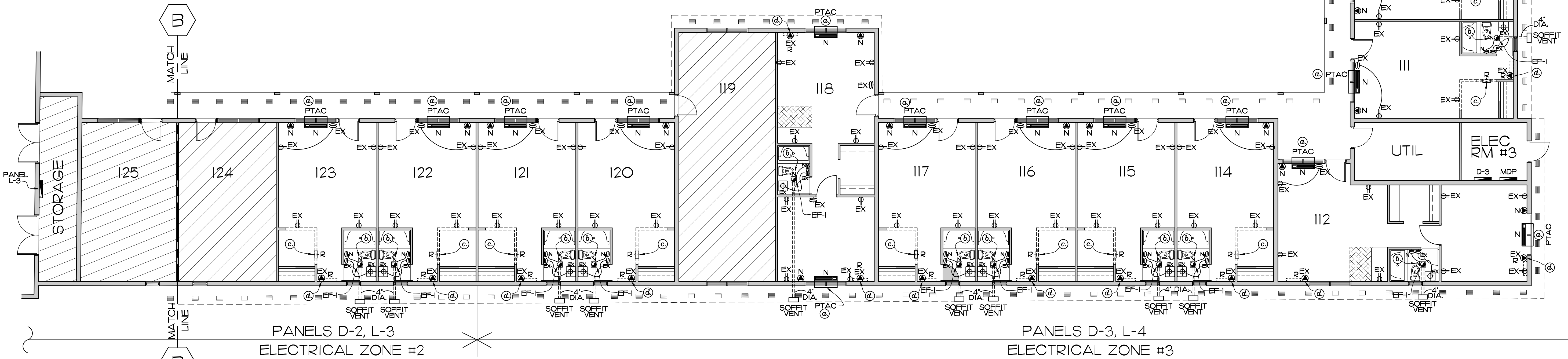
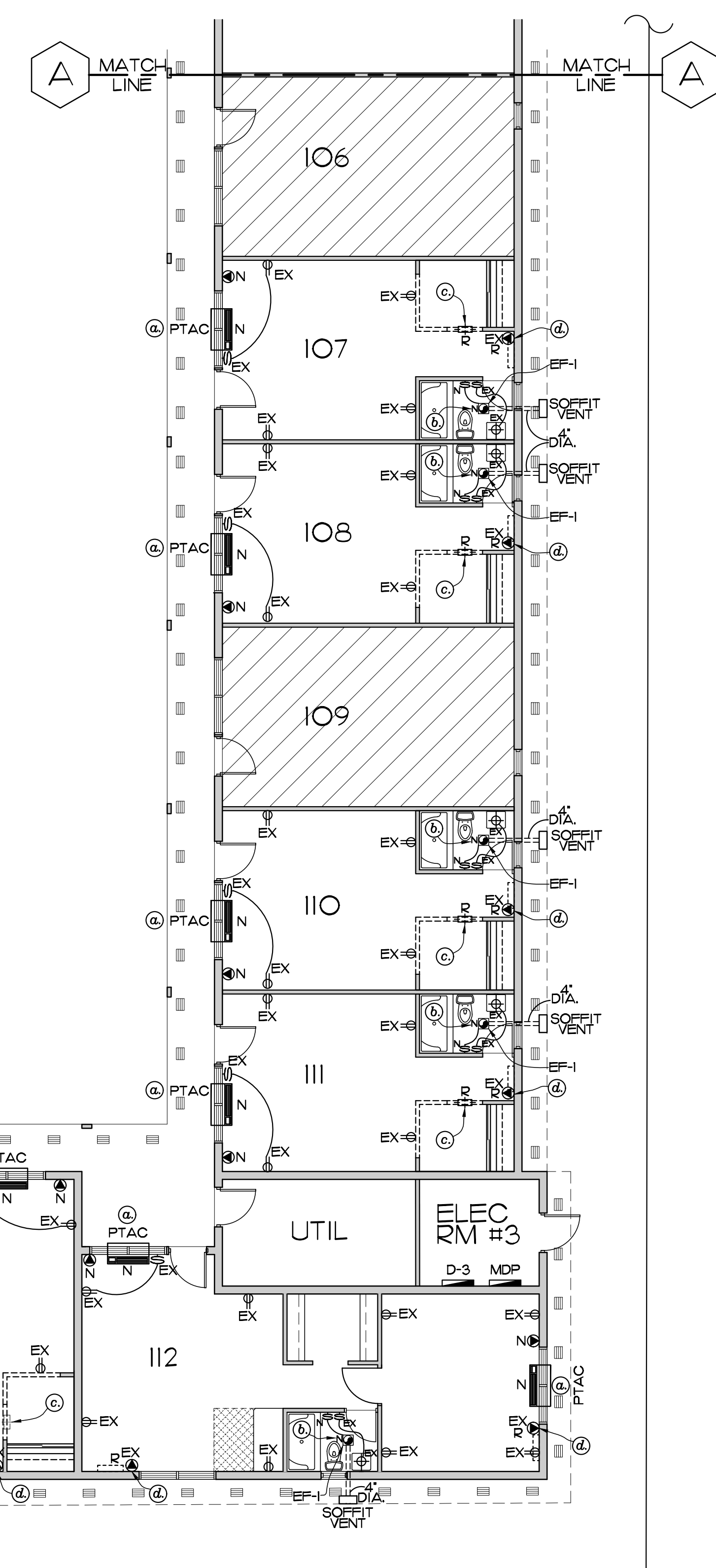
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COMM. NO: 100220VB
DATE: AUGUST 24, 2021
BY: LJD
CHK'D: JFB

SHEET NO.
A-5
OF SIX



MECHANICAL/ELECTRICAL PLAN
SCALE: 1/8"=1'-0"



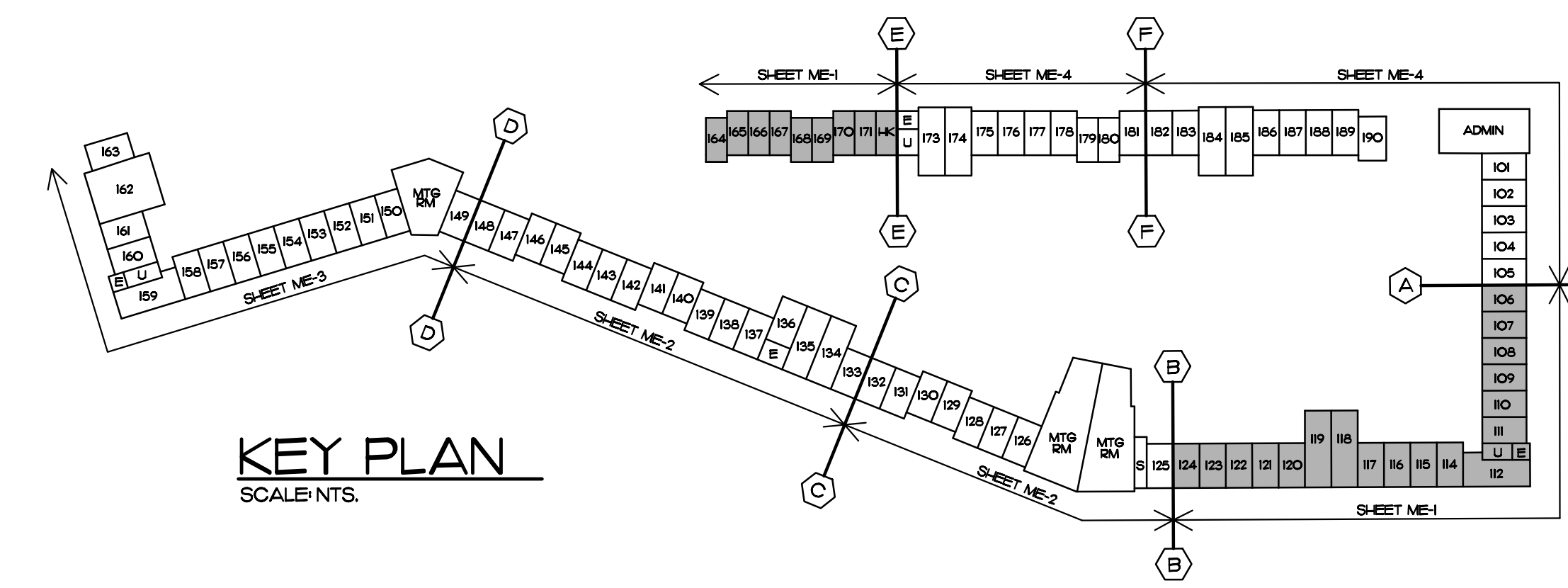
MECHANICAL/ELECTRICAL PLAN
SCALE: 1/8"=1'-0"

A/C EQUIPMENT SCHEDULE					
MARK	MANUFACTURER/ MODEL	SIZE	DESCRIPTION	VOLTAGE	REMARKS
PTAC	GE ZONE LINE AZ45E12DAC	11,500 BTU	DUCTLESS WALL MOUNTED UNIT	208V	
EF-1	BROAN 502	270 CFM	EXHAUST FAN		CEILING MOUNTED

- NOTES:**
- EXISTING DUCT WORK TO BE REMOVED IN ATTIC SPACE.
 - EXISTING MECH. EQUIPMENT IN ATTIC SPACE TO REMAIN.
 - INSTALL 2-27' 9" DEEP BLOW-IN INSULATION ABOVE EXISTING 3 1/2" BATT R-II CEILING INSULATION. INCREASE INSULATION VALUE TO R-36.

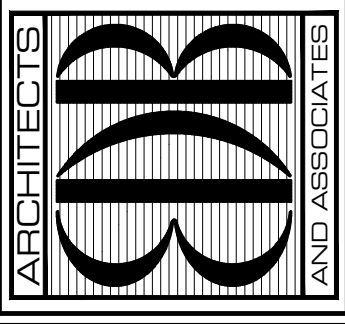
- ELECTRICAL NOTES:**
- PROVIDE NEW SPECIAL PURPOSE OUTLETS FOR GE PTAC A/C UNIT, CONNECT TO CIRCUIT FROM EXISTING MINI SPLIT BEING REMOVED.
 - PROVIDE NEW EXHAUST FAN WITH NEW 4" DUCT TO NEW SOFFIT VENT AND NEW SWITCH.
 - REMOVE EXISTING TRANSOM LIGHT.
 - REMOVE EXISTING SPECIAL PURPOSE OUTLET FOR A/C MINI SPLIT A-U.
 - SEE SHEET E-1 FOR ALL PANEL LOCATIONS.

- LEGEND:**
- ⊕ EX EXISTING OUTLET TO REMAIN
 - ⊕ EX EXISTING SWITCH TO REMAIN
 - ⊕ R EXISTING TRANSOM LIGHT TO BE REMOVED
 - ⊕ N NEW SPECIAL PURPOSE OUTLET FOR PTAC A/C UNIT
 - ⊕ R EXISTING SPECIAL PURPOSE OUTLET A/C MINI SPLIT A-U TO BE REMOVED
 - ⊕ EF-1 NEW EXHAUST FAN
 - ⊕ S N SINGLE POLE SWITCH (NEW)
 - ⊕ EX EXISTING WALL MOUNTED LIGHT FIXTURE TO REMAIN
 - ⊕ PTAC NEW THROUGH WALL A/C UNIT



KEY PLAN
SCALE: N.T.S.

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PHONE: (772) 569-4320



SEAL:

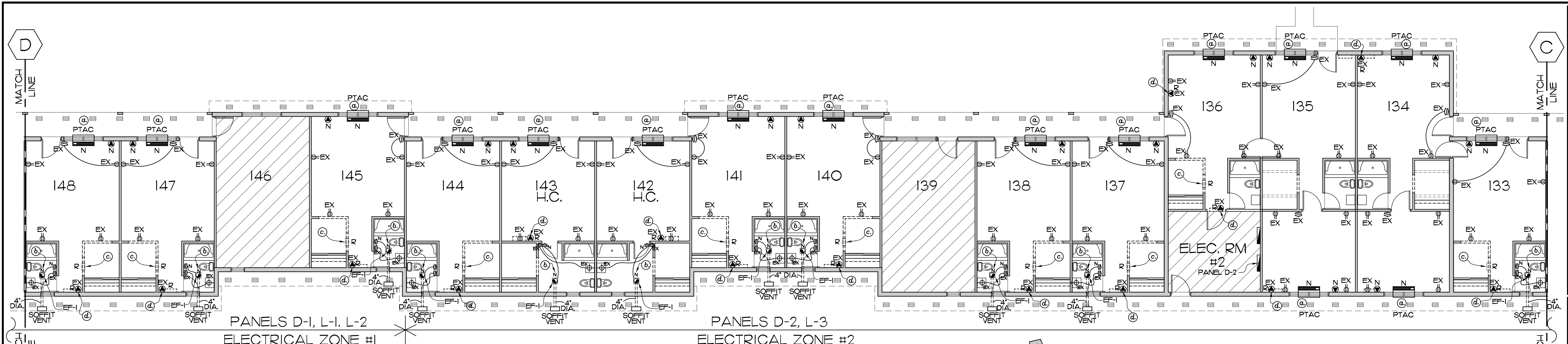
PROJECT: JACKIE ROBINSON TRAINING
COMPLEX-VILLAS REMODEL
INDIAN RIVER COUNTY
1870 VILLAS
3901 26TH ST. VERO BEACH, FL 32960

NO.	DATE	REVISIONS
1	21SEP21	REVISIONS PER ADDENDUM #3

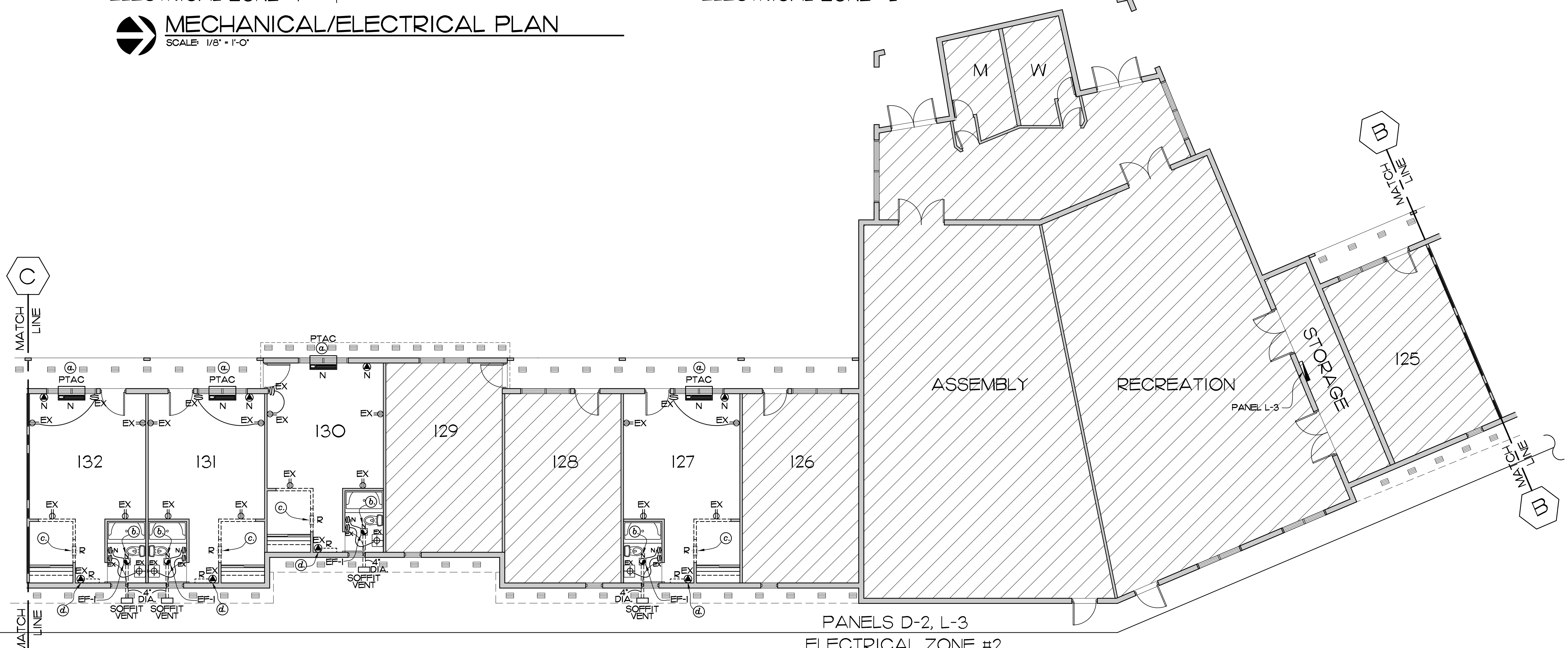
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COMM. NO: 100220VB
DATE: AUGUST 24, 2021
BY: LJB
CHKD: JFB

SHEET NO.
ME-1
OF FOUR



MECHANICAL/ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"



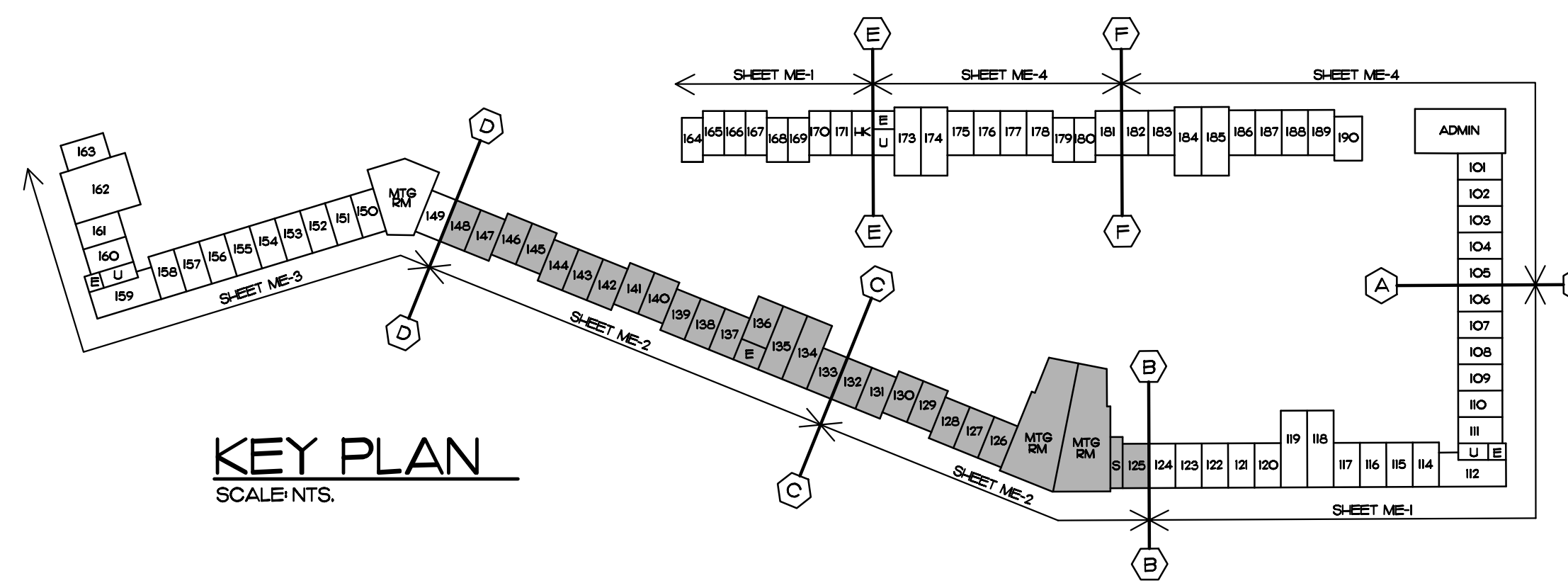
MECHANICAL/ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

A/C EQUIPMENT SCHEDULE					
MARK	MANUFACTURER/ MODEL	SIZE	DESCRIPTION	VOLTAGE	REMARKS
PTAC	GE ZONELINE AZ45E120AC	11,500 BTU	DUCTLESS WALL MOUNTED UNIT	208V	
EF-1	BROAN 502	270 CFM	EX-HAUST FAN		CEILING MOUNTED

- NOTES:**
- EXISTING DUCT WORK TO BE REMOVED IN ATTIC SPACE.
 - EXISTING MECH. EQUIPMENT IN ATTIC SPACE TO REMAIN.
 - INSTALL R-27 9" DEEP BLOW-IN INSULATION ABOVE EXISTING 3 1/2" BATT R-11 CEILING INSULATION. INCREASE INSULATION VALUE TO R-38.

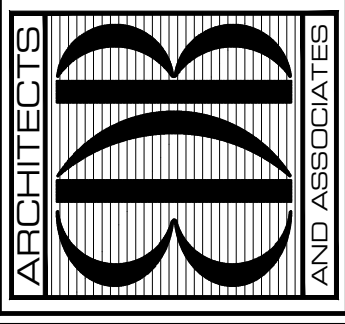
- ELECTRICAL NOTES:**
- PROVIDE NEW SPECIAL PURPOSE OUTLETS FOR GE PTAC A/C UNIT, CONNECT TO CIRCUIT FROM EXISTING MINI SPLIT BEING REMOVED.
 - PROVIDE NEW EX-HAUST FAN W/NEW 4" DUCT TO NEW SOFFIT VENT AND NEW SWITCH
 - REMOVE EXISTING TRANSOM LIGHT
 - REMOVE EXISTING SPECIAL PURPOSE OUTLET FOR A/C MINI SPLIT A/H.
 - SEE SHEET E-1 FOR ALL PANEL LOCATIONS

- LEGEND:**
- ⊖ EX EXISTING OUTLET TO REMAIN
 - ⊖ EX EXISTING SWITCH TO REMAIN
 - ⊖ R EXISTING TRANSOM LIGHT TO BE REMOVED
 - ⊖ N NEW SPECIAL PURPOSE OUTLET FOR PTAC A/C UNIT
 - ⊖ R EXISTING SPECIAL PURPOSE OUTLET A/C MINI SPLIT A/H TO BE REMOVED
 - ⊖ EF-1 NEW EX-HAUST FAN
 - ⊖ N SINGLE POLE SWITCH (NEW)
 - ⊖ EX EXISTING WALL MOUNTED LIGHT FIXTURE TO REMAIN
 - ⊖ PTAC NEW THROUGH WALL A/C UNIT



KEY PLAN
SCALE: N.T.S.

EDLUND · DRITENBAS · BINKLEY
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PROJECT: JACKIE ROBINSON TRAINING
COMPLEX-VILLAS REMODEL
INDIAN RIVER COUNTY
127C VILLAS
3901 26TH ST VERO BEACH, FL 32960

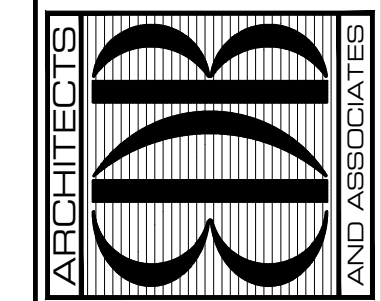
NO.	DATE	REVISIONS
1	21 SEPT 21	REVISIONS PER ADDENDUM #3

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COMM. NO: 100220VB
DATE: AUGUST 24, 2021
BY: LJB
CHK'D: JFB

SHEET NO.
ME-2
OF FOUR

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 VERO BEACH, FLORIDA 32960
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SEAL:

PROJECT: JACKIE ROBINSON TRAINING
 COMPLEX-VILLAS REMODEL
 INDIAN RIVER COUNTY
 3901 26TH ST VERO BEACH, FL 32960

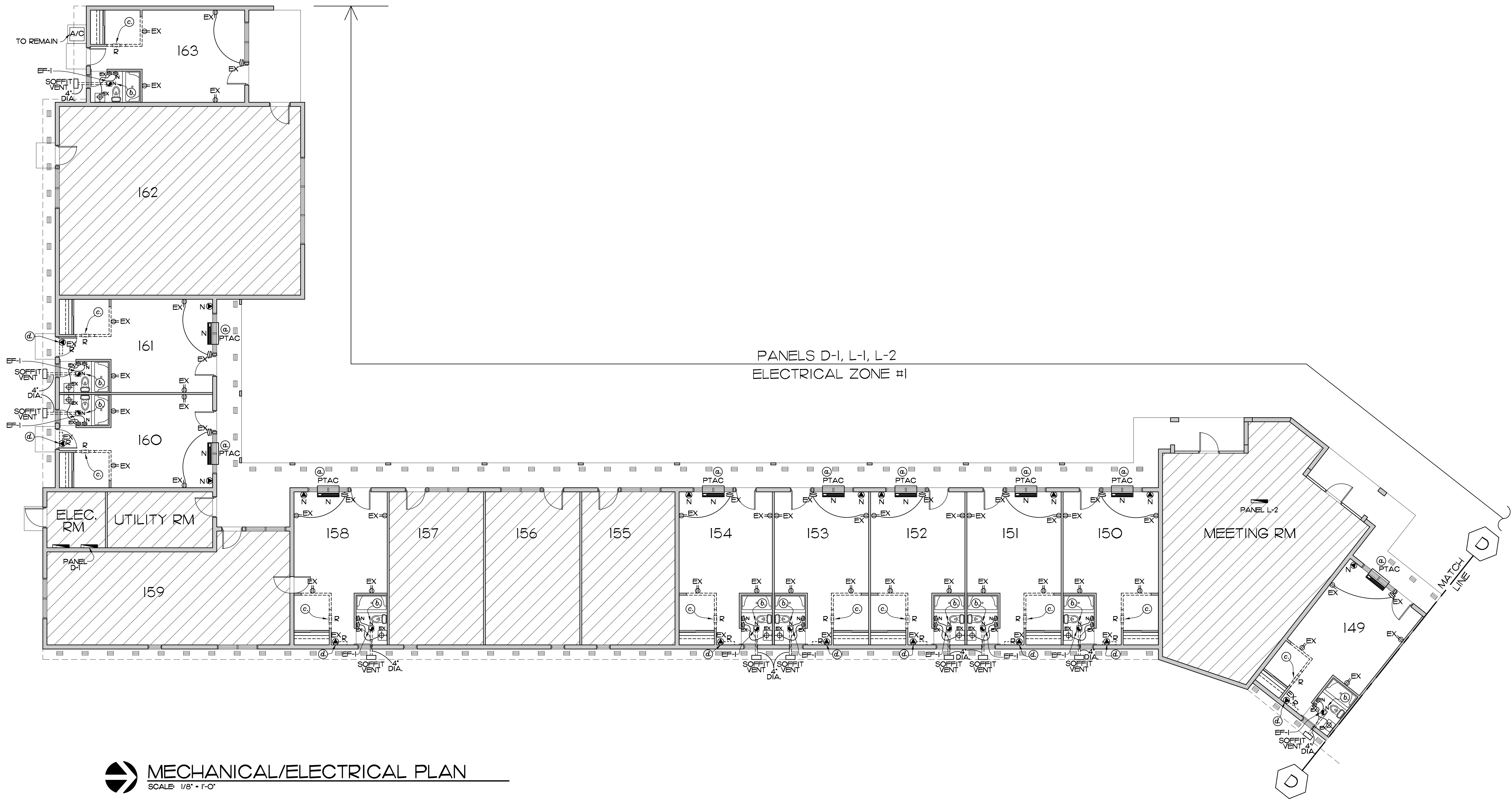
FOR:

NO.	DATE	REVISIONS
1	21SEP22	REVISIONS PER ADDENDUM #3

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COMM. NO: 100220VB
 DATE: AUGUST 24, 2021
 BY: LJB
 CH/KD: JFB

SHEET NO.
ME-3
 OF FOUR



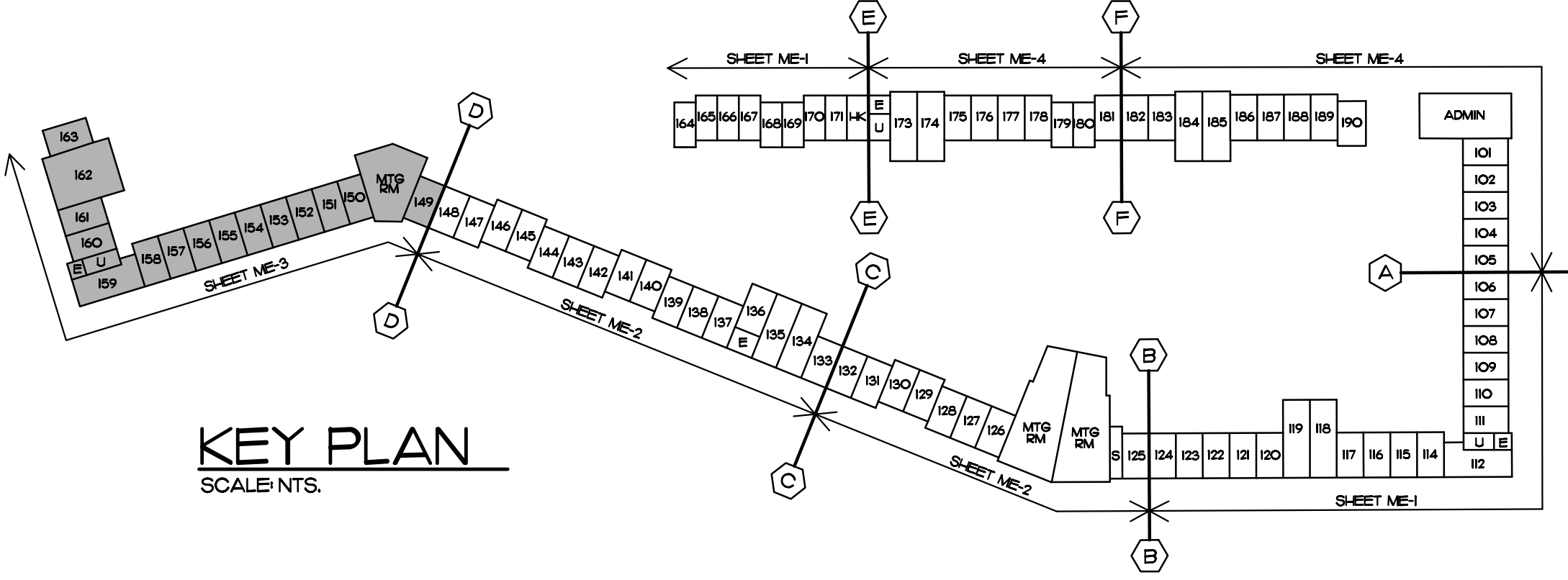
MECHANICAL/ELECTRICAL PLAN
 SCALE: 1/8" = 1'-0"

MARK	MANUFACTURER/ MODEL	SIZE	DESCRIPTION	VOLTAGE	REMARKS
PTAC	GE ZONELINE AZ45E12DAC	11,500 BTU	DUCTLESS WALL MOUNTED UNIT	208V	
EF-1	BROAN 502	270 CFM	EXHAUST FAN		CEILING MOUNTED

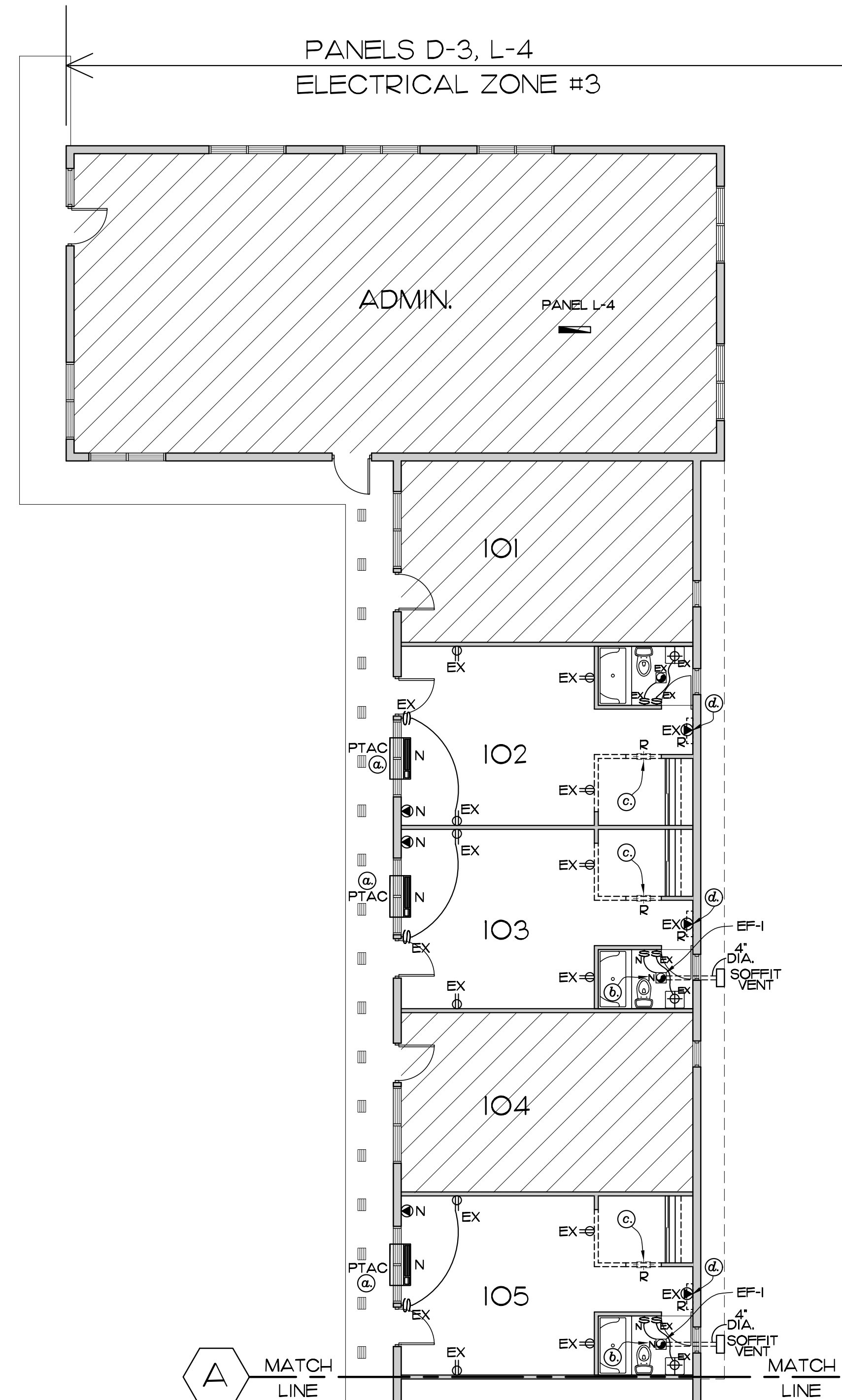
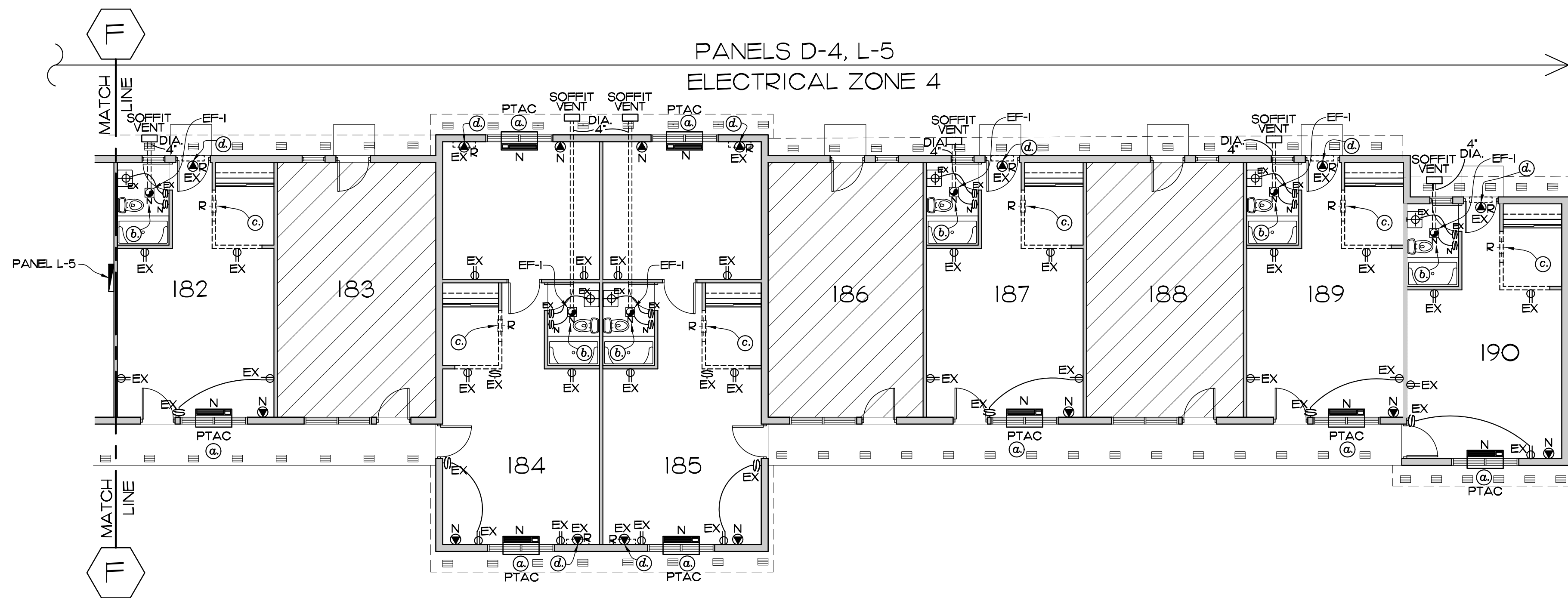
- NOTES:**
- EXISTING DUCT WORK TO BE REMOVED IN ATTIC SPACE.
 - EXISTING MECH. EQUIPMENT IN ATTIC SPACE TO REMAIN.
 - INSTALL R-27 9" DEEP BLOW-IN INSULATION ABOVE EXISTING 3 1/2" BATT R-11 CEILING INSULATION, INCREASE INSULATION VALUE TO R-38.

- ELECTRICAL NOTES:**
- PROVIDE NEW SPECIAL PURPOSE OUTLETS FOR GE PTAC A/C UNIT. CONNECT TO CIRCUIT FROM EXISTING MINI SPLIT BEING REMOVED.
 - PROVIDE NEW EXHAUST FAN W/NEW 4" DUCT TO NEW SOFFIT VENT AND NEW SWITCH
 - REMOVE EXISTING TRANSOM LIGHT
 - REMOVE EXISTING SPECIAL PURPOSE OUTLET FOR A/C MINI SPLIT A/H.
 - SEE SHEET E-1 FOR ALL PANEL LOCATIONS

- LEGEND:**
- EX EXISTING OUTLET TO REMAIN
 - EX EXISTING SWITCH TO REMAIN
 - R EXISTING TRANSOM LIGHT TO BE REMOVED
 - N NEW SPECIAL PURPOSE OUTLET FOR PTAC A/C UNIT
 - EX R EXISTING SPECIAL PURPOSE OUTLET A/C MINI SPLIT A/H TO BE REMOVED
 - N EF-1 NEW EXHAUST FAN
 - S N SINGLE POLE SWITCH (NEW)
 - EX EXISTING WALL MOUNTED LIGHT FIXTURE TO REMAIN
 - PTAC NEW THROUGH WALL A/C UNIT



KEY PLAN
 SCALE: N.T.S.



MECHANICAL/ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

A/C EQUIPMENT SCHEDULE					
MARK	MANUFACTURER/ MODEL	SIZE	DESCRIPTION	VOLTAGE	REMARKS
PTAC	GE ZONELINE AZ45E12D4C	11,500 BTU	DUCTLESS WALL MOUNTED UNIT	208V	
EF-1	BROAN 502	270 CFM	EXHAUST FAN		CEILING MOUNTED

NOTES:

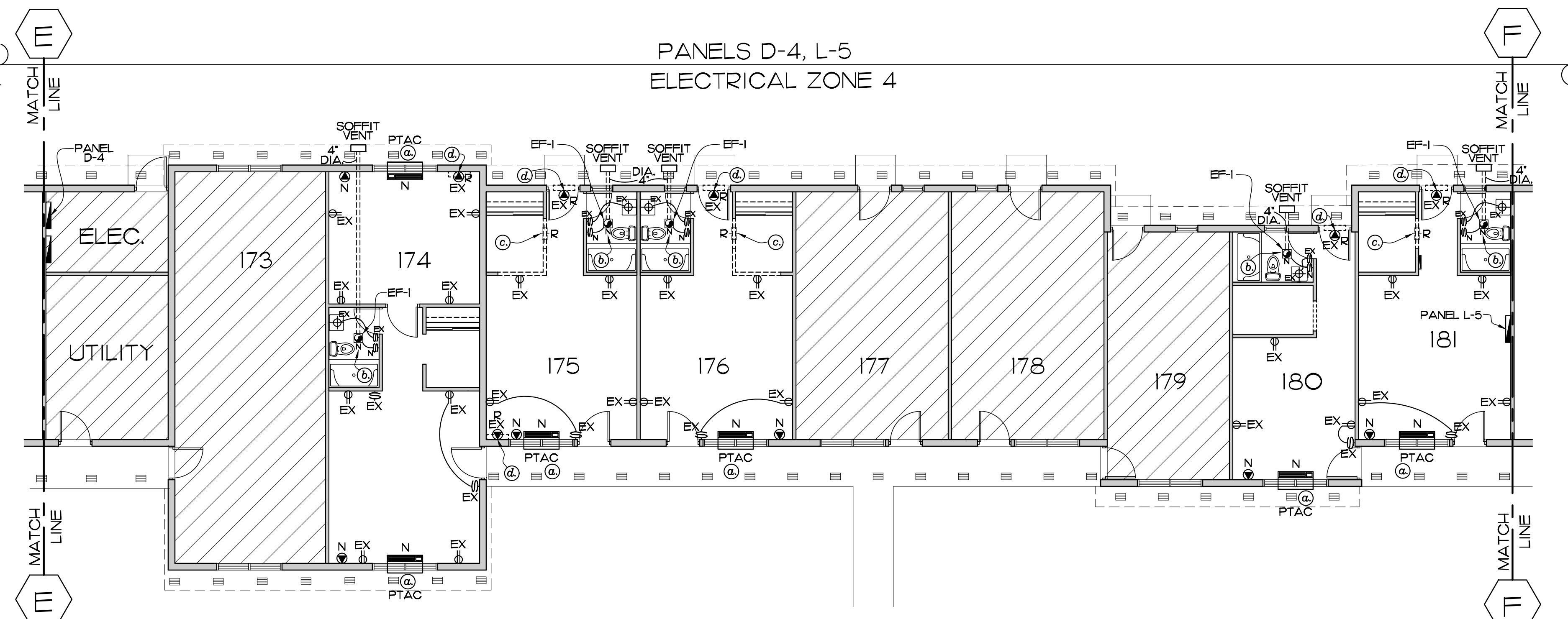
- EXISTING DUCT WORK TO BE REMOVED IN ATTIC SPACE.
- EXISTING MECH. EQUIPMENT IN ATTIC SPACE TO REMAIN.
- INSTALL R-27 9" DEEP BLOW-IN INSULATION ABOVE EXISTING 3 1/2" BATT R-11 CEILING INSULATION, INCREASE INSULATION VALUE TO R-38.

ELECTRICAL NOTES:

- PROVIDE NEW SPECIAL PURPOSE OUTLETS FOR GE PTAC A/C UNIT, CONNECT TO CIRCUIT FROM EXISTING MINI SPLIT BEING REMOVED.
- PROVIDE NEW EXHAUST FAN W/NEW 4" DUCT TO NEW SOFFIT VENT AND NEW SWITCH
- REMOVE EXISTING TRANSOM LIGHT
- REMOVE EXISTING SPECIAL PURPOSE OUTLET FOR A/C MINI SPLIT AHU.
- SEE SHEET E-1 FOR ALL PANEL LOCATIONS

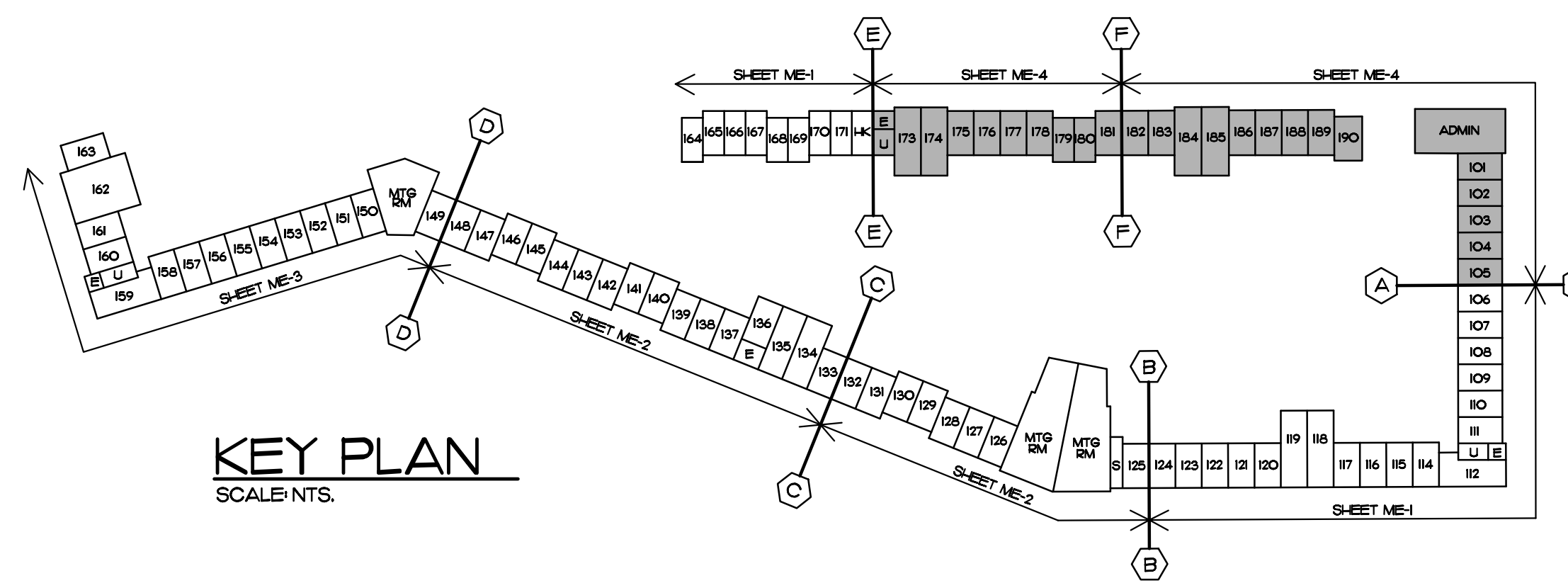
LEGEND:

- ⊖ EX EXISTING OUTLET TO REMAIN
- ⊖ EX EXISTING SWITCH TO REMAIN
- ⊖ R EXISTING TRANSOM LIGHT TO BE REMOVED
- ⊖ N NEW SPECIAL PURPOSE OUTLET FOR PTAC A/C UNIT
- ⊖ R EXISTING SPECIAL PURPOSE OUTLET A/C MINI SPLIT AHU TO BE REMOVED
- ⊖ EF-1 NEW EXHAUST FAN
- ⊖ N SINGLE POLE SWITCH (NEW)
- ⊖ EX EXISTING WALL MOUNTED LIGHT FIXTURE TO REMAIN
- PTAC NEW THROUGH WALL A/C UNIT



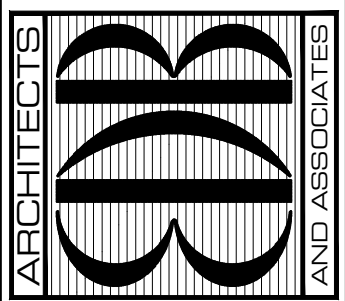
MECHANICAL/ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

MECHANICAL/ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"



KEY PLAN
SCALE: N.T.S.

EDLUND · DRITENBAS · BINKLEY
ARCHITECTS AND ASSOCIATES, P.A.
AR-AA 000086
65 ROYAL PALM POINTE, SUITE "D"
VERO BEACH, FLORIDA 32960
PHONE: (772) 569-4320



SEAL:

PROJECT: JACKIE ROBINSON TRAINING
COMPLEX-VILLAS REMODEL
INDIAN RIVER COUNTY
127C VILLAS
3901 26TH ST. VERO BEACH, FL 32960

NO.	DATE	REVISIONS
1	21 SEPT 21	REVISIONS PER ADDENDUM #3

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COMM. NO: 100220VB
DATE: AUGUST 24, 2021
BY: LJB
CHK'D: JFB

SHEET NO.
ME-4
OF FOUR