

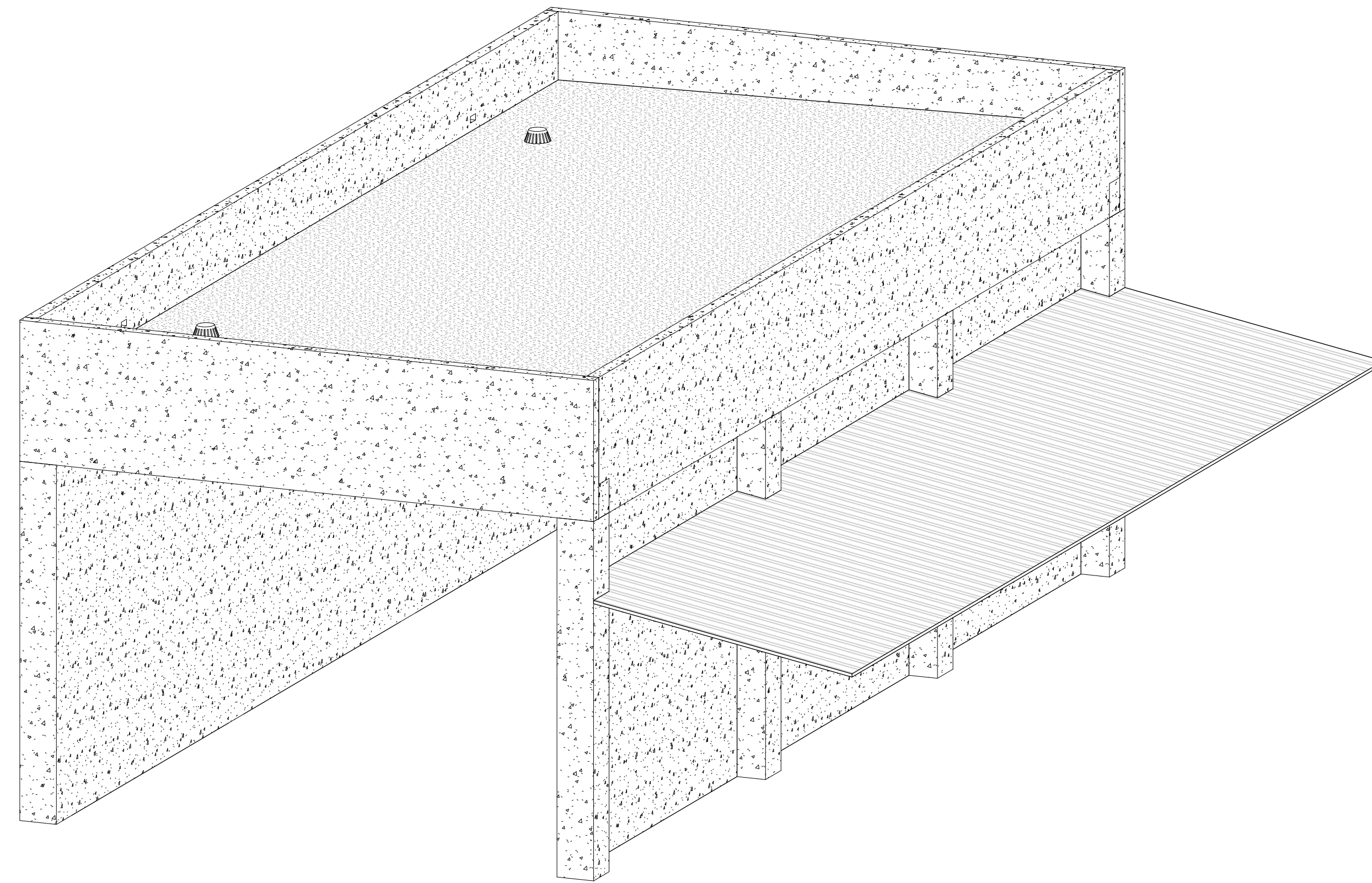
# ESCAMBIA AREA TRANSIT AUTHORITY BUS WASH ROOF REPLACEMENT

CALDWELL  
ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502  
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA24000721 | License No: IB0000995

PROJECT ISSUES:  
SCHEMATIC DESIGN: 21 SEPT 2021  
PERMIT SET: 15 NOV 2021



PROJECT TEAM:  
ARCHITECTURAL  
Caldwell Associates

PROJECT:  
ESCAMBIA COUNTY  
AREA TRANSIT - BUS  
WASH



1515 W FAIRFIELD DR,  
PENSACOLA, FL

PROJECT NO.: 21003  
SHEET TITLE:  
COVER SHEET

SHEET NUMBER:

**G001**

PERMIT SET

| INDEX OF DRAWINGS |                         |            |
|-------------------|-------------------------|------------|
| SHEET NO.         | SHEET NAME              | ISSUE DATE |
| GENERAL           |                         |            |
| G001              | COVER SHEET             |            |
| G002              | PROJECT INFORMATION     |            |
| ARCHITECTURAL     |                         |            |
| A101              | DEMO AND NEW WORK PLANS |            |



**1** LOCATION MAP  
G001 NOT TO SCALE



**2** VICINITY MAP  
G001 NOT TO SCALE

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### CODE ANALYSIS

#### OCCUPANCY CLASSIFICATION

FBC 2020: GROUP S-1 (STORAGE); MOTOR VEHICLE REPAIR GARAGE AND PARTS STORAGE

#### CONSTRUCTION TYPE

FBC 2020: TYPE IIB (2B), UNSPRINKLERED

#### BUILDING AREA AND HEIGHT

EXISTING BUILDING AREA: 1,210 SF

ALLOWABLE AREA: 7,500 SF  
(FBC TABLE 506.2)

FBC 506 BUILDING AREA MODIFICATIONS HAVE NOT BEEN ACCOUNTED FOR

EXISTING BUILDING HEIGHT: 20 FEET, 1 STORY

ALLOWABLE BUILDING HEIGHT: 55 FEET, 2 STORIES  
(FBC TABLE 504.3a AND 504.4)

#### FIRE RESISTANCE

FBC TABLE 601 AND TABLE 602 FOR TYPE IIB CONSTRUCTION:

**PRIMARY STRUCTURAL FRAME:** 0 hr

**BEARING WALLS:**

- EXTERIOR BEARING: 0 hr (SEE BELOW)
- INTERIOR BEARING: 0 hr

**NONBEARING WALLS:**

- EXTERIOR BEARING: 0 hr (SEE BELOW)
- INTERIOR BEARING: 0 hr

**FLOOR CONSTRUCTION:** 0 hr

**ROOF CONSTRUCTION:** 0 hr

#### EXTERIOR WALL RATING BASED ON FIRE SEPARATION DISTANCE

- <5' SEPARATION: 2 hr
- >5' to <10' SEPARATION: 1 hr
- >10' to <30' SEPARATION: 0 hr
- >30' SEPARATION: 0 hr

### APPLICABLE CODES

THE FOLLOWING CODES AND REVISIONS ARE APPLICABLE TO THIS PROJECT:

FLORIDA BUILDING CODE; 2020 (FBC)  
FLORIDA BUILDING CODE; 2020 EXISTING BUILDING (FBC-EB)

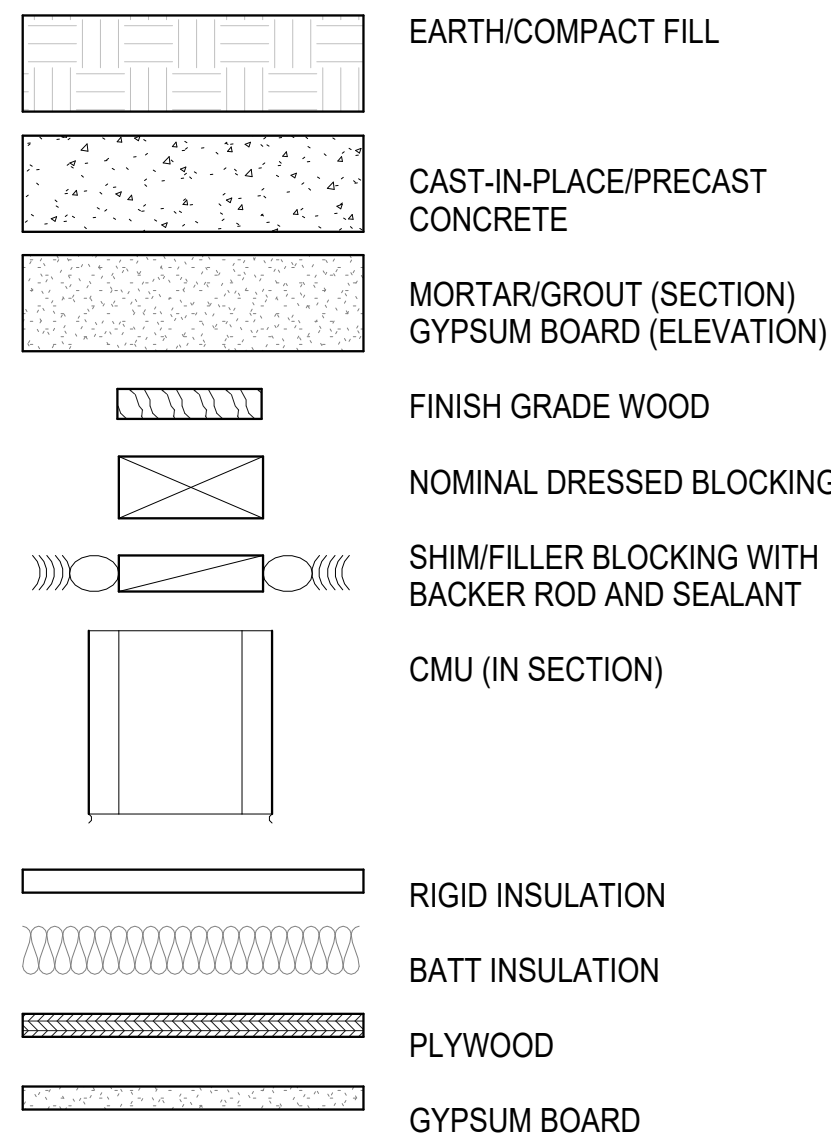
### BID SCHEDULE

**BASE BID:**  
**ITEM 1:** ALL MATERIAL, EQUIPMENT, AND LABOR REQUIRED TO PERFORM SCOPE OF WORK OUTLINED IN THESE DRAWINGS.

### SCOPE OF WORK

SCOPE OF WORK INVOLVES REMOVING AND REPLACING APPROXIMATELY 3 PANELS OF DAMAGED GALVANIZED METAL ROOFING PANELS. SUCH WORK ALSO INCLUDES REATTACHING WOOD BLOCKING TO METAL TRUSSES FOR PROPER ANCHORING

### MATERIAL LEGEND



### PRODUCT APPROVAL

CONTRACTOR SHALL MAKE AVAILABLE TO THE BUILDING INSPECTOR DOCUMENTATION NECESSARY TO VERIFY THAT ALL COMPONENTS REQUIRING PRODUCT APPROVAL PER FS 553.842 ARE IN COMPLIANCE WITH PRODUCT APPROVAL INSTALLATION REQUIREMENTS.

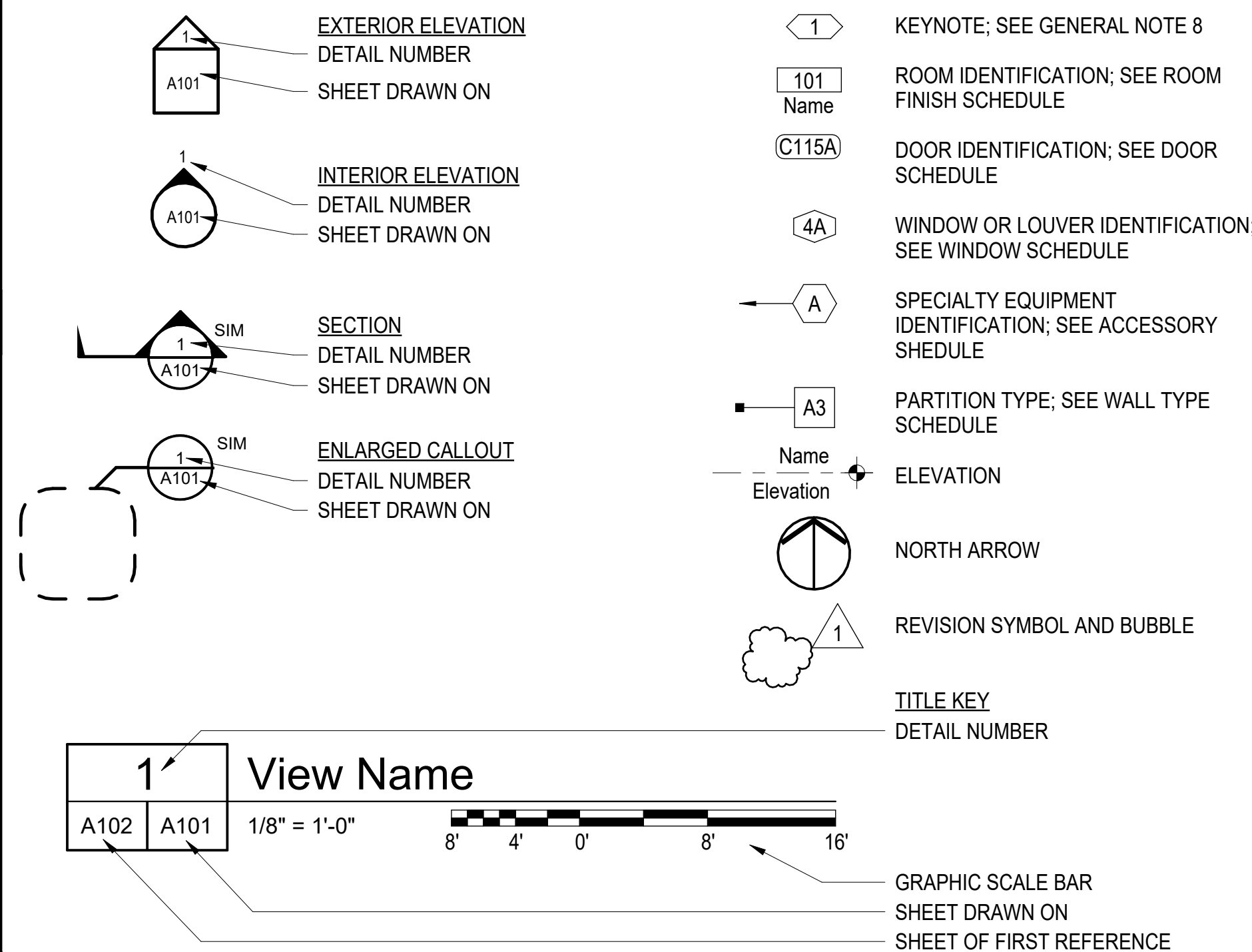
### GENERAL NOTES

- DO NOT SCALE DRAWINGS; REFERENCE DIMENSIONS ON DRAWINGS AND FIELD VERIFY ALL MEASUREMENTS.
- UNLESS NOTED OTHERWISE, DIMENSIONS ARE TO FACE OF STUD, COLUMN CENTERLINE, OR FACE OF EXISTING FINISH.
- UNLESS NOTED OTHERWISE, ALL NEW WORK WHICH EXTENDS OR INFILLS EXISTING WORK SHALL ALIGN WITH AND MATCH EXISTING CONDITIONS.
- UNLESS NOTED OTHERWISE, PROVIDE CONTINUOUS 2x6 BLOCKING OR 18ga GALVANIZED METAL STRAPPING FOR ALL HANDRAILS, GRAB BARS, OTHER ACCESSORIES, FIXTURES, BRACKETS, OFCI ITEMS AND MISCELLANEOUS SPECIALTIES.
- ALL WALL MOUNTED CABINETS, WALL MOUNTED TV's, AND MONITORS SHALL HAVE WOOD BLOCKING BETWEEN STUDS FOR INSTALLATION.
- DUE TO MANUFACTURER'S VARIATION WITH SIZE OF EQUIPMENT, CASEWORK, PLUMBING FIXTURES, ETC., ALL DIMENSIONS REFERRING TO THE SPACE WHERE SUCH ITEMS ARE BUILT-IN SHALL BE VERIFIED WITH THE ITEM SUPPLIED.
- ALL DISCREPANCIES OR CONFLICTING INFORMATION BETWEEN EXISTING CONDITIONS, CONSTRUCTION DRAWINGS, AND SPECIFICATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION BEFORE COMMITTING TO WORK OUTLINED. THIS INCLUDES CONFLICTING INFORMATION NOTED OR REQUIRED BY FURNITURE, FIXTURES, AND EQUIPMENT.
- KEYNOTE NUMBERING SEQUENCE FOUND ON ONE SHEET IS INDEPENDENT FROM OTHER SHEETS IN THE SET.
- DO NOT SEPARATE CONSTRUCTION DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR CAPTURING AND COORDINATING ALL OF THE INFORMATION IN THIS SET OF DRAWINGS AND SPECIFICATIONS. ARCHITECT IS NOT RESPONSIBLE FOR SUBCONTRACTOR BIDS BASED ON REVIEW OF A PORTION OF THE DRAWINGS OR SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND FACILITATION OF ANY (OWNER OR CONTRACTOR) VENDOR'S FURNITURE, FIXTURE, OR EQUIPMENT INSTALLATION. THIS INCLUDES COORDINATING LOCATION AND QUANTITY OF ALL ELECTRICAL, PLUMBING, OR OTHER UTILITY INFRASTRUCTURE NEEDED TO SUPPORT SUCH ITEMS.

### PROJECT TEAM

**ARCHITECT**  
CALDWELL ASSOCIATES ARCHITECTS, INC  
H. MILLER CALDWELL, JR., RA  
116 NORTH TARRAGONA STREET  
PENSACOLA, FLORIDA 32501  
(850) 439-6576 phone  
(850) 438-6537 fax

### SYMBOLS LEGEND



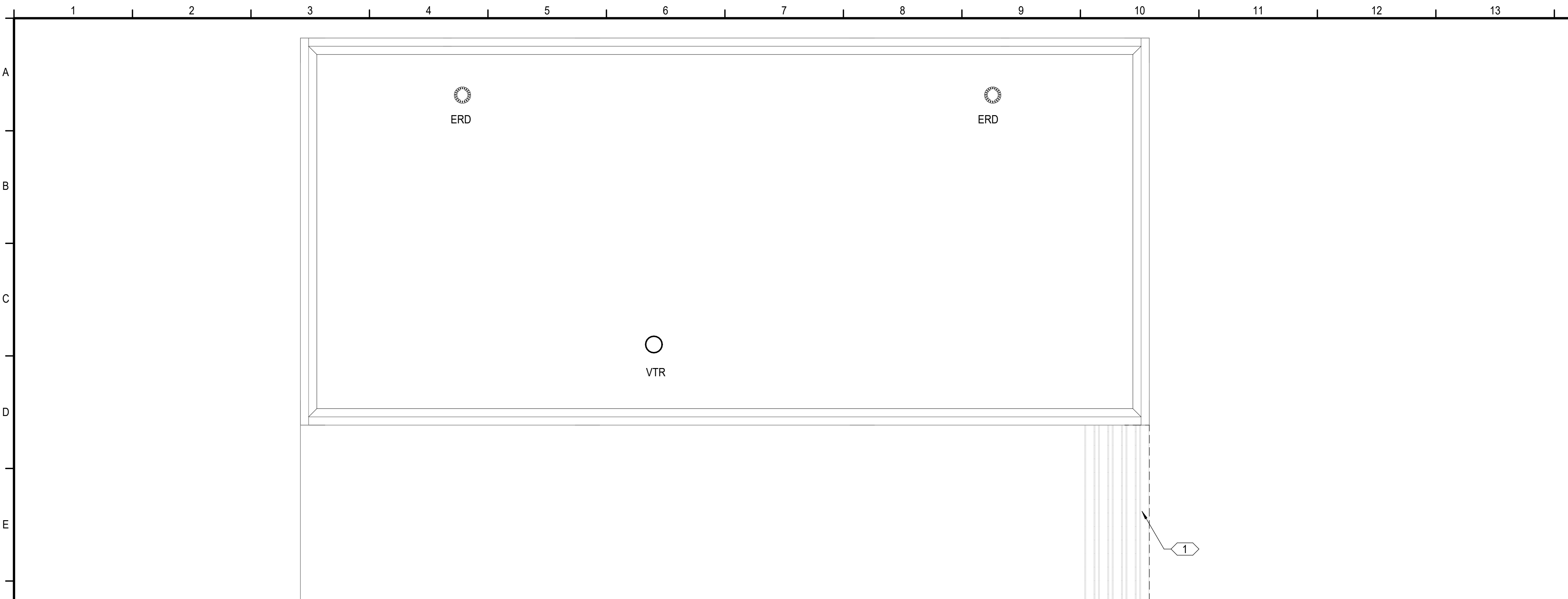
### View Name

1/8" = 1'-0"

### ABBREVIATIONS

AFF ABOVE FINISHED FLOOR  
AFG ABOVE FINISHED GRADE  
AL ALUMINUM  
BLDG BUILDING  
CMU CONCRETE MASONRY UNIT  
CONC CONCRETE  
DIA DIAMETER  
DIAG DIAGONAL  
EA EACH  
E.W. EACH WAY  
EQ EQUAL  
EXIST EXISTING  
FFE FINISH FLOOR ELEVATION  
GA GAUGE  
HM HOLLOW METAL  
LAV LAVATORY  
MANUF MANUFACTURER  
MAX MAXIMUM  
MIN MINIMUM  
MIR MIRROR  
OC ON CENTER  
OH OPPOSITE HAND  
OFCI OWNER FURNISHED, CONTRACTOR INSTALLED  
OFOI OWNER FURNISHED, OWNER INSTALLED  
R RADIUS  
SIM SIMILAR  
SQ.FT SQUARE FOOT  
T&G TONGUE AND GROOVE  
TYP TYPICAL





**KEYNOTES**

1 REMOVE AND REPLACE CORRUGATED GALVANIZED METAL ROOF PANELS; ANCHOR TO EXISTING BLOCKING ON EXISTING SHED TRUSS FRAMING; RE-ANCHOR BLOCKING TO TRUSSES AS REQUIRED WHERE LOOSE

**LEGEND**

ERD EXISTING ROOF DRAIN  
 EVTR EXISTING VENT THROUGH ROOF



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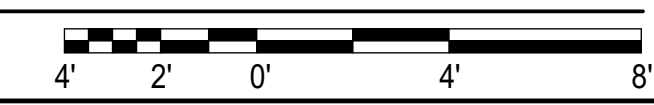
**A101**

PERMIT SET

**1 ROOF PLAN**

|            |               |          |
|------------|---------------|----------|
|            |               | <b>1</b> |
| TRUE NORTH | PROJECT NORTH | A101     |

1/4" = 1'-0"



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