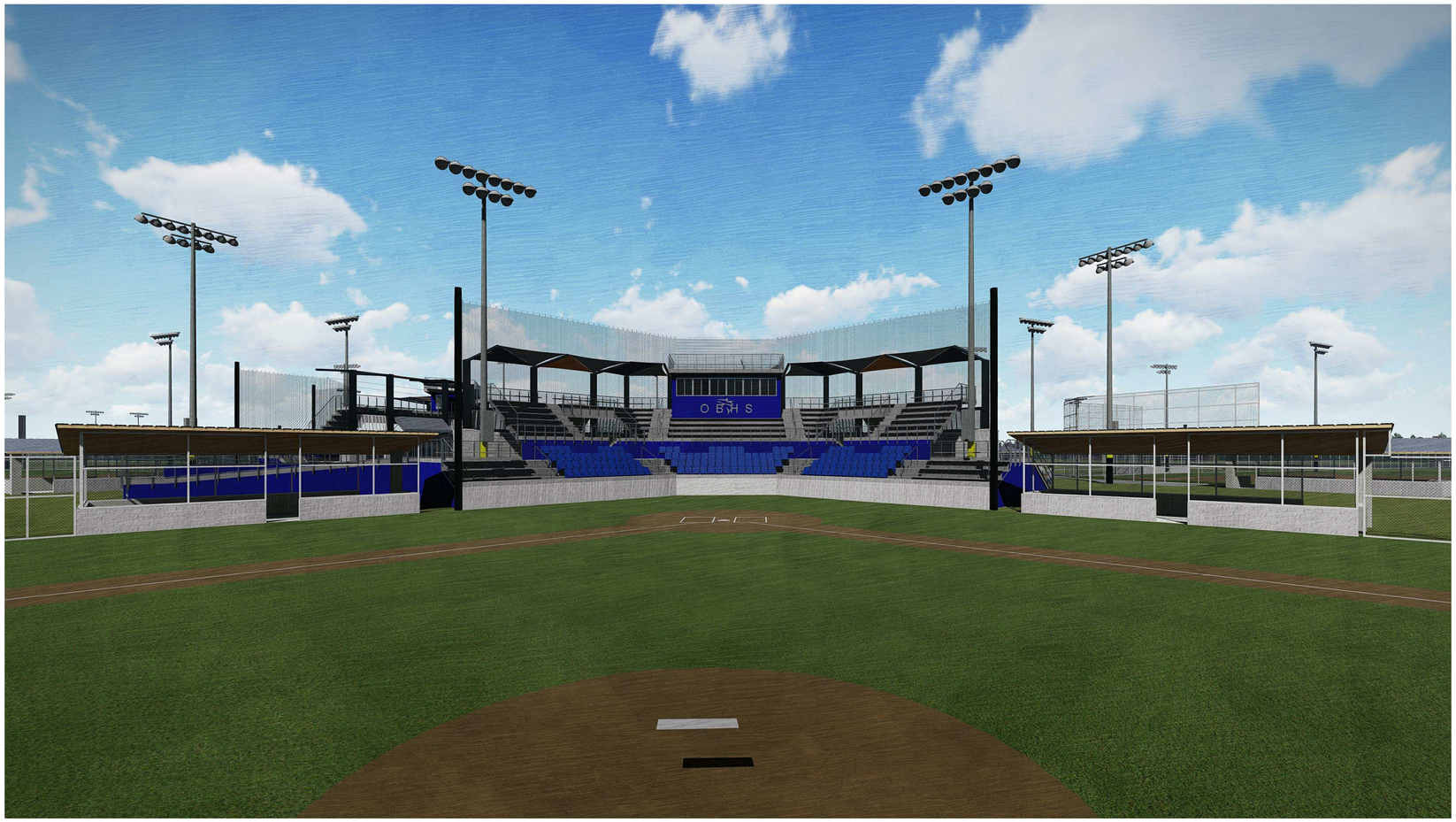
ORANGE BEACH SPORTS PLEX
RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH;
ORANGE BEACH, AL
DAI PROJECT # 3916
BC# TBD

100% BID DOCUMENTS

05-04-2020



STATE OF ALABAMA
DAVIS ARCHITECTS
2413
NEIL E. DAVIS
REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ;
ORANGE BEACH, ALABAMA

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REV	DATE	DESCRIPTION

DATE: 5-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO: 3916

SHEET TITLE
COVER SHEET

DRAWING NO.
G100

ABBREVIATIONS

AD	AREA DRAIN
ADA	AMERICANS WITH DISABILITIES ACT
ADAAG	ADA ACCESSIBILITY GUIDELINES
ADD'N	ADDITION
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
BD	BOARD
BRNG	BEARING
CAB	CABINET
CJ	CONTROL JOINT
CL	CENTER LINE
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CT	CERAMIC TILE
DR	DOOR
DWG	DRAWING
EIFS	EXTERIOR INSULATION & FINISH SYSTEM
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRIC
EO	EDGE OF
EQ	EQUAL
EQUIP	EQUIPMENT
ERD	EMERGENCY ROOF DRAIN
EWC	ELECTRIC WATER COOLER
EXS	EXISTING
EXT	EXTERIOR
FAMAB	FLUID APPLIED MEMBRANE AIR BARRIER
FD	FLOOR DRAIN
FEC	FIRE EXTINGUISHER CABINET
FEX	FIRE EXTINGUISHER
FIN	FINISH
FLG	FLOORING
FLUOR	FLUORESCENT
FND	FOUNDATION
FOF	FACE OF FINISH
FRT	FIRE RETARDENT TREATED
GA	GAUGE
GLS	GLASS
GR	GRADE
GYP	GYPSUM
GYP BD	GYPSUM BOARD
HC	HANDICAPPED
HM	HOLLOW METAL
HORZ	HORIZONTAL
HPC	HIGH PERFORMANCE COATING
HT	HEIGHT
I D	INSIDE DIAMETER
IBC	INTERNATIONAL BUILDING CODE
INSUL	INSULATION
J.B.	JOIST BEARING
JAN	JANITOR
LAM	LAMINATE
LAV	LAVATORY
M.O.	MASONRY OPENING
MAX	MAXIMUM
MED	MEDIUM
MIL	MILLIMETER
MIN	MINIMUM
MR	MOISTURE RESISTANT
MTL	METAL
NIC	NOT IN CONTRACT
NO.	NUMBER
O C	ON CENTER
O D	OUTSIDE DIAMETER
OH	OPPOSITE HAND
OPP.	OPPOSITE
PART	PARTITION
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLBG	PLUMBING
PROJ	PROJECT
PT	PREASSURE TREATED
PVC	POLYVINYL CHLORIDE
R.O.	ROUGH OPENING
RD	ROOF DRAIN
RDL / RL	ROOF DRAIN LEADER
REQ'D	REQUIRED
RFG	ROOFING
S C	SOLID CORE
S S	STAINLESS STEEL
SAFF	SELF ADHERED FLEXIBLE FLASHING
SECT	SECTION
SIM	SIMILAR
STL	STEEL
T O	TOP OF
TEL	TELEPHONE
TEMP	TEMPORARY
THK	THICK
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
V.I.F	VERIFY IN FIELD
VERT	VERTICAL
VEST	VESTIBULE
WD	WOOD
WG	WIRE GLASS

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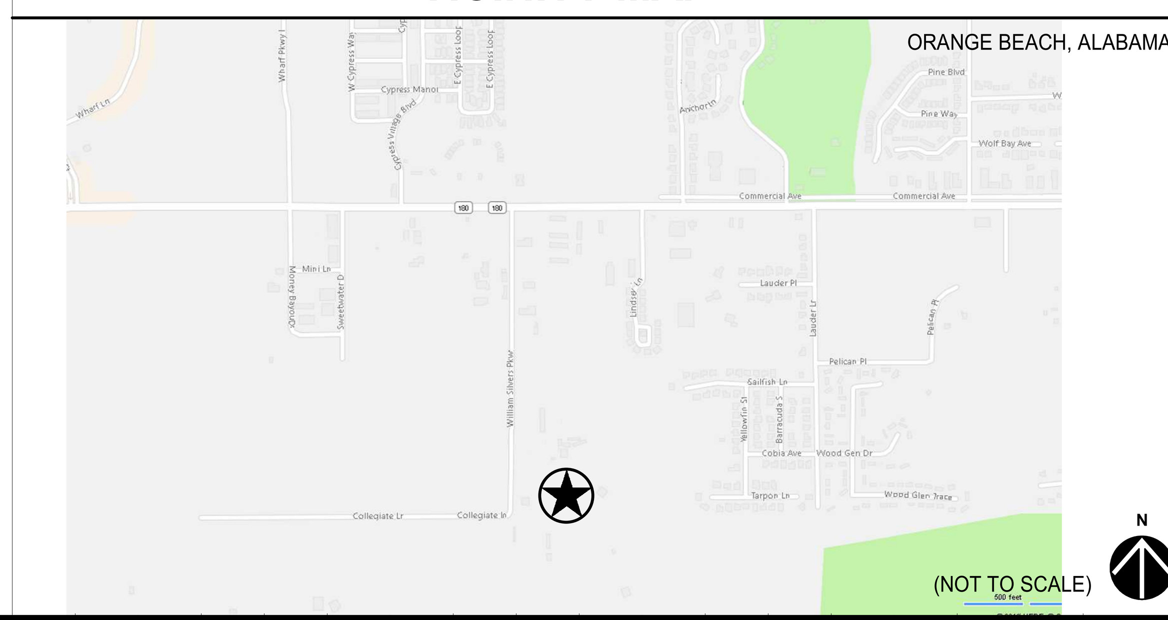
E500	AUDIO RISER DIAGRAM
E501	DATA/TEL RISER DIAGRAM

VICINITY MAP

ORANGE BEACH, ALABAMA



SYMBOLS LEGEND

- SECTION NUMBER / SHEET NUMBER
- ELEVATION NUMBER / SHEET NUMBER
- DETAIL NUMBER / SHEET NUMBER
- INTERIOR ELEVATION NUMBER / SHEET NUMBER
- COLUMN GRID NUMBER
- LEVEL NAME AND ELEVATION
- SPOT ELEVATION
- DOOR NUMBER REFER TO SCHEDULE
- ROOM NAME AND NUMBER
- PARTITION TYPE REFER TO SCHEDULE
- WINDOW TYPE REFER TO SCHEDULE
- LOUVER TYPE REFER TO SCHEDULE
- TOILET ACCESSORY TAG REFER TO SCHEDULE
- EXPANSION JOINT TAG REFER TO SCHEDULE
- CEILING TYPE AND HEIGHT REFER TO SCHEDULE
- ROOM FINISH TAG
- WALL FINISH
- BASE FINISH
- FLOOR FINISH
- CONTROL JOINT TAG

APPLICABLE CODES

2018 (IBC) INTERNATIONAL BUILDING CODE

2018 (IPC) INTERNATIONAL PLUMBING CODE

2018 (IGC) INTERNATIONAL FUEL GAS CODE

2018 (IMC) INTERNATIONAL MECHANICAL CODE

2017 (NEC) NATIONAL ELECTRICAL CODE

2018 (IFC) INTERNATIONAL FIRE CODE

2018 (IFC) INTERNATIONAL FIRE CODE

2013 NATIONAL FIRE ALARM AND SIGNALING CODE (NFPA 72)

ANSI/ASHRAE/IESNA STANDARD 90.1-2013 ENERGY STANDARD FOR BUILDINGS EXCEPT LOW-RISE RESIDENTIAL

ANSI A117.1 -2018 ACCESSIBLE AND USABLE BUILDINGS

2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

PROJECT ALTERNATES

ALTERNATE #1 - CANOPIES OVER GRANDSTAND AND RELATED STRUCTURE
(CHANGES OCCUR TO THE STRUCTURAL COLUMNS, FRAMING AND FOOTINGS TO ALLOW THE MOUNTING AND SUPPORT OF MULTIPLE HORIZONTALLY INSTALLED SAIL FABRIC CANOPIES. CANOPIES TO TAKE PLACE ABOVE THE GRANDSTAND RAISED SEATING AREA ONLY.)

ALTERNATE #2 - TWO-BATTING CAGE AND PRACTICE FACILITY
(ADDITIONAL SITE MODIFICATIONS WITH A NEW LIGHTED AND POWERED PRE-ENGINEERED METAL BUILDING ON CONCRETE SLAB WITH 2 NON-CONDITIONED STORAGE ROOMS AND EXTERIOR COVERED 4 LANE BATTING CAGE NETTING AND A SINGLE MULTI PRACTICE SPACE WITH TURF FLOOR.)

ALTERNATE #3 - NEW FIELD FENCING
REMOVAL OF OLD FIELD FENCING AND GATES AT BOTH FIELDS AND INSTALLATION OF NEW FENCING AND GATES AT 6'-0" AND 8'-0" HEIGHTS THROUGHOUT - SEE CIVIL.

ALTERNATE #4 - PRIVACY SCREEN
PRIVACY SCREEN AT ALL NEW FIELD FENCING AT 6'-0" AND 8'-0" HEIGHTS - SEE CIVIL

ALTERNATE #5 - RE-GRADE FIELD 2 OUTFIELDS
REGRADE FIELD 2 OUT FIELDS FROM EXISTING 3% SLOPE TO 1.5% SLOPE AND ADD NEW SOD - SEE CIVIL

NEW BASEBALL AND SOFTBALL GRANDSTAND & EXISTING SPORTSPLEX FACILITY PLUMBING FIXTURES

THE OWNER/CITY HAS REQUESTED THAT NO ADDITIONAL PLUMBING FIXTURES BE ADDED TO THE EXISTING RESTROOM FACILITIES PRESENT ON SITE

NOTES:

- THE LOCAL CODE OFFICAL HAS THE RIGHT TO MAKE AN EXCEPTION TO THE CODE PER THE IBC.
- THE EXISTING CONCESSIONS BUILDING INCLUDING RESTROOMS IS WITHIN 500'-0" OF ALL NEW STRUCTURES AND NEW ADA SEATING AREAS
- CALCULATIONS FOR NEW FIXTURES HAVE BEEN INCLUDED IN THE CODE STUDY PORTION OF THE DRAWINGS FOR THE LOCAL CODE REVIEWERS REFERENCE.
- THE BATTING CAGE WILL ONLY BE IN USE BY THE SAME OCCUPANTS USING THE FIELD AND DUGOUTS. NO OCCUPANT INCREASE SHOULD OCCUR.

FIELD 2 SF/OCC. STUDY

FLOOR AREAS

FIELD 2 PRESS BOX (CONDITIONED & NON-SPRINKLERED)	418 SF
FIELD 2 STADIUM (NON-CONDITIONED NON-SPRINKLERED)	5,079 SF
TOTAL BUILDING GROSS SF	**5,497 SF**

OCCUPANT EGRESS COUNTS

EGRESS TYPES		# OF OCCUPANT
ASSEMBLY (FIXED SEATS)	(480**)	480
BUSINESS	(15*)	15
MECHANICAL / ELECTRICAL		1
TOTAL OCCUPANCY		(496 OCC.)

(*) DESIGN LOAD
(**) FIXED SEATS ONLY

FIELD 3 SF/OCC. STUDY

FLOOR AREAS

FIELD 3 PRESS BOX (CONDITIONED & NON-SPRINKLERED)	418 SF
FIELD 3 STADIUM (NON-CONDITIONED NON-SPRINKLERED)	4,360 SF
TOTAL BUILDING GROSS SF	**4,778 SF**

OCCUPANT EGRESS COUNTS

EGRESS TYPES		# OF OCCUPANT
ASSEMBLY (FIXED SEATS)	(392**)	392
BUSINESS	(15*)	15
MECHANICAL / ELECTRICAL		1
TOTAL OCCUPANCY		(408 OCC.)

(*) DESIGN LOAD
(**) FIXED SEATS ONLY

BATTING CAGE BUILDING SF/OCC. STUDY

FLOOR AREAS

BATTING CAGE & STORAGE BUILDING (NON-CONDITIONED & NON-SPRINKLERED)	6,480 SF
TOTAL BUILDING GROSS SF	**6,480 SF**

OCCUPANT EGRESS COUNTS

EGRESS TYPES		# OF OCCUPANT
EXERCISE	(79)	79
STORAGE/ACCESSORY	(1.22)	2
TOTAL OCCUPANCY		(81 OCC.)

STATE OF ALABAMA
2413
REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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SHEET TITLE
INDEX & GENERAL INFORMATION

DRAWING NO.
G101

GENERAL

1. THE PROJECT MANUAL (SPECIFICATIONS) IS A VITAL PART OF THE CONTRACT DOCUMENTS. THE PROJECT CANNOT BE SUCCESSFULLY BUILT WITHOUT FULL ADHERENCE TO THE TECHNICAL SPECIFICATIONS. THE NOTES THAT FOLLOW BY DIVISION ARE IN ADDITION TO THE REQUIREMENTS SPECIFIED IN THE PROJECT MANUAL
2. UNLESS NOTED OTHERWISE, THE GENERAL CONDITIONS FOR CONSTRUCTION ARE A PART OF THE CONTRACT DOCUMENTS. THE GENERAL CONDITIONS SET FORTH THE RESPONSIBILITIES OF THE VARIOUS PARTIES INVOLVED IN THE CONSTRUCTION. THE CONTRACTOR SHALL READ THESE AND FAMILIARIZE HIMSELF WITH THE REQUIREMENTS BEFORE STARTING CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY MEASURES DURING THE EXECUTION OF THE WORK. THE ARCHITECT MAY ALERT THE CONTRACTOR'S SUPERINTENDENT TO OBSERVED UNSAFE CONDITIONS, BUT THE ARCHITECT IS NOT RESPONSIBLE FOR PROJECT SAFETY AND WILL NOT ASSUME THAT RESPONSIBILITY.
4. THE FOLLOWING DEFINITIONS SHALL APPLY, UNLESS NOTED OTHERWISE IN THE CONTRACT DOCUMENTS.
    1. ALIGN: PROVIDE FINISH FACES OF MATERIALS IN STRAIGHT, TRUE, AND PLUMB RELATION TO ADJACENT MATERIALS
    2. AS REQUIRED: PROVIDE THE SPECIFIED COMPONENTS TO COMPLETE THE NOTED SYSTEMS.
    3. SIMILAR: PROVIDE COMPLETE COMPONENTS FOR THE SYSTEM INDICATED THAT ARE COMPARABLE TO THE CHARACTERISTICS FOR THE CONDITION NOTED.
    4. TYPICAL: INDICATES COMPLETE IDENTICAL SYSTEM SHALL BE PROVIDED FOR EACH OCCURRENCE OF THE CONDITION NOTED.
5. REFER TO DIVISION 1 SECTION "REFERENCES" FOR ADDITIONAL TYPICAL TERMS AND DEFINITIONS APPLICABLE TO THE CONSTRUCTION DOCUMENTS. THIS SECTION SHALL TAKE PRECEDENCE OVER ANY OTHER DEFINITIONS STATED ELSEWHERE IN THE CONSTRUCTION DOCUMENTS.

DIVISION 1

1. UNLESS NOTED OTHERWISE, THE TERM CONTRACTOR IN THE FOLLOWING NOTES SHALL REFER TO THE CONTRACTOR WHO HOLDS THE PRIME CONTRACT WITH THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ALL WORK CONTAINED IN THE CONSTRUCTION DOCUMENTS.
2. REFERENCES TO WORK BY SUBCONTRACTORS IN THE DRAWINGS OR SPECIFICATIONS ARE FOR INFORMATION ONLY AND SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ASSIGNING WORK TO THE VARIOUS TRADES.
3. THE CONTRACTOR IS REQUIRED TO COORDINATE WORK OF SEPARATE CONTRACTORS EMPLOYED BY THE OWNER. THIS WORK SHALL BE REFLECTED IN THE CONSTRUCTION SCHEDULE.
4. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW THE CONSTRUCTION DOCUMENTS, COMPARE REQUIREMENTS FOR EACH TRADE, AND REFER ANY CONFLICTS TO ARCHITECT BEFORE BEGINNING CONSTRUCTION.
5. IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE OBVIOUS CORRECT INTENT SHALL GOVERN. REFER ALL OTHER UNCERTAINTIES TO THE ARCHITECT FOR RESOLUTION.
6. REQUESTS FOR INFORMATION (RFI'S) SHALL BE USED EXCLUSIVELY TO SEEK INFORMATION OR CLARIFICATIONS THAT ARE NOT CONTAINED IN THE CONTRACT DOCUMENTS. THE ARCHITECT MAY DISCARD RFI'S IF THE INFORMATION CAN EASILY BE FOUND IN THE DRAWINGS OR SPECIFICATIONS SIMPLY BY LOOKING.
7. THE INTENT OF THE COMPLETED PROJECT IS TO MEET ALL APPLICABLE CODES, LIFE SAFETY REQUIREMENTS, ACCESSIBILITY REQUIREMENTS, AND RULES AND LAWS OF AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL REPORT ANY UNCERTAINTIES OR KNOWN VIOLATIONS TO THE ARCHITECT FOR RESOLUTION.
8. THE DIVISION 1 SECTIONS OF THE PROJECT MANUAL CONTAIN GENERAL INFORMATION AND REQUIREMENTS APPLICABLE TO ALL SECTIONS IN DIVISIONS 2-16. THE CONTRACTOR SHALL ISSUE A COPY OF ALL DIVISION 1 SECTIONS INCLUDING TABLE OF CONTENTS WHEN ISSUING PARTIAL SETS OF DOCUMENTS TO OTHER CONTRACTORS.
9. ISSUING PARTIAL SETS OF CONSTRUCTION DOCUMENTS IS DISCOURAGED BY THE ARCHITECT AND THE OWNER.
10. UNLESS NOTED OTHERWISE IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE TEMPORARY PARKING SPACES FOR THE ARCHITECT, ENGINEERS, AND OWNER'S PROJECT MANAGER (IF APPLICABLE) FOR REGULARLY SCHEDULED PROJECT MEETINGS.
11. ALL PRODUCTS INCORPORATED INTO THE PROJECT SHALL BE NEW UNLESS NOTED OTHERWISE.
12. UNLESS NOTED OTHERWISE, WARRANTIES SHALL NOT BEGIN UNTIL SYSTEMS ARE CERTIFIED TO BE OPERATIONAL REGARDLESS OF THE INSTALLATION DATE AND THE DATE FOR SUBSTANTIAL COMPLETION. (FOR EXAMPLE, IF THE OWNER IS FORCED TO OCCUPY THE BUILDING, AND SUBSTANTIAL COMPLETION IS GRANTED, IF A SYSTEM IS NOT FUNCTIONAL, THE BEGINNING WARRANTY DATE SHALL BE AS STATED ABOVE).
13. THE USE OF HAZARDOUS MATERIALS, EVEN PRODUCTS WITH TRACE AMOUNTS, SHALL NOT BE INCORPORATED INTO THE WORK.
14. MATERIALS CONTAINING MOLD SHALL BE REMOVED FROM THE JOBSITE.
15. ALL TESTS AND INSPECTIONS FOR AIR AND MOISTURE PENETRATION SHALL BE COMPLETED PRIOR TO INSTALLATION OF ANY INTERIOR FINISH MATERIALS.
16. FLOOR FINISH COVERINGS, FINISH TOPPINGS, FLOOR COATINGS, AND OTHER SHEET MEMBRANES SHALL NOT BE INSTALLED OVER CONCRETE SLABS ON GRADE PRIOR TO COMPLETE DRYING OF THE CONCRETE SLAB AND AFTER FIELD TESTING FOR ACCEPTABLE MOISTURE CONTENT.
17. THE CONTRACTOR SHALL TAKE CARE TO CLEAN UP LIQUID SPILLS ON FLOORS TO MINIMIZE THE MOISTURE CONTENT IN THE SLAB AND TO REDUCE SLIPPING ACCIDENTS.
18. FUEL POWERED EQUIPMENT AND FUEL CANS SHALL NOT BE STORED IN THE BUILDING.
19. THE SPECIFICATIONS CONTAIN REQUIREMENTS FOR PREINSTALLATION CONFERENCES AND MOCKUPS PRIOR TO STARTING WORK OF EACH SECTION. MOCKUPS SHALL BE IN PLACE BEFORE REQUESTING AN INSPECTION.
20. WHERE INCORRECT REFERENCES ARE MADE ON THE DRAWINGS OR IN THE SPECIFICATIONS TO SPECIFICATION SECTION NUMBERS AND TITLES NOT FOUND IN THE PROJECT MANUAL, AND WHERE THERE IS NO DOUBT AS TO THE ARCHITECT'S INTENT, THE CONTRACTOR SHALL ASSUME THE CORRECT SECTION NUMBER AND TITLE THAT SPECIFIES THE RELEVANT PRODUCTS. REFER UNCERTAINTIES TO ARCHITECT FOR CLARIFICATION.
21. WHERE INCORRECT REFERENCES TO WALL SECTIONS, DETAILS, AND DRAWING NUMBERS OCCUR, THE CONTRACTOR SHALL ASSUME THE CORRECT REFERENCES OR REFER UNCERTAINTIES TO THE ARCHITECT FOR CLARIFICATION.
22. SPECIAL INSPECTIONS AND TESTING ARE REQUIRED ON THIS PROJECT INCLUDING WRITTEN DOCUMENTATION AND REPORTING. REFER TO THE DIVISION 1 SPECIFICATIONS AND/OR STRUCTURAL DRAWINGS FOR SPECIFIC REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE TESTING AGENCY WHEN TESTING IS TO BE PERFORMED WITH AT LEAST 24 HOURS ADVANCE NOTICE.
23. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK PRIOR TO THE NEXT APPLICATION FOR PAYMENT.
24. NEW WORK SHALL BE MADE TO TIE INTO THE EXISTING IN A UNIFORM MANNER. SIMILAR ITEMS OF NEW WORK SHALL BE CHECKED AGAINST EXISTING WORK FOR TYPE AND MOUNTING HEIGHTS. IF ITEMS SHOWN IN NEW WORK ARE AT VARIANCE FROM THE EXISTING WORK, REFER TO ARCHITECT BEFORE ROUGHING IN.
25. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION. VERIFY ALL EXISTING SITE CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITH THE DRAWINGS.
26. ALL OPENINGS REQUIRING INSTALLATION OF PREFABRICATED ITEMS SUCH AS WINDOWS, DOOR FRAMES, ETC. SHALL BE FIELD MEASURED OR THE CONTRACTOR SHOULD GUARANTEE THE OPENINGS. DO NOT RELY ON THE DIMENSIONS ON THE DRAWINGS.
27. THE CONTRACTOR SHALL PROVIDE COORDINATION DRAWINGS AS SPECIFIED IN DIVISION 1 SECTION "PROJECT MANAGEMENT AND COORDINATION."
28. THE MECHANICAL AND ELECTRICAL DRAWINGS ARE DIAGRAMMATIC. THE INTENT OF THE DESIGN IS THAT ALL REQUIRED CLEARANCES FOR EQUIPMENT, ESPECIALLY POWER PANELS, SHALL BE PROVIDED. IF THE CONTRACTOR DISCOVERS THAT ADEQUATE CLEARANCES WILL NOT BE POSSIBLE WITHIN THE MECHANICAL OR ELECTRICAL ROOMS FOR THE APPROVED EQUIPMENT, HE SHALL CONTACT THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
29. ALL DETAILS AND SECTIONS ARE INTENDED TO BE TYPICAL FOR THE GENERAL CONDITIONS IN THE PROJECT. ALL DETAILS AND SECTIONS SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR CONDITION THROUGHOUT THE PROJECT UNLESS A SPECIFIC DETAIL IS PROVIDED. REFER ANY UNCERTAINTIES TO ARCHITECT FOR CLARIFICATION.
30. THE CONTRACTOR SHALL NOT REPRODUCE CONSTRUCTION DOCUMENTS IN WHOLE OR IN PART FOR SHOP DRAWING PRODUCTION WITHOUT THE ARCHITECT'S APPROVAL. ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS SHALL NOT RELIEVE THE CONTRACTOR FROM THE REQUIREMENT TO ACCURATELY LAY OUT, COORDINATE, DETAIL, FABRICATE, AND INSTALL A COMPLETE WORKABLE SYSTEM OF COMPONENTS.
31. THE CONTRACTOR SHALL MAKE NO DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS WITHOUT THE ARCHITECT'S WRITTEN APPROVAL.
32. CONSTRUCTION CHANGES AFFECTING CONTRACT SUM SHALL BE APPROVED BY OWNER IN WRITING BEFORE IMPLEMENTATION OF THE CHANGE.
33. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND UTILITIES PRIOR TO START OF CONSTRUCTION.
34. THE CONTRACTOR IS RESPONSIBLE FOR FIELD MEASUREMENTS TO PROPERLY FIT THE WORK.
35. THE CONTRACTOR'S CONSTRUCTION SUPERINTENDENT SHALL REPRESENT THE CONTRACTOR AND THE SUBCONTRACTORS. WHEN A PROBLEM ARISES DURING EXECUTION OF THE WORK, THE SUPERINTENDENT IS EXPECTED TO KNOW AND UNDERSTAND EACH PROBLEM AND HAVE TRIED TO RESOLVE IT BEFORE CALLING THE ARCHITECT.
36. THE CONTRACTOR IS REQUIRED TO PROTECT THE INSTALLED WORK UNTIL SUBSTANTIAL COMPLETION. THIS INCLUDES MAINTAINING THE PROPER TEMPERATURE AND HUMIDITY LEVELS FOR THE PRODUCTS INSTALLED.
37. SMOKING, EATING, AND DRINKING INSIDE THE BUILDING (OTHER THAN WATER) IS NOT ALLOWED.
38. THE CONTRACTOR SHALL REMOVE CONSTRUCTION DEBRIS FROM CONCEALED SPACES BEFORE ENCLOSING THE SPACE. AIR HANDLING EQUIPMENT AND DUCTWORK SHALL BE PROTECTED TO PREVENT ACCUMULATION OF DIRT AND DEBRIS IN THE FINISHED WORK.
39. UNLESS NOTED OTHERWISE IN THE PROJECT MANUAL, THE CONTRACTOR SHALL SUBMIT THE OPERATIONS AND MAINTENANCE MANUALS AT LEAST TWO WEEKS BEFORE THE FINAL INSPECTION IS SCHEDULED FOR SUBSTANTIAL COMPLETION. THE FINAL INSPECTION WILL NOT BEGIN UNTIL O&M MANUALS HAVE BEEN APPROVED.
40. THE CONSTRUCTION SCHEDULE SHALL ALLOW TIME FOR TESTING AND BALANCING PRIOR TO SUBSTANTIAL COMPLETION. THE PROJECT WILL NOT BE CONSIDERED SUBSTANTIALLY COMPLETE UNTIL THE TESTING AND BALANCING HAS BEEN COMPLETED.
41. REQUEST FOR FINAL INSPECTION SHALL BE IN WRITING TO THE ARCHITECT.
42. WHEN APPLICABLE, ALL DEMONSTRATION AND TRAINING OF OWNER'S PERSONNEL SHALL BE COMPLETE BEFORE THE PROJECT IS CERTIFIED TO BE SUBSTANTIALLY COMPLETE BY THE ARCHITECT.
43. THE CONTRACTOR SHALL CONDUCT TWO POST CONSTRUCTION INSPECTIONS;
    1. THE FIRST INSPECTION WILL BE HELD APPROXIMATELY 8 MONTHS AFTER SUBSTANTIAL COMPLETION TO ADDRESS PLUMBING, HVAC, AND ELECTRICAL CONCERNS;
    2. THE SECOND INSPECTION WILL BE HELD PRIOR TO EXPIRATION OF THE 1-YEAR WARRANTY PERIOD TO ADDRESS GENERAL CONSTRUCTION, INCLUDING THE ABOVE. ALL PROBLEMS DISCOVERED DURING THESE INSPECTIONS THAT RELATE TO DEFECTIVE MATERIALS AND WORKMANSHIP SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

DIVISION 2

1. EXISTING GRADES, TREES, ROADS, UTILITIES, STRUCTURES, AND OTHER PHYSICAL FEATURES ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO WORK IN THE AREA.
2. THE USE OF EXPLOSIVES IN CONSTRUCTION IS NOT PERMITTED.
3. UNLESS NOTED OTHERWISE, GEOTECHNICAL REPORTS ARE FOR INFORMATION ONLY WHETHER OR NOT BOUND INTO THE PROJECT MANUAL.
4. APPLICATION OF TERMITICIDES SHALL BE WITNESSED BY THE ARCHITECT OR THE OWNER'S REPRESENTATIVE, AND CERTIFIED IN WRITING BY THE CONTRACTOR.
5. UNLESS NOTED OTHERWISE IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING OF NEW GRASS, TREES, AND OTHER VEGETATION TO GET THROUGH PERIODS OF NO RAINFALL OR TAKE RESPONSIBILITY TO REESTABLISH THOSE AREAS THAT PERISH.

DIVISION 3: SEE STRUCTURAL DRAWINGS

DIVISION 4

1. UNLESS NOTED OTHERWISE ON THE DRAWINGS, PROVIDE CONTROL JOINTS IN CMU WALLS IN ACCORDANCE WITH
2. ACI 530.1, BUT NOT MORE THAN 28 FEET ON CENTER AND WHERE WALLS CHANGE HEIGHT IN THE PLANE OF THE WALL. ARCHITECT TO APPROVE JOINT LOCATIONS.
3. UNLESS NOTED OTHERWISE ON THE DRAWINGS, PROVIDE EXPANSION JOINTS IN CLAY MASONRY NOT TO EXCEED 24 FEET ON CENTER. ARCHITECT TO APPROVE JOINT LOCATIONS.
4. HORIZONTAL MASONRY DIMENSIONS ARE NOMINAL. CONTRACTOR SHALL CONVERT NOMINAL DIMENSIONS TO ACTUAL DIMENSIONS TO MAINTAIN MASONRY BOND PATTERN. FOR EXAMPLE, 1'-4" EQUALS 1'-3 5/8". OPENINGS ARE ALWAYS 3/8-INCHES WIDER THAN THE NOMINAL DIMENSION; I.E., 4'-0" MO EQUALS 4'-0 3/8".
5. CHEMICAL CLEANERS FOR FACE BRICK SHALL BE APPROVED IN WRITING BY THE FACE BRICK AND MORTAR MANUFACTURERS PRIOR TO THEIR USE. NO EXCEPTIONS.

DIVISION 5

1. WHERE CEILING MOUNTED TOILET PARTITIONS ARE USED, PROVIDE MISCELLANEOUS STEEL SUPPORTS IN ACCORDANCE WITH REQUIREMENTS OF DIVISION 5 SECTION "METAL FABRICATIONS."
2. WHERE COUNTERTOPS ARE UNSUPPORTED BY BASE CABINETS, PROVIDE MISCELLANEOUS STEEL SUPPORTS IN ACCORDANCE WITH REQUIREMENTS OF DIVISION 5 SECTION "METAL FABRICATIONS."
3. WHERE STRUCTURALLY REQUIRED TO SUPPORT ELEVATOR AND COMPONENTS, PROVIDE MISCELLANEOUS STEEL SUPPORTS IN ACCORDANCE WITH REQUIREMENTS OF DIVISION 5 SECTION "METAL FABRICATIONS."

DIVISION 6

1. PROVIDE CONCEALED WOOD BLOCKING OR METAL SHEET IN METAL STUD PARTITIONS FOR SURFACE MOUNTED ACCESSORIES SUCH AS TOILET ACCESSORIES, TOILET PARTITIONS, AND OTHER CONSTRUCTION REQUIRING SECURE ATTACHMENT TO WALLS. PROVIDE FIRE RETARDANT TREATED WOOD WHERE REQUIRED BY CODE OR AUTHORITIES HAVING JURISDICTION.
2. PROVIDE GROMMETS FOR DATA AND POWER CABLES IN COUNTERTOPS WHETHER OR NOT SHOWN ON DRAWINGS. COORDINATE LOCATIONS WITH ARCHITECT.
3. SCRIBE ALL COUNTERTOPS TO WALLS AND SEAL WITH SPECIFIED SEALANT WHETHER OR NOT SHOWN ON THE DRAWINGS.
4. VERIFY EXACT HEIGHT OF COUNTERTOPS AND BACKSPLASHES PRIOR TO ROUGHING IN FOR ELECTRICAL OUTLETS.
5. VERIFY DOOR SWINGS BEFORE ROUGHING IN FOR WALL SWITCHES, DIMMERS, AND MAGNETIC DOOR HOLDERS.

DIVISION 7

1. WHERE PROVIDED, VAPOR BARRIERS SHALL BE CONTINUOUS WITH ALL PENETRATIONS PROPERLY SEALED.
2. WHERE WATERPROOFING IS CALLED FOR ON THE DRAWINGS, APPLY WATERPROOFING SYSTEM TO ALL SIMILAR SURFACES BELOW GRADE WHETHER OR NOT SHOWN ON THE DRAWINGS.
3. HORIZONTAL WATERPROOFING SHALL BE FLOOD TESTED BY THE CONTRACTOR AND WITNESSED BY THE TESTING AGENCY.
4. PROVIDE POSITIVE DRAINAGE ON ALL ROOFS WHETHER OR NOT SHOWN ON THE DRAWINGS SO NO STANDING WATER REMAINS AFTER 48 HOURS.
5. PROVIDE CRICKETS AT ALL ROOF CURBS AND EQUIPMENT RAILS SET PERPENDICULAR TO ROOF SLOPE THAT ARE WIDER THAN 24-INCHES.
6. ON LOW SLOPE ROOFS WITH PARAPETS, PROVIDE THROUGH WALL EMERGENCY OVERFLOW SCUPPERS IN THE EVENT THAT INTERNAL ROOF DRAINS ARE PLUGGED SO WATER DEPTH NEVER EXCEEDS 2-INCHES AT ANY LOCATION. VERIFY LOCATIONS WITH ARCHITECT.
7. WHEN WALKWAY PADS ARE INCLUDED IN THE SPECIFICATIONS, PROVIDE WALKWAY PADS AROUND ALL ROOF TOP EQUIPMENT AND CONTINUOUS WALKWAY PATHS TO ROOF HATCHES OR LADDERS WHETHER OR NOT SHOWN ON THE DRAWINGS.
8. COORDINATE ALL UTILITIES SERVING ROOF TOP EQUIPMENT SO ROOF PENETRATIONS OCCUR WITHIN THE ROOF CURB.
9. IN THE ABSENCE OF A DETAIL OF ANY CONDITION ON THE ROOF, THE ROOF MANUFACTURER'S STANDARD DETAIL OR THE MOST STRINGENT NRCA/SMACNA DETAIL SHALL APPLY AS IF INCORPORATED INTO THE DRAWINGS.
10. IN THE ABSENCE OF ROOF EXPANSION JOINTS (NOT BUILDING EXPANSION JOINTS), ROOFING MANUFACTURER'S RECOMMENDATIONS SHALL GOVERN.
11. METAL COPINGS SHALL BE SECURED TO COMPLY WITH THE SPECIFICATIONS, AND IF NOT SPECIFIED, SHALL RESIST THE WIND LOADS FOR THE PARTICULAR PROJECT LOCATION.
12. WHEN PROJECT SPECIFICATIONS INCLUDE SPRAYED FIRE RESISTIVE MATERIALS, PROVIDE FIREPROOFING WHERE REQUIRED ON STRUCTURAL STEEL COMPONENTS TO MEET CONSTRUCTION TYPE FIRE PROTECTION WHETHER OR NOT SHOWN IN THE WALL SECTIONS AND DETAILS.
13. THE LIFE SAFETY DRAWINGS CONTAIN INFORMATION AND REQUIREMENTS RELATED TO FIRE RATED CONSTRUCTION AND FIRE PROTECTION SYSTEMS. COORDINATE THE REQUIREMENTS WITH THE CONSTRUCTION DOCUMENTS. REPORT DISCREPANCIES TO THE ARCHITECT.
14. WHERE THROUGH PENETRATIONS OCCUR IN FIRE RATED ASSEMBLIES, THE CONTRACTOR IS RESPONSIBLE FOR SEALING ALL OPENINGS REGARDLESS OF THE TRADE WHO MADE THE PENETRATION.
15. EXTEND SMOKE WALLS TO DECK AND SEAL SMOKE TIGHT. (SMOKE TIGHT SEALS NEED NOT BE FIRE RATED, UNLESS NOTED OTHERWISE).
16. ALL CONCEALED THROUGH PENETRATION FIRESTOPPING AND FIRE RESISTIVE JOINT SYSTEMS SHALL BE INSPECTED AND APPROVED PRIOR TO CONCEALMENT BEHIND PERMANENT CONSTRUCTION. PERMANENTLY IDENTIFY FIRE RATED PARTITIONS ABOVE CEILINGS AND/OR CONCEALED SPACES. THE LETTERING SHALL BE 2-INCHES IN HEIGHT AND SPACED AT 12 FEET ON CENTER. THE WORDING SHALL BE APPROPRIATE FOR THE TYPE OF FIRE RATED ASSEMBLY AND APPROVED BY THE FIRE MARSHAL OR THE AUTHORITY HAVING JURISDICTION.

DIVISION 8

1. WOOD DOORS SHALL NOT BE INSTALLED UNTIL THE BUILDING IS ENCLOSED, THE PERMANENT HEATING AND COOLING SYSTEMS ARE IN OPERATION, AND RESIDUAL MOISTURE FROM PLASTER, CONCRETE, MASONRY, AND TERRAZZO WORK HAS DISSIPATED. IF THE DOORS MUST BE INSTALLED BEFORE THE CONDITIONS ARE ACCEPTABLE DUE TO CONSTRUCTION SCHEDULE RESTRAINTS, THE CONTRACTOR SHALL PROCEED AT HIS OWN RISK.
2. PROVIDE CEILING ACCESS PANELS IN GYPSUM BOARD CEILINGS TO ACCESS MECHANICAL EQUIPMENT, WATER VALVES, AND ELECTRICAL JUNCTION BOXES AS REQUIRED. COORDINATE WITH MEP DRAWINGS FINAL EQUIPMENT LOCATIONS.
3. ALL REMOVABLE GLAZING STOPS SHALL BE LOCATED ON THE SECURE SIDE OF OPENINGS.

DIVISION 9

1. WHERE DRAWINGS INDICATE PARTITION TYPES, ACCOMPANIED BY A PARTITION SCHEDULE, AND A WALL IS FOUND TO HAVE NO DESIGNATION, THE CONTRACTOR SHALL ASSUME THE ADJACENT PARTITION TYPE, OR IF UNCERTAIN, ASSUME THE HIGHEST QUALITY. NO CHANGE ORDERS WILL BE GRANTED DUE TO MISSING DESIGNATIONS.
2. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN WET AREAS SUCH AS JANITOR CLOSETS, TOILETS, MECHANICAL ROOMS, AND FOOD PREPARATION AREAS.
3. UNLESS OTHERWISE SHOWN ON THE DRAWINGS, PROVIDE CONTROL JOINTS IN PLASTER WALLS AND CEILINGS IN ACCORDANCE WITH ASTM C 1063; VERTICAL SURFACES: 144 SF; HORIZONTAL SURFACES: 100 SF. REFER ANY UNCERTAINTIES TO ARCHITECT FOR APPROVAL.
4. UNLESS OTHERWISE SHOWN ON THE DRAWINGS, PROVIDE CONTROL JOINTS IN GYPSUM BOARD SURFACES IN ACCORDANCE WITH ASTM C 840; CEILINGS: 2500 SF, 50 FEET MAX; PARTITIONS: 30 FEET MAX.
5. METAL STUD THICKNESSES SHALL BE AS INDICATED ON THE DRAWINGS. WHERE NO THICKNESS IS INDICATED, PROVIDE A MINIMUM STEEL THICKNESS OF 0.027 INCHES.
6. ALL WALL FRAMING SHALL EXTEND TO THE DECK ABOVE AND PROVIDE DEFLECTION TRACKS, UNLESS NOTED OTHERWISE.
7. FIRE RATED SHAFT WALLS SHALL BE ENCLOSED AT LOWEST LEVEL AND AT THE TOP WITH CONSTRUCTION OF THE SAME FIRE RESISTANCE RATING AS REQUIRED FOR THE SHAFT ENCLOSURE.
8. ALL ROOMS SHALL BE ADA ACCESSIBLE. UNLESS NOTED OTHERWISE, ALL DOORS SHALL BE LOCATED SO THE EDGE OF DOOR OPENINGS FOR OUTSWING DOORS IS 18-INCHES MINIMUM FROM AN ADJACENT WALL, AND 12-INCHES MINIMUM FOR INSWING DOORS.
9. WHERE NO DIMENSION IS GIVEN AT INTERIOR DOOR LOCATIONS, LOCATE EDGE OF FRAME WITHIN 8-INCHES OF ADJACENT WALL IN CMU CONSTRUCTION AND 4" IN STUD WALL CONSTRUCTION. REFER UNCERTAINTIES TO ARCHITECT FOR APPROVAL.
10. THE DESIGN INTENT IS THAT THERE ARE NO DEAD END CORRIDORS IN THE BUILDING. IF IN THE LAYOUT OF THE WALLS THE CONTRACTOR DISCOVERS DISCREPANCIES OF A FEW INCHES RENDERING THE FINAL INSTALLATION UNACCEPTABLE TO AUTHORITIES HAVING JURISDICTION, SUBMIT ALTERNATE LAYOUT TO ARCHITECT FOR APPROVAL. REFER TO LIFE SAFETY DRAWINGS FOR ALLOWABLE DISTANCES.
11. ALL CEILING GRIDS OF ACOUSTICAL PANEL CEILINGS ARE TO BE CENTERED IN THE ROOMS, UNLESS NOTED OTHERWISE.
12. LOCATE LIGHT FIXTURES, SPRINKLER HEADS, FIRE ALARM EQUIPMENT, AND DEVICES IN THE CENTER OF THE CEILING PANELS UNLESS NOTED OTHERWISE.
13. CEILING MOUNTED SMOKE DETECTORS SHALL NOT BE LOCATED WITHIN 24 INCHES OF A SUPPLY OR RETURN GRILLE.

DIVISION 9 - CONTINUED

14. SUSPENDED CEILING GRIDS SHALL NOT BE INSTALLED UNTIL ALL ABOVE CEILING EQUIPMENT AND UTILITIES ARE COMPLETED. CEILING PANELS SHALL NOT BE INSTALLED UNTIL THE ARCHITECT HAS COMPLETED THE ABOVE CEILING INSPECTION. IF CEILING PANELS HAVE BEEN INSTALLED PRIOR TO REQUIRED INSPECTIONS, THE CONTRACTOR SHALL REMOVE AND REPLACE CEILING PANELS AT NO ADDITIONAL COST TO THE OWNER. SOILED OR DAMAGED CEILING PANELS AND GRIDS RESULTING FROM REWORK ARE CONSIDERED DEFECTIVE WORK AND SHALL BE REPLACED IMMEDIATELY AND PRIOR TO INSPECTIONS FOR SUBSTANTIAL COMPLETION. DO NOT INSTALL ACOUSTICAL PANEL CEILINGS UNTIL BUILDING IS ENCLOSED, PERMANENT HEATING AND COOLING EQUIPMENT IS IN OPERATION, AND EQUIPMENT SUCH AS LIGHT FIXTURES SHALL BE INDEPENDENTLY SUPPORTED FROM THE CEILING SUSPENSION SYSTEM. EQUIPMENT SUCH AS LIGHT FIXTURES SHALL BE INDEPENDENTLY SUPPORTED FROM THE CEILING SUSPENSION SYSTEM.
15. PAINT EXPOSED EDGES OF CUT TEGULAR CEILING PANELS TO MATCH.
16. COORDINATE ABOVE CEILING EQUIPMENT SO THAT NO CEILING IS LESS THAN 8 FEET ABOVE FINISHED FLOOR, UNLESS NOTED OTHERWISE.
17. INSTALL RESILIENT WALL BASE BEHIND MOVABLE EQUIPMENT AND ALL TOE SPACES OF CABINETWORK WHETHER OR NOT SHOWN ON THE DRAWINGS.
18. IN AREAS WITH EXPOSED STRUCTURE TO BE PAINTED, PAINTING SHALL INCLUDE EXPOSED CONDUIT, PIPING, AND DUCTWORK. ALL EXPOSED CONDUIT ON WALLS SHALL BE PAINTED TO MATCH THE WALLS.
19. UNLESS NOTED OTHERWISE, THE DESIGN INTENT IS TO PAINT ALL EXPOSED STEEL ITEMS ON THE EXTERIOR OF THE BUILDING WHETHER OR NOT INDICATED ON THE DRAWINGS. COORDINATE WITH PAINTING SPECIFICATIONS.
20. REFER TO PAINTING SPECIFICATIONS FOR TYPES OF PAINTS FOR VARIOUS SUBSTRATES.
21. COORDINATE PAINTING SYSTEMS WITH SHOP-APPLIED PRIMERS SPECIFIED IN OTHER SPECIFICATION SECTIONS.
22. CONCRETE FLOORS IN MECHANICAL ROOMS, ELECTRICAL ROOMS, AND OTHER HABITABLE SPACES WHERE NO FLOOR FINISH MATERIAL IS SCHEDULED SHALL BE SEALED WITH A POLYAMIDE EPOXY SEALER. REFER TO HIGH PERFORMANCE COATING SPECIFICATIONS.
23. UNLESS NOTED OTHERWISE, METAL DOOR FRAMES, HOLLOW METAL DOORS, MISCELLANEOUS STEEL FABRICATIONS, EXPOSED METAL STAIRS, AND STEEL HANDRAILS ARE TO BE PAINTED. REFER TO PAINTING SPECIFICATIONS FOR TYPES OF PAINT SYSTEMS.
24. WALLS IN FOOD SERVICE AREAS SHALL BE SMOOTH AND PINHOLE FREE. WHEN APPLICABLE, APPLY SMOOTH THIN COAT PLASTER FINISH ON CMU WALLS PRIOR TO PAINTING.
25. UNLESS NOTED OTHERWISE, ALL LEFT OVER FINISH MATERIALS AND UNOPENED CONTAINERS SHALL BE TURNED OVER TO OWNER IN ADDITION TO EXTRA MATERIALS SPECIFIED IN RESPECTIVE SECTIONS.
26. ALL EXTERIOR STEEL TO BE GALVANIZED U.N.O. ITEMS DESIGNATED FOR ADDITIONAL PAINT COATING MUST BE PROPERLY PRIMED.

DIVISION 10

1. THE INTENT IS TO LOCATE PORTABLE FIRE EXTINGUISHERS SO MAXIMUM COVERAGE DOES NOT EXCEED NFPA 10 REQUIREMENTS FOR THE TYPES OF EXTINGUISHERS SPECIFIED. IF THE CONTRACTOR DETERMINES THE DRAWING LOCATIONS DO NOT COMPLY, SUBMIT ALTERNATE LAYOUT TO ARCHITECT FOR APPROVAL PRIOR TO ROUGH IN.
2. WHEN INTERIOR ROOM SIGNS ARE SPECIFIED, CONTRACTOR SHALL VERIFY FINAL ROOM NAMES WITH OWNER PRIOR TO FABRICATION.
3. ALL EQUIPMENT DESIGNATED TO BE RECESSED IN RATED WALLS MUST CARRY AN EQUIVALENT RATING, WHETHER OR NOT IT IS SPECIFIED.

DIVISION 14

1. UNLESS NOTED OTHERWISE IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL CERTIFY THAT THE HOISTWAY, ELEVATOR PIT, AND MACHINE ROOM LAYOUT, INCLUDING DOOR LOCATION, SIZE, AND SWING, LOCATIONS OF ALL WALL MOUNTED ELECTRICAL DEVICES, AND DIMENSIONS, AS SHOWN ON THE CONTRACT DOCUMENTS, AND ELECTRICAL SERVICES SHOWN AND SPECIFIED, ARE ADEQUATE FOR THE ELEVATOR SYSTEM BEING PROVIDED. IF ANY OF THE ABOVE REFERENCED ITEMS DO NOT COMPLY WITH THE ACTUAL ELEVATOR BEING SUPPLIED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO INSTALLATION. AFTER INSTALLATION HAS BEGUN, THE CONTRACTOR ASSUMES ALL ADDITIONAL COSTS FOR INADEQUATE SYSTEMS AND SERVICES.

DIVISION 15: SEE MECHANICAL DRAWINGS

DIVISION 16: SEE ELECTRICAL DRAWINGS

DEMOLITION NOTES:

1. CONTRACTOR SHALL SUBMIT A DEMOLITION SEQUENCING PLAN AND SEEK WRITTEN APPROVAL FROM THE ARCHITECT OR OWNER PRIOR TO START OF DEMOLITION. DO NOT BEGIN DEMOLITION UNTIL ITEMS TO BE SALVAGED HAVE BEEN REMOVED.
2. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO BE DEMOLISHED AND NOTIFY THE ARCHITECT OR OWNER OF DISCREPANCIES IN WRITING PRIOR TO START OF DEMOLITION.
3. PRIOR TO DEMOLITION, COVER AND PROTECT EXISTING FINISHES AND EQUIPMENT TO REMAIN.
4. PROJECTS OF A HISTORIC NATURE SHALL REQUIRE SPECIAL PROTECTION AND TREATMENT PROCEDURES. COORDINATE WITH OWNER WHO WILL ESTABLISH SPECIAL PROCEDURES FOR DISMANTLING AND SALVAGE OF DESIGNATED ITEMS.
5. CONTRACTOR SHALL TAKE CARE NOT TO VOID AND EXISTING WARRANTIES ADJACENT TO DEMOLITION WORK.
6. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE DISCOVERED, CONTACT OWNER AND ARCHITECT. HAZARDOUS MATERIALS WILL BE REMOVED UNDER A SEPARATE CONTRACT.
7. CONTRACTOR SHALL SUBMIT A WRITTEN SURVEY OF EXISTING CONDITIONS FOLLOWING DEMOLITION, IF DIFFERENT THAN THE CONTRACT DOCUMENTS, NOTING UNACCEPTABLE CONDITIONS, IF ANY, SUCH AS FLOOR LEVELNESS, FLOOR FLATNESS, AND UNACCEPTABLE FINISHES NOTED TO REMAIN.
8. MAINTAIN BUILDING IN WEATHERTIGHT CONDITION AT ALL TIMES DURING DEMOLITION.
9. PATCHING AND REPAIRS SHALL MATCH ADJACENT MATERIALS IN FINISH AND CONSTRUCTION.
10. ITEMS NOT DESIGNATED FOR SALVAGE OR REMOVAL BY OWNER ARE THE RESPONSIBILITY OF THE CONTRACTOR FOR REMOVAL AND DISPOSAL.

STATE OF ALABAMA · DAVIS ARCHITECTS · 2413 · NEIL E. DAVIS · REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

DAVIS

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ASSOCIATE ARCHITECT
MCCOLLOUGH ARCHITECTURE
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251-968-7222
ATTN: STED MCCOLLOUGH

ARCHITECT
DAVIS ARCHITECTS, INC.
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SPANISH FORT, AL 36527
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ATTN: ERCIL E. GODWIN / DOUG CHAFFIN

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MECHANICAL / PLUMBING ENGINEER
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ELECTRICAL ENGINEER
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251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

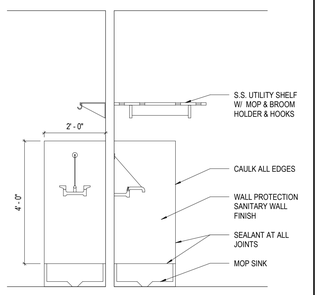
DATE: 5-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO. 3916

SHEET TITLE

GENERAL NOTES

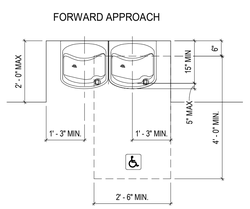
DRAWING NO.

G102



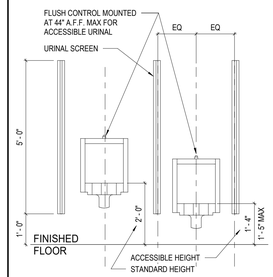
M1 STANDARD - CUSTODIAL CLOSET

SCALE: 1/2" = 1'-0"



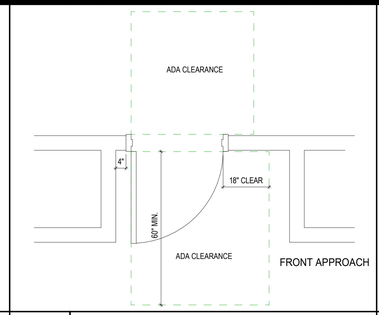
M4 STANDARD - WATER FOUNTAIN DIMENSIONS

SCALE: 1/2" = 1'-0"



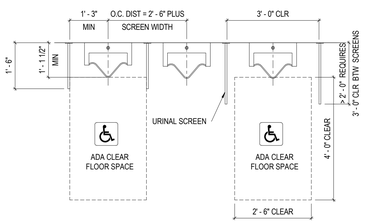
M7 URINAL MOUNTING HEIGHTS

SCALE: 1/2" = 1'-0"



M9 STANDARD - SWINGING DOOR CLEARANCES

SCALE: 1/2" = 1'-0"

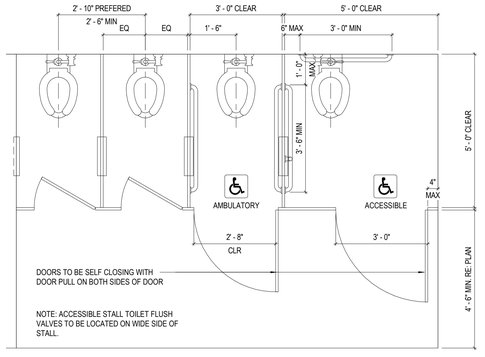


M12 STANDARD - URINAL DIMENSIONS

SCALE: 1/2" = 1'-0"

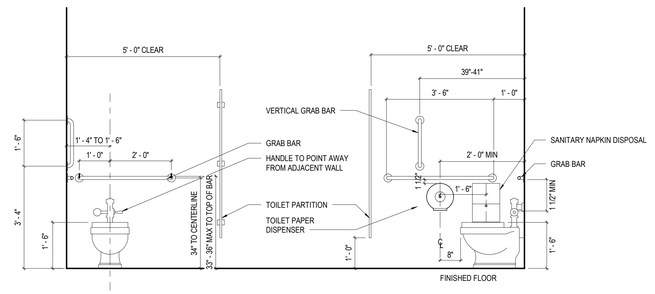
NOTE: DIAGRAMS ON THIS SHEET REPRESENT MINIMUM CLEARANCE REQUIREMENTS. REFER TO ARCHITECTURAL DRAWINGS FOR SPECIFIC REQUIREMENTS. NOTIFY ARCHITECT OF ANY CONDITIONS WHICH DO NOT CONFORM TO MINIMUM CLEARANCE REQUIREMENTS SHOWN HERE.

NOTE: TYPICAL TOILET ACCESSORIES LISTED IN SCHEDULE ARE TO BE PROVIDED IN ALL RESTROOMS IN QUANTITIES RELATIVE TO TOTAL NUMBER OF STALLS & URINALS SHOWN IN FLOOR PLANS FOR IN EACH RESTROOM.



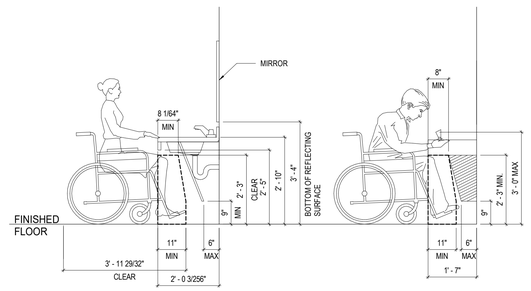
H1 STANDARD - MINIMUM TOILET DIMENSIONS

SCALE: 1/2" = 1'-0"



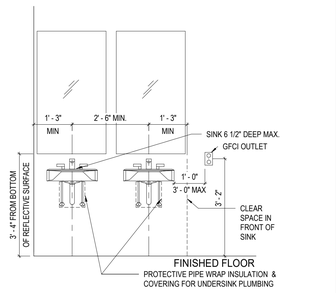
H5 STANDARD ADA TOILET STALL DIMENSIONS

SCALE: 1/2" = 1'-0"



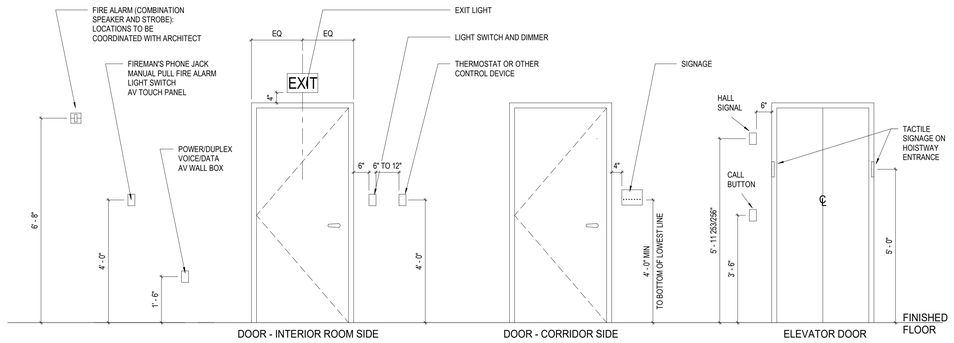
H9 STANDARD - ADA MOUNTING HEIGHTS

SCALE: 1/2" = 1'-0"



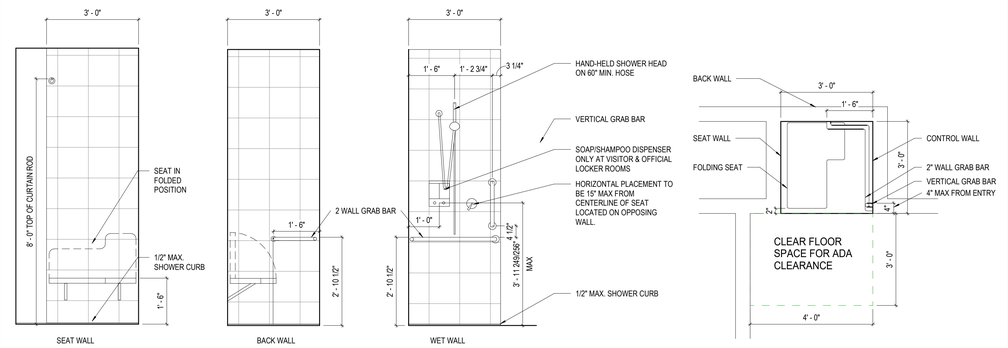
H16 STANDARD - SINK DIMENSIONS

SCALE: 1/2" = 1'-0"



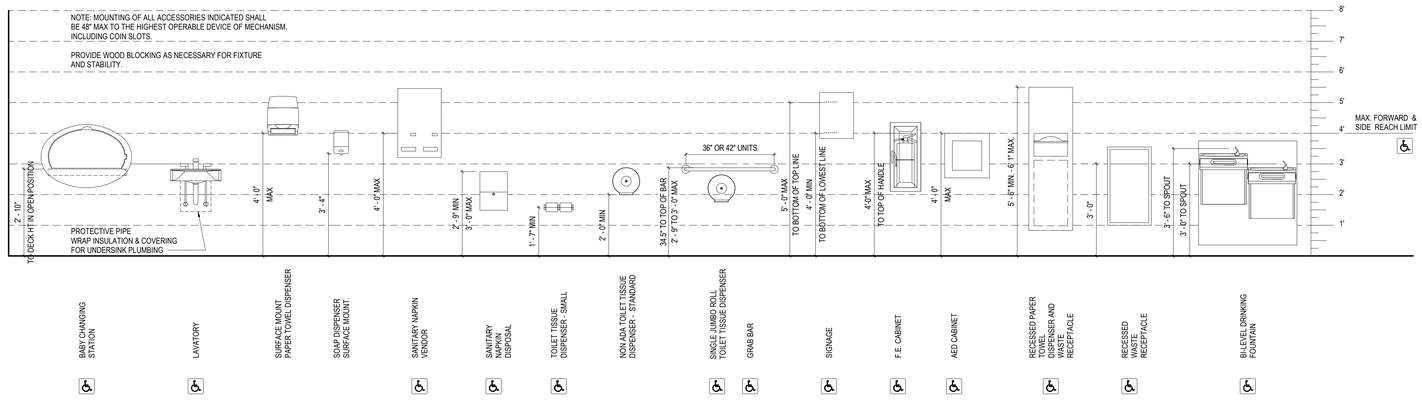
E1 STANDARD - MISC MOUNTING HEIGHTS

SCALE: 1/2" = 1'-0"



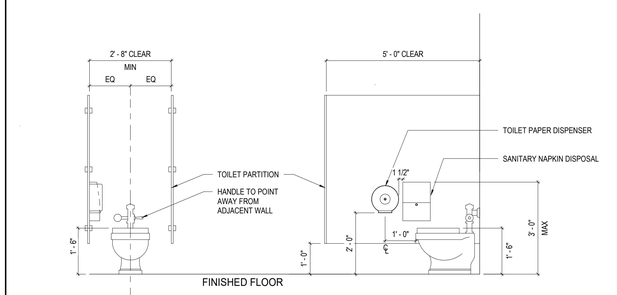
E11 STANDARD - ADA SHOWER

SCALE: 1/2" = 1'-0"



A1 STANDARD - TYPICAL MOUTNIG HEIGHTS

SCALE: 1/2" = 1'-0"



A14 STANDARD - TOILET STALL DIMENSIONS

SCALE: 1/2" = 1'-0"

STATE OF ALABAMA DAVIS ARCHITECTS 2413 NEIL E. DAVIS REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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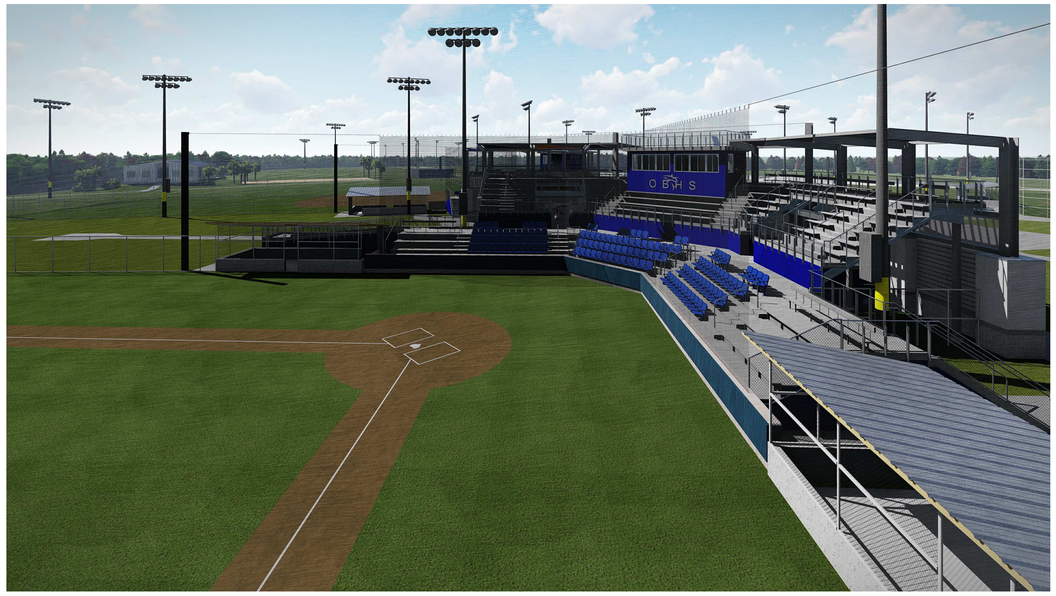
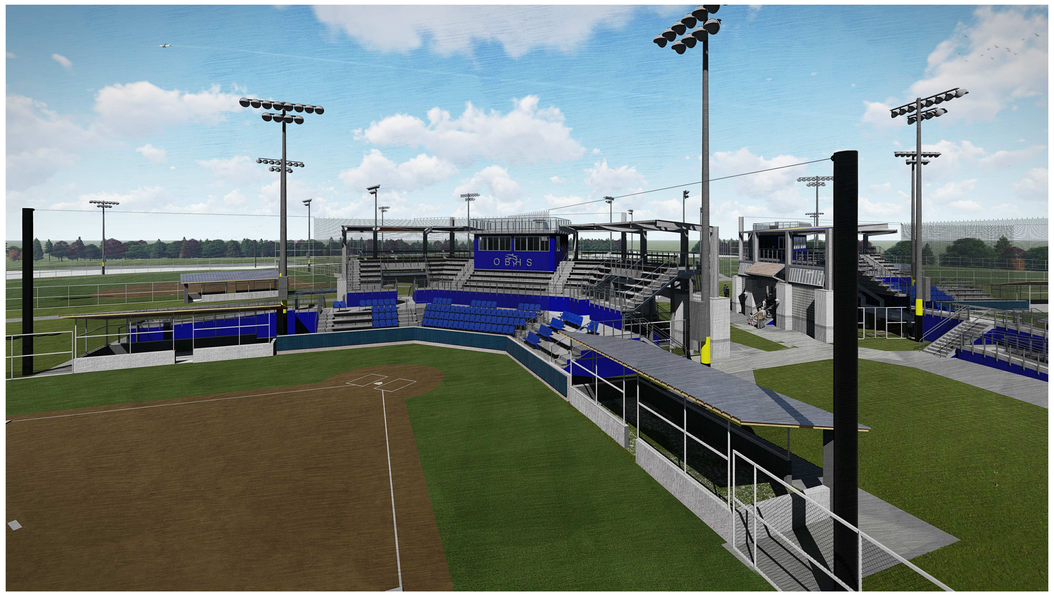
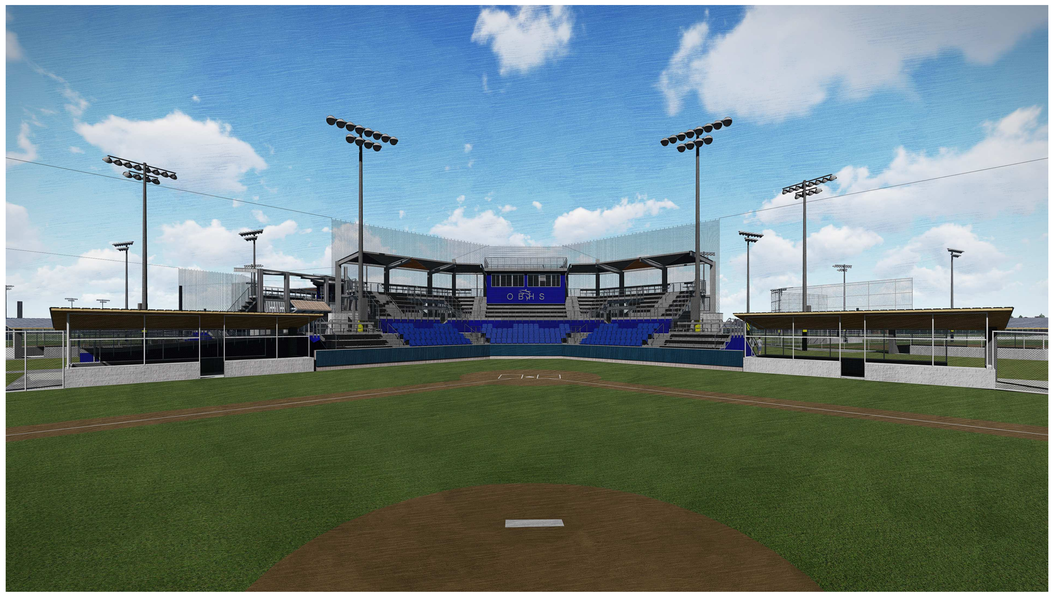


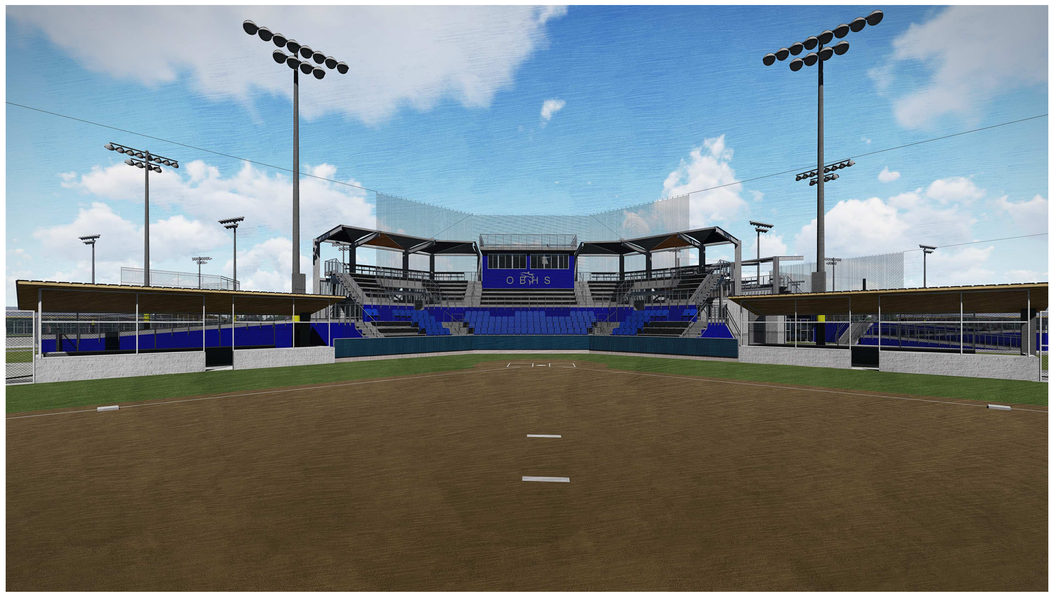
H1 EXTERIOR VIEW - BASEBALL STADIUM - FIELD PERSPECTIVE



H10 EXTERIOR VIEW - SOFTBALL STADIUM - FIELD PERSPECTIVE



A1 EXTERIOR VIEW - BASEBALL STADIUM - FIELD PERSPECTIVE



A10 EXTERIOR VIEW - SOFTBALL STADIUM - FIELD PERSPECTIVE

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BUILDING PERSPECTIVES

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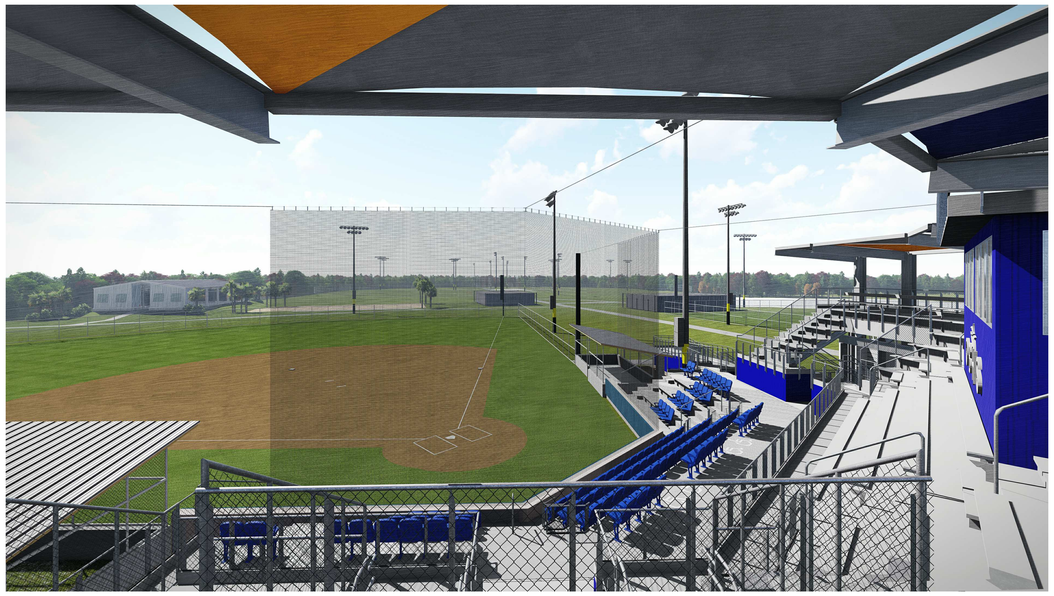
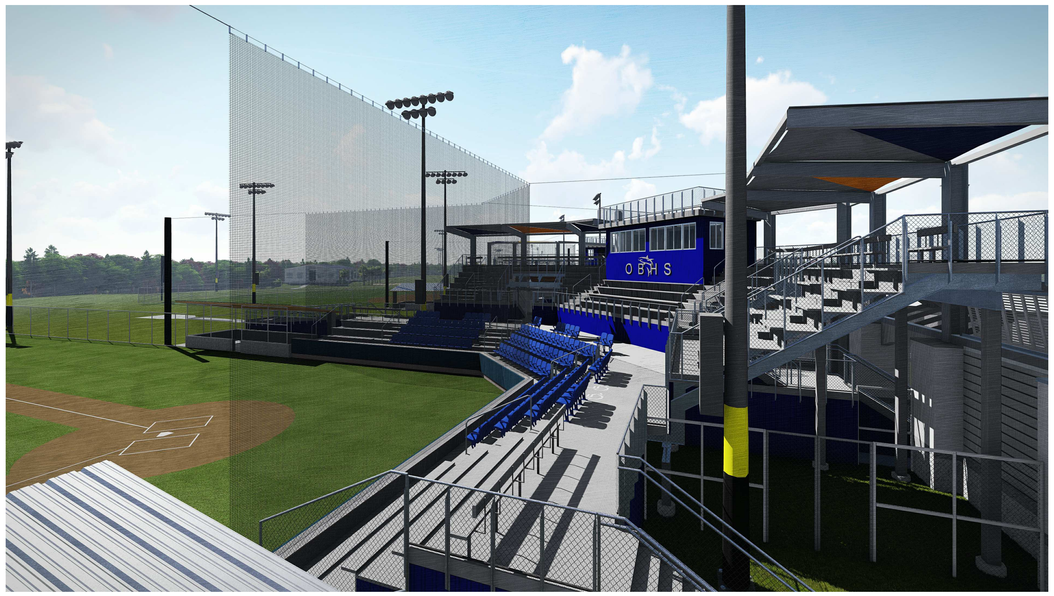
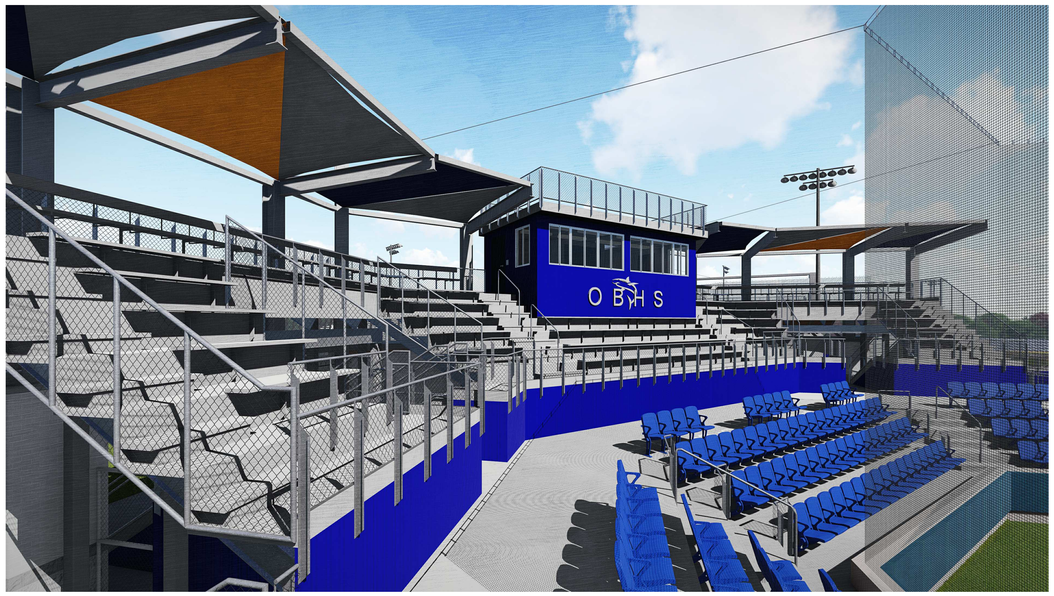
H1 EXTERIOR VIEW - BASEBALL AND SOFTBALL STADIUM - CONCESSIONS PERSPECTIVE



H10 EXTERIOR VIEW - SOFTBALL STADIUM - GRANDSTAND PERSPECTIVE



A1 EXTERIOR VIEW - BASEBALL STADIUM - GRANDSTAND PERSPECTIVE



A10 EXTERIOR VIEW - SOFTBALL STADIUM - GRANDSTAND PERSPECTIVE

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BUILDING PERSPECTIVES

DRAWING NO.

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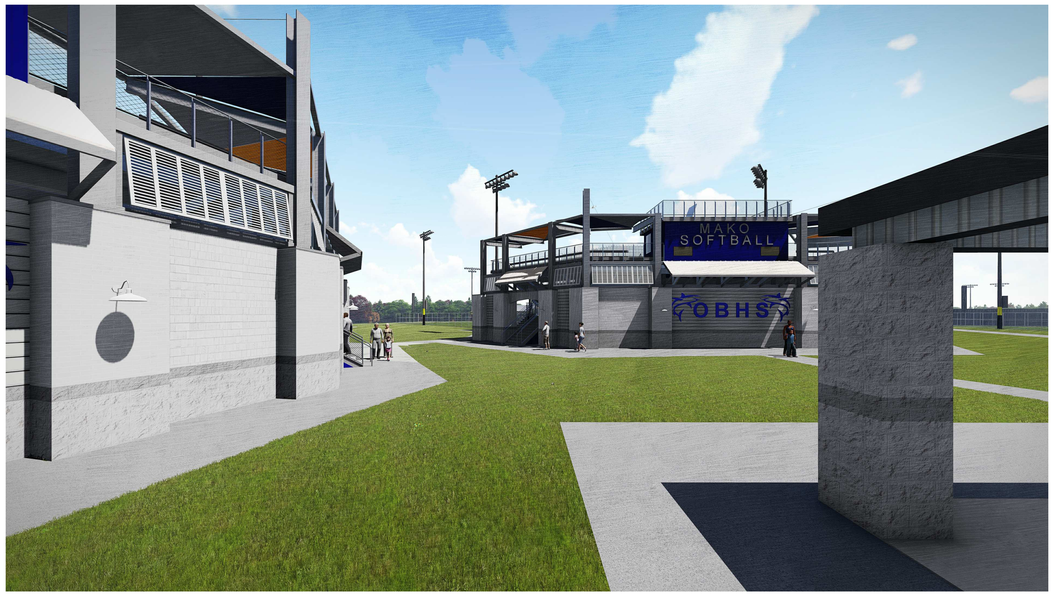
H1 EXTERIOR VIEW - BASEBALL AND SOFTBALL STADIUM - CONCESSIONS PERSPECTIVE



H10 EXTERIOR VIEW - BASEBALL AND SOFTBALL STADIUM - CONCESSIONS PERSPECTIVE

A1 EXTERIOR VIEW - BASEBALL AND SOFTBALL STADIUM - BATTING CAGE PERSPECTIVE

A10 EXTERIOR VIEW - BASEBALL AND SOFTBALL STADIUM - BATTING CAGE PERSPECTIVE

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PROJECT NO: 3916

SHEET TITLE

BUILDING PERSPECTIVES

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G112

CODE SUMMARY

APPLICABLE CODES

2018 (IBC) INTERNATIONAL BUILDING CODE
2018 (IECC) INTERNATIONAL ENERGY CONSERVATION CODE
2018 (IPC) INTERNATIONAL PLUMBING CODE
2018 (IGC) INTERNATIONAL FUEL GAS CODE
2018 (IMC) INTERNATIONAL MECHANICAL CODE
2017 (NEC) NATIONAL ELECTRICAL CODE
2018 (IFC) INTERNATIONAL FIRE CODE
2013 NATIONAL FIRE ALARM AND SIGNALING CODE (NFPA 72)
ANSI/ASHRAE/IESNA STANDARD 90.1-2013 ENERGY STANDARD FOR BUILDINGS EXCEPT LOW-RISE RESIDENTIAL
ANSI A117.1 -2018 ACCESSIBLE AND USABLE BUILDINGS
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

PROJECT PROPERTIES

PREMISE - THIS PROJECT WILL RENOVATE THE EXISTING ORANGE BEACH SPORTPLEX BASEBALL AND SOFTBALL FIELDS WITH TWO NEW GRANDSTANDS AND PRE--ENGINEERED BATTING CAGE BUILDING.

BUILDING - GC WILL DEMOLISH A PORTION OF THE EXISTING BASEBALL AND SOFTBALL FIELDS AND SEATING AREA TO MAKE ROOM FOR 2 NEW PRE-ENGINEERED GRANDSTANDS AND PRESS BOXES. CONVENTIONAL CONSTRUCTION WILL TAKE PLACE AROUND THE REAR PERIMETER OF EACH PRE-ENGINEERED GRANDSTAND AND BE STRUCTURED SEPARATELY FROM THE ADJACENT STRUCTURE. AS AN ALTERNATE THERE WILL BE A NEW EXTERIOR PRE-ENGINEER METAL BUILDING SERVING AS A NEW BATTING CAGE FACILITY.

SITE - WILL INCLUDE SELECTIVE DEMOLITION OF THE EXISTING SITE SPECIFICALLY AROUND THE SEATING AREA BETWEEN THE TWO DUGOUTS. THERE WILL BE MINIMAL ADJUSTING TO SURROUNDING GRADE, MINIMAL STORM DRAINAGE, POSSIBLE REWORK OF ELECTRICAL SITE LIGHTING AND CONDUIT. NEW SITE WALKS WILL BE ADDED AND TIED INTO EXISTING AROUND THE OLD SITE.

(ALL CODE SECTIONS CITED IN THE FOLLOWING ANALYSIS WILL BE BASED ON THE IBC UNLESS NOTED OTHERWISE.)

SINGLE USE OCCUPANCY CLASSIFICATIONS:

NEW BASEBALL GRANDSTAND AND PRESS BOX
PRIMARY OCCUPANCY: (OUTDOOR SMOKE PROTECTED GRANDSTAND) — A-5
INCIDENTAL OCCUPANCIES — N/A
ACCESSORY USE OCCUPANCIES: — N/A

NEW SOFTBALL GRANDSTAND AND PRESS BOX
PRIMARY OCCUPANCY: (OUTDOOR SMOKE PROTECTED GRANDSTAND) — A-5
INCIDENTAL OCCUPANCIES — N/A
ACCESSORY USE OCCUPANCIES: — N/A

NEW PRE-ENGINEERED BATTING CAGE BUILDING
PRIMARY OCCUPANCY: — A-3
INCIDENTAL OCCUPANCIES — N/A
ACCESSORY USE OCCUPANCIES: — S

CONSTRUCTION TYPE:
NEW BASEBALL GRANDSTAND AND PRESS BOX
II-B CONSTRUCTION AND THE BUILDING IS NOT SPRINKLERED
BUILDING HEIGHT & STORIES:
ALLOWABLE HEIGHT/STORIES:
ASSEMBLY (A-5) — 55 FT / UNLIMITED (SECTION 504.2)
ACTUAL HEIGHT/STORIES: — **30 FT MAX / 1 STORY**

ALLOWABLE AREA:
ASSEMBLY (A-5) — UNLIMITED FT²
ACTUAL AREA: — **5,497 FT²**

NON-BUILDING ASSEMBLY(SECTION 1029) — BLEACHERS, GRANDSTANDS AND FOLDING AND TELESCOPIC SEATING, THAT ARE NOT BUILDING ELEMENTS SHALL COMPLY WITH THE ICC-300.

NEW SOFTBALL GRANDSTAND AND PRESS BOX
II-B CONSTRUCTION AND THE BUILDING IS NOT SPRINKLERED
BUILDING HEIGHT & STORIES:
ALLOWABLE HEIGHT/STORIES:
ASSEMBLY (A-5) — 55 FT / UNLIMITED (SECTION 504.2)
ACTUAL HEIGHT/STORIES: — **30 FT MAX / 1 STORY**

ALLOWABLE AREA:
ASSEMBLY (A-5) — UNLIMITED FT²
ACTUAL AREA: — **4,778 FT²**

NON-BUILDING ASSEMBLY(SECTION 1029) — BLEACHERS, GRANDSTANDS AND FOLDING AND TELESCOPIC SEATING, THAT ARE NOT BUILDING ELEMENTS SHALL COMPLY WITH THE ICC-300.

NEW PRE-ENGINEERED BATTING CAGE BUILDING
II-B CONSTRUCTION AND THE BUILDING IS NOT SPRINKLERED
BUILDING HEIGHT & STORIES:
ALLOWABLE HEIGHT/STORIES:
ASSEMBLY (A-3) — 55 FT / 2 STORIES (SECTION 504.2)
ACTUAL HEIGHT/STORIES: — **30 FT MAX / 1 STORY**

ALLOWABLE AREA:
ASSEMBLY (A-3) — 9,500 FT²
ACTUAL AREA: — **7,860 FT²**

PASSIVE FIRE RESISTANCE:

IDENTIFICATION OF FIRE RATED WALLS WITH SIGNS OR STENCILING: — SECTION 703.7 REQUIRES FIRE RESISTIVE WALLS TO BE IDENTIFIED

STRUCTURAL FRAME (COLUMNS, BEAMS AND GIRDERS CONNECTING TO COLUMNS, BEARING WALLS AND DIAGONALS CARRYING GRAVITY LOADS) — 0 HOUR (TABLE 601)

INTERIOR AND EXTERIOR BEARING WALLS — 0 HOUR (TABLE 601 & 602) (EXTERIOR WALLS SHOULD BE DESIGNED BASED ON TABLE 602 BASED ON FIRE SEPARATION)

ROOF CONSTRUCTION — 0 HOUR (TABLE 601).

FLOOR /EQUIPMENT PLATFORM — 0 HOUR (NON-COMBUSTIBLE)

ROOF COVERING — CLASS C (TABLE 1505.1)

EXTERIOR NONBEARING WALLS — 0 HOUR CONSTRUCTION (TABLE 601 & 602) (EXTERIOR WALLS SHOULD BE DESIGNED BASED ON TABLE 602 BASED ON FIRE SEPARATION)

PERMANENT PARTITIONS — 0 HOUR (TABLE 601)

CORRIDORS — 0 HOUR (NOT APPLICABLE)

STORAGE ROOMS(NON-HAZARD) — 0 HOUR

TABLE 602: FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION - **SEE LIFE SAFETY SITE PLANS.**

FIRE SEPARATION DISTANCE (FT)	EXTERIOR WALL FIRE RESISTANCE RATING PER FIRE SEPARATION
X < 5	1 HOUR
5 ≤ x < 10	1 HOUR
10 ≤ X < 30	0 HOUR
X ≥ 30	0 HOUR

CONSTRUCTION MATERIALS REQUIREMENTS:

CONSTRUCTION MATERIALS:
WALLS, FLOORS AND STRUCTURAL ELEMENTS: NONCOMBUSTIBLE (SECTION 602.2).

USE OF WOOD
FIRE RETARDANT TREATED WOOD SHALL BE PERMITTED IN:

INTERIOR NONBEARING PARTITIONS WHERE THE REQUIRED FIRE RESISTANCE RATING IS 2 HOURS OR LESS. (SECTION 603.1, #1.1): PERMITTED.

NONBEARING EXTERIOR PARTITIONS WHERE FIRE RATING IS NOT REQUIRED. (SECTION 603.1, #1.2): PERMITTED.

PLYWOOD WITHIN ROOF ASSEMBLIES: REQUIRED TO BE FIRE RETARDANT TREATED. (SECTION 603.1, #1.3): PERMITTED.

EXTERIOR SHEATHING (SECTION 602.4.2) : PERMITTED.
NONCOMBUSTIBLE (OR FIRE RETARDANT TREATED).

2X BLOCKING (SECTION 603.1, #14): PERMITTED. NOT REQUIRED TO BE FIRE-RETARDANT-TREATED.

NO RIGID OR SPRAYED INSULATION IS USED IN THE PROJECT.

CHAPTER 7

TABLE 705.8: MAXIMUM AREA OF EXTERIOR WALL OPENING BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION - SEE LIFE SAFETY SITE PLANS.

FIRE SEPARATION DISTANCE (FT)	DEGREE OF OPENING PROTECTION UNPROTECTED, NON-SPRINKLERED (UP NS)
0 TO 3	NOT PERMITTED
GREATER THAN 3 TO 5	NOT PERMITTED
GREATER THAN 5 TO 10	10%
GREATER THAN 10 TO 15	15%
GREATER THAN 15 TO 20	25%
GREATER THAN 20 TO 25	45%
GREATER THAN 25 TO 30	70%
GREATER THAN 30	NO LIMIT

PUBLIC WAY/FIRE SEPARATION DISTANCE:
OVER 10'-0" PUBLIC WAY/FIRE SEPARATION @ ALL SIDES OF THE COMPLETED BUILDING DESIGN

706.1: EACH PORTION OF A BUILDING SEPARATED BY ONE OR MORE FIRE WALLS THAT COMPLY WITH THE PROVISIONS OF THIS SECTION SHALL BE CONSIDERED A SEPARATE BUILDING.

706.4: FIRE WALLS SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAT REQUIRED BY TABLE 706.4

GROUP	FIRE RESISTANCE RATING (HOURS)
A, B, E, H-4, I, R-1, R-2, U	3HR (NOT APPLICABLE TO PROJECT)

IN TYPE II OR V CONSTRUCTION. WALLS SHALL BE PERMITTED TO HAVE A 2-HOUR FIRE RESISTANCE RATING.

706.6: FIRE WALLS SHALL EXTEND FROM THE FOUNDATION TO A TERMINATION POINT NO LESS THAN 30 INCHES ABOVE BOTH ADJACENT ROOFS

707.4: FIRE BARRIERS, FIRE WALLS OR HORIZONTAL ASSEMBLIES, OR COMBINATION THEREOF, SEPARATING A SINGLE OCCUPANCY INTO DIFFERENT FIRE AREAS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN THAT INDICATED IN TABLE 707.3.10 MIX OCCUPANCIES TO US THE HIGHEST VALUE INDICATED.):

GROUP	FIRE RESISTANCE RATING (HOURS)
A, B, E, F-2, H-4, H-5, I, M, R, S-2	2HR (NOT APPLICABLE TO PROJECT)

708 FIRE PARTITIONS

708.3 FIRE-RESISTANCE RATING. FIRE PARTITIONS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 1 HOUR (NOT APPLICABLE TO PROJECT)

708.3 EXCEPTION 1. ALL CORRIDOR WALLS PERMITTED TO HAVE 1/2 HOUR FIRE RESISTANCE RATING BY TABLE 1020.1. (NOT APPLICABLE TO PROJECT)

TABLE 1020.1 REQUIRES 1 HR RATING FOR ASSEMBLY OCCUPANCY WITHOUT SPRINKLER SYSTEM. (NOT APPLICABLE TO PROJECT)

708.4 CONTINUITY. FIRE PARTITIONS SHALL EXTEND FROM THE TOP OF THE FOUNDATION OR FLOOR/CEILING ASSEMBLY BELOW TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE OR TO THE FIRE-RESISTANCE-RATED FLOOR/CEILING OR ROOF CEILING ASSEMBLY ABOVE, AND SHALL BE SECURELY ATTACHED THERE TO.

711 FLOOR AND ROOF ASSEMBLIES

711.2 HORIZONTAL ASSEMBLIES: HORIZONTAL ASSEMBLIES SHALL COMPLY WITH 711.2.1 THROUGH 711.2.6.

711.2.2 CONTINUITY. ASSEMBLIES SHALL BE CONTINUOUS WITHOUT VERTICAL OPENINGS EXCEPT AS PERMITTED BY THIS SECTION AND 712.

711.2.4.5 SEPARATING INCIDENTAL USES. WHERE THE HORIZONTAL ASSEMBLY SEPARATES INCIDENTAL USES FROM THE REMAINDER OF THE BUILDING, THE ASSEMBLY SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN THAT REQUIRED BY SECTION 509. (NOT APPLICABLE TO PROJECT)

CHAPTER 8
INTERIOR WALL AND CEILING FINISH MATERIALS

WALL AND CEILING FINISH	ASTM E84 CLASSIFICATION
FLAME SPREAD 0-25, SMOKE DEVELOPMENT 0-450	CLASS A
FLAME SPREAD 26-75, SMOKE DEVELOPMENT 0-450	CLASS B
FLAME SPREAD 76-200, SMOKE DEVELOPMENT 0-450	CLASS C

TABLE 803.11 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY

GROUP	INTERIOR EXIT STAIRWAYS, RAMPS, AND EXIT PASSAGEWAYS	CORRIDORS	ROOMS AND ENCLOSED SPACES
ASSEMBLY (A-3/A-5)	A	A	C

CHAPTER 9
FIRE PROTECTION SYSTEMS - AUTOMATIC SPRINKLER SYSTEM REQUIRED (SECTION 903.2.1.3 AND 903.2.1.4)

STANDPIPES — NOT REQUIRED (SECTION 905.3)

FIRE EXTINGUISHERS — REQUIRED (SECTION 906)

MANUAL FIRE ALARM SYSTEM
BASEBALL GRANDSTANDS — NOT REQUIRED (ICC-300 309.1, EXCEPTION 1)
SOFTBALL GRANDSTANDS — NOT REQUIRED (ICC-300 309.1, EXCEPTION 1)
BATTING CAGES — REQUIRED

VOICE EVACUATION
BASEBALL GRANDSTANDS — NOT REQUIRED (ICC-300 309.1, EXCEPTION 1)
SOFTBALL GRANDSTANDS — NOT REQUIRED (ICC-300 309.1, EXCEPTION 1)
BATTING CAGES — REQUIRED (SECTION 907.2)

SPRINKLERS SMOKE- PROTECTED FACILITY — REQUIRED (SECTION 1029.6.2.3)
EXCEPTION 1: AUTOMATIC SPRINKLERS ARE NOT REQUIRED IN PRESS BOXES AND STORAGE FACILITIES LESS THAN 1,000 SQUARE FEET IN AREA.

EXCEPTION 2: AUTOMATIC SPRINKLERS ARE NOT REQUIRED IN OUTDOOR SEATING FACILITIES WHERE SEATING AND THE MEANS OF EGRESS IN THE SEATING AREA ARE ESSENTIALLY OPEN TO THE OUTSIDE.

CHAPTER 10
MEANS OF EGRESS

TABLE 1004.1.2 OCCUPANT LOAD FACTORS	SQUARE FEET PER PERSON
ASSEMBLY (BENCH SEATING - ICC 300 - SECTION 403)	18" PER SEAT
ASSEMBLY (FIXED SEATING - IBC - SECTION 1004.4)	1 PER DESIGNED SEAT
BUSINESS (EXISTING BUILIDNG ONLY)	150 SF (GROSS)
EXERCISE	50 SF (GROSS)
STORAGE/MECHANICAL	300 SF (GROSS)

MINIMUM CORRIDOR HEIGHT
SECTION 1003.2 - CORRIDORS AND ROOMS HEIGHT: 90 IN.

MINIMUM EGRESS WIDTH FOR OCCUPANCY SERVED, SPRINKLED
1005.3.1 STAIRWAYS — 0.2 INCH PER OCCUPANT
1005.3.2 OTHER EGRESS COMPONENTS — 0.15 INCH PER OCCUPANT

OCCUPANTS REQUIRES ## INCH CLEAR WIDTH — ###" CLEAR WIDTH PROVIDED

MINIMUM EGRESS WIDTH FOR SMOKE PROTECTED GRANDSTAND PER ICC-300, TABLE 404.5(3)
STAIRWAYS — 0.08 INCH PER OCCUPANT
OTHER EGRESS COMPONENTS — 0.06 INCH PER OCCUPANT

BASEBALL GRANDSTAND
OCCUPANTS REQUIRES ## INCH CLEAR WIDTH — ###" CLEAR WIDTH PROVIDED

SOFTBALL GRANDSTAND
OCCUPANTS REQUIRES ## INCH CLEAR WIDTH — ###" CLEAR WIDTH PROVIDED

TABLE 1006.3 -REQUIRED NUMBER OF EXITS OR ACCESS TO EXITS PER STORY
1-500 OCCUPANTS — 2 EXITS REQUIRED

ICC-300 -SECTION 404.1 - MINIMUM NUMBER OF EXITS @ GRANDSTANDS
251-750 OCCUPANTS — 2 EXITS REQUIRED

BASEBALL GRANDSTAND (### OCCUPANTS)
2 EXITS REQUIRED — # EXITS PROVIDED

SOFTBALL GRANDSTAND (### OCCUPANTS)
2 EXITS REQUIRED — # EXITS PROVIDED

1009.1 ACCESSIBLE MEANS OF EGRESS. ACCESSIBLE SPACES SHALL BE PROVIDED WITH NOT LESS THAN ONE ACCESSIBLE MEANS OF EGRESS. WHERE MORE THAN ONE MEANS OF EGRESS ARE REQUIRED BY SECTION 1006.3.

1009.2 CONTINUITY AND COMPONENTS. EACH REQUIRED ACCESSIBLE MEANS OF EGRESS SHALL BE CONTINUOUS TO A PUBLIC WAY AND SHALL CONSIST OF ACCESSIBLE ROUTES, INTERIOR EXIT STAIRWAYS, EXIT ACCESS STAIRWAYS, ELEVATORS, PLATFORM LIFTS, HORIZONTAL EXITS, RAMPS, AREAS OF REFUGE, AND EXTERIOR AREAS FOR ASSISTED RESCUE

CHAPTER 10 (CONTINUED)

1010 DOORS

1010.1.1
MAXIMUM DOOR LEAF WIDTH = 48 INCHES
MINIMUM DOOR LEAF WIDTH = 36 INCHES
MINIMUM CLEAR WIDTH = 32 INCHES
MINIMUM CLEAR HEIGHT = 80 INCHES

1010.1.10 DOORS SERVING GROUP H AND OCCUPANCIES 50+ IN GROUP E AND A ARE REQUIRED TO PROVIDE PANIC AND FIRE EXIT HARDWARE.

10.1.10 EXCEPTION 2 ELECTROMAGNETIC LOCK IS ALLOWED IN ACCORDANCE WITH SECTION 1010.1.9.9

1010.1.2.1 DIRECTION OF SWING. DOOR SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR AREA CONTAINING AN OCCUPANT LOAD OF 50 OR MORE PERSONS

1010.7 THRESHOLDS. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/2 INCH ABOVE THE FINISHED FLOOR OR LANDING

1010.1.8 DOOR ARRANGEMENT. SPACE BETWEEN TWO DOORS IN A SERIES SHALL BE 48 INCHES MINIMUM PLUS THE WIDTH OF A DOOR SWINGING INTO THE SPACE. DOORS IN A SERIES SHALL SWING EITHER IN THE SAME DIRECTION OR AWAY FROM THE SPACE BETWEEN THE DOORS

1010.1.9.1 HARDWARE. DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWIRLING OF THE WRIST TO OPERATE THE DOOR

1011 STAIRWAYS
GRANDSTAND STAIR ACCESS PROVIDED THROUGHOUT

1011.3 HEADROOM HEIGHT — MIN 80 INCHES

1011.5.2 RISERS AND TREAD DIMENSIONS
TREADS — 11" MIN (12" W/ NOSING PROVIDED)
RISERS — 4" MIN TO 7" MAX (8" MAX ALLOWED PER ICC-300 SECTION 406)

1011.6 STAIRWAY LANDINGS — (STAIR DOES NOT HAVE INTERMEDIATE LANDINGS)

1013 EXIT SIGNS

1013.1 WHERE REQUIRED. EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN AN EXIT CORRIDOR OR EXIT PASSAGEWAY IS MORE THAN 100 FEET OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICH EVER IS LESS FROM THE NEAREST VISIBLE EXIT SIGN

EXCEPTION 1. EXIT SIGNS ARE NOT REQUIRED IN ROOMS OR AREAS THAT REQUIRE ONLY ONE EXIT OR EXIT ACCESS

1014 HANDRAILS

1014.2 HEIGHT. HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSING SHALL BE UNIFORM, NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES

1014.3 HANDRAILS TYPE I. HANDRAILS WITH CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAT 1 1/4 INCHES AND NOT GREATER THAN 2 INCHES

1014.7 CLEARANCE. CLEAR SPACE BETWEEN A HANDRAIL AND A WALL OR OTHER SURFACE SHALL BE NOT LESS THAN 1 1/2 INCHES

1015 GUARDS

1015.2 WHERE REQUIRED. GUARDS SHALL BE LOCATED ALONG OPEN SIDED WALKING SURFACES, INCLUDING MEZZANINES, EQUIPMENT PLATFORMS, AISLES, STAIRS, RAMPS, AND LANDINGS THAT LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE

ICC-300 408.1(2) WHERE AN ELEVATION CHANGE OF 30 INCHES OR LESS OCCURS BETWEEN A CROSS AISLE AND THE ADJACENT FLOOR OR GRADE BELOW, GUARDS NOT LESS THAN 26 INCHES ABOVE THE AISLE FLOOR SHALL BE PROVIDED
EXCEPTION: WHERE THE BACKS OF SEATS ON THE FRONT OF THE CROSS AISLE PROJECT 24 INCHES OR MORE ABOVE THE ADJACENT FLOOR OF THE AISLE, A GUARD NEED NOT BE PROVIDED.

ICC-300 408.1(3) A GUARD SHALL BE PROVIDED FOR THE FULL WIDTH OF AN AISLE WHERE THE LOWEST POINT OF THE AISLE IS MORE THAN 30 INCHES ABOVE THE FLOOR OR GROUND BELOW. THE GUARD SHALL BE A MINIMUM OF 36 INCHES HIGH AND SHALL PROVIDE A MINIMUM 42 INCHES MEASURED DIAGONALLY BETWEEN THE TOP OF THE RAIL AND THE NOSING OF HE NEAREST AISLE STEP.

ICC-300 408.1(4) UNLESS SUBJECT TO THE REQUIREMENTS OF ICC-300 408.1(3), A GUARD WITH A MINIMUM HEIGHT OF 26 INCHES SHALL BE PROVIDED WHERE THE FLOOR OR FOOTBOARD ELEVATION IS MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AND THE GUARD WOULD OTHERWISE INTERFERE WITH THE SIGHTLINES OF IMMEDIATELY ADJACENT SEATING.

1015.3 HEIGHT. REQUIRED GUARDRAILS SHALL NOT BE MORE THAN 48 INCHES HIGH

1015.4 OPENING LIMITATIONS. REQUIRED GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER FROM THE WALKING SURFACE TO THE REQUIRED GUARDRAIL HEIGHT.

1017 EXIT ACCESS TRAVEL DISTANCE

TABLE 1017.2
OCCUPANCY GROUP A — MAX TRAVEL DISTANCE TO EXIT = 250 FT
ICC-300, SECTION 404.4 — MAX TRAVEL DISTANCE TO PERIMETER SEATING STRUCTURE OS 400 FT

1019 EXIT ACCESS STAIRS

1019.3 - FLOOR OPENINGS CONTAINING EXIT ACCESS STAIRWAYS OR RAMPS SHALL BE ENCLOSED WITH A SHAFT ENCLOSURE CONSTRUCTED IN ACCORDANCE WITH SECTION 713.

1019.3 - EXCEPTION - 1 EXIST ACCESS STAIRWAYS AND RAMPS THAT SERVE OR ATMOSPHERICALLY COMMUNICATE BETWEEN ONLY TWO STORIES. SUCH INTERCONNECTED STORIES SHALL NOT BE OPEN TO OTHER STORIES.

NOTE SECTION 505.3 - STAIR SERVING THE EQUIPMENT PLATFORM SHALL NOT SERVE AS A PART OF THE MEANS OF EGRESS FROM THE BUILDING.

CHAPTER 10 (CONTINUED)

1020 CORRIDORS:
TABLE 1020.1. REQUIRED FIRE RESISTANCE RATING
GROUP A, GROUP B & GROUP S — 0 HOURS (SPRINKLER)

TABLE 1020.2 MINIMUM CORRIDOR WIDTH.
ANY FACILITY NOT LISTED — 44 INCHES
WITH AN OCCUPANT LOAD OF LESS THAN 50 — 36 INCHES
ACCESS TO MEP EQUIPMENT — 24 INCHES

ICC-300, SECTION 405.2 MINIMUM STAIR AND MEANS OF EGRESS AISLE WIDTH
SEATING ON ONE SIDE — 36 INCHES
SEATING ON BOTH SIDES — 48 INCHES

ICC-300, SECTION 407.2 MINIMUM SEATING AISLE CLEAR WIDTH — 12 INCHES

1020.4 DEAD ENDS.
MAXIMUM DEAD IN CORRIDORS NOT TO EXCEED — 20 FEET

ICC-300, SECTION 407.4.1 PATH OF EGRESS TRAVEL
FOR ROWS OF SEATING SERVED BY ONE PATH OF EGRESS travel common PATH OF EGRESS TRAVEL SHALL NOT EXCEED 50FT IN A SMOKE PROTECTED ASSEMBLY FROM ANY SEAT TO WHERE A PERSON HAS A CHOICE OF TWO PATHS OF EGRESS TRAVEL TO TWO EXISTS.

CHAPTER 11

ACCESSIBILITY

BUILDINGS AND FACILITIES SHALL BE DESIGNED AND CONSTRUCTED TO BE ACCESSIBLE IN ACCORDANCE WITH 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE ADOPTED IBC.

1105.1 PUBLIC ENTRANCES. AT LEAST 60 PERCENT OF ALL PUBLIC ENTRANCES SHALL BE ACCESSIBLE SPACES

CHAPTER 29
PLUMBING SYSTEMS

BASED ON TABLE 2902.1, THE CALCULATED LOAD OF AREAS CAN BE BASED ON ACTUAL ANTICIPATED USE FOR THE DETERMINATION OF PLUMBING FIXTURES ONLY. (SECTION 1004.1.1)

*** BASED ON THE NEW PROJECT OCCUPANT LOAD THE EXISTING FACILITY WOULD INCREASE THE SEATING AREA OF BY ROUGHLY ARCHITECT HAS REVIEWED THE DESIGN OF THE NEW GRANDSTAND AND BATTING CAGE FACILITY

USE CLASSIFICATION	REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		REQUIRED DRINKING FOUNTAINS	SERVICE SINK
	MALE	FEMALE	MALE	FEMALE		
(A) ASSEMBLY (A-5)	1 PER 75	1 PER 45	1 PER 200	1 PER 150	1 PER 1000	1

OCCUPANCY GROUP	EXISTING & NEW OCCUPANCY LOAD	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS	SERVICE SINKS
		M	F	M	F		
ASSEMBLY (A)	1336	8.91	14.9	3.34	4.45	1.34	1 PER FLOOR
ARCHITECT METHOD:	668 M / 668 F						
EXISTING SEATS (+/- 540 SEATS)	REQUIRED	9	15	3	5	2	1 PER FLOOR
DEMOLISHED SEATS (REMOVE 108 SEATS)							
NEW SEATS (ADD 804 SEATS)	EXISTING PROVIDED FIXTURES	8	8	4	4	4	1
CALCULATED TOTAL FOR A "5" SPORT FIELD FACILITYWITH NEW WORK: 1336 SEATS							

PLUMBING COMMENTS AND NOTATIONS:
1. SEE OCCUPANCY COUNT PER OCCUPANCY USE ON G1.1 - TOTAL OCCUPANCY FOR PLUMBING FIXTURES IS BASED ON THE COMBINED OCCUPANTS FOR THE EXISTING RECREATION CENTER AND NEW GYM ADDITION.
2. URINALS MAY BE USED FOR UP TO 67% OF THE WATER CLOSETS IN ASSEMBLY AND EDUCATIONAL OCCUPANCIES. OTHERWISE URINALS MAY BE USED FOR UP TO 50% OF THE WATER CLOSETS (2015 IPC SECTION 424.2)
3. FAMILY / UNISEX TOILETS REQUIRED WHEN AN AGGREGATE OF 6 OR MORE ASSEMBLY TOILET FACILITIES ARE REQUIRED (SECTION 1109.2.1) - NOT APPLICABLE
4. *1 UNISEX WATERCLOSET AND LAVATORY FIXTURES COUNTED WITHIN WOMEN PLUMBING QUANTITY

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ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

ORANGE BEACH ALABAMA — 100 is better here — ESTABLISHED 1984

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ORANGE BEACH, ALABAMA

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REV	DATE	DESCRIPTION

DATE: 5-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS — PROJECT NO: 3916

SHEET TITLE
CODE STUDY

DRAWING NO.
LS001

OCCUPANCY LEGEND

ASSEMBLY FIXED (GRANDSTAND CHAIR SEAT)	(PER SEAT)	
ASSEMBLY FIXED (GRANDSTAND BENCH SEAT)	(PER SEAT)	
ASSEMBLY FIXED (GRANDSTAND BENCH SEAT WITH CONTINUOUS BACK REST)	(PER SEAT)	
ASSEMBLY FIXED (ADA SEATING AREAS)	(PER SEAT)	
BUSINESS (PRESS BOX)	(100 SF/PERSON)	
MECHANICAL / ELECTRICAL (ELECTRICAL PAD)	(300 SF/PERSON)	

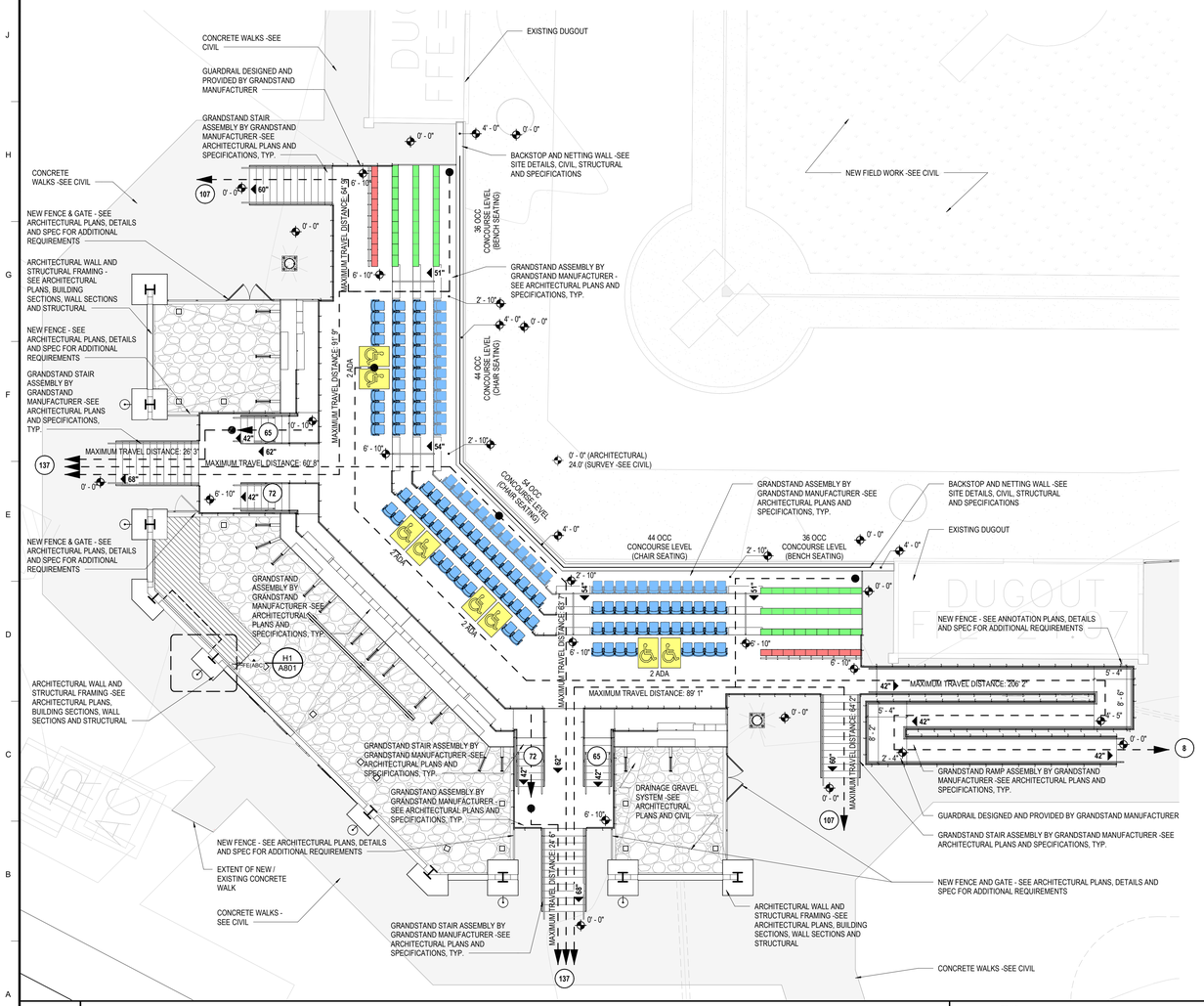
SYMBOLS LEGEND

100'	PATH OF EGRESS / EXIT DISTANCE
100	OCCUPANT LOAD AT EXIT
69"	EGRESS WIDTH AT EXIT / STAIR
	EXIT SIGN (LIGHTED FACE SHADED)
FE	FIRE EXTINGUISHER (TYPE: ABC AND C)
AED	AUTOMATIC EXTERNAL DEFIBRILLATOR
ROOM NAME 101 / 150 SF / A / 20	ROOM NAME AND NUMBER SQUARE FOOTAGE TYPE AND OCCUPANCY (*) - REPRESENTS A DESIGN OCCUPANCY AMOUNT

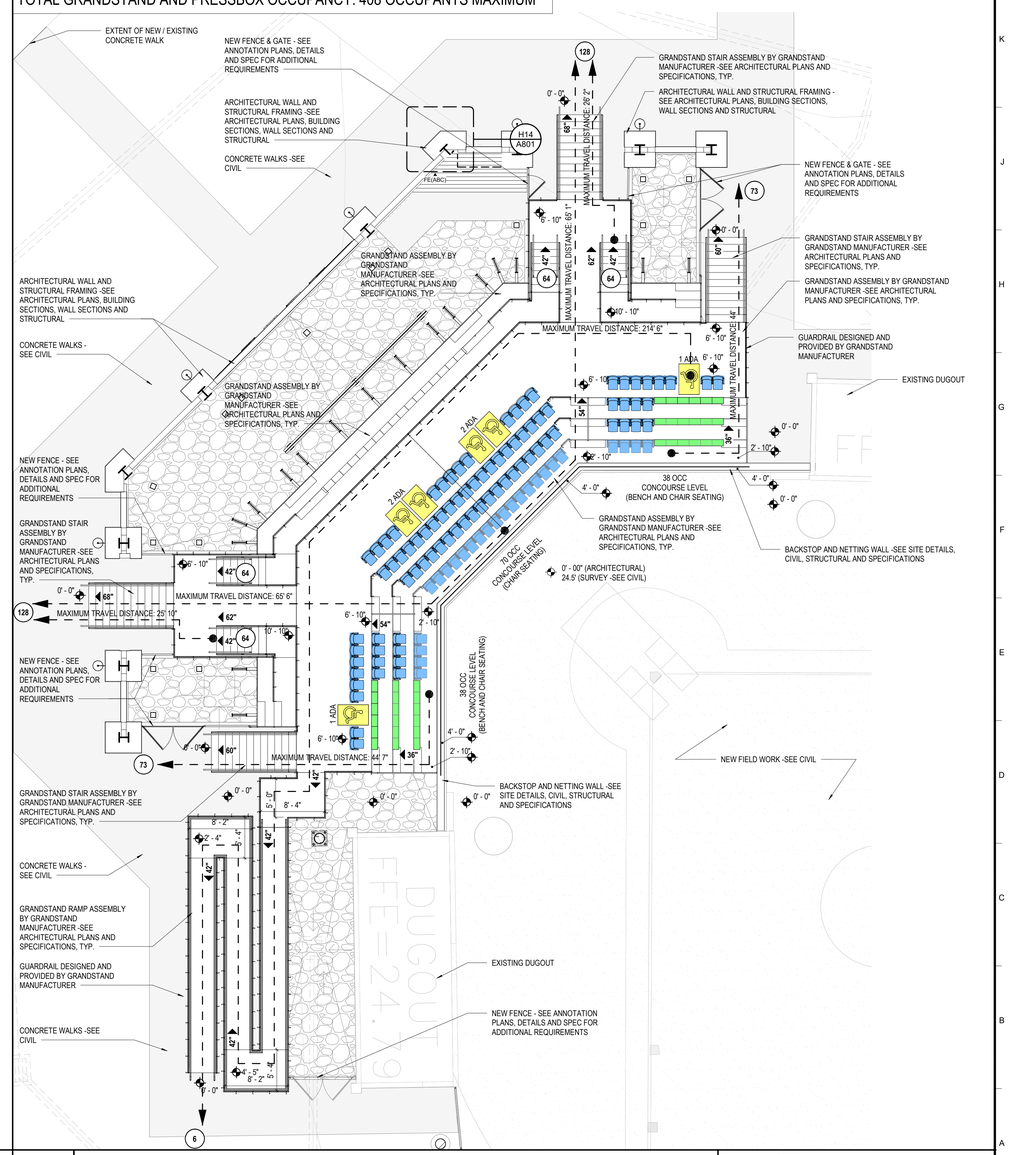
GENERAL NOTES

- GRANDSTAND IS DESIGNED AS AN OUTDOOR SMOKE PROOF STRUCTURE.
- THE UNDERSIDE OF THE GRANDSTAND WILL BE SECURED AND OFF LIMITS FROM EGRESS AND PUBLIC ACCESS
- A SERIES OF ENCLOSURE RIGID PANELS, GATES AND FENCE SYSTEMS ARE INSTALLED AS NEEDED TO CREATE A SEPARATION OF ACCESS BENEATH THE GRANDSTAND - SEE THE METAL RISER AND PLANS FOR LOCATIONS OF ELEMENTS.
- SEE SHEET G1.1 (INDEX AND GENERAL INFORMATION) FOR OCCUPANCY, SQUARE FOOTAGE AND PLUMBING CALCULATIONS.
- ALL SQUARE FOOTAGES INDICATED ARE "CLEAR SPACE" UNLESS NOTED OTHERWISE.

TOTAL GRANDSTAND AND PRESSBOX OCCUPANCY: 496 OCCUPANTS MAXIMUM



TOTAL GRANDSTAND AND PRESSBOX OCCUPANCY: 408 OCCUPANTS MAXIMUM



A1	CONCOURSE LEVEL PLAN - FIELD 2 GRANDSTAND - LIFE SAFETY PLAN	TRUE NORTH
	SCALE: 1/8" = 1'-0"	0' 4' 8' 16'

A11	CONCOURSE LEVEL PLAN - FIELD 3 GRANDSTAND - LIFE SAFETY PLAN	TRUE NORTH
	SCALE: 1/8" = 1'-0"	0' 4' 8' 16'

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ISSUED BY: DAVIS ARCHITECTS
PROJECT NO.: 3916

SHEET TITLE
CONCOURSE LEVEL GRANDSTAND - LIFE SAFETY PLANS

DRAWING NO.
LS101

OCCUPANCY LEGEND

ASSEMBLY FIXED (GRANDSTAND CHAIR SEAT)	(PER SEAT)	
ASSEMBLY FIXED (GRANDSTAND BENCH SEAT)	(PER SEAT)	
ASSEMBLY FIXED (GRANDSTAND BENCH SEAT WITH CONTINUOUS BACK REST)	(PER SEAT)	
ASSEMBLY FIXED (ADA SEATING AREAS)	(PER SEAT)	
BUSINESS (PRESS BOX)	(100 SF/PERSON)	
MECHANICAL / ELECTRICAL (ELECTRICAL PAD)	(300 SF/PERSON)	

SYMBOLS LEGEND

100'	PATH OF EGRESS / EXIT DISTANCE
100	OCCUPANT LOAD AT EXIT
69"	EGRESS WIDTH AT EXIT / STAIR
	EXIT SIGN (LIGHTED FACE SHADED)
FE	FIRE EXTINGUISHER (TYPE: ABC AND C)
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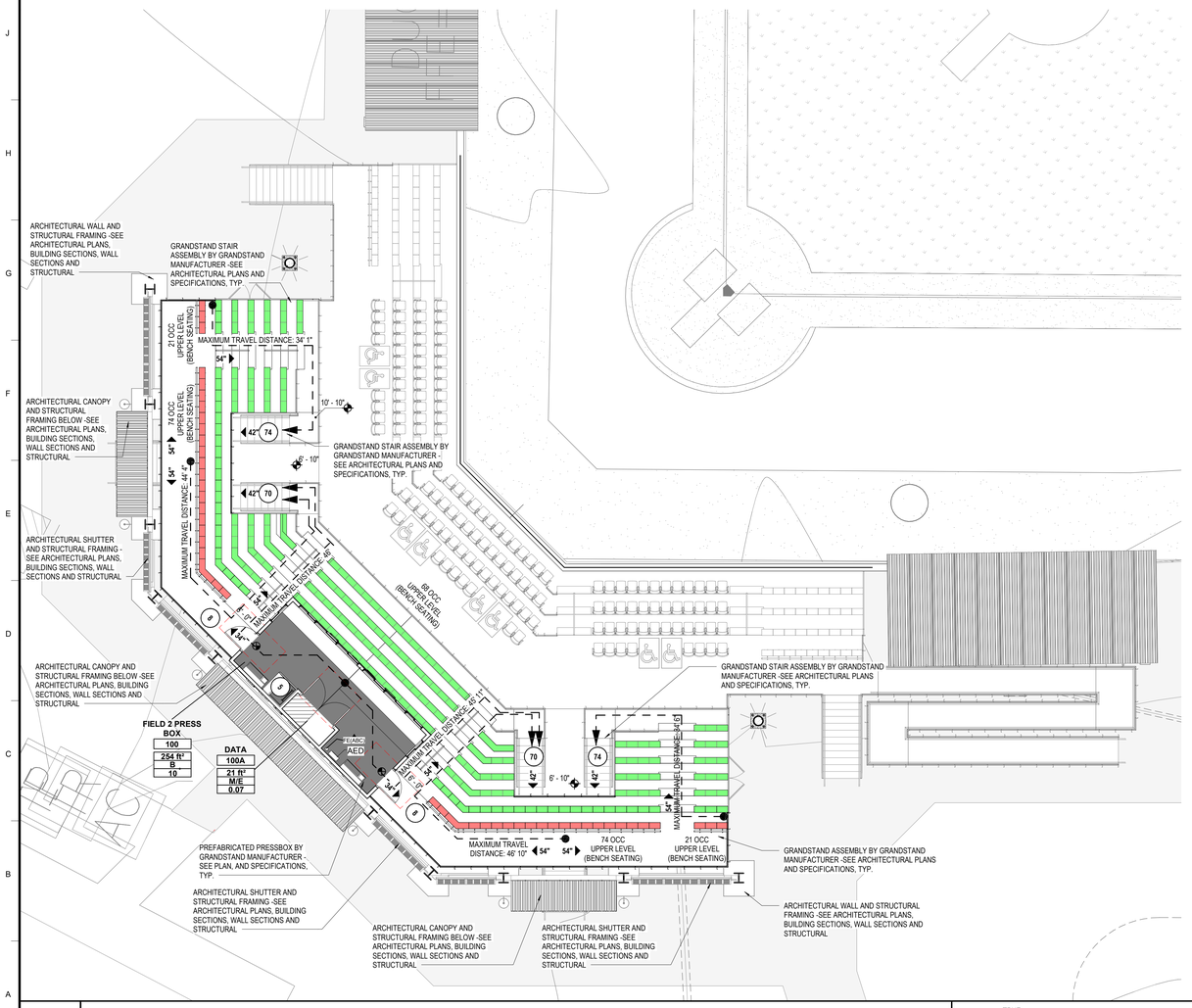
PRESS BOX ROOF: ROOF IS AN OPEN PLAN WITH 48" GUARDRAILS AT ALL SIDES - DESIGNED OCCUPANCY UP TO 5 PEOPLE AND EXITS PRESS BOX ROOF BY FIXED LADDER INSIDE PRESS BOX

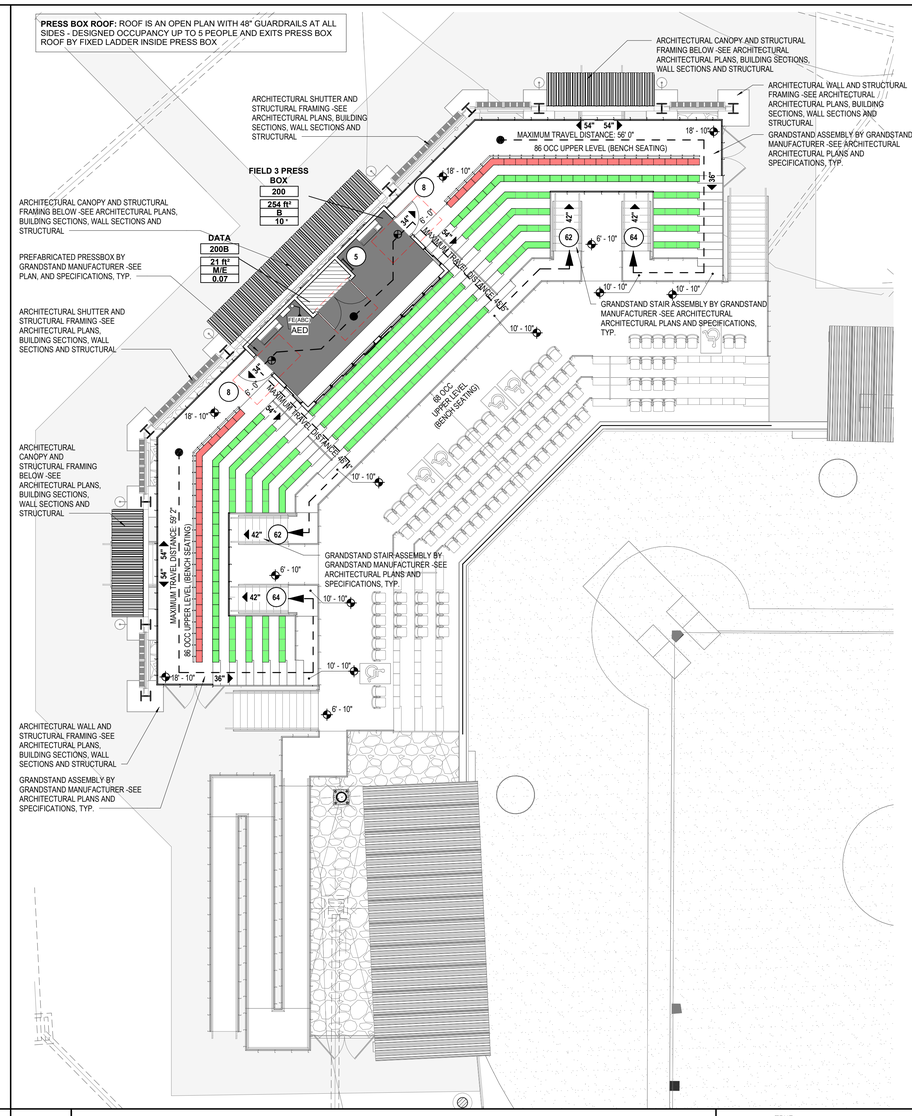


A1 — PRESS BOX AND UPPER SEATING PLAN- FIELD 2 GRANDSTAND - LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"

TRUE NORTH 0' 4' 8' 16'

PRESS BOX ROOF: ROOF IS AN OPEN PLAN WITH 48" GUARDRAILS AT ALL SIDES - DESIGNED OCCUPANCY UP TO 5 PEOPLE AND EXITS PRESS BOX ROOF BY FIXED LADDER INSIDE PRESS BOX



A10 — PRESS BOX AND UPPER SEATING PLAN - FIELD 3 GRANDSTAND - LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"

TRUE NORTH 0' 4' 8' 16'

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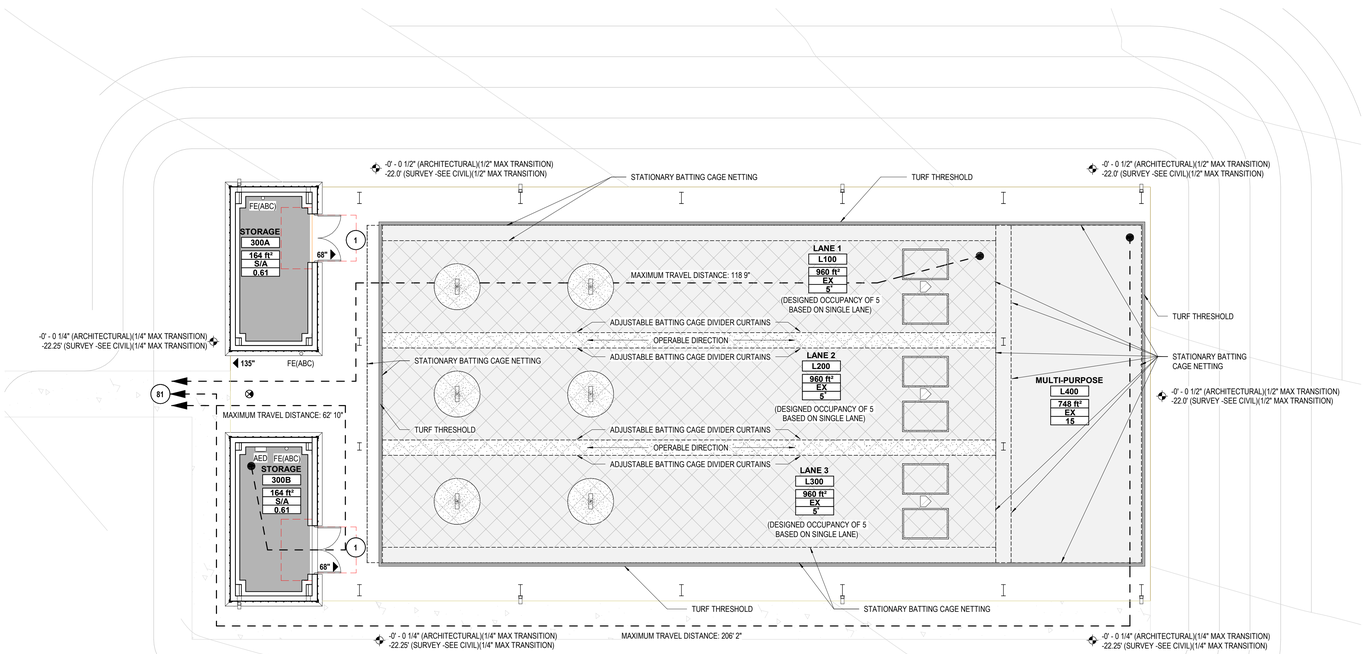
SHEET TITLE

PRESS BOX LEVEL AND UPPER SEATING GRANDSTAND- LIFE SAFETY PLANS

DRAWING NO.

LS102



OCCUPANCY LEGEND

	EXERCISE (BATTING CAGES)	(50 SF/PERSON)
	STORAGE / ACCESSORY (BATTING CAGES)	(300 SF/PERSON)

SYMBOLS LEGEND

100'	PATH OF EGRESS / EXIT DISTANCE
100	OCCUPANT LOAD AT EXIT
69"	EGRESS WIDTH AT EXIT
	EXIT SIGN (LIGHTED FACE SHADED)
FE	FIRE EXTINGUISHER (TYPE: ABC)
AED	AUTOMATIC EXTERNAL DEFIBRILLATOR
ROOM NAME 101 / 150 SF / A / 20	ROOM NAME AND NUMBER SQUARE FOOTAGE TYPE AND OCCUPANCY (*) - REPRESENTS A DESIGN OCCUPANCY AMOUNT

GENERAL NOTES

- EGRESS OPENINGS THROUGH NETTING ARE PROVIDED BY NETTING MANUFACTURER, NO DOORS ARE PROVIDED AT NETTING

OCCUPANCY NOTE:
WHEN DIVIDER NETS ARE RETRACTED -MAXIMUM OCCUPANCY IS DETERMINED BASED ON 3,200 SQUARE FOOT CLEARANCE. MAXIMUM OCCUPANCY IS 64 OCCUPANTS.

A1 BATTING CAGE FACILITY - LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"

TRUE NORTH / PROJECT NORTH

0' 4' 8' 16'

STATE OF ALABAMA
DAVIS ARCHITECTS
2413
NEIL E. DAVIS
REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ;
ORANGE BEACH, ALABAMA

DAVIS

OWNER
CITY OF ORANGE BEACH
PO BOX 458
ORANGE BEACH, ALABAMA 36561
251-981-69792
ATTN: KEN GRIMES, JR.

ASSOCIATE ARCHITECT
MCCOLLOUGH ARCHITECTURE
4790 MAIN ST #209,
ORANGE BEACH, AL 36561
251-968-7222
ATTN: STED MCCOLLOUGH

ARCHITECT
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120 23RD STREET SOUTH
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CIVIL ENGINEER
SAWGRASS CONSULTING, LLC
11143 OLD HIGHWAY 31
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251-544-7900
ATTN: ERCIL E. GODWIN / DOUG CHAFFIN

STRUCTURAL ENGINEER
MBA ENGINEERS
300 20TH ST. N., SUITE 100
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MECHANICAL / PLUMBING ENGINEER
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ATTN: CHRIS DEARMON / VAN SIMPSON

ELECTRICAL ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE: 5-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO.: 3916

SHEET TITLE

LIFE SAFETY PLAN - BATTING CAGE (ALTERNATE#2)

DRAWING NO.

LS103

GENERAL NOTES:

1. THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL STATE AND LOCAL PERMITS AND EXPENSE THEREOF. ALL PERMITS MUST BE OBTAINED PRIOR TO APPROVAL BY MOBILE COUNTY ENGINEERING.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF PROJECT AND ALL COST ASSOCIATED THEREWITH BASED UPON CONTROL POINTS PROVIDED BY THE ENGINEER AS SHOWN ON THE DRAWINGS.

3. THE CONTRACTOR SHALL PROVIDE THE OWNER / ENGINEER WITH A LIST OF THREE NAMES AND TELEPHONE NUMBERS TO BE UTILIZED DURING EMERGENCIES OR DURING DAYS WHEN THE CONTRACTOR IS NOT WORKING ON SITE. NAMES AND TELEPHONE NUMBERS SHALL BE LISTED IN THE ORDER OF PREFERENCE THAT THE CONTRACTOR WOULD PREFER TO BE CONTACTED.

4. ALL WORK SHALL BE ACCOMPLISHED UNDER THE DIRECT SUPERVISION OF A CONTRACTOR PROPERLY LICENSED UNDER A MAJOR CLASSIFICATION AS DESIGNATED UNDER SECTION 230–X–1–.27 OF THE STATE LICENSING BOARD FOR GENERAL CONTRACTORS IN THE STATE OF ALABAMA.

5. THE CONTRACTOR SHALL OBTAIN PERMISSION AND APPROVAL FOR ALL PROPOSED SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ALL PHASES OF THE PROJECT INCLUDING THE SUBCONTRACTOR'S WORK.

6. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND TESTING LAB A MINIMUM OF 48 HOURS IN ADVANCE OF BEGINNING ANY MAJOR PHASE OF THE PROJECT.

7. THE OWNER / ENGINEER RESERVES THE RIGHT TO ALTER AND MODIFY PORTIONS OF THE PROJECT AS DEEMED NECESSARY DURING CONSTRUCTION TO ENHANCE OR IMPROVE THE OVERALL PROJECT AND MEET BUDGET CONSTRAINTS.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LINE LOCATION OF ALL EXISTING UTILITIES. DAMAGED UTILITIES SHALL BE REPAIRED AND/OR REPLACED AT THE EXPENSE OF THE CONTRACTOR OR UTILITY COMPANY AND SHALL NOT BE THE RESPONSIBILITY OF THE OWNER.

9. ALL MATERIALS SHALL BE NEW.

10. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, PART VI, SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION

11. ALL MATERIALS AND WORKMANSHIP SHALL ADHERE TO THE ALABAMA DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2018 EDITION.

12. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE COUNTY ENGINEER IF ANY WORK IS REQUIRED TO OBSTRUCT OR DEVIATE NORMAL TRAFFIC OPERATIONS ON COUNTY PUBLIC STREETS. THE TRAFFIC CONTROL PLAN SHALL BE IN ACCORDANCE WITH THE LATEST M.U.T.C.D.

13. THE CONTRACTOR SHALL NOTIFY THE MOBILE COUNTY PUBLIC WORKS ENGINEERING MANAGER, AT 574–4030 TO DISCUSS CONDITION OF COUNTY MAINTAINED ROAD LEADING TO THE SITE PRIOR TO COMMENCING WORK IN MOBILE COUNTY RIGHT–OF–WAY.

14. PERMIT TO DEVELOP AND A.D.E.M. N.O.I. MUST BE POSTED ON–SITE AT ALL TIMES DURING CONSTRUCTION.

CONCRETE NOTES:

1. CONCRETE SHALL BE A MIX DESIGNED BY A RECOGNIZED TESTING LAB TO ACHIEVE A STRENGTH OF 3,000 PSI (CONCRETE SIDEWALKS, HEADWALLS) AND 4,000 PSI (CONCRETE RIGID PAVEMENTS) IN 28 DAYS WITH A PLASTIC AND WORKABLE MIX. ALL CONCRETE USED TO FILL MASONRY UNITS SHALL HAVE A MAXIMUM AGGREGATE SIZE OF 3/8" UNLESS OTHERWISE NOTED.

2. REINFORCING STEEL SHALL BE NEW BILLET STEEL MEETING A.S.T.M. A–615 GRADE 60 LATEST AND DEFORMED IN ACCORDANCE WITH A.S.T.M. A–305 LATEST. STEEL SHALL BE CLEANED, FREE FROM OIL, SCALE AND RUST. STEEL SHALL BE BENT, LAPPED, PLACED IN ACCORDANCE WITH A.C.I. STANDARDS AND SPECIFICATIONS.

3. ANCHOR BOLTS AND REINFORCING DOWELS SHALL BE SET IN FORMS AND HELD SECURELY IN PLACE BY TEMPLATES PRIOR TO THE PLACING OF THE CONCRETE. ANCHOR BOLTS SHALL BE AS SCHEDULED. REINFORCING DOWELS SHALL BE SAME SIZE AND SPACING AS VERTICAL REINFORCING.

4. ALL EXTERIOR WALKS SHALL BE 4" CONCRETE SLABS WITH 6X6–10/10 MESH ON COMPACTED FILL. SEE CIVIL PLANS FOR EXTERIOR WALK LIMITS AND LOCATIONS.

5. ALL CONCRETE SLABS, APRONS, AND RIGID PAVEMENT SECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE – A.C.I. 318–08 FOR REINFORCED CONCRETE CONSTRUCTION.

6. THE GENERAL CONTRACTOR SHALL PROVIDE THE ARCHITECT AND ENGINEER WITH THE PROPOSED LAYOUT FOR CONCRETE SIDEWALK, PAD AREAS AND RIGID PAVEMENT CONTROL JOINT AND EXPANSION JOINT LOCATIONS AND LAYOUTS PRIOR TO FORMING THE WORK.

MULTI-FLOW SUBSURFACE DRAINAGE REQUIREMENTS:

1. THE AMOUNT OF TRENCH EXCAVATED AT ANY TIME SHALL NOT EXCEED THE AMOUNT OF DRAIN THAT CAN BE SET AND BACKFILLED COMPLETELY IN ONE WORKING DAY. THE TRENCH SHALL BE 4 INCHES WIDE AND AT THE DEPTH SPECIFIED IN THE PLANS. THE COLLECTION SYSTEM SHALL BE CENTERED IN THE TRENCH, AND BACKFILLED WITH CLEAN VERY COARSE SAND OR AN ALTERNATE SELECTED BY THE ENGINEER.

2. THE TRENCH EXCAVATIONS FOR THE COLLECTION SYSTEM AND TRANSPORT PIPE SHALL BE TO THE LINES AND GRADES SHOWN ON THE PLANS. OVER EXCAVATION IN THE BOTTOM OF THE EXCAVATION SHALL BE BACKFILLED TO THE PROPER GRADE WITH EXCAVATED MATERIAL OR SAND PRIOR TO THE PLACEMENT OF THE COLLECTION SYSTEM.

3. FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

4. BACKFILL SHALL BE CONSOLIDATED IN ACCORDANCE WITH THE PLANS OR AS DIRECTED BY THE ENGINEER.

5. ANY DAMAGED COLLECTION SYSTEM, OR TRANSPORT PIPE SHALL BE REPLACED OR REPAIRED BY SPLICING IN AN UNDAMAGED SECTION OF LIKE MATERIAL.

GRADING AND DRAINAGE NOTES

1. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.

2. COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ATM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED AT OR NEAR OPTIMUM MOISTURE. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

3. ALL FILL MATERIAL TO BE UTILIZED ON THE PROJECT SHALL BE FREE OF ORGANIC OR OTHERWISE DELETERIOUS MATERIALS AND COMPACTED TO MINIMUM DRY DENSITIES CORRESPONDING TO 95% OF MAXIMUM DRY DENSITY AS OBTAINED BY STANDARD PROCTOR, ASTM D698 AND AT LEAST 98% OF STANDARD PROCTOR WITHIN 1 FOOT BELOW PAVEMENT SUBGRADE. FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. SEE THE GEOTECHNICAL REPORT FOR FILL REQUIREMENTS BELOW THE NEW BUILDING FOUNDATION.

4. MAXIMUM SLOPE OF EMBANKMENT SHALL BE 3.0 FEET HORIZONTAL TO 1.0 FOOT VERTICAL.

5. PROPOSED CONTOUR INTERVALS ARE AS LABELED. ALL PROPOSED CONTOURS ARE FINISHED GRADES.

6. THE CONTRACTOR WILL INSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR RE–GRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS IN AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.

7. EXCESS EARTH CUT OR UNSUITABLE MATERIALS, IF ANY, SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE APPROVED TO BE PLACED ON SITE BY THE OWNER.

8. ALL STORM DRAINAGE PIPE SHALL BE LAID ON SMOOTH CONTINUOUS GRADES WITH NO VISIBLE BENDS AT JOINTS. ALL THE CIRCULAR PIPE UTILIZED IN THE COUNTY R.O.W. SHALL BE CLASS 3 (MIN.) REINFORCED CONCRETE PIPE W/ RUBBER GASKET JOINTS, ALL ARCH PIPE UTILIZED IN THE COUNTY R.O.W. SHALL BE CLASS 3 (MIN.) W/ RAM NECK JOINTS, UNLESS OTHERWISE NOTED. B.M.T. 72'S ARE REQUIRED.

9. ALL STORM DRAINAGE INLET STRUCTURES SHALL HAVE METAL FRAME AND COVER FOR ACCESS. THE CONTRACTOR SHALL CONTACT PUBLIC WORKS OR THE ENGINEER'S OFFICE IF COVER REQUIRES A COUNTY STAMP.

10. THE CONTRACTOR SHALL PROVIDE ANY EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. AT LEAST A 48 HOUR NOTIFICATION IS REQUIRED.

11. SOILS TESTING AND ON–SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.

12. ALL SIDE DRAIN PIPE END TREATMENTS TO BE PER ALABAMA DEPT. OF TRANSPORTATION DESIGN BUREAU DRAWING HW–614–SP. ALL ROADWAY PIPE END TREATMENTS TO BE PER A.L.D.O.T. DESIGN BUREAU DRAWING HW–614–B.

13. PROPOSED STORM DRAINAGE PIPE IN THE RIGHT–OF–WAY MUST BE VIDEOED PRIOR TO ACCEPTANCE BY MOBILE COUNTY.

EXISTING IRRIGATION NOTES:

1. CONTRACTOR MUST FIELD VERIFY THE LOCATION OF ANY EXISTING IRRIGATION LINES, HEADS, VALVES, METERS AND CONTROLLERS WITHIN THE AREA OF CONSTRUCTION PRIOR TO START OF DEMOLITION.

2. THE CONTRACTOR SHALL CUT AND CAP ANY LINES THAT EXTEND INTO THE AREA OF CONSTRUCTION SO THAT THE SYSTEM CAN REMAIN OPERATIONAL WHILE CONSTRUCTION TAKES PLACE.

3. THE CONTRACTOR SHALL CUT AND CAP ALL IRRIGATION LINES SO THAT THEY STAY 20 FEET FROM THE FACE OF ANY BUILDING.

4. ANY SPRINKLER HEADS WITHIN THE LIMITS OF CONSTRUCTION THAT POSE A PROBLEM TO THE STAGING AREA OR EQUIPMENT SHALL BE TEMPORARILY REMOVED AND SALVAGED. THEIR LOCATION SHALL BE MARKED SO THAT ONCE THE CONSTRUCTION IS COMPLETE THE CONTRACTOR WILL REINSTALL THE HEADS AND BRING THEM BACK TO OPERATIONAL STATUS.

5. THE CONTRACTOR SHALL REMOVE AND SALVAGE ANY IRRIGATION CONTROLLERS, HEADS, VALVES AND METERS THAT ARE LOCATED WITHIN 20 FEET FROM A NEW BUILDING, UNLESS THEY ARE NOT IN CONFLICT WITH CONSTRUCTION OR HAVE A CHANCE OF BECOMING DAMAGED DUE TO THE USE OF ONSITE EQUIPMENT.

6. IN CASE A MAIN METER, VALVE, LINE, ETC.. ARE REMOVED/DAMAGED DURING DEMOLITION, THE CONTRACTOR SHALL CAP THE DAMAGED LINE(S), MARK AND IMMEDIATELY NOTIFY THE ARCHITECT, ENGINEER AND OWNER OF THE DAMAGE SO A TEMPORARY REPAIR CAN BE INSTALLED TO MAINTAIN IRRIGATION FOR THE FIELDS AFFECTED.

SOIL EROSION & SEDIMENT CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES MUST BE IN ACCORDANCE WITH THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORM WATER MANAGEMENT FOR CONSTRUCTION SITES AND URBAN AREAS, VOLUME 1 AND 2, CURRENT EDITION.

2. THE MEASURES SET FORTH IN THE EROSION CONTROL PLAN ARE INTENDED AS THE MINIMUM STANDARDS, ANY EROSION CONTROL MEASURE BEYOND THAT SPECIFIED IN THE PLAN, THAT IS REQUIRED TO COMPLY WITH LOCAL, STATE, AND FEDERAL LAW, SHALL BE IMPLEMENTED.

3. IN THE EVENT THAT EROSION PREVENTION AND CONTROL DEVICES SHOWN IN THE EROSION CONTROL PLAN PROVE NOT TO BE EFFECTIVE, ALTERNATE METHODS FOR MAINTAINING STATE WATER QUALITY STANDARDS FOR DISCHARGE FROM THE CONSTRUCTION SITE WILL BE REQUIRED. ALL ALTERNATE EROSION PREVENTION AND CONTROL DEVICES MUST BE REVIEWED AND APPROVED BY LOCAL AND STATE COMPLIANCE PERSONNEL PRIOR TO PLACEMENT.

4. THE CONTRACTOR SHALL INSPECT INSTALLED BMPS AT LEAST ONCE EVERY SEVEN (7) DAYS AND REPAIR OR REPLACE DAMAGED OR INEFFECTIVE DEVICES.

5. THE CONTRACTOR SHALL INSPECT INSTALLED BMPS WITHIN 24 HOURS AFTER PRECIPITATION EVENTS OF 0.50 INCHES OR GREATER AND REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE DEVICES.

6. ANY DISTURBED AREAS SHALL RECEIVE TEMPORARY SEED AND MULCH WITHIN 13 DAYS OF ANY CONSTRUCTION ACTIVITY FOR AN EFFECTIVE BMP. IF THESE AREAS WILL NOT RECEIVE ANY CONSTRUCTION TRAFFIC OR WORK IN THE AREA IS COMPLETE, THE CONTRACTOR SHALL FINISH GRADE AND TOPSOIL THE AREA AND PERMANENTLY STABILIZE WITH SOLID SIDE

7. ALL AREAS IDENTIFIED TO HAVE SOLID SODDING, SHALL RECIEVE ROLLED SOLID SOD (419–BERMUDA)

8. EROSION CONTROL DEVICES; SILT FENCES, HAY BALES, WATTLES, RECP'S OR PINNED SAID SOD SHALL BE NECESSARY TO REESTABLISH VEGETATION WHERE DITCHES AND SLOPES ARE SUBJECT TO DRAINAGE VELOCITIES.

9. SILT FENCE MUST MEET THE REQUIREMENTS OF LOCAL JURISDICTIONAL AGENCY, SAID REQUIREMENTS AS SHOWN BY THESE PLANS.

10. WHEN ANY CONSTRUCTION BORDERS A DRAINAGE COURSE:

   A. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY BUILDING OR OTHER EXCAVATION SPOIL DIRT, CONSTRUCTION TRASH OR DEBRIS, ETC., FROM THE DRAINAGE AREA SHOWN HEREON IN AN EXPEDITIOUS MANNER AS CONSTRUCTION PROGRESSES.

   B. THE CONTRACTOR HEREBY AGREES TO STOP ALL WORK AND RESTORE THESE AREAS IMMEDIATELY UPON NOTIFICATION BY THE LOCAL JURISDICTIONAL INSPECTOR AND/OR PROFESSIONAL ENGINEER.

11. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED. CONSTRUCTION ENTRANCE PADS SHALL BE INSTALLED BY THE CONTRACTOR AT CONSTRUCTION ACCESS POINTS PRIOR TO LAND DISTURBANCE AND MAINTAINED FOR THE DURATION OF THE PROJECT.

12. EROSION CONTROL DEVICES SHALL BE INSTALLED BEFORE GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

13. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. CONTRACTOR SHALL CLEAN OUT ALL SEDIMENT PONDS WHEN REQUIRED BY THE ENGINEER OR LOCAL JURISDICTIONAL INSPECTOR. CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.

14. ALL EASEMENTS DISTURBED MUST BE GRADED AND GRASSED TO CONTROL EROSION IN ACCORDANCE WITH EASEMENT PLATS PRIOR ACCEPTANCE.

15. TREE PROTECTION AND EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

16. ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER AND DETENTION FACILITIES ARE CONSTRUCTED.

17. ALL SEDIMENT CONTROL DEVICES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.

18. ALL SLOPES SHALL BE STABILIZED AND VEGETATED AS SOON AS POSSIBLE. USE EROSION CONTROL BLANKET (ECB) WHERE GRASSING SLOPES ARE INTERMITTENT.

19. GRASS AREAS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED WITH GRASS IN KIND. IN AREAS OF INDECIPHERABLE GRASSES–USE 419–BERMUDA.

20. LENGTH OF RIP RAP AREA SHALL BE 6(SIX) TIMES THE DIAMETER OF THE STORM DRAIN PIPE. WIDTH OF RIP RAP AREA SHALL BE THREE(3) TIMES THE DIAMETER AT THE MOUTH OF THE PIPE AND TWO(2) TIMES THE DIAMETER AT THE DOWNSTREAM END.

21. THE CONTRACTOR SHALL REMOVE ALL SEDIMENT FROM THE DETENTION POND AND ANY OTHER ACCUMULATED COLLECTION AREAS UPON PROJECT COMPLETION.

22. ALL CONSTRUCTION WASTE AND DEBRIS, SILT FENCES, HAY BALES, AND INLET PROTECTION AND OTHER TEMPORARY BMP'S HALL BE REMOVED FROM THE SITE UPON CONSTRUCTION COMPLETION.

UTILITY PLAN NOTES

1. THE CONTRACTOR SHALL NOTIFY SAWGRASS CONSULTING LLC., AND LOCAL JURISDICTIONAL INSPECTOR (IF IN RIGHT–OF–WAY) 48 HOURS BEFORE THE BEGINNING OF EACH PHASE OF CONSTRUCTION.

2. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.

3. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS HE DISCOVERS IN THE PLAN.

4. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE UNACCEPTABLE.

5. THE CONTRACTOR IS REQUIRED TO USE ALABAMA ONE–CALL CENTER TELEPHONE NUMBER FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES.

6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS ARE NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS, HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. CONTRACTOR TO CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE BY HIS EQUIPMENT TO EXISTING UTILITIES, CROSS–DRAIN PIPES AND HEADWALLS.

8. ALL WATER AND SANITARY SEWER CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR CONSTRUCTING SANITARY SEWER FACILITIES AND WATER FACILITIES, LATEST EDITION..

9. THE CONTRACTOR SHALL EXCAVATE FOR NEW SEWER TO ELEVATIONS SHOWN ON PLANS. THE CONTRACTOR SHALL TAKE EVERY NECESSARY PRECAUTION TO PROTECT EXISTING SEWER DURING CONSTRUCTION OPERATIONS. ALL EXCAVATION, SHORING AND BRACING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

10. THE CONTRACTOR SHALL EXPLORE AHEAD 200 FEET SO ADJUSTMENTS CAN BE MADE IN THE ALIGNMENT OF THE PIPE IN CASE OF CONFLICTS WITH EXISTING STRUCTURES, UTILITIES AND PIPING.

11. ALL EXCESS MATERIAL FROM EXCAVATION SHALL BE DISPOSED OF BY THE CONTRACTOR. COST FOR THIS WORK SHALL BE INCLUDED IN OTHER ITEMS OF WORK.

12. THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND INVERT OF SANITARY SEWER FOR CONNECTION TO EXISTING OR PROPOSED SEWER SYSTEM.

13. THE WATER SYSTEM IN THE PUBLIC RIGHT–OF–WAY WILL BECOME THE PROPERTY OF THE LOCAL UTILITIES BOARD UPON COMPLETION.

14. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHED AND WET AREAS. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.

ON–SITE CONTACT:

ENGINEER: SAWGRASS CONSULTING, LLC.
(251) 544–7900 (OFFICE)

ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
30673 Sgt. E. I. "Boots" Thomas Drive, Spanish Fort, AL 36527
202 Government Street, Suite 225, Mobile, AL 36602
Phone: (251) 544-7900

ALABAMA LICENSED No. 31242 PROFESSIONAL ENGINEER James H. Robertson, II 5-4-20

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ;
ORANGE BEACH, ALABAMA

DAVIS ARCHITECTS

OWNER
CITY OF ORANGE BEACH
PO BOX 458
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ATTN: KEN GRIMES, JR.

ASSOCIATE ARCHITECT
MCCOLLOUGH ARCHITECTURE
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ATTN: STED MCCOLLOUGH

ARCHITECT
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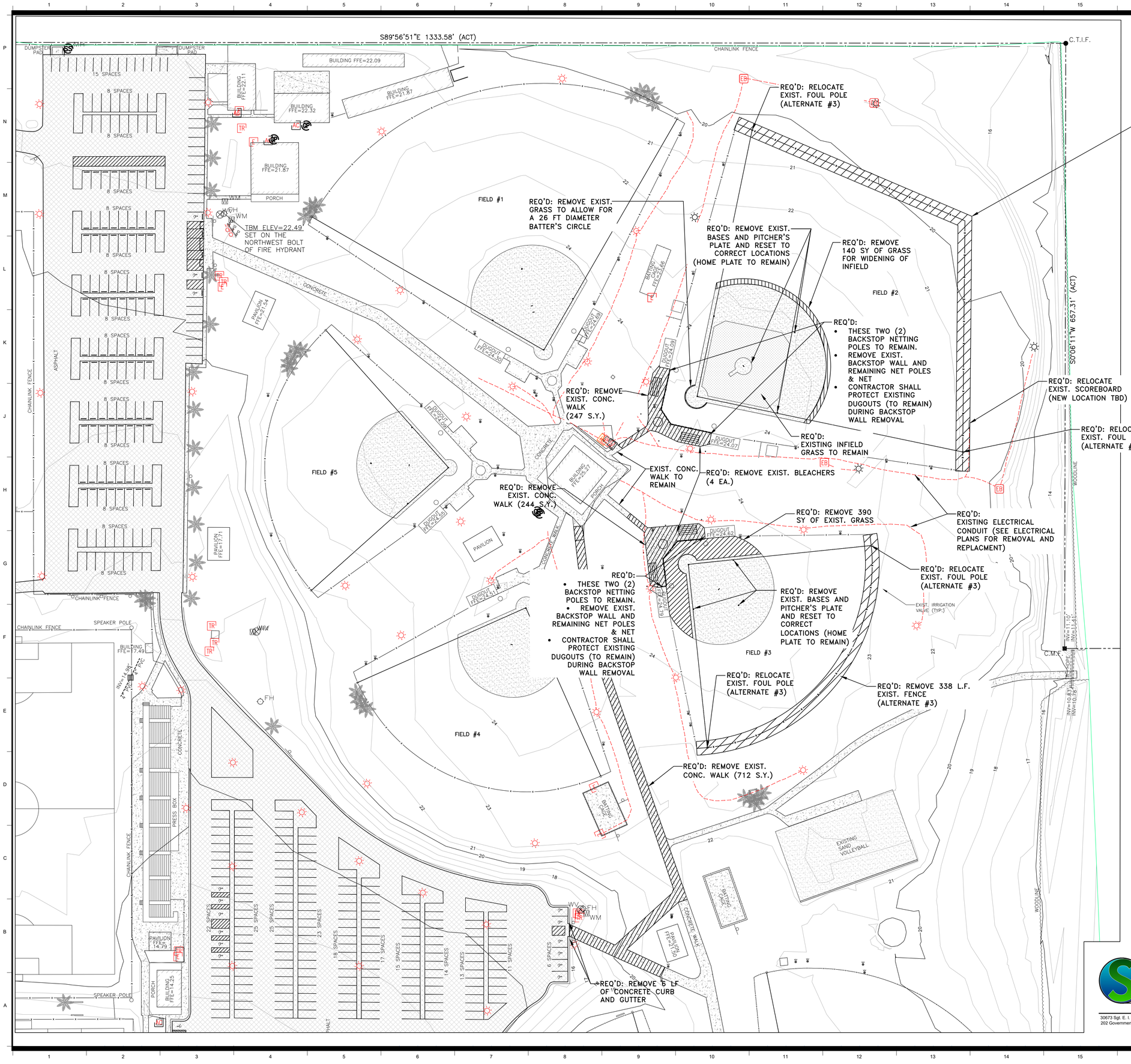
REV	DATE	DESCRIPTION

DATE: 5-4-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO.: 3916

SHEET TITLE: PROJECT NOTES

DRAWING NO.: C100



LEGEND

C.R.F.	CAPPED REBAR FOUND
C.T.I.F.	CRIMPED TOP IRON FOUND
I.P.F.	IRON PIPE FOUND
O.T.I.F.	OPEN TOP IRON FOUND
P.K.N.F.	"PK" NAIL FOUND
P.T.I.F.	PIG TAIL IRON FOUND
R.B.F.	REBAR FOUND
R.R.S.F.	RAILROAD SPIKE FOUND
R.B.F.	REBAR IRON FOUND
C.R.S.	1/2" CAPPED REBAR SET "CA 1007-LS"
P.K.N.S.	"PK" NAIL SET
R.R.S.S.	RAILROAD SPIKE SET
C.M.F.	CONCRETE MONUMENT FOUND
C.M.S.	CONCRETE MONUMENT SET "CA 1007-LS"
	POWER POLE
E	ELECTRIC METER
TR	TRANSFORMER
	LIGHT POLE
	GUY WIRE
AC	AIR CONDITIONER
SSV	SANITARY SEWER VALVE
SSCO	SANITARY SEWER CLEAN OUT
MH	SANITARY SEWER MANHOLE
	GRINDER PUMP
TP	TELEPHONE PEDESTAL
MH	TELEPHONE MANHOLE
CTV	CATV PEDESTAL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
IV	IRRIGATION VALVE
GV	GAS VALVE
	CREPE MYRTLE
	MAGNOLIA TREE
	PALM TREE
	EXISTING CONCRETE
	EXISTING ASPHALT

M. K. BARNES
LICENSED
No. 31242
PROFESSIONAL
ENGINEER
5-4-20
Mark H. Robertson

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ;
ORANGE BEACH, ALABAMA

DAVIS ARCHITECTS

OWNER
CITY OF ORANGE BEACH
PO BOX 458
ORANGE BEACH, ALABAMA 36561
251-981-69792
ATTN: KEN GRIMES, JR.

ASSOCIATE ARCHITECT
MCCOLLOUGH ARCHITECTURE
4750 MAIN ST #209,
ORANGE BEACH, AL 36561
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ATTN: STED MCCOLLOUGH

ARCHITECT
DAVIS ARCHITECTS, INC.
120 23RD STREET SOUTH
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CIVIL ENGINEER
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SPANISH FORT, AL 36527
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MBA ENGINEERS
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205-323-6385
ATTN: KEITH OWENS / MARK BOGER

MECHANICAL / PLUMBING ENGINEER
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MOBILE, AL 36609
251-460-4646
ATTN: CHRIS DEARMON / VAN SIMPSON

ELECTRICAL ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: JERRY ONWU / SID SNYDER

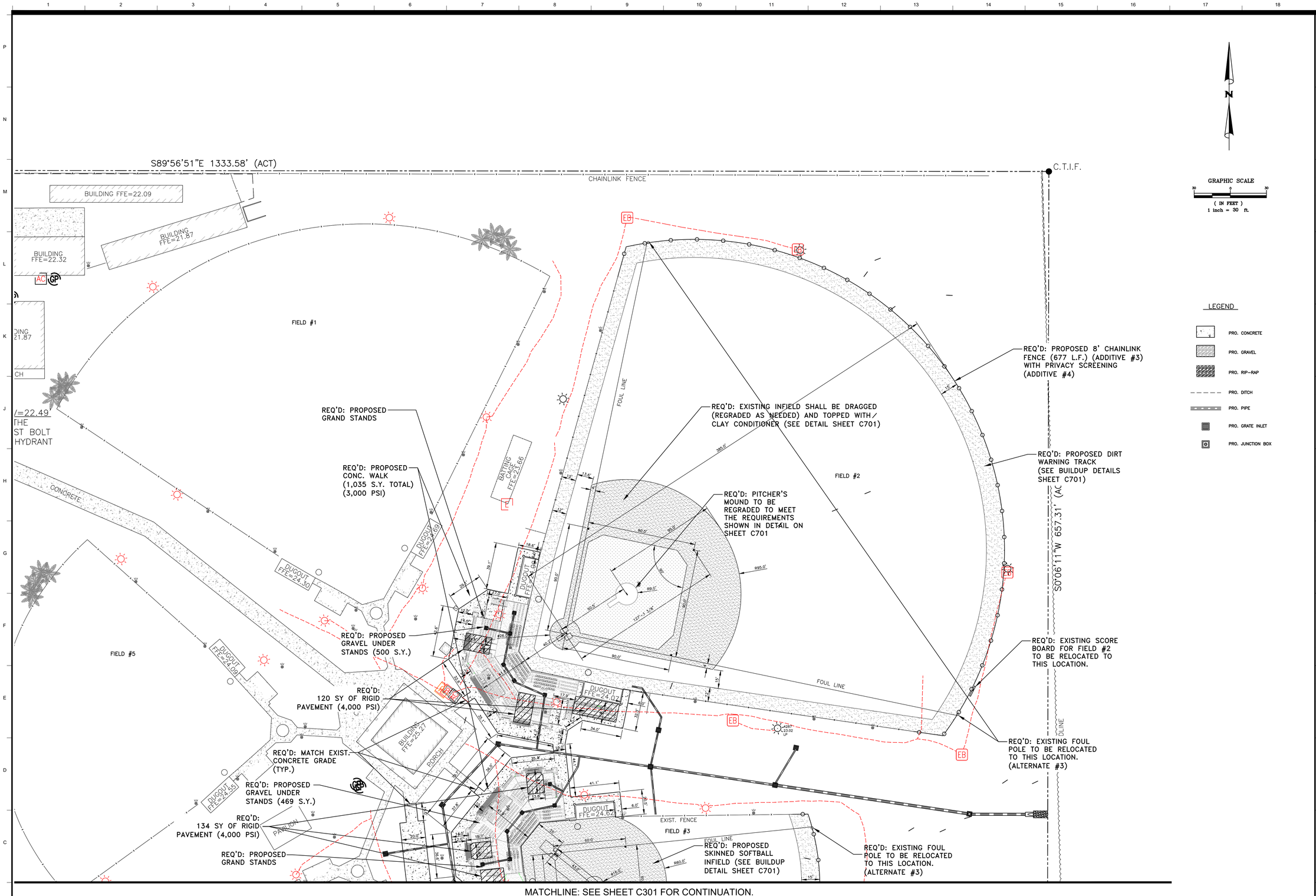
REV	DATE	DESCRIPTION

DATE 5-4-2020
PHASE 100% BID DOCUMENTS
ISSUED FOR
ISSUED BY DAVIS ARCHITECTS PROJECT NO. 3916

SHEET TITLE
EXISTING CONDITIONS & DEMOLITION PLAN

DRAWING NO.
C200

Sawgrass
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
30673 Sgt. E. I. "Boots" Thomas Drive, Spanish Fort, AL 36527 Phone: (251) 544-7900
202 Government Street, Suite 225, Mobile, AL 36602



MATCHLINE: SEE SHEET C301 FOR CONTINUATION.

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

DAVIS ARCHITECTS

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MOBILE, AL 36609
251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE: 5-4-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO.: 3916
SHEET TITLE: GEOMETRY PLAN #1
DRAWING NO.: C300

Sawgrass
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
30673 Sgt. E. I. "Boots" Thomas Drive, Spanish Fort, AL 36527
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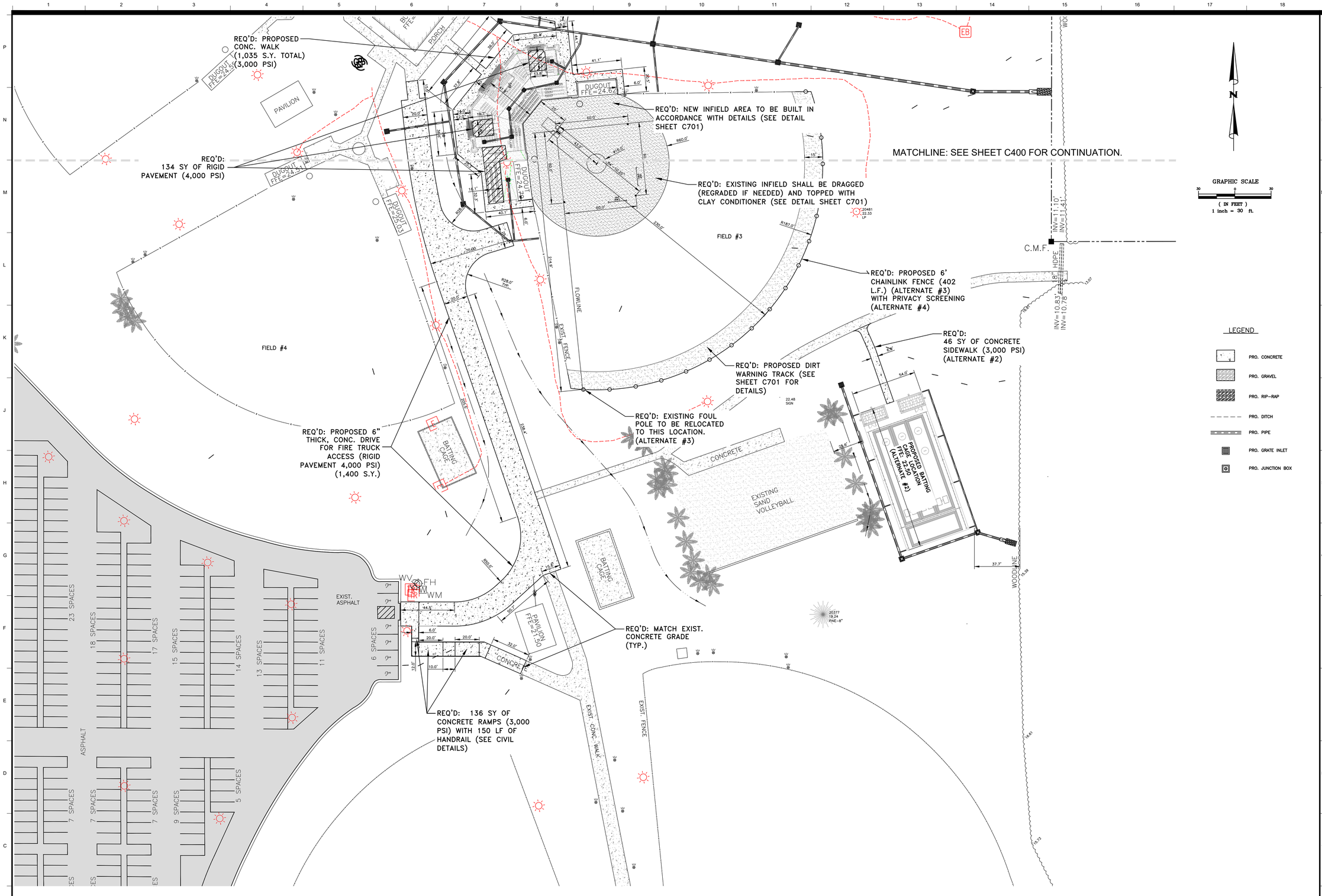
Phone: (251) 544-7900



ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

DAVIS ARCHITECTS

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REV	DATE	DESCRIPTION

DATE: 5-4-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO.: 3916
SHEET TITLE: GEOMETRY PLAN #2
DRAWING NO.: C301

Sawgrass
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
30673 Sgt. E. I. "Boots" Thomas Drive, Spanish Fort, AL 36527
202 Government Street, Suite 225, Mobile, AL 36602
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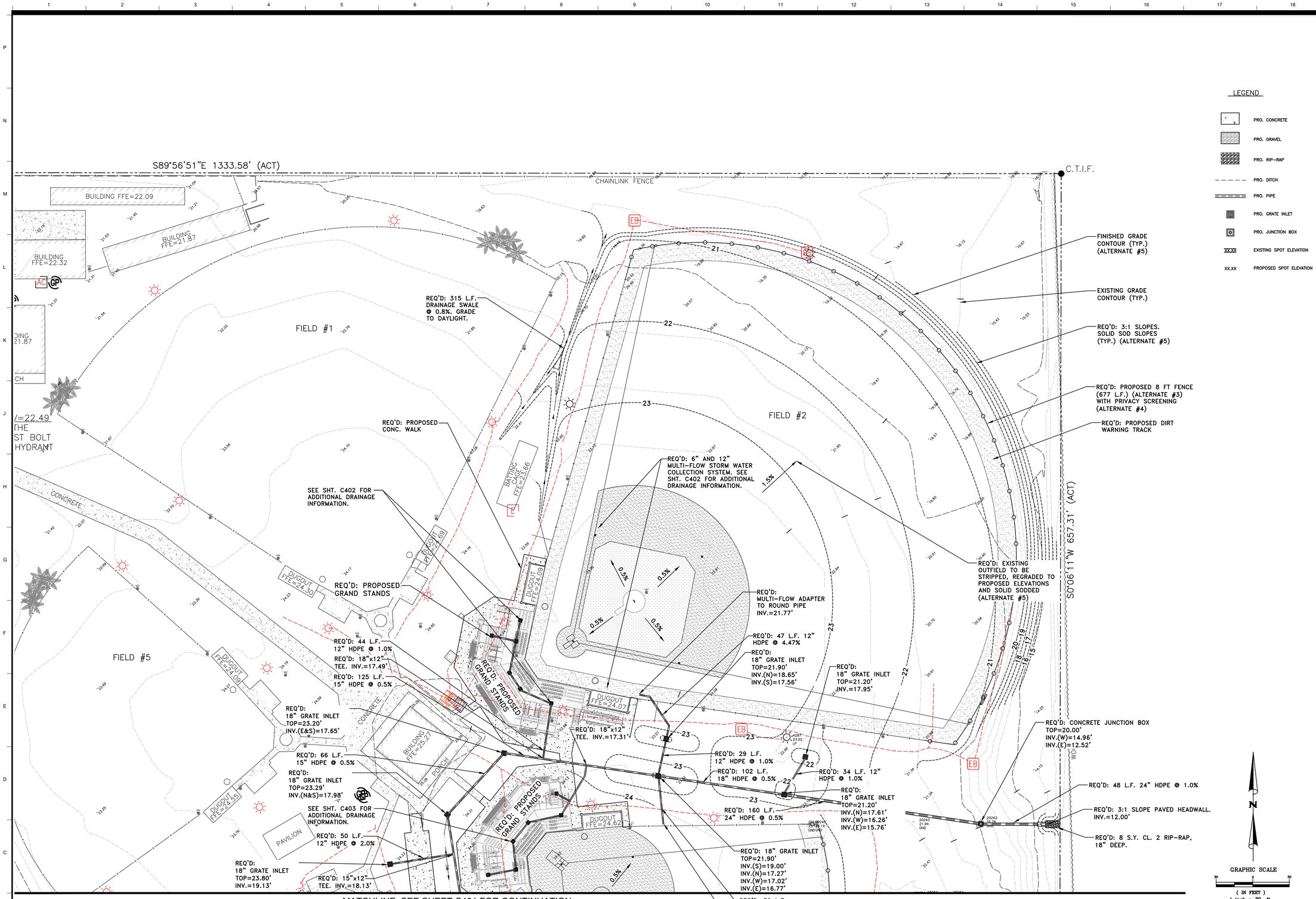

LEGEND

- PRO. CONCRETE
- PRO. GRAVEL
- PRO. RIP-RAP
- PRO. DITCH
- PRO. PIPE
- PRO. GRATE INLET
- PRO. JUNCTION BOX
- XX.XX EXISTING SPOT ELEVATION
- XX.XX PROPOSED SPOT ELEVATION

GRAPHIC SCALE

30 0 30

(IN FEET)

1 inch = 30 ft.

ALABAMA LICENSED PROFESSIONAL ENGINEER
No. 31242
5-4-20
Ercile H. Robertson

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

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REV	DATE	DESCRIPTION

DATE 5-4-2020

PHASE 100% BID DOCUMENTS

ISSUED FOR

ISSUED BY DAVIS ARCHITECTS

PROJECT NO. 3916

SHEET TITLE

GRADING OVERVIEW #1

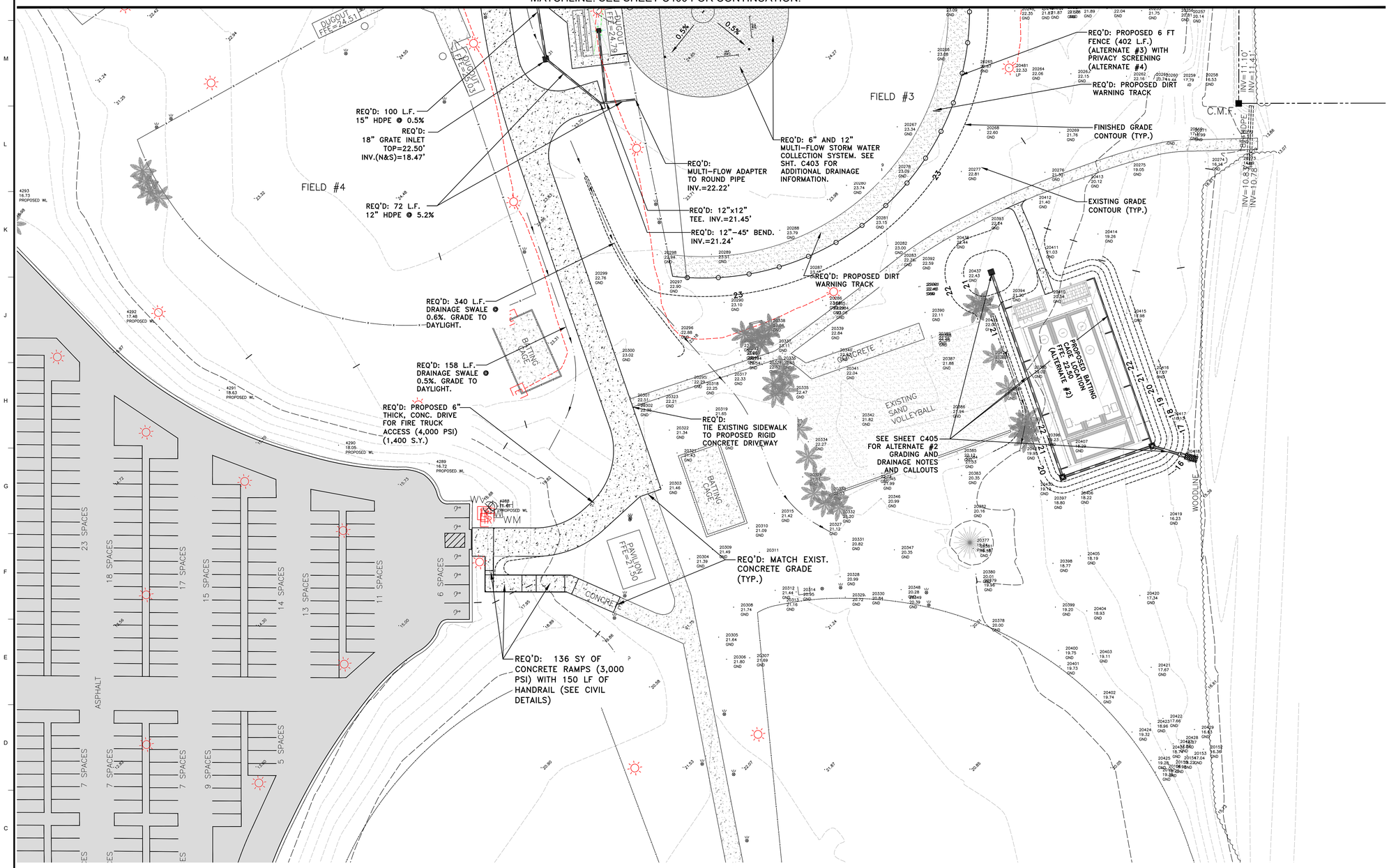
DRAWING NO.

C400

Sawgrass
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT

30673 Sgt. E. I. "Boots" Thomas Drive, Spanish Fort, AL 36527
202 Government Street, Suite 225, Mobile, AL 36602
Phone: (251) 544-7900

MATCHLINE: SEE SHEET C400 FOR CONTINUATION.



LEGEND

- PRO. CONCRETE
- PRO. GRAVEL
- PRO. RIP-RAP
- PRO. DITCH
- PRO. PIPE
- PRO. GRATE INLET
- PRO. JUNCTION BOX
- XX.XX EXISTING SPOT ELEVATION
- XX.XX PROPOSED SPOT ELEVATION

N

GRAPHIC SCALE

30 0 30

(IN FEET)
1 inch = 30 ft.

Sawgrass
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT

30673 Sgt. E. I. "Boots" Thomas Drive, Spanish Fort, AL 36527
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ALABAMA LICENSED PROFESSIONAL ENGINEER James H. Robertson

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

ORANGE BEACH ALABAMA — Life is better here — ESTABLISHED 1984

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

DAVIS ARCHITECTS

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GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE: 5-4-2020

PHASE: 100% BID DOCUMENTS

ISSUED FOR:

ISSUED BY: DAVIS ARCHITECTS — PROJECT NO.: 3916

SHEET TITLE: GRADING OVERVIEW #2

DRAWING NO.: C401

Sawgrass
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
30673 Sgt. E. I. "Boots" Thomas Drive, Spanish Fort, AL 36527 Phone: (251) 544-7900
202 Government Street, Suite 225, Mobile, AL 36602

BATTING CAGE FFE=23.66

DUGOUT FFE=24.69

DUGOUT FFE=24.09

DUGOUT FFE=24.07

REQ'D: PROPOSED WARNING TRACK

EXISTING GRADE CONTOUR (TYP.)

FINISHED GRADE CONTOUR (TYP.) (ALTERNATE #5)

FIELD #2

FINISHED OUTFIELD SLOPE (ALTERNATE #5)

REQ'D: 12" MULTI-FLOW STORM WATER COLLECTOR PIPE @ 0.50%

REQ'D: 12"x12"x6" MULTI-FLOW TEE FITTING (TYP.)

REQ'D: 12" DOME GRATE INLET TOP=23.00' INV.=19.73' APPROX. LOCATION

REQ'D: 17 L.F. 12" HDPE @ 2% APPROX. LOCATION

REQ'D: 12" DOME GRATE INLET TOP=23.00' INV.=19.45' APPROX. LOCATION

REQ'D: 12" DOME GRATE INLET TOP=23.75' INV.=19.81' APPROX. LOCATION

REQ'D: 18 L.F. 12" HDPE @ 2%

REQ'D: 25 L.F. 12" HDPE @ 2%

REQ'D: 12" DOME GRATE INLET TOP=23.00' INV.=18.95' APPROX. LOCATION

REQ'D: 13 L.F. 12" HDPE @ 2%

REQ'D: 12" DOME GRATE INLET TOP=23.00' INV.=18.69' APPROX. LOCATION

REQ'D: 25 L.F. 12" HDPE @ 2%

REQ'D: PROPOSED GRAND STANDS

REQ'D: 12" DOME GRATE INLET TOP=23.00' INV.=18.19' APPROX. LOCATION

REQ'D: 18" GRATE INLET TOP=23.20' INV.(E&S)=17.65'

REQ'D: 66 L.F. 15" HDPE @ 0.5%

REQ'D: 12" DOME GRATE INLET TOP=23.50' INV.=18.29' APPROX. LOCATION

REQ'D: 6" MULTI-FLOW STORM WATER COLLECTION SYSTEM @ 1.0% SLOPE

REQ'D: 12" MULTI-FLOW STORM WATER COLLECTOR PIPE @ 0.50%

REQ'D: 44 L.F. 12" HDPE @ 1.0%

REQ'D: MULTI-FLOW ADAPTER TO ROUND PIPE INV.=21.77'

REQ'D: 47 L.F. 12" HDPE @ 4.47%

REQ'D: 18" GRATE INLET TOP=21.90' INV.(N)=18.65' INV.(S)=17.56'

REQ'D: 29 L.F. 12" HDPE @ 1.0%

REQ'D: 18" GRATE INLET TOP=21.90' INV.(S)=19.00' INV.(N)=17.27' INV.(W)=17.02' INV.(E)=16.77'

REQ'D: 18"x12" TEE. INV.=17.49'

REQ'D: 18"x12" TEE. INV.=17.31'

REQ'D: 125 L.F. 15" HDPE @ 0.5%

REQ'D: 11 L.F. 12" HDPE @ 2.0%

REQ'D: 44 L.F. 12" HDPE @ 2.0%

REQ'D: 102 L.F. 18" HDPE @ 0.5%

REQ'D: 39 L.F. 12" HDPE @ 8.26%

REQ'D: 18" GRATE INLET TOP=21.20' INV=17.95'

REQ'D: 18" GRATE INLET TOP=21.20' INV.(N)=17.61' INV.(W)=16.26' INV.(E)=15.76'

REQ'D: 34 L.F. 12" HDPE @ 1.0%

REQ'D: 160 L.F. 24" HDPE @ 0.5%

PORCH

EB

GRAPHIC SCALE
10 0 10
(IN FEET)
1 inch = 10 ft.

LEGEND

- PRO. CONCRETE
- PRO. GRAVEL
- PRO. RIP-RAP
- PRO. DITCH
- PRO. PIPE
- PRO. GRATE INLET
- PRO. JUNCTION BOX
- XX.XX EXISTING SPOT ELEVATION
- XX.XX PROPOSED SPOT ELEVATION

NOTES:

1) INLETS UNDER THE GRANDSTANDS ARE SHOWN IN APPROXIMATE LOCATIONS. THE GENERAL CONTRACTOR IS REQUIRED TO SUBMIT SHOP DRAWINGS TO THE ARCHITECT AND ENGINEER PRIOR TO INSTALLATION OF GRANDSTANDS OR ANY COMPONENTS OF THE GRANDSTANDS.

M. KIRBY ROBERTSON LICENSED PROFESSIONAL ENGINEER OKL 31242 5-4-20

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

DAVIS ARCHITECTS

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REV	DATE	DESCRIPTION

DATE 5-4-2020
PHASE 100% BID DOCUMENTS
ISSUED FOR
ISSUED BY DAVIS ARCHITECTS PROJECT NO. 3916

SHEET TITLE
GRADING ENLARGEMENT #1

DRAWING NO.
C402

REQ'D: 18" GRATE INLET TOP=23.29' INV.(N&S)=17.98'

REQ'D: 50 L.F. 12" HDPE @ 2.0%

REQ'D: 15"x12" TEE. INV.=18.13'

REQ'D: 18" GRATE INLET TOP=24.51' INV=19.13'

REQ'D: 12" DOME GRATE INLET TOP=23.50' INV.=18.69' APPROX. LOCATION

REQ'D: 18 L.F. 12" HDPE @ 2.0%

REQ'D: 12" DOME GRATE INLET TOP=23.50' INV.=19.05' APPROX. LOCATION

REQ'D: 21 L.F. 12" HDPE @ 2.0%

REQ'D: 12" DOME GRATE INLET TOP=23.50' INV.=19.89' APPROX. LOCATION

REQ'D: 21 L.F. 12" HDPE @ 2.0%

REQ'D: 12" DOME GRATE INLET TOP=23.80' INV.=19.47' APPROX. LOCATION

REQ'D: 12" DOME GRATE INLET TOP=23.80' INV.=21.72' APPROX. LOCATION

REQ'D: 100 L.F. 15" HDPE @ 0.5%

REQ'D: 18" GRATE INLET TOP=22.50' INV.(N&S)=18.47'

REQ'D: 72 L.F. 12" HDPE @ 5.2%

REQ'D: 12"x12" TEE. INV.=21.45'

REQ'D: 12"-45° BEND. INV.=21.24'

REQ'D: 25 L.F. 12" HDPE @ 2.0%

REQ'D: 12" DOME GRATE INLET TOP=23.50' INV.=18.19' APPROX. LOCATION

REQ'D: 50 L.F. 12" HDPE @ 0.5%

REQ'D: MULTI-FLOW ADAPTER TO ROUND PIPE INV.=22.22'

REQ'D: 12" MULTI-FLOW STORM WATER COLLECTOR PIPE @ 1.0% SLOPE

REQ'D: 12"x12"x6" MULTI-FLOW TEE FITTING (TYP.)

REQ'D: 39 L.F. 12" HDPE @ 8.26%

REQ'D: MULTI-FLOW ADAPTER TO ROUND PIPE INV.=22.37'

REQ'D: 12" MULTI-FLOW STORM WATER COLLECTOR PIPE @ 1.0% SLOPE

REQ'D: 6" MULTI-FLOW STORM WATER COLLECTION SYSTEM @ 1.0% SLOPE

REQ'D: PROPOSED 6" THICK, CONC. DRIVE FOR FIRE TRUCK ACCESS (4,000 PSI) (1,400 S.Y.)

DUGOUT FFE=24.62

DUGOUT FFE=24.79

DUGOUT FFE=25.03

FIELD #3

EXISTING GRADE CONTOUR (TYP.)

FINISHED GRADE CONTOUR (TYP.)

LEGEND

- PRO. CONCRETE
- PRO. GRAVEL
- PRO. RIP-RAP
- PRO. DITCH
- PRO. PIPE
- PRO. GRATE INLET
- PRO. JUNCTION BOX
- XX.XX EXISTING SPOT ELEVATION
- XX.XX PROPOSED SPOT ELEVATION

NOTES:

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GRAPHIC SCALE
10 0 10
(IN FEET)
1 inch = 10 ft.

M. KEVIN BRANNAN LICENSED PROFESSIONAL ENGINEER OKLAHOMA 31242 5-4-20

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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PHASE 100% BID DOCUMENTS
ISSUED FOR
ISSUED BY DAVIS ARCHITECTS
PROJECT NO. 3916

SHEET TITLE
GRADING ENLARGEMENT #2

DRAWING NO.
C403

Sawgrass
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
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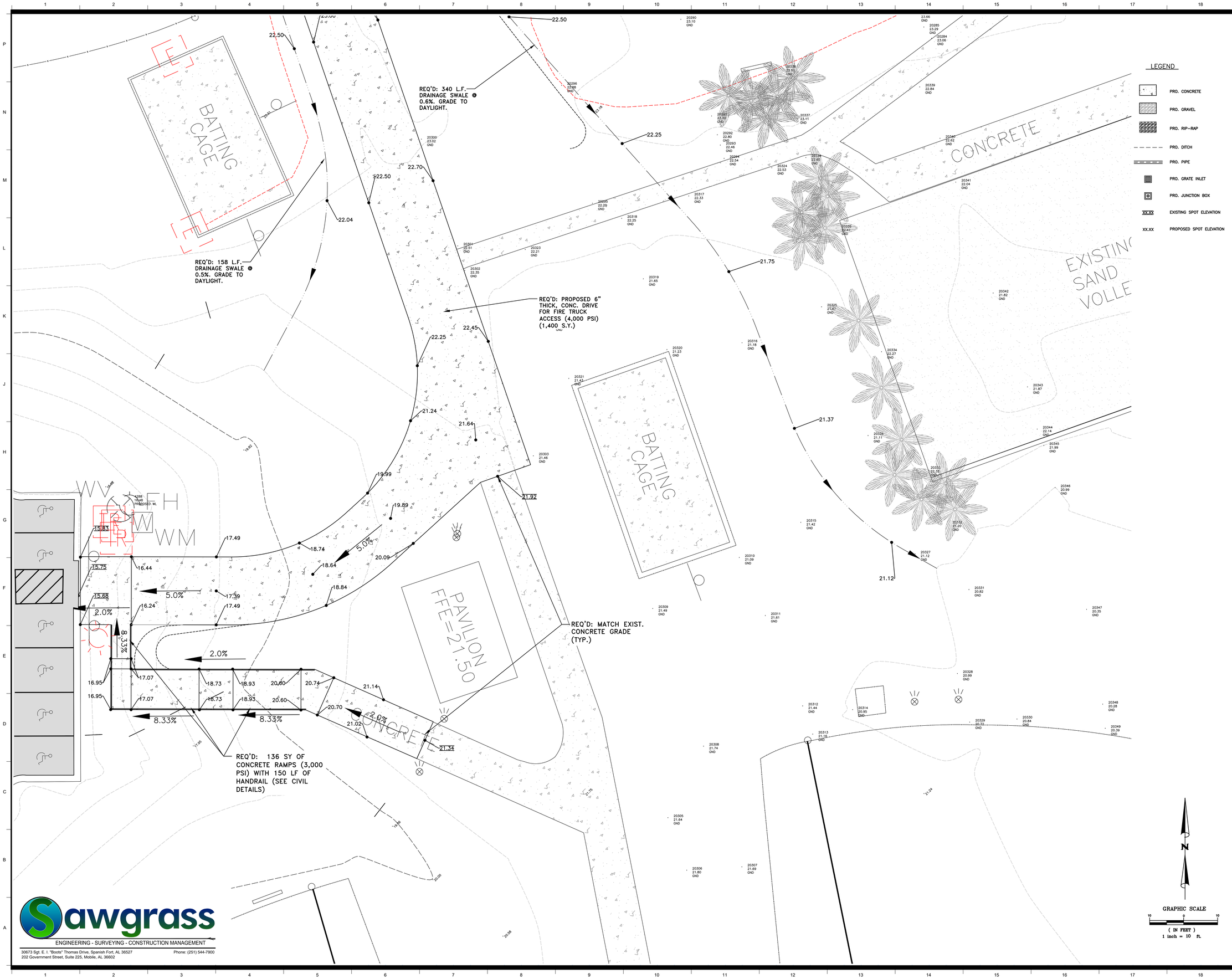

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202 Government Street, Suite 225, Mobile, AL 36602

ALABAMA LICENSED PROFESSIONAL ENGINEER James H. Robertson 5-4-20

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

ORANGE BEACH ALABAMA — Life is better here — ESTABLISHED 1984

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

DAVIS ARCHITECTS

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251-981-69792
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MECHANICAL / PLUMBING ENGINEER
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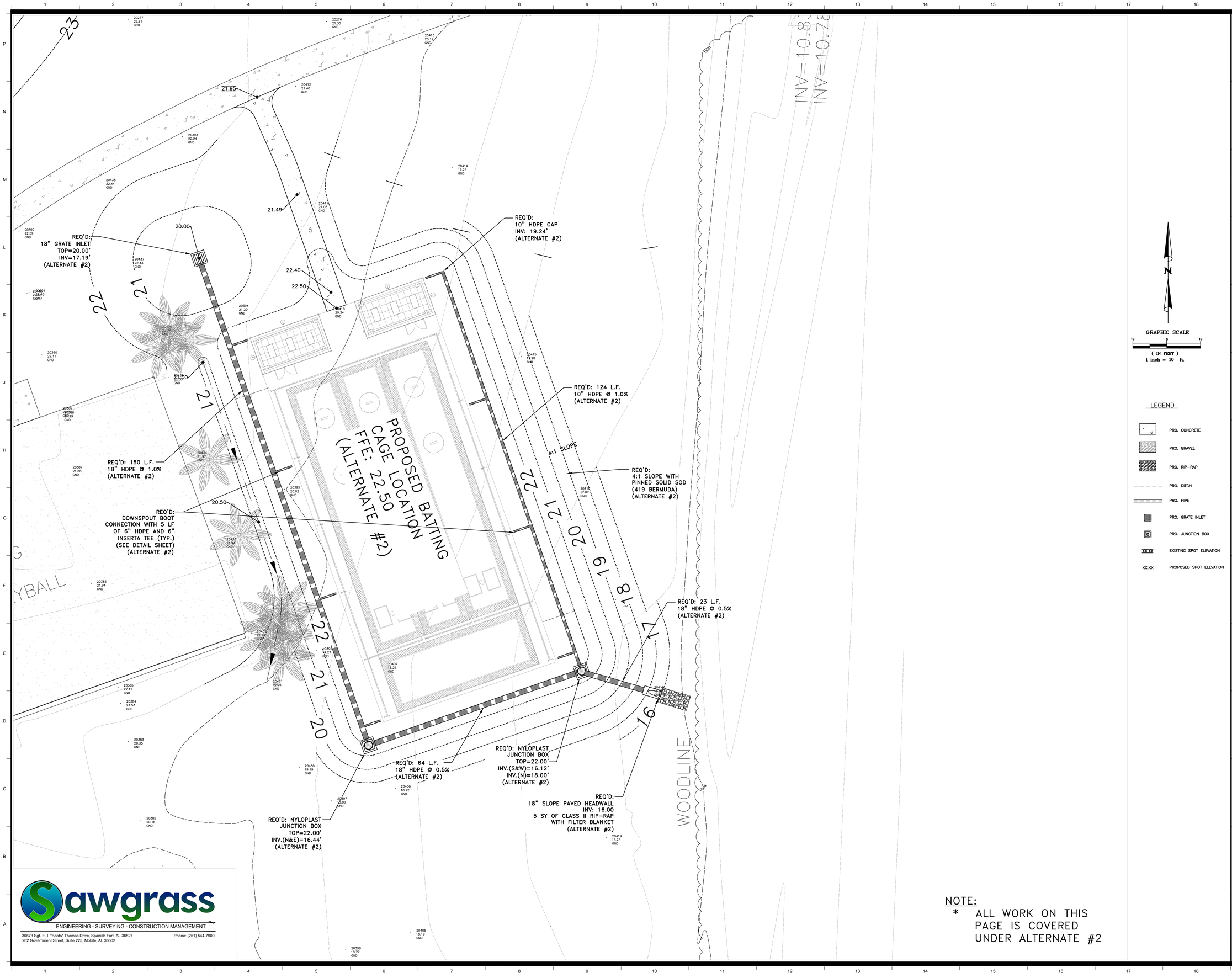
MOBILE, AL 36609
251-460-4646
ATTN: CHRIS DEARMON / VAN SIMPSON

ELECTRICAL ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE: 5-4-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO.: 3916
SHEET TITLE: GRADING ENLARGEMENT #3
DRAWING NO.: C404



GRAPHIC SCALE

10 0 10

(IN FEET)
1 inch = 10 ft.

LEGEND

- PRO. CONCRETE
- PRO. GRAVEL
- PRO. RIP-RAP
- PRO. DITCH
- PRO. PIPE
- PRO. GRATE INLET
- PRO. JUNCTION BOX
- XX.XX EXISTING SPOT ELEVATION
- XX.XX PROPOSED SPOT ELEVATION

NOTE:
* ALL WORK ON THIS PAGE IS COVERED UNDER ALTERNATE #2

Sawgrass
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M. KEITH OWENS LICENSED 31242 PROFESSIONAL ENGINEER 5-4-20 Keith H. Robertson

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ;
ORANGE BEACH, ALABAMA

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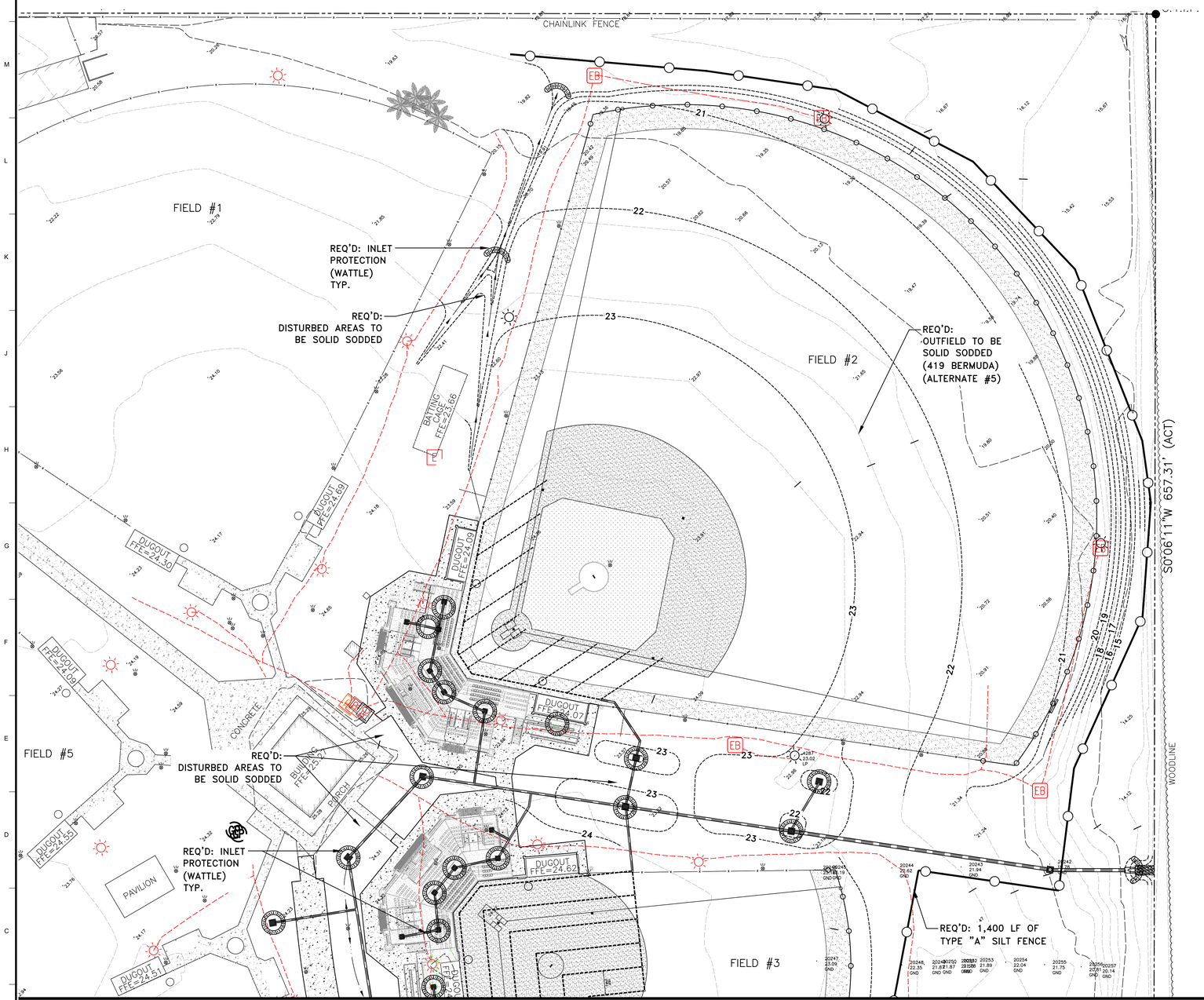
DATE 5-4-2020
PHASE 100% BID DOCUMENTS
ISSUED FOR
ISSUED BY DAVIS ARCHITECTS PROJECT NO. 3916

SHEET TITLE
GRADING ENLARGEMENT #4
(ALTERNATE #2)

DRAWING NO.
C405



MATCHLINE: SEE SHEET C501 FOR CONTINUATION.

EROSION CONTROL LEGEND

- PROPOSED INLET PROTECTION WATTLES
- PROPOSED DITCH WATTLES
- PROPOSED SILT FENCE (TYPE A)
- PROPOSED INLET SEDIMENT TRAP
- PROPOSED SOLID SODDING
- (M) & (TS) MULCH & TEMPORARY SEED
- TEMPORARY RIP-RAP CHECK

N

GRAPHIC SCALE

30 0 30

(IN FEET)

1 inch = 30 ft.

NOTES:

1. ADEM 13 DAY RULE APPLIES TO THIS PROJECT. ADEM ADMINISTRATIVE CODE r.335-6-12-.21(2)(b)5. REQUIRES MEASURES TO BE IMPLEMENTED ON ALL AREAS NOT UNDERGOING ACTIVE DISTURBANCE OR ACTIVE CONSTRUCTION AND PROGRESSIVE CONSTRUCTION FOR LONGER THAN 13 DAYS TO PREVENT/MINIMIZE EROSION AND ENSURE TIMELY TEMPORARY VEGETATIVE COVER, AND PERMANENT VEGETATION OR COVER OF ALL DISTURBED AREAS WHEN DISTURBANCE IS COMPLETE.
2. NO LAND DISTURBANCE IS PERMITTED IN THE VEGETATED WETLAND BUFFER ZONES.
3. NO ACTIVITY IS PERMITTED IN THE DELINEATED WETLAND. NO ACTIVITY WITHIN 10' OF WETLANDS PER WETLANDS ORDINANCE.
4. PONDS, DITCHES, AND SLOPES TO BE SOLID SODDED IMMEDIATELY UPON CONSTRUCTION. (ABOVE THE NORMAL POOL ELEVATION)
5. NO MECHANIZED EQUIPMENT IN THE WETLAND BUFFER.
6. THE CONTRACTOR SHALL TAKE ALL MEASURES TO ENSURE THAT SOD THRIVES AFTER INSTALLATION.
7. THIS SITE SHALL COMPLY WITH ALL CITY ORDINANCES, INCLUDING EROSION & SEDIMENTATION CONTROL AND WETLANDS.
8. WETLANDS SHALL BE DELINEATED/FLAGGED AND SHALL BE MARKED WITH BUFFER SIGNS PRIOR TO CONSTRUCTION AND/OR LAND DISTURBANCE.
9. SEDIMENT COLLECTED BY BMP'S SHALL EITHER BE SPREAD ONSITE AND STABILIZED WITH SEED/MULCH OR SOD OR SHALL BE HOULED OFF SITE.

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PROFESSIONAL
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James H. Robertson

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REV	DATE	DESCRIPTION

DATE 5-4-2020

PHASE 100% BID DOCUMENTS

ISSUED FOR

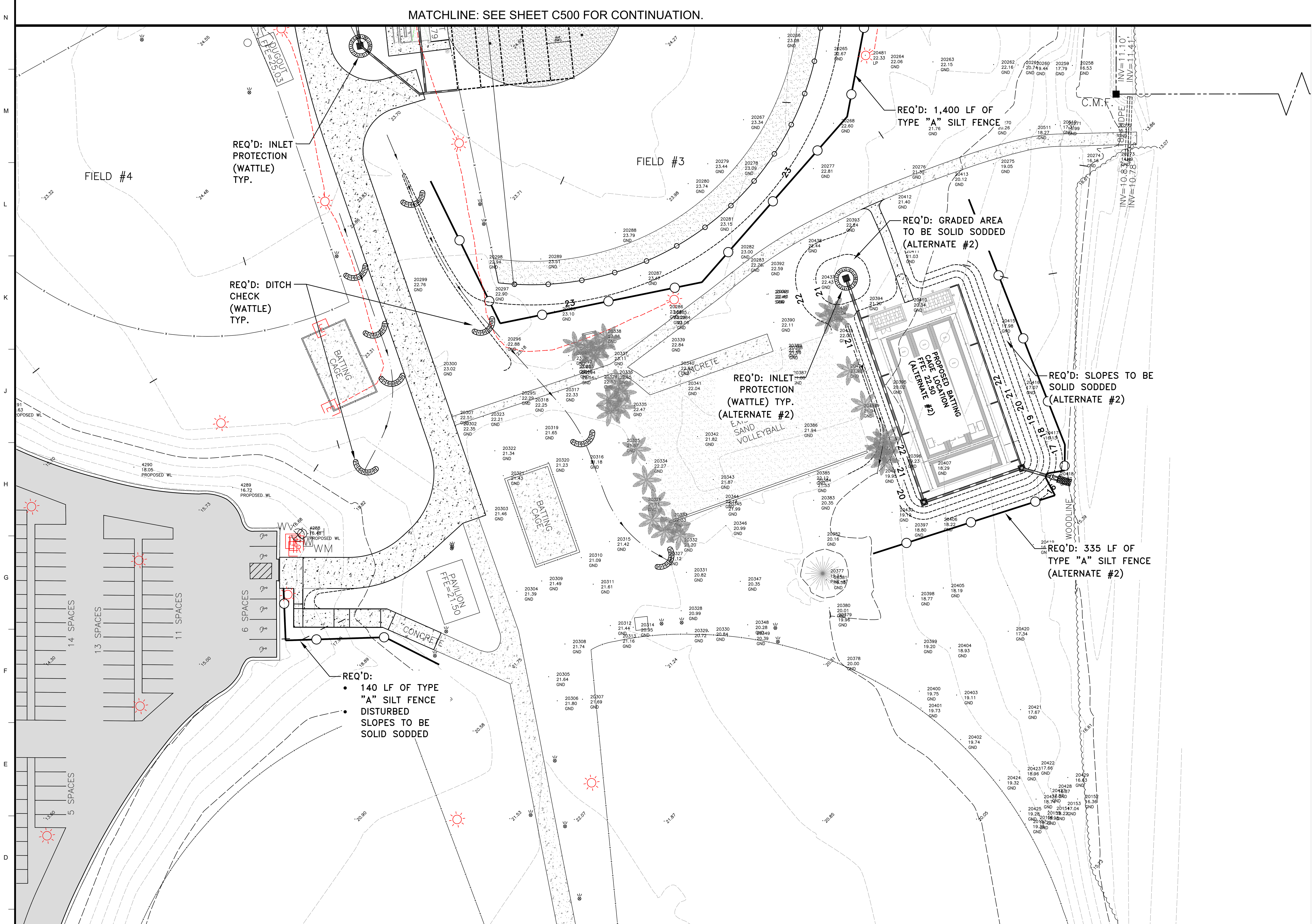
ISSUED BY DAVIS ARCHITECTS PROJECT NO. 3916

SHEET TITLE

EROSION CONTROL PLAN #1

DRAWING NO.

C500



EROSION CONTROL LEGEND

PROPOSED INLET PROTECTION WATTLES
PROPOSED DITCH WATTLES
PROPOSED SILT FENCE (TYPE A)
PROPOSED INLET SEDIMENT TRAP
PROPOSED SOLID SODDING
(M) & (TS) MULCH & TEMPORARY SEED
TEMPORARY RIP-RAP CHECK

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

NOTES:

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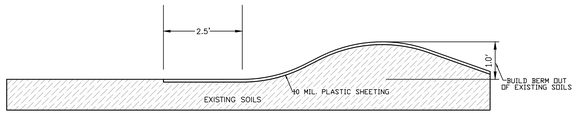
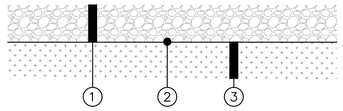
REV DATE DESCRIPTION

DATE 5-4-2020
PHASE 100% BID DOCUMENTS
ISSUED FOR
ISSUED BY DAVIS ARCHITECTS PROJECT NO. 3916
SHEET TITLE
EROSION CONTROL PLAN #2
DRAWING NO.
C501



CONTAINMENT BERM DETAIL

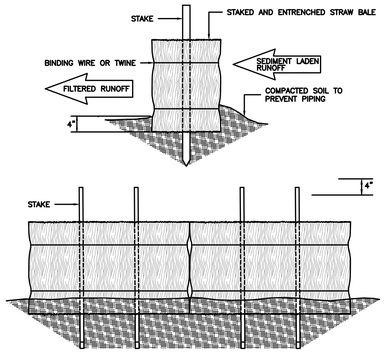
N.T.S.



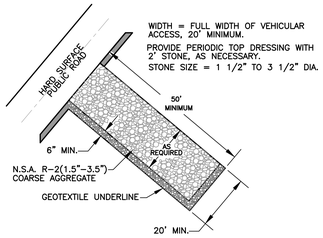
TEMPORARY ROCK ENTRANCE SECTION

N.T.S.

1. 4" NO. 57 STONE OR CRUSHED CONCRETE
2. TERRA TEX NON-WOVEN FILTER CLOTH
3. EXISTING GRADE OR BORROW (A-2-4 MATERIAL OR BETTER)



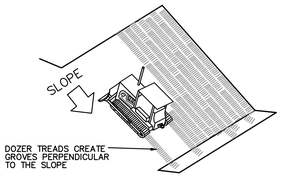
STRAW BALE INSTALLATION



STONE PAD CONSTRUCTION ENTRANCE & EXIT

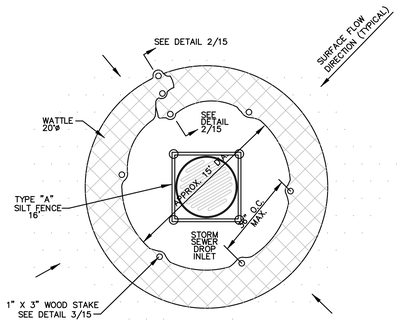
N.T.S.

NOTE:
CONTRACTOR SHALL MINIMIZE DIRT TRACKING ON THE EXISTING SERVICE ROAD AT ALL TIMES. IF TRACKING DOES OCCUR, THE CONTRACTOR SHALL CLEAN ALL MATERIAL OFF OF ROAD BEFORE LEAVING THE SITE EACH DAY.

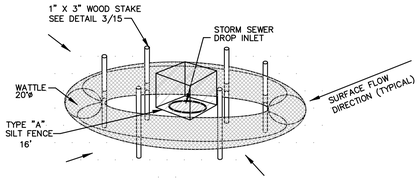


SURFACE ROUGHENING

N.T.S.



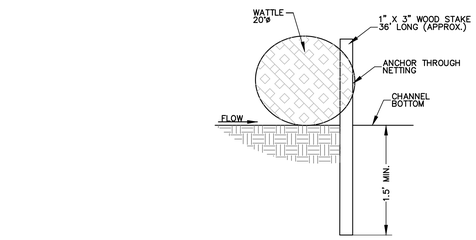
PLAN VIEW



NOTE:
COST OF WOOD STAKES OR EQUAL SHALL BE INCLUDED IN COST OF WATTLES

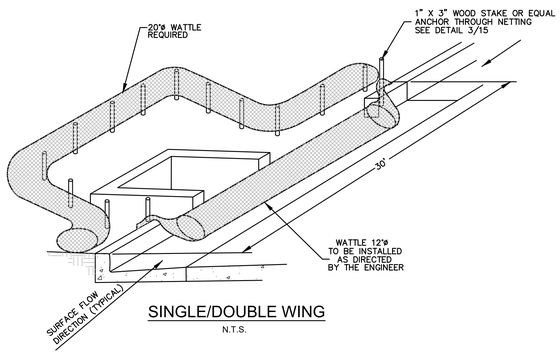
DROP INLET PROTECTION

N.T.S.



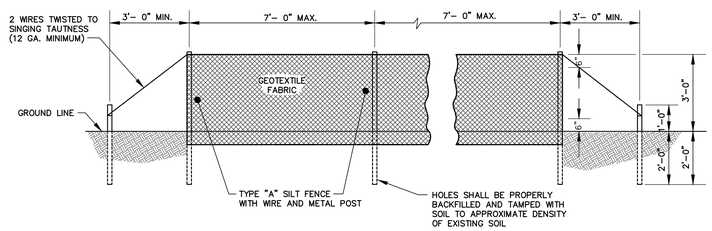
STAKE DETAILS

N.T.S.



SINGLE/DOUBLE WING

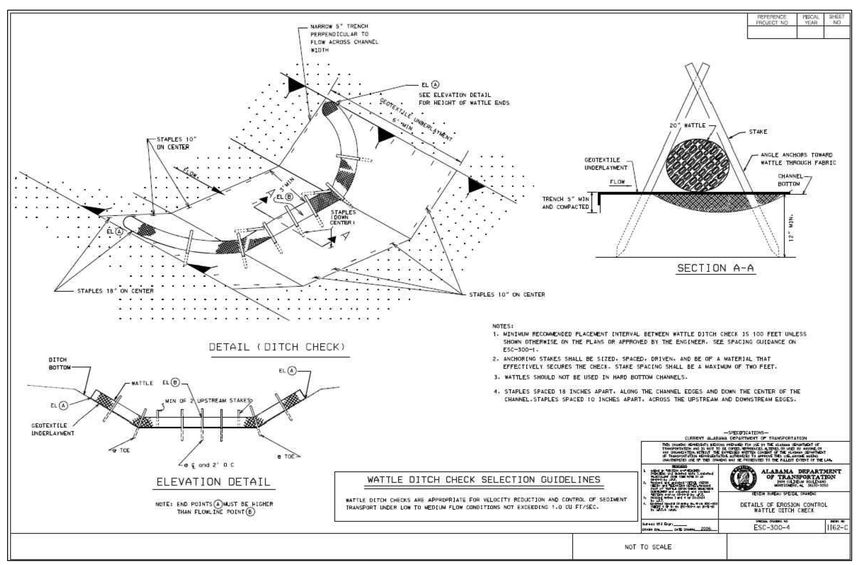
N.T.S.

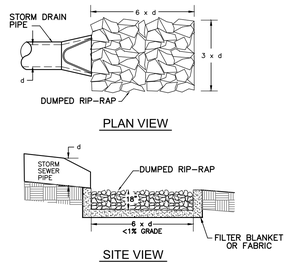


SILT FENCE

TYPICAL TYPE "A" SILT FENCE INSTALLATION

N.T.S.





PLAN VIEW

SITE VIEW

RIP RAP OUTLET PROTECTION

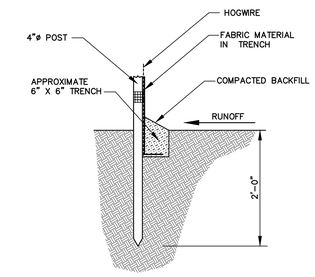
N.T.S.

GENERAL NOTES

1. SILT FENCE SHALL BE TYPE "A" ONLY.
2. SILT FENCES ARE TEMPORARY EROSION CONTROL ITEMS THAT SHALL BE ERECTED OPPOSITE ERODIBLE AREAS SUCH AS NEWLY GRADED FILL SLOPES AND ADJACENT TO STREAMS AND CHANNELS.
3. SILT FENCE SHOULD BE PLACED WELL INSIDE PROPERTY BOUNDARY AND ALONG EDGE OF CLEARING LIMITS. THIS WILL ALLOW ROOM FOR A BACK-UP FENCE IF FIRST BECOMES FULL. SILT FENCES SHALL BE IN PLACE PRIOR TO ANY CONSTRUCTION OPERATION.
4. WHEREVER POSSIBLE, SILT FENCES SHALL BE CONSTRUCTED ACROSS A FLAT AREA IN THE SHAPE OF A HORSESHOE. THIS AIDS IN PONDING OF RUNOFF AND FACILITATES SEDIMENTATION.
5. AFTER THE CONSTRUCTION AREA IS STABILIZED AND EROSION ACTIVITY CURTAILED, SILT FENCES SHALL BE REMOVED.
6. RING FASTENERS USED TO SECURE GEOTEXTILES TO WOVEN WIRE SHALL BE 13 GA. (AMERICAN).
7. IF WOOD POSTS ARE USED, STAPLES FOR SECURING WOVEN WIRE TO POSTS SHALL BE NINE (9) GAUGE, GALVANIZED, 1 1/2" LONG, FIVE (5) PER POST @ APPROXIMATELY 1'-0" ON CENTER.
8. WOVEN WIRE TO BE 12 1/2 GAUGE (MINIMUM).

SPECIFICATIONS

CURRENT ALABAMA DEPARTMENT OF TRANSPORTATION



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CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

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C600

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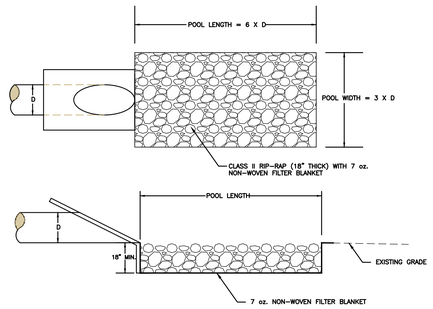

RIP-RAP INSTALLATION DETAIL

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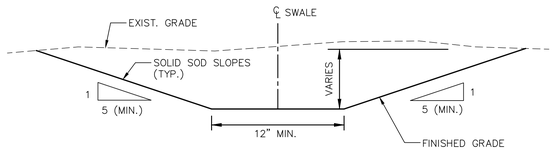
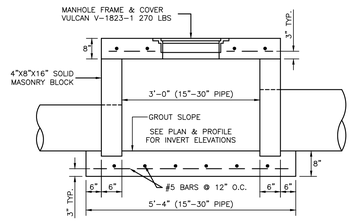
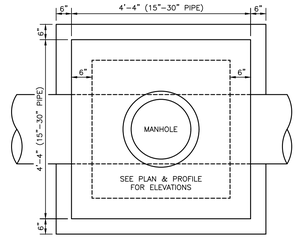


EARTHEN DRAINAGE SWALE DETAIL

N.T.S.



TYPICAL SECTION



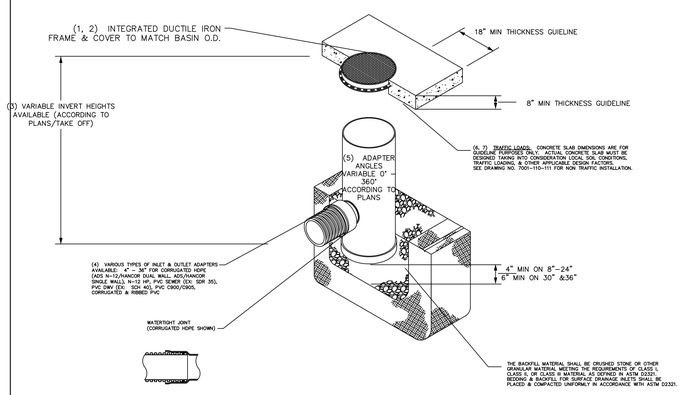
PLAN VIEW

JUNCTION BOX DETAIL

N.T.S.

NOTE: STEPS REQUIRED FOR BOX HEIGHTS 4'-0" AND GREATER.

NYLOPLAST DRAIN BASIN WITH SOLID COVER



1 - 8" - 30" SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
2 - 12" - 30" FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05. 8" & 10" SOLID COVERS FIT DIRECTLY ONTO DRAIN BASINS WITH THE USE OF GASKET. 12" - 30" FRAMES FIT DIRECTLY ONTO BASIN.
3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
4 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM F477 FOR ELASTOMERIC SEALS (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (DR 35).
5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360° TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
6 - 12" - 30" SOLID COVERS SHALL MEET H-20 LOAD RATING FOR 30" PEDESTRIAN & 12" - 30" STANDARD & SOLID TURF TO GROW AND PREVENT EROSION AROUND GRATE SO THAT HAZARDS DO NOT FORM.
7 - 8" SOLID COVER FOR LIGHT DUTY APPLICATIONS ONLY; NO CONCRETE COLLAR NEEDED FOR LIGHT DUTY RATING.

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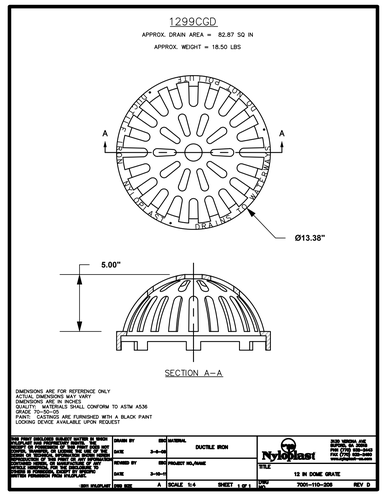
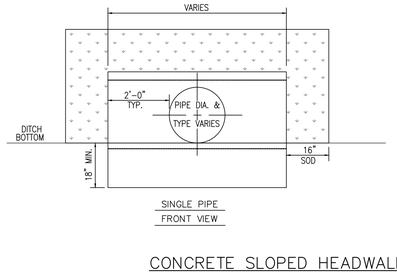
DRAWN BY	EBC	MATERIAL	
DATE	09-14-07		
REVISED BY	NMH	PROJECT NO./NAME	
DATE	06-12-18		
DWG SIZE	A	SCALE 1:40 SHEET 1 OF 1	DWG NO. 7001-110-298 REV E

Nyloplast — TITLE: DRAIN BASIN WITH SOLID COVER QUICK SPEC INSTALLATION DETAIL



12 INCH DOME GRATE INLET TOP

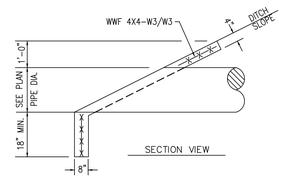
N.T.S.

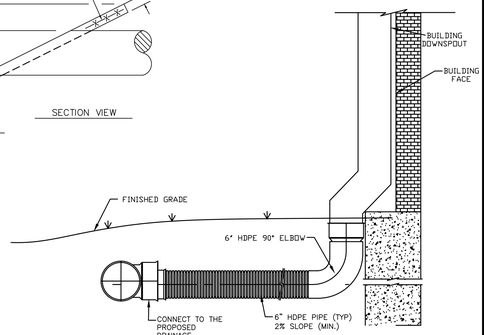


CONCRETE SLOPED HEADWALL DETAIL

N.T.S.

NOTE: SEE ALDOT STATE STANDARD SPECIAL DRAWING NO. HW-614-SP FOR ADDITIONAL INFORMATION.



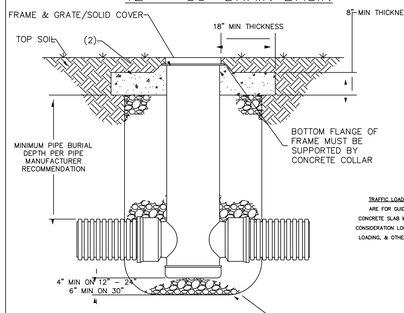


DOWNSPOUT CONNECTION DETAIL

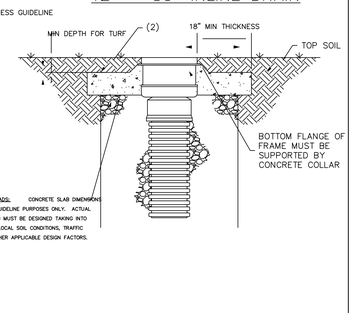
N.T.S.

NYLOPLAST TURF TRAFFIC INSTALLATION

12" – 30" DRAIN BASIN



12" – 30" INLINE DRAIN



THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

1. GRATES/SOLID COVERS SHALL MEET H-20 LOAD RATING FOR 30" PEDESTRIAN & 12" – 30" STANDARD & SOLID
2. DESIGN SHOULD ACCOUNT FOR ROOT DEPTH TO ALLOW TURF TO GROW AND PREVENT EROSION AROUND GRATE SO THAT HAZARDS DO NOT FORM.

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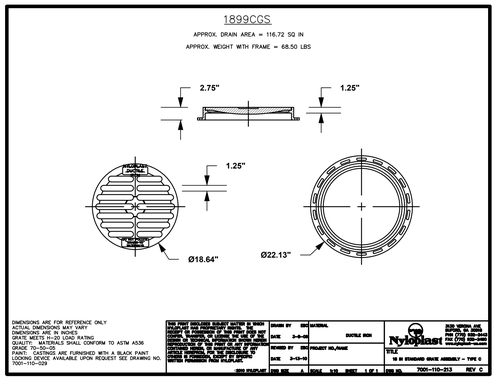
DRAWN BY	EBC	MATERIAL	
DATE	01-05-09		
REVISED BY	NMH	PROJECT NO./NAME	
DATE	03-14-16		
DWG SIZE	A	SCALE 1:25 SHEET 1 OF 1	DWG NO. 7001-110-340 REV F

Nyloplast — 3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com — TITLE: 12 IN – 30 IN DRAIN BASIN & INLINE DRAIN TURF TRAFFIC INSTALLATION



18 INCH STANDARD GRATE INLET TOP

N.T.S.

THE VERTICAL HEIGHT OF THE MULTI-FLOW SYSTEM(6",12",18") AND INSTALLATION DEPTH SHOULD BE CHOSEN BASED ON EXISTING CONDITIONS AND DESIGN CRITERIA ESTABLISHED BY THE ENGINEER.

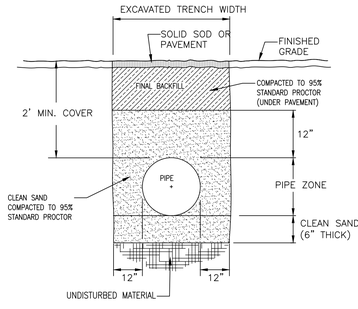
INSTALL MULTI-FLOW IN THE CENTER OF THE TRENCH. BACKFILL MATERIAL SHOULD BE A VERY COARSE SAND. MIN. RECOMMENDED SLOPE 1%.

UNDER TURF INSTALLATION
EXAMPLE INSTALLATION

MULTI-FLOW

UNDERDRAIN DETAIL

N.T.S.



PIPE TRENCH BACKFILL DETAIL

N.T.S.

Sawgrass
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
3673 Sgt. E. I. "Boots" Thomas Drive, Spanish Fort, AL 36527 — Phone: (251) 544-7900
202 Government Street, Suite 225, Mobile, AL 36602

M. KBAM
LICENSED
OAL 31242
PROFESSIONAL
5-4-2020
ENGINEER
Ercile H. Robertson

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

DAVIS ARCHITECTS

OWNER
CITY OF ORANGE BEACH
PO BOX 458
ORANGE BEACH, ALABAMA 36561
251-981-69792
ATTN: KEN GRIMES, JR.

ASSOCIATE ARCHITECT
MCCOLLOUGH ARCHITECTURE
4750 MAIN ST #209,
ORANGE BEACH, AL 36561
251-968-7222
ATTN: STED MCCOLLOUGH

ARCHITECT
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205-322-7482
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CIVIL ENGINEER
SAWGRASS CONSULTING, LLC
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SPANISH FORT, AL 36527
251-544-7900
ATTN: ERCIL E. GODWIN / JAYE ROBERTSON

STRUCTURAL ENGINEER
MBA ENGINEERS
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MECHANICAL / PLUMBING ENGINEER
GULF STATES ENGINEERING
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MOBILE, AL 36609
251-460-4646
ATTN: CHRIS DEARMON / VAN SIMPSON

ELECTRICAL ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: JERRY ONWU / SID SNYDER

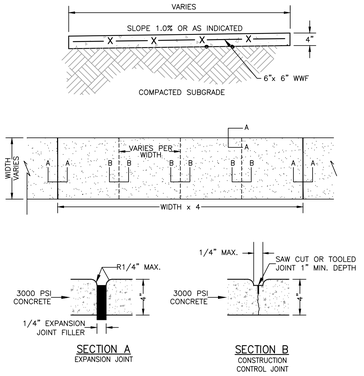
DATE	5-4-2020
PHASE	100% BID DOCUMENTS
ISSUED FOR	
ISSUED BY	DAVIS ARCHITECTS
PROJECT NO.	3916

SHEET TITLE

CIVIL CONSTRUCTION DETAILS #1

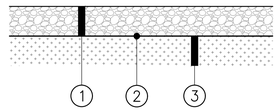
DRAWING NO.

C700



CONCRETE SIDEWALK DETAIL

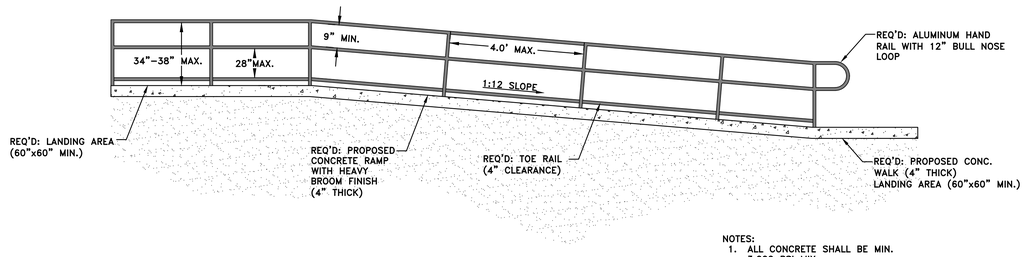
N.T.S.



GRAVEL SECTION UNDER GRANDSTANDS

N.T.S.

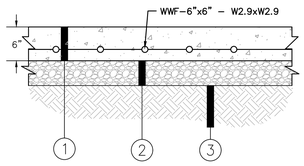
1. #57 CRUSHED LIMESTONE, 4" THICK
2. SEPARATION FABRIC (MARIFI 500X OR APPROVED EQUAL)
3. IN-SITU MATERIAL



ADA SIDEWALK RAMP DETAIL

SCALE: N.T.S.

NOTES:
1. ALL CONCRETE SHALL BE MIN. 3,000 PSI MIX.
2. RAMPS AND HANDRAILS SHALL MEET ALL REQUIREMENTS OF THE LATEST ADA REGULATIONS.



RIGID PAVEMENT SECTION

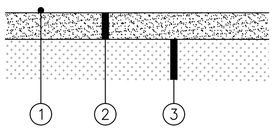
N.T.S.

1. 6" CONCRETE (4,000 PSI)
2. 5" ALDOT SECTION 825, CRUSHED AGGREGATE BASE COURSE (COMPACTED TO 100% MAX. DENSITY)
3. 18" SELECT FILL OR AS DIRECTED BY: GEOTECHNICAL ENGINEER

CONCRETE NOTE:

JOINTS SHOULD BE INSTALLED IN THE PCC PAVEMENTS TO LIMIT STRESSES RESULTING FROM EXPANSION AND CONTRACTION. CONTRACTION JOINTS SHOULD BE FORMED BY SAWING AS SOON AS THE CONCRETE HAS HARDENED ENOUGH TO PREVENT RAVELING. THESE JOINTS SHOULD EXTEND TO A DEPTH OF AT LEAST 1/4 OF THE PAVEMENT THICKNESS AND BE PLACED ON A 12 TO 15 FOOT SPACING. THE DESIGN AND LOCATION OF ALL PAVEMENT JOINTS SHOULD BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE PORTLAND CEMENT ASSOCIATION (PCA) AND ACI 330.

ISOLATION JOINT MATERIAL SHOULD COMPLY WITH ACI STANDARDS. THE UPPER ONE INCH OF THE JOINT MATERIAL SHOULD BE REMOVED AND THE JOINT SEALED WITH A SELF-LEVELING ELASTOMERIC JOINT SEALANT IMMEDIATELY AFTER THE CURING PERIOD AND PRIOR TO OPENING TO TRAFFIC. CONSTRUCTION JOINTS SHOULD BE PROPERLY CLEANED AND SEALED WITH THE SAME TYPE OF JOINT SEALANT. DOWEL SIZING AND SPACING FOR CONSTRUCTION JOINTS SHOULD CONFORM TO THE RECOMMENDATIONS OF ACI 330.



NEW INFIELD AND WARNING TRACK SECTION (BASEBALL AND SOFTBALL)

N.T.S.

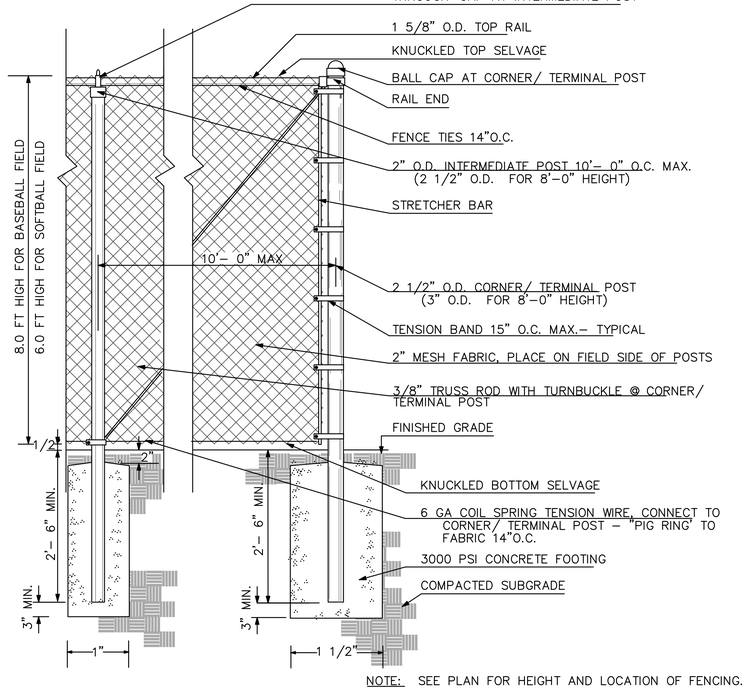
1. CALCINED CLAY CONDITIONER, 0.25" THICK (TOP DRESSING PLACED ON ALL INFIELD AREAS) *
2. GRANULAR SOIL INFIELD MIX (60% SAND, 20% CLAY, 20% SILT) FOR NEW INFIELD AREAS **
3. IN-SITU MATERIAL

NOTES:
*CALCINED CLAY CONDITIONER SHALL BE PLACED ON ALL INFIELD AREAS AND BATTER'S BOX.

**ALL SOILS USED FOR INFIELD, PITCHER'S MOUND AND BATTER'S BOX SHALL PASS THE ⅜" SCREEN WITH 97% PASSING THE #8 SIEVE AND 60% PASSING THE #140 SIEVE. GRANULAR SOIL INFIELD MIX SHALL ONLY BE USED ON EXISTING INFIELD AREAS NEEDING TO BE FILLED.

***ALL INFIELD AREAS TO BE GRADED USING LASER GUIDED EQUIPMENT.

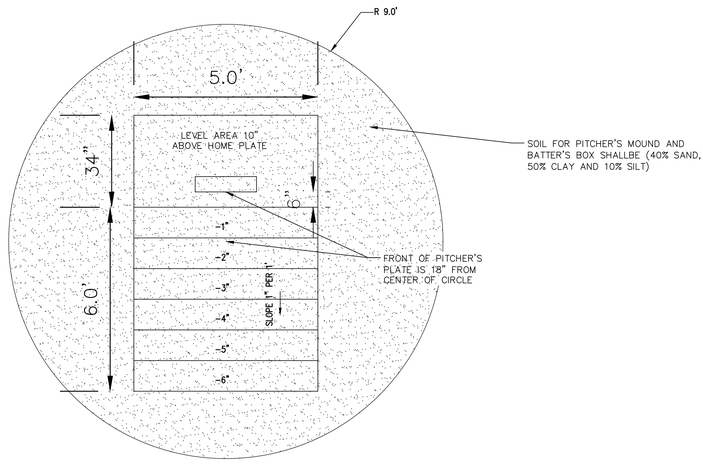
**** INFIELD MIX SHALL HAVE LITTLE TO NO GRAVELWITH NO GRAVEL GREATER THAN ⅛".



NOTE: SEE PLAN FOR HEIGHT AND LOCATION OF FENCING.

BASEBALL AND SOFTBALL OUTFIELD FENCE DETAILS

N.T.S.



BASEBALL PITCHER'S MOUND

N.T.S.

M. K. BARNES
LICENSED
No. 31242
PROFESSIONAL
ENGINEER
Mark H. Robertson
5-4-2020

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

DAVIS ARCHITECTS

OWNER
CITY OF ORANGE BEACH
PO BOX 458
ORANGE BEACH, ALABAMA 36561
251-981-69792
ATTN: KEN GRIMES, JR.

ASSOCIATE ARCHITECT
MCCOLLOUGH ARCHITECTURE
4750 MAIN ST #209,
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ATTN: CHRIS DEARMON / VAN SIMPSON

ELECTRICAL ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD ,
MOBILE, AL 36609
251-460-4646
ATTN: JERRY ONWU / SID SNYDER

DATE 5-4-2020

PHASE 100% BID DOCUMENTS

ISSUED FOR

ISSUED BY DAVIS ARCHITECTS PROJECT NO. 3916

SHEET TITLE

CIVIL CONSTRUCTION DETAILS #2

DRAWING NO.

C701

Sawgrass
ENGINEERING - SURVEYING - CONSTRUCTION MANAGEMENT
30673 Sgt. E. I. "Boots" Thomas Drive, Spanish Fort, AL 36527 Phone: (251) 544-7900
202 Government Street, Suite 225, Mobile, AL 36602

GENERAL CONTRACTOR FENCING, STAGING AND FACILITY OPERATION NOTES

CONSTRUCTION FENCING:

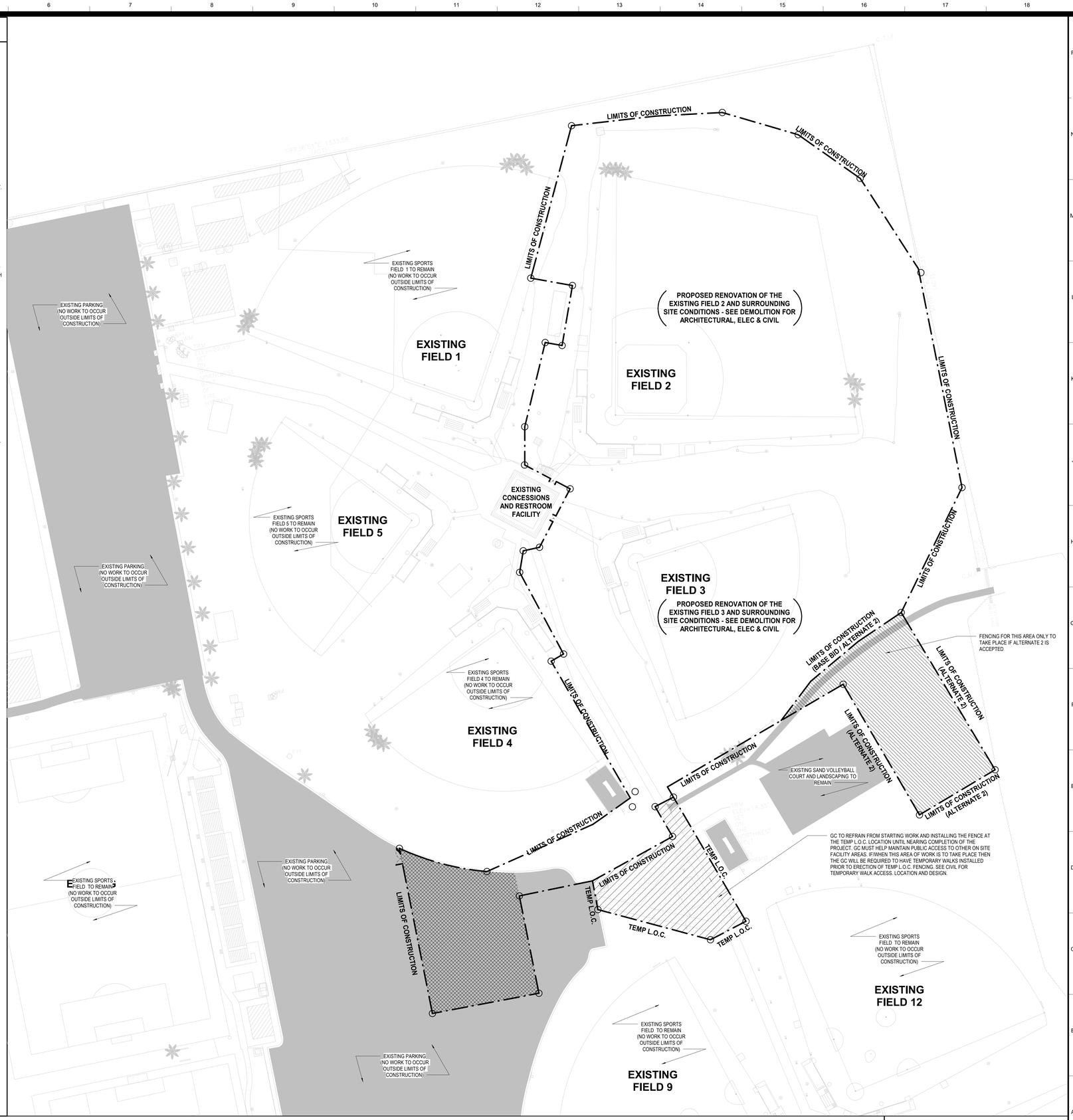
1. TEMPORARY CONSTRUCTION CHAIN LINK FENCE TO BE INSTALLED WITH 12' - 0" VEHICULAR GATES AS NEEDED ALONG THE LIMITS OF CONSTRUCTION. THE FENCE MUST BE INPLACE PRIOR TO START OF WORK AND REMAIN IN PLACE AROUND THE AREAS OF CONSTRUCTION UNTIL THE PROJECT HAS BEEN COMPLETED.THE LENGTH OF FENCING FOR EACH AREA IS AS FOLLOWS:
   A. LIMITS OF CONSTRUCTION - BASIS OF DESIGN (+/- 3,340 LINEAR FT)
   B. LIMITS OF CONSTRUCTION - ALTERNATE 2 (+/- 610 LINEAR FT)
   C. LIMITS OF CONSTRUCTION - TEMP L.O.C FENCING (+/- 425 LINEAR FT)
2. LOCATION AND QUANTITY OF GATES ARE APPROXIMATE AND SHOULD BE ADJUSTED AS NECESSARY FOR ACCESS, FACILITY OPERATION AND DELIVERIES.
3. GATE LOCATION SHOULD BE COORDINATED WITH THE OWNER SO DELIVERIES OR OPERATIONS DO NOT BLOCK PUBLIC OR FACILITY ACCESS/TRAFFIC.

STAGING:

1. THE GC IS ALLOWED TO USE THE HATCH (GREY DIAGONAL CROSSHATCH) PORTION OF THE EXISTING BASEBALL/SOFTBALL COMPLEX PARKING LOT AS A STAGING AREA FOR THE TERM OF CONSTRUCTION. GC WILL NEED TO CONFIRM WITH THE OWNER THE EXTENT OF THE STAGING PRIOR TO MOBILIZATION OF ON SITE WORK..
2. GC WILL NOT BE ABLE TO BLOCK OR USE ANY OF THE ADA PARKING OR PUBLIC PARKING DIRECTLY ADJACENT TO PARKING LOT STAGING AREA.
3. TEMP L.O.C.(TEMPORARY LIMITS OF CONSTRUCTION) IS AN AREA OF SITE WHERE THE GC MUST MAINTAIN PUBLIC ACCESS THROUGHOUT THE MAJORITY OF THE PROJECT. THE OWNER WILL REQUIRE PUBLIC ACCESS TO USE THE SOUTH 4 FIELDS AND EAST SAND VOLLEYBALL AREA WITHOUT WALKING THROUGH A GATED AREA THAT REQUIRES PROTECTION. BEFORE THE GC CAN FENCE IN THIS AREA, THE GC MUST INSTALL THE TEMPORARY SITE ACCESS WALKS AS SHOWN ON THE CIVIL DRAWINGS. ONCE ALL THE NEW WORK HAS BEEN COMPLETED THESE TEMPORARY WALKS WILL NEED TO BE REMOVED AND THE DISTURBED EARTH BE BROUGHT BACK TO ITS ORIGIANLY GRADE AND SODDED CONDITION.
4. THE GC WILL BE RESPONSIBLE FOR BRINGING THE STAGING AREA BACK TO ITS ORIGINAL CONDITION AT THE END OF THE PROJECT (SURFACE CONDITION, PAINT, ETC...) IF THE SITE, UTILITIES, FACILITIES, OR STAGING AREAS(CONCRETE, ASPHALT, PAINT, GRADE, SOD, INSTALLATIONS, BUILDINGS, ETC...)BECOME DAMAGED OR ALTERED IN ANY WAY THEN IT WILL BE THE SOLE RESPONSIBILITY OF THE GC TO REPLACE OR BRING BACK THE AREA TO MATCH QUALITY OF THE EXISTING SURROUNDING CONDITIONS AT NO ADDITIONAL EXPENSE TO THE PROJECT OR OWNER. THE SITE WILL BE PHOTO DOCUMENTED BEFORE, DURING AND AFTER CONSTRUCTION FOR RECORD AND COMPARISON.
5. THE GC MUST PROTECT THE SURFACE OF THE PARKING LOT BY MEANS OF PLYWOOD AND TARPS FOR ANY MATERIALS INTENDED TO REMAIN AT THE STAGING. THIS IS IN AN EFFORT TO PREVENT FUTURE DAMAGE TO THE STAGING AREA THAT WOULD REQUIRE REPAIR AT THE END OF THE PROJECT. ANY EQUIPMENT OR MATERIALS BE THAT THE GC INTENDS TO STORE AT THE STAGING AREA ONTOP OF THE PARKING ASPHALT OR CONCRETE MUST HAVE A TARP COVERING THE SURFACE OF THE GROUND WITH SHEETS OF PLYWOOD PRIOR TO PLACING ANY MATERIAL PROTECTING THE ASPHALT AND THEN BE REST AISED OFF THE GROUNDBE STORED ON ASPHALT OR CONCRETE AREAS WILL BE REQUIRED TO HAVE A PROTECTIVE
6. GC SHOULD BE CAUTIOUS NOT TO DISTURB EXISTING ON-SITE UTILITIES AND SHOULD FIELD VERIFY EXISTING UNDERGROUND AND ABOVE GROUND UTILITIES WITHIN THE LIMITS OF CONSTRUCTION PRIOR TO START OF WORK - GC WILL BE RESPONSIBLE FOR REPAIRING AND/OR REPLACING ANY DAMAGED SITE ELEMENTS OR UTILITIES TO REMAIN THAT MAY OCCUR THROUGHOUT CONSTRUCTION AT NO EXPENSE TO THE OWNER OR ARCHITECT.
7. GC MUST KEEP ALL WORK EQUIPMENT AND PILES OF MATERIALS AWAY FROM :
   A. THE TEMPORARY FENCE THAT SEPARATES PEDESTRIAN WALKING PATHS OR DRIVES.
   B. ANY EXISTING ASPHALT/WALKS/CURB SURFACES THAT ARE NOT INDICATED IN THE DRAWINGS TO BE DEMOLISHED OR REWORKED.
8. GC IS RESPONSIBLE FOR ALL EROSION CONTROL AT BOTH THE STAGING LOCATIONS AND THE CONSTRUCTION SITE.
9. GC WILL BE REQUIRED TO REMOVE BUILDING DEBRIS FROM THE SOIL WHERE MATERIALS ARE STORED THROUGHOUT THE PROJECT AND REPAIR THE GROUND TO ITS PREVIOUS CONDITION PRIOR TO CONSTRUCTION.

FACILITY OPERATION:

1. GC MUST COORDINATE WITH THE OWNER
   A. FACILITY OPERATIONS TIMES - CONFIRM WITH OWNER.
   B. TURNING OFF ANY ONSITE EXISTING UTILITIES. (GC TO CONTACT THE OWNER AT LEAST 48 HOURS PRIOR TO NEEDING UTILITY ACCESS)
   C. ONE WEEK IN ADVANCE PRIOR TO STARTING ANY DEMOLITION WORK SO THE OWNER CAN REMOVE ALL INTERIOR/ON-SITE POSSESSIONS AND EQUIPMENT.
   D. ALL CONSTRUCTION DELIVERIES THAT TAKE PLACE DURING THE OPERATION HOURS OF THE FACILITY. (I.E. DELIVERIES THAT HAVE THE POTENTIAL FOR BLOCKING DRIVE ACCESS) GC MUST GIVE OWNER 48 HOUR NOTICE OF IN ADVANCE OF DELIVERY. (DELIVERIES SHOULD NOT BLOCK ACCESS OR HINDER THE EXISTING FACILITY OPERATION)
2. CONSTRUCTION WORKERS CANNOT PARK VEHICLES OR STAGE EQUIPMENT IN AREAS OUTSIDE LIMITS OF CONSTRUCTION OR STAGING AREA UNLESS GRANTED APPROVAL BY THE OWNER IN ADVANCE IN WRITING.
3. WORK THAT COULD POTENTIALLY CAUSE LOUD NOISES
   A. SHOULD NOT TAKE PLACE BEFORE 8AM AND AFTER 5PM UNLESS COORDINATE WITH THE CITY.
   B. MUST BE COORDINATE WITH THE OWNER IN ADVANCE TO TAKE PLACE OUTSIDE THE TIME FRAME OF ANY ON-SITE EVENTS



A1 DEMOLITION PLAN - OVERALL SITE RPOXIMITY

SCALE: 1" = 50'-0"

TRUE NORTH

0' 25' 50' 100'

STATE OF ALABAMA DAVIS ARCHITECTS 2413 NEIL E. DAVIS REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

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205-323-6385
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ATTN: CHRIS DEARMON / VAN SIMPSON

ELECTRICAL ENGINEER
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251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE: 5-04-2020

PHASE: 100% BID DOCUMENTS

ISSUED FOR:

ISSUED BY: DAVIS ARCHITECTS PROJECT NO: 3916

SHEET TITLE: OVERALL SITE ACCESS AND STAGING

DRAWING NO.: D001

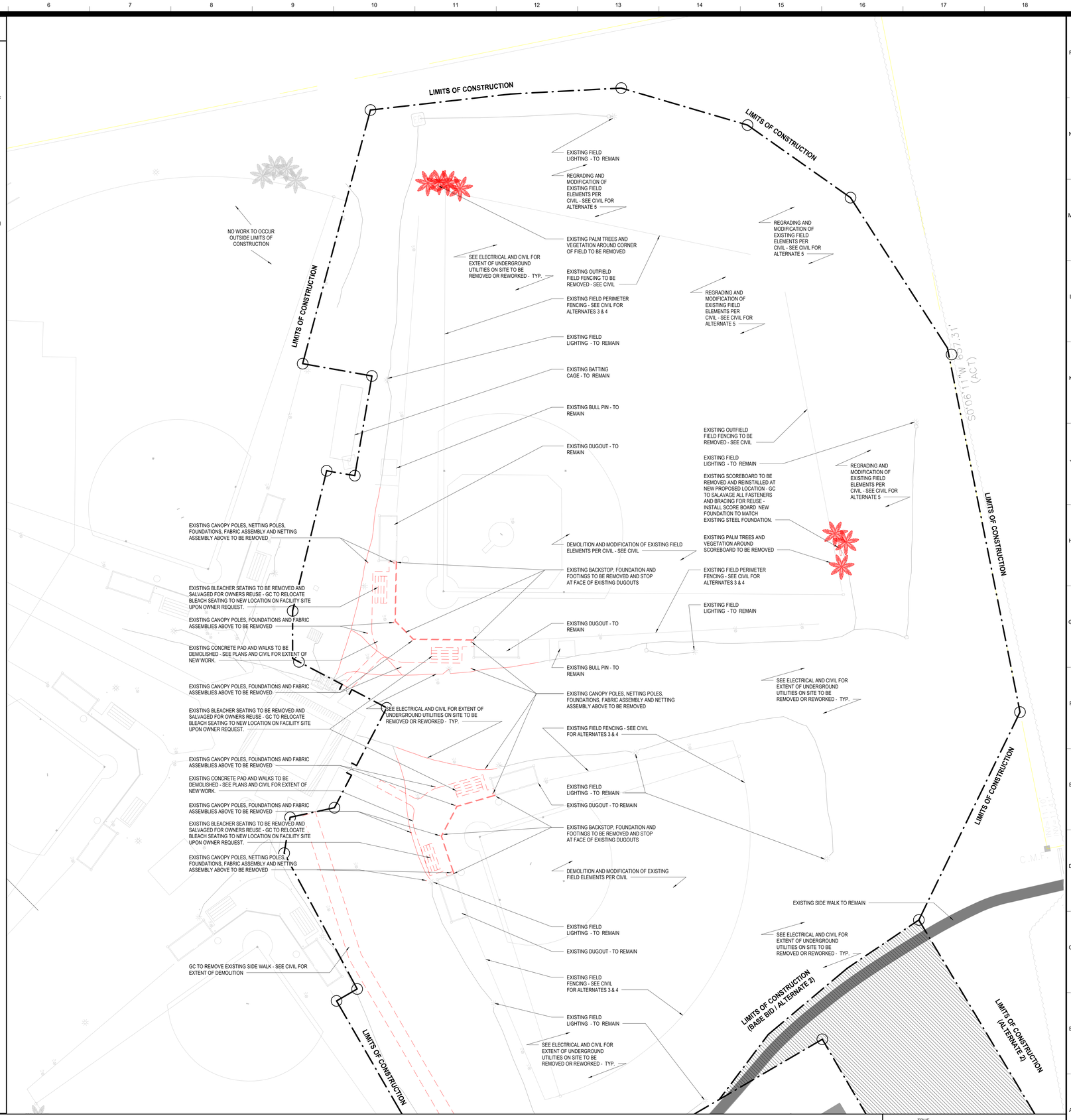
GENERAL CONTRACTOR DEMOLITION AND IRRIGATION NOTES

GENERAL DEMOLITION NOTES:

1. ALL EXISTING BUILDINGS, UTILITIES AND SITE ELEMENTS ARE APPROXIMATE AND OTHER UNDERGROUND AND ABOVE GROUND UTILITIES MAY EXISTING . SEE CIVIL SHEETS FOR ADDITIONAL SITE RELATED INFORMATION THE GC MUST HAVE ALL EXISTING CONDITIONS FIELD VERIFY BY PERSONNEL AND UNDERGROUND LINE LOCATER EQUIPMENT. PRIOR TO ORDERING MATERIALS, APPROVAL OF SUBMITTALS OR START OF CONSTRUCTION.
2. ALL EXISTING IMPROVEMENTS WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE REMOVED UNLESS SPECIFICALLY NOTED, "PROTECT" OR "TO REMAIN".
3. GC SHOULD TAKE ALL NECESSARY MEASURES TO PROTECT ANY ADJACENT PROPERTIES AND ELEMENTS TO REMAIN. THE GC WILL BE RESPONSIBLE FOR ANY DAMAGE OF EXISTING IMPROVEMENTS ON OR OFF SITE DUE TO THE CONSTRUCTION OF THE PROJECT. ANY DAMAGE WILL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE AND TO NO EXPENSE TO THE PROJECT, OWNER OR ARCHITECTS.
4. IT IS THE RESPONSIBILITY OF THE GC TO OBTAIN ANY NECESSARY PERMITS OR NOMENCLATURE FOR THE LOCAL AND STATE AUTHORITIES TO DEMOLISH OR CONSTRUCT THIS PROJECT. GC IS RESPONSIBLE FOR PAYING ALL FEES AND PERMITS FEES. ALL PERMITS MUST BE IN-HAND PRIOR TO CONSTRUCTION.
5. GC TO COORDINATE WITH OWNER PRIOR TO ANY DEMOLITION REGARDING ITEMS TO BE SALVAGED, RECYCLED AND REUSED. GC SHALL REMOVE ITEMS TO BE SALVAGED WITH EXTREME CAUTION TO PREVENT DAMAGE. GC SHALL TURN ALL SALVAGED ITEMS OVER TO THE OWNER.
6. GC SHALL COORDINATE WITH OWNER AND THE UTILITY PROVIDERS PRIOR TO THE DISCONNECTION OR REMOVAL OF ANY UTILITY SERVICE TO THE EXISTING BUILDING OR SITE. ALL UTILITIES TO BE REMOVED ARE TO BE CAPPED OR PLUGGED OR TERMINATED ACCORDING TO THE UTILITY SERVICE PROVIDERS RECOMMENDATION.
7. ALL UTILITIES THAT NEED TO REMAIN IN OPERATION SHOULD BE COORDINATED WITH BOTH THE OWNER AND UTILITY COMPANY PRIOR TO ANY MODIFICATION TO EXISTING SYSTEMS.
8. GC SHALL COORDINATE WITH ARCHITECT, OWNER AND THE UTILITY PROVIDER PRIOR TO THE DISCONNECTING OF ANY UTILITY SERVICE TO THE EXISTING BUILDING.
9. REFER TO CIVIL FOR ADDITIONAL SITE AND UNDERGROUND UTILITY WORK TO TAKE PLACE.
10. GC WILL BE RESPONSIBLE FOR THE REMOVAL , RELOCATION OR PROTECTION OF ALL ABOVE AND BELOW GROUND EXISTING IMPROVEMENTS THAT ARE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS UNLESS NOTED.
11. ALL DEMOLITION AND CONSTRUCTION DEBRIS SHALL BE TRANSPORTED AND DISPOSED OF AT LEAST WEEKLY IN A LEGAL AND APPROVED MANNER.
12. ALL EXISTING PAVING, CURBS, HARDSCAPING, ETC. SHALL BE SAW CUT AT THE LIMITS OF REMOVAL IN ORDER TO PROVIDE A CLEAN LEVEL EDGE.
13. ALL OTHER AREAS OF PARKING OR DRIVES NOT IDENTIFIED ON THIS PLAN ARE OFF LIMITS FROM ACCESS BY THE GC UNLESS GIVEN APPROVAL IN WRITING BY THE OWNER.
14. GC TO FOLLOW ALL LOCAL NOISE ORDINANCE REQUIREMENTS.
15. A PARKING AREA FOR CONSTRUCTION WORKERS PERSONAL VEHICLES WILL BE DISCUSSED AND IDENTIFIED PRIOR TO THE START OF CONSTRUCTION. GC SHOULD DISCUSS THIS WITH THE OWNER AND ARCHITECT ONCE THE PROJECT HAS BEEN AWARDED.
16. GC TO REFRAIN FROM DAMAGING ANY EXISTING LANDSCAPE, STRUCTURE, OR PROPERTY OUTSIDE OF THE LIMIT OF CONSTRUCTION
17. GC IS RESPONSIBLE FOR OPTIMAL TEMPORARY FENCING LAYOUT THAT IS NECESSARY DURING CONSTRUCTION
18. PROTECT EXISTING PARKING WITHIN THE LIMITS OF CONSTRUCTION -SEE CIVIL
19. EXISTING SITE SIGNAGE TO BE PROTECTED OR REMOVED DURING CONSTRUCTION AND THEN RESTORED ONCE CONSTRUCTION IS COMPLETE
20. DEMOLISH TREES, VEGETATION, AND ABANDONED UNDERGROUND UTILITIES -SEE CIVIL OTHER CONDITIONS

EXISTING IRRIGATION NOTES:

1. GC MUST FIELD VERIFY THE LOCATION OF ANY EXISTING IRRIGATION LINES, HEADS, VALVES, METERS, AND CONTROLLERS WITHIN THE AREA OF WORK WHERE EARTH WILL BE DISTURBED OR WORK WILL TAKE PLACE PRIOR TO START OF DEMOLITION.
2. SPRINKLER HEADS, METERS AND VALVES MUST BE FLAGGED IN AREAS WHERE WORK IS TO TAKE PLACE AND REMAIN FLAGGED FOR THE ENTIRETY OF THE PROJECT.
3. GC SHALL CUT AND CAP ANY LINES THAT EXTEND INTO THE AREA OF CONSTRUCTION SO THAT THE SYSTEM CAN REMAIN OPERATION WHILE CONSTRUCTION TAKES PLACE. GC TO COORDINATE PRIOR TO DEMOLITION BEGINS.
4. GC SHALL CUT AND CAP ALL IRRIGATION LINES SO THAT THEY STAY 10'-0" AWAY FROM THE FACE OF THE BUILDING. THE EXISTING SITE WILL REQUIRE TO HAVE ACTIVE IRRIGATION CONTINUE TO TAKE PLACE AT ALL LOCATIONS WHERE EARTH IS NOT BEING DISTURBED. IF THE GC HAS TO SERVER A IRRIGATION LINE DUE TO ITS PROXIMETRY TO WORK THEN A TEMPORARY LINE MUST BE INSTALLED ABOVE GROUND SO THE SYSTEM CAN CONTINUE TO OPERATE THROUGHOUT CONSTRUCTION. PRIOR TO THE END OF CONSTRUCTION OR POST CONSTRUCTION THE OWNER WILL REWORK THE TEMPORARY LINES AS NEEDED.
5. ANY DAMAGE THAT OCCURS TO THE EXISTING IRRIGATION SYSTEM IN AREAS WHERE WORK IS NOT TAKING PLACE WILL BE REPAIRED AND/OR REPLACED BY THE GC AT NO ADDITIONAL EXPENSE TO THE OWNER. ONCE THE EXISTING LINES HAVE BEEN LOCATED AND FLAGGED THE SITE SHOULD BE PHOTO DOCUMENTED OF ALL AREAS WHERE IRRIGATION EQUIPMENT OCCURED WITHIN THE LIMITS OF CONSTRUCTION FOR RECORD.
6. ANY SPRINKLER HEADS WITHIN THE LIMITS OF CONSTRUCTION THAT POSE A PROBLEM TO THE STAGING AREA OR EQUIPMENT SHALL BE TEMPORARILY REMOVED AND SALVAGED. THEIR LOCATION SHALL BE MARKED SO THAT ONCE CONSTRUCTION IS COMPLETE THE GC WILL REINSTALL THE HEADS AND BRING THEM BACK TO OPERATIONAL STATUS.
7. GC SHALL REMOVE AND SALVAGE ANY IRRIGATION CONTROLLERS, HEADS, VALVES AND METERS THAT ARE LOCATED WITH A 10'-0" LIMIT OF THE NEW BUILDING. UNLESS THEY ARE NOT IN CONFLICT WITH CONSTRUCTION OR HAVE A CHANCE OF BECOMING DAMAGED DUE TO USE OF ON SITE EQUIPMENT.
8. IN THE CASE AN IRRIGATION METER IS WITHIN THE AREA OF DEMOLITION THE GC MUST SALVAGE THE EXISTING METER AND COORDINATE WITH THE OWNER TO INSTALL A TEMPORARY METER SO THE EXISTING IRRIGATION SYSTEM CAN REMAIN ACTIVE WHERE LINES ARE TO REMAIN. NEAR THE COMPLETION OF THE PROJECT THE OWNER WILL NEED TO REINSTALL THE EXISTING METER OR NEW METER .
9. IF THERE ARE ANY QUESTIONS RELATED TO WHETHER OR NOT THE GC SHOULD REMOVE A ELEMENT OF THE IRRIGATION SYSTEM THEN IT SHOULD BE ASKED DIRECTLY TO THE OWNER PRIOR TO MODIFICATION OF SITE IRRIGATION.



STATE OF ALABAMA
DAVIS ARCHITECTS
2413
NEIL E. DAVIS
REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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ORANGE BEACH, ALABAMA

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REV	DATE	DESCRIPTION

DATE: 5-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO.: 3916

SHEET TITLE
DEMOLITION - ARCHITECTURAL

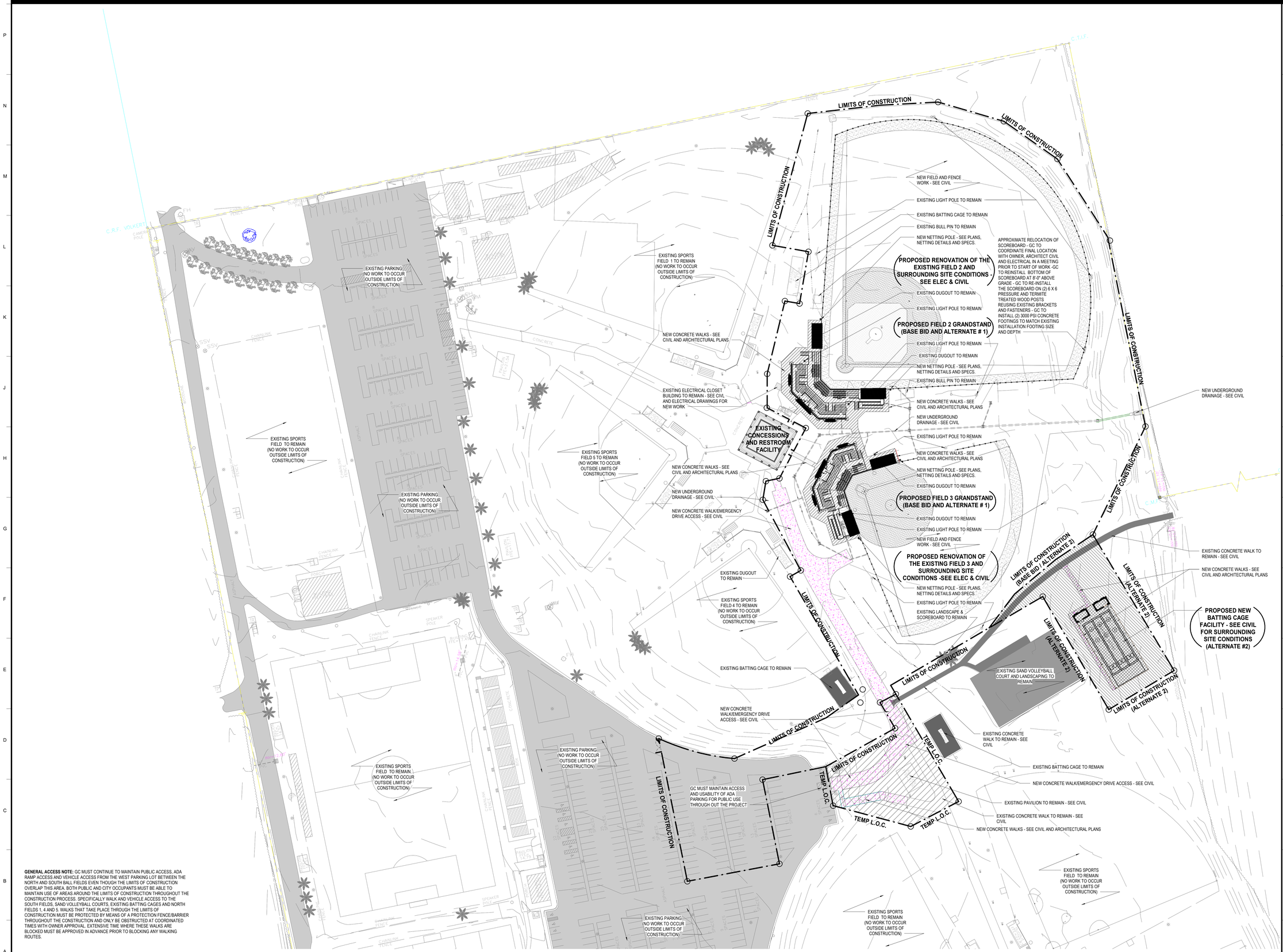
DRAWING NO.
D002

A1 SITE PLAN - ARCHITECTURAL DEMOLITION

SCALE: 1" = 30'-0"

TRUE NORTH

0' 15' 30' 60'



GENERAL ACCESS NOTE: GC MUST CONTINUE TO MAINTAIN PUBLIC ACCESS, ADA RAMP ACCESS AND VEHICLE ACCESS FROM THE WEST PARKING LOT BETWEEN THE NORTH AND SOUTH BALL FIELDS EVEN THOUGH THE LIMITS OF CONSTRUCTION OVERLAP THIS AREA. BOTH PUBLIC AND CITY OCCUPANTS MUST BE ABLE TO MAINTAIN USE OF AREAS AROUND THE LIMITS OF CONSTRUCTION THROUGHOUT THE CONSTRUCTION PROCESS. SPECIFICALLY WALK AND VEHICLE ACCESS TO THE SOUTH FIELDS, SAND VOLLEYBALL COURTS, EXISTING BATTING CAGES AND NORTH FIELDS 1, 4 AND 5. WALKS THAT TAKE PLACE THROUGH THE LIMITS OF CONSTRUCTION MUST BE PROTECTED BY MEANS OF A PROTECTION FENCE/BARRIER THROUGHOUT THE CONSTRUCTION AND ONLY BE OBSTRUCTED AT COORDINATED TIMES WITH OWNER APPROVAL. EXTENSIVE TIME WHERE THESE WALKS ARE BLOCKED MUST BE APPROVED IN ADVANCE PRIOR TO BLOCKING ANY WALKING ROUTES.

A1 | OVERALL SITE PLAN - ARCHITECTURAL

A1 /A004 | SCALE: 1" = 50'-0"

TRUE NORTH

0' 25' 50' 100'

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ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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ORANGE BEACH, ALABAMA

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ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE: 5-04-2020

PHASE: 100% BID DOCUMENTS

ISSUED FOR:

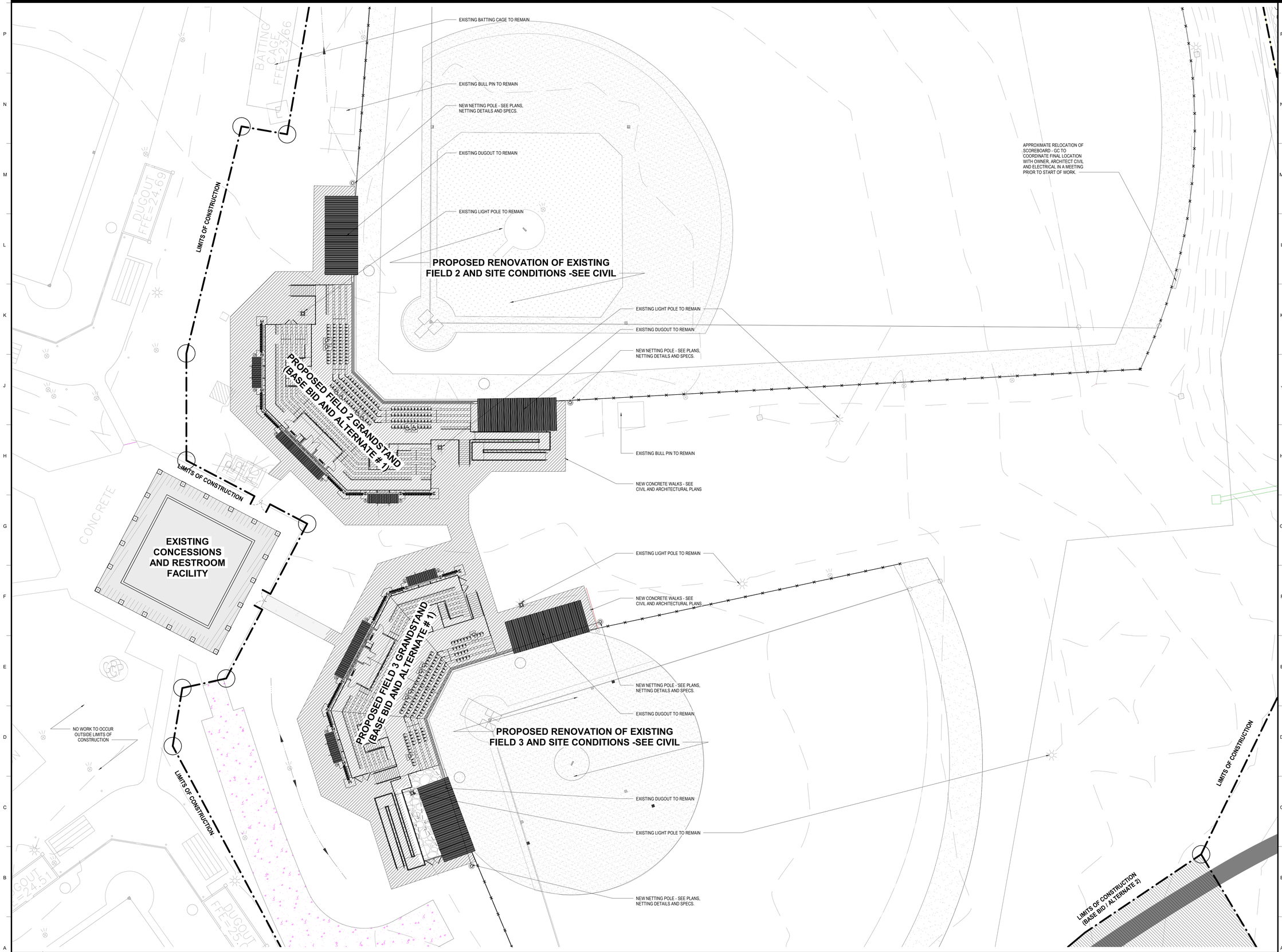
ISSUED BY: DAVIS ARCHITECTS | PROJECT NO.: 3916

SHEET TITLE

ARCHITECTURAL OVERALL SITE PLAN

DRAWING NO.

A001



A1 | SITE PLAN - ARCHITECTURAL

SCALE: 1/16" = 1'-0"

TRUE NORTH

0' 8' 16' 32'

STATE OF ALABAMA
DAVIS ARCHITECTS
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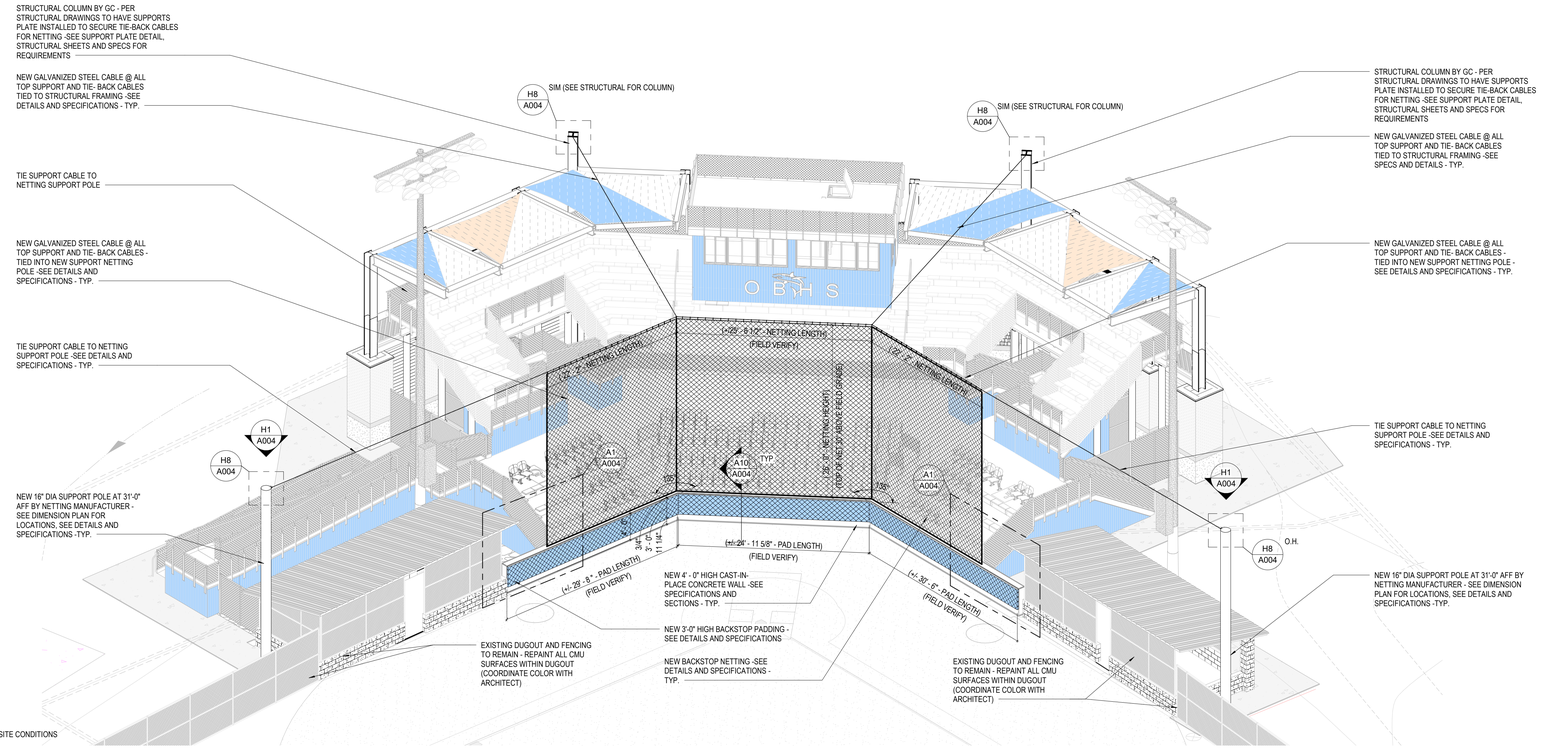
PROJECT NO.: 3916

SHEET TITLE

ARCHITECTURAL SITE PLAN

DRAWING NO.

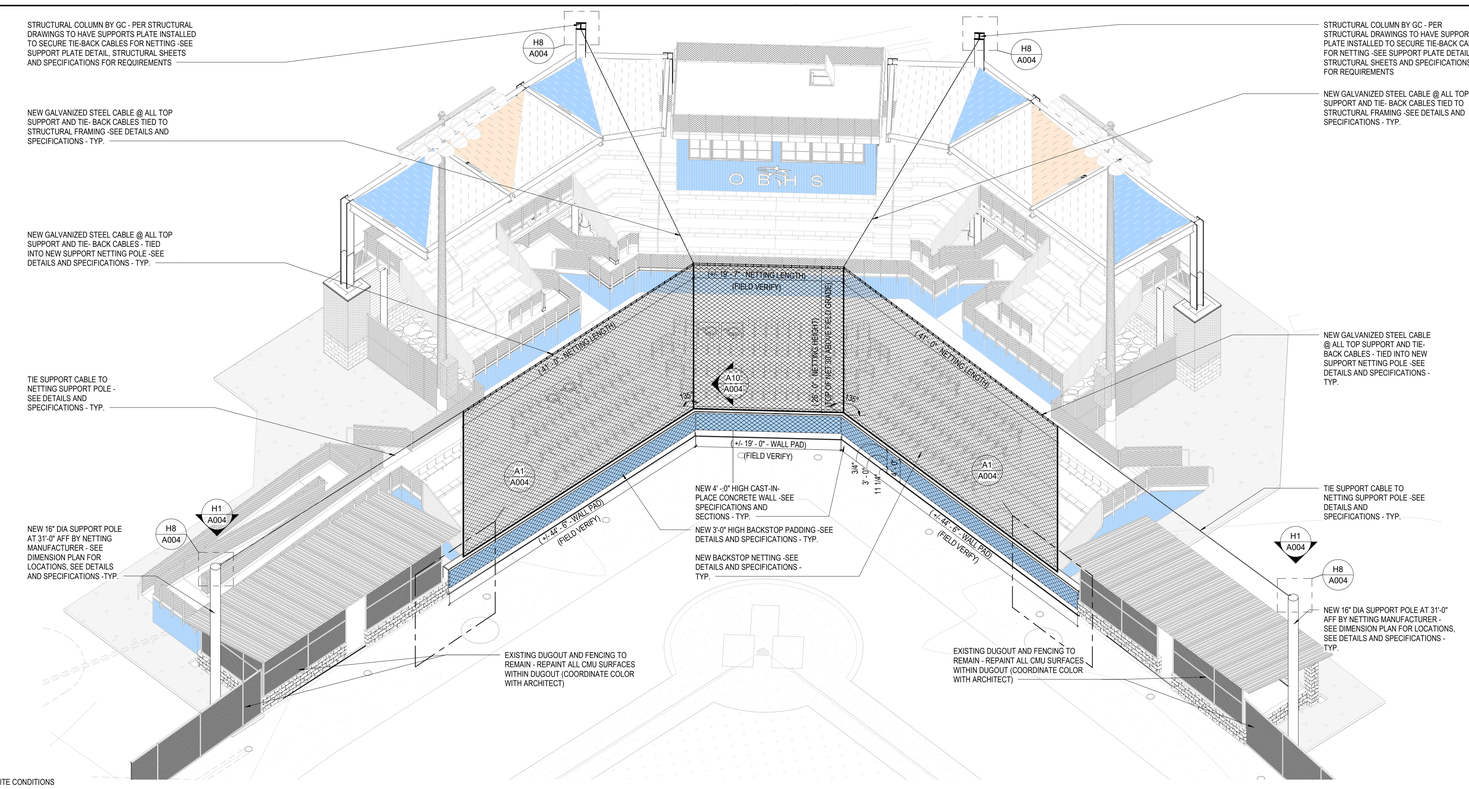
A002



GENERAL NOTES:
- AREAS OUT SITE OF FIELD 3 GRANDSTAND HIDDEN FOR CLARITY - SEE SITE PLAN AND CIVIL FOR SURROUNDING SITE CONDITIONS

H1 BACKSTOP NETTING & PADDING AXON - FIELD 3

SCALE:



GENERAL NOTES:
- AREAS OUT SITE OF FIELD 3 GRANDSTAND HIDDEN FOR CLARITY - SEE SITE PLAN AND CIVIL FOR SURROUNDING SITE CONDITIONS

A1 BACKSTOP NETTING & PADDING AXON - FIELD 2

SCALE:

STATE OF ALABAMA
DAVIS ARCHITECTS
2413
NEIL E. DAVIS
REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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REV	DATE	DESCRIPTION

DATE 5-04-2020

PHASE 100% BID DOCUMENTS

ISSUED FOR

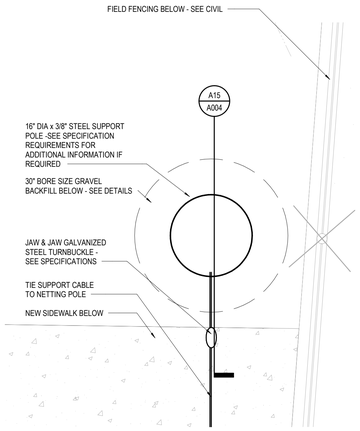
ISSUED BY DAVIS ARCHITECTS PROJECT NO 3916

SHEET TITLE

NETTING & PADDING @ GRANDSTAND

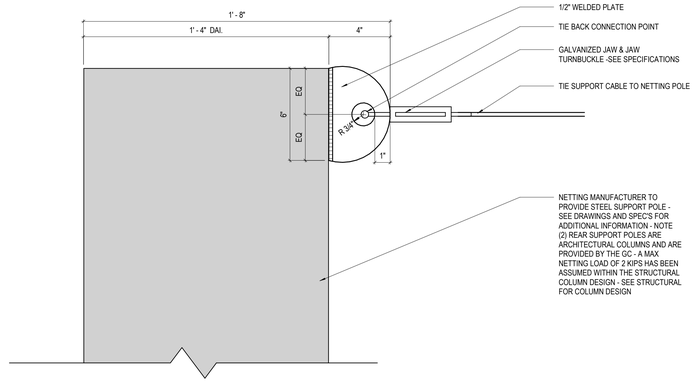
DRAWING NO.

A003



H1 NETTING POLE - FLOOR PLAN

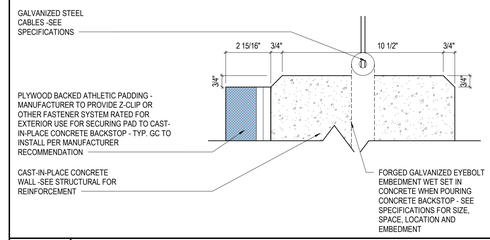
A1 /A101 SCALE: 1" = 1'-0"



NOTE: SUPPORT PLATE CONDITION TO BE INSTALLED AT TO THE TOP OF THE (2) STRUCTURAL COLUMNS BEHIND EACH GRANDSTAND - THESE STRUCTURAL COLUMNS ARE PROVIDED AND INSTALLED BY THE GC PER THE STRUCTURAL DRAWINGS.

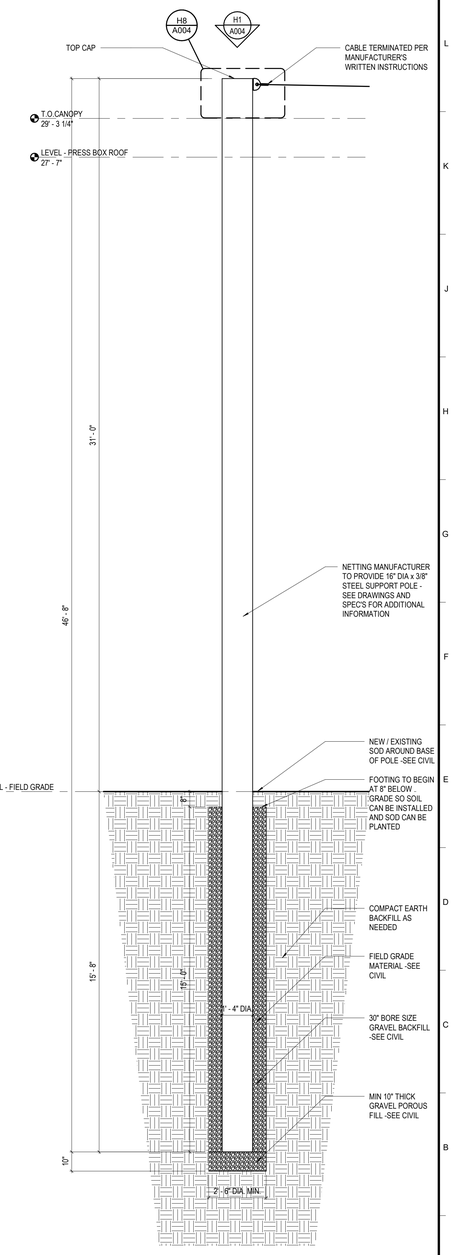
H8 SECTION DETAIL @ SUPPORT PLATE

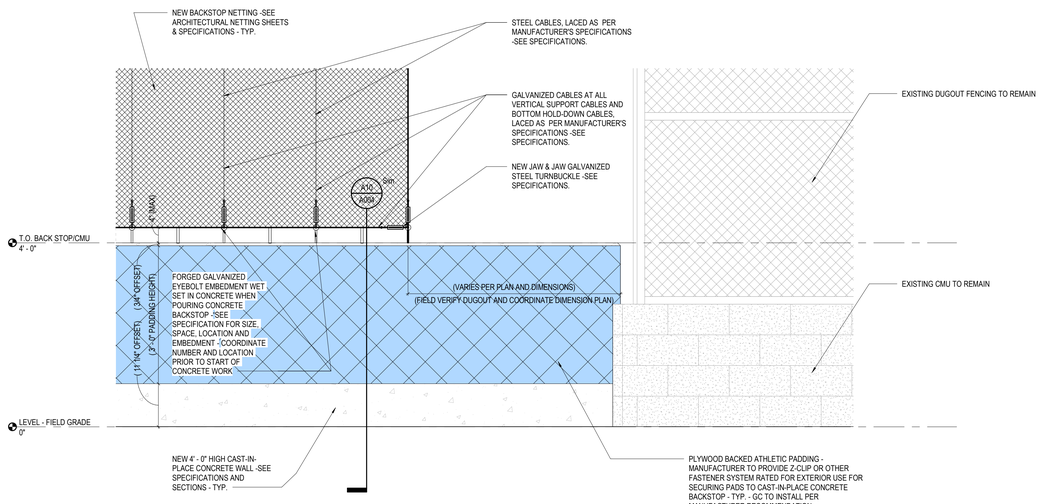
A15 /A004 SCALE: 3" = 1'-0"



M15 SECTION DETAIL @ CONCRETE BACKSTOP & PADS

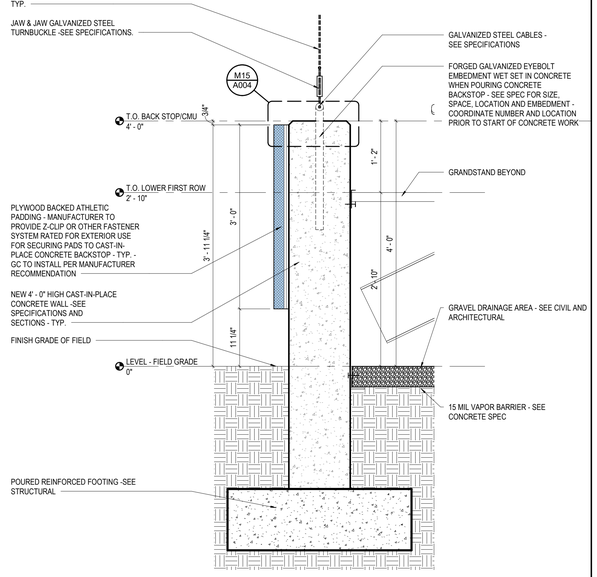
A10 /A004 SCALE: 3" = 1'-0"





A1 BACKSTOP NETTING & PADDING DETAIL

A1 /A101 SCALE: 3/4" = 1'-0"



A10 SECTION DETAIL @ CONCRETE BACKSTOP, PAD & NETTING

A1 /A004 SCALE: 1" = 1'-0"

A15 NETTING SUPPORT POLES BY NETTING MANUFACTURER

H1 /A004 SCALE: 3/8" = 1'-0"

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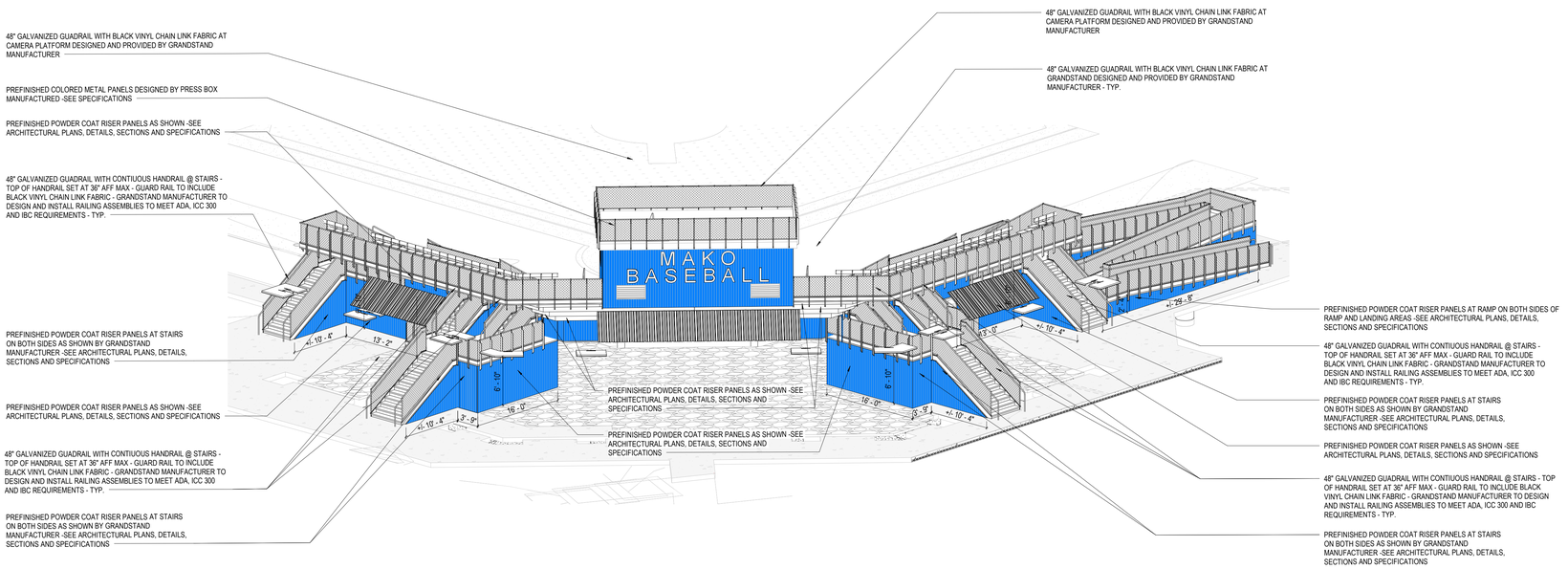
ELECTRICAL ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE 5-04-2020
PHASE 100% BID DOCUMENTS
ISSUED FOR
ISSUED BY DAVIS ARCHITECTS PROJECT NO. 3916

SHEET TITLE
NETTING & PADDING DETAILS

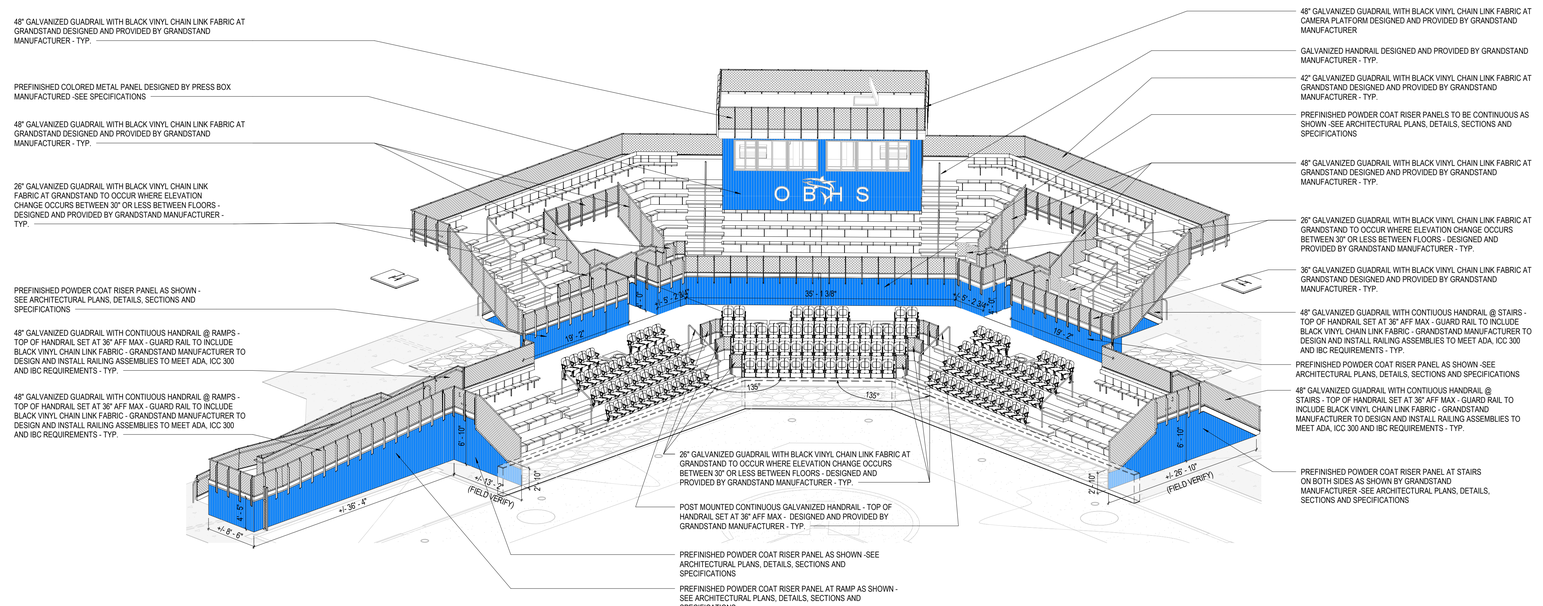
DRAWING NO.
A004



GENERAL NOTES:
- NETTING HIDDEN FOR CLARITY
- BACKSTOP DASHED FOR CLARITY
- NON-RELATED GRANDSTAND STRUCTURES HIDDEN FOR CLARITY
- SEE DIMENSION PLANS FOR ADDITIONAL EXTENT OF PANELS AND GRANDSTAND DIMENSIONS AND OFFSETS - GRANDSTAND MANUFACTURER TO PROVIDE SHOP DRAWINGS INDENTIFYING ALL LOCATIONS OF POWDER COAT RISER PANEL

H1 METAL RISER PANEL & RAILING AXON BACK VIEW- FIELD 2

SCALE:



GENERAL NOTES:
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- BACKSTOP DASHED FOR CLARITY
- NON-RELATED GRANDSTAND STRUCTURES HIDDEN FOR CLARITY
- SEE DIMENSION PLANS FOR ADDITIONAL EXTENT OF PANELS AND GRANDSTAND DIMENSIONS AND OFFSETS - GRANDSTAND MANUFACTURER TO PROVIDE SHOP DRAWINGS INDENTIFYING ALL LOCATIONS OF POWDER COAT RISER PANEL

A1 METAL RISER PANEL & RAILING AXON FRONT VIEW- FIELD 2

SCALE:

STATE OF ALABAMA
DAVIS ARCHITECTS
2413
NEIL E. DAVIS
REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ;
ORANGE BEACH, ALABAMA

DAVIS

OWNER
CITY OF ORANGE BEACH
PO BOX 458
ORANGE BEACH, ALABAMA 36561
251-981-69792
ATTN: KEN GRIMES, JR.

ASSOCIATE ARCHITECT
MCCOLLOUGH ARCHITECTURE
4790 MAIN ST #209,
ORANGE BEACH, AL 36561
251-968-7222
ATTN: STED MCCOLLOUGH

ARCHITECT
DAVIS ARCHITECTS, INC.
120 23RD STREET SOUTH
BIRMINGHAM, AL 35233
205-322-7482
ATTN: JIM HARTSELL / JEFFREY MENASCO

CIVIL ENGINEER
SAWGRASS CONSULTING, LLC
11143 OLD HIGHWAY 31
SPANISH FORT, AL 36527
251-544-7900
ATTN: ERCIL E. GODWIN / DOUG CHAFFIN

STRUCTURAL ENGINEER
MBA ENGINEERS
300 20TH ST. N., SUITE 100
BIRMINGHAM, AL 35203
205-323-6385
ATTN: KEITH OWENS / MARK BOGER

MECHANICAL / PLUMBING ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: CHRIS DEARMON / VAN SIMPSON

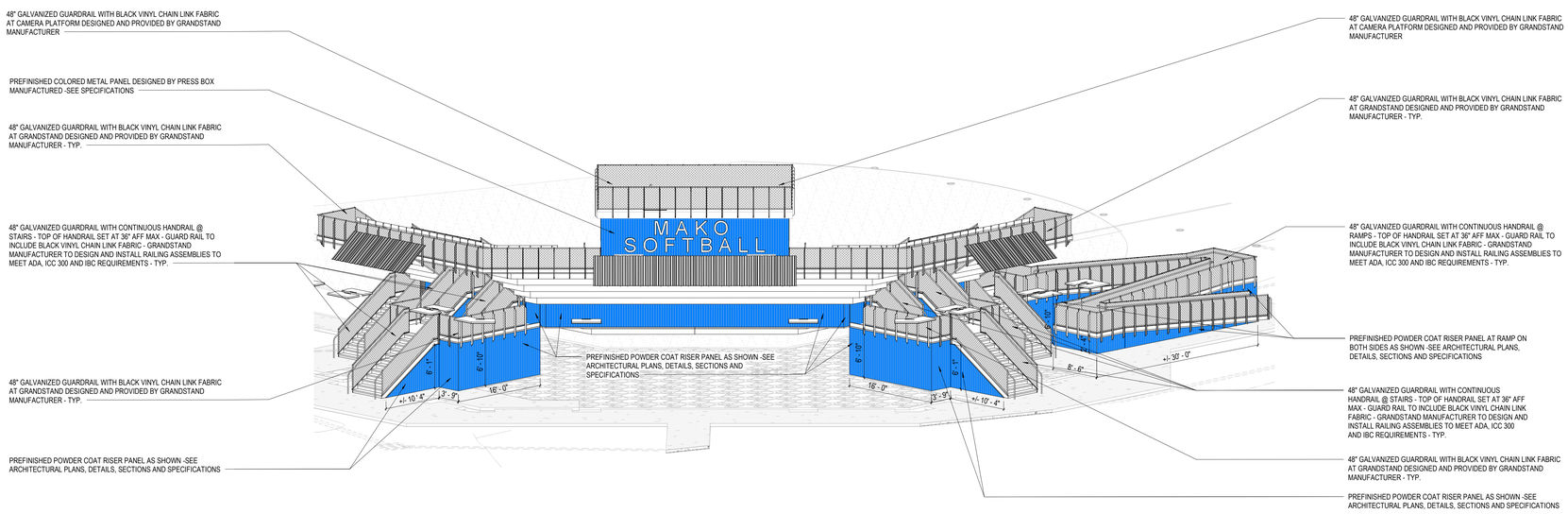
ELECTRICAL ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE: 5-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO: 3916

SHEET TITLE
METAL RISER LOCATIONS @ FIELD 2 GRANDSTAND

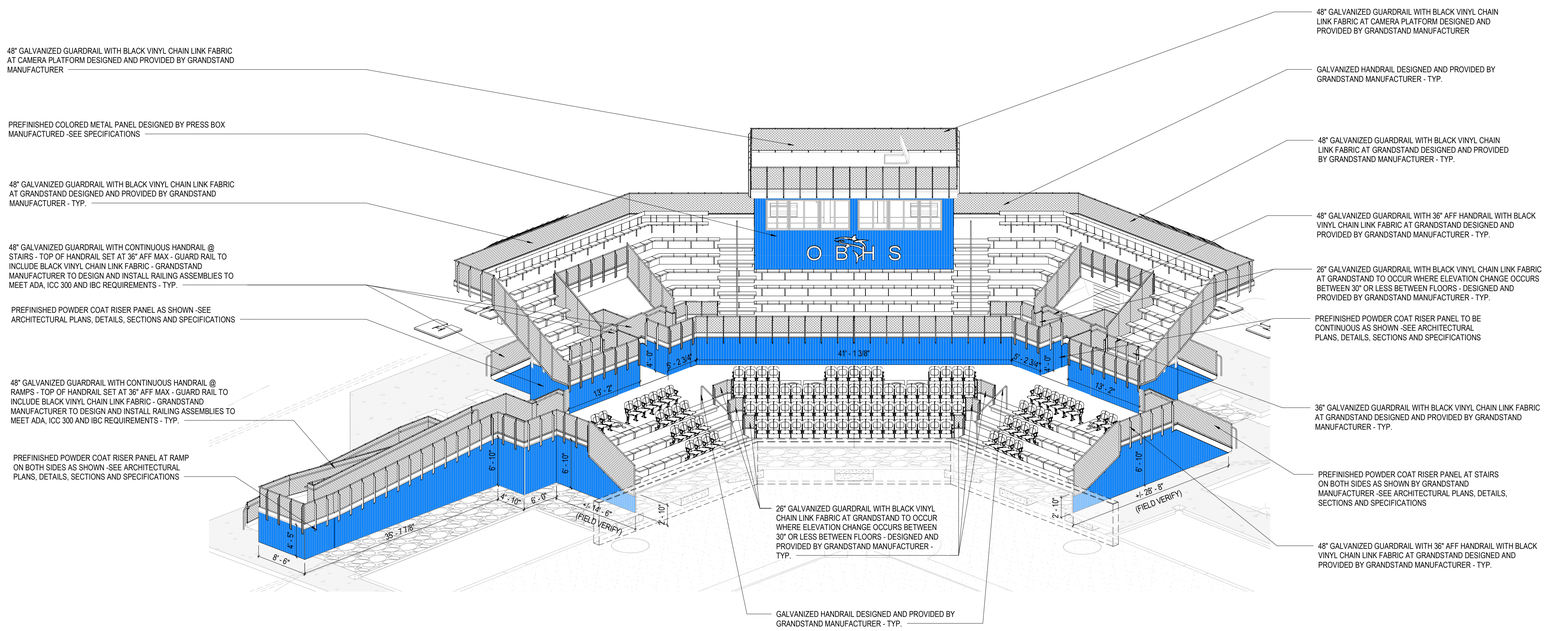
DRAWING NO.
A005



GENERAL NOTES:
- NETTING HIDDEN FOR CLARITY
- BACKSTOP DASHED FOR CLARITY
- NON-RELATED GRANDSTAND STRUCTURES HIDDEN FOR CLARITY
- SEE DIMENSION PLANS FOR ADDITIONAL EXTENT OF PANELS AND GRANDSTAND DIMENSIONS AND OFFSETS - GRANDSTAND MANUFACTURER TO PROVIDE SHOP DRAWINGS IDENTIFYING ALL LOCATIONS OF POWDER COAT RISER PANEL

H1 METAL RISER PANEL & RAILING AXON BACK VIEW - FIELD 3

SCALE:



GENERAL NOTES:
- NETTING HIDDEN FOR CLARITY
- BACKSTOP DASHED FOR CLARITY
- NON-RELATED GRANDSTAND STRUCTURES HIDDEN FOR CLARITY
- SEE DIMENSION PLANS FOR ADDITIONAL EXTENT OF PANELS AND GRANDSTAND DIMENSIONS AND OFFSETS - GRANDSTAND MANUFACTURER TO PROVIDE SHOP DRAWINGS IDENTIFYING ALL LOCATIONS OF POWDER COAT RISER PANEL

A1 METAL RISER PANEL & RAILING AXON FRONT VIEW - FIELD 3

SCALE:

STATE OF ALABAMA
DAVIS ARCHITECTS
2413
NEIL E. DAVIS
REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ;
ORANGE BEACH, ALABAMA

DAVIS

OWNER
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PO BOX 458
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REV	DATE	DESCRIPTION

DATE: 5-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO: 3916

SHEET TITLE

METAL RISER LOCATIONS @ FIELD 3 GRANDSTAND

DRAWING NO.

A006

GRANDSTAND SEATING AISLES DESIGN INTENT:

(CONCOURSE SEATING AREA)

1. FIRST SEATING AISLES (ROW 1)
   - A. 36" TREAD
   - B. 16" RISERS
2. OTHER SEATING AISLES (ROW 2-3)
   - A. 33" TREAD THROUGHOUT
   - B. 16" RISERS THROUGHOUT
3. TOP SEATING AISLE MOUNTED DIRECTLY TO TREAD OF CONCOURSE LEVEL DECKING (ROW 11)

(PRESS BOX LEVEL SEATING AREA)

1. BOTTOM SEATING AISLES (ROW 5)
   - A. 36" TREAD
   - B. 16" RISERS
2. OTHER SEATING AISLES (ROW 6-10)
   - A. 26" TREAD THROUGHOUT
   - B. 16" RISERS THROUGHOUT
3. TOP SEATING AISLE MOUNTED DIRECTLY TO TREAD OF PRESS BOX LEVEL DECKING (ROW 11)

GRANDSTAND RAMP DESIGN INTENT:

(TYPICAL GRANDSTAND RAMPS AND LANDINGS)

1. All SLOPING RAMP WALKING SURFACES TO BE DESIGN AND INSTALLED WITH SLOPE NO GREATER THEN 1" RISE PER12" RUN (MAX 2% CROSS SLOPE IF CROSS SLOPE IS PROVIDED).
2. WIDTHS AND RUNS OF RAMPS AS SHOWN ON DIMENSION PLANS
3. LOCATIONS OF RAMPS AND LANDINGS PER PLANS
4. GRANDSTAND MANUFACTURER TO PROVIDE SLIP RESISTANT ROLLING SURFACE, ADA THRESHOLDS, ADA EXPANSION PLATE AT ALL TRANSITIONS BETWEEN GRANDSTAND ASSEMBLIES AND EXPANSION POINTS
5. TOP OF HANDRAILS GRIPPING SURFACE SET AT 36" ABOVE WALKING SURFACE
6. CONTINUOUS HANDRAILS LOCATED ON BOTH SIDES OF STAIR ASSEMBLY
7. PROVIDE TOP AND BOTTOM HANDRAIL EXTENSIONS AS REQUIRED TO MEET CODE.

GRANDSTAND STAIR AND STAIR AISLES DESIGN INTENT:

(TYPICAL GRANDSTAND STAIRS)

1. 11" TREAD WITH 1" NOSING (12" TOTAL DEPTH.)
2. 6"-7" EQUAL SIZED RISERS PER STAIR
3. STAIR WIDTHS PER ARCHITECTURAL DIMENSION PLANS
4. LOCATION OF STAIR PER PLANS
5. CONTINUOUS 1 1/2" DIAMETER HANDRAIL WITH 12" EXTENSIONS AS REQUIRED BY CODE.
6. TOP OF HANDRAILS GRIPPING SURFACE SET AT 36" ABOVE WALKING SURFACE
7. CONTINUOUS HANDRAILS LOCATED ON BOTH SIDES OF STAIR ASSEMBLY
8. PROVIDE TOP AND BOTTOM HANDRAIL EXTENSIONS AS REQUIRED TO MEET CODE
9. GRANDSTAND MANUFACTURER TO DESIGN, PROVIDE AND INSTALL THE ENTIRE STAIR ASSEMBLY

(TYPICAL GRANDSTAND STAIR AISLES)

1. STAIR AISLES (ROWS 1-4 & ROWS 5-11)
2. 11" TREAD WITH 1" NOSING (12" TOTAL DEPTH.)
3. 7" EQUAL RISERS AT ALL STAIR AISLES
4. STAIR AISLE WIDTHS PER ARCHITECTURAL DIMENSION PLANS
5. LOCATION OF STAIR AISLES PER PLANS
6. CONTINUOUS 1 1/2" DIAMETER HANDRAIL WITH 12" EXTENSIONS AS REQUIRED BY CODE.
7. TOP OF HANDRAILS GRIPPING SURFACE SET AT 36" ABOVE WALKING SURFACE
8. HANDRAILS LOCATED CENTER OF ALL STAIR AISLES
9. HANDRAILS TO BE SECURED INTO GRANDSTAND TREAD DECKING/FACE OF RISER

GRANDSTAND STRUCTURE DESIGN INTENT

1. DESIGN, FABRICATION AND INSTALLATION OF THE GRANDSTAND SHOULD BE DONE BY THE GRANDSTAND MANUFACTURER
2. GRANDSTAND STRUCTURE DEPICTED IN THESE DRAWINGS ARE STRICTLY PRELIMINARY FOR DESIGN PURPOSES. THE BID BY THE GC SHOULD BE BASED ON THE GRANDSTAND MANUFACTURER DESIGNING, FABRICATING AND INSTALLING THE GRANDSTAND BASED ON THE ARCHITECTURAL LAYOUT AND REQUIREMENTS SET FOR THE GRANDSTAND.
3. NO ADDITIONAL CHANGE ORDER OR INCREASE IN COST TO THE PROJECT SHOULD OCCUR DUE TO ANY DIFFERENCES BETWEEN THE PRELIMINARY GRANDSTAND STRUCTURAL LAYOUT AND THE DESIGNED LAYOUT BY THE GRANDSTAND MANUFACTURER.
4. STRUCTURE AND X-BRACING LAYOUT DESIGN SHOULD AVOID ALL ARCHITECTURAL ELEMENTS

GRANDSTAND MANUFACTURER & CONTRACTOR REQUIREMENTS

GRANDSTAND MANUFACTURER'S RESPONSIBILITY

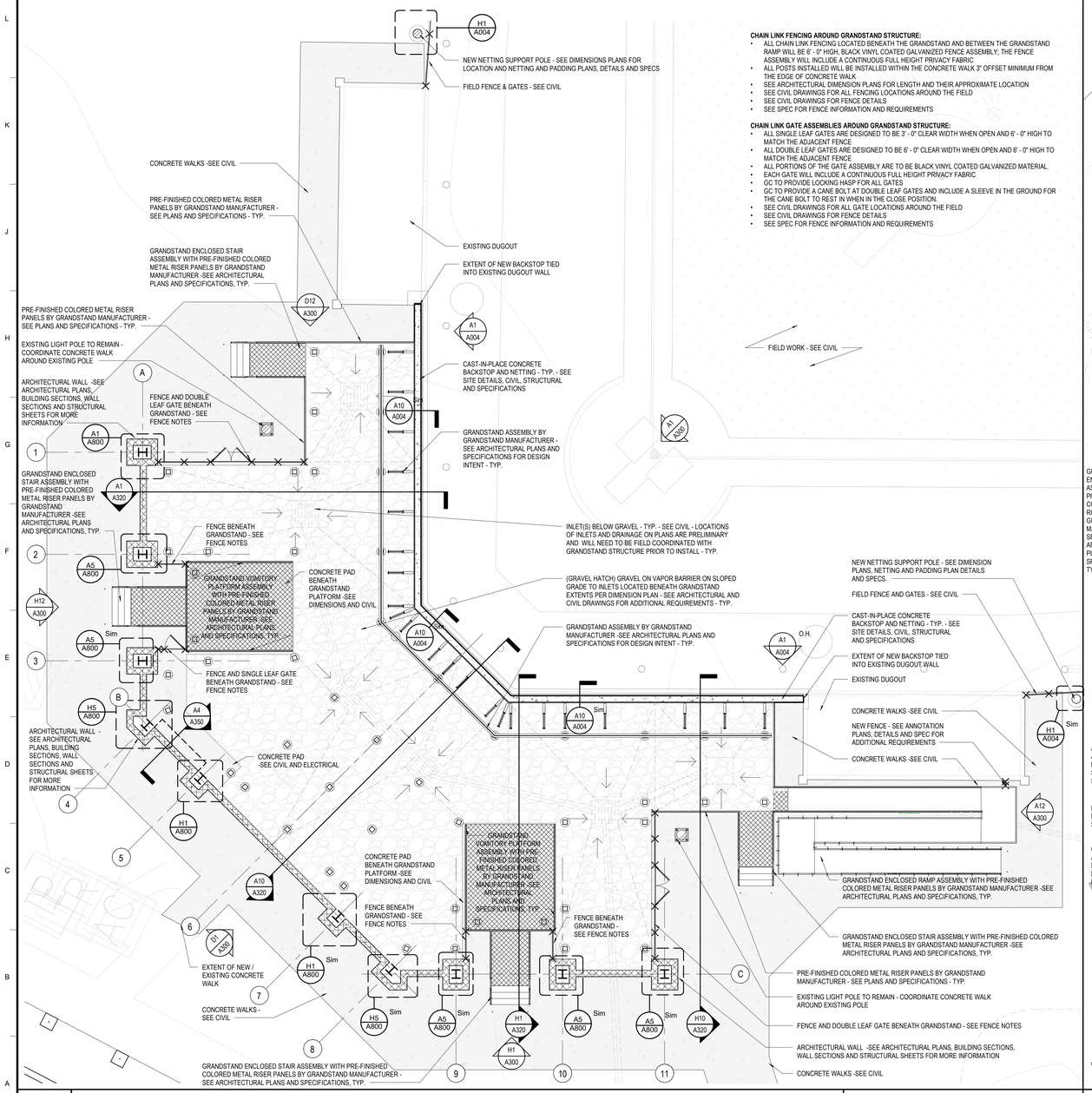
1. TO DESIGN AND INSTALL THE COMPLETE GRANDSTAND INCLUDING BUT NOT LIMITED TO THE GRANDSTAND PRESS BOX, GRANDSTAND ASSEMBLY, GRANDSTAND GALVANIZED STRUCTURE, GRANDSTAND SEATING FURNITURE, GRANDSTAND HAND RAILS, GRANDSTAND GUARD RAILS, GRANDSTAND STAIRS, GRANDSTAND RAMPS, GRANDSTAND SIGNAGE, GRANDSTAND FOUNDATIONS, GRANDSTAND FOOTINGS, ETC... **(SEE GRANDSTAND AND ARCHITECTURAL FOOTINGS COORDINATION NOTES ABOUT HOW TO DESIGN AND PRICE FOR FOOTINGS THAT WILL CONFLICT WITH ARCHITECTURAL FOOTINGS.)**
2. GRANDSTAND MANUFACTURER TO DESIGN, PROVIDE AND INSTALL A PREFABRICATED PRESS BOX - SEE THE PRESS BOX PLANS AND SPECS FOR ADDITIONAL COORDINATION, EQUIPMENT, FINISHES AND LAYOUT REQUIREMENTS.
3. DESIGN THE GRANDSTAND AND PRESS BOX TO MEET ALL APPLICABLE CODE, STRUCTURAL REQUIREMENTS, WIND LOAD REQUIREMENTS, EGRESS REQUIREMENTS, ADA REQUIREMENTS AND GUIDELINES SET FORTH IN THE PROJECT MANUAL.
4. DESIGN, COORDINATE AND INSTALL ANY STRUCTURE, FRAMING, FOOTINGS OR FOUNDATIONS REQUIRED FOR ANY RAISED PLATFORMS, VOMITORY, STAIRS AND RAMPS. ALL COLUMNS, FRAMING ELEMENTS OR PENETRATIONS THAT OCCUR AT GRADE MUST BE COORDINATED AND APPROVED WITH THE GC AND ARCHITECT THROUGH SHOP DRAWINGS PRIOR TO START OF WORK.
5. DESIGN, COORDINATE AND INSTALL A SERIES OF CONTINUOUS PREFINISH METAL CLOSURE PANELING PER THE DESCRIBED LOCATIONS IN THE ARCHITECTURAL DESIGN DOCUMENTS - COORDINATE ALL LOCATIONS IN FINAL SHOP DRAWING PRIOR TO START OF WORK.
6. COLUMN AND FOOTING LOCATIONS IN THESE DRAWINGS ARE STRICTLY PRELIMINARY AND MUST BE DESIGNED, SIZED AND LOCATED BY THE GRANDSTAND MANUFACTURER. (HOWEVER, THE GRANDSTAND MANUFACTURER MUST DESIGN THEIR COLUMNS AND STRUCTURE TO WORK WITHIN THE LIMITATIONS OF THE ARCHITECTURAL DESIGN AND NOT DISRUPT OR MODIFY THE LAYOUT OF THE GRANDSTAND OR ARCHITECTURAL STRUCTURE.)
7. SEE THE GRANDSTAND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

THE GENERAL CONTRACTOR'S RESPONSIBILITY:

1. TO COORDINATE AND INSTALL THE ADJOINING CONCRETE BACKSTOP, NETTING INSTALLATION, CONCRETE PATHS, PADS, CURBS, GRAVEL BEDDING, DRAINAGE, FENCING, GATES, ARCHITECTURAL BUILDING ELEMENTS PER THE DESIGN DOCUMENTS AND PROJECT MANUAL.
2. GC MUST FIELD VERIFY ALL UNDERGROUND PRIVATE AND PUBLIC UTILITIES PRIOR TO APPROVAL OF GRANDSTAND SHOP DRAWINGS. MODIFICATION OR ADJUSTMENTS TO GRANDSTAND STRUCTURE MAY BE REQUIRED IN THE CASE OF AN EXISTING UTILITY BEING REQUIRED TO REMAIN IN PLACE.
3. ANY CONFLICTS MUST BE COORDINATED PRIOR TO START OF NEW SITE WORK OR GRADING. BENEATH THE GRANDSTAND LOCATION OR ADJACENT ARCHITECTURAL BUILDING ELEMENTS.
4. GC TO COORDINATE AND PROVIDE DOOR HARDWARE PER THE DOOR HARDWARE SPEC FOR THE DOORS AT THE PRESS BOX.
5. SEE THE GRANDSTAND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.GRANDSTAND MANUFACTURER TO COORDINATE STAIR DESIGNS WITH THE ARCHITECT AND GC DURING SHOP DRAWINGS.
6. GENERAL CONTRACTOR TO COORDINATE ALL CONCRETE PADS AND AREAS WITH GRAVEL DRAINAGE WITH ARCHITECTURAL APPROVED GRANDSTAND SUBMITTAL PRIOR TO POURING OF CONCRETE PADS
7. GC TO SUBMIT ANY RFI'S OR COORDINATION CONFLICTS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO START OF CONCRETE PAD WORK BEGINS.

GRANDSTAND AND ARCHITECTURAL FOOTINGS COORDINATION

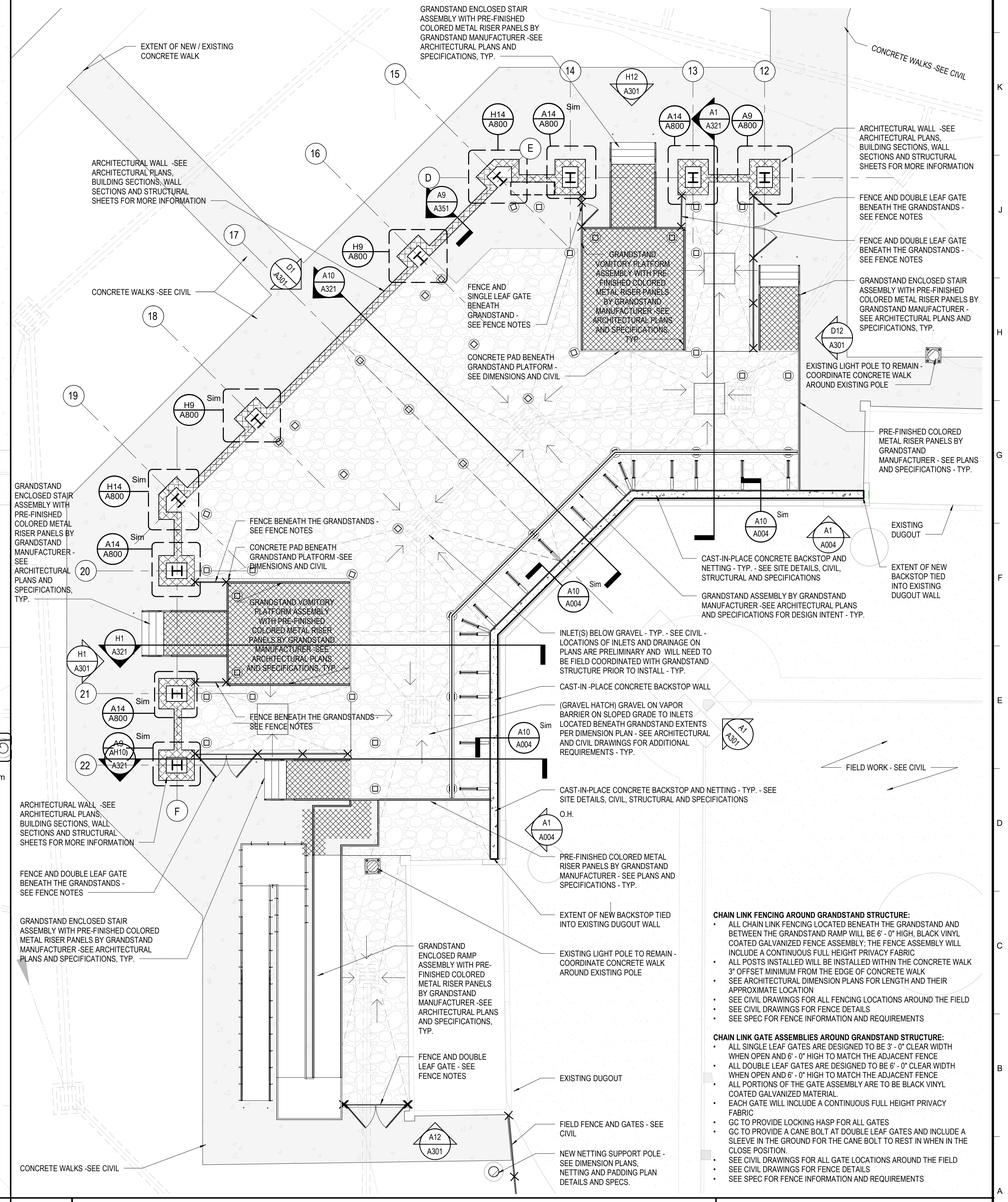
THE GRANDSTAND MANUFACTURER WILL HAVE A NUMBER OF FOOTINGS IN THE BACK COLUMN LINE OF EACH GRANDSTAND THAT WILL OVERLAP THE ARCHITECTURAL WALLS STRUCTURES FOOTINGS AND FOUNDATIONS. WHEN THIS OCCURS THE GRANDSTAND MANUFACTURER MUST PROVIDE THE REACTIONS FOR EACH COLUMN TO THE DESIGN TEAMS STRUCTURAL ENGINEER. THE ARCHITECTURAL FOUNDATION FOOTINGS WILL THEN BE MODIFIED AS NEEDED TO PROVIDE AN ADEQUATE FOOTING FOR THE GRANDSTAND COLUMNS. GRANDSTAND MANUFACTURER WILL PROVIDE ALL OTHER COLUMN FOOTINGS NOT OVERLAPPING THE ARCHITECTURAL WALLS FOUNDATION FOOTINGS. THE CHANGE IN FOOTING SIZE AND REINFORCEMENT REQUIREMENTS AT THE ARCHITECTURAL WALL SHOULD NOT COME AT AN ADDITIONAL COST POST BID. THE GC MUST INCORPORATE AN ASSUMED PRICE FOR THIS MODIFICATION OF THE FOOTING BASED ON THE GRANDSTAND MANUFACTURE AND STRUCTURAL ENGINEERS RECOMMENDATION.



A1 — FIELD LEVEL PLAN - FIELD 2 GRANDSTAND - ANNOTATIONS

A1 /A004 — SCALE: 1/8" = 1'-0"

TRUE NORTH — 0' 4' 8' 16'



A11 — FIELD LEVEL PLAN - FIELD 3 GRANDSTAND - ANNOTATIONS

A1 /A004 — SCALE: 1/8" = 1'-0"

TRUE NORTH — 0' 4' 8' 16'

STATE OF ALABAMA — DAVIS ARCHITECTS — 2413 — NEAL E. DAVIS — REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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DAVIS

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REV	DATE	DESCRIPTION

DATE: 5-04-2020

PHASE: 100% BID DOCUMENTS

ISSUED FOR:

ISSUED BY: DAVIS ARCHITECTS — PROJECT NO: 3916

SHEET TITLE: FIELD LEVEL PLANS - ANNOTATIONS

DRAWING NO.: A101

GRANDSTAND SEATING AISLES DESIGN INTENT:

(CONCOURSE SEATING AREA)

1. FIRST SEATING AISLES (ROW 1)
   - A. 36" TREAD
   - B. 16" RISERS
2. OTHER SEATING AISLES (ROW 2-3)
   - A. 33" TREAD THROUGHOUT
   - B. 16" RISERS THROUGHOUT
3. TOP SEATING AISLE MOUNTED DIRECTLY TO TREAD OF CONCOURSE LEVEL DECKING (ROW 11)

(PRESS BOX LEVEL SEATING AREA)

1. BOTTOM SEATING AISLES (ROW 5)
   - A. 36" TREAD
   - B. 16" RISERS
2. OTHER SEATING AISLES (ROW 6-10)
   - A. 26" TREAD THROUGHOUT
   - B. 16" RISERS THROUGHOUT
3. TOP SEATING AISLE MOUNTED DIRECTLY TO TREAD OF PRESS BOX LEVEL DECKING (ROW 11)

GRANDSTAND RAMP DESIGN INTENT:

(TYPICAL GRANDSTAND RAMPS AND LANDINGS)

1. All SLOPING RAMP WALKING SURFACES TO BE DESIGN AND INSTALLED WITH SLOPE NO GREATER THEN 1" RISE PER12" RUN (MAX 2% CROSS SLOPE IF CROSS SLOPE IS PROVIDED).
2. WIDTHS AND RUNS OF RAMPS AS SHOWN ON DIMENSION PLANS
3. LOCATIONS OF RAMPS AND LANDINGS PER PLANS
4. GRANDSTAND MANUFACTURER TO PROVIDE SLIP RESISTANT ROLLING SURFACE, ADA THRESHOLDS, ADA EXPANSION PLATE AT ALL TRANSITIONS BETWEEN GRANDSTAND ASSEMBLIES AND EXPANSION POINTS
5. TOP OF HANDRAILS GRIPPING SURFACE SET AT 36" ABOVE WALKING SURFACE
6. CONTINUOUS HANDRAILS LOCATED ON BOTH SIDES OF STAIR ASSEMBLY
7. PROVIDE TOP AND BOTTOM HANDRAIL EXTENSIONS AS REQUIRED TO MEET CODE.

GRANDSTAND STAIR AND STAIR AISLES DESIGN INTENT:

(TYPICAL GRANDSTAND STAIRS)

1. 11" TREAD WITH 1" NOSING (12" TOTAL DEPTH.)
2. 6"-7" EQUAL SIZED RISERS PER STAIR
3. STAIR WIDTHS PER ARCHITECTURAL DIMENSION PLANS
4. LOCATION OF STAIR PER PLANS
5. CONTINUOUS 1 1/2" DIAMETER HANDRAIL WITH 12" EXTENSIONS AS REQUIRED BY CODE.
6. TOP OF HANDRAILS GRIPPING SURFACE SET AT 36" ABOVE WALKING SURFACE
7. CONTINUOUS HANDRAILS LOCATED ON BOTH SIDES OF STAIR ASSEMBLY
8. PROVIDE TOP AND BOTTOM HANDRAIL EXTENSIONS AS REQUIRED TO MEET CODE
9. GRANDSTAND MANUFACTURER TO DESIGN, PROVIDE AND INSTALL THE ENTIRE STAIR ASSEMBLY

(TYPICAL GRANDSTAND STAIR AISLES)

1. STAIR AISLES (ROWS 1-4 & ROWS 5-11)
2. 11" TREAD WITH 1" NOSING (12" TOTAL DEPTH.)
3. 7" EQUAL RISERS AT ALL STAIR AISLES
4. STAIR AISLE WIDTHS PER ARCHITECTURAL DIMENSION PLANS
5. LOCATION OF STAIR AISLES PER PLANS
6. CONTINUOUS 1 1/2" DIAMETER HANDRAIL WITH 12" EXTENSIONS AS REQUIRED BY CODE.
7. TOP OF HANDRAILS GRIPPING SURFACE SET AT 36" ABOVE WALKING SURFACE
8. HANDRAILS LOCATED CENTER OF ALL STAIR AISLES
9. HANDRAILS TO BE SECURED INTO GRANDSTAND TREAD DECKING/FACE OF RISER

GRANDSTAND STRUCTURE DESIGN INTENT

1. DESIGN, FABRICATION AND INSTALLATION OF THE GRANDSTAND SHOULD BE DONE BY THE GRANDSTAND MANUFACTURER
2. GRANDSTAND STRUCTURE DEPICTED IN THESE DRAWINGS ARE STRICTLY PRELIMINARY FOR DESIGN PURPOSES. THE BID BY THE GC SHOULD BE BASED ON THE GRANDSTAND MANUFACTURER DESIGNING, FABRICATING AND INSTALLING THE GRANDSTAND BASED ON THE ARCHITECTURAL LAYOUT AND REQUIREMENTS SET FOR THE GRANDSTAND.
3. NO ADDITIONAL CHANGE ORDER OR INCREASE IN COST TO THE PROJECT SHOULD OCCUR DUE TO ANY DIFFERENCES BETWEEN THE PRELIMINARY GRANDSTAND STRUCTURAL LAYOUT AND THE DESIGNED LAYOUT BY THE GRANDSTAND MANUFACTURER.
4. STRUCTURE AND X-BRACING LAYOUT DESIGN SHOULD AVOID ALL ARCHITECTURAL ELEMENTS

GRANDSTAND MANUFACTURER & CONTRACTOR REQUIREMENTS

GRANDSTAND MANUFACTURER'S RESPONSIBILITY

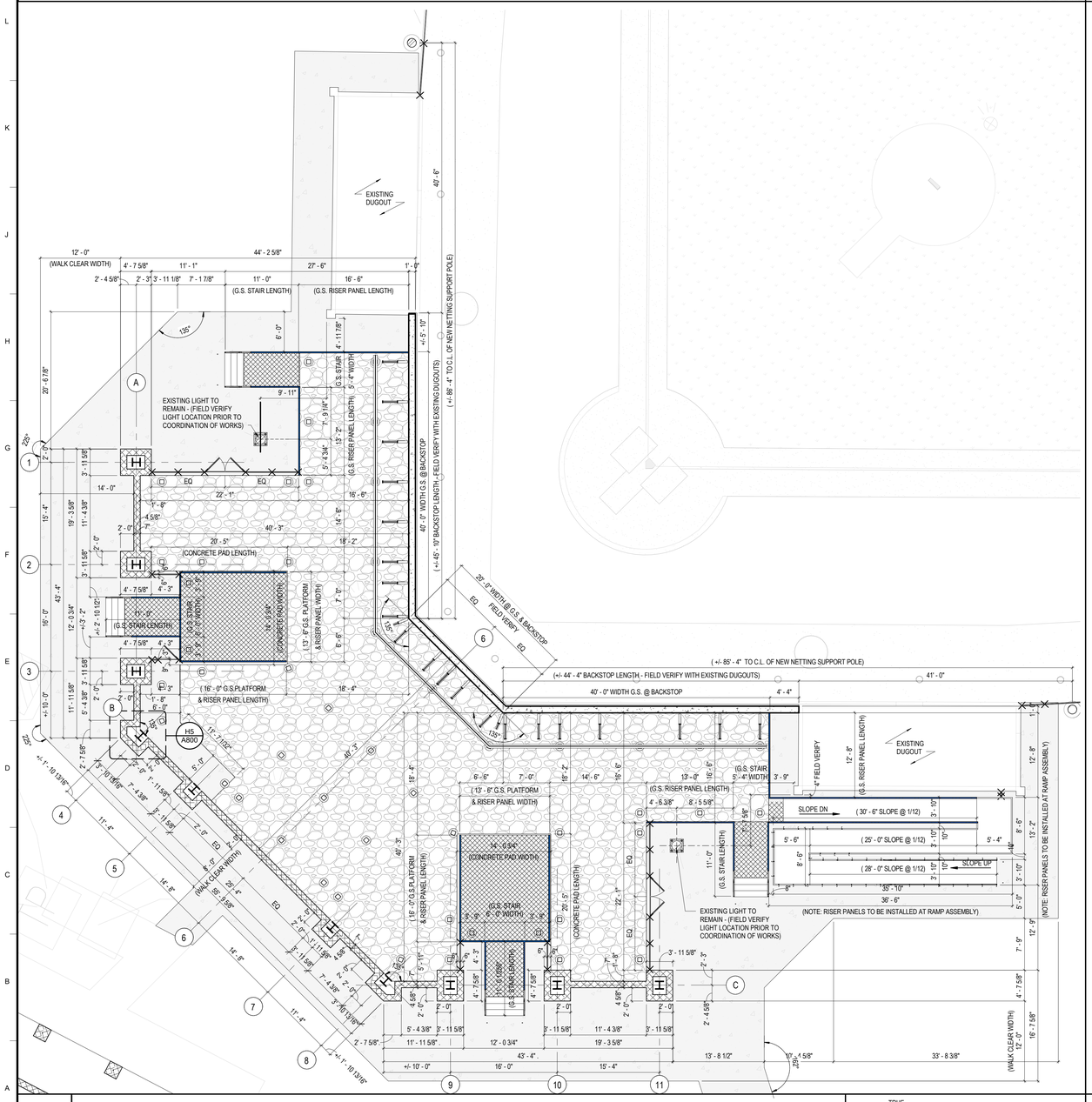
1. TO DESIGN AND INSTALL THE COMPLETE GRANDSTAND INCLUDING BUT NOT LIMITED TO THE GRANDSTAND PRESS BOX, GRANDSTAND ASSEMBLY, GRANDSTAND GALVANIZED STRUCTURE, GRANDSTAND SEATING FURNITURE, GRANDSTAND HAND RAILS, GRANDSTAND GUARD RAILS, GRANDSTAND STAIRS, GRANDSTAND RAMPS, GRANDSTAND SIGNAGE, GRANDSTAND FOUNDATIONS, GRANDSTAND FOOTINGS, ETC... **(SEE GRANDSTAND AND ARCHITECTURAL FOOTINGS COORDINATION NOTES ABOUT HOW TO DESIGN AND PRICE FOR FOOTINGS THAT WILL CONFLICT WITH ARCHITECTURAL FOOTINGS.)**
2. GRANDSTAND MANUFACTURER TO DESIGN, PROVIDE AND INSTALL A PREFABRICATED PRESS BOX - SEE THE PRESS BOX PLANS AND SPECS FOR ADDITIONAL COORDINATION, EQUIPMENT, FINISHES AND LAYOUT REQUIREMENTS.
3. DESIGN THE GRANDSTAND AND PRESS BOX TO MEET ALL APPLICABLE CODE, STRUCTURAL REQUIREMENTS, WIND LOAD REQUIREMENTS, EGRESS REQUIREMENTS, ADA REQUIREMENTS AND GUIDELINES SET FORTH IN THE PROJECT MANUAL.
4. DESIGN, COORDINATE AND INSTALL ANY STRUCTURE, FRAMING, FOOTINGS OR FOUNDATIONS REQUIRED FOR ANY RAISED PLATFORMS, VOMITORY, STAIRS AND RAMPS. ALL COLUMNS, FRAMING ELEMENTS OR PENETRATIONS THAT OCCUR AT GRADE MUST BE COORDINATED AND APPROVED WITH THE GC AND ARCHITECT THROUGH SHOP DRAWINGS PRIOR TO START OF WORK.
5. DESIGN, COORDINATE AND INSTALL A SERIES OF CONTINUOUS PREFINISH METAL CLOSURE PANELING PER THE DESCRIBED LOCATIONS IN THE ARCHITECTURAL DESIGN DOCUMENTS - COORDINATE ALL LOCATIONS IN FINAL SHOP DRAWING PRIOR TO START OF WORK.
6. COLUMN AND FOOTING LOCATIONS IN THESE DRAWINGS ARE STRICTLY PRELIMINARY AND MUST BE DESIGNED, SIZED AND LOCATED BY THE GRANDSTAND MANUFACTURER. (HOWEVER, THE GRANDSTAND MANUFACTURER MUST DESIGN THEIR COLUMNS AND STRUCTURE TO WORK WITHIN THE LIMITATIONS OF THE ARCHITECTURAL DESIGN AND NOT DISRUPT OR MODIFY THE LAYOUT OF THE GRANDSTAND OR ARCHITECTURAL STRUCTURE.)
7. SEE THE GRANDSTAND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

THE GENERAL CONTRACTOR'S RESPONSIBILITY:

1. TO COORDINATE AND INSTALL THE ADJOINING CONCRETE BACKSTOP, NETTING INSTALLATION, CONCRETE PATHS, PADS, CURBS, GRAVEL BEDDING, DRAINAGE, FENCING, GATES, ARCHITECTURAL BUILDING ELEMENTS PER THE DESIGN DOCUMENTS AND PROJECT MANUAL.
2. GC MUST FIELD VERIFY ALL UNDERGROUND PRIVATE AND PUBLIC UTILITIES PRIOR TO APPROVAL OF GRANDSTAND SHOP DRAWINGS. MODIFICATION OR ADJUSTMENTS TO GRANDSTAND STRUCTURE MAY BE REQUIRED IN THE CASE OF AN EXISTING UTILITY BEING REQUIRED TO REMAIN IN PLACE.
3. ANY CONFLICTS MUST BE COORDINATED PRIOR TO START OF NEW SITE WORK OR GRADING. BENEATH THE GRANDSTAND LOCATION OR ADJACENT ARCHITECTURAL BUILDING ELEMENTS.
4. GC TO COORDINATE AND PROVIDE DOOR HARDWARE PER THE DOOR HARDWARE SPEC FOR THE DOORS AT THE PRESS BOX.
5. SEE THE GRANDSTAND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.GRANDSTAND MANUFACTURER TO COORDINATE STAIR DESIGNS WITH THE ARCHITECT AND GC DURING SHOP DRAWINGS.
6. GENERAL CONTRACTOR TO COORDINATE ALL CONCRETE PADS AND AREAS WITH GRAVEL DRAINAGE WITH ARCHITECTURAL APPROVED GRANDSTAND SUBMITTAL PRIOR TO POURING OF CONCRETE PADS
7. GC TO SUBMIT ANY RFI'S OR COORDINATION CONFLICTS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO START OF CONCRETE PAD WORK BEGINS.

GRANDSTAND AND ARCHITECTURAL FOOTINGS COORDINATION

THE GRANDSTAND MANUFACTURER WILL HAVE A NUMBER OF FOOTINGS IN THE BACK COLUMN LINE OF EACH GRANDSTAND THAT WILL OVERLAP THE ARCHITECTURAL WALLS STRUCTURES FOOTINGS AND FOUNDATIONS. WHEN THIS OCCURS THE GRANDSTAND MANUFACTURER MUST PROVIDE THE REACTIONS FOR EACH COLUMN TO THE DESIGN TEAMS STRUCTURAL ENGINEER. THE ARCHITECTURAL FOUNDATION FOOTINGS WILL THEN BE MODIFIED AS NEEDED TO PROVIDE AN ADEQUATE FOOTING FOR THE GRANDSTAND COLUMNS. GRANDSTAND MANUFACTURER WILL PROVIDE ALL OTHER COLUMN FOOTINGS NOT OVERLAPPING THE ARCHITECTURAL WALLS FOUNDATION FOOTINGS. THE CHANGE IN FOOTING SIZE AND REINFORCEMENT REQUIREMENTS AT THE ARCHITECTURAL WALL SHOULD NOT COME AT AN ADDITIONAL COST POST BID. THE GC MUST INCORPORATE AN ASSUMED PRICE FOR THIS MODIFICATION OF THE FOOTING BASED ON THE GRANDSTAND MANUFACTURE AND STRUCTURAL ENGINEERS RECOMMENDATION.

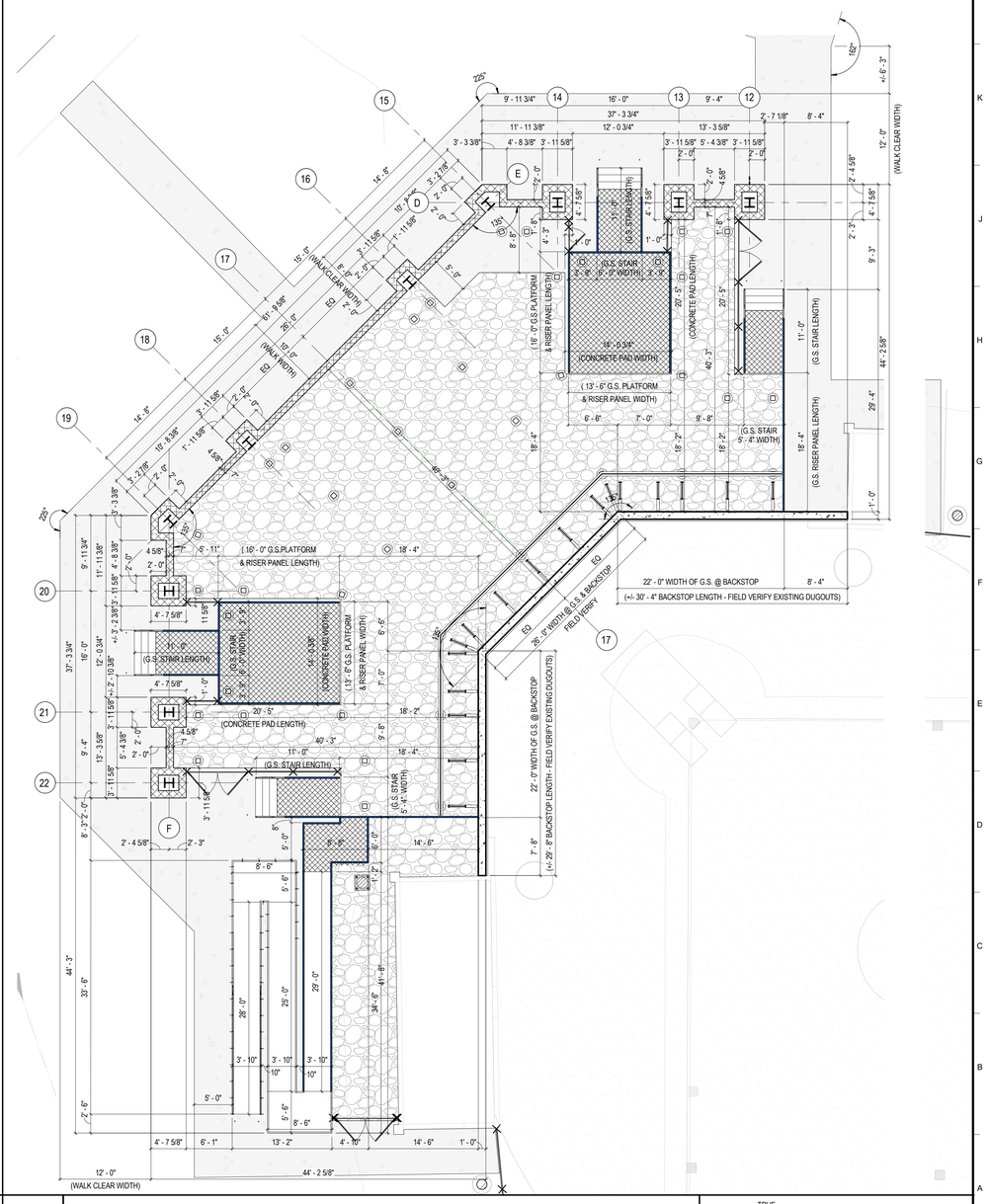


A1 — FIELD LEVEL PLAN - FIELD 2 GRANDSTANDS - DIMENSIONS

SCALE: 1/8" = 1'-0"

TRUE NORTH

0' 4' 8' 16'



A11 — FIELD LEVEL PLAN - FIELD 3 GRANDSTAND - DIMENSIONS

SCALE: 1/8" = 1'-0"

TRUE NORTH

0' 4' 8' 16'

STATE OF ALABAMA — DAVIS ARCHITECTS — 2413 — NEIL E. DAVIS — REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

DAVIS

OWNER
CITY OF ORANGE BEACH
PO BOX 458
ORANGE BEACH, ALABAMA 36561
251-981-69792
ATTN: KEN GRIMES, JR.

ASSOCIATE ARCHITECT
MCCOLLOUGH ARCHITECTURE
4790 MAIN ST #209,
ORANGE BEACH, AL 36561
251-968-7222
ATTN: STED MCCOLLOUGH

ARCHITECT
DAVIS ARCHITECTS, INC.
120 23RD STREET SOUTH
BIRMINGHAM, AL 35233
205-322-7482
ATTN: JIM HARTSELL / JEFFREY MENASCO

CIVIL ENGINEER
SAWGRASS CONSULTING, LLC
11143 OLD HIGHWAY 31
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251-544-7900
ATTN: ERCIL E. GODWIN / DOUG CHAFFIN

STRUCTURAL ENGINEER
MBA ENGINEERS
300 20TH ST. N., SUITE 100
BIRMINGHAM, AL 35203
205-323-6385
ATTN: KEITH OWENS / MARK BOGER

MECHANICAL / PLUMBING ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: CHRIS DEARMON / VAN SIMPSON

ELECTRICAL ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE: 5-04-2020

PHASE: 100% BID DOCUMENTS

ISSUED FOR

ISSUED BY: DAVIS ARCHITECTS — PROJECT NO: 3916

SHEET TITLE

FIELD LEVEL PLANS - DIMENSION

DRAWING NO.

A101D

GRANDSTAND SEATING AISLES DESIGN INTENT:

(CONCOURSE SEATING AREA)

1. FIRST SEATING AISLES (ROW 1)
   A. 36" TREAD
   B. 16" RISERS
2. OTHER SEATING AISLES (ROW 2-3)
   A. 33" TREAD THROUGHOUT
   B. 16" RISERS THROUGHOUT
3. TOP SEATING AISLE MOUNTED DIRECTLY TO TREAD OF CONCOURSE LEVEL DECKING (ROW 11)

(PRESS BOX LEVEL SEATING AREA)

1. BOTTOM SEATING AISLES (ROW 5)
   A. 36" TREAD
   B. 16" RISERS
2. OTHER SEATING AISLES (ROW 6-10)
   A. 26" TREAD THROUGHOUT
   B. 16" RISERS THROUGHOUT
3. TOP SEATING AISLE MOUNTED DIRECTLY TO TREAD OF PRESS BOX LEVEL DECKING (ROW 11)

GRANDSTAND RAMP DESIGN INTENT:

(TYPICAL GRANDSTAND RAMPS AND LANDINGS)

1. All SLOPING RAMP WALKING SURFACES TO BE DESIGN AND INSTALLED WITH SLOPE NO GREATER THEN 1" RISE PER12" RUN (MAX 2% CROSS SLOPE IF CROSS SLOPE IS PROVIDED).
2. WIDTHS AND RUNS OF RAMPS AS SHOWN ON DIMENSION PLANS
3. LOCATIONS OF RAMPS AND LANDINGS PER PLANS
4. GRANDSTAND MANUFACTURER TO PROVIDE SLIP RESISTANT ROLLING SURFACE, ADA THRESHOLDS, ADA EXPANSION PLATE AT ALL TRANSITIONS BETWEEN GRANDSTAND ASSEMBLIES AND EXPANSION POINTS
5. TOP OF HANDRAILS GRIPPING SURFACE SET AT 36" ABOVE WALKING SURFACE
6. CONTINUOUS HANDRAILS LOCATED ON BOTH SIDES OF STAIR ASSEMBLY
7. PROVIDE TOP AND BOTTOM HANDRAIL EXTENSIONS AS REQUIRED TO MEET CODE.

GRANDSTAND STAIR AND STAIR AISLES DESIGN INTENT:

(TYPICAL GRANDSTAND STAIRS)

1. 11" TREAD WITH 1" NOSING (12" TOTAL DEPTH.)
2. 6"-7" EQUAL SIZED RISERS PER STAIR
3. STAIR WIDTHS PER ARCHITECTURAL DIMENSION PLANS
4. LOCATION OF STAIR PER PLANS
5. CONTINUOUS 1 1/2" DIAMETER HANDRAIL WITH 12" EXTENSIONS AS REQUIRED BY CODE.
6. TOP OF HANDRAILS GRIPPING SURFACE SET AT 36" ABOVE WALKING SURFACE
7. CONTINUOUS HANDRAILS LOCATED ON BOTH SIDES OF STAIR ASSEMBLY
8. PROVIDE TOP AND BOTTOM HANDRAIL EXTENSIONS AS REQUIRED TO MEET CODE
9. GRANDSTAND MANUFACTURER TO DESIGN, PROVIDE AND INSTALL THE ENTIRE STAIR ASSEMBLY

(TYPICAL GRANDSTAND STAIR AISLES)

1. STAIR AISLES (ROWS 1-4 & ROWS 5-11)
2. 11" TREAD WITH 1" NOSING (12" TOTAL DEPTH.)
3. 7" EQUAL RISERS AT ALL STAIR AISLES
4. STAIR AISLE WIDTHS PER ARCHITECTURAL DIMENSION PLANS
5. LOCATION OF STAIR AISLES PER PLANS
6. CONTINUOUS 1 1/2" DIAMETER HANDRAIL WITH 12" EXTENSIONS AS REQUIRED BY CODE.
7. TOP OF HANDRAILS GRIPPING SURFACE SET AT 36" ABOVE WALKING SURFACE
8. HANDRAILS LOCATED CENTER OF ALL STAIR AISLES
9. HANDRAILS TO BE SECURED INTO GRANDSTAND TREAD DECKING/FACE OF RISER

GRANDSTAND STRUCTURE DESIGN INTENT

1. DESIGN, FABRICATION AND INSTALLATION OF THE GRANDSTAND SHOULD BE DONE BY THE GRANDSTAND MANUFACTURER
2. GRANDSTAND STRUCTURE DEPICTED IN THESE DRAWINGS ARE STRICTLY PRELIMINARY FOR DESIGN PURPOSES. THE BID BY THE GC SHOULD BE BASED ON THE GRANDSTAND MANUFACTURER DESIGNING, FABRICATING AND INSTALLING THE GRANDSTAND BASED ON THE ARCHITECTURAL LAYOUT AND REQUIREMENTS SET FOR THE GRANDSTAND.
3. NO ADDITIONAL CHANGE ORDER OR INCREASE IN COST TO THE PROJECT SHOULD OCCUR DUE TO ANY DIFFERENCES BETWEEN THE PRELIMINARY GRANDSTAND STRUCTURAL LAYOUT AND THE DESIGNED LAYOUT BY THE GRANDSTAND MANUFACTURER.
4. STRUCTURE AND X-BRACING LAYOUT DESIGN SHOULD AVOID ALL ARCHITECTURAL ELEMENTS

GRANDSTAND MANUFACTURER & CONTRACTOR REQUIREMENTS

GRANDSTAND MANUFACTURER'S RESPONSIBILITY

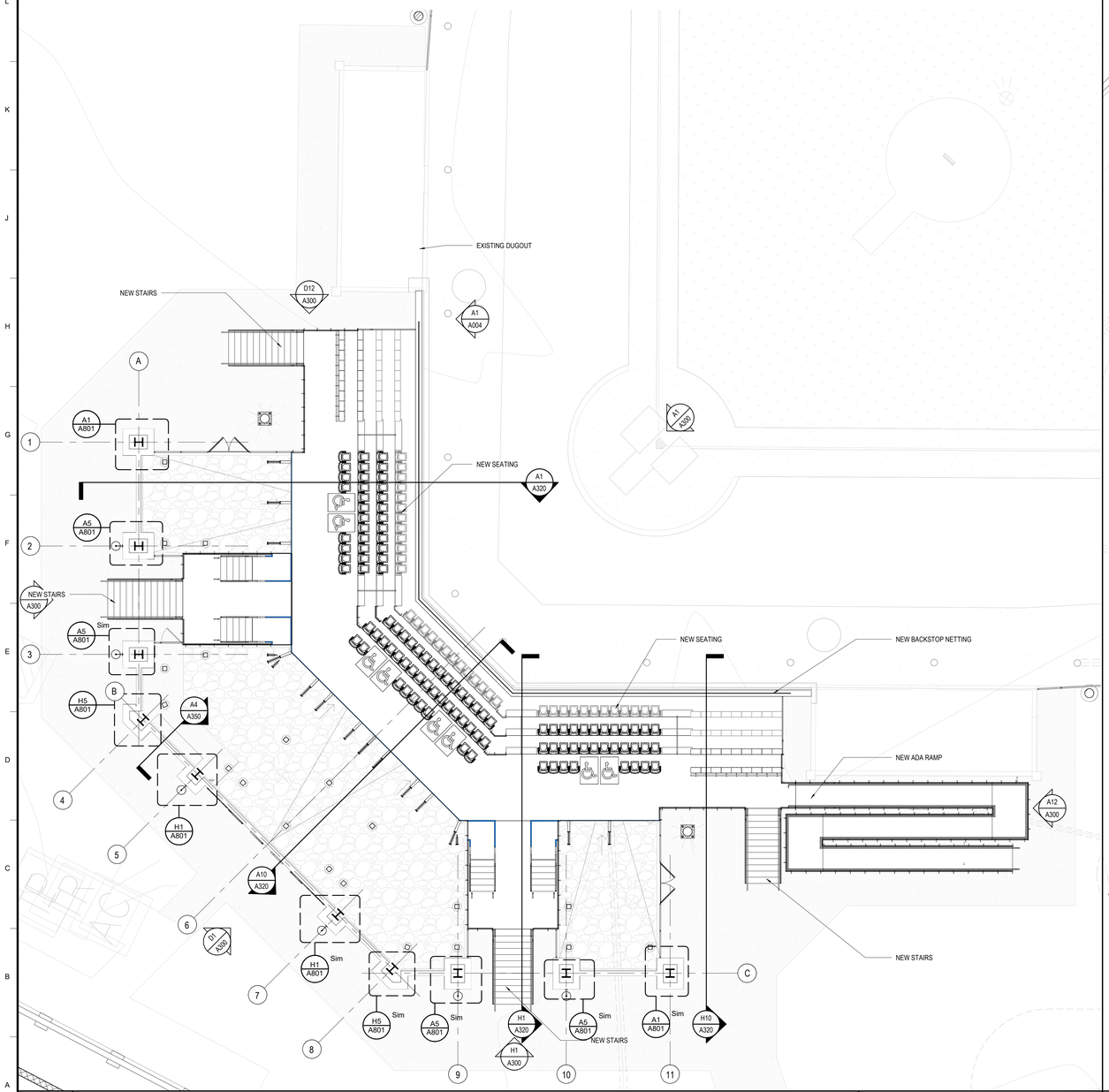
1. TO DESIGN AND INSTALL THE COMPLETE GRANDSTAND INCLUDING BUT NOT LIMITED TO THE GRANDSTAND PRESS BOX, GRANDSTAND ASSEMBLY, GRANDSTAND GALVANIZED STRUCTURE, GRANDSTAND SEATING FURNITURE, GRANDSTAND HAND RAILS, GRANDSTAND GUARD RAILS, GRANDSTAND STAIRS, GRANDSTAND RAMPS, GRANDSTAND SIGNAGE, GRANDSTAND FOUNDATIONS, GRANDSTAND FOOTINGS, ETC... **(SEE GRANDSTAND AND ARCHITECTURAL FOOTINGS COORDINATION NOTES ABOUT HOW TO DESIGN AND PRICE FOR FOOTINGS THAT WILL CONFLICT WITH ARCHITECTURAL FOOTINGS.)**
2. GRANDSTAND MANUFACTURER TO DESIGN, PROVIDE AND INSTALL A PREFABRICATED PRESS BOX - SEE THE PRESS BOX PLANS AND SPECS FOR ADDITIONAL COORDINATION, EQUIPMENT, FINISHES AND LAYOUT REQUIREMENTS.
3. DESIGN THE GRANDSTAND AND PRESS BOX TO MEET ALL APPLICABLE CODE, STRUCTURAL REQUIREMENTS, WIND LOAD REQUIREMENTS, EGRESS REQUIREMENTS, ADA REQUIREMENTS AND GUIDELINES SET FORTH IN THE PROJECT MANUAL
4. DESIGN, COORDINATE AND INSTALL ANY STRUCTURE, FRAMING, FOOTINGS OR FOUNDATIONS REQUIRED FOR ANY RAISED PLATFORMS, VOMITORY, STAIRS AND RAMPS. ALL COLUMNS, FRAMING ELEMENTS OR PENETRATIONS THAT OCCUR AT GRADE MUST BE COORDINATED AND APPROVED WITH THE GC AND ARCHITECT THROUGH SHOP DRAWINGS PRIOR TO START OF WORK.
5. DESIGN, COORDINATE AND INSTALL A SERIES OF CONTINUOUS PREFINISH METAL CLOSURE PANELING PER THE DESCRIBED LOCATIONS IN THE ARCHITECTURAL DESIGN DOCUMENTS - COORDINATE ALL LOCATIONS IN FINAL SHOP DRAWING PRIOR TO START OF WORK.
6. COLUMN AND FOOTING LOCATIONS IN THESE DRAWINGS ARE STRICTLY PRELIMINARY AND MUST BE DESIGNED, SIZED AND LOCATED BY THE GRANDSTAND MANUFACTURER. (HOWEVER, THE GRANDSTAND MANUFACTURER MUST DESIGN THEIR COLUMNS AND STRUCTURE TO WORK WITHIN THE LIMITATIONS OF THE ARCHITECTURAL DESIGN AND NOT DISRUPT OR MODIFY THE LAYOUT OF THE GRANDSTAND OR ARCHITECTURAL STRUCTURE.)
7. SEE THE GRANDSTAND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

THE GENERAL CONTRACTOR'S RESPONSIBILITY:

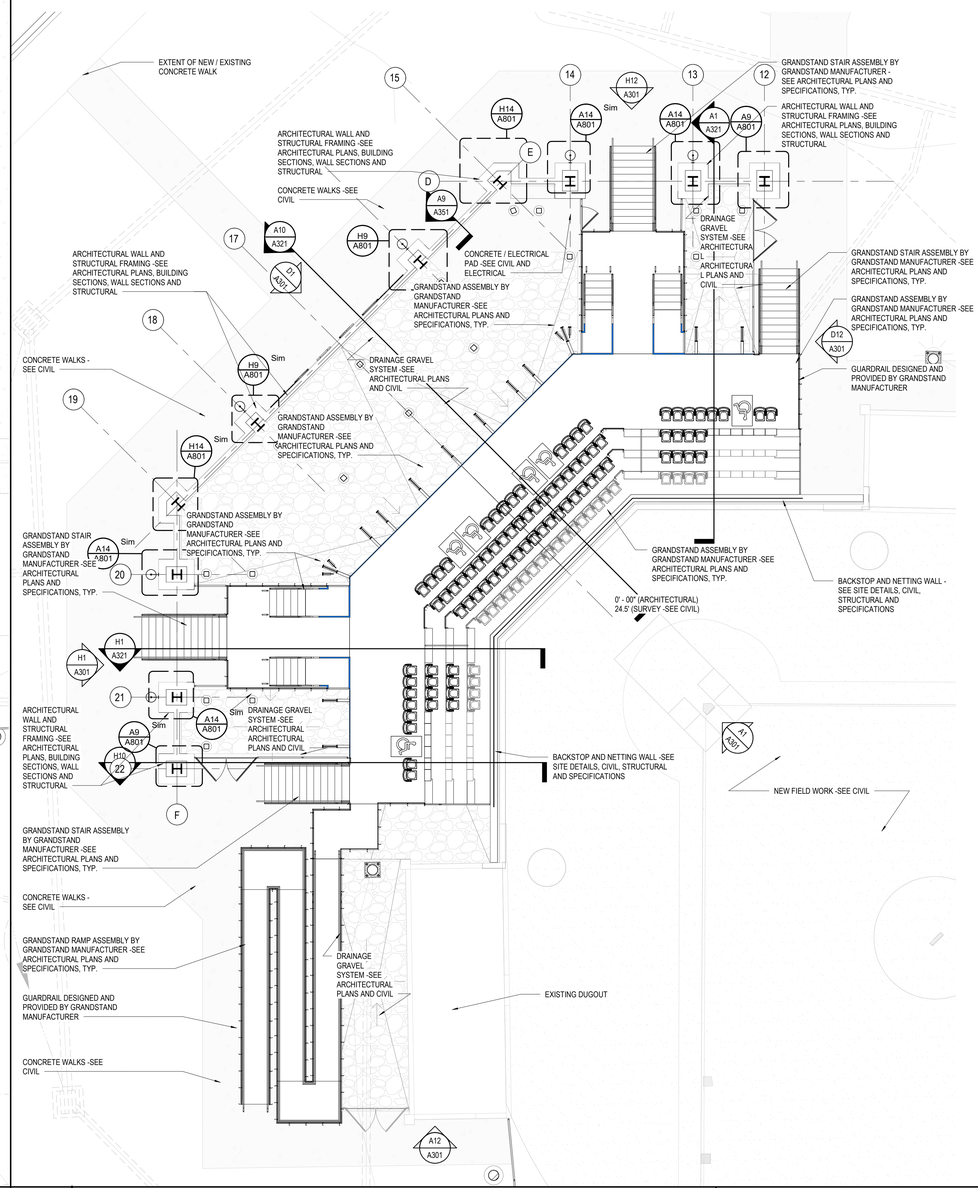
1. TO COORDINATE AND INSTALL THE ADJOINING CONCRETE BACKSTOP, NETTING INSTALLATION, CONCRETE PATHS, PADS, CURBS, GRAVEL BEDDING, DRAINAGE, FENCING, GATES, ARCHITECTURAL BUILDING ELEMENTS PER THE DESIGN DOCUMENTS AND PROJECT MANUAL.
2. GC MUST FIELD VERIFY ALL UNDERGROUND PRIVATE AND PUBLIC UTILITIES PRIOR TO APPROVAL OF GRANDSTAND SHOP DRAWINGS. MODIFICATION OR ADJUSTMENTS TO GRANDSTAND STRUCTURE MAY BE REQUIRED IN THE CASE OF AN EXISTING UTILITY BEING REQUIRED TO REMAIN IN PLACE.
3. ANY CONFLICTS MUST BE COORDINATED PRIOR TO START OF NEW SITE WORK OR GRADING. BENEATH THE GRANDSTAND LOCATION OR ADJACENT ARCHITECTURAL BUILDING ELEMENTS.
4. GC TO COORDINATE AND PROVIDE DOOR HARDWARE PER THE DOOR HARDWARE SPEC FOR THE DOORS AT THE PRESS BOX.
5. SEE THE GRANDSTAND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.GRANDSTAND MANUFACTURER TO COORDINATE STAIR DESIGNS WITH THE ARCHITECT AND GC DURING SHOP DRAWINGS.
6. GENERAL CONTRACTOR TO COORDINATE ALL CONCRETE PADS AND AREAS WITH GRAVEL DRAINAGE WITH ARCHITECTURAL APPROVED GRANDSTAND SUBMITTAL PRIOR TO POURING OF CONCRETE PADS
7. GC TO SUBMIT ANY RFI'S OR COORDINATION CONFLICTS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO START OF CONCRETE PAD WORK BEGINS.

GRANDSTAND AND ARCHITECTURAL FOOTINGS COORDINATION

THE GRANDSTAND MANUFACTURER WILL HAVE A NUMBER OF FOOTINGS IN THE BACK COLUMN LINE OF EACH GRANDSTAND THAT WILL OVERLAP THE ARCHITECTURAL WALLS STRUCTURES FOOTINGS AND FOUNDATIONS. WHEN THIS OCCURS THE GRANDSTAND MANUFACTURER MUST PROVIDE THE REACTIONS FOR EACH COLUMN TO THE DESIGN TEAMS STRUCTURAL ENGINEER. THE ARCHITECTURAL FOUNDATION FOOTINGS WILL THEN BE MODIFIED AS NEEDED TO PROVIDE AN ADEQUATE FOOTING FOR THE GRANDSTAND COLUMNS. GRANDSTAND MANUFACTURER WILL PROVIDE ALL OTHER COLUMN FOOTINGS NOT OVERLAPPING THE ARCHITECTURAL WALLS FOUNDATION FOOTINGS. THE CHANGE IN FOOTING SIZE AND REINFORCEMENT REQUIREMENTS AT THE ARCHITECTURAL WALL SHOULD NOT COME AT AN ADDITIONAL COST POST BID. THE GC MUST INCORPORATE AN ASSUMED PRICE FOR THIS MODIFICATION OF THE FOOTING BASED ON THE GRANDSTAND MANUFACTURE AND STRUCTURAL ENGINEERS RECOMMENDATION.



A1 — CONCOURSE LEVEL PLAN - FIELD 2 GRANDSTAND - ANNOTATIONS
A1 /A300 — SCALE: 1/8" = 1'-0"



A11 — CONCOURSE LEVEL PLAN - FIELD 3 GRANDSTAND - ANNOTATIONS
A1 /A300 — SCALE: 1/8" = 1'-0"

STATE OF ALABAMA — DAVIS ARCHITECTS — 2413 — NEIL E. DAVIS — REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

DAVIS

OWNER
CITY OF ORANGE BEACH
PO BOX 458
ORANGE BEACH, ALABAMA 36561
251-981-69792
ATTN: KEN GRIMES, JR.

ASSOCIATE ARCHITECT
MCCOLLOUGH ARCHITECTURE
4790 MAIN ST #209,
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251-968-7222
ATTN: STED MCCOLLOUGH

ARCHITECT
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120 23RD STREET SOUTH
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205-322-7482
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251-544-7900
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STRUCTURAL ENGINEER
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ATTN: KEITH OWENS / MARK BOGER

MECHANICAL / PLUMBING ENGINEER
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MOBILE, AL 36609
251-460-4646
ATTN: CHRIS DEARMON / VAN SIMPSON

ELECTRICAL ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE: 5-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO.: 3916

SHEET TITLE
CONCOURSE LEVEL PLANS - ANNOTATIONS

DRAWING NO.
A102

GRANDSTAND SEATING AISLES DESIGN INTENT:

(CONCOURSE SEATING AREA)

1. FIRST SEATING AISLES (ROW 1)
   - A. 36" TREAD
   - B. 16" RISERS
2. OTHER SEATING AISLES (ROW 2-3)
   - A. 33" TREAD THROUGHOUT
   - B. 16" RISERS THROUGHOUT
3. TOP SEATING AISLE MOUNTED DIRECTLY TO TREAD OF CONCOURSE LEVEL DECKING (ROW 11)

(PRESS BOX LEVEL SEATING AREA)

1. BOTTOM SEATING AISLES (ROW 5)
   - A. 36" TREAD
   - B. 16" RISERS
2. OTHER SEATING AISLES (ROW 6-10)
   - A. 26" TREAD THROUGHOUT
   - B. 16" RISERS THROUGHOUT
3. TOP SEATING AISLE MOUNTED DIRECTLY TO TREAD OF PRESS BOX LEVEL DECKING (ROW 11)

GRANDSTAND RAMP DESIGN INTENT:

(TYPICAL GRANDSTAND RAMPS AND LANDINGS)

1. All SLOPING RAMP WALKING SURFACES TO BE DESIGN AND INSTALLED WITH SLOPE NO GREATER THEN 1" RISE PER12" RUN (MAX 2% CROSS SLOPE IF CROSS SLOPE IS PROVIDED).
2. WIDTHS AND RUNS OF RAMPS AS SHOWN ON DIMENSION PLANS
3. LOCATIONS OF RAMPS AND LANDINGS PER PLANS
4. GRANDSTAND MANUFACTURER TO PROVIDE SLIP RESISTANT ROLLING SURFACE, ADA THRESHOLDS, ADA EXPANSION PLATE AT ALL TRANSITIONS BETWEEN GRANDSTAND ASSEMBLIES AND EXPANSION POINTS
5. TOP OF HANDRAILS GRIPPING SURFACE SET AT 36" ABOVE WALKING SURFACE
6. CONTINUOUS HANDRAILS LOCATED ON BOTH SIDES OF STAIR ASSEMBLY
7. PROVIDE TOP AND BOTTOM HANDRAIL EXTENSIONS AS REQUIRED TO MEET CODE.

GRANDSTAND STAIR AND STAIR AISLES DESIGN INTENT:

(TYPICAL GRANDSTAND STAIRS)

1. 11" TREAD WITH 1" NOSING (12" TOTAL DEPTH.)
2. 6"-7" EQUAL SIZED RISERS PER STAIR
3. STAIR WIDTHS PER ARCHITECTURAL DIMENSION PLANS
4. LOCATION OF STAIR PER PLANS
5. CONTINUOUS 1 1/2" DIAMETER HANDRAIL WITH 12" EXTENSIONS AS REQUIRED BY CODE.
6. TOP OF HANDRAILS GRIPPING SURFACE SET AT 36" ABOVE WALKING SURFACE
7. CONTINUOUS HANDRAILS LOCATED ON BOTH SIDES OF STAIR ASSEMBLY
8. PROVIDE TOP AND BOTTOM HANDRAIL EXTENSIONS AS REQUIRED TO MEET CODE
9. GRANDSTAND MANUFACTURER TO DESIGN, PROVIDE AND INSTALL THE ENTIRE STAIR ASSEMBLY

(TYPICAL GRANDSTAND STAIR AISLES)

1. STAIR AISLES (ROWS 1-4 & ROWS 5-11)
2. 11" TREAD WITH 1" NOSING (12" TOTAL DEPTH.)
3. 7" EQUAL RISERS AT ALL STAIR AISLES
4. STAIR AISLE WIDTHS PER ARCHITECTURAL DIMENSION PLANS
5. LOCATION OF STAIR AISLES PER PLANS
6. CONTINUOUS 1 1/2" DIAMETER HANDRAIL WITH 12" EXTENSIONS AS REQUIRED BY CODE.
7. TOP OF HANDRAILS GRIPPING SURFACE SET AT 36" ABOVE WALKING SURFACE
8. HANDRAILS LOCATED CENTER OF ALL STAIR AISLES
9. HANDRAILS TO BE SECURED INTO GRANDSTAND TREAD DECKING/FACE OF RISER

GRANDSTAND STRUCTURE DESIGN INTENT

1. DESIGN, FABRICATION AND INSTALLATION OF THE GRANDSTAND SHOULD BE DONE BY THE GRANDSTAND MANUFACTURER
2. GRANDSTAND STRUCTURE DEPICTED IN THESE DRAWINGS ARE STRICTLY PRELIMINARY FOR DESIGN PURPOSES. THE BID BY THE GC SHOULD BE BASED ON THE GRANDSTAND MANUFACTURER DESIGNING, FABRICATING AND INSTALLING THE GRANDSTAND BASED ON THE ARCHITECTURAL LAYOUT AND REQUIREMENTS SET FOR THE GRANDSTAND.
3. NO ADDITIONAL CHANGE ORDER OR INCREASE IN COST TO THE PROJECT SHOULD OCCUR DUE TO ANY DIFFERENCES BETWEEN THE PRELIMINARY GRANDSTAND STRUCTURAL LAYOUT AND THE DESIGNED LAYOUT BY THE GRANDSTAND MANUFACTURER.
4. STRUCTURE AND X-BRACING LAYOUT DESIGN SHOULD AVOID ALL ARCHITECTURAL ELEMENTS

GRANDSTAND MANUFACTURER & CONTRACTOR REQUIREMENTS

GRANDSTAND MANUFACTURER'S RESPONSIBILITY

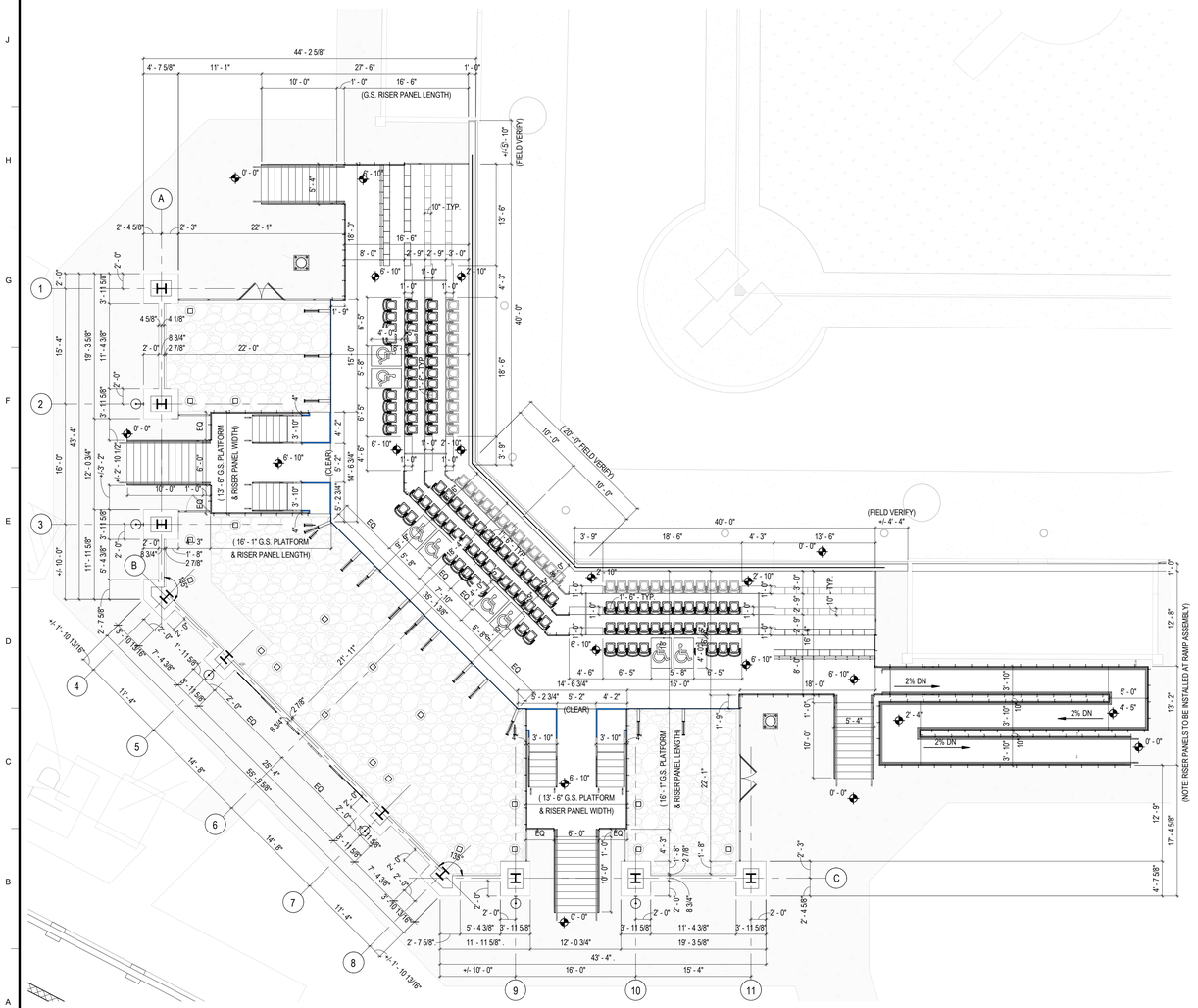
1. TO DESIGN AND INSTALL THE COMPLETE GRANDSTAND INCLUDING BUT NOT LIMITED TO THE GRANDSTAND PRESS BOX, GRANDSTAND ASSEMBLY, GRANDSTAND GALVANIZED STRUCTURE, GRANDSTAND SEATING FURNITURE, GRANDSTAND HAND RAILS, GRANDSTAND GUARD RAILS, GRANDSTAND STAIRS, GRANDSTAND RAMPS, GRANDSTAND SIGNAGE, GRANDSTAND FOUNDATIONS, GRANDSTAND FOOTINGS, ETC... **(SEE GRANDSTAND AND ARCHITECTURAL FOOTINGS COORDINATION NOTES ABOUT HOW TO DESIGN AND PRICE FOR FOOTINGS THAT WILL CONFLICT WITH ARCHITECTURAL FOOTINGS.)**
2. GRANDSTAND MANUFACTURER TO DESIGN, PROVIDE AND INSTALL A PREFABRICATED PRESS BOX - SEE THE PRESS BOX PLANS AND SPECS FOR ADDITIONAL COORDINATION, EQUIPMENT, FINISHES AND LAYOUT REQUIREMENTS.
3. DESIGN THE GRANDSTAND AND PRESS BOX TO MEET ALL APPLICABLE CODE, STRUCTURAL REQUIREMENTS, WIND LOAD REQUIREMENTS, EGRESS REQUIREMENTS, ADA REQUIREMENTS AND GUIDELINES SET FORTH IN THE PROJECT MANUAL.
4. DESIGN, COORDINATE AND INSTALL ANY STRUCTURE, FRAMING, FOOTINGS OR FOUNDATIONS REQUIRED FOR ANY RAISED PLATFORMS, VOMITORY, STAIRS AND RAMPS. ALL COLUMNS, FRAMING ELEMENTS OR PENETRATIONS THAT OCCUR AT GRADE MUST BE COORDINATED AND APPROVED WITH THE GC AND ARCHITECT THROUGH SHOP DRAWINGS PRIOR TO START OF WORK.
5. DESIGN, COORDINATE AND INSTALL A SERIES OF CONTINUOUS PREFINISH METAL CLOSURE PANELING PER THE DESCRIBED LOCATIONS IN THE ARCHITECTURAL DESIGN DOCUMENTS - COORDINATE ALL LOCATIONS IN FINAL SHOP DRAWING PRIOR TO START OF WORK.
6. COLUMN AND FOOTING LOCATIONS IN THESE DRAWINGS ARE STRICTLY PRELIMINARY AND MUST BE DESIGNED, SIZED AND LOCATED BY THE GRANDSTAND MANUFACTURER. (HOWEVER, THE GRANDSTAND MANUFACTURER MUST DESIGN THEIR COLUMNS AND STRUCTURE TO WORK WITHIN THE LIMITATIONS OF THE ARCHITECTURAL DESIGN AND NOT DISRUPT OR MODIFY THE LAYOUT OF THE GRANDSTAND OR ARCHITECTURAL STRUCTURE.)
7. SEE THE GRANDSTAND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

THE GENERAL CONTRACTOR'S RESPONSIBILITY:

1. TO COORDINATE AND INSTALL THE ADJOINING CONCRETE BACKSTOP, NETTING INSTALLATION, CONCRETE PATHS, PADS, CURBS, GRAVEL BEDDING, DRAINAGE, FENCING, GATES, ARCHITECTURAL BUILDING ELEMENTS PER THE DESIGN DOCUMENTS AND PROJECT MANUAL.
2. GC MUST FIELD VERIFY ALL UNDERGROUND PRIVATE AND PUBLIC UTILITIES PRIOR TO APPROVAL OF GRANDSTAND SHOP DRAWINGS. MODIFICATION OR ADJUSTMENTS TO GRANDSTAND STRUCTURE MAY BE REQUIRED IN THE CASE OF AN EXISTING UTILITY BEING REQUIRED TO REMAIN IN PLACE.
3. ANY CONFLICTS MUST BE COORDINATED PRIOR TO START OF NEW SITE WORK OR GRADING. BENEATH THE GRANDSTAND LOCATION OR ADJACENT ARCHITECTURAL BUILDING ELEMENTS.
4. GC TO COORDINATE AND PROVIDE DOOR HARDWARE PER THE DOOR HARDWARE SPEC FOR THE DOORS AT THE PRESS BOX.
5. SEE THE GRANDSTAND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.GRANDSTAND MANUFACTURER TO COORDINATE STAIR DESIGNS WITH THE ARCHITECT AND GC DURING SHOP DRAWINGS.
6. GENERAL CONTRACTOR TO COORDINATE ALL CONCRETE PADS AND AREAS WITH GRAVEL DRAINAGE WITH ARCHITECTURAL APPROVED GRANDSTAND SUBMITTAL PRIOR TO POURING OF CONCRETE PADS
7. GC TO SUBMIT ANY RFI'S OR COORDINATION CONFLICTS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO START OF CONCRETE PAD WORK BEGINS.

GRANDSTAND AND ARCHITECTURAL FOOTINGS COORDINATION

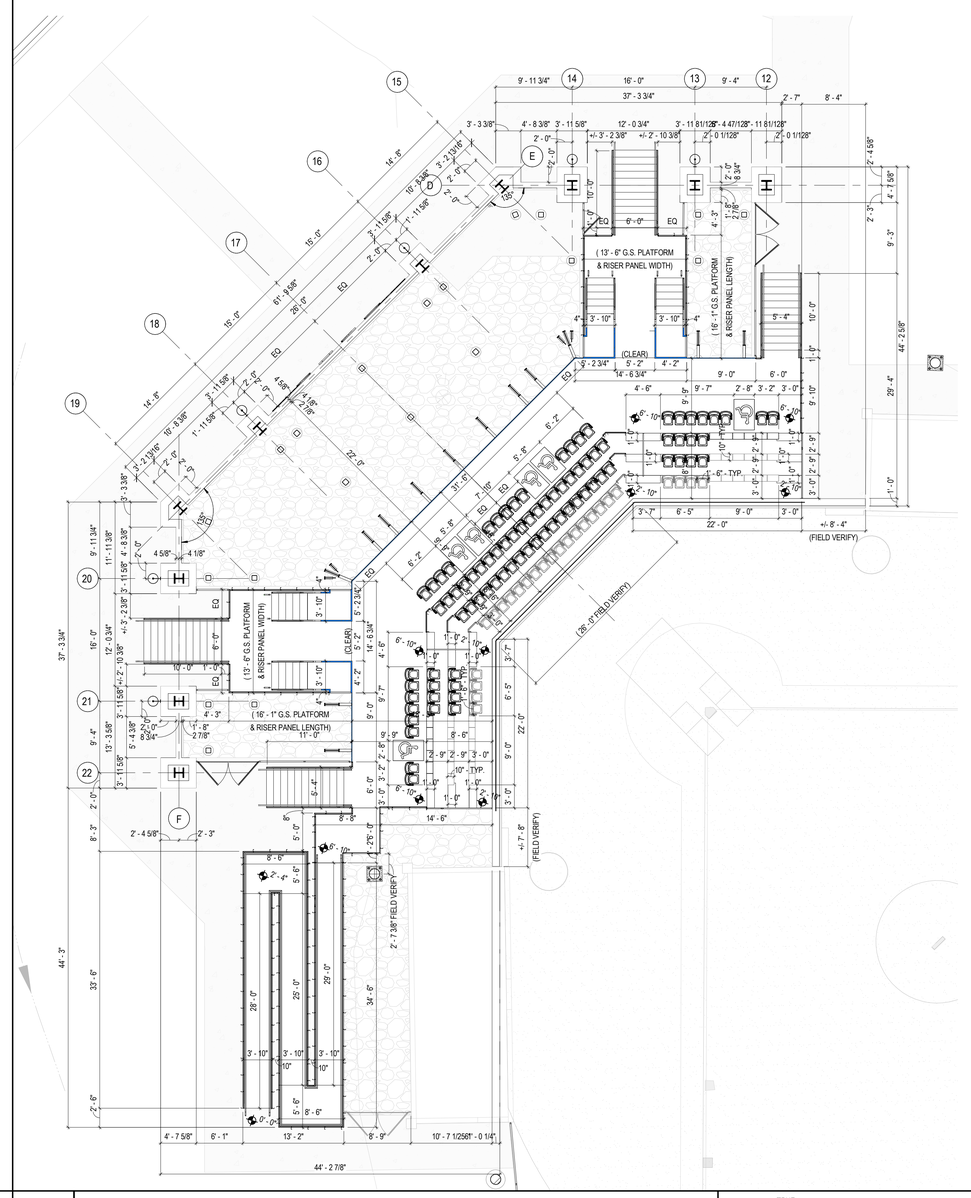
THE GRANDSTAND MANUFACTURER WILL HAVE A NUMBER OF FOOTINGS IN THE BACK COLUMN LINE OF EACH GRANDSTAND THAT WILL OVERLAP THE ARCHITECTURAL WALLS STRUCTURES FOOTINGS AND FOUNDATIONS. WHEN THIS OCCURS THE GRANDSTAND MANUFACTURER MUST PROVIDE THE REACTIONS FOR EACH COLUMN TO THE DESIGN TEAMS STRUCTURAL ENGINEER. THE ARCHITECTURAL FOUNDATION FOOTINGS WILL THEN BE MODIFIED AS NEEDED TO PROVIDE AN ADEQUATE FOOTING FOR THE GRANDSTAND COLUMNS. GRANDSTAND MANUFACTURER WILL PROVIDE ALL OTHER COLUMN FOOTINGS NOT OVERLAPPING THE ARCHITECTURAL WALLS FOUNDATION FOOTINGS. THE CHANGE IN FOOTING SIZE AND REINFORCEMENT REQUIREMENTS AT THE ARCHITECTURAL WALL SHOULD NOT COME AT AN ADDITIONAL COST POST BID. THE GC MUST INCORPORATE AN ASSUMED PRICE FOR THIS MODIFICATION OF THE FOOTING BASED ON THE GRANDSTAND MANUFACTURE AND STRUCTURAL ENGINEERS RECOMMENDATION.



A1 /A300 — **A1** — CONCOURSE LEVEL PLAN - FIELD 2 GRANDSTAND - DIMENSIONS

SCALE: 1/8" = 1'-0"

TRUE NORTH



A1 /A300 — **A11** — CONCOURSE LEVEL PLAN - FIELD 3 GRANDSTAND - DIMENSIONS

SCALE: 1/8" = 1'-0"

TRUE NORTH

STATE OF ALABAMA — DAVIS ARCHITECTS — 2413 — NEIL E. DAVIS — REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

DAVIS

OWNER
CITY OF ORANGE BEACH
PO BOX 458
ORANGE BEACH, ALABAMA 36561
251-981-69792
ATTN: KEN GRIMES, JR.

ASSOCIATE ARCHITECT
MCCOLLOUGH ARCHITECTURE
4790 MAIN ST #209,
ORANGE BEACH, AL 36561
251-968-7222
ATTN: STED MCCOLLOUGH

ARCHITECT
DAVIS ARCHITECTS, INC.
120 23RD STREET SOUTH
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205-322-7482
ATTN: JIM HARTSELL / JEFFREY MENASCO

CIVIL ENGINEER
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251-544-7900
ATTN: ERCIL E. GODWIN / DOUG CHAFFIN

STRUCTURAL ENGINEER
MBA ENGINEERS
300 20TH ST. N., SUITE 100
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205-323-6385
ATTN: KEITH OWENS / MARK BOGER

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600 AZALEA ROAD,
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251-460-4646
ATTN: CHRIS DEARMON / VAN SIMPSON

ELECTRICAL ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE: 5-04-2020

PHASE: 100% BID DOCUMENTS

ISSUED FOR:

ISSUED BY: DAVIS ARCHITECTS — PROJECT NO: 3916

SHEET TITLE

CONCOURSE LEVEL PLANS - DIMENSION

DRAWING NO.

A102D

GRANDSTAND SEATING AISLES DESIGN INTENT:

(CONCOURSE SEATING AREA)

1. FIRST SEATING AISLES (ROW 1)
   - A. 36" TREAD
   - B. 16" RISERS
2. OTHER SEATING AISLES (ROW 2-3)
   - A. 33" TREAD THROUGHOUT
   - B. 16" RISERS THROUGHOUT
3. TOP SEATING AISLE MOUNTED DIRECTLY TO TREAD OF CONCOURSE LEVEL DECKING (ROW 11)

(PRESS BOX LEVEL SEATING AREA)

1. BOTTOM SEATING AISLES (ROW 5)
   - A. 36" TREAD
   - B. 16" RISERS
2. OTHER SEATING AISLES (ROW 6-10)
   - A. 26" TREAD THROUGHOUT
   - B. 16" RISERS THROUGHOUT
3. TOP SEATING AISLE MOUNTED DIRECTLY TO TREAD OF PRESS BOX LEVEL DECKING (ROW 11)

GRANDSTAND RAMP DESIGN INTENT:

(TYPICAL GRANDSTAND RAMPS AND LANDINGS)

1. All SLOPING RAMP WALKING SURFACES TO BE DESIGN AND INSTALLED WITH SLOPE NO GREATER THEN 1" RISE PER12" RUN (MAX 2% CROSS SLOPE IF CROSS SLOPE IS PROVIDED).
2. WIDTHS AND RUNS OF RAMPS AS SHOWN ON DIMENSION PLANS
3. LOCATIONS OF RAMPS AND LANDINGS PER PLANS
4. GRANDSTAND MANUFACTURER TO PROVIDE SLIP RESISTANT ROLLING SURFACE, ADA THRESHOLDS, ADA EXPANSION PLATE AT ALL TRANSITIONS BETWEEN GRANDSTAND ASSEMBLIES AND EXPANSION POINTS
5. TOP OF HANDRAILS GRIPPING SURFACE SET AT 36" ABOVE WALKING SURFACE
6. CONTINUOUS HANDRAILS LOCATED ON BOTH SIDES OF STAIR ASSEMBLY
7. PROVIDE TOP AND BOTTOM HANDRAIL EXTENSIONS AS REQUIRED TO MEET CODE.

GRANDSTAND STAIR AND STAIR AISLES DESIGN INTENT:

(TYPICAL GRANDSTAND STAIRS)

1. 11" TREAD WITH 1" NOSING (12" TOTAL DEPTH.)
2. 6"-7" EQUAL SIZED RISERS PER STAIR
3. STAIR WIDTHS PER ARCHITECTURAL DIMENSION PLANS
4. LOCATION OF STAIR PER PLANS
5. CONTINUOUS 1 1/2" DIAMETER HANDRAIL WITH 12" EXTENSIONS AS REQUIRED BY CODE.
6. TOP OF HANDRAILS GRIPPING SURFACE SET AT 36" ABOVE WALKING SURFACE
7. CONTINUOUS HANDRAILS LOCATED ON BOTH SIDES OF STAIR ASSEMBLY
8. PROVIDE TOP AND BOTTOM HANDRAIL EXTENSIONS AS REQUIRED TO MEET CODE
9. GRANDSTAND MANUFACTURER TO DESIGN, PROVIDE AND INSTALL THE ENTIRE STAIR ASSEMBLY

(TYPICAL GRANDSTAND STAIR AISLES)

1. STAIR AISLES (ROWS 1-4 & ROWS 5-11)
2. 11" TREAD WITH 1" NOSING (12" TOTAL DEPTH.)
3. 7" EQUAL RISERS AT ALL STAIR AISLES
4. STAIR AISLE WIDTHS PER ARCHITECTURAL DIMENSION PLANS
5. LOCATION OF STAIR AISLES PER PLANS
6. CONTINUOUS 1 1/2" DIAMETER HANDRAIL WITH 12" EXTENSIONS AS REQUIRED BY CODE.
7. TOP OF HANDRAILS GRIPPING SURFACE SET AT 36" ABOVE WALKING SURFACE
8. HANDRAILS LOCATED CENTER OF ALL STAIR AISLES
9. HANDRAILS TO BE SECURED INTO GRANDSTAND TREAD DECKING/FACE OF RISER

GRANDSTAND STRUCTURE DESIGN INTENT

1. DESIGN, FABRICATION AND INSTALLATION OF THE GRANDSTAND SHOULD BE DONE BY THE GRANDSTAND MANUFACTURER
2. GRANDSTAND STRUCTURE DEPICTED IN THESE DRAWINGS ARE STRICTLY PRELIMINARY FOR DESIGN PURPOSES. THE BID BY THE GC SHOULD BE BASED ON THE GRANDSTAND MANUFACTURER DESIGNING, FABRICATING AND INSTALLING THE GRANDSTAND BASED ON THE ARCHITECTURAL LAYOUT AND REQUIREMENTS SET FOR THE GRANDSTAND.
3. NO ADDITIONAL CHANGE ORDER OR INCREASE IN COST TO THE PROJECT SHOULD OCCUR DUE TO ANY DIFFERENCES BETWEEN THE PRELIMINARY GRANDSTAND STRUCTURAL LAYOUT AND THE DESIGNED LAYOUT BY THE GRANDSTAND MANUFACTURER.
4. STRUCTURE AND X-BRACING LAYOUT DESIGN SHOULD AVOID ALL ARCHITECTURAL ELEMENTS

GRANDSTAND MANUFACTURER & CONTRACTOR REQUIREMENTS

GRANDSTAND MANUFACTURER'S RESPONSIBILITY

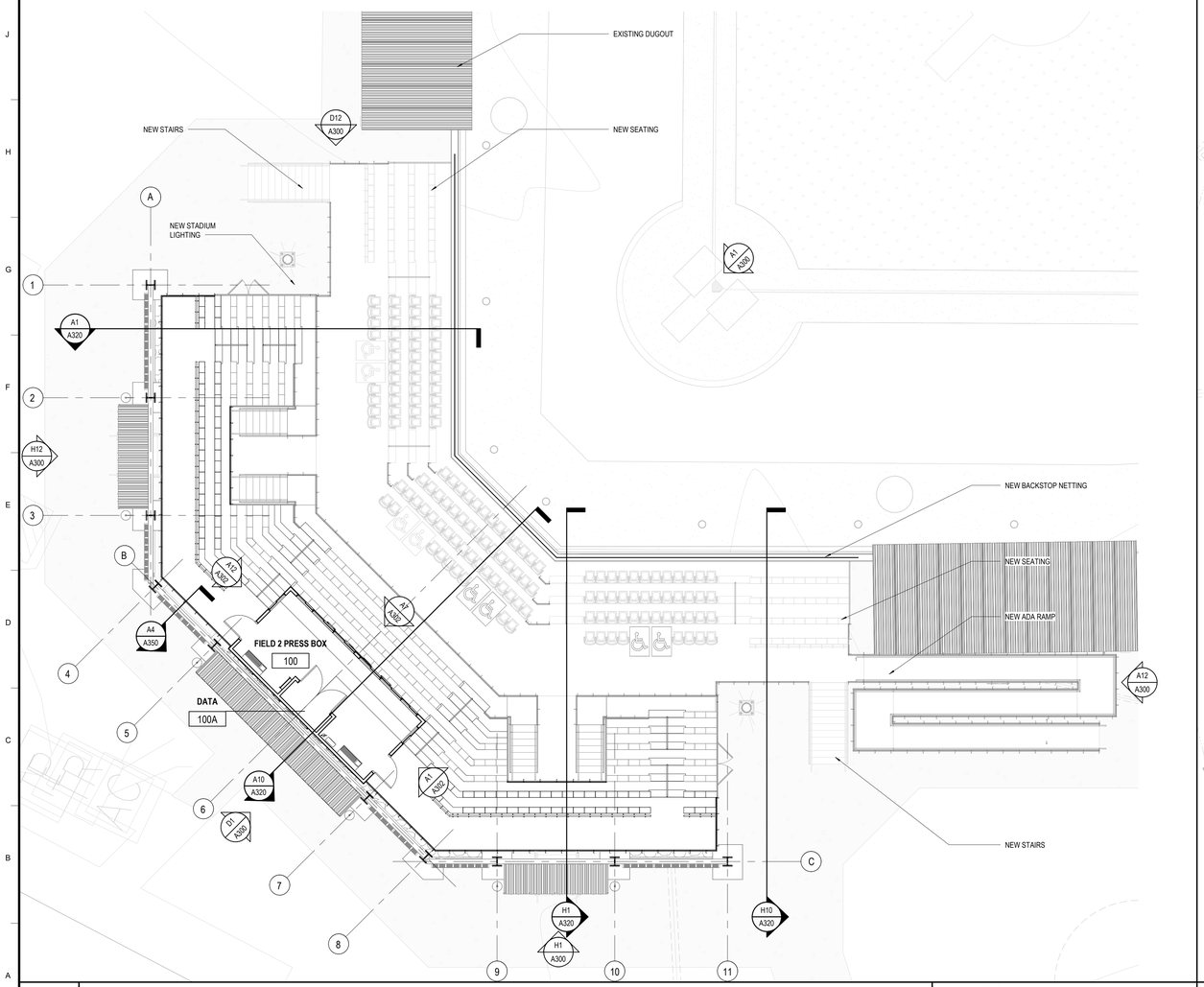
1. TO DESIGN AND INSTALL THE COMPLETE GRANDSTAND INCLUDING BUT NOT LIMITED TO THE GRANDSTAND PRESS BOX, GRANDSTAND ASSEMBLY, GRANDSTAND GALVANIZED STRUCTURE, GRANDSTAND SEATING FURNITURE, GRANDSTAND HAND RAILS, GRANDSTAND GUARD RAILS, GRANDSTAND STAIRS, GRANDSTAND RAMPS, GRANDSTAND SIGNAGE, GRANDSTAND FOUNDATIONS, GRANDSTAND FOOTINGS, ETC... **(SEE GRANDSTAND AND ARCHITECTURAL FOOTINGS COORDINATION NOTES ABOUT HOW TO DESIGN AND PRICE FOR FOOTINGS THAT WILL CONFLICT WITH ARCHITECTURAL FOOTINGS.)**
2. GRANDSTAND MANUFACTURER TO DESIGN, PROVIDE AND INSTALL A PREFABRICATED PRESS BOX - SEE THE PRESS BOX PLANS AND SPECS FOR ADDITIONAL COORDINATION, EQUIPMENT, FINISHES AND LAYOUT REQUIREMENTS.
3. DESIGN THE GRANDSTAND AND PRESS BOX TO MEET ALL APPLICABLE CODE, STRUCTURAL REQUIREMENTS, WIND LOAD REQUIREMENTS, EGRESS REQUIREMENTS, ADA REQUIREMENTS AND GUIDELINES SET FORTH IN THE PROJECT MANUAL.
4. DESIGN, COORDINATE AND INSTALL ANY STRUCTURE, FRAMING, FOOTINGS OR FOUNDATIONS REQUIRED FOR ANY RAISED PLATFORMS, VOMITORY, STAIRS AND RAMPS. ALL COLUMNS, FRAMING ELEMENTS OR PENETRATIONS THAT OCCUR AT GRADE MUST BE COORDINATED AND APPROVED WITH THE GC AND ARCHITECT THROUGH SHOP DRAWINGS PRIOR TO START OF WORK.
5. DESIGN, COORDINATE AND INSTALL A SERIES OF CONTINUOUS PREFINISH METAL CLOSURE PANELING PER THE DESCRIBED LOCATIONS IN THE ARCHITECTURAL DESIGN DOCUMENTS - COORDINATE ALL LOCATIONS IN FINAL SHOP DRAWING PRIOR TO START OF WORK.
6. COLUMN AND FOOTING LOCATIONS IN THESE DRAWINGS ARE STRICTLY PRELIMINARY AND MUST BE DESIGNED, SIZED AND LOCATED BY THE GRANDSTAND MANUFACTURER. (HOWEVER, THE GRANDSTAND MANUFACTURER MUST DESIGN THEIR COLUMNS AND STRUCTURE TO WORK WITHIN THE LIMITATIONS OF THE ARCHITECTURAL DESIGN AND NOT DISRUPT OR MODIFY THE LAYOUT OF THE GRANDSTAND OR ARCHITECTURAL STRUCTURE.)
7. SEE THE GRANDSTAND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

THE GENERAL CONTRACTOR'S RESPONSIBILITY:

1. TO COORDINATE AND INSTALL THE ADJOINING CONCRETE BACKSTOP, NETTING INSTALLATION, CONCRETE PATHS, PADS, CURBS, GRAVEL BEDDING, DRAINAGE, FENCING, GATES, ARCHITECTURAL BUILDING ELEMENTS PER THE DESIGN DOCUMENTS AND PROJECT MANUAL.
2. GC MUST FIELD VERIFY ALL UNDERGROUND PRIVATE AND PUBLIC UTILITIES PRIOR TO APPROVAL OF GRANDSTAND SHOP DRAWINGS. MODIFICATION OR ADJUSTMENTS TO GRANDSTAND STRUCTURE MAY BE REQUIRED IN THE CASE OF AN EXISTING UTILITY BEING REQUIRED TO REMAIN IN PLACE.
3. ANY CONFLICTS MUST BE COORDINATED PRIOR TO START OF NEW SITE WORK OR GRADING. BENEATH THE GRANDSTAND LOCATION OR ADJACENT ARCHITECTURAL BUILDING ELEMENTS.
4. GC TO COORDINATE AND PROVIDE DOOR HARDWARE PER THE DOOR HARDWARE SPEC FOR THE DOORS AT THE PRESS BOX.
5. SEE THE GRANDSTAND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.GRANDSTAND MANUFACTURER TO COORDINATE STAIR DESIGNS WITH THE ARCHITECT AND GC DURING SHOP DRAWINGS.
6. GENERAL CONTRACTOR TO COORDINATE ALL CONCRETE PADS AND AREAS WITH GRAVEL DRAINAGE WITH ARCHITECTURAL APPROVED GRANDSTAND SUBMITTAL PRIOR TO POURING OF CONCRETE PADS
7. GC TO SUBMIT ANY RFI'S OR COORDINATION CONFLICTS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO START OF CONCRETE PAD WORK BEGINS.

GRANDSTAND AND ARCHITECTURAL FOOTINGS COORDINATION

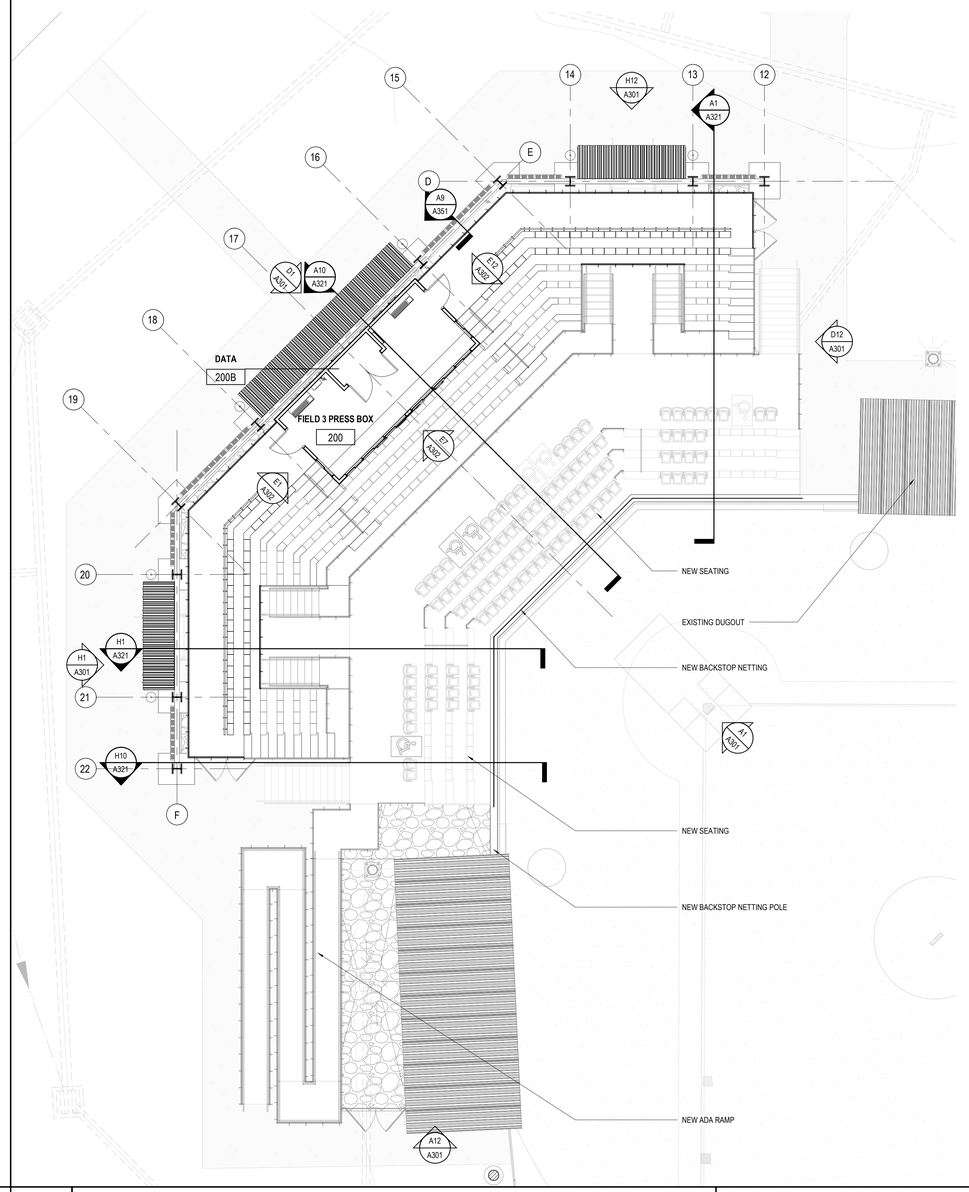
THE GRANDSTAND MANUFACTURER WILL HAVE A NUMBER OF FOOTINGS IN THE BACK COLUMN LINE OF EACH GRANDSTAND THAT WILL OVERLAP THE ARCHITECTURAL WALLS STRUCTURES FOOTINGS AND FOUNDATIONS. WHEN THIS OCCURS THE GRANDSTAND MANUFACTURER MUST PROVIDE THE REACTIONS FOR EACH COLUMN TO THE DESIGN TEAMS STRUCTURAL ENGINEER. THE ARCHITECTURAL FOUNDATION FOOTINGS WILL THEN BE MODIFIED AS NEEDED TO PROVIDE AN ADEQUATE FOOTING FOR THE GRANDSTAND COLUMNS. GRANDSTAND MANUFACTURER WILL PROVIDE ALL OTHER COLUMN FOOTINGS NOT OVERLAPPING THE ARCHITECTURAL WALLS FOUNDATION FOOTINGS. THE CHANGE IN FOOTING SIZE AND REINFORCEMENT REQUIREMENTS AT THE ARCHITECTURAL WALL SHOULD NOT COME AT AN ADDITIONAL COST POST BID. THE GC MUST INCORPORATE AN ASSUMED PRICE FOR THIS MODIFICATION OF THE FOOTING BASED ON THE GRANDSTAND MANUFACTURE AND STRUCTURAL ENGINEERS RECOMMENDATION.



A1 PRESS BOX AND UPPER SEATING PLAN- FIELD 2 GRANDSTAND - ANNOTATIONS

A1 /A300 SCALE: 1/8" = 1'-0"

TRUE NORTH 0' 4' 8' 16'



A11 PRESS BOX AND UPPER SEATING PLAN - FIELD 3 GRANDSTAND - ANNOTATIONS

A1 /A300 SCALE: 1/8" = 1'-0"

TRUE NORTH 0' 4' 8' 16'

STATE OF ALABAMA DAVIS ARCHITECTS 2413 NEIL E. DAVIS REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

DAVIS

OWNER
CITY OF ORANGE BEACH
PO BOX 458
ORANGE BEACH, ALABAMA 36561
251-981-69792
ATTN: KEN GRIMES, JR.

ASSOCIATE ARCHITECT
MCCOLLOUGH ARCHITECTURE
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ARCHITECT
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STRUCTURAL ENGINEER
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MECHANICAL / PLUMBING ENGINEER
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251-460-4646
ATTN: CHRIS DEARMON / VAN SIMPSON

ELECTRICAL ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE 5-04-2020

PHASE 100% BID DOCUMENTS

ISSUED FOR

ISSUED BY DAVIS ARCHITECTS

PROJECT NO. 3916

SHEET TITLE

PRESS BOX LEVEL AND UPPER SEATING PLANS - ANNOTATIONS

DRAWING NO.

A103

GRANDSTAND SEATING AISLES DESIGN INTENT:

(CONCOURSE SEATING AREA)

1. FIRST SEATING AISLES (ROW 1)
   - A. 36" TREAD
   - B. 16" RISERS
2. OTHER SEATING AISLES (ROW 2-3)
   - A. 33" TREAD THROUGHOUT
   - B. 16" RISERS THROUGHOUT
3. TOP SEATING AISLE MOUNTED DIRECTLY TO TREAD OF CONCOURSE LEVEL DECKING (ROW 11)

(PRESS BOX LEVEL SEATING AREA)

1. BOTTOM SEATING AISLES (ROW 5)
   - A. 36" TREAD
   - B. 16" RISERS
2. OTHER SEATING AISLES (ROW 6-10)
   - A. 26" TREAD THROUGHOUT
   - B. 16" RISERS THROUGHOUT
3. TOP SEATING AISLE MOUNTED DIRECTLY TO TREAD OF PRESS BOX LEVEL DECKING (ROW 11)

GRANDSTAND RAMP DESIGN INTENT:

(TYPICAL GRANDSTAND RAMPS AND LANDINGS)

1. All SLOPING RAMP WALKING SURFACES TO BE DESIGN AND INSTALLED WITH SLOPE NO GREATER THEN 1" RISE PER12" RUN (MAX 2% CROSS SLOPE IF CROSS SLOPE IS PROVIDED).
2. WIDTHS AND RUNS OF RAMPS AS SHOWN ON DIMENSION PLANS
3. LOCATIONS OF RAMPS AND LANDINGS PER PLANS
4. GRANDSTAND MANUFACTURER TO PROVIDE SLIP RESISTANT ROLLING SURFACE, ADA THRESHOLDS, ADA EXPANSION PLATE AT ALL TRANSITIONS BETWEEN GRANDSTAND ASSEMBLIES AND EXPANSION POINTS
5. TOP OF HANDRAILS GRIPPING SURFACE SET AT 36" ABOVE WALKING SURFACE
6. CONTINUOUS HANDRAILS LOCATED ON BOTH SIDES OF STAIR ASSEMBLY
7. PROVIDE TOP AND BOTTOM HANDRAIL EXTENSIONS AS REQUIRED TO MEET CODE.

GRANDSTAND STAIR AND STAIR AISLES DESIGN INTENT:

(TYPICAL GRANDSTAND STAIRS)

1. 11" TREAD WITH 1" NOSING (12" TOTAL DEPTH.)
2. 6"-7" EQUAL SIZED RISERS PER STAIR
3. STAIR WIDTHS PER ARCHITECTURAL DIMENSION PLANS
4. LOCATION OF STAIR PER PLANS
5. CONTINUOUS 1 1/2" DIAMETER HANDRAIL WITH 12" EXTENSIONS AS REQUIRED BY CODE.
6. TOP OF HANDRAILS GRIPPING SURFACE SET AT 36" ABOVE WALKING SURFACE
7. CONTINUOUS HANDRAILS LOCATED ON BOTH SIDES OF STAIR ASSEMBLY
8. PROVIDE TOP AND BOTTOM HANDRAIL EXTENSIONS AS REQUIRED TO MEET CODE
9. GRANDSTAND MANUFACTURER TO DESIGN, PROVIDE AND INSTALL THE ENTIRE STAIR ASSEMBLY

(TYPICAL GRANDSTAND STAIR AISLES)

1. STAIR AISLES (ROWS 1-4 & ROWS 5-11)
2. 11" TREAD WITH 1" NOSING (12" TOTAL DEPTH.)
3. 7" EQUAL RISERS AT ALL STAIR AISLES
4. STAIR AISLE WIDTHS PER ARCHITECTURAL DIMENSION PLANS
5. LOCATION OF STAIR AISLES PER PLANS
6. CONTINUOUS 1 1/2" DIAMETER HANDRAIL WITH 12" EXTENSIONS AS REQUIRED BY CODE.
7. TOP OF HANDRAILS GRIPPING SURFACE SET AT 36" ABOVE WALKING SURFACE
8. HANDRAILS LOCATED CENTER OF ALL STAIR AISLES
9. HANDRAILS TO BE SECURED INTO GRANDSTAND TREAD DECKING/FACE OF RISER

GRANDSTAND STRUCTURE DESIGN INTENT

1. DESIGN, FABRICATION AND INSTALLATION OF THE GRANDSTAND SHOULD BE DONE BY THE GRANDSTAND MANUFACTURER
2. GRANDSTAND STRUCTURE DEPICTED IN THESE DRAWINGS ARE STRICTLY PRELIMINARY FOR DESIGN PURPOSES. THE BID BY THE GC SHOULD BE BASED ON THE GRANDSTAND MANUFACTURER DESIGNING, FABRICATING AND INSTALLING THE GRANDSTAND BASED ON THE ARCHITECTURAL LAYOUT AND REQUIREMENTS SET FOR THE GRANDSTAND.
3. NO ADDITIONAL CHANGE ORDER OR INCREASE IN COST TO THE PROJECT SHOULD OCCUR DUE TO ANY DIFFERENCES BETWEEN THE PRELIMINARY GRANDSTAND STRUCTURAL LAYOUT AND THE DESIGNED LAYOUT BY THE GRANDSTAND MANUFACTURER.
4. STRUCTURE AND X-BRACING LAYOUT DESIGN SHOULD AVOID ALL ARCHITECTURAL ELEMENTS

GRANDSTAND MANUFACTURER & CONTRACTOR REQUIREMENTS

GRANDSTAND MANUFACTURER'S RESPONSIBILITY

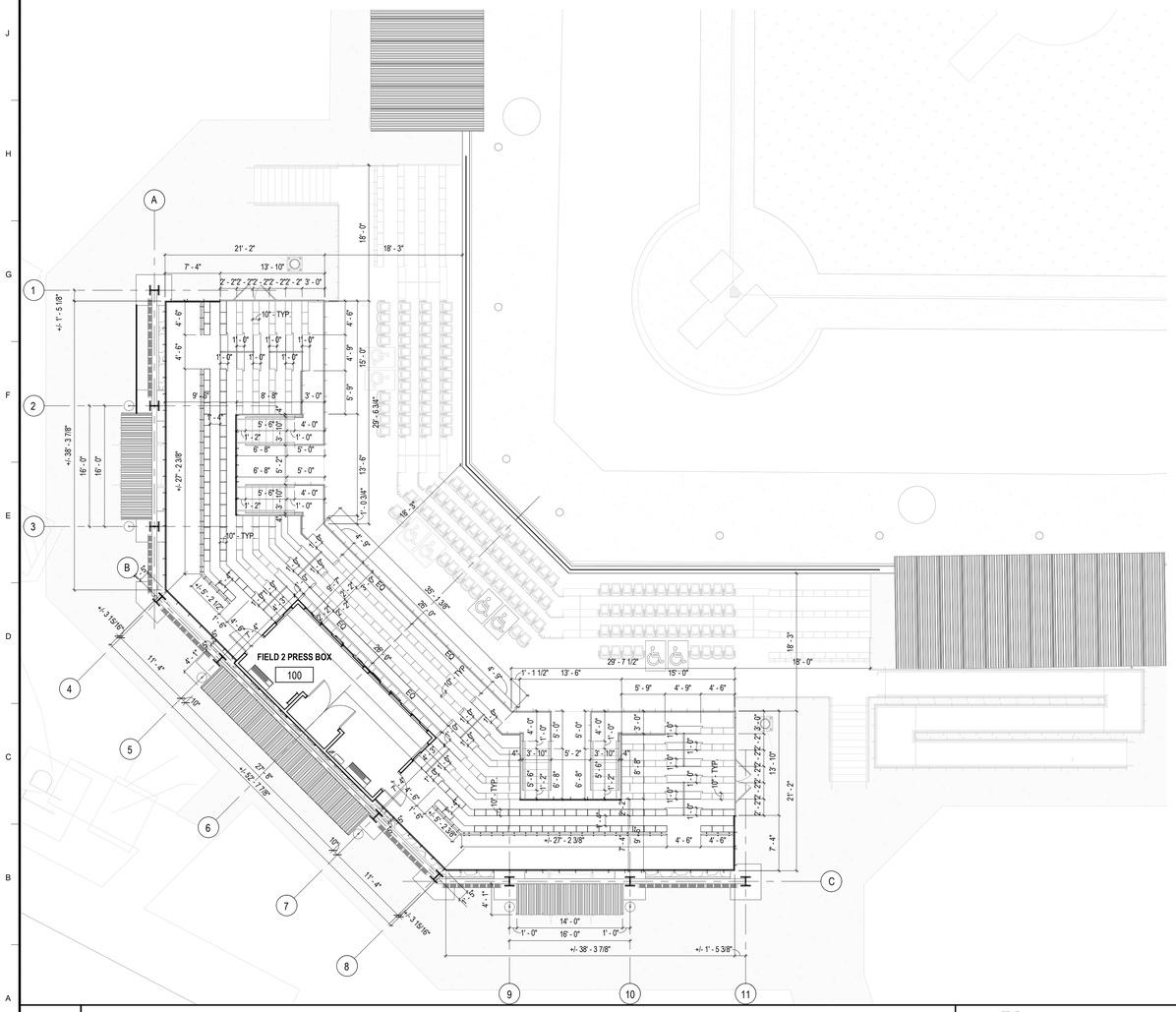
1. TO DESIGN AND INSTALL THE COMPLETE GRANDSTAND INCLUDING BUT NOT LIMITED TO THE GRANDSTAND PRESS BOX, GRANDSTAND ASSEMBLY, GRANDSTAND GALVANIZED STRUCTURE, GRANDSTAND SEATING FURNITURE, GRANDSTAND HAND RAILS, GRANDSTAND GUARD RAILS, GRANDSTAND STAIRS, GRANDSTAND RAMPS, GRANDSTAND SIGNAGE, GRANDSTAND FOUNDATIONS, GRANDSTAND FOOTINGS, ETC... **(SEE GRANDSTAND AND ARCHITECTURAL FOOTINGS COORDINATION NOTES ABOUT HOW TO DESIGN AND PRICE FOR FOOTINGS THAT WILL CONFLICT WITH ARCHITECTURAL FOOTINGS.)**
2. GRANDSTAND MANUFACTURER TO DESIGN, PROVIDE AND INSTALL A PREFABRICATED PRESS BOX - SEE THE PRESS BOX PLANS AND SPECS FOR ADDITIONAL COORDINATION, EQUIPMENT, FINISHES AND LAYOUT REQUIREMENTS.
3. DESIGN THE GRANDSTAND AND PRESS BOX TO MEET ALL APPLICABLE CODE, STRUCTURAL REQUIREMENTS, WIND LOAD REQUIREMENTS, EGRESS REQUIREMENTS, ADA REQUIREMENTS AND GUIDELINES SET FORTH IN THE PROJECT MANUAL
4. DESIGN, COORDINATE AND INSTALL ANY STRUCTURE, FRAMING, FOOTINGS OR FOUNDATIONS REQUIRED FOR ANY RAISED PLATFORMS, VOMITORY, STAIRS AND RAMPS. ALL COLUMNS, FRAMING ELEMENTS OR PENETRATIONS THAT OCCUR AT GRADE MUST BE COORDINATED AND APPROVED WITH THE GC AND ARCHITECT THROUGH SHOP DRAWINGS PRIOR TO START OF WORK.
5. DESIGN, COORDINATE AND INSTALL A SERIES OF CONTINUOUS PREFINISH METAL CLOSURE PANELING PER THE DESCRIBED LOCATIONS IN THE ARCHITECTURAL DESIGN DOCUMENTS - COORDINATE ALL LOCATIONS IN FINAL SHOP DRAWING PRIOR TO START OF WORK.
6. COLUMN AND FOOTING LOCATIONS IN THESE DRAWINGS ARE STRICTLY PRELIMINARY AND MUST BE DESIGNED, SIZED AND LOCATED BY THE GRANDSTAND MANUFACTURER. (HOWEVER, THE GRANDSTAND MANUFACTURER MUST DESIGN THEIR COLUMNS AND STRUCTURE TO WORK WITHIN THE LIMITATIONS OF THE ARCHITECTURAL DESIGN AND NOT DISRUPT OR MODIFY THE LAYOUT OF THE GRANDSTAND OR ARCHITECTURAL STRUCTURE.)
7. SEE THE GRANDSTAND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

THE GENERAL CONTRACTOR'S RESPONSIBILITY:

1. TO COORDINATE AND INSTALL THE ADJOINING CONCRETE BACKSTOP, NETTING INSTALLATION, CONCRETE PATHS, PADS, CURBS, GRAVEL BEDDING, DRAINAGE, FENCING, GATES, ARCHITECTURAL BUILDING ELEMENTS PER THE DESIGN DOCUMENTS AND PROJECT MANUAL.
2. GC MUST FIELD VERIFY ALL UNDERGROUND PRIVATE AND PUBLIC UTILITIES PRIOR TO APPROVAL OF GRANDSTAND SHOP DRAWINGS. MODIFICATION OR ADJUSTMENTS TO GRANDSTAND STRUCTURE MAY BE REQUIRED IN THE CASE OF AN EXISTING UTILITY BEING REQUIRED TO REMAIN IN PLACE.
3. ANY CONFLICTS MUST BE COORDINATED PRIOR TO START OF NEW SITE WORK OR GRADING. BENEATH THE GRANDSTAND LOCATION OR ADJACENT ARCHITECTURAL BUILDING ELEMENTS.
4. GC TO COORDINATE AND PROVIDE DOOR HARDWARE PER THE DOOR HARDWARE SPEC FOR THE DOORS AT THE PRESS BOX.
5. SEE THE GRANDSTAND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.GRANDSTAND MANUFACTURER TO COORDINATE STAIR DESIGNS WITH THE ARCHITECT AND GC DURING SHOP DRAWINGS.
6. GENERAL CONTRACTOR TO COORDINATE ALL CONCRETE PADS AND AREAS WITH GRAVEL DRAINAGE WITH ARCHITECTURAL APPROVED GRANDSTAND SUBMITTAL PRIOR TO POURING OF CONCRETE PADS
7. GC TO SUBMIT ANY RFI'S OR COORDINATION CONFLICTS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO START OF CONCRETE PAD WORK BEGINS.

GRANDSTAND AND ARCHITECTURAL FOOTINGS COORDINATION

THE GRANDSTAND MANUFACTURER WILL HAVE A NUMBER OF FOOTINGS IN THE BACK COLUMN LINE OF EACH GRANDSTAND THAT WILL OVERLAP THE ARCHITECTURAL WALLS STRUCTURES FOOTINGS AND FOUNDATIONS. WHEN THIS OCCURS THE GRANDSTAND MANUFACTURER MUST PROVIDE THE REACTIONS FOR EACH COLUMN TO THE DESIGN TEAMS STRUCTURAL ENGINEER. THE ARCHITECTURAL FOUNDATION FOOTINGS WILL THEN BE MODIFIED AS NEEDED TO PROVIDE AN ADEQUATE FOOTING FOR THE GRANDSTAND COLUMNS. GRANDSTAND MANUFACTURER WILL PROVIDE ALL OTHER COLUMN FOOTINGS NOT OVERLAPPING THE ARCHITECTURAL WALLS FOUNDATION FOOTINGS. THE CHANGE IN FOOTING SIZE AND REINFORCEMENT REQUIREMENTS AT THE ARCHITECTURAL WALL SHOULD NOT COME AT AN ADDITIONAL COST POST BID. THE GC MUST INCORPORATE AN ASSUMED PRICE FOR THIS MODIFICATION OF THE FOOTING BASED ON THE GRANDSTAND MANUFACTURE AND STRUCTURAL ENGINEERS RECOMMENDATION.



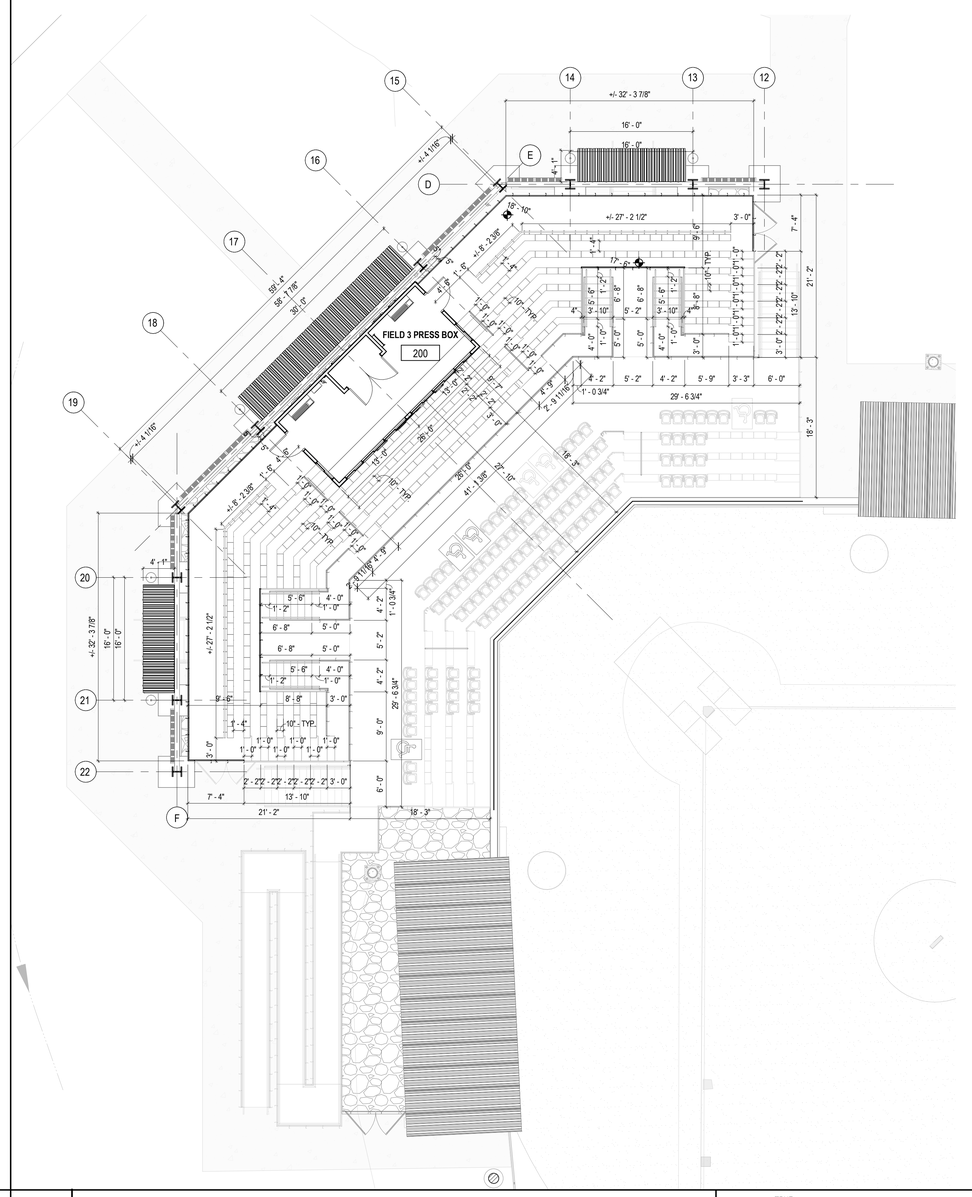
A1 — PRESS BOX AND UPPER SEATING PLAN - FIELD 2 GRANDSTAND - DIMENSIONS

A1 /A300

SCALE: 1/8" = 1'-0"

TRUE NORTH

0' 4' 8' 16'



A11 — PRESS BOX AND UPPER SEATING PLAN - FIELD 3 GRANDSTAND - DIMENSIONS

A11 /A300

SCALE: 1/8" = 1'-0"

TRUE NORTH

0' 4' 8' 16'

STATE OF ALABAMA — DAVIS ARCHITECTS — 2413 — NEIL E. DAVIS — REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

DAVIS

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ATTN: KEN GRIMES, JR.

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251-968-7222
ATTN: STED MCCOLLOUGH

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251-460-4646
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ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE: 5-04-2020

PHASE: 100% BID DOCUMENTS

ISSUED FOR

ISSUED BY: DAVIS ARCHITECTS — PROJECT NO: 3916

SHEET TITLE

PRESS BOX LEVEL AND UPPER SEATING PLANS - DIMENSION

DRAWING NO.

A103D

ROOFING LEGEND

PRE-ENGINEERED ROOFING SYSTEM @ PRESS BOX (ALTERNATE 2)
REINFORCED SKID AND SPIKE RESISTANT PVC MEMBRANE FULLY ADHERED ON 3/4" ROOF DECK SHEATHING ON 2 X 8 WOOD JOIST @ 16" O.C. ON R-19 INSULATION WITH VAPOR BARRIER ON 5/8" GYPSUM CEILING BOARD.

PRE-FABRICATED METAL ROOF PANELS @ STEEL CANOPIES
BASIS OF DESIGN: SSR SUPERLOK WITH FLASHING, TRIM, DRIP EDGE ON GALVANIZED METAL DECK ON PAINTED METAL HSS STRUCTURAL FRAMING - METAL ROOF INSTALLER TO PROVIDE CLOSURE AND DRAINAGE TRIM AS NEEDED AT PERIMETER OF CANOPY - SEE DETAILS, SEE STRUCTURAL AND SEE METAL ROOF PANEL SPEC.

FABRIC CANOPY COLOR 1 (ALTERNATE 1)
BASIS OF DESIGN: ALNET - FABRIC CANOPY TO BE INSTALLED AND SECURED WITHIN ARCHITECTURAL CANOPY STEEL FRAMING - FIELD VERIFY DIMENSIONS OF FRAMING AND PROVIDE SHOP DRAWING WITH LAYOUT AND COMPLETED ASSEMBLY FOR ARCHITECTURAL REVIEW PRIOR TO FABRICATION OF FABRIC CANOPY - FABRIC COLOR: TRUE BLUE - SEE FABRIC STRUCTURES SPEC FOR ADDITIONAL REQUIREMENTS

FABRIC CANOPY COLOR 2 (ALTERNATE 1)
BASIS OF DESIGN: ALNET - FABRIC CANOPY TO BE INSTALLED AND SECURED WITHIN ARCHITECTURAL CANOPY STEEL FRAMING - FIELD VERIFY DIMENSIONS OF FRAMING AND PROVIDE SHOP DRAWING WITH LAYOUT AND COMPLETED ASSEMBLY FOR ARCHITECTURAL REVIEW PRIOR TO FABRICATION OF FABRIC CANOPY - FABRIC COLOR: CREAM - SEE FABRIC STRUCTURES SPEC FOR ADDITIONAL REQUIREMENTS

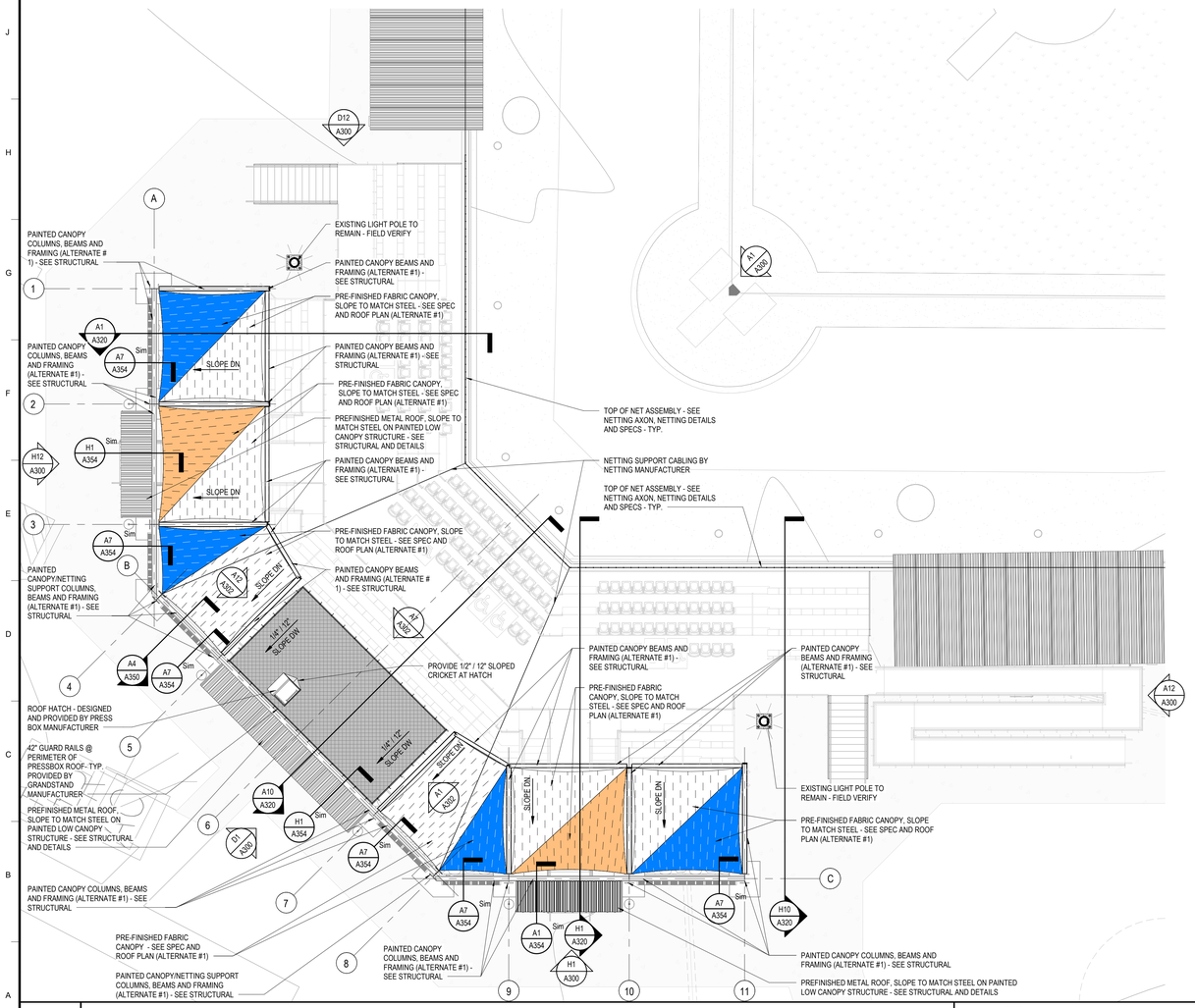
FABRIC CANOPY COLOR 3 (ALTERNATE 1)
BASIS OF DESIGN: ALNET - FABRIC CANOPY TO BE INSTALLED AND SECURED WITHIN ARCHITECTURAL CANOPY STEEL FRAMING - FIELD VERIFY DIMENSIONS OF FRAMING AND PROVIDE SHOP DRAWING WITH LAYOUT AND COMPLETED ASSEMBLY FOR ARCHITECTURAL REVIEW PRIOR TO FABRICATION OF FABRIC CANOPY - FABRIC COLOR: SUNBLAZE - SEE FABRIC STRUCTURES SPEC FOR ADDITIONAL REQUIREMENTS

ROOFING LEGEND NOTES

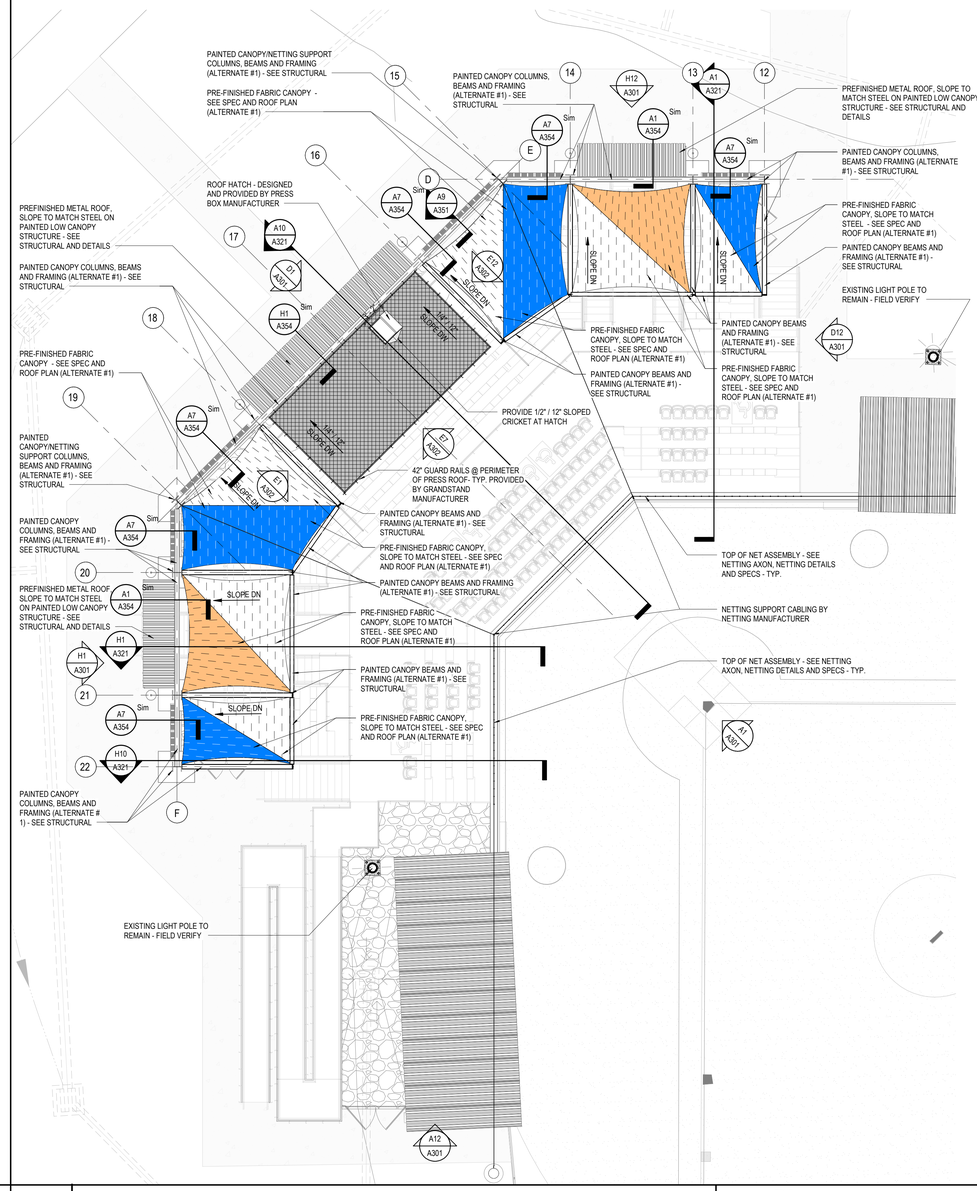
ROOF NOTES:
- GC TO INCLUDE DESIGNED FLASHING CONDITIONS WHERE ROOF FLASHING JOINS TO PEMB EXTERIOR WALL PANEL PRIOR TO APPROVAL OF PEMB SHOP DRAWING.
- GC IS ALSO RESPONSIBLE FOR COORDINATING ALL PENETRATIONS BY OTHER DISCIPLINE WORKS AND PRODUCTS WITH THE PEMB MANUFACTURER PRIOR TO SUBMISSION OF SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW. PEMB MANUFACTURER TO PROVIDE ALL STANDARD CONSTRUCTION DETAILS IN SHOP DRAWING SUBMITTAL FOR ARCHITECT REVIEW.
- SEE ELEVATIONS FOR ADDITIONAL BUILDING ELEMENTS NOT SEE IN ROOF PLAN THAT COORDINATE WITH ROOF

ROOF ABBREVIATIONS AND SYMBOLS

ARROW	
RTU, DAC, GC DHP,KEF, FSF	ROOF TOP MECHANICAL EQUIPMENT REQUIRING PERIODIC MAINTENANCE, SEE MECHANICAL
GT	5" GUTTER
GEJ	GUTTER EXPANSION JOINT
DS	DOWNSPOUT
BT	PAINTED CAST IRON DOWNSPOUT BOOT
UD	BOOT TO UNDERGROUND DRAINAGE
PEMB	PRE-ENGINEERED METAL BUILDING



A1 — A1 /A300
ROOF PLAN - PRESS BOX ROOF LEVEL - BASEBALL GRANDSTAND - ANNOTATIONS
SCALE: 1/8" = 1'-0"
TRUE NORTH
0' 4' 8' 16'



A11 — A1 /A300
ROOF PLAN - PRESS BOX ROOF LEVEL - SOFTBALL GRANDSTAND - ANNOTATIONS
SCALE: 1/8" = 1'-0"
TRUE NORTH
0' 4' 8' 16'

STATE OF ALABAMA — DAVIS ARCHITECTS — 2413 — NEIL E. DAVIS — REGISTERED ARCHITECT

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PHASE 100% BID DOCUMENTS
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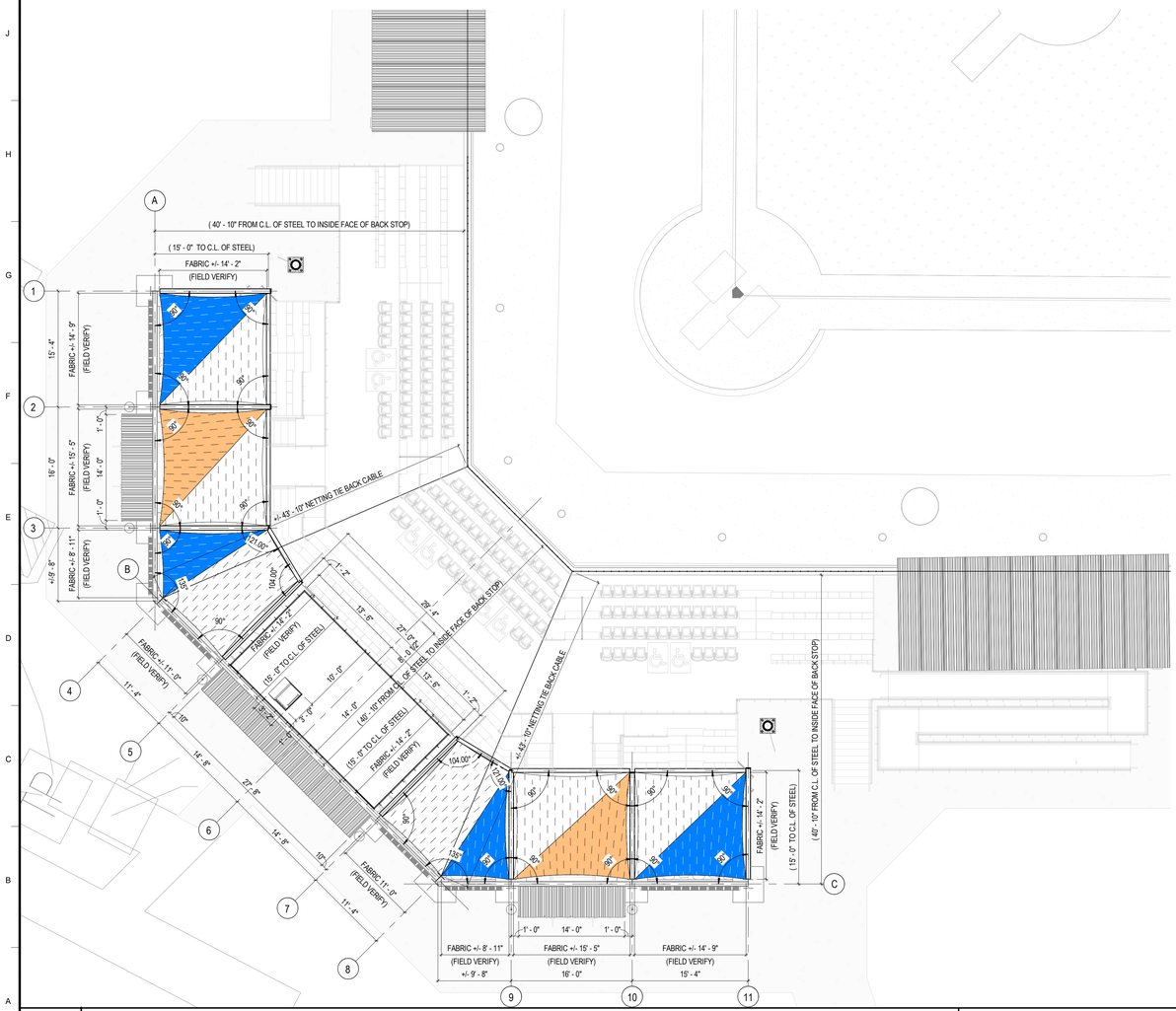
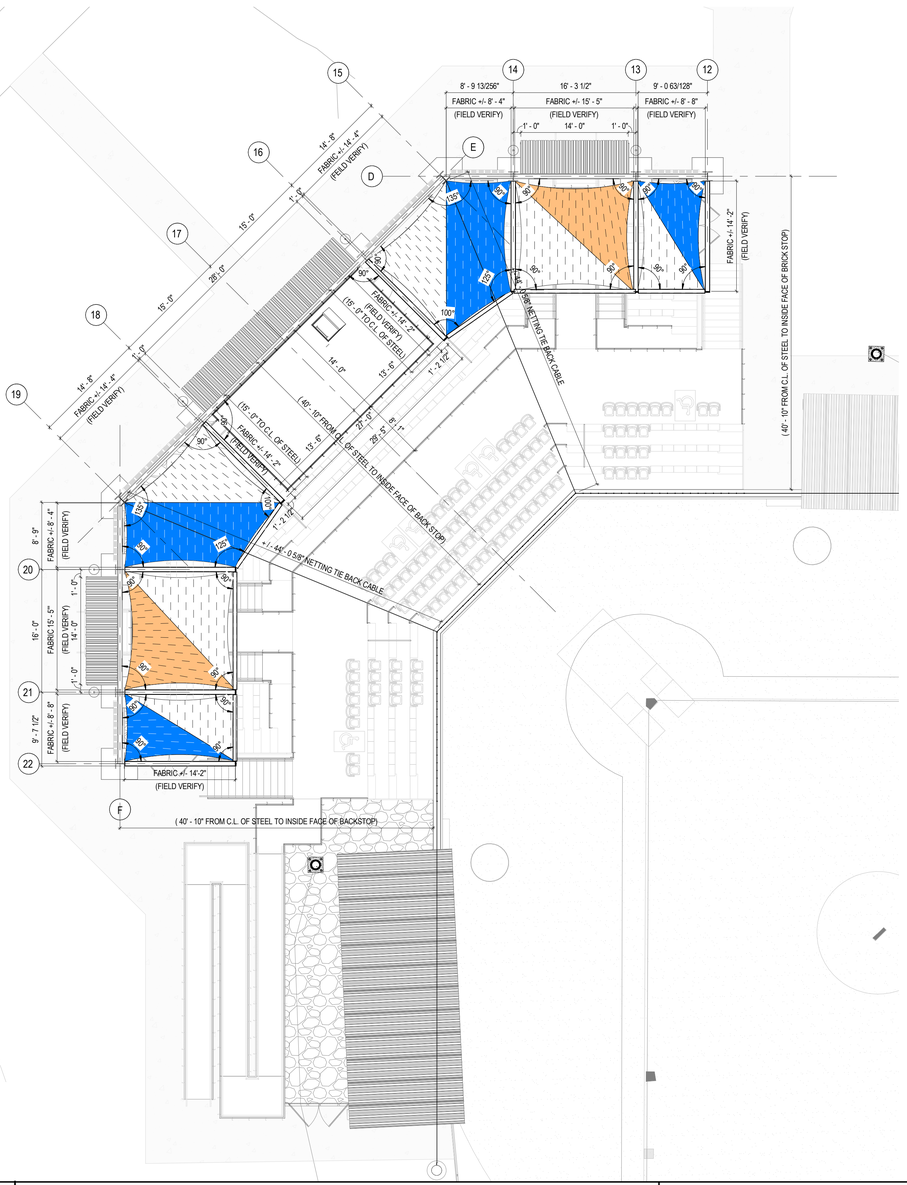
ISSUED BY DAVIS ARCHITECTS PROJECT NO. 3916

SHEET TITLE
ROOF AND CANOPY PLANS - ANNOTATIONS

DRAWING NO.
A104





A1	PRESS BOX ROOF AND CANOPY PLAN - FIELD 2 GRANDSTAND - DIMENSIONS	TRUE NORTH
A1 /A300	SCALE: 1/8" = 1'-0"	0' 4' 8' 16'

A11	PRESS BOX ROOF AND CANOPY PLAN - FIELD 3 GRANDSTAND - DIMENSIONS	TRUE NORTH
A1 /A300	SCALE: 1/8" = 1'-0"	0' 4' 8' 16'

STATE OF ALABAMA
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2413
NEIL E. DAVIS
REGISTERED ARCHITECT

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ISSUED BY: DAVIS ARCHITECTS	PROJECT NO: 3916

SHEET TITLE

ROOF AND CANOPY PLANS - DIMENSION

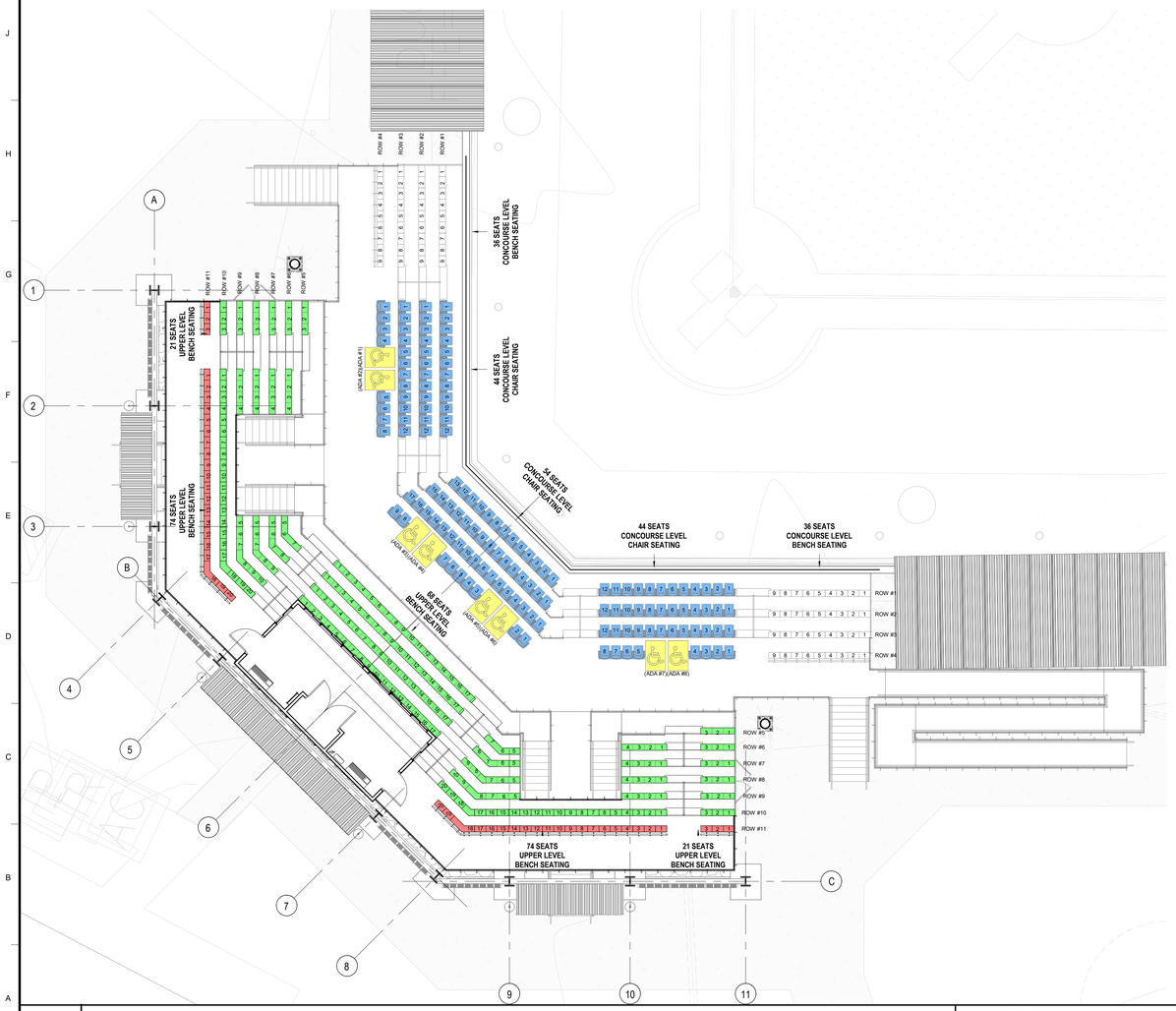
DRAWING NO.

A104D

SEATING PLAN LEGEND

- GRANDSTAND CHAIR SEAT (142 SEATS)
- GRANDSTAND BENCH SEAT (266 SEATS)
- GRANDSTAND BENCH SEAT (WITH CONTINUOUS BACK REST) (64 SEATS)
- ADA SEATING AREAS (8 SEATS)

TOTAL SEATS (480 SEATS)

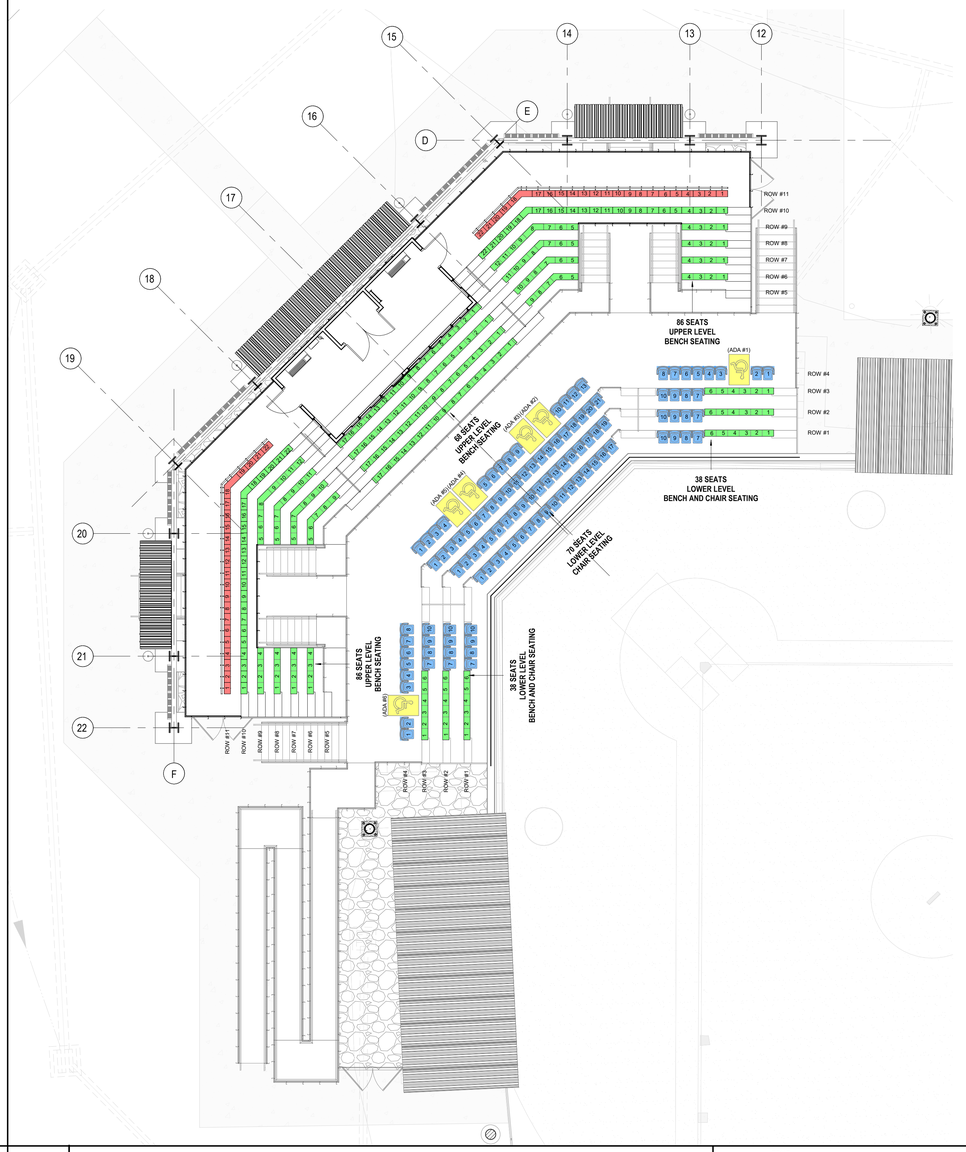


A1	SEATING PLAN - FIIELD 2 GRANDSTAND	TRUE NORTH
	SCALE: 1/8" = 1'-0"	0' 4' 8' 16'

SEATING PLAN LEGEND

- GRANDSTAND CHAIR SEAT (110 SEATS)
- GRANDSTAND BENCH SEAT (232 SEATS)
- GRANDSTAND BENCH SEAT (WITH CONTINUOUS BACK REST) (44 SEATS)
- ADA SEATING AREAS (6 SEATS)

TOTAL SEATS 392 SEATS



A11	SEATING PLAN - FIELD 3 GRANDSTAND	TRUE NORTH
A1 /A300	SCALE: 1/8" = 1'-0"	0' 4' 8' 16'

STATE OF ALABAMA
DAVIS ARCHITECTS
2413
NEIL E. DAVIS
REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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PHASE 100% BID DOCUMENTS
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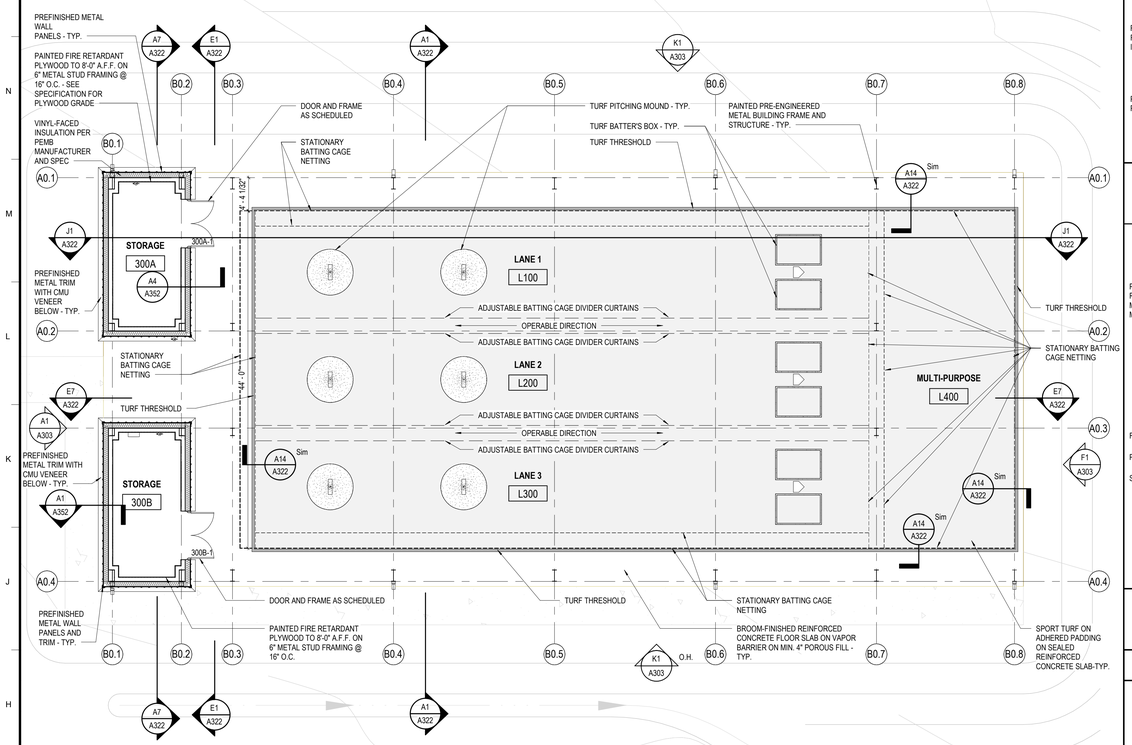
ISSUED BY DAVIS ARCHITECTS PROJECT NO. 3916

SHEET TITLE
GRANDSTAND SEATING PLANS

DRAWING NO.
A105

GENERAL NOTE: GC TO COORDINATE WITH OWNER AND DETERMINE PASSAGE LOCATIONS THROUGH NETTING AND DIVIDER CURTAINS PRIOR TO FABRICATION. MINIMUM OF TWO ENTRANCES PER LANE (L100, L200, L300, L400) AND MINIMUM OF 2 FOR MULTIPURPOSE L400

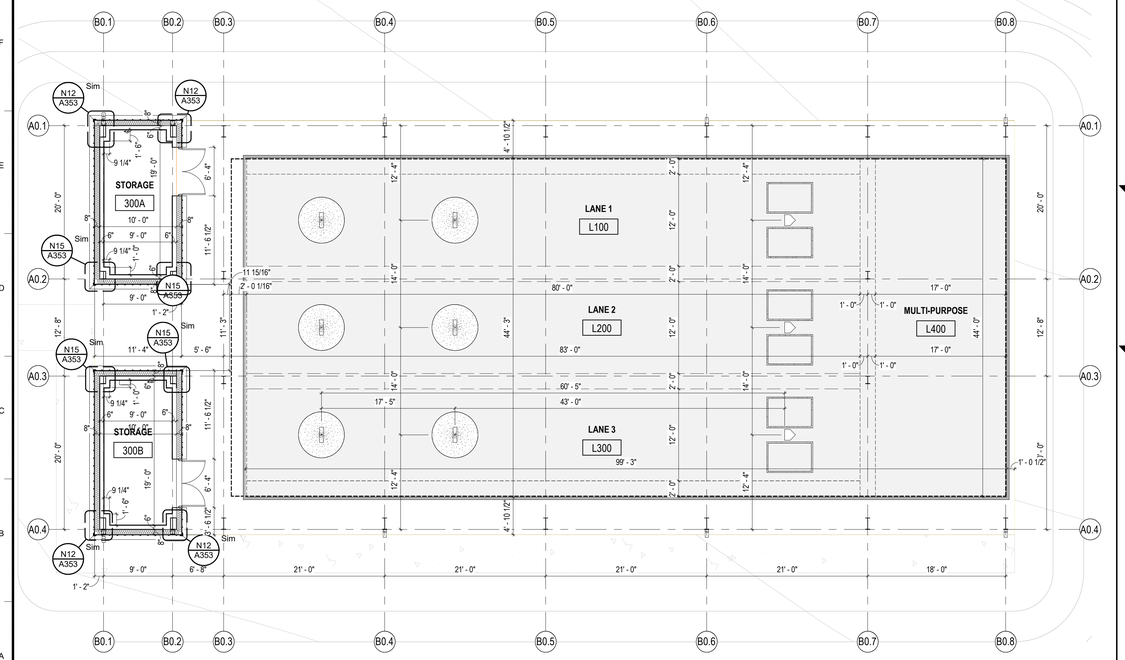


G1 — FLOOR PLAN - FIELD GRADE LEVEL - BATTING CAGE FACILITY - ANNOTATIONS

SCALE: 1/8" = 1'-0"

TRUE NORTH / PROJECT NORTH — 0' 4' 8' 16'

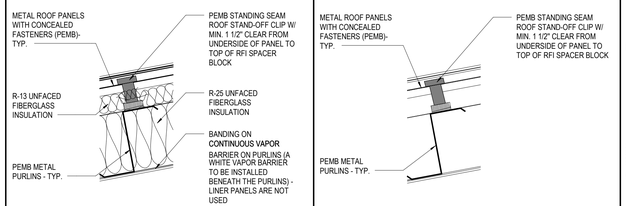
GENERAL NOTE: GC TO COORDINATE WITH OWNER AND DETERMINE PASSAGE LOCATIONS THROUGH BATTING CAGE AND DIVIDER CURTAIN NETTING PRIOR TO FABRICATION. MINIMUM OF TWO ENTRANCES PER LANE (L100, L200, L300, L400) AND MINIMUM OF 2 FOR MULTIPURPOSE L400



A1 — FLOOR PLAN - FIELD GRADE LEVEL - BATTING CAGE FACILITY - DIMENSIONS

SCALE: 1/8" = 1'-0"

TRUE NORTH / PROJECT NORTH — 0' 4' 8' 16'

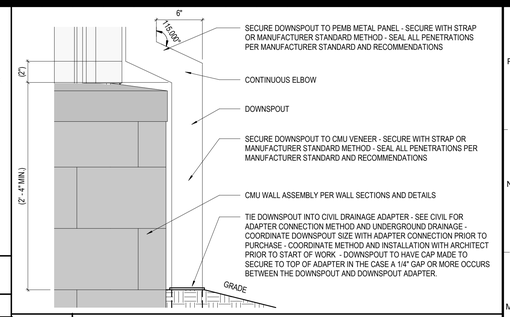


M10 — R-1 ROOF DETAIL

SCALE: 1 1/2" = 1'-0"

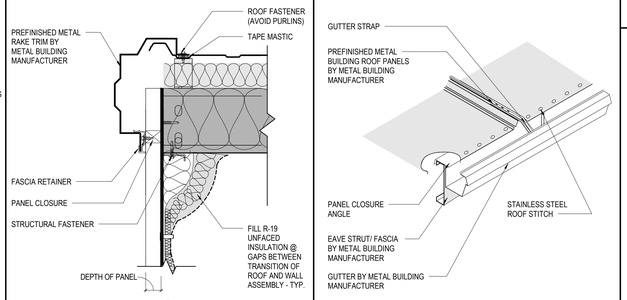
M13 — R-2 ROOF DETAIL

SCALE: 1 1/2" = 1'-0"



M15 — DOWNSPOUT @ CMU VENEER

SCALE: 1 1/2" = 1'-0"



J10 — RAKE DETAIL

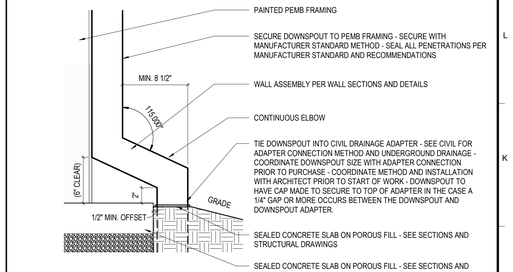
A1 /A352

SCALE: 1 1/2" = 1'-0"

J13 — GUTTER DETAIL

A11 /A352

SCALE: 12" = 1'-0"



J15 — DOWNSPOUT @ PEMB FRAME

SCALE: 1 1/2" = 1'-0"

BATTING CAGE - ROOFING LEGEND

R-1 PEMB METAL PANEL ROOFING SYSTEM

PEMB STANDING STEAM METAL ROOF WITH CONCEALED FASTENERS ON 1.5" STANDING SEAM PANEL CLIP WITH R-5 THERMAL SPACE BLOCK ON PEMB METAL PURLINS WITH BANDED LINEAR INSULATION SYSTEM. BANDED LINEAR INSULATION SYSTEM OF NOT LESS THAN A CONTINUOUS R-13 UNFACED FIBERGLASS INSULATION AND DIVIDED R-25 UNFACED FIBERGLASS INSULATION BETWEEN PURLINS WITH A CONTINUOUS VAPOR BARRIER BANDED TO THE UNDERSIDE OF PURLINS. (VAPOR BARRIER FACING COLOR TO BE WHITE) - ROOF SYSTEM TO NOT INCLUDE LINER PANELS @ INTERIOR ROOF PURLINS.

R-2 PEMB METAL PANEL ROOFING SYSTEM

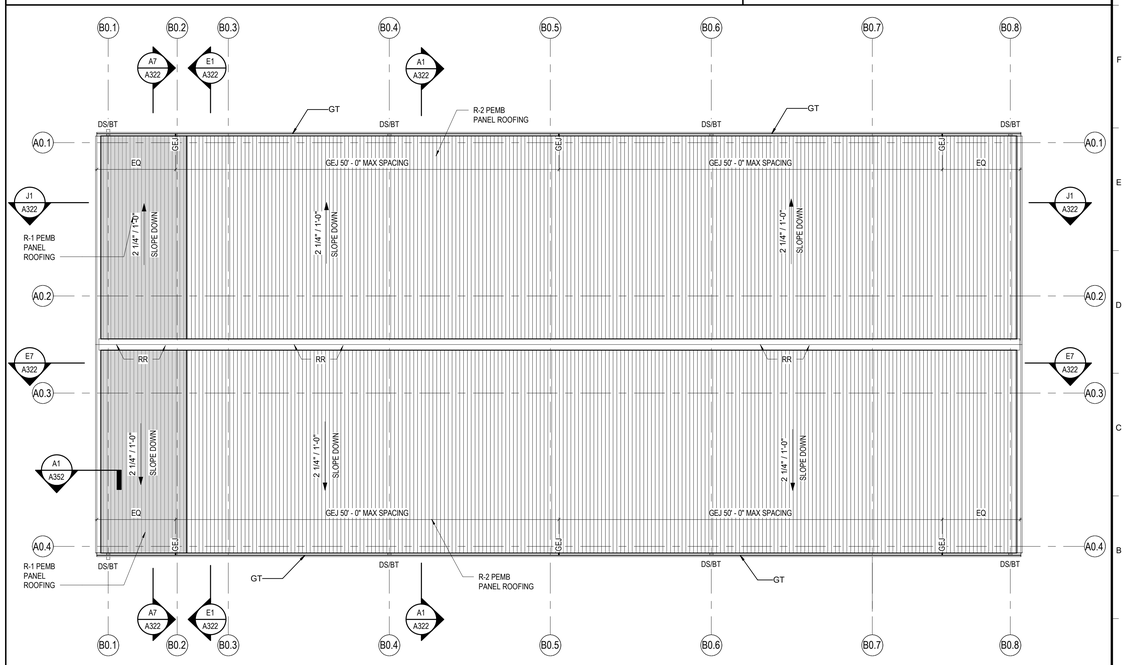
PEMB STANDING STEAM METAL ROOF WITH CONCEALED FASTENERS ON 1.5" STANDING SEAM PANEL CLIP WITH R-5 THERMAL SPACER BLOCK ON PEMB METAL PURLINS - NO INSULATION

ROOF NOTES:

- GC TO INCLUDE DESIGNED FLASHING CONDITIONS WHERE ROOF FLASHING JOINS TO PEMB EXTERIOR WALL PANEL PRIOR TO APPROVAL OF PEMB SHOP DRAWING
- GC IS ALSO RESPONSIBLE FOR COORDINATING ALL PENETRATIONS BY OTHER DISCIPLINE WORKS AND PRODUCTS WITH THE PEMB MANUFACTURER PRIOR TO SUBMISSION OF SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW. PEMB MANUFACTURER TO PROVIDE ALL STANDARD CONSTRUCTION DETAILS IN SHOP DRAWING SUBMITTAL FOR ARCHITECT REVIEW.
- SEE ELEVATIONS FOR ADDITIONAL BUILDING ELEMENTS NOT SEEN IN ROOF PLAN THAT COORDINATE WITH ROOF

ROOF ABBREVIATIONS AND SYMBOLS

→	ROOF SLOPE ARROW
RTU, DAC, GC DHP,ASF, FSF	ROOF TOP MECHANICAL EQUIPMENT REQUIRING PERIODIC MAINTENANCE, SEE MECHANICAL
GT	5" GUTTER
GEJ	GUTTER EXPANSION JOINT
RR	ROOF RIDGE
DS	DOWNSPOUT
BT	PAINTED CAST IRON DOWNSPOUT BOOT
UD	BOOT TO UNDERGROUND DRAINAGE
PEMB	PRE-ENGINEERED METAL BUILDING



A10 — ROOF PLAN

SCALE: 1/8" = 1'-0"

TRUE NORTH / PROJECT NORTH — 0' 4' 8' 16'

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ISSUED FOR:

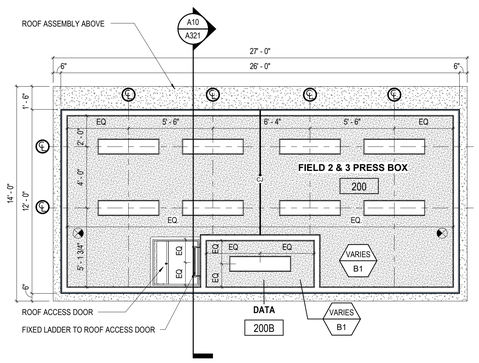
ISSUED BY: DAVIS ARCHITECTS — PROJECT NO: 3916

SHEET TITLE

FLOOR & ROOF PLANS - BATTING CAGE (ALTERNATE#2)

DRAWING NO.

A106



NOTE: THE PRESS BOX WILL BE A PREFABRICATED STRUCTURE WHERE ALL THE INTERIOR/EXTERIOR FINISHES, LIGHTING AND EQUIPMENT FOR THE PRESS BOX WILL BE DESIGNED, FABRICATED AND INSTALLED BY THE GRANDSTAND MANUFACTURER - ADDITIONAL ITEMS OF COORDINATION MUST BE MADE FOR PRESS BOX AV EQUIPMENT AND FUTURE ELECTRICAL NEEDS. THE PRESS BOX MUST BE DESIGNED AND BUILT TO MEET ALL APPLICABLE STATE ADOPTED BUILDING CODES. THE PRESS BOX MANUFACTURER AND GC WILL BE RESPONSIBLE TO COORDINATE ALL ADDITIONAL DESIGN ELEMENTS INCLUDED IN THE DESIGN DOCUMENTS AND SPECIFICATIONS.

K1 PRESS BOX FLOOR PLAN - RCP

A1 /A300 SCALE: 1/4" = 1'-0"

RCP SYMBOLS LEGEND

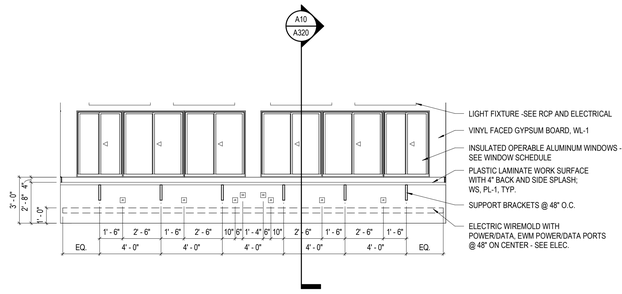
1 X 4 FIXTURE	SEE MECHANICAL & ELECTRICAL DRAWINGS FOR HVAC, LIGHTING AND OTHER ELECTRICAL DEVICES
CJ CONTROL JOINT	
EXIT SIGN, CEILING MOUNT	
9' - 4" HEIGHT ABOVE FINISH FLOOR	
B1 CEILING TYPE	

RCP GENERAL NOTES

1. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR FINAL CEILING DEVICES (I.E. LIGHT FIXTURES, HVAC GRILLS ,ETC). COORDINATE LOCATIONS WITH ARCHITECT.
2. ALL ELECTRICAL ITEMS AND LOCATIONS TO BE COORDINATED WITH ELECTRICAL DRAWINGS.
3. HEIGHTS INDICATED ARE RELATIVE TO FLOOR LEVEL WHERE CEILING TAG IS LOCATED UNLESS OTHERWISE NOTED.
4. CONTRACTOR TO PROVIDE ALL ACCESS PANELS IN REQUIRED GYPSUM BOARD CEILINGS TO COORDINATE WITH MEP. PAINT SAME COLOR AS CEILING. COORDINATE LOCATIONS AROUND LIGHTING AND MECHANICAL FIXTURES AND INDICATE ON SHOP/COORDINATION DWGS SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
5. UNLESS NOTED OTHERWISE, ALL UTILITIES (CONDUIT, WIRING, ETC.), STRUCTURE, & DUCTWORK SHALL BE PAINTED TO MATCH THE ADJACENT PAINTED SURFACE.
6. SEE FINISH LEGEND AND FFE PLANS FOR MORE INFORMATION.

RCP MATERIALS LEGEND

B1	SPRAY TEXTURED GYPSUM BOARD, PAINTED



NOTE: THE PRESS BOX WILL BE A PREFABRICATED STRUCTURE WHERE ALL THE INTERIOR/EXTERIOR FINISHES, LIGHTING AND EQUIPMENT FOR THE PRESS BOX WILL BE DESIGNED, FABRICATED AND INSTALLED BY THE GRANDSTAND MANUFACTURER - ADDITIONAL ITEMS OF COORDINATION MUST BE MADE FOR PRESS BOX AV EQUIPMENT AND FUTURE ELECTRICAL NEEDS. THE PRESS BOX MUST BE DESIGNED AND BUILT TO MEET ALL APPLICABLE STATE ADOPTED BUILDING CODES. THE PRESS BOX MANUFACTURER AND GC WILL BE RESPONSIBLE TO COORDINATE ALL ADDITIONAL DESIGN ELEMENTS INCLUDED IN THE DESIGN DOCUMENTS AND SPECIFICATIONS.

K9 PRESS BOX - NORTH ELEVATION / FE

SCALE: 1/4" = 1'-0"

FURNITURE & EQUIPMENT LEGEND

AED	AED DEFIBRILLATOR CABINET- SEE SPECS
FE(ABC)	FIRE EXTINGUISHER, TYPE ABC - SEE SPECS
HVAC	HVAC WALL UNIT - SEE SPECS
WMG	WIRE MANAGEMENT GROMMET
WS	PLASTIC LAMINATE WORKSURFACE

AV & ELECTRICAL LEGEND

AVR	AV RACK - SEE ELEC.
CAM	CAMERA - SEE ELEC.
JB	JUNCTION BOX FOR AV EQUIPMENT, JB CONDUIT RUN THROUGH WALLS AND FLOOR TO PB1 LOCATED IN DATA CLOSET - SEE ELEC.
EWM	ELECTRIC WIREMOLD W/RECEPTACLES & DATA ROUTE CONDUIT TO PB3 IN DATA CLOSET- SEE ELEC.
PB1	PULL BOX, POWER/DATA/AUDIO SUPPLY - SEE ELEC.
PB2	PULL BOX, PRESS BOX POWER AND DATA FROM EXT. - SEE ELEC.
PB3	PULL BOX, CABLING TO WIRE MOLD - SEE ELEC.
TB	FLUSH MOUNT TABLE BOX POWER A/V GROMMET - SEE ELEC.
HP	UNDER MOUNTED HEAD PHONE INPUT CONTROLLER - SEE ELEC.
SB	SCORE BOARD JUNCTION BOX FOR SCORE BOARD CONTROLLER EQUIPMENT, SB CONDUIT TO RUN THROUGH WALL AND FLOOR TO AN EXTERIOR JUNCTION BOX BENEATH PRESS BOX - SEE ELEC.
SS	SOUND SYSTEM - PA / AUDIO SPEAKERS - SEE ELEC.
SAT	SOUND SYSTEM ANTENNA - SEE ELEC.
WAP	WIRELESS AP - SEE ELECTRICAL

FFE GENERAL NOTES

OF = OWNER FURNISHED NIC = NOT IN CONTRACT

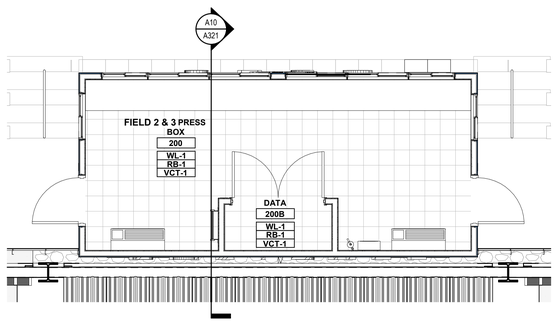
1. SEE SPECS FOR ALL MODEL NUMBERS, U.N.O.
2. ALL MARKER BOARDS TO BE MOUNTED AT 7'0" AFF TO THE TOP OF THE UNIT, UNLESS OTHERWISE NOTED.
3. ALL FURNITURE SHOWN IS NIC, U.N.O.
4. COORDINATE FINAL LOCATIONS OF EQUIPMENT WITH ARCHITECT & OWNER PRIOR TO INSTALLATIONS.
5. PROVIDE BLOCKING FOR ALL WALL-MOUNTED DEVICES INCLUDING THOSE THAT ARE NIC AND IN THE AV BID PACKAGE.
6. SEE ELECTRICAL FOR AV, FS, & OTHER ROUGH-IN REQUIREMENTS.
7. SEE INTERIOR ELEVATIONS FOR OTHER AV DEVICE LOCATIONS.
8. THE PRESS BOX WILL BE A PREFABRICATED STRUCTURE WHERE ALL THE INTERIOR/EXTERIOR LIGHTING, SIGNAGE, MILLWORK AND EQUIPMENT FOR THE PRESS BOX WILL BE DESIGNED, PRICED AND INSTALLED BY THE MANUFACTURER. THE PRESS BOX MUST MEET ALL APPLICABLE STATE ADOPTED BUILDING CODES
9. REFER TO PRESS BOX SPECIFICATIONS FOR ALL FINISHES.
10. FOR WAP EXTERIOR LOCATIONS, SEE ELECTRICAL PLANS.
11. COORDINATE AUDIO CONTROL WITH ELECTRICAL.
12. ROOF POWER OUTLETS TO BE PROVIDED AT NORTH ROOF CORNERS FOR SPECTATOR CAMERA POWER.
13. POSITION OF TABLE AV BOXES AND GROMMETS ARE PRELIMINARY AND SHOULD BE APPROVED BY THE OWNER PRIOR TO APPROVAL OF PRESS BOX SHOP DRAWING

SIGN LEGEND

ROOM NUMBER — 101 - 1 — SIGN TYPE

1 - ROOM NAME
2 - MAX. OCCUPANCY

NOTE: FINISHES FOR REFERENCE ONLY. FINISHES APPLIED BY PEMB MANUFACTURER.



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F1 PRESS BOX FLOOR PLAN - FINISH PLANS

A1 /A300 SCALE: 1/4" = 1'-0"

ROOM FINISH GUIDE

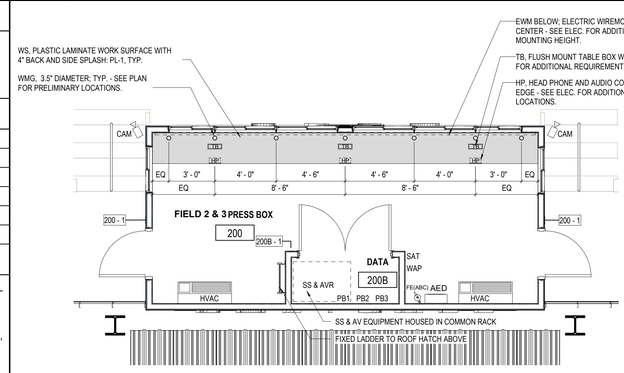
P-1	WALL FINISH
RB-1	BASE FINISH
VCT-1	FLOOR FINISH

FINISH LEGEND

WALL FINISH	
WL	WALL LAMINATE
BASE FINISH	
RB	RUBBER BASE
FLOOR FINISH	
VCT	VINYL COMPOSITION TILE

FINISH GENERAL NOTES

1. REFER TO INTERIOR ELEVATIONS FOR MORE INFORMATION ON WALL FINISHES.
2. CONCRETE SUB-FLOOR SHALL BE LEVEL WITH A MAXIMUM VARIATION FROM LEVEL OF 1/4" IN 10 FEET.
3. UNLESS OTHERWISE NOTED, ALL UTILITIES (CONDUIT, WIRING, ETC.), STRUCTURE, & DUCTWORK SHALL BE PAINTED/COLOR TO MATCH/COORDINATE WITH THE ADJACENT PAINTED SURFACE.



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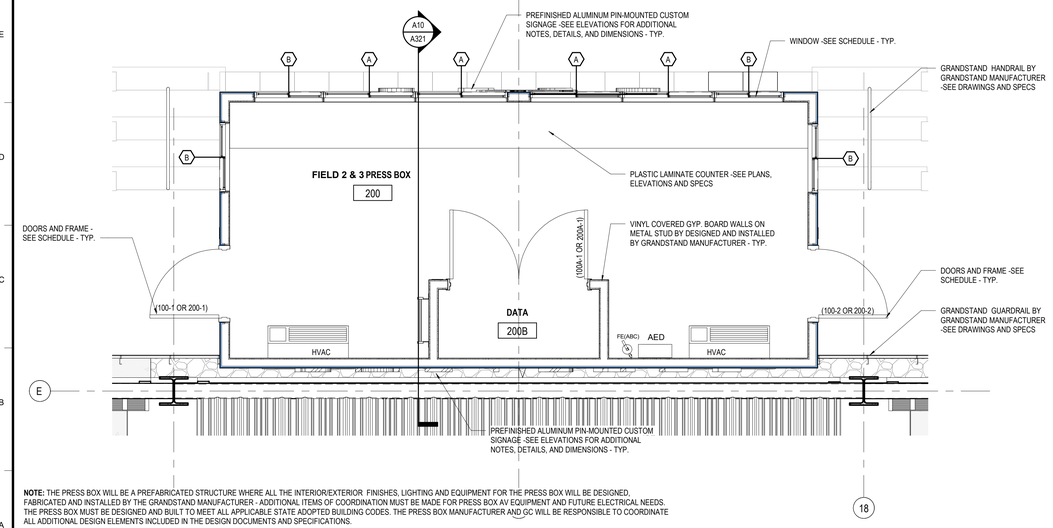
F9 PRESS BOX FLOOR PLAN - FFE

A1 /A300 SCALE: 1/4" = 1'-0"



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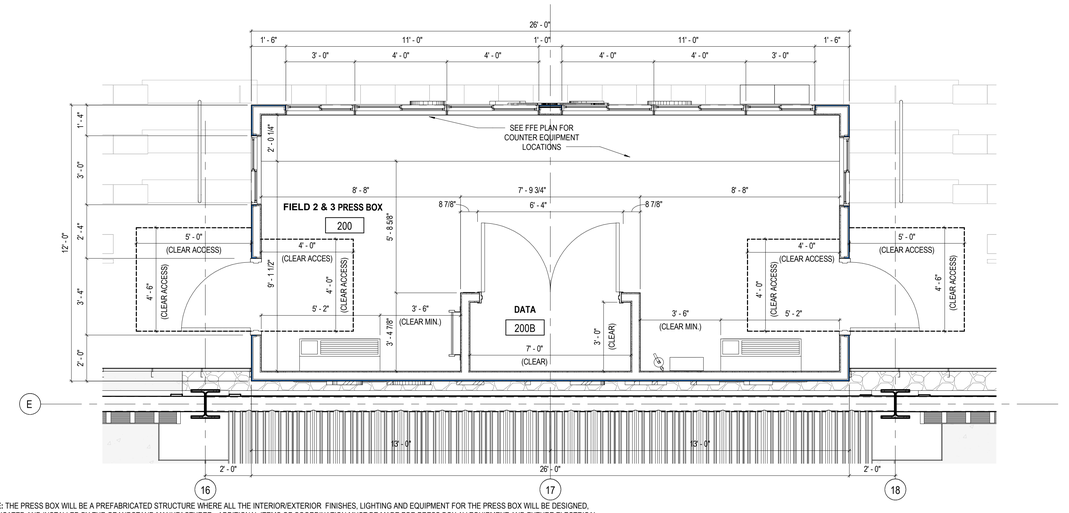
A1 PRESS BOX FLOOR PLAN - ANNOTATION

SCALE: 3/8" = 1'-0"



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A9 PRESS BOX FLOOR PLAN - DIMENSION

SCALE: 3/8" = 1'-0"

STATE OF ALABAMA
DAVIS ARCHITECTS
2413
NEIL E. DAVIS
REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ;
ORANGE BEACH, ALABAMA

DAVIS

OWNER
CITY OF ORANGE BEACH
PO BOX 458
ORANGE BEACH, ALABAMA 36561
251-981-69792
ATTN: KEN GRIMES, JR.

ASSOCIATE ARCHITECT
MCCOLLOUGH ARCHITECTURE
4780 MAIN ST #209,
ORANGE BEACH, AL 36561
251-968-7222
ATTN: STED MCCOLLOUGH

ARCHITECT
DAVIS ARCHITECTS, INC.
120 23RD STREET SOUTH
BIRMINGHAM, AL 35233
205-322-7482
ATTN: JIM HARTSELL / JEFFREY MENASCO

CIVIL ENGINEER
SAWGRASS CONSULTING, LLC
11143 OLD HIGHWAY 31
SPANISH FORT, AL 36527
251-544-7900
ATTN: ERCIL E. GODWIN / DOUG CHAFFIN

STRUCTURAL ENGINEER
MBA ENGINEERS
300 20TH ST. N., SUITE 100
BIRMINGHAM, AL 35203
205-323-6385
ATTN: KEITH OWENS / MARK BOGER

MECHANICAL / PLUMBING ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: CHRIS DEARMON / VAN SIMPSON

ELECTRICAL ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE 5-04-2020
PHASE 100% BID DOCUMENTS
ISSUED FOR
ISSUED BY DAVIS ARCHITECTS
PROJECT NO. 3916

SHEET TITLE
PRESS BOX - FFE, FINISH PLANS, RCP AND ELEVATIONS

DRAWING NO.
A221

RCP SYMBOLS LEGEND

- 2'-0" X 4'-0" FIXTURE
- 12" WALL MOUNTED DOME FIXTURE WITH ARM EXTENSION
- 8'-0" LED UTILITY FIXTURE. MOUNTED SO BOTTOM OF FIXTURE IS 15'-0" AFF.

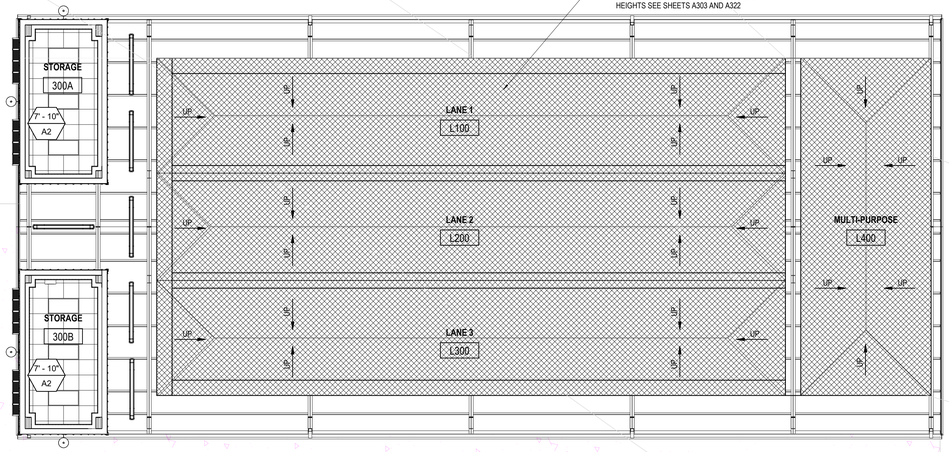
RCP MATERIALS LEGEND

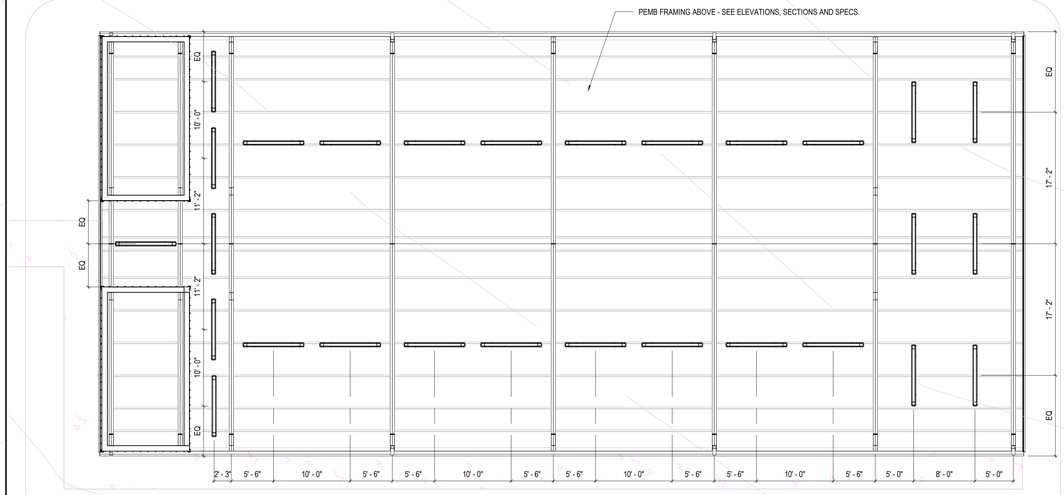
A2	2X2 LAY-IN ACOUSTICAL CEILING TILE AND GRID

9' - 4" — HEIGHT ABOVE FINISH FLOOR
B1 — CEILING TYPE

RCP GENERAL NOTES

1. SEE ELECTRICAL DRAWINGS FOR FINAL CEILING DEVICES AND ELECTRICAL ITEM LOCATIONS. COORDINATE LOCATIONS WITH ARCHITECT.
2. HEIGHTS INDICATED ARE RELATIVE TO FLOOR LEVEL WHERE CEILING TAG IS LOCATED UNLESS OTHERWISE NOTED.
3. UNLESS NOTED OTHERWISE, ALL UTILITIES (CONDUIT, WIRING, ETC.), STRUCTURE, & DUCTWORK SHALL BE PAINTED TO MATCH THE ADJACENT PAINTED SURFACE.
4. SEE FINISH LEGEND AND FFE PLANS FOR MORE INFORMATION.
5. ALL DIMENSIONS FOR LIGHT FIXTURE LOCATIONS ARE TO THE CENTER OF FIXTURE.
6. GC MUST INSTALL ADDITIONAL GALVANIZED BRACING BETWEEN PURLINS AS NEEDED TO SUPPORT SUSPENDED ELEMENTS AND FIXTURES - AT NO TIME SHOULD A FASTENER PENETRATE THE PRE-ENGINEERED ROOF DECK





G1	RCP PLAN	TRUE NORTH / PROJECT NORTH	0' 4' 8' 16'
	SCALE: 1/8" = 1'-0"		

G10	RCP PLAN @ ABOVE CAGE NETTING	TRUE NORTH / PROJECT NORTH	0' 4' 8' 16'
	SCALE: 1/8" = 1'-0"		

FURNITURE & EQUIPMENT LEGEND

AED	AED DEFIBRILLATOR - SEE SPECS
BC	BATTING CAGE: SEE A1/A106 AND SPECS
FE(ABC)	FIRE EXTINGUISHER, TYPE ABC - SEE SPECS
PP	PITCHERS PLATE, NIC
RC	RETRACTABLE DIVIDER CURTAIN NETTING: SEE A1/A106 & SPECS
RP	RUBBER PLATE, NIC

DASHED LINE INDICATES BATTING CAGE NETTING EXTENTS - SEE SPECIFICATIONS

AV & ELECTRICAL LEGEND

ASC	AUDIO SPEAKER CONTROL - SEE ELECTRICAL
AVR	AV RACK - SEE ELECTRICAL
C	CAMERA - SEE ELECTRICAL
WAP	WIRELESS AP - SEE ELECTRICAL
S	SPEAKER, WALL MTD, FLUSH 9'-0" AFF - SEE ELECTRICAL
CU	CONDENSING UNIT ON SHELF, BASE OF UNIT @ 7'-0" AFF

FFE GENERAL NOTES

OF = OWNER FURNISHED NIC = NOT IN CONTRACT

1. SEE SPECS FOR ALL MODEL NUMBERS, U.N.O.
2. COORDINATE FINAL LOCATIONS OF EQUIPMENT WITH ARCHITECT & OWNER PRIOR TO INSTALLATION.
3. PROVIDE BLOCKING FOR ALL WALL-MOUNTED DEVICES INCLUDING THOSE THAT ARE NIC.
4. SEE ELECTRICAL FOR AV, FS, & OTHER ROUGH-IN REQUIREMENTS.

SIGN LEGEND

ROOM NUMBER — 101 - 1 — SIGN TYPE
1 - ROOM NAME
2 - MAX. OCCUPANCY

FINISH LEGEND

WALL FINISH	
P	PAINT
BASE FINISH	
RB	RUBBER BASE
FLOOR FINISH	
SCF	SEALED CONCRETE FLOOR
TF	TURF FLOOR

ROOM FINISH GUIDE

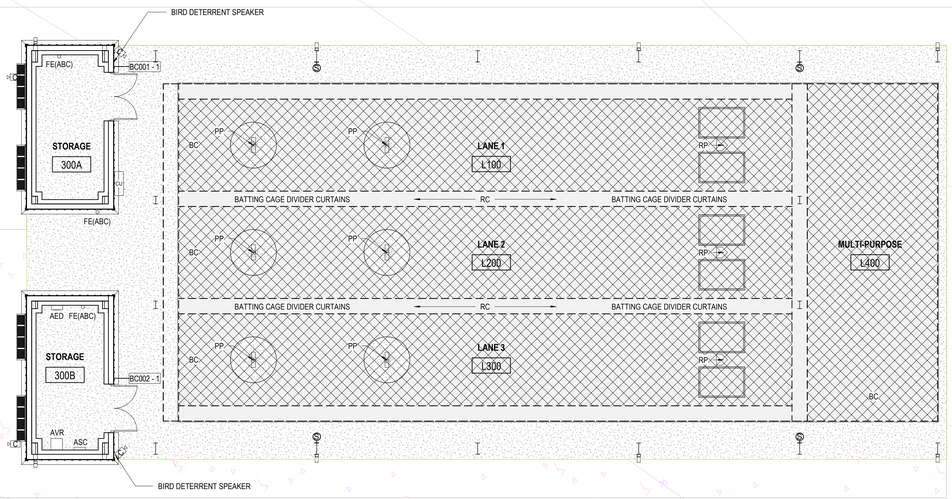
P-1 — WALL FINISH
RB-1 — BASE FINISH
VCT-1 — FLOOR FINISH

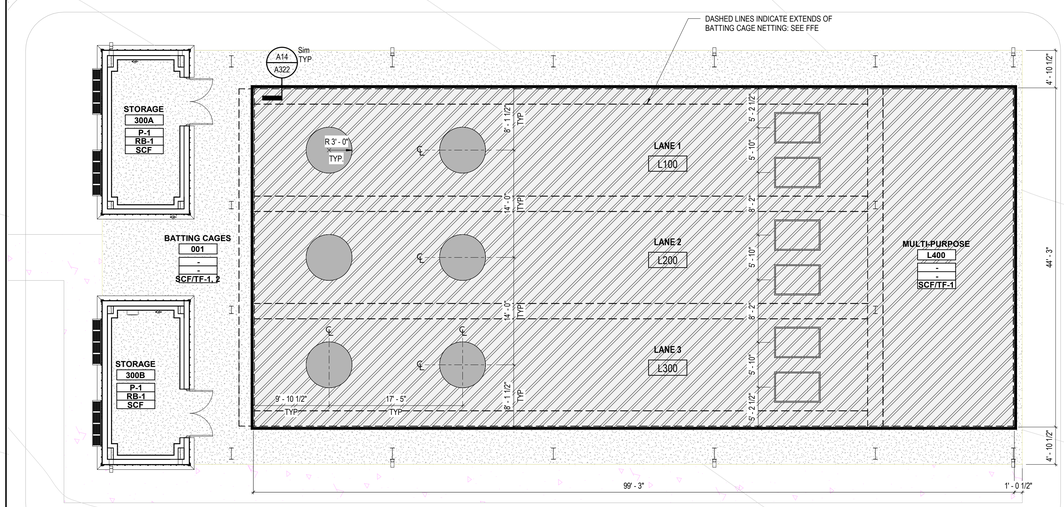
FLOOR FINISH GUIDE

TF-1 TF-2

FINISH GENERAL NOTES

1. CONCRETE SUB-FLOOR SHALL BE LEVEL WITH A MAXIMUM VARIATION FROM LEVEL OF 1/4" IN 10 FEET.
2. UNLESS OTHERWISE NOTED, ALL UTILITIES (CONDUIT, WIRING, ETC.), STRUCTURE, & DUCTWORK SHALL BE PAINTED/COLOR TO MATCH/COORDINATE WITH THE ADJACENT PAINTED SURFACE.





A1	FFE FLOOR PLAN	TRUE NORTH / PROJECT NORTH	0' 4' 8' 16'
	SCALE: 1/8" = 1'-0"		

A10	FINISH FLOOR PLAN	TRUE NORTH / PROJECT NORTH	0' 4' 8' 16'
	SCALE: 1/8" = 1'-0"		

STATE OF ALABAMA — DAVIS ARCHITECTS — 2413 — NEIL E. DAVIS — REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ;
ORANGE BEACH, ALABAMA

DAVIS

OWNER
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PO BOX 458
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ATTN: KEN GRIMES, JR.

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251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

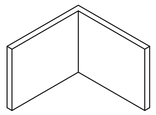
DATE: 5-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO: 3916

SHEET TITLE

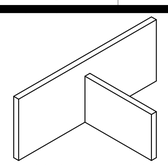
FFE PLANS, RCP PLANS AND FINISH PLANS - BATTING CAGE (ALTERNATE#2)

DRAWING NO.

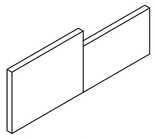
A222



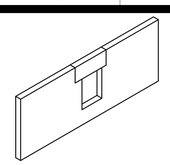
INTERSECTING AT CORNERS
PROVIDE 1/2" WIDE MASONRY EXPANSION/CONTROL JOINT AS INDICATED OR NOTED ON PLANS AND DETAILS; IN THE CASE A JOINT IS NOT DENOTED, THEN THE CMU IS JOINT LACED TOGETHER.



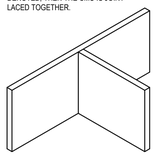
INTERSECTING AT DIFFERENT HEIGHTS
PROVIDE 1/2" WIDE MASONRY EXPANSION/CONTROL JOINT AT THIS CONDITION NOT NOTED OR SHOWN ON THE PLANS AND DETAILS.



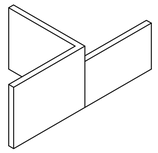
CHANGE IN WALL HEIGHT
PROVIDE 1/2" WIDE MASONRY EXPANSION/CONTROL JOINT AT THIS CONDITION IF NOT NOTED OR SHOWN ON THE PLANS AND DETAILS.



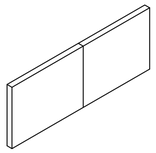
ABOVE WINDOW/WALL PENETRATION OPENINGS
PROVIDE (2) 1/2" WIDE MASONRY EXPANSION JOINTS OFF-SET AND ABOVE EACH SIDE OF OPENING. THIS CONDITION IS TYPICAL AT EACH OPENING OCCURRING IN CMU WALLS



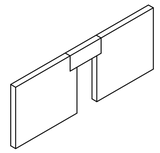
INTERSECTING AT SAME HEIGHT
PROVIDE 1/2" WIDE MASONRY EXPANSION/CONTROL JOINT AS INDICATED OR NOTED ON PLANS AND DETAILS; IN THE CASE A JOINT IS NOT DENOTED, THEN THE CMU IS JOINT LACED TOGETHER.



CORNER INTERSECTION AT DIFFERENT HEIGHTS
PROVIDE 1/2" WIDE MASONRY EXPANSION/CONTROL JOINT AT THIS CONDITION IF NOT NOTED OR SHOWN ON THE PLANS AND DETAILS.



STRAIGHT RUN WALLS
PROVIDE 1/2" WIDE MASONRY EXPANSION/CONTROL JOINT AS INDICATED OR NOTED ON PLANS AND DETAILS; IN NO CASE IS A SINGLE RUN OF CMU WALL TO EXTEND BEYOND 24 FEET WITHOUT RECEIVING A MASONRY EXPANSION/CONTROL JOINT.



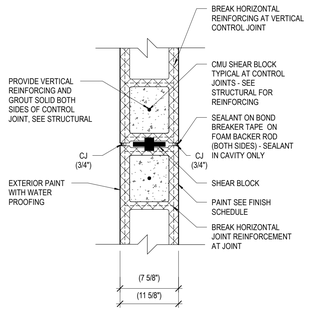
ABOVE DOOR OPENINGS
PROVIDE (2) 1/2" WIDE MASONRY EXPANSION JOINTS OFF-SET AND ABOVE EACH SIDE OF DOOR JAMB OPENING. THIS CONDITION IS TYPICAL AT EACH DOOR OR OPENING OCCURRING IN CMU WALLS

GENERAL MASONRY NOTE:

- THE ABOVE DRAWINGS REFLECT MANY OF THE CMU WALL CONDITIONS ENCOUNTERED WITHIN THIS PROJECT.
- WHILE SOME CONDITIONS ARE INDICATED WITHIN DETAILS AND/OR INDICATED ON PLANS ("C.J."), SOME OF THE CONDITIONS SHOWN ABOVE ARE TYPICAL AND ARE TO BE CONSTRUCTED AS SHOWN AND NOTED ABOVE WHEN THAT PARTICULAR CONDITION IS ENCOUNTERED.
- HORIZONTAL JOINT REINFORCING DOES NOT CONTINUE THROUGH JOINTS.
- REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCING REQUIREMENTS.
- SEE DETAILS THIS SHEET FOR TYPICAL MASONRY JOINT DETAILS.

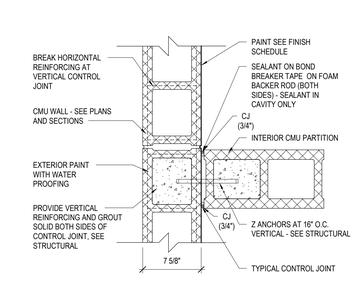
K1 / TYPICAL CMU JOINT CONDITIONS

SCALE: NTS



A1 / TYPICAL C.J. @ BEARING WALL

SCALE: 1 1/2" = 1'-0"



A4 / TYPICAL C.J. @ INT. BEARING @ CMU INTERSECTION

SCALE: 1 1/2" = 1'-0"

DOOR SCHEDULE

DOOR NO.	TYPE	DOOR WIDTH	DOOR HEIGHT	DOOR MATERIAL	DOOR FINISH	FIRE RATING	HARDWARE	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	FRAME JAMB	FRAME HEAD	COMMENTS
100-1	HMSI-1	3' - 0"	7' - 0"	HMS	PT	-	03	F1/F1	HMS	PT	BM	BM	1, 2, 3, 4, 5, 6, 8, 9, 10
100-2	HMSI-1	3' - 0"	7' - 0"	HMS	PT	-	03	F1/F1	HMS	PT	BM	BM	1, 2, 3, 4, 5, 6, 8, 9, 10
100A-1	WD-2	6' - 0"	7' - 0"	WD	ST	-	02	F1/F1	HMS	PT	BM	BM	5, 6, 8
200-1	HMSI-1	3' - 0"	7' - 0"	HMS	PT	-	03	F1/F1	HMS	PT	BM	BM	1, 2, 3, 4, 5, 7, 8, 9, 10
200-2	HMSI-1	3' - 0"	7' - 0"	HMS	PT	-	03	F1/F1	HMS	PT	BM	BM	1, 2, 3, 4, 5, 7, 8, 9, 10
200A-1	WD-2	6' - 0"	7' - 0"	WD	ST	-	02	F1/F1	HMS	PT	BM	BM	5, 7, 8
300A-1	HMSI-2	6' - 0"	7' - 0"	HMS	PT	-	01	F1/F2	HMS	PT	SIM TO HEAD	K6 / A353	2, 3, 5
300B-1	HMSI-2	6' - 0"	7' - 0"	HMS	PT	-	01	F1/F2	HMS	PT	SIM TO HEAD	K6 / A353	2, 3, 5

DOOR SCHEDULE COMMENTS

1. CLOSER(W/HOLD OPEN)
2. WIND PROJECTILE RESISTANT DOORS AND FRAME
3. KICK PLATE
4. RAIN DRIP EDGE
5. STAINLESS STEEL DOOR HARDWARE
6. FIELD 2 PRESS BOX DOOR ONLY
7. FIELD 3 PRESS BOX DOOR ONLY
8. DOOR PROVIDED BY PRESS BOX MANUFACTURER
9. INSULATED 10" X 10" DOOR LITE
10. TEMPERED GLAZING

DOOR SCHEDULE MATERIALS LEGEND

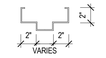
BM	DETAIL BY MANUFACTURER
HMS	HOLLOW METAL INSULATED STEEL
HMS	HOLLOW METAL STEEL
PT	PAINTED
ST	STAIN
WD	WOOD

DOOR SCHEDULE - NOTES

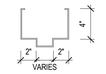
1. GENERAL CONTRACTORS MUST PROVIDE BOTH KEYS AND CYLINDER TYPES THAT MATCH THE EXISTING KEYING SYSTEM FOR THE EXISTING CAMPUS.
2. COVER AND PROTECT ALL NEW DOOR(S) AND/OR FRAME(S) THAT CONTAIN U.L. LISTING MARKER PLATES.
3. IF A U.L. LISTING MARKER IS PAINTED OVER, DAMAGED, OR REMOVED DURING CONSTRUCTION THE ENTIRE DOOR OR DOOR FRAME MUST BE REPLACED AT THE EXPENSE OF THE G.C. NOT THE OWNER. (THE INSTALLATION WILL ALSO INCLUDE ANY DEMOLITION, PATCHING, PAINTING, ETC... TO THE SURROUNDING FINISHES THAT MAY BECOME DAMAGED BY THE REMOVAL/REPLACEMENT OF THE DOOR OR DOOR FRAME.
4. THE U.L. LISTING MARKER PLATE MUST BE UNCOVERED, UNPAINTED AND VISIBLE FOR INSPECTION.
5. DOOR HARDWARE SET SCHEDULED CAN BE REFERENCED IN THE HARDWARE SPECIFICATION.
6. GATES NOT SHOWN IN FLOOR PLANS, SEE SITE PLAN AND FIELD LEVEL PLAN FOR GATE LOCATION(S)
7. GC MUST ENSURE DOORS MEET AND EXCEED LOCAL ORDINANCE REQUIREMENTS FOR COASTAL AREA PRIOR TO SUBMITTING SHOP DRAWINGS TO ARCHITECT FOR REVIEW.
8. PRESS BOX MANUFACTURER TO REFERENCE DOOR HARDWARE SPECIFICATIONS FOR OWNER REQUESTED HARDWARE.
9. PEMB MANUFACTURER TO DESIGN FRAMING AT BATTING CAGE OPENINGS SO THAT NO VISIBLE GAPS OCCUR BETWEEN EXPOSED STEEL WHERE CORNERS OCCUR OR CLIPS ARE USED.

FRAME TYPE PROFILES

(HOLLOW METAL STEEL FRAME)

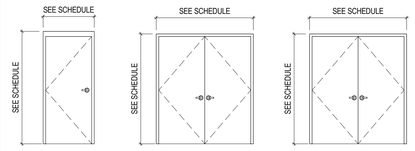


F-1

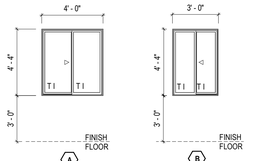


F-2

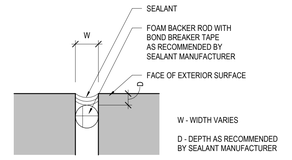
DOOR PANEL TYPE(S)



WINDOW PANEL TYPE(S)



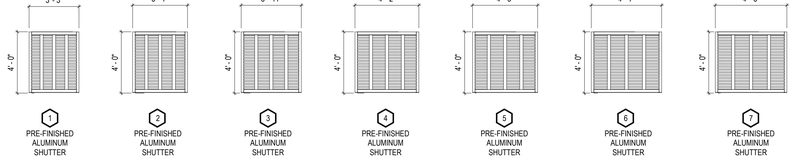
GLAZING TYPE	
T	TEMPERED
I	1" INSULATED



H16 / TYPICAL SEALANT DETAIL

SCALE: 12" = 1'-0"

BAHAMA SHUTTER SCHEDULE



BAHAMA SHUTTER GENERAL NOTES

1. BASIS OF DESIGN IS BAHAMA STYLE ALUMINUM SHUTTER BY LARSON SHUTTER COMPANY - ARCHITECT TO SELECT CUSTOM COLOR DURING SHOP DRAWINGS.
2. TOP OF ALL LOUVER ASSEMBLY TO BE INSTALLED 17' - 6" AFF TO FACE OF ARCHITECTURAL GALVANIZED PAINTED ANGLE - SEE WALL DETAILS AND SHUTTER DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
3. SHUTTERS TO BE INSTALLED AT FIXED ANGLE DETERMINED BY ARCHITECT.

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251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE: 5-04-2020

PHASE: 100% BID DOCUMENTS

ISSUED FOR:

ISSUED BY: DAVIS ARCHITECTS

PROJECT NO: 3916

SHEET TITLE

DOOR SCHEDULE, WINDOW SCHEDULE, SHUTTER SCHEDULE & DETAILS

DRAWING NO.

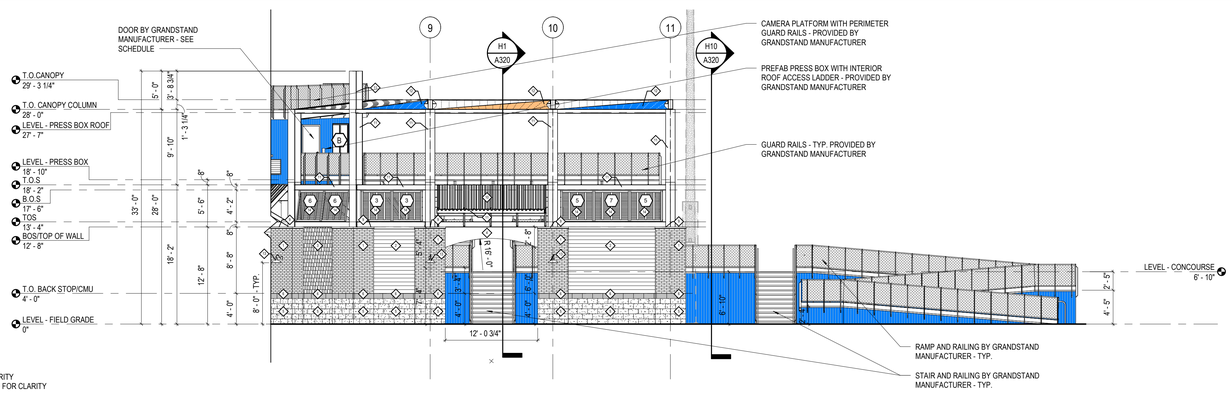
A260

LEGEND - ARCHITECTURAL EXTERIOR MATERIALS AND FABRICATIONS (EXCLUDING GRANDSTAND ELEMENTS)

MARK	PRODUCT	COLOR	COMMENTS
◇	BRICK (PAINTED)	SELECTION TBD BY ARCHITECT	
◇	LAP SIDING (PAINTED)	SELECTION TBD BY ARCHITECT	SEE GENERAL NOTE 6
◇	SHAKED STAGGERED SIDING (PAINTED)	SELECTION TBD BY ARCHITECT	
◇	PRECAST CONCRETE ARCH	SELECTION TBD BY ARCHITECT	
◇	SPLIT FACE 12" CMU (PAINTED)	REPOSE GREY SW 7015	
◇	SPLIT FACE 12" CMU (PAINTED)	DORIAN GREY SW 7017	
◇	CAST IN PLACE CONCRETE BACKSTOP		

MARK	PRODUCT	COLOR	COMMENTS
◇	EXTERIOR WALL PADDING		
◇	STEEL PLATE CAP (PAINTED)		
◇	SSR SUPER LOK (2") AND TRIM	MESCO - GALVALUME (300 STANDARD)	SEE GENERAL NOTE 4
◇	COLUMN, FRAMES & SUPPORTS	SHOP PRIMED PAINTED BRICK	
◇	CANOPY FABRIC (PAINTED)	(3 COLORS) TBD BY ARCHITECT	
◇	WALL SCONCE LIGHT FIXTURE	TBD PER MANUFACTURER SELECTION	SEE ELECTRICAL PLANS
◇	PREFINISHED ALUMINUM BAHAMA STYLE SHUTTER	LARSON SHUTTER COMPANY - WHITE	

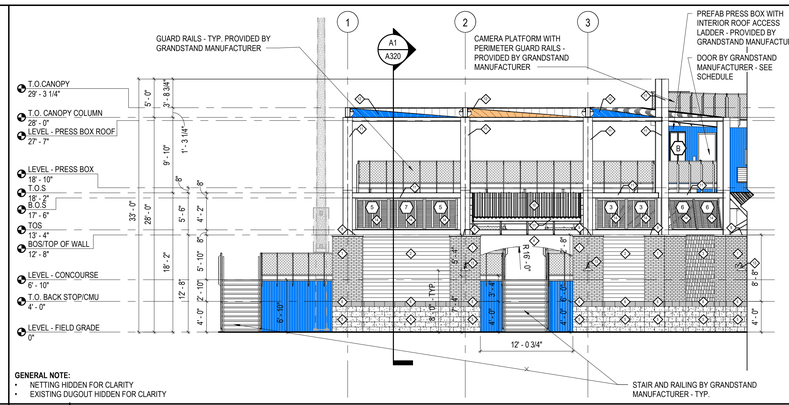
GENERAL NOTES
1. ALL FRAMED OPENINGS TRIM COLOR TO MATCH SURROUNDING METAL PANEL COLOR.
2. ALL PENETRATIONS THROUGH PEMB BUILDING BY OTHERS TO BE COORDINATED WITH THE PEMB MANUFACTURER RECOMMENDATION FOR FLASHING AND SEALING THE CONDITIONS PRIOR TO INSTALLATION. GC TO PROVIDE FLASHING AND SEAL ALL PENETRATIONS AS RECOMMENDED TO MAINTAIN A LONG LASTING WATER TIGHT FACADE AND PROPER DRAINAGE.
3. PEMB METAL PANEL TO HAVE SEMI-CONCEALED FASTENERS.
4. PEMB METAL PANEL TO BE FULLY CONCEALED AND MECHANICALLY SEAMED
5. PEMB MANUFACTURER TO PROVIDE ADDITIONAL GIRT REINFORCEMENT AND BRACING AS NEEDED (SHOWN AS DASHED WITH DIAGONAL HATCH FOR SIGNAGE - GC TO COORDINATE SIGNAGE LOCATION, STRUCTURAL REQUIREMENTS AND ATTACHMENT INFORMATION WITH THE PEMB MANUFACTURER PRIOR TO APPROVAL OF SHOP DRAWINGS.
6. SEE DOOR SCHEDULE, DETAILS, AND SPECIFICATIONS FOR ALL DOOR LOCATIONS AND MATERIALS.
7. GRANDSTAND NOTES ARE THE GENERAL NOTES OR SHOWN ON ELEVATIONS.



GENERAL NOTE:
- NETTING HIDDEN FOR CLARITY
- EXISTING DUGOUT HIDDEN FOR CLARITY

H1 FIELD 2 GRANDSTAND ELEVATION - SOUTHEAST

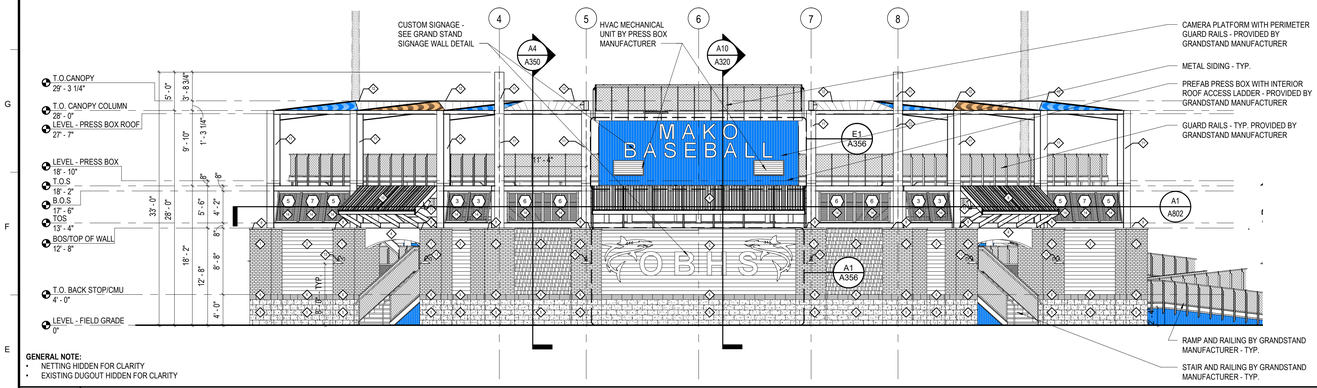
SCALE: 1/8" = 1'-0"



GENERAL NOTE:
- NETTING HIDDEN FOR CLARITY
- EXISTING DUGOUT HIDDEN FOR CLARITY

H12 FIELD 2 GRANDSTAND ELEVATION - SOUTHWEST

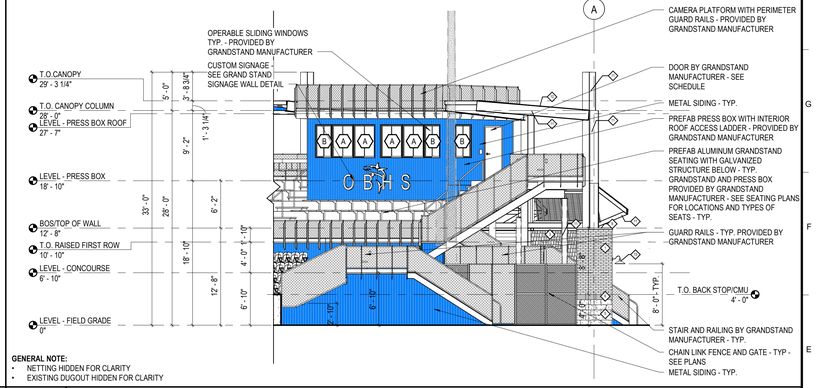
SCALE: 1/8" = 1'-0"



GENERAL NOTE:
- NETTING HIDDEN FOR CLARITY
- EXISTING DUGOUT HIDDEN FOR CLARITY

D1 FIELD 2 GRANDSTAND ELEVATION - SOUTH

SCALE: 1/8" = 1'-0"



GENERAL NOTE:
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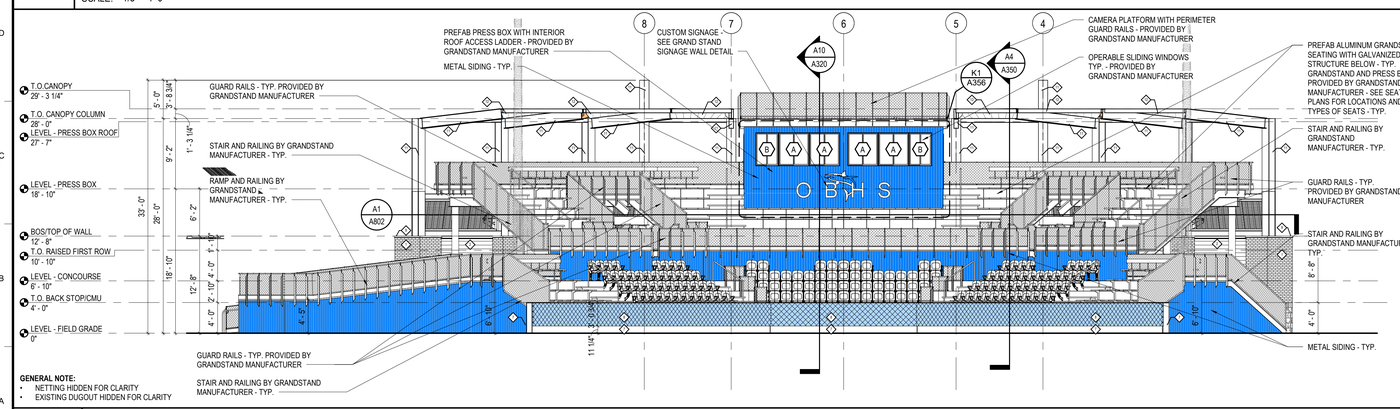
- EXISTING DUGOUT HIDDEN FOR CLARITY

D12 FIELD 2 GRANDSTAND ELEVATION - WEST

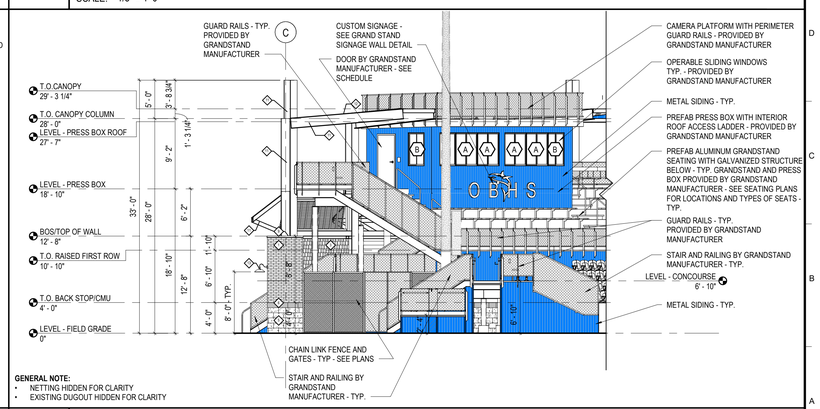
SCALE: 1/8" = 1'-0"



GENERAL NOTE:
- NETTING HIDDEN FOR CLARITY
- EXISTING DUGOUT HIDDEN FOR CLARITY

A1 FIELD 2 GRANDSTAND ELEVATION - NORTH

SCALE: 1/8" = 1'-0"



GENERAL NOTE:
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- EXISTING DUGOUT HIDDEN FOR CLARITY

A12 FIELD 2 GRANDSTAND ELEVATION - EAST

SCALE: 1/8" = 1'-0"

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REV	DATE	DESCRIPTION

DATE: 5-04-2020

PHASE: 100% BID DOCUMENTS

ISSUED FOR:

ISSUED BY: DAVIS ARCHITECTS PROJECT NO: 3916

SHEET TITLE

EXTERIOR ELEVATIONS

DRAWING NO.

A300

LEGEND - ARCHITECTURAL EXTERIOR MATERIALS AND FABRICATIONS (EXCLUDING GRANDSTAND ELEMENTS)

MARK	PRODUCT	COLOR	COMMENTS
◇	BRICK (PAINTED)	SELECTION TBD BY ARCHITECT	
◇	LAP SIDING (PAINTED)	SELECTION TBD BY ARCHITECT	SEE GENERAL NOTE 6
◇	SHAKED STAGGERED SIDING (PAINTED)	SELECTION TBD BY ARCHITECT	
◇	PRECAST CONCRETE ARCH	SELECTION TBD BY ARCHITECT	
◇	SPLIT FACE 12" CMU (PAINTED)	REPOSE GREY SW 7015	
◇	SPLIT FACE 12" CMU (PAINTED)	DORIAN GREY SW 7017	
◇	CAST IN PLACE CONCRETE BACKSTOP		

MARK	PRODUCT	COLOR	COMMENTS
◇	EXTERIOR WALL PADDING		
◇	STEEL PLATE CAP (PAINTED)		
◇	SSR SUPER LOK (2") AND TRIM	MESCO - GALVALUME (300 STANDARD)	SEE GENERAL NOTE 4
◇	COLUMN, FRAMES & SUPPORTS	SHOP PRIMED PAINTED BRICK	
◇	CANOPY FABRIC (PAINTED)	(3 COLORS) TBD BY ARCHITECT	
◇	WALL SCONCE LIGHT FIXTURE	TBD PER MANUFACTURER SELECTION	SEE ELECTRICAL PLANS
◇	PREFINISHED ALUMINUM BAHAMA STYLE SHUTTER	LARSON SHUTTER COMPANY - WHITE	

GENERAL NOTES
1. ALL FRAMED OPENINGS TRIM COLOR TO MATCH SURROUNDING METAL PANEL COLOR.
2. ALL PENETRATIONS THROUGH PEMB BUILDING BY OTHERS TO BE COORDINATED WITH THE PEMB MANUFACTURER RECOMMENDATION FOR FLASHING AND SEALING THE CONDITIONS PRIOR TO INSTALLATION. GC TO PROVIDE FLASHING AND SEAL ALL PENETRATIONS AS RECOMMENDED TO MAINTAIN A LONG LASTING WATER TIGHT FACADE AND PROPER DRAINAGE.
3. PEMB METAL PANEL TO HAVE SEMI-CONCEALED FASTENERS.
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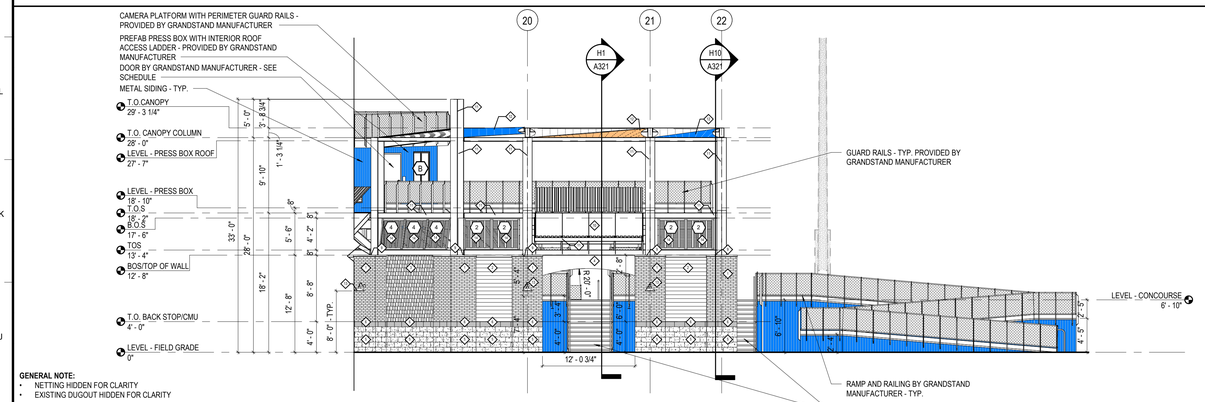
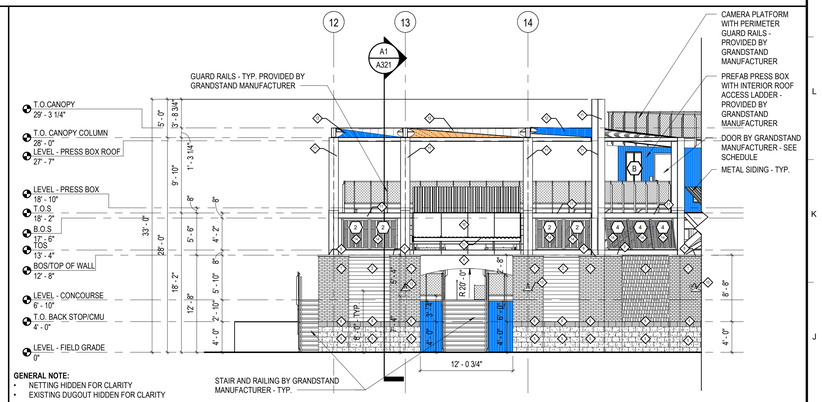
6. SEE DOOR SCHEDULE, DETAILS, AND SPECIFICATIONS FOR ALL DOOR LOCATIONS AND MATERIALS.
7. GRANDSTAND NOTES ARE THE GENERAL NOTES OR SHOWN ON ELEVATIONS.



GENERAL NOTE:
- NETTING HIDDEN FOR CLARITY
- EXISTING DUGOUT HIDDEN FOR CLARITY

H1 FIELD 3 GRANDSTAND ELEVATION - SOUTHEAST

SCALE: 1/8" = 1'-0"



GENERAL NOTE:
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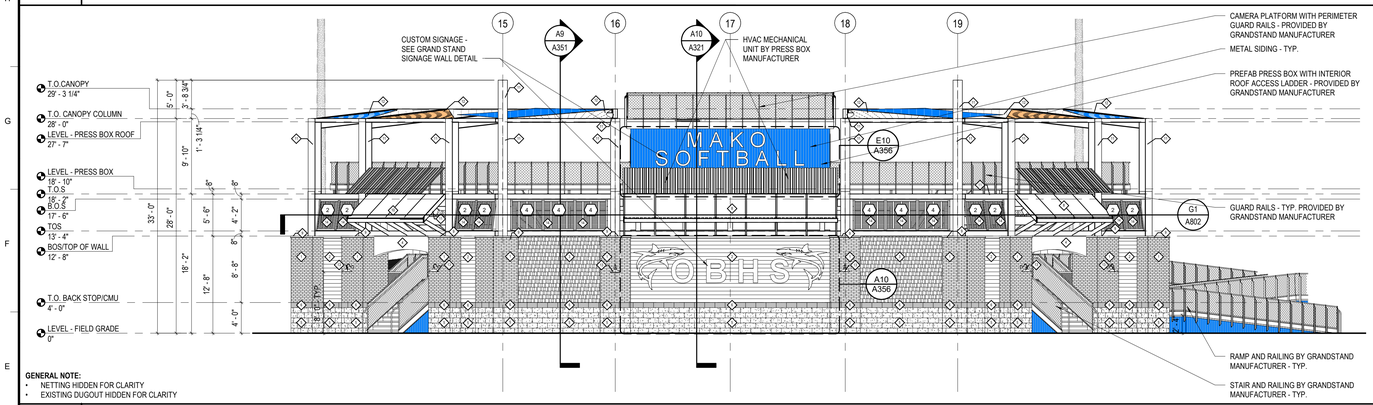
- EXISTING DUGOUT HIDDEN FOR CLARITY

H12 FIELD 3 GRANDSTAND ELEVATION - SOUTHWEST

SCALE: 1/8" = 1'-0"



GENERAL NOTE:
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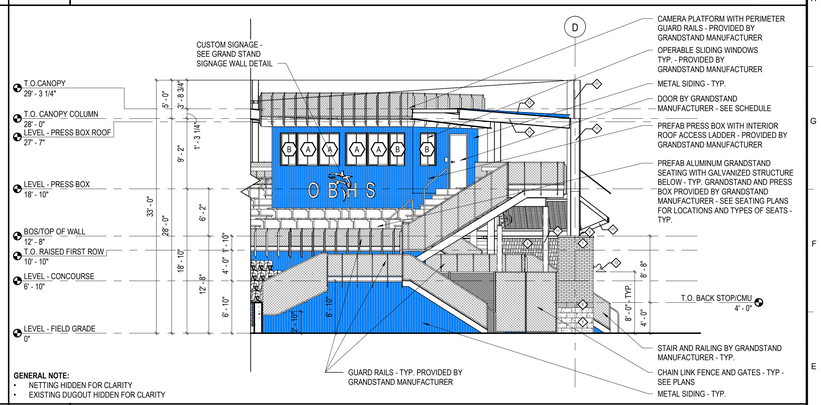
- EXISTING DUGOUT HIDDEN FOR CLARITY

D1 FIELD 3 GRANDSTAND ELEVATION - SOUTH

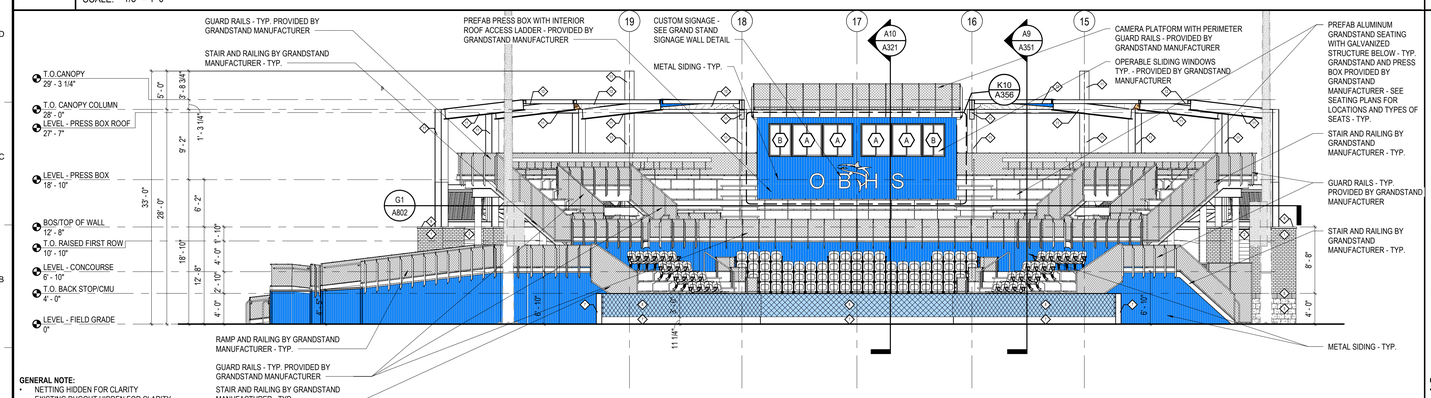
SCALE: 1/8" = 1'-0"



GENERAL NOTE:
- NETTING HIDDEN FOR CLARITY
- EXISTING DUGOUT HIDDEN FOR CLARITY

D12 FIELD 3 GRANDSTAND ELEVATION - WEST

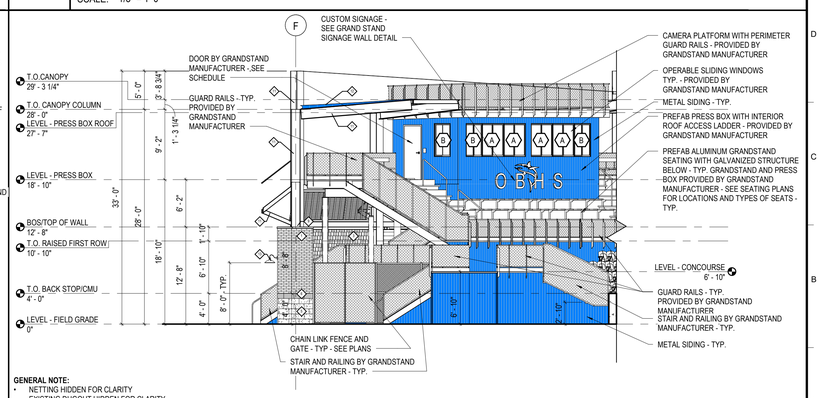
SCALE: 1/8" = 1'-0"



GENERAL NOTE:
- NETTING HIDDEN FOR CLARITY
- EXISTING DUGOUT HIDDEN FOR CLARITY

A1 FIELD 3 GRANDSTAND ELEVATION - NORTH

SCALE: 1/8" = 1'-0"



GENERAL NOTE:
- NETTING HIDDEN FOR CLARITY
- EXISTING DUGOUT HIDDEN FOR CLARITY

A12 FIELD 3 GRANDSTAND ELEVATION - EAST

SCALE: 1/8" = 1'-0"

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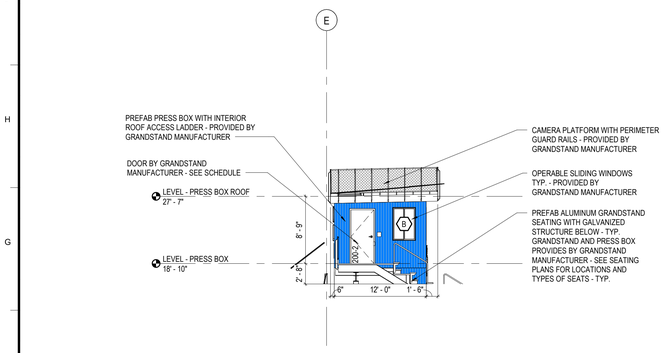
SHEET TITLE

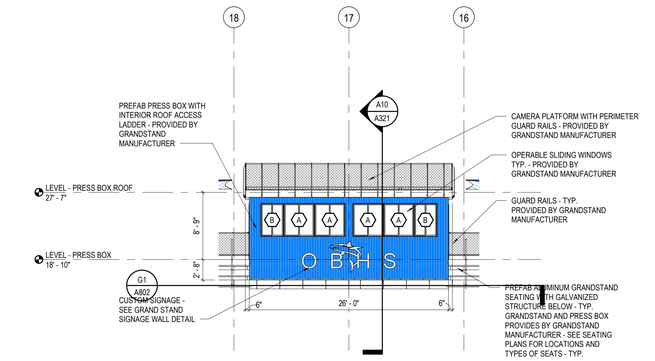
EXTERIOR ELEVATIONS

DRAWING NO.

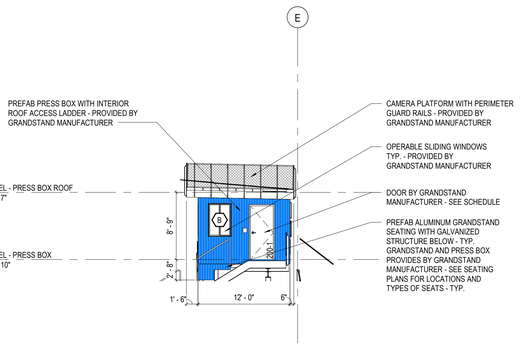
A301



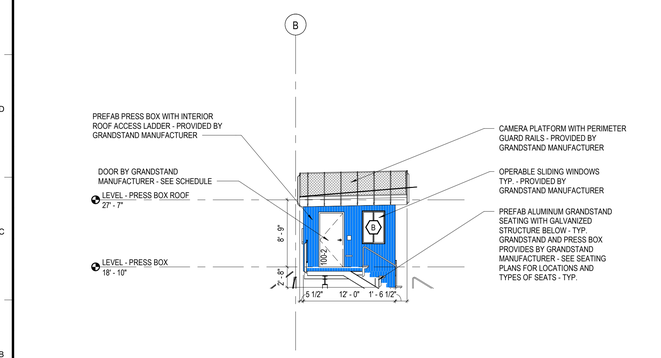
E1	FIELD 3 PRESS BOX ELEVATION - EAST
A11 /A103	SCALE: 1/8" = 1'-0"



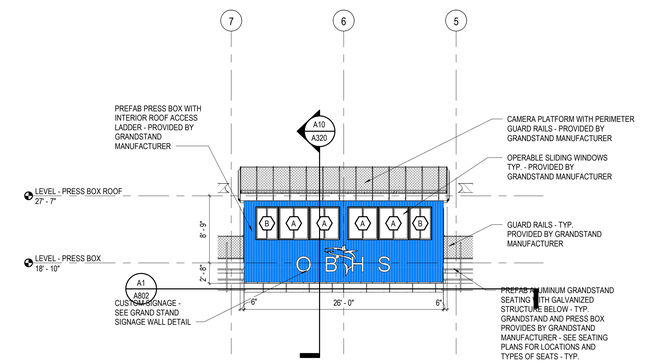
E7	FIELD 3 PRESS BOX ELEVATION - NORTH
A11 /A103	SCALE: 1/8" = 1'-0"



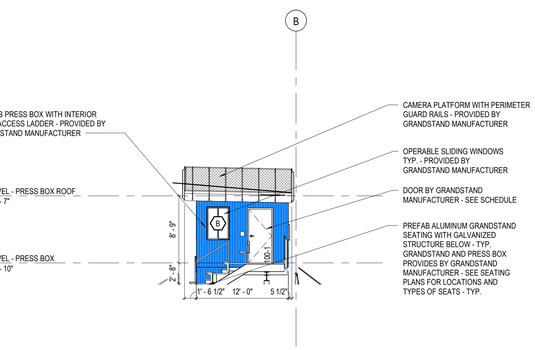
E12	FIELD 3 PRESS BOX ELEVATION - WEST
A11 /A103	SCALE: 1/8" = 1'-0"



A1	FIELD 2 PRESS BOX ELEVATION - EAST
A1 /A103	SCALE: 1/8" = 1'-0"



A7	FIELD 2 PRESS BOX ELEVATION - NORTH
A1 /A103	SCALE: 1/8" = 1'-0"



A12	FIELD 2 PRESS BOX ELEVATION - WEST
A1 /A103	SCALE: 1/8" = 1'-0"

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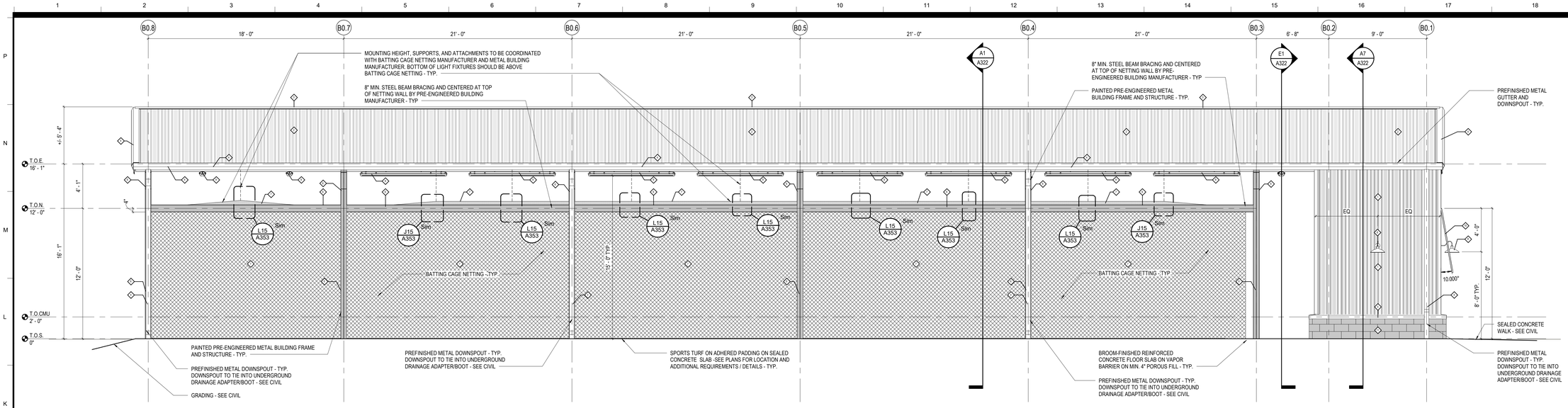
PROJECT NO. 3916

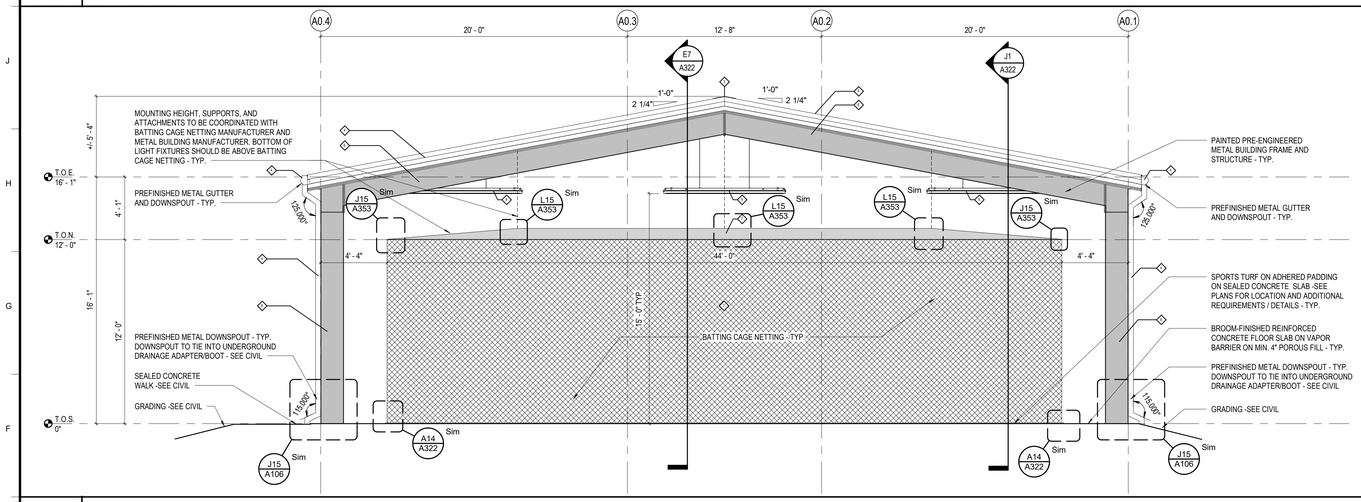
SHEET TITLE
EXTERIOR ELEVATIONS

DRAWING NO.
A302



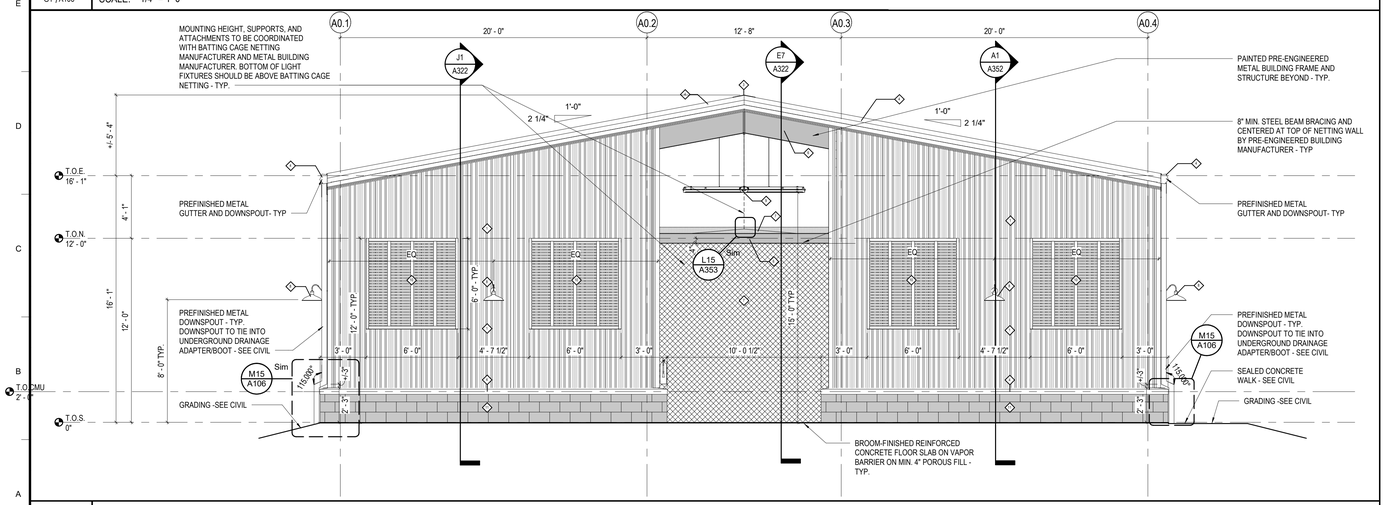
K1 — BATTING CAGE - NORTH ELEVATION - ENLARGED (SOUTH ELEVATION O.H.)

G1 /A106 — SCALE: 1/4" = 1'-0"



F1 — BATTING CAGE - EAST ELEVATION

G1 /A106 — SCALE: 1/4" = 1'-0"



A1 — BATTING CAGE - WEST ELEVATION ENLARGED

G1 /A106 — SCALE: 1/4" = 1'-0"

LEGEND - BATTING CAGE EXTERIOR MATERIALS AND FABRICATIONS

MARK	PRODUCT	COLOR	COMMENTS
◇	VERTICAL PBR PANEL (1 1/4")	MESCO - SOLAR WHITE (300 STANDARD)	SEE GENERAL NOTE 1, 2, AND 3
◇	SSR SUPER LOK (2") AND TRIM	MESCO - GALVALUME (300 STANDARD)	SEE GENERAL NOTE 4
◇	ROOF RIDGE	MESCO - GALVALUME	
◇	TRIM, RAKE, GUTTERS, DOWNSPOUTS, & BOOTS	MESCO - SOLAR WHITE	
◇	PAINTED DOORS AND FRAMES	SOLAR WHITE (300 STANDARD)	SEE GENERAL NOTE 5
◇	STEEL COLUMN, FRAMES AND SUPPORTS	SHOP PRIMED; PAINTED IN THE FIELD OR COLOR TBD BY ARCHITECT	
◇	BATTING CAGE NETTING		SEE GENERAL NOTE 6 AND 11
◇	WALL SCONCE LIGHT FIXTURE	TBD PER MANUFACTURER SELECTION	SEE ELECTRICAL PLANS AND SPEC'S
◇	SUSPENDED LINEAR LIGHT FIXTURE	TBD PER MANUFACTURER SELECTION	SEE ELECTRICAL PLANS AND SPEC'S
◇	PREFINISHED ALUMINUM BAHAMA STYLE SHUTTER	LARSON SHUTTER COMPANY - HAMILTON BLUE	
◇	SPLIT FACE 4" VENEER CMU	REPOSE GREY SW 7015	SEE GENERAL NOTE 8, 9, AND 10 AND SPEC'S

GENERAL NOTES

1. ALL FRAMED OPENINGS TRIM COLOR TO MATCH SURROUNDING METAL PANEL COLOR.
2. ALL PENETRATIONS THROUGH PEMB BUILDING BY OTHERS TO BE COORDINATED WITH THE PEMB MANUFACTURER RECOMMENDATIONS FOR FLASHING AND SEALING PENETRATIONS PRIOR TO WORK STARTING. GC TO PROVIDE FLASHING AND SEAL AT ALL PENETRATIONS AS RECOMMENDED TO MAINTAIN A LONG LASTING WATER TIGHT FACADE AND PROPER DRAINAGE.
3. PEMB METAL PANEL TO HAVE SEMI-CONCEALED FASTENERS.
4. PEMB METAL PANEL TO BE FULLY CONCEALED AND MECHANICALLY SEAMED
5. SEE DOOR SCHEDULE, DETAILS, AND SPECIFICATIONS FOR ALL DOOR LOCATIONS AND MATERIALS.
6. SEE SPECIFICATIONS FOR ADDITIONAL NETTING REQUIREMENTS.
7. SEE SPECIFICATIONS FOR ADDITIONAL SPORTS TURF REQUIREMENTS.
8. ALL EXPOSED LOCATIONS OF NEW MASONRY ASSEMBLIES TO BE TREATED WITH CLEAR WATER REPELLENT AS LISTED PER THE UNIT MASONRY SPECIFICATION.
9. PEMB METAL PANELS ARE TO EXTEND BEHIND ALL MASONRY AND BE TAKEN TO TOP OF CONCRETE SLAB CURB AND BE SEALED.
10. PEMB METAL PANELS BEHIND MASONRY ARE TO BE REVERSE ROLL PANELS INSTALLED FOR MASONRY TIE DIRECT ATTACHMENT.
11. ALL SUPPORT AND TENSION CABLES AND FASTENING METHODS TO BE DESIGNED AND INSTALLED BY NETTING MANUFACTURER / INSTALLER - SEE ARCHITECTURAL DRAWINGS FOR INTENT, DIMENSIONS AND ADDITIONAL REQUIREMENTS.

STATE OF ALABAMA DAVIS ARCHITECTS 2413 NEIL E. DAVIS REGISTERED ARCHITECT

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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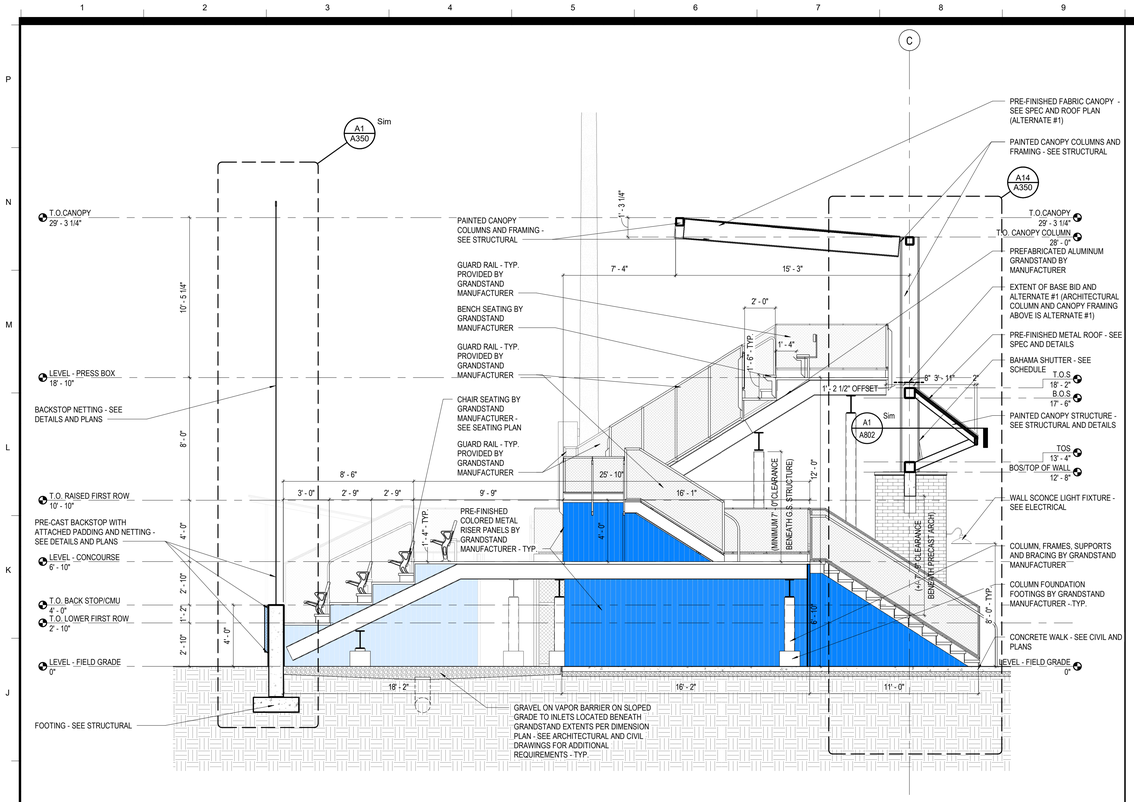
SHEET TITLE

EXTERIOR ELEVATIONS - BATTING CAGE (ALTERNATE#2)

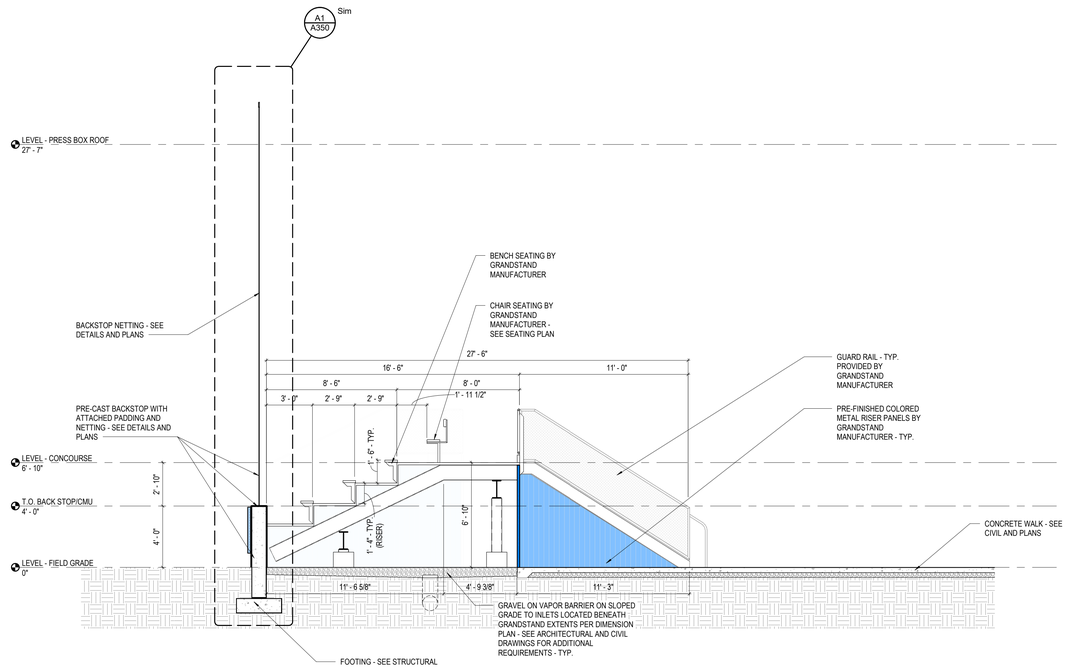
DRAWING NO.

A303



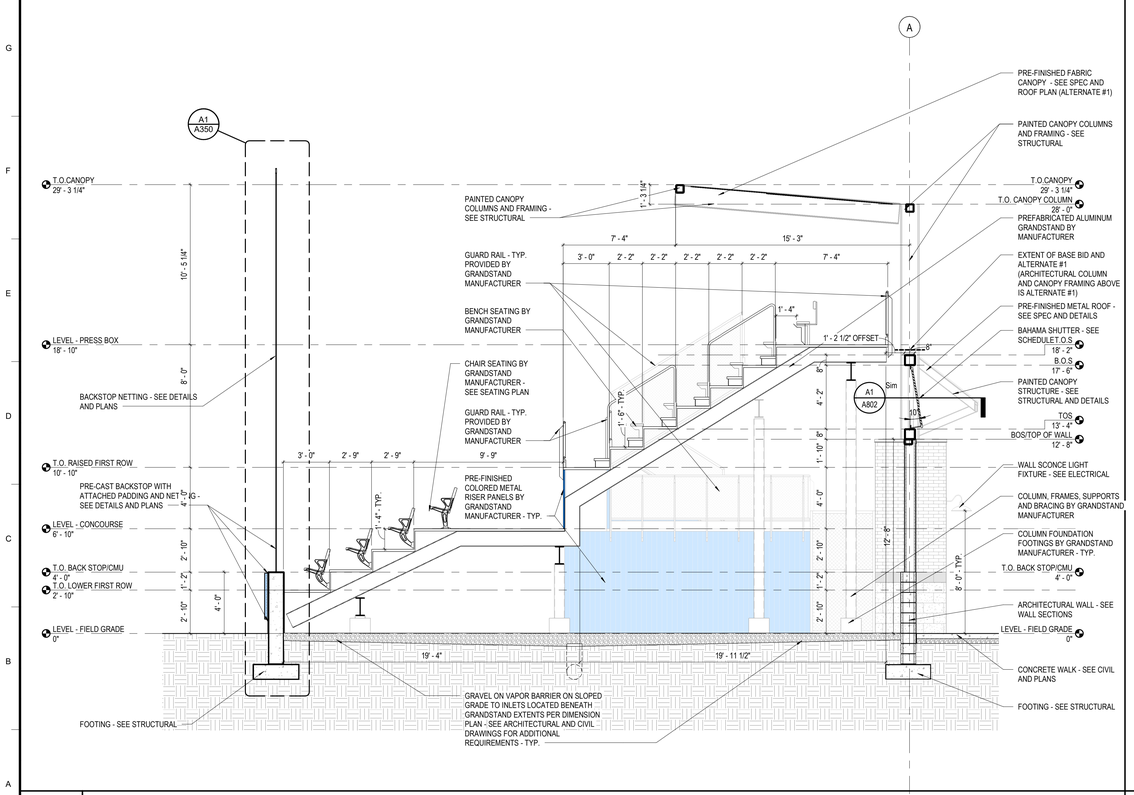
H1 BUILDING SECTION - CROSS SECTION - FIELD 2 GRANDSTAND

SCALE: 1/4" = 1'-0"



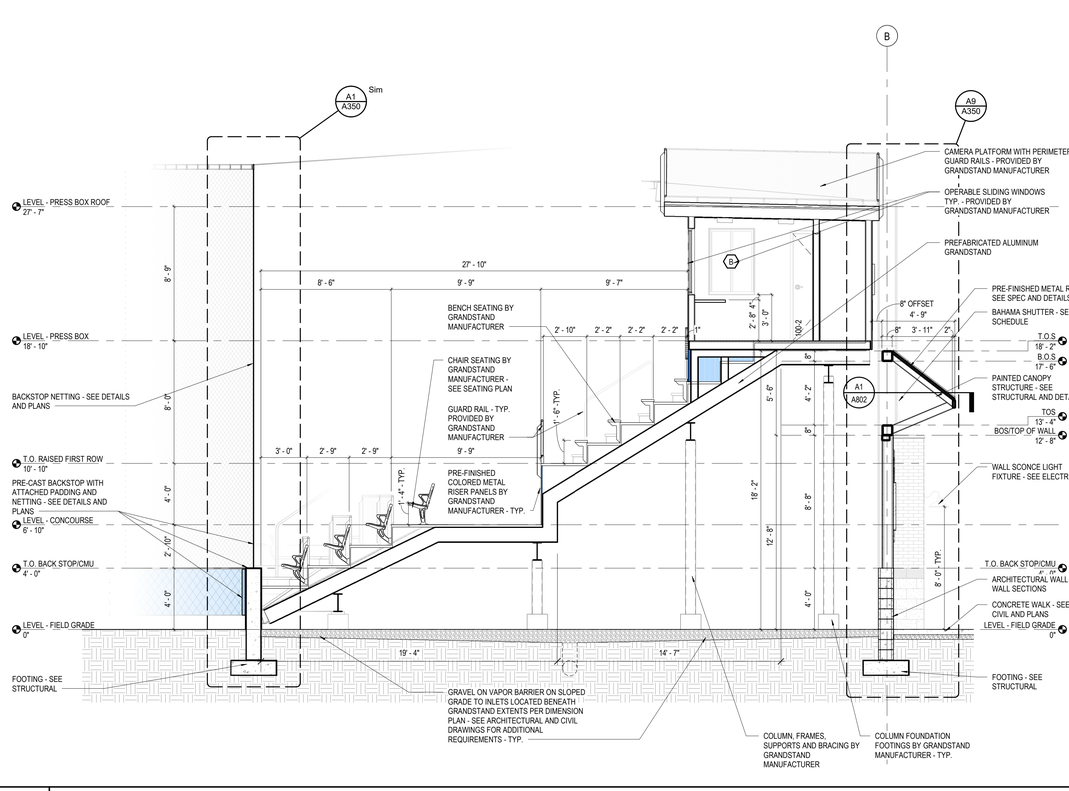
H10 BUILDING SECTION - CROSS SECTION - FIELD 2 GRANDSTAND

A1 /A101 SCALE: 1/4" = 1'-0"



A1 BUILDING SECTION - CROSS SECTION - FIELD 2 GRANDSTAND

SCALE: 1/4" = 1'-0"



A10 BUILDING SECTION - CROSS SECTION - FIELD 2 GRANDSTAND

SCALE: 1/4" = 1'-0"

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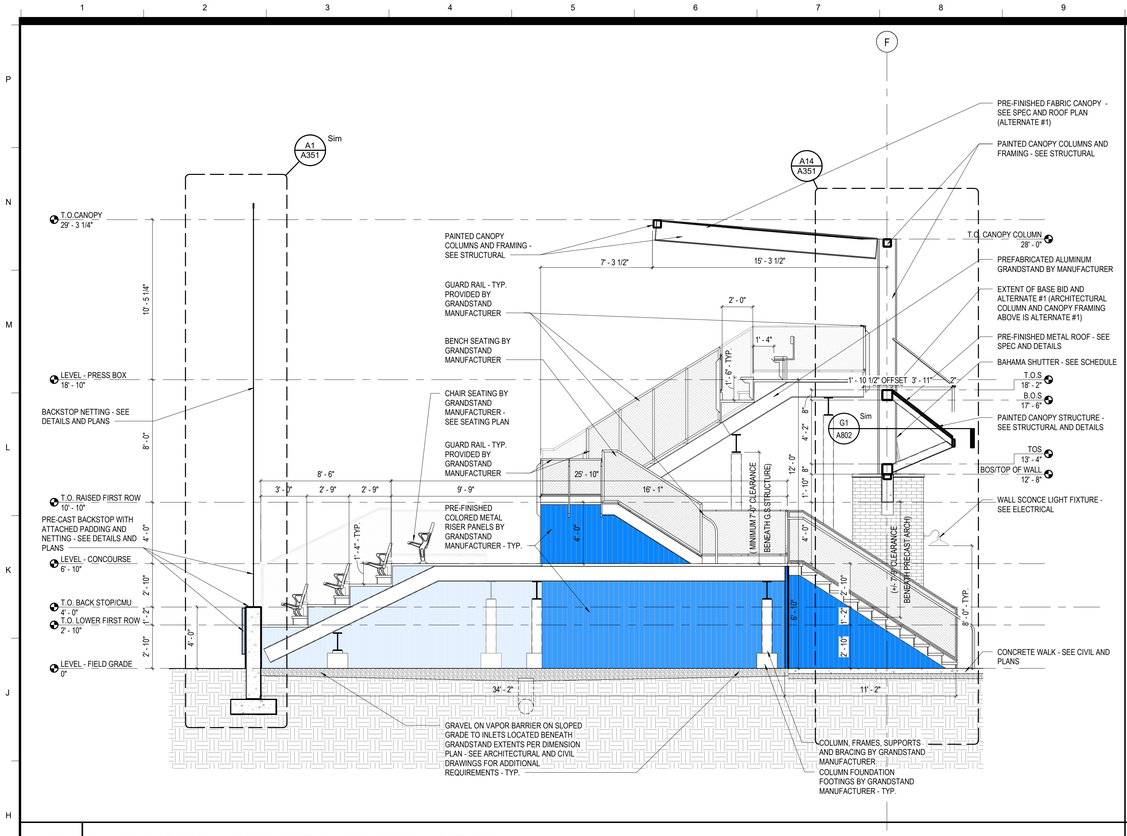
SHEET TITLE

BUILDING SECTION

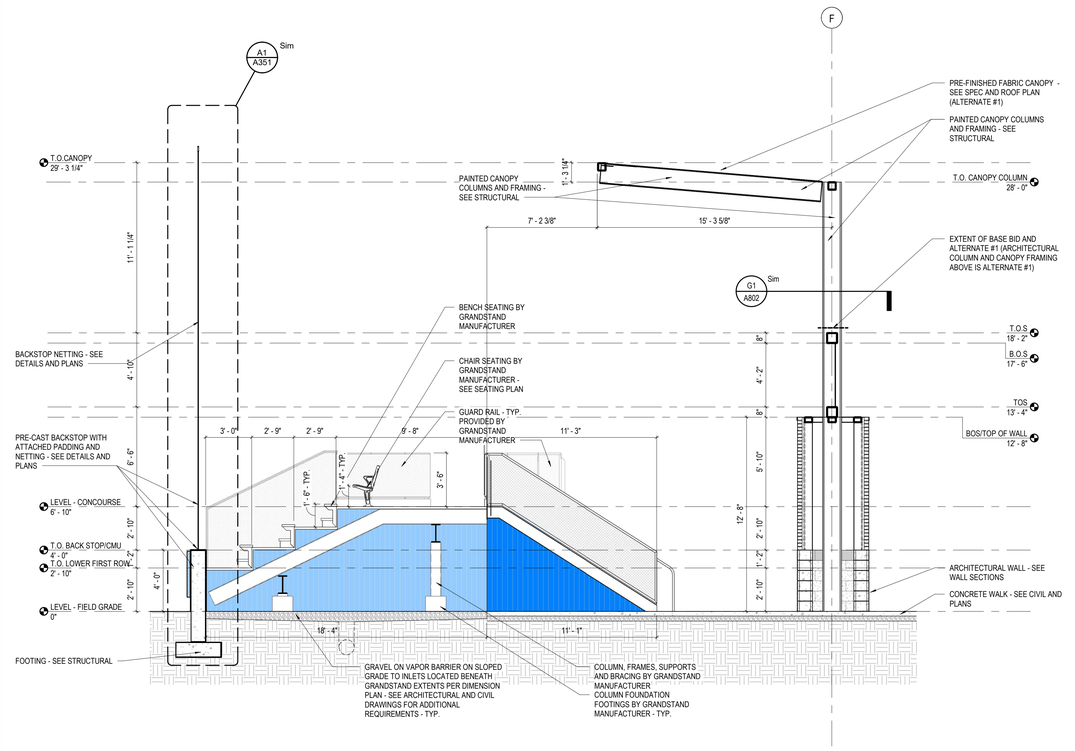
DRAWING NO.

A320



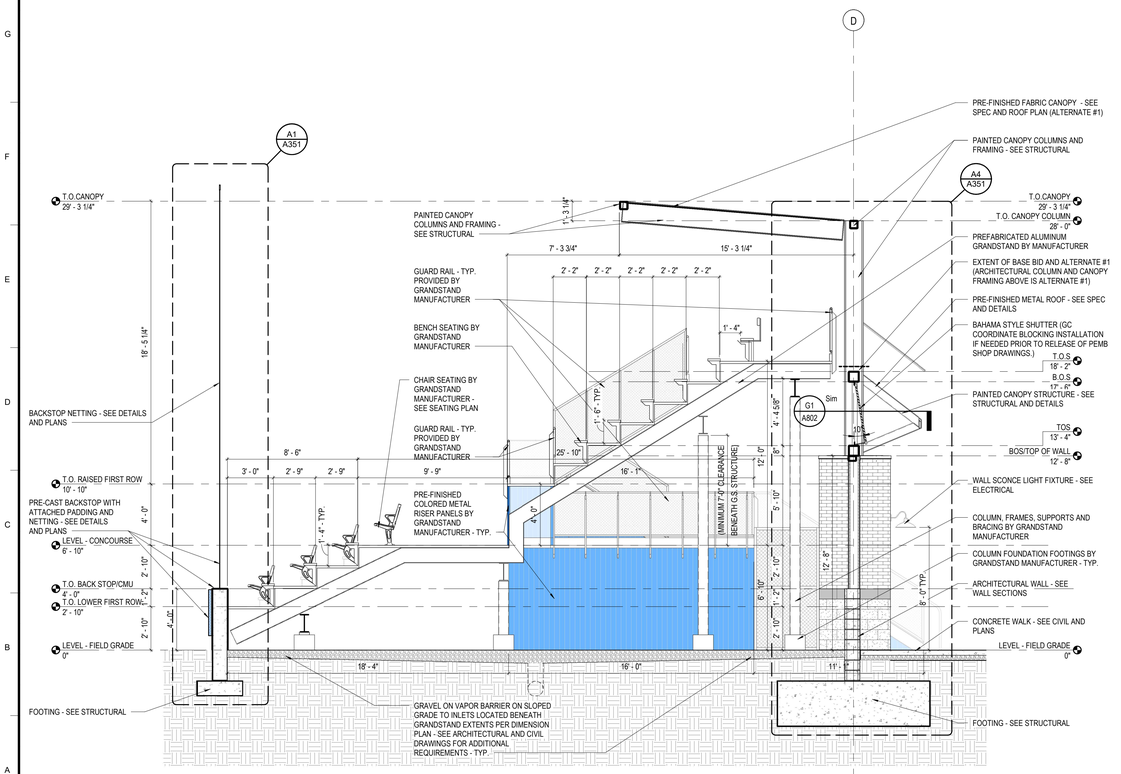
H1 BUILDING SECTION - CROSS SECTION - FIELD 3 GRANDSTAND

A11 /A101 SCALE: 1/4" = 1'-0"



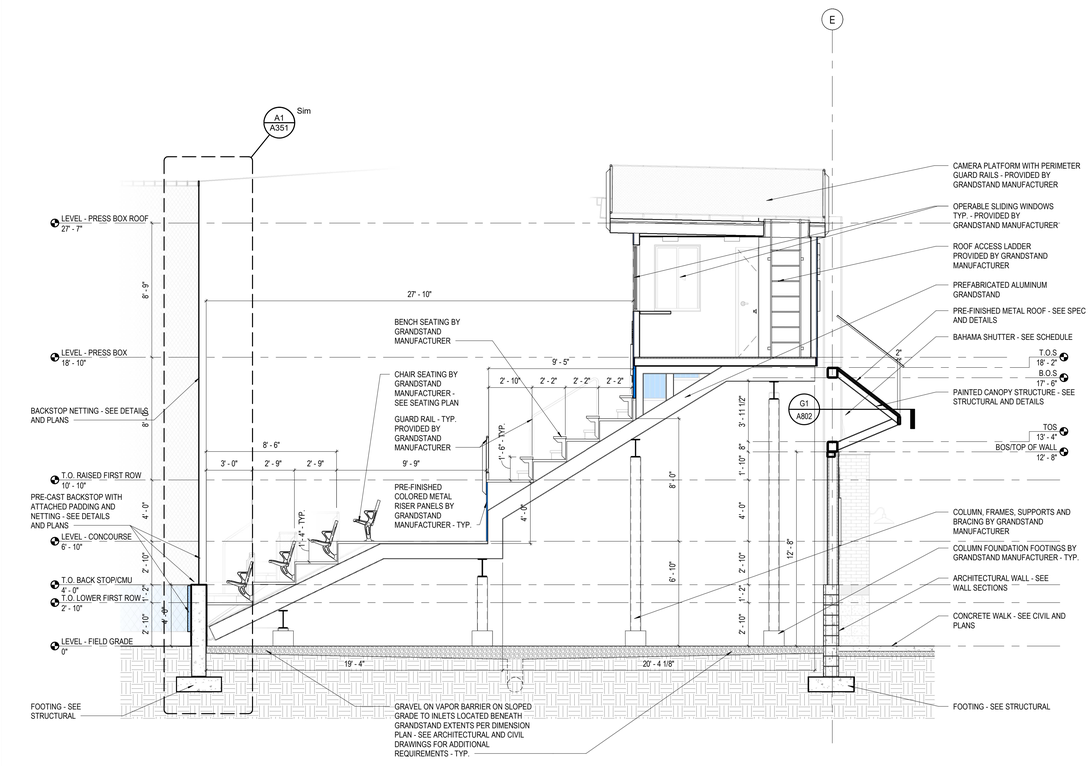
H10 BUILDING SECTION - CROSS SECTION - FIELD 3 GRANDSTAND

A11 /A101 SCALE: 1/4" = 1'-0"



A1 BUILDING SECTION - CROSS SECTION - FIELD 3 GRANDSTAND

A11 /A101 SCALE: 1/4" = 1'-0"



A10 BUILDING SECTION - CROSS SECTION - FIELD 3 GRANDSTAND

A11 /A101 SCALE: 1/4" = 1'-0"

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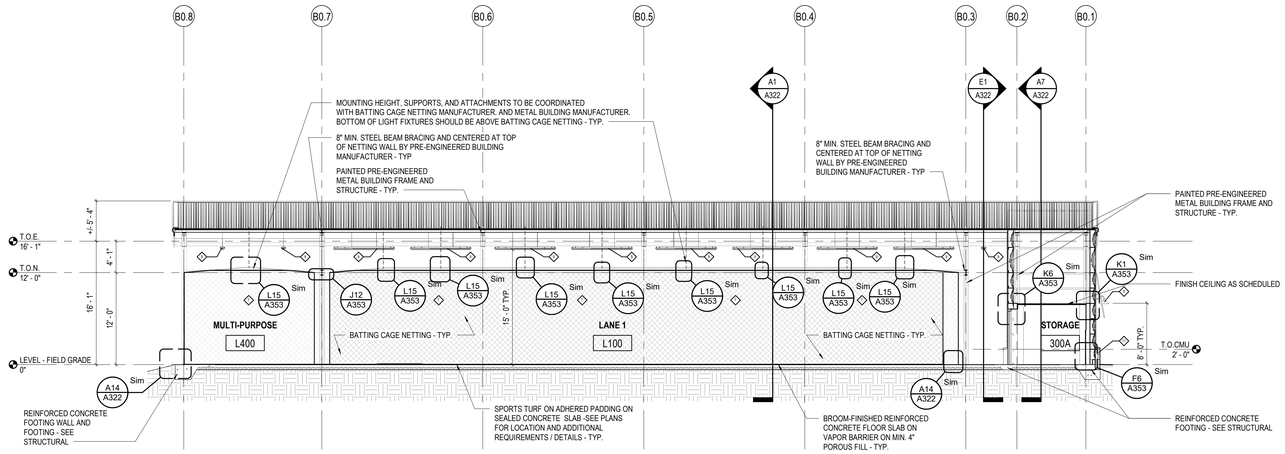
SHEET TITLE

BUILDING SECTION

DRAWING NO.

A321



J1 — BUILDING SECTION - LONGITUDINAL SECTION - BATTING CAGE

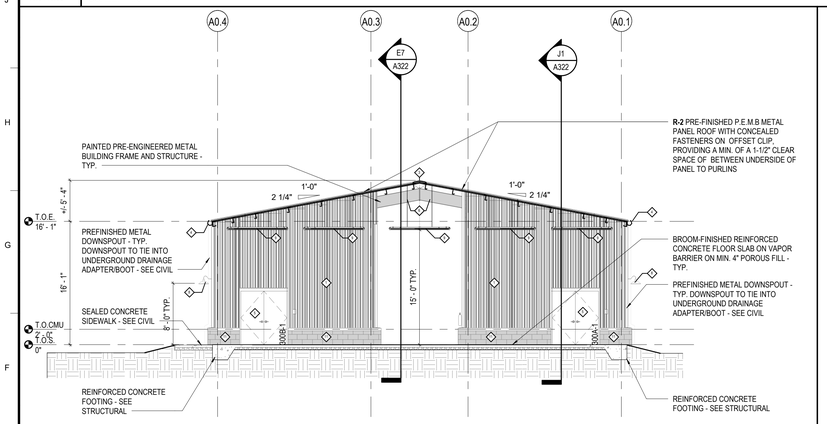
A10 /A106 — SCALE: 1/8" = 1'-0"

LEGEND - BATTING CAGE EXTERIOR MATERIALS AND FABRICATIONS

MARK	PRODUCT	COLOR	COMMENTS
◇	VERTICAL PBR PANEL (1 1/4")	MESCO - SOLAR WHITE (300 STANDARD)	SEE GENERAL NOTE 1, 2, AND 3
◇	SSR SUPER LOK (2") AND TRIM	MESCO - GALVALUME (300 STANDARD)	SEE GENERAL NOTE 4
◇	ROOF RIDGE	MESCO - GALVALUME	
◇	TRIM, RAKE, GUTTERS, DOWNSPOUTS, & BOOTS	MESCO - SOLAR WHITE	
◇	PAINTED DOORS AND FRAMES	SOLAR WHITE (300 STANDARD)	SEE GENERAL NOTE 5
◇	STEEL COLUMN, FRAMES AND SUPPORTS	SHOP PRIMED; PAINTED IN THE FIELD OR COLOR TBD BY ARCHITECT	
◇	BATTING CAGE NETTING		SEE GENERAL NOTE 6 AND 11
◇	WALL SCONCE LIGHT FIXTURE	TBD PER MANUFACTURER SELECTION	SEE ELECTRICAL PLANS AND SPEC'S
◇	SUSPENDED LINEAR LIGHT FIXTURE	TBD PER MANUFACTURER SELECTION	SEE ELECTRICAL PLANS AND SPEC'S
◇	PREFINISHED ALUMINUM BAHAMA STYLE SHUTTER	LARSON SHUTTER COMPANY - HAMILTON BLUE	
◇	SPLIT FACE 4" VENEER CMU	REPOSE GREY SW 7015	SEE GENERAL NOTE 8, 9, AND 10 AND SPEC'S

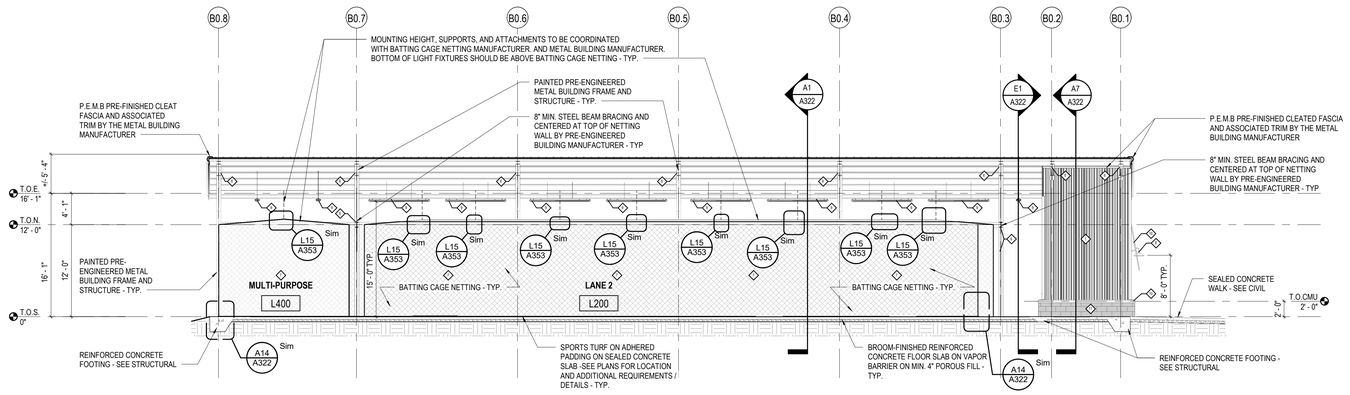
GENERAL NOTES

1. ALL FRAMED OPENINGS TRIM COLOR TO MATCH SURROUNDING METAL PANEL COLOR.
2. ALL PENETRATIONS THROUGH PEMB BUILDING BY OTHERS TO BE COORDINATED WITH THE PEMB MANUFACTURER RECOMMENDATIONS FOR FLASHING AND SEALING PENETRATIONS PRIOR TO WORK STARTING. GC TO PROVIDE FLASHING AND SEAL AT ALL PENETRATIONS AS RECOMMENDED TO MAINTAIN A LONG LASTING WATER TIGHT FACADE AND PROPER DRAINAGE.
3. PEMB METAL PANEL TO HAVE SEMI-CONCEALED FASTENERS.
4. PEMB METAL PANEL TO BE FULLY CONCEALED AND MECHANICALLY SEAMED
5. SEE DOOR SCHEDULE, DETAILS, AND SPECIFICATIONS FOR ALL DOOR LOCATIONS AND MATERIALS.
6. SEE SPECIFICATIONS FOR ADDITIONAL NETTING REQUIREMENTS.
7. SEE SPECIFICATIONS FOR ADDITIONAL SPORTS TURF REQUIREMENTS.
8. ALL EXPOSED LOCATIONS OF NEW MASONRY ASSEMBLIES TO BE TREATED WITH CLEAR WATER REPELLENT AS LISTED PER THE UNIT MASONRY SPECIFICATION.
9. PEMB METAL PANELS ARE TO EXTEND BEHIND ALL MASONRY AND BE TAKEN TO TOP OF CONCRETE SLAB CURB AND BE SEALED.
10. PEMB METAL PANELS BEHIND MASONRY ARE TO BE REVERSE ROLL PANELS INSTALLED FOR MASONRY TIE DIRECT ATTACHMENT.
11. ALL SUPPORT AND TENSION CABLES AND FASTENING METHODS TO BE DESIGNED AND INSTALLED BY NETTING MANUFACTURER / INSTALLER - SEE ARCHITECTURAL DRAWINGS FOR INTENT, DIMENSIONS AND ADDITIONAL REQUIREMENTS.
12. GC MUST INSTALL ADDITIONAL GALVANIZED BRACING BETWEEN PURLINS AS NEEDED TO SUPPORT SUSPENDED ELEMENTS AND FIXTURES - AT NO TIME SHOULD A FASTENER PENETRATE THE PRE-ENGINEERED ROOF DECK



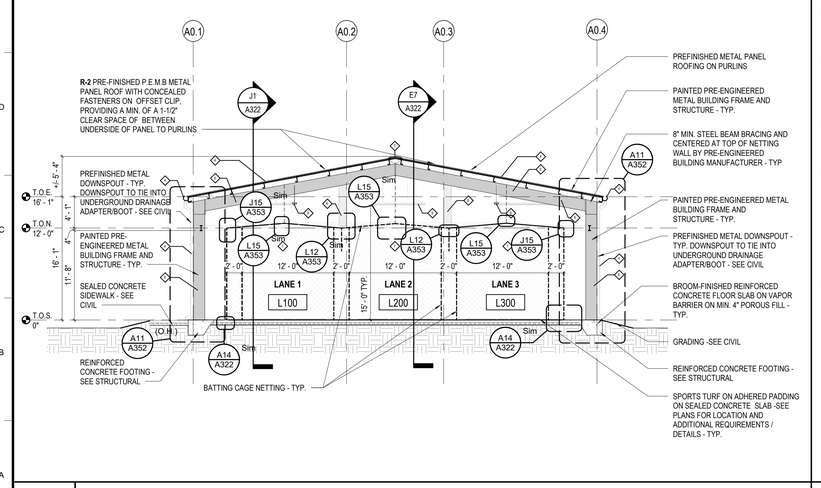
E1 — BUILDING SECTION - CROSS SECTION - BATTING CAGE

A10 /A106 — SCALE: 1/8" = 1'-0"



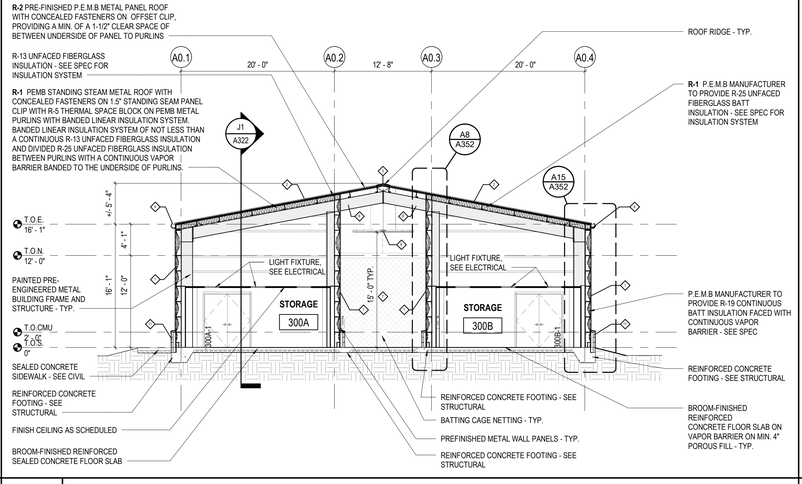
E7 — BUILDING SECTION - LONGITUDINAL SECTION - BATTING CAGE

A10 /A106 — SCALE: 1/8" = 1'-0"



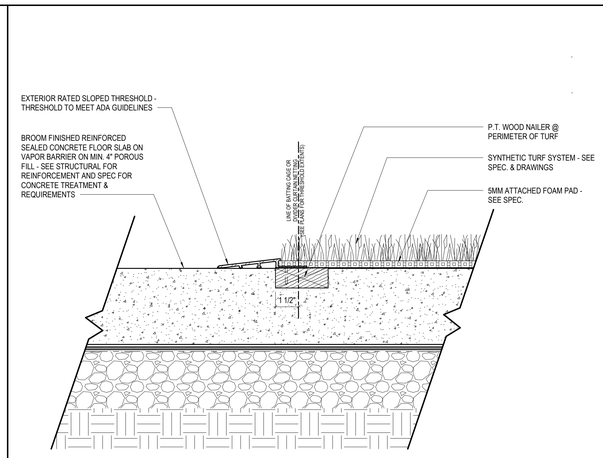
A1 — BUILDING SECTION - CROSS SECTION - BATTING CAGE

A10 /A106 — SCALE: 1/8" = 1'-0"



A7 — BUILDING SECTION - CROSS SECTION - BATTING CAGE

A10 /A106 — SCALE: 1/8" = 1'-0"



A14 — BATTING CAGE TURF EDGE

G1 /A106 — SCALE: 3" = 1'-0"

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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MOBILE, AL 36609
251-460-4646
ATTN: CHRIS DEARMON / VAN SIMPSON

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251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE: 5-04-2020

PHASE: 100% BID DOCUMENTS

ISSUED FOR:

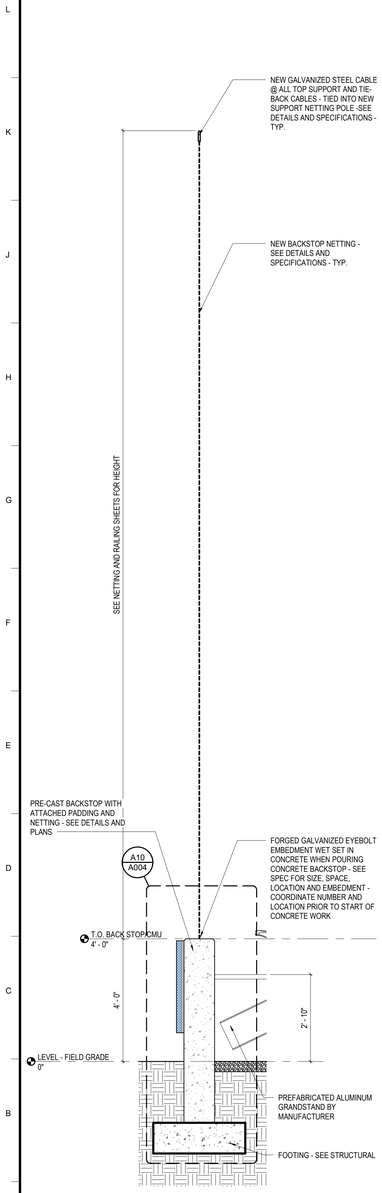
ISSUED BY: DAVIS ARCHITECTS — PROJECT NO.: 3916

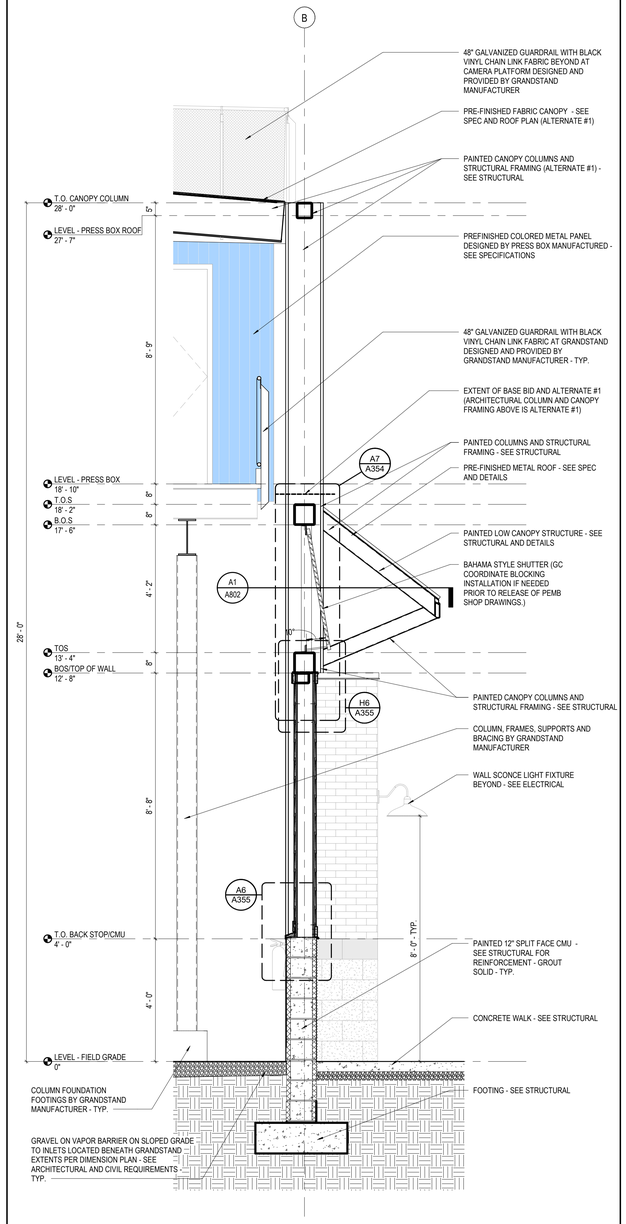
SHEET TITLE

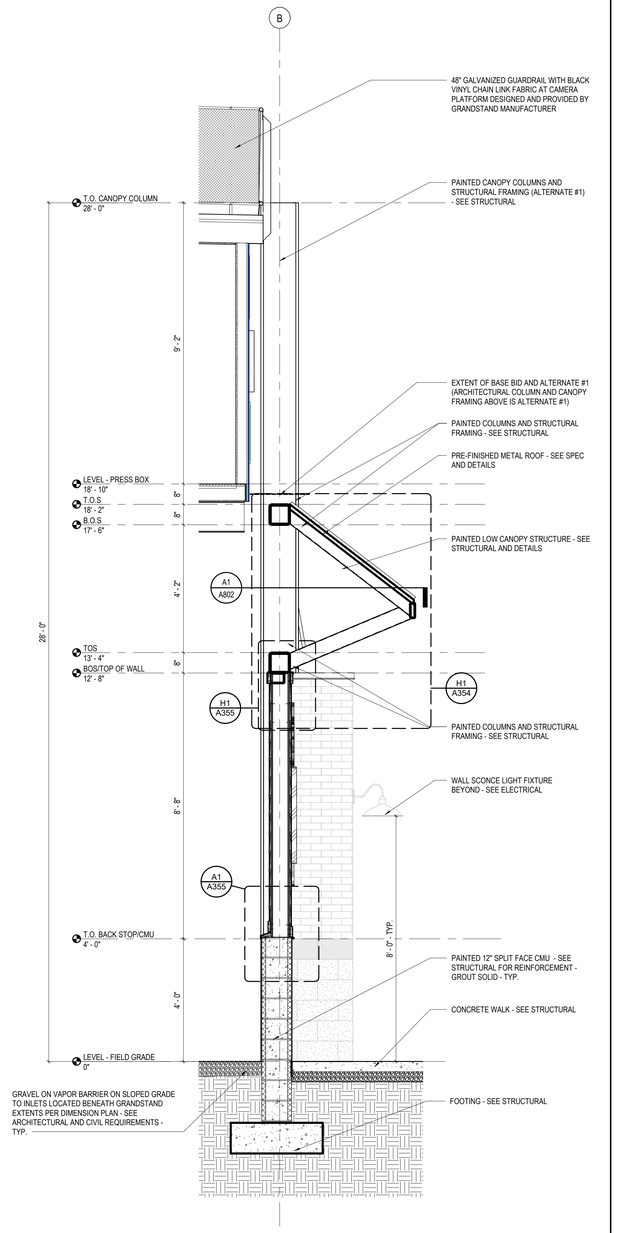
BUILDING SECTIONS - BATTING CAGE (ALTERNATE#2)

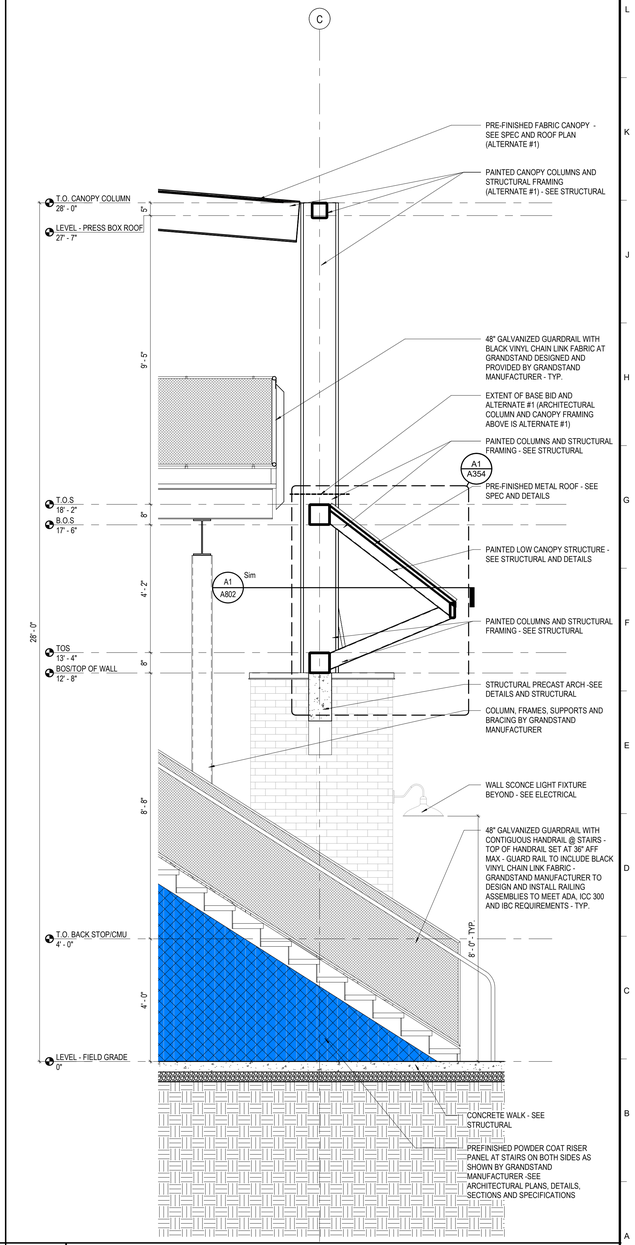
DRAWING NO.

A322









A1	WALL SECTION @ FIELD 2 BACKSTOP WALL	A4	WALL SECTION @ FIELD 2 SHAKE SIDING	A9	WALL SECTION @ FIELD 2 GRANDSTAND HARDIE SIDING	A14	WALL SECTION @ FIELD 2 GRANDSTAND ARCHWAY
A1 /A320	SCALE: 1/2" = 1'-0"	A1 /A101	SCALE: 1/2" = 1'-0"	A10 /A320	SCALE: 1/2" = 1'-0"	H1 /A320	SCALE: 1/2" = 1'-0"

STATE OF ALABAMA
DAVIS ARCHITECTS
2413
NEIL E. DAVIS
REGISTERED ARCHITECT

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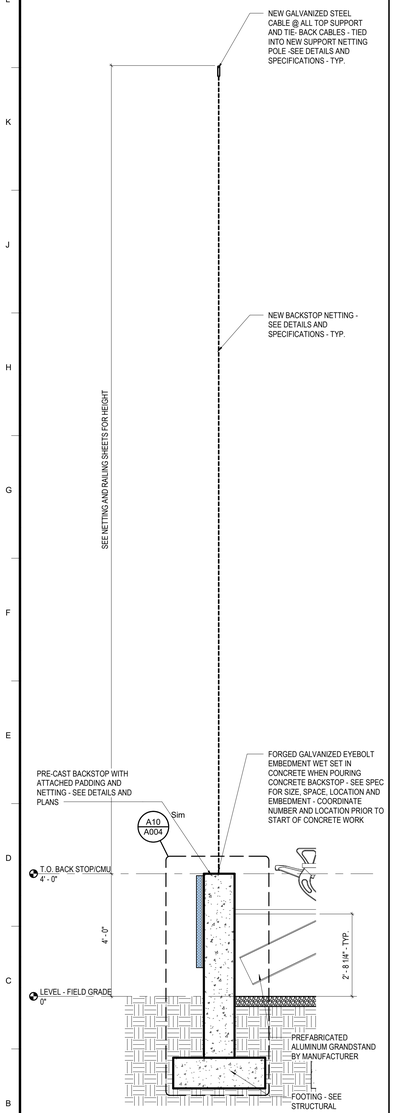
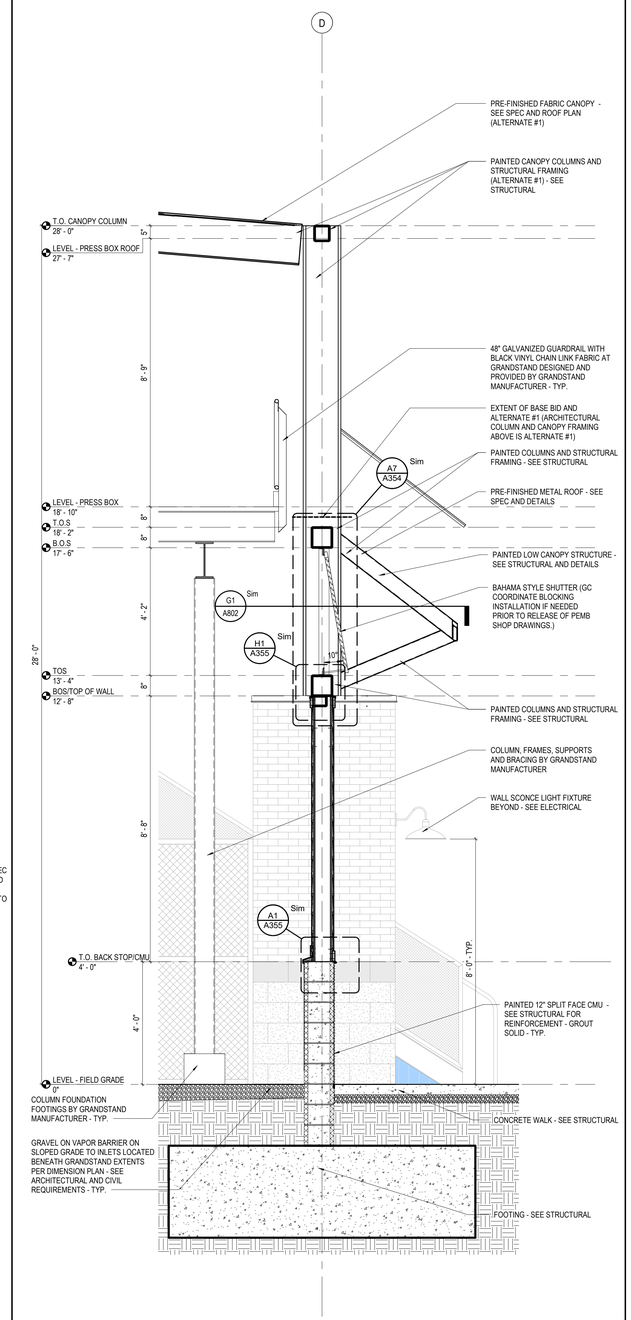
REV	DATE	DESCRIPTION

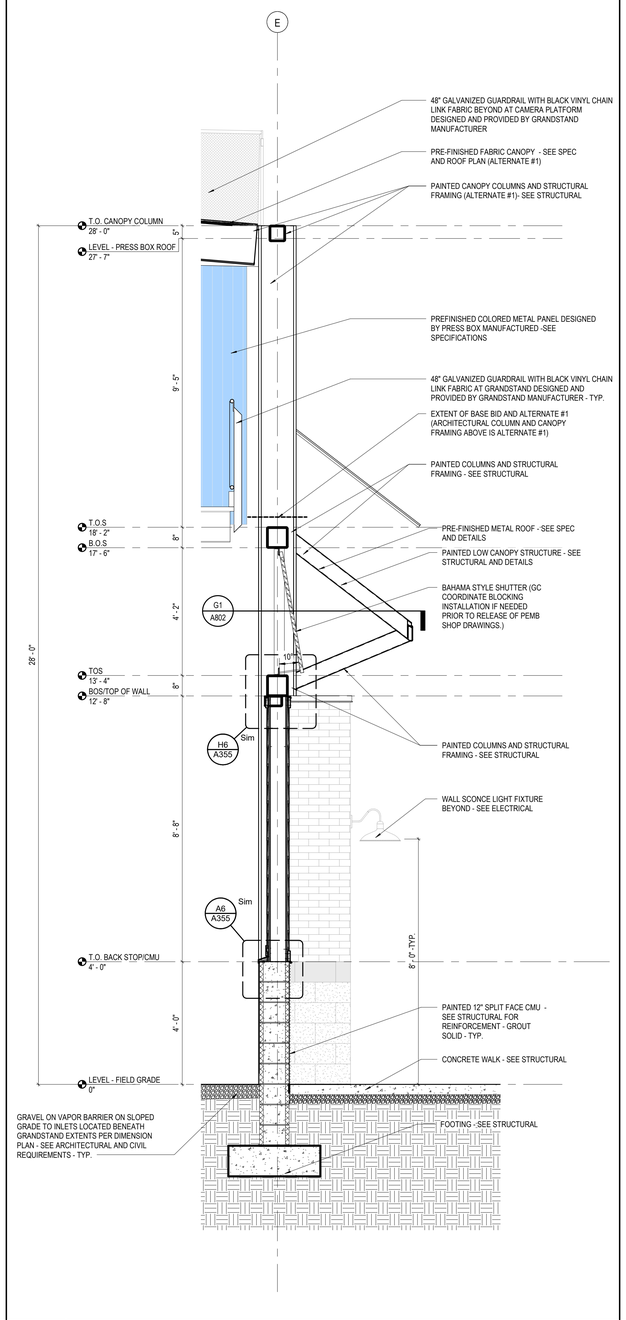
DATE: 5-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO: 3916

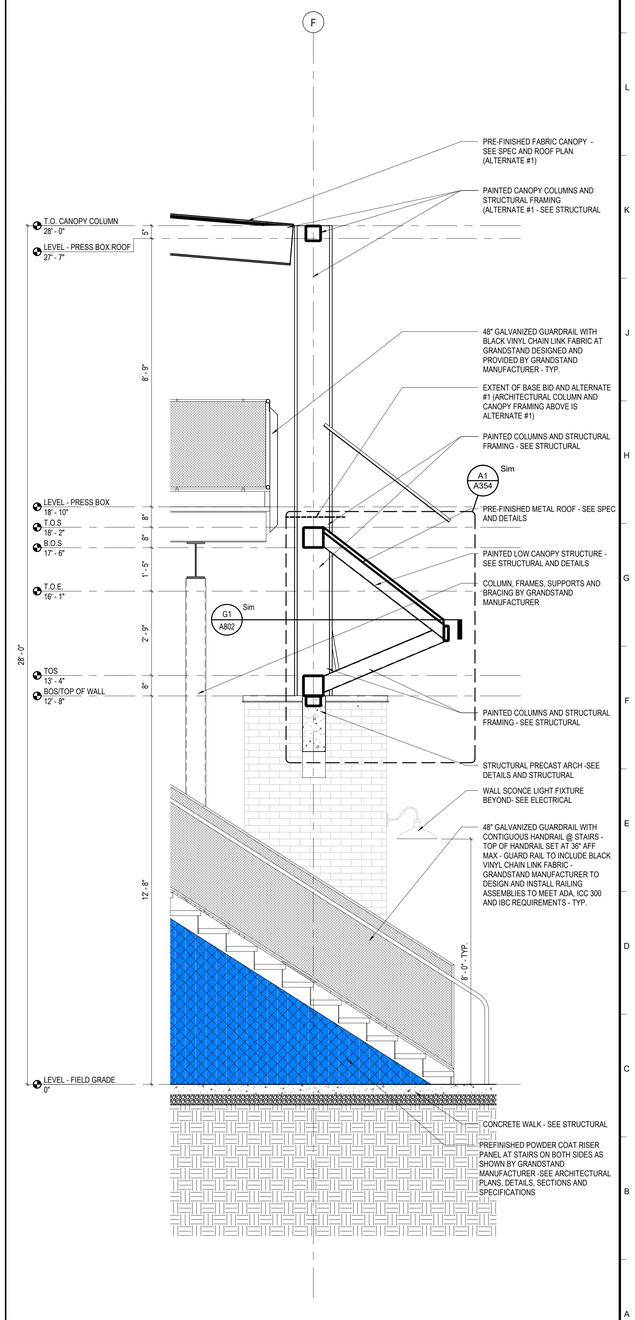
SHEET TITLE
WALL SECTIONS

DRAWING NO.
A350









A1	WALL SECTION @ FIELD 3 BACKSTOP WALL	A4	WALL SECTION @ FIELD 3 GRANDSTAND	A9	WALL SECTION @ FIELD 3 GRANDSTAND SHAKE SIDING	A14	WALL SECTION @ FIELD 3 GRANDSTAND ARCHWAY
A1 /A321	SCALE: 1/2" = 1'-0"		SCALE: 1/2" = 1'-0"	A11 /A101	SCALE: 1/2" = 1'-0"		SCALE: 1/2" = 1'-0"

STATE OF ALABAMA
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ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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REV	DATE	DESCRIPTION

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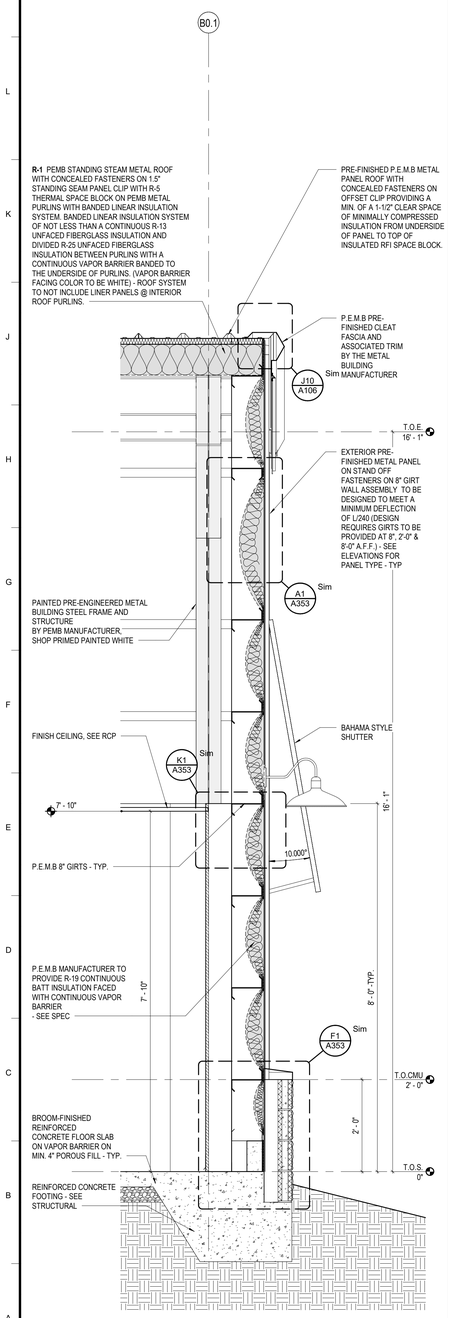
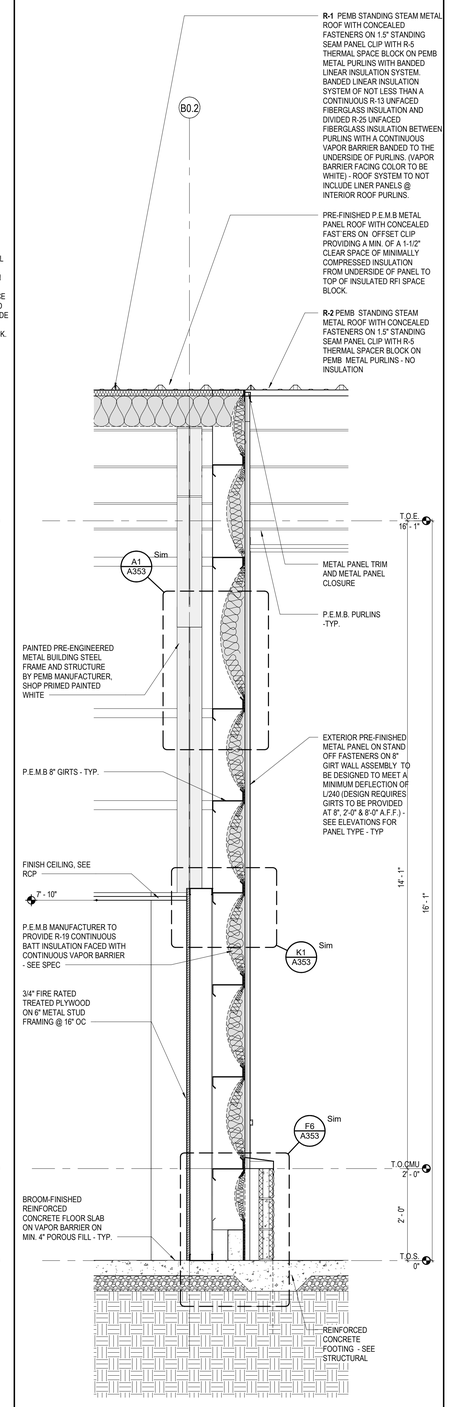
PHASE 100% BID DOCUMENTS
ISSUED FOR
ISSUED BY DAVIS ARCHITECTS PROJECT NO. 3916

SHEET TITLE
WALL SECTIONS

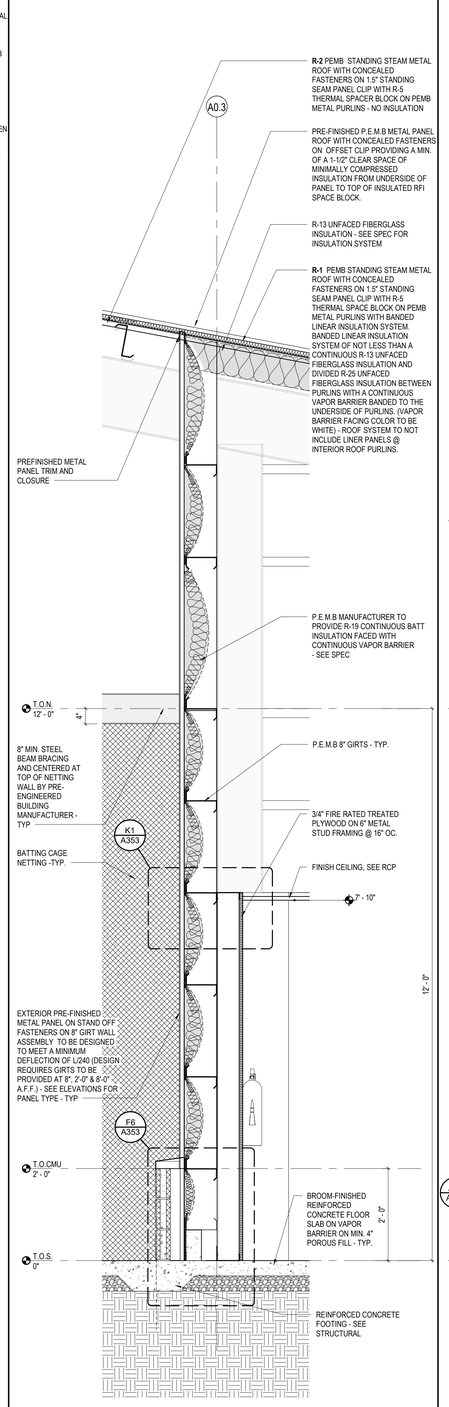
DRAWING NO.
A351



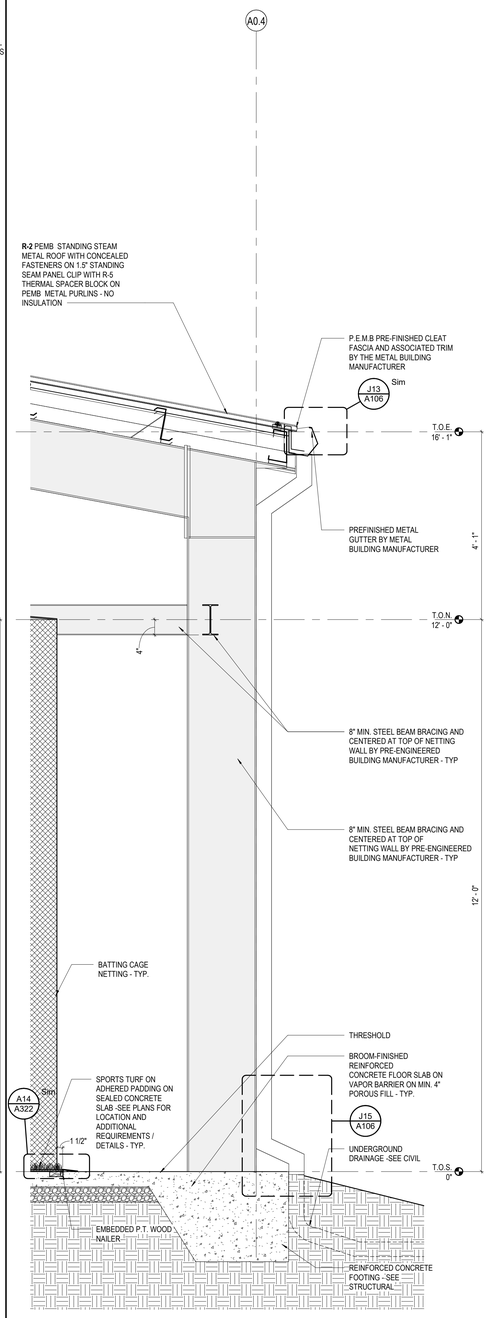
A1 WALL SECTION
A10 /A106 — SCALE: 3/4" = 1'-0"



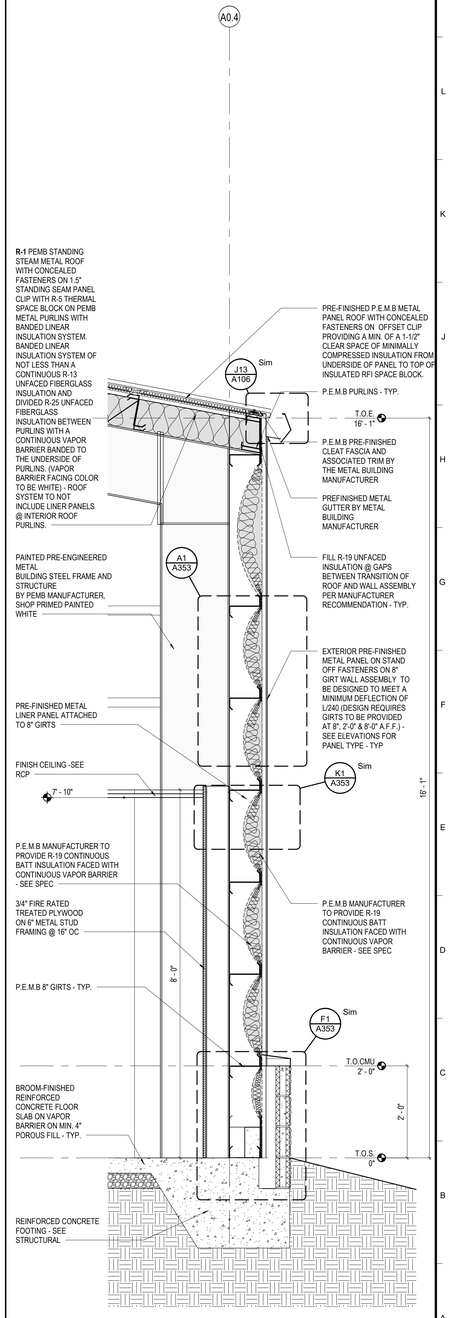
A4 WALL SECTION
G1 /A106 — SCALE: 3/4" = 1'-0"



A8 WALL SECTION
A7 /A322 — SCALE: 3/4" = 1'-0"



A11 WALL SECTION
A1 /A322 — SCALE: 3/4" = 1'-0"



A15 WALL SECTION
A7 /A322 — SCALE: 3/4" = 1'-0"

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REV	DATE	DESCRIPTION

DATE: 5-04-2020
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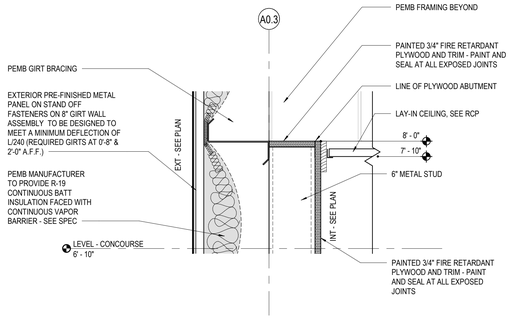
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO: 3916

SHEET TITLE

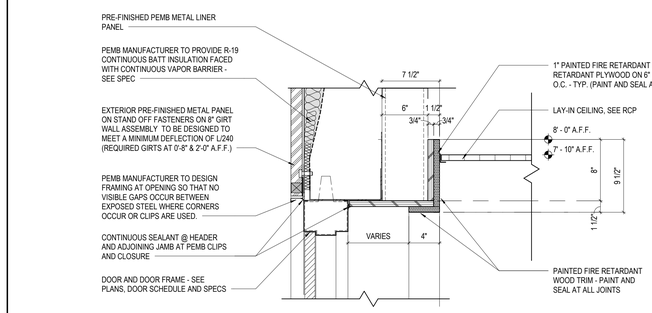
WALL SECTIONS - BATTING CAGE (ALTERNATE#2)

DRAWING NO.

A352

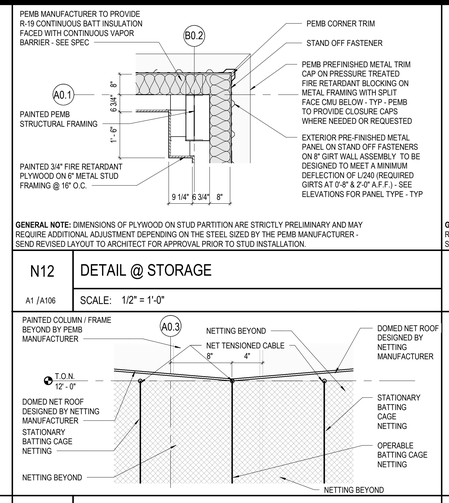


K1	PLYWOOD FURROUT DETAIL @ TOP CONDITION - TYP.
J1 /A322	SCALE: 1 1/2" = 1'-0"



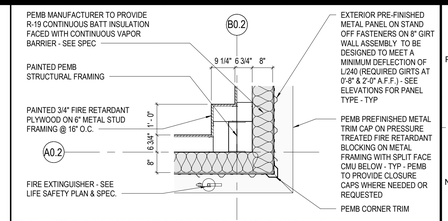
NOTE: JAMB TRIM DETAIL NOT SHOWN - JAMB TRIM DETAIL SHOULD MATCH HEAD TRIM DETAIL AND SHOULD BE CONTINUOUS AROUND THE ENTIRE INTERIOR PORTION OF THE FRAME

K6	DOOR HEAD W/ PLYWOOD TRIM
J1 /A322	SCALE: 1 1/2" = 1'-0"



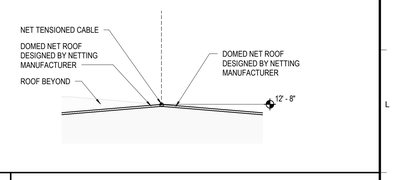
GENERAL NOTE: DIMENSIONS OF PLYWOOD ON STUD PARTITION ARE STRICTLY PRELIMINARY AND MAY REQUIRE ADDITIONAL ADJUSTMENT DEPENDING ON THE STEEL SIZED BY THE PEMB MANUFACTURER - SEND REVISED LAYOUT TO ARCHITECT FOR APPROVAL PRIOR TO STUD INSTALLATION.

N12	DETAIL @ STORAGE
A1 /A106	SCALE: 1/2" = 1'-0"

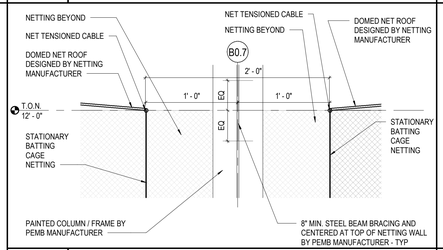


GENERAL NOTE: DIMENSIONS OF PLYWOOD ON STUD PARTITION ARE STRICTLY PRELIMINARY AND MAY REQUIRE ADDITIONAL ADJUSTMENT DEPENDING ON THE STEEL SIZED BY THE PEMB MANUFACTURER - SEND REVISED LAYOUT TO ARCHITECT FOR APPROVAL PRIOR TO STUD INSTALLATION.

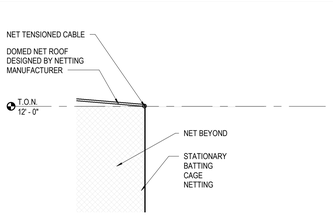
N15	DETAIL @ STORAGE
A1 /A106	SCALE: 1/2" = 1'-0"



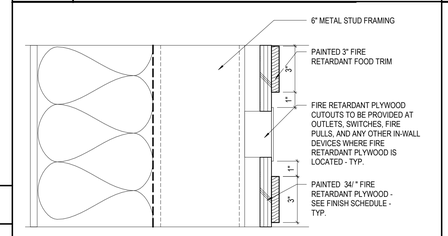
L12	SECTION DETAIL @ ROOF NETTING-3(A)
A1 /A322	SCALE: 1 1/2" = 1'-0"



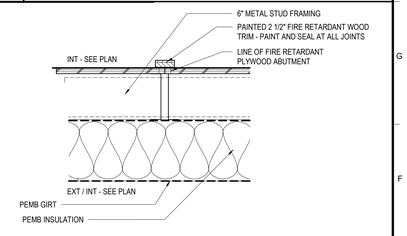
L15	SECTION DETAIL @ ROOF NETTING-2(B)
A1 /A303	SCALE: 1 1/2" = 1'-0"

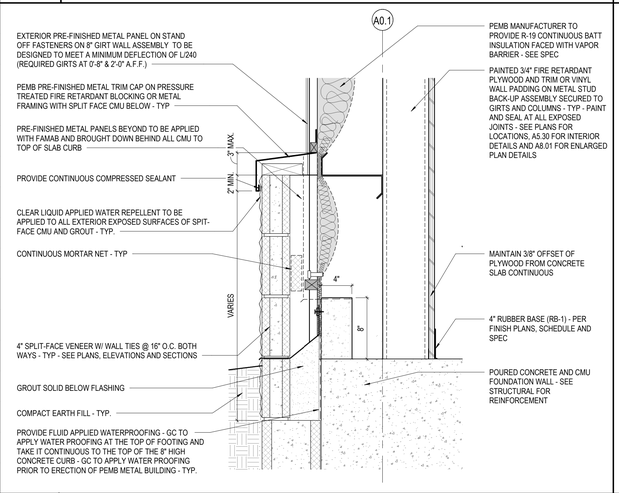


J12	SECTION DETAIL @ ROOF NETTING-4(D)
J1 /A322	SCALE: 1 1/2" = 1'-0"

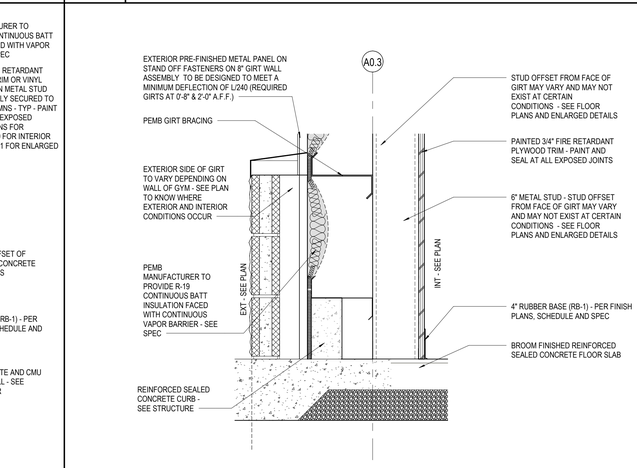


J15	SECTION DETAIL @ ROOF NETTING-1(C)
F1 /A303	SCALE: 1 1/2" = 1'-0"





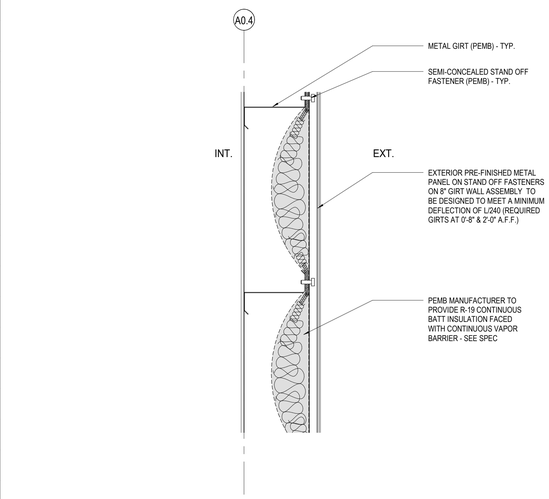
F1	TYPICAL CMU VENEER @ PEMB
A1 /A352	SCALE: 1 1/2" = 1'-0"



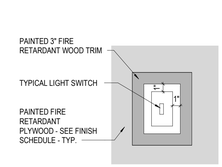
F6	PLYWOOD FURROUT DETAIL @ BOTTOM CONDITION - TYP.
J1 /A322	SCALE: 1 1/2" = 1'-0"

E12	PLYWOOD CUTOUT DETAIL
	SCALE: 3" = 1'-0"

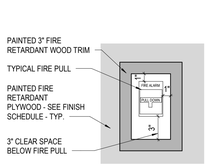
E15	PLYWOOD TRIM SECTION DETAIL
	SCALE: 1 1/2" = 1'-0"



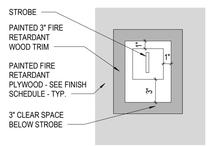
A1	WALL STAND-OFF FASTENERS
A1 /A352	SCALE: 1 1/2" = 1'-0"



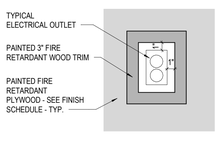
C6	TYP LIGHTSWITCH PLYWOOD CUTOUT
	SCALE: 1 1/2" = 1'-0"



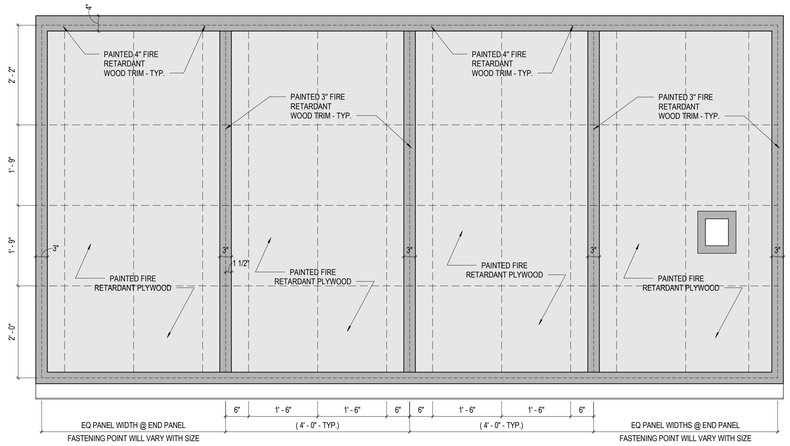
C8	FIRE PULL PLYWOOD CUTOUT
	SCALE: 1 1/2" = 1'-0"



A6	STROBE PLYWOOD CUTOUT
	SCALE: 1 1/2" = 1'-0"



A8	TYP OUTLET PLYWALL CUTOUT
	SCALE: 1 1/2" = 1'-0"



A12	ENLARGED ELEVATION - TYPICAL PLYWOOD & FASTENER PATTERN
	SCALE: 3/4" = 1'-0"

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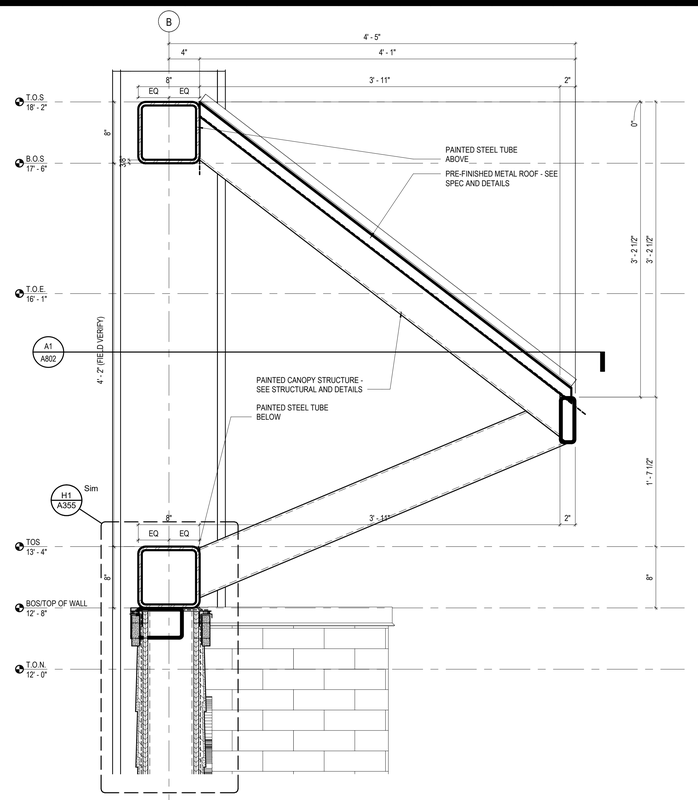
REV	DATE	DESCRIPTION

DATE: 5-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO.: 3916

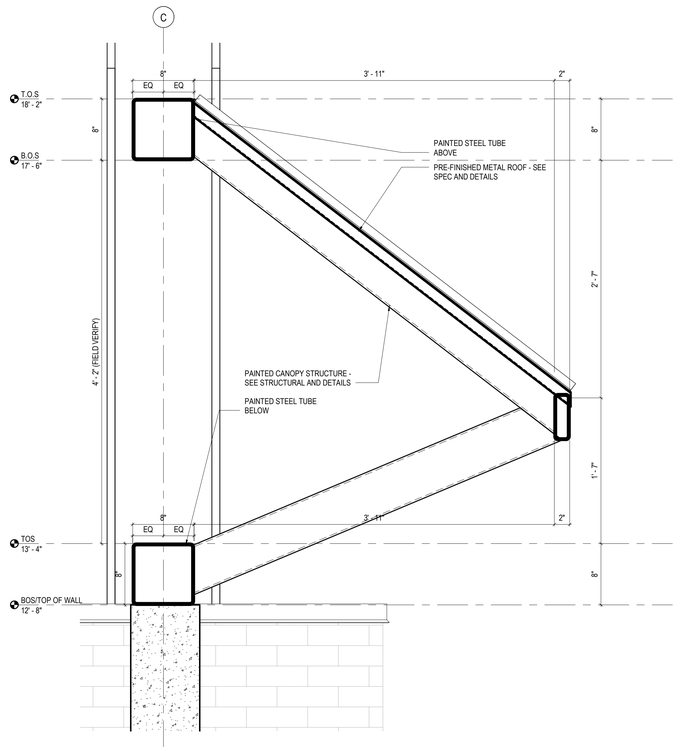
SHEET TITLE
WALL DETAILS - BATTING CAGE (ALTERNATE#2)

DRAWING NO.
A353



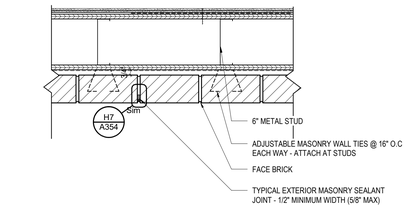
H1 DETAIL @ LOW CANOPY

SCALE: 1 1/2" = 1'-0"



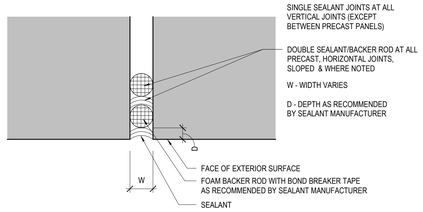
A1 DETAIL @ FRAMING ARCHWAY

SCALE: 1 1/2" = 1'-0"



M7 TYPICAL BRICK CONTROL JOINT

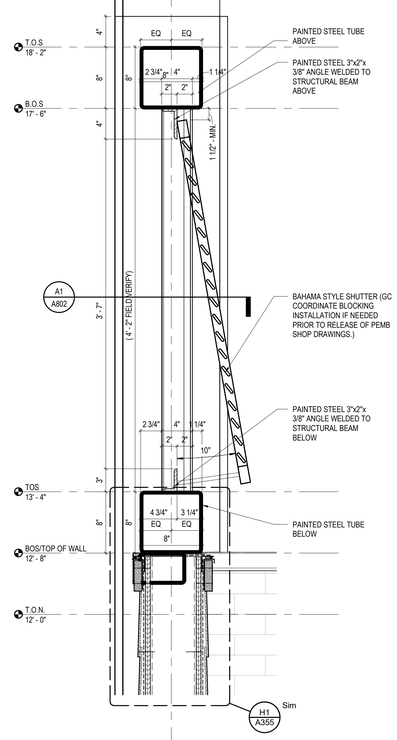
SCALE: 1 1/2" = 1'-0"



H7 SEALANT JOINT (SINGLE OR DOUBLE)

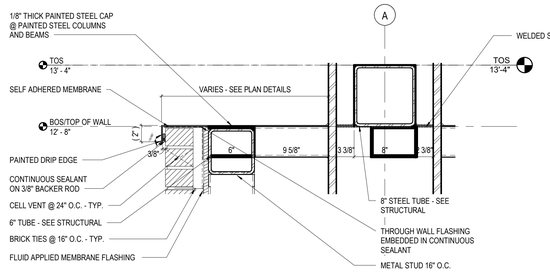
M7 /A354

SCALE: 12" = 1'-0"



A7 DETAIL @ BAHAMA SHUTTER

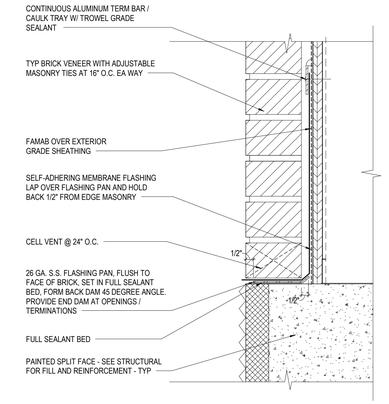
SCALE: 1 1/2" = 1'-0"



M12 STEEL CAP DETAIL

A12 /A354

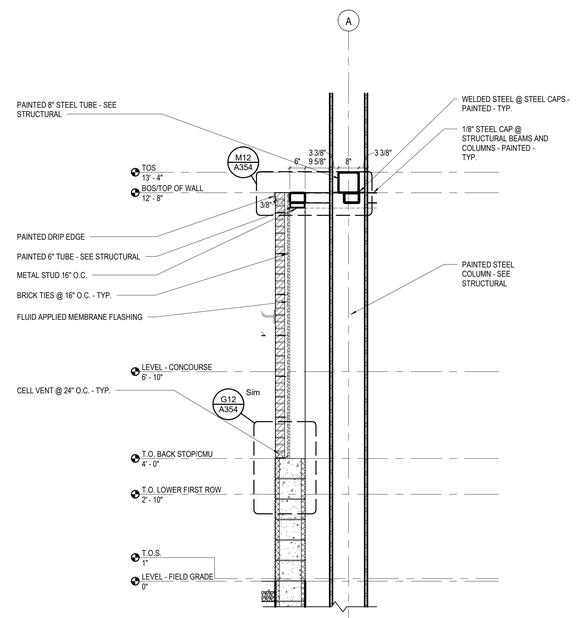
SCALE: 1 1/2" = 1'-0"



G12 TYP THRU-WALL W SS PAN

A12 /A354

SCALE: 3" = 1'-0"



A12 WALL SECTION @ STEEL CAP

E10 /A802

SCALE: 1/2" = 1'-0"

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REV	DATE	DESCRIPTION

DATE 5-04-2020

PHASE 100% BID DOCUMENTS

ISSUED FOR

ISSUED BY DAVIS ARCHITECTS

PROJECT NO. 3916

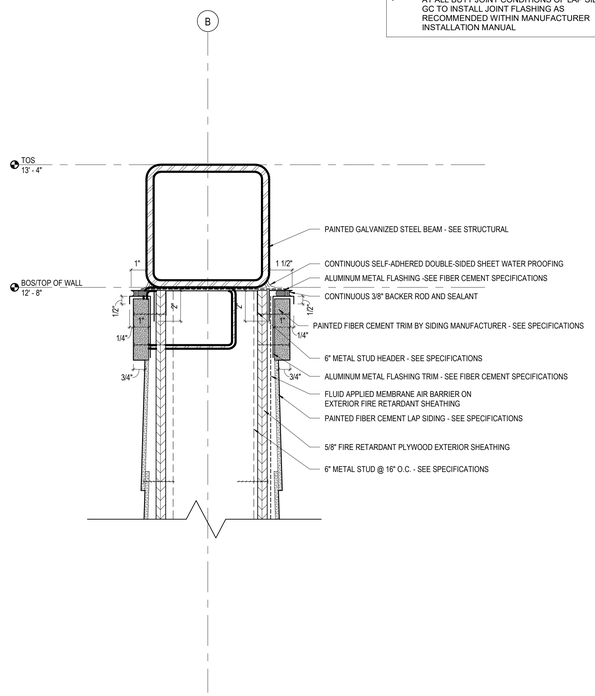
SHEET TITLE

WALL DETAILS

DRAWING NO.

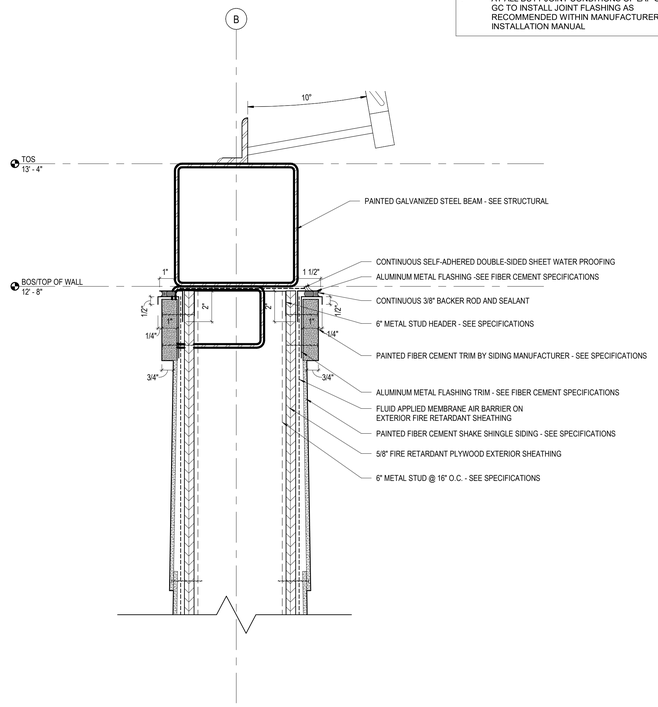
A354

GENERAL NOTE:
- AT ALL BUTT JOINT CONDITIONS OF LAP SIDING - GC TO INSTALL JOINT FLASHING AS RECOMMENDED WITHIN MANUFACTURER INSTALLATION MANUAL



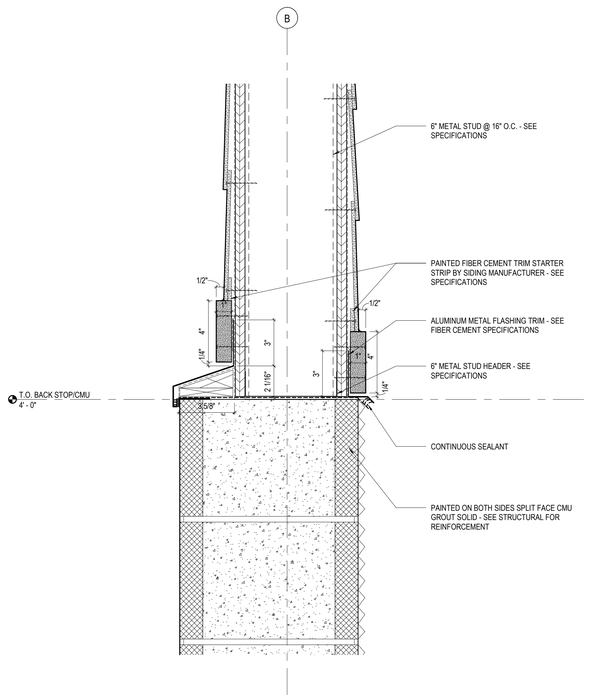
H1	STEEL @ LAP SIDING
A9 /A350	SCALE: 3" = 1'-0"

GENERAL NOTE:
- AT ALL BUTT JOINT CONDITIONS OF LAP SIDING - GC TO INSTALL JOINT FLASHING AS RECOMMENDED WITHIN MANUFACTURER INSTALLATION MANUAL



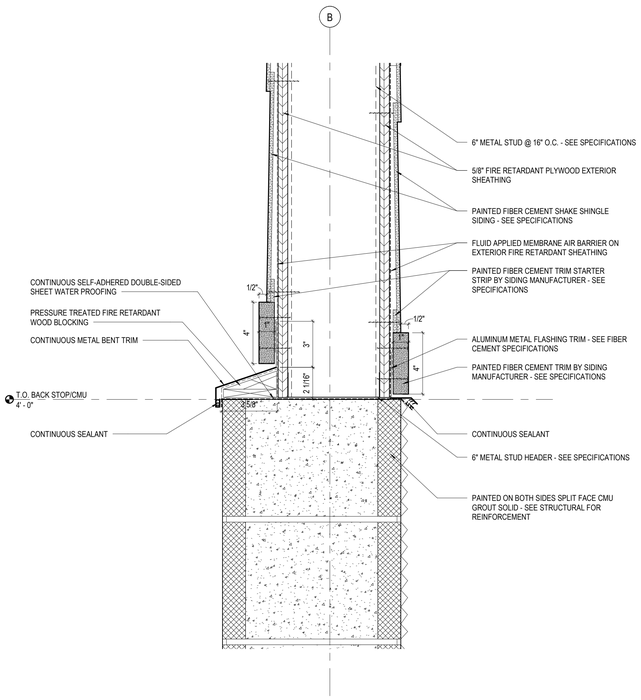
H6	STEEL @ SHAKE SIDING
A4 /A350	SCALE: 3" = 1'-0"

GENERAL NOTE:
- AT ALL BUTT JOINT CONDITIONS OF LAP SIDING - GC TO INSTALL JOINT FLASHING AS RECOMMENDED WITHIN MANUFACTURER INSTALLATION MANUAL

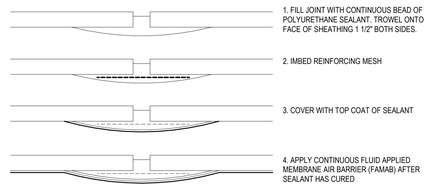


A1	WALL DETAIL @ LAP SIDING
A9 /A350	SCALE: 3" = 1'-0"

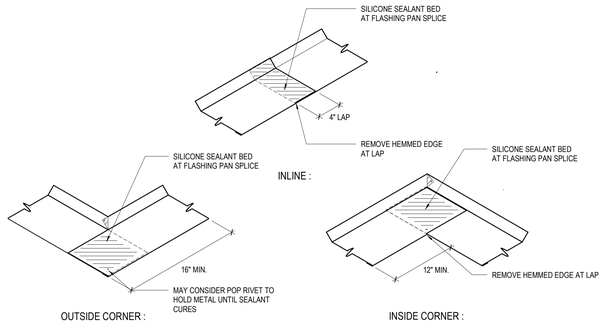
GENERAL NOTE:
- AT ALL BUTT JOINT CONDITIONS OF LAP SIDING - GC TO INSTALL JOINT FLASHING AS RECOMMENDED WITHIN MANUFACTURER INSTALLATION MANUAL



A6	WALL DETAIL @ SHAKE SIDING
A4 /A350	SCALE: 3" = 1'-0"



D13	TYP SHEATHING JOINT TREATMENT
	SCALE: 6" = 1'-0"



A13	FLASHING PAN JOINT DETAILS
	SCALE: 1 1/2" = 1'-0"

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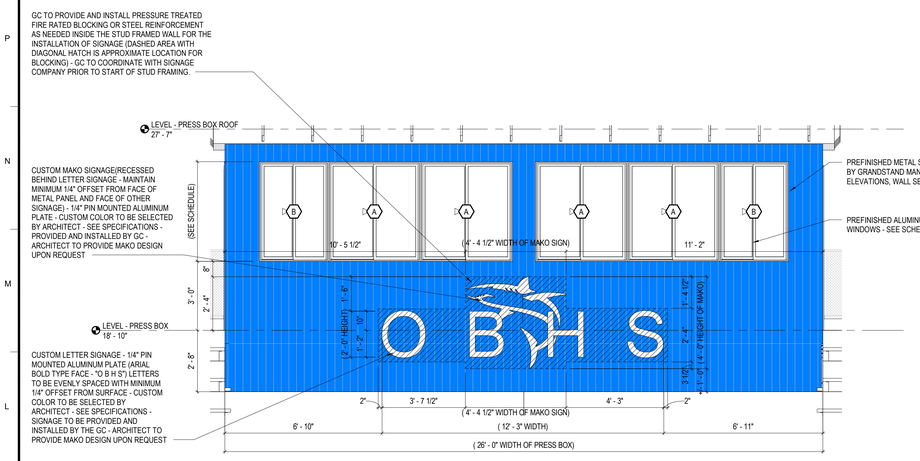
REV	DATE	DESCRIPTION

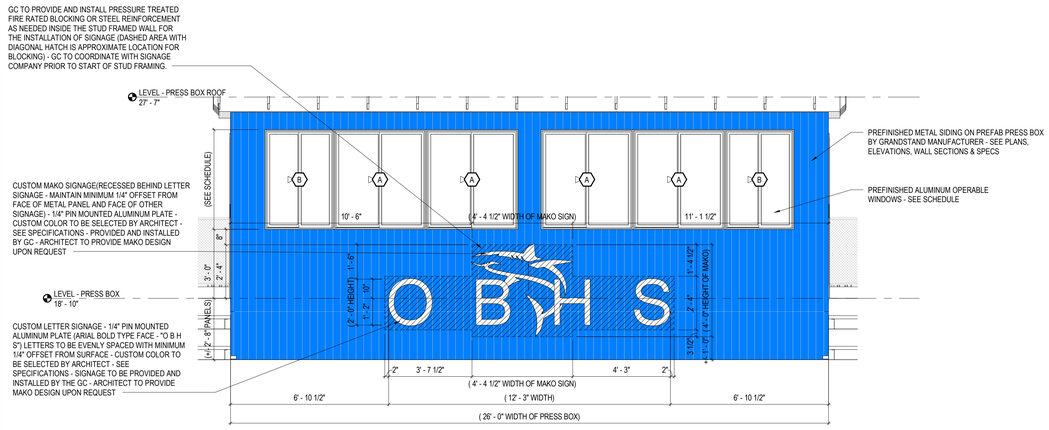
DATE: 5-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO.: 3916

SHEET TITLE
WALL DETAILS

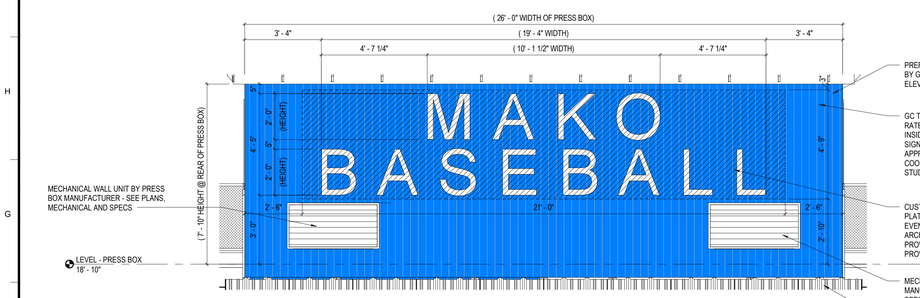
DRAWING NO.
A355



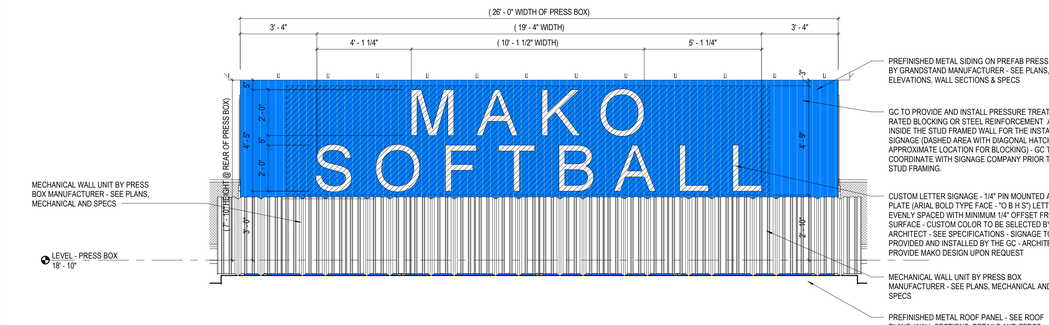
K1	FIELD 2 GRANDSTAND SIGNAGE - FRONT OF PRESS BOX
A1 /A300	SCALE: 3/8" = 1'-0"



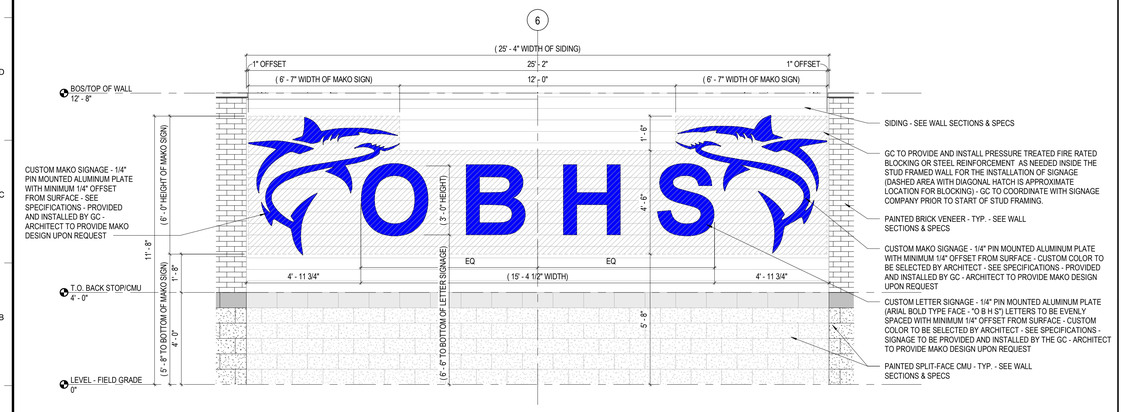
K10	FIELD 3 GRANDSTAND SIGNAGE - FRONT OF PRESS BOX
A1 /A301	SCALE: 3/8" = 1'-0"



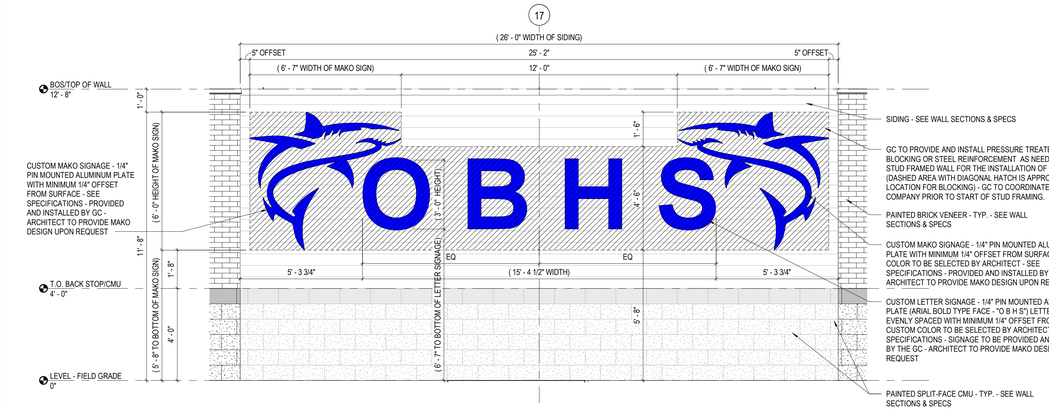
E1	FIELD 2 GRANDSTAND SIGNAGE - REAR OF PRESS BOX
D1 /A300	SCALE: 3/8" = 1'-0"



E10	FIELD 3 GRANDSTAND SIGNAGE - REAR OF PRESS BOX
D1 /A301	SCALE: 3/8" = 1'-0"



A1	FIELD 2 GRANDSTAND SIGNAGE - REAR OF GRANDSTAND
D1 /A300	SCALE: 3/8" = 1'-0"



A10	FIELD 3 GRANDSTAND SIGNAGE - REAR OF GRANDSTAND
D1 /A301	SCALE: 3/8" = 1'-0"

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PHASE 100% BID DOCUMENTS
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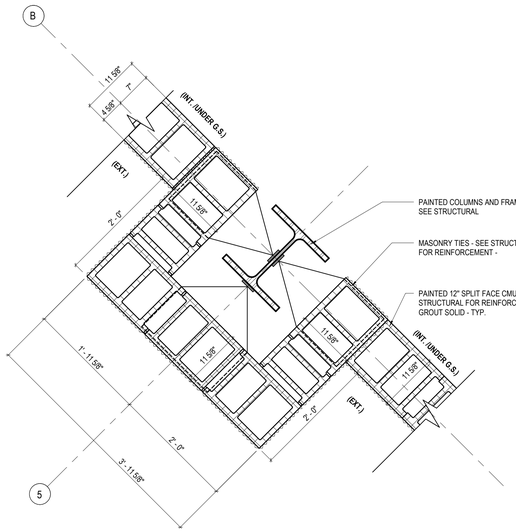
PROJECT NO 3916

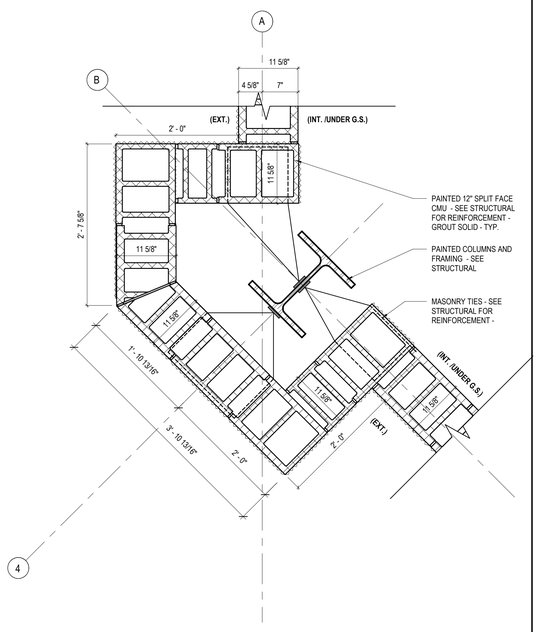
SHEET TITLE
WALL DETAILS - SIGNAGE

DRAWING NO.
A356



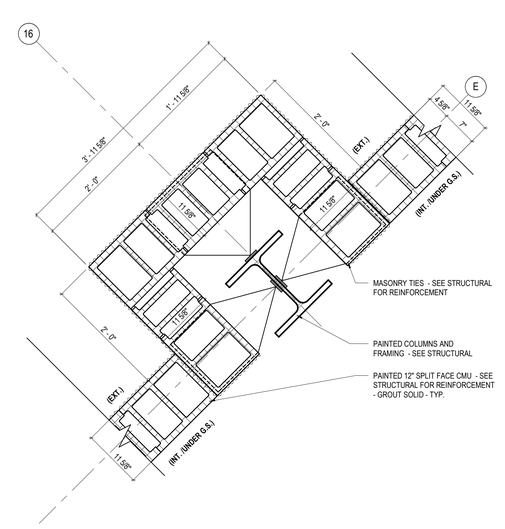
H1 PLAN DETAIL @ FIELD 2 GRANDSTAND

A1 /A101 SCALE: 1" = 1'-0"



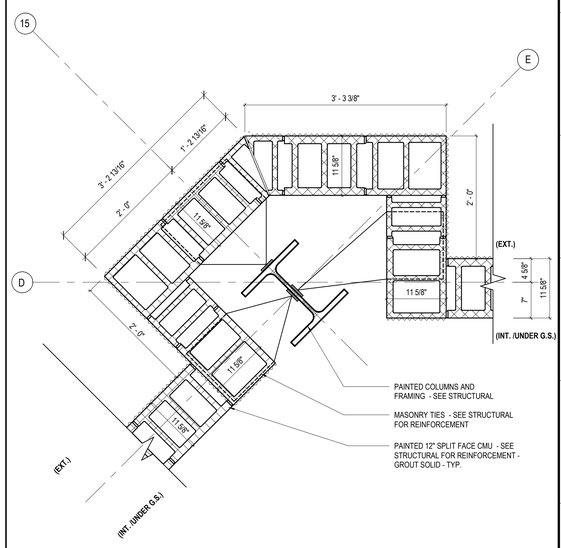
H5 PLAN DETAIL @ FIELD 2 GRANDSTAND

A1 /A101 SCALE: 1" = 1'-0"



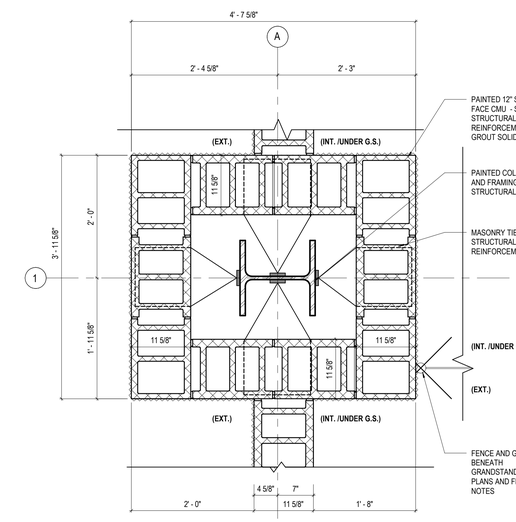
H9 PLAN DETAIL @ FIELD 3 GRANDSTAND

A11 /A101 SCALE: 1" = 1'-0"



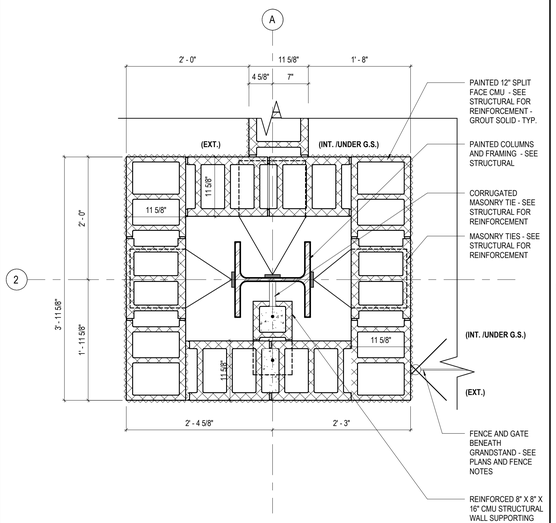
H14 PLAN DETAIL @ FIELD 3 GRANDSTAND

A11 /A101 SCALE: 1" = 1'-0"



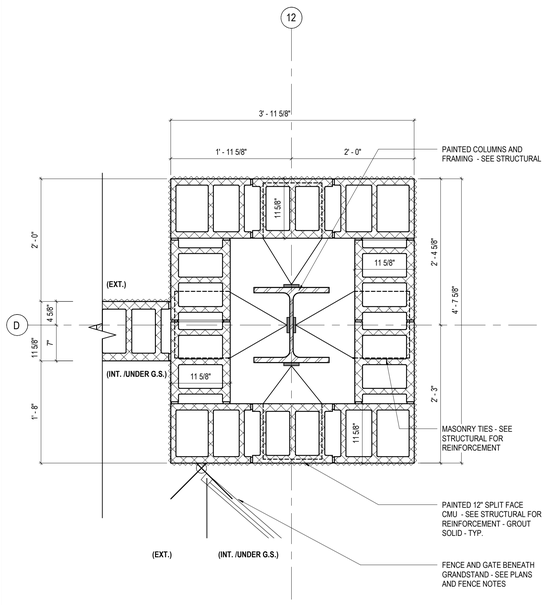
A1 PLAN DETAIL @ FIELD 2 GRANDSTAND

A1 /A101 SCALE: 1" = 1'-0"



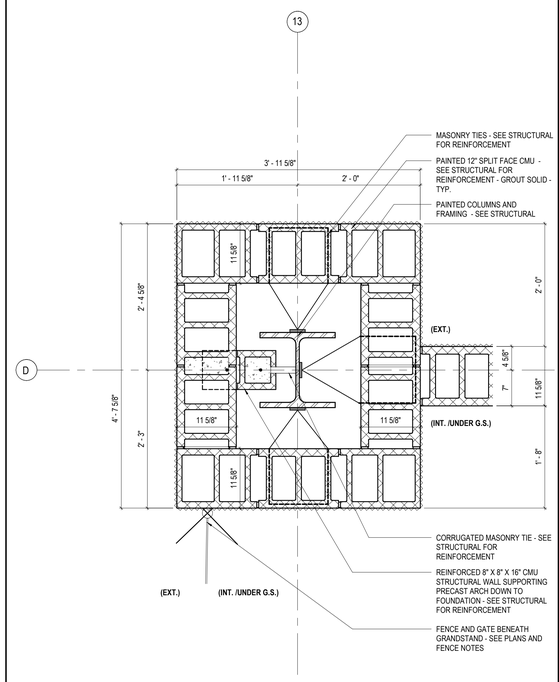
A5 PLAN DETAIL @ FIELD 2 GRANDSTAND

A1 /A101 SCALE: 1" = 1'-0"



A9 PLAN DETAIL @ FIELD 3 GRANDSTAND

A11 /A101 SCALE: 1" = 1'-0"



A14 PLAN DETAIL @ FIELD 3 GRANDSTAND

A11 /A101 SCALE: 1" = 1'-0"

STATE OF ALABAMA
DAVIS ARCHITECTS
2413
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ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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ORANGE BEACH, ALABAMA

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REV	DATE	DESCRIPTION

DATE 5-04-2020

PHASE 100% BID DOCUMENTS

ISSUED FOR

ISSUED BY DAVIS ARCHITECTS PROJECT NO. 3916

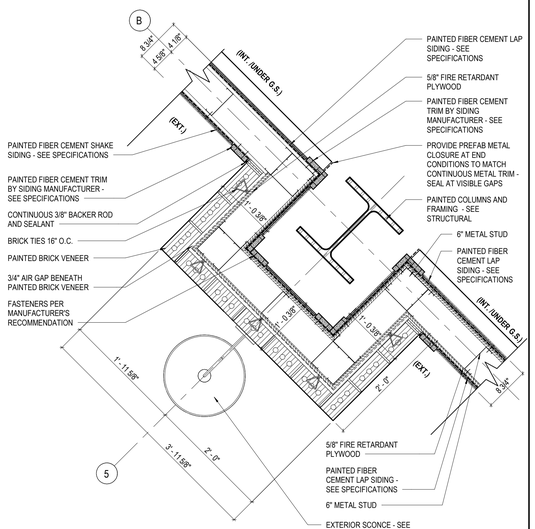
SHEET TITLE

PLAN DETAILS

DRAWING NO.

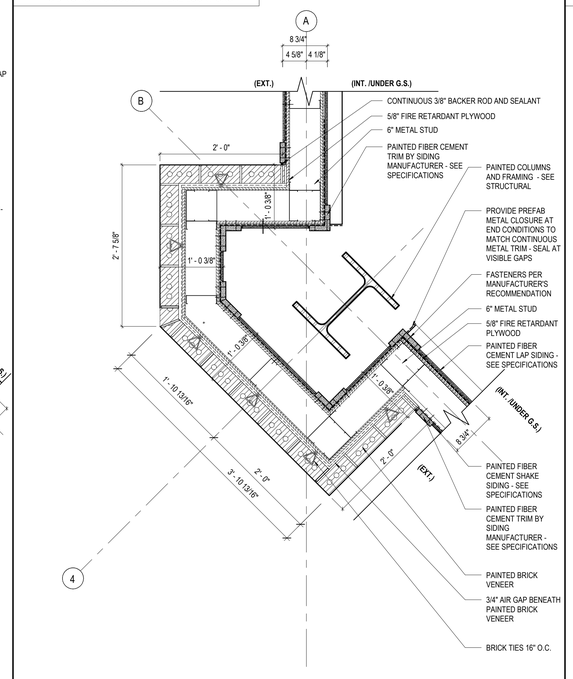
A800

GENERAL NOTES:
- AT ALL BUTT JOINT CONDITIONS OF LAP SIDING - GC TO INSTALL JOINT FLASHING AS RECOMMENDED WITHIN MANUFACTURER INSTALLATION MANUAL
- SIDING BENEATH GRANDSTAND, WHICH TO BE INSTALLED WITHIN STRUCTURAL COLUMN CAVITY TO BE PAINTED LAP SIDING AND TRIM - SHAKE SIDING NOT TO OCCUR AT THESE LOCATIONS



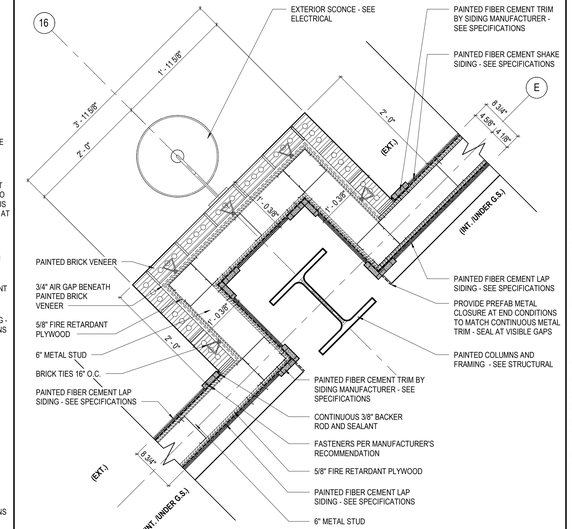
H1 PLAN DETAIL @ FIELD 2 GRANDSTAND
A1 /A102 SCALE: 1" = 1'-0"

GENERAL NOTES:
- AT ALL BUTT JOINT CONDITIONS OF LAP SIDING - GC TO INSTALL JOINT FLASHING AS RECOMMENDED WITHIN MANUFACTURER INSTALLATION MANUAL
- SIDING BENEATH GRANDSTAND, WHICH TO BE INSTALLED WITHIN STRUCTURAL COLUMN CAVITY TO BE PAINTED LAP SIDING AND TRIM - SHAKE SIDING NOT TO OCCUR AT THESE LOCATIONS



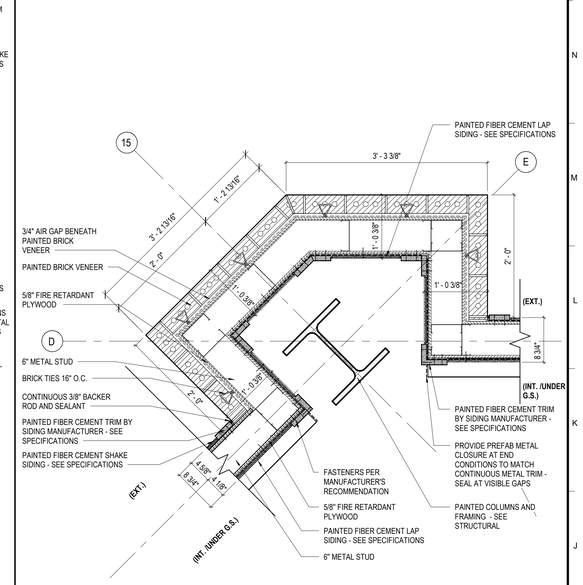
H5 PLAN DETAIL @ FIELD 2 GRANDSTAND
A1 /A102 SCALE: 1" = 1'-0"

GENERAL NOTES:
- AT ALL BUTT JOINT CONDITIONS OF LAP SIDING - GC TO INSTALL JOINT FLASHING AS RECOMMENDED WITHIN MANUFACTURER INSTALLATION MANUAL
- SIDING BENEATH GRANDSTAND, WHICH TO BE INSTALLED WITHIN STRUCTURAL COLUMN CAVITY TO BE PAINTED LAP SIDING AND TRIM - SHAKE SIDING NOT TO OCCUR AT THESE LOCATIONS



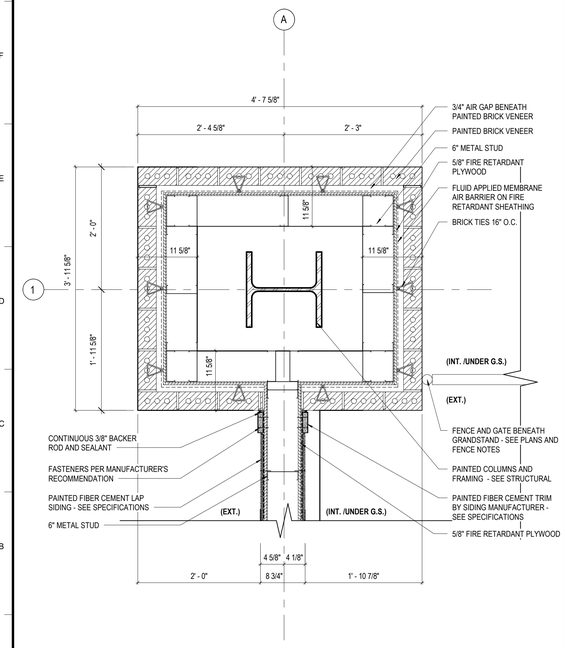
H9 PLAN DETAIL @ FIELD 3 GRANDSTAND
A11 /A102 SCALE: 1" = 1'-0"

GENERAL NOTES:
- AT ALL BUTT JOINT CONDITIONS OF LAP SIDING - GC TO INSTALL JOINT FLASHING AS RECOMMENDED WITHIN MANUFACTURER INSTALLATION MANUAL
- SIDING BENEATH GRANDSTAND, WHICH TO BE INSTALLED WITHIN STRUCTURAL COLUMN CAVITY TO BE PAINTED LAP SIDING AND TRIM - SHAKE SIDING NOT TO OCCUR AT THESE LOCATIONS



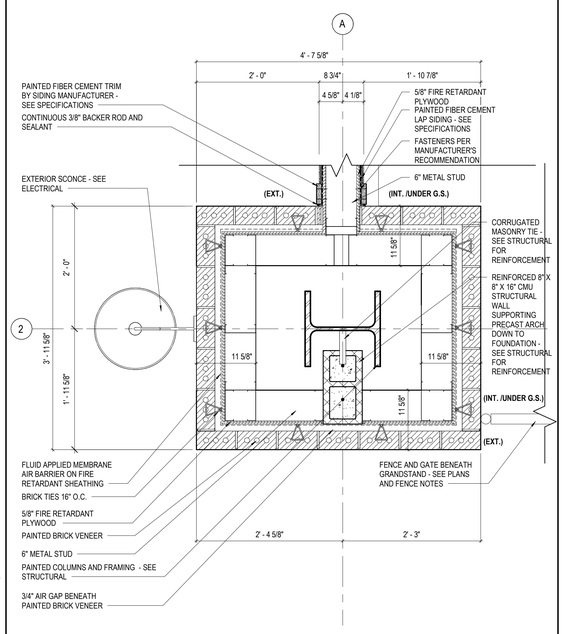
H14 PLAN DETAIL @ FIELD 3 GRANDSTAND
A11 /A102 SCALE: 1" = 1'-0"

GENERAL NOTE:
- AT ALL BUTT JOINT CONDITIONS OF LAP SIDING - GC TO INSTALL JOINT FLASHING AS RECOMMENDED WITHIN MANUFACTURER INSTALLATION MANUAL
- GC TO PROVIDE STUD BRACING AS NEEDED TO BRACE STUD WITH STRUCTURAL COLUMN



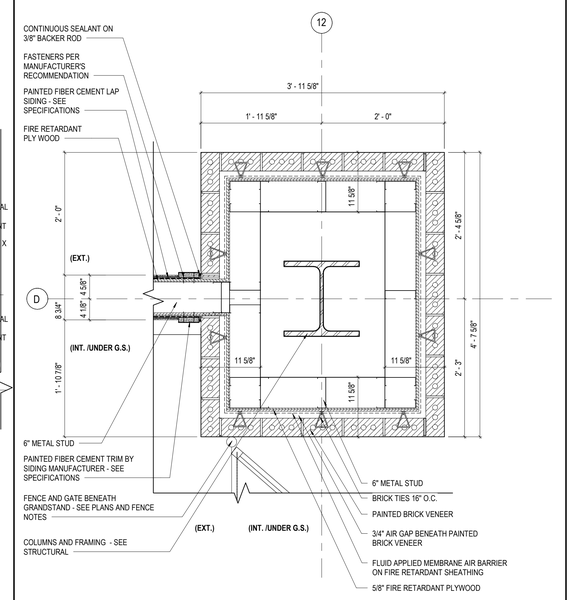
A1 PLAN DETAIL @ FIELD 2 GRANDSTAND
A1 /A102 SCALE: 1" = 1'-0"

GENERAL NOTE:
- AT ALL BUTT JOINT CONDITIONS OF LAP SIDING - GC TO INSTALL JOINT FLASHING AS RECOMMENDED WITHIN MANUFACTURER INSTALLATION MANUAL
- GC TO PROVIDE STUD BRACING AS NEEDED TO BRACE STUD WITH STRUCTURAL COLUMN



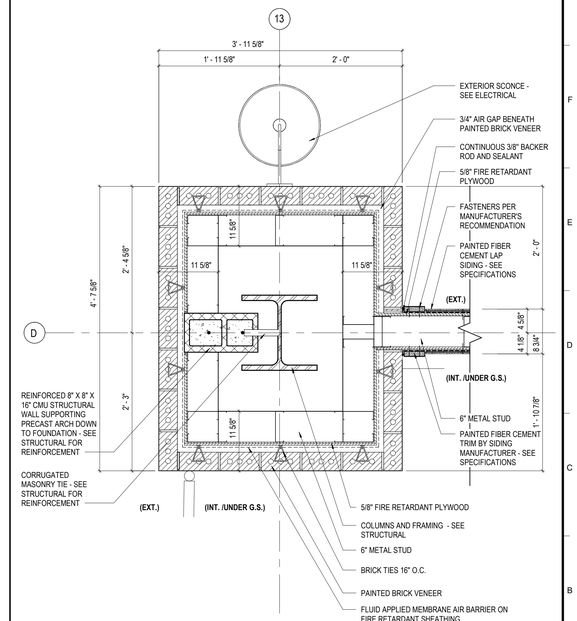
A5 PLAN DETAIL @ FIELD 2 GRANDSTAND
A1 /A102 SCALE: 1" = 1'-0"

GENERAL NOTE:
- AT ALL BUTT JOINT CONDITIONS OF LAP SIDING - GC TO INSTALL JOINT FLASHING AS RECOMMENDED WITHIN MANUFACTURER INSTALLATION MANUAL
- GC TO PROVIDE STUD BRACING AS NEEDED TO BRACE STUD WITH STRUCTURAL COLUMN



A9 PLAN DETAIL @ FIELD 3 GRANDSTAND
A11 /A102 SCALE: 1" = 1'-0"

GENERAL NOTE:
- AT ALL BUTT JOINT CONDITIONS OF LAP SIDING - GC TO INSTALL JOINT FLASHING AS RECOMMENDED WITHIN MANUFACTURER INSTALLATION MANUAL
- GC TO PROVIDE STUD BRACING AS NEEDED TO BRACE STUD WITH STRUCTURAL COLUMN



A14 PLAN DETAIL @ FIELD 3 GRANDSTAND
A11 /A102 SCALE: 1" = 1'-0"

STATE OF ALABAMA
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ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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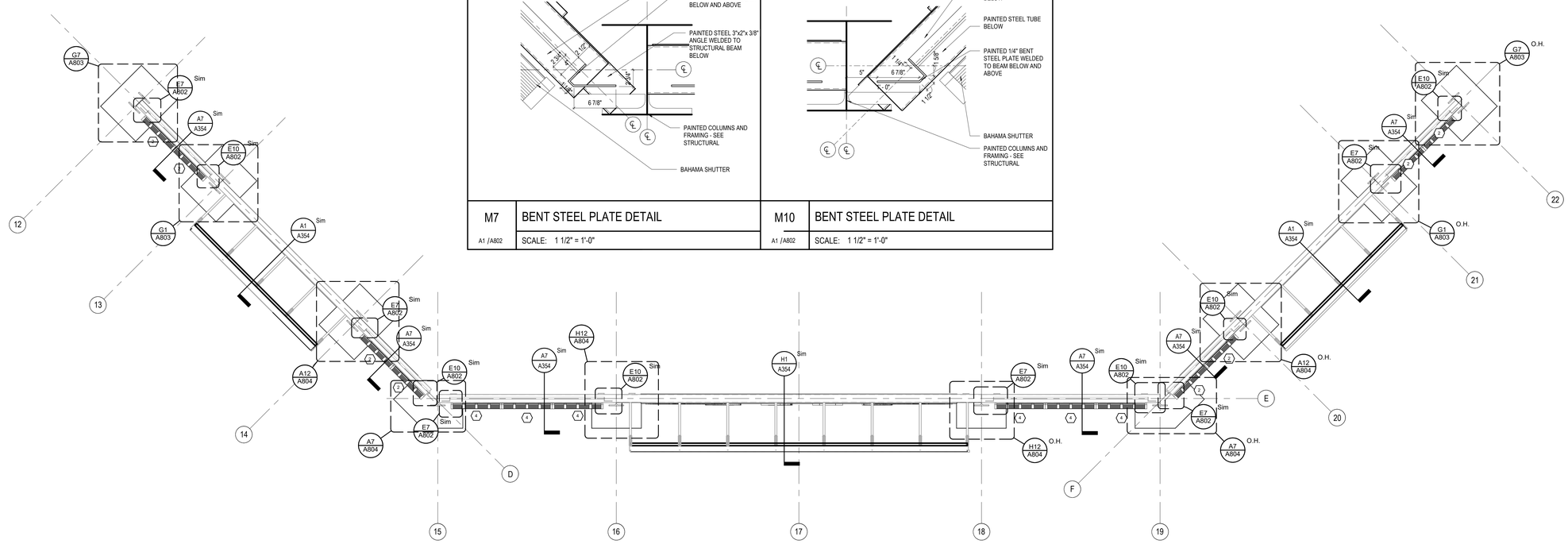
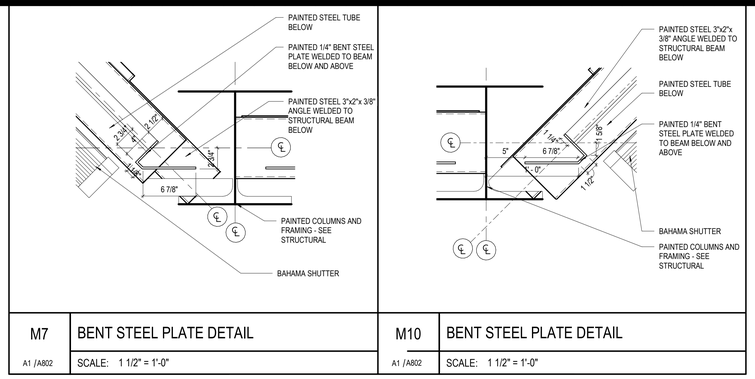
REV	DATE	DESCRIPTION

DATE: 5-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO: 3916

SHEET TITLE
PLAN DETAILS

DRAWING NO.
A801





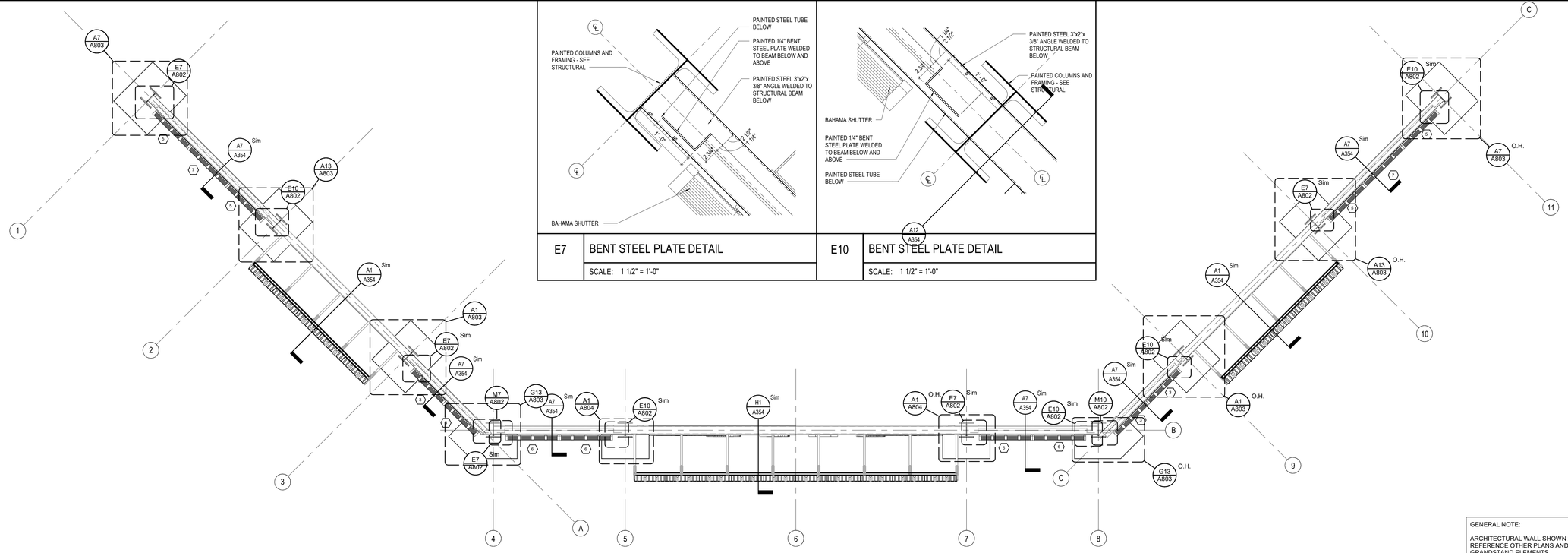
M7	BENT STEEL PLATE DETAIL
A1 /A802	SCALE: 1 1/2" = 1'-0"

M10	BENT STEEL PLATE DETAIL
A1 /A802	SCALE: 1 1/2" = 1'-0"

GENERAL NOTE:

ARCHITECTURAL WALL SHOWN ALONE FOR CLARITY - REFERENCE OTHER PLANS AND DETAILS FOR GRANDSTAND ELEMENTS

G1	FIELD 3 - MISCELLANEOUS STEEL LOCATIONS
A1 /A301	SCALE: 1/4" = 1'-0"



E7	BENT STEEL PLATE DETAIL
	SCALE: 1 1/2" = 1'-0"

E10	BENT STEEL PLATE DETAIL
	SCALE: 1 1/2" = 1'-0"

GENERAL NOTE:

ARCHITECTURAL WALL SHOWN ALONE FOR CLARITY - REFERENCE OTHER PLANS AND DETAILS FOR GRANDSTAND ELEMENTS

A1	FIELD 2 - MISCELLANEOUS STEEL LOCATIONS
A1 /A300	SCALE: 1/4" = 1'-0"

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REV	DATE	DESCRIPTION

DATE: 5-04-2020
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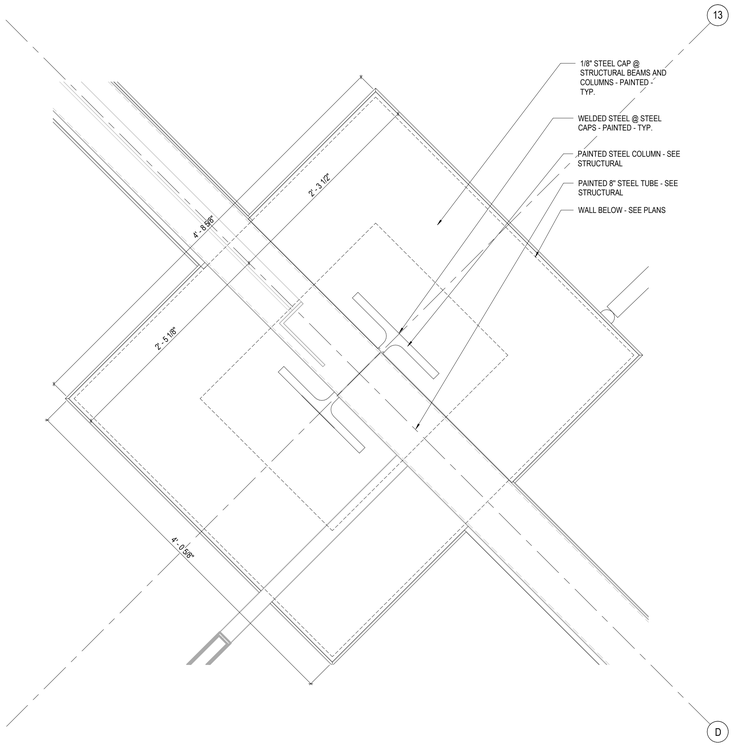
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO.: 3916

SHEET TITLE

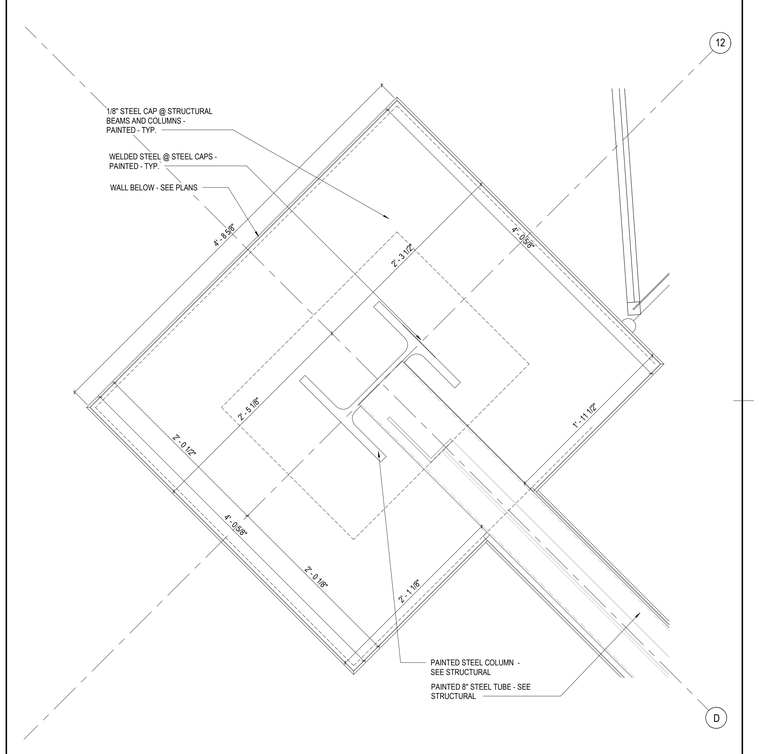
PLAN DETAILS - MISCELLANEOUS STEEL

DRAWING NO.

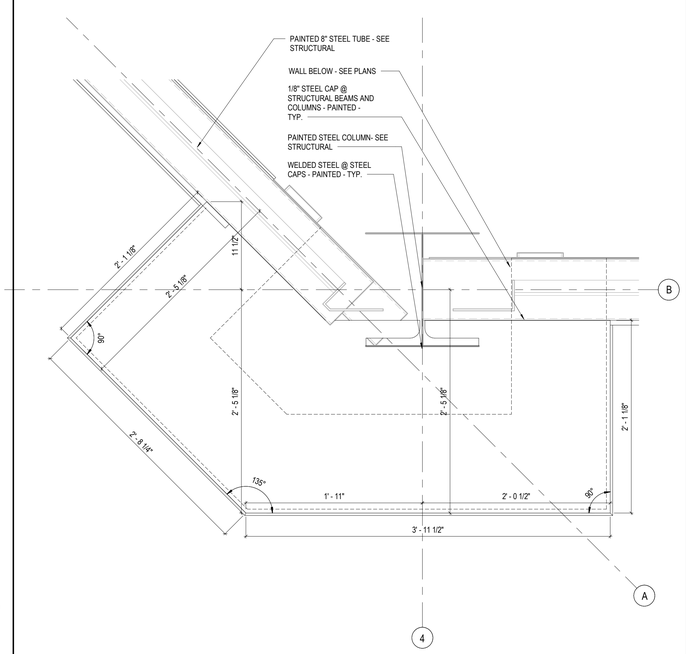
A802



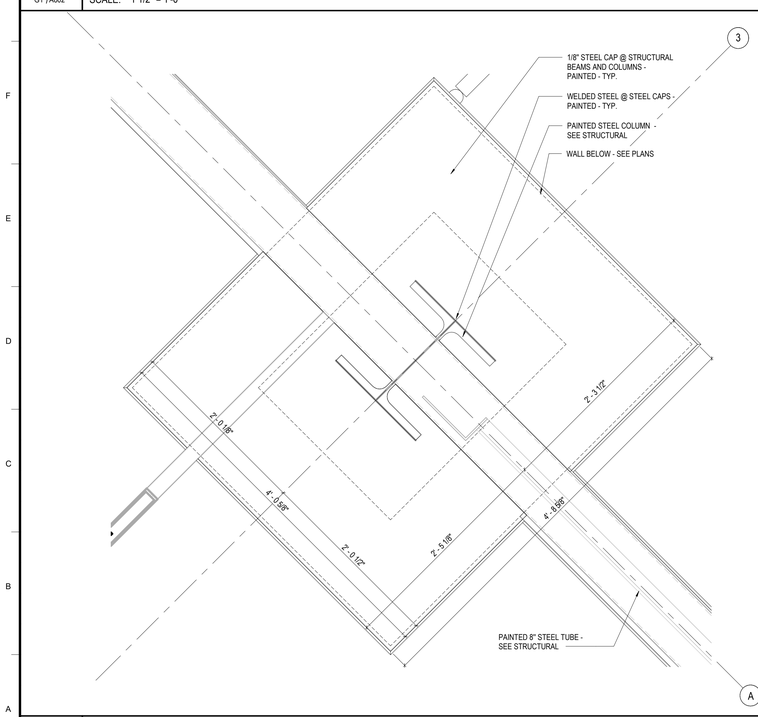
G1	STEEL CAP @ FIELD 3
G1 /A802	SCALE: 1 1/2" = 1'-0"



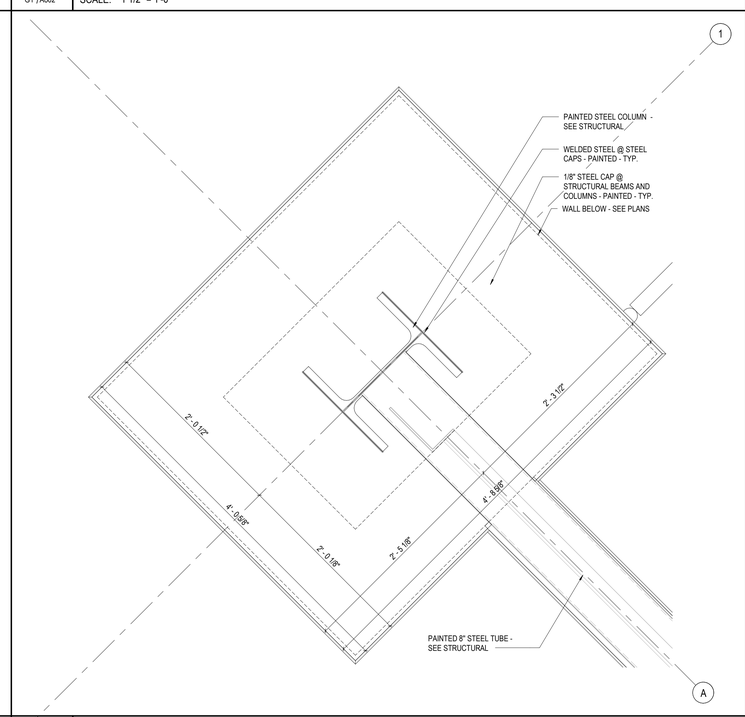
G7	STEEL CAP @ FIELD 3
G1 /A802	SCALE: 1 1/2" = 1'-0"



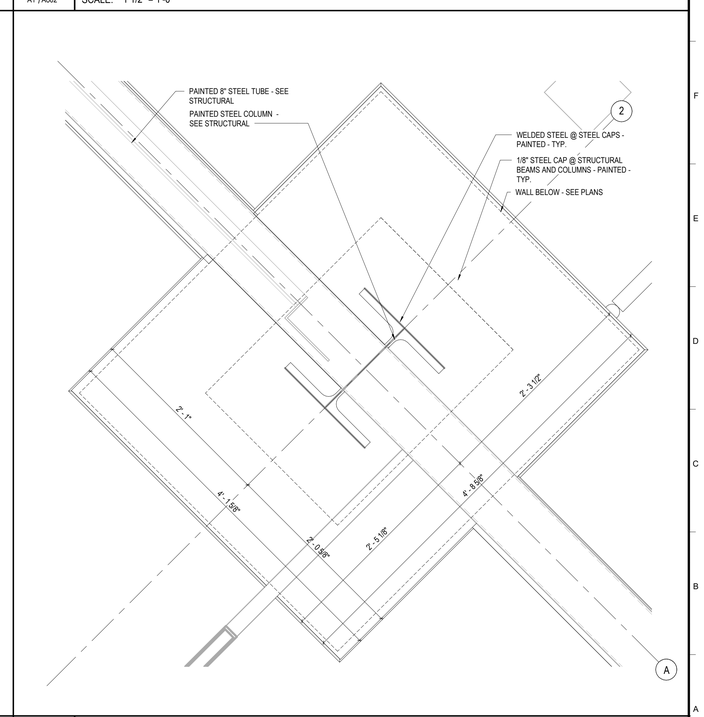
G13	STEEL CAP @ FIELD 2
A1 /A802	SCALE: 1 1/2" = 1'-0"



A1	STEEL CAP @ FIELD 2
A1 /A802	SCALE: 1 1/2" = 1'-0"



A7	STEEL CAP @ FIELD 2
A1 /A802	SCALE: 1 1/2" = 1'-0"



A13	STEEL CAP @ FIELD 2
A1 /A802	SCALE: 1 1/2" = 1'-0"

STATE OF ALABAMA
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REV	DATE	DESCRIPTION

DATE 5-04-2020

PHASE 100% BID DOCUMENTS

ISSUED FOR

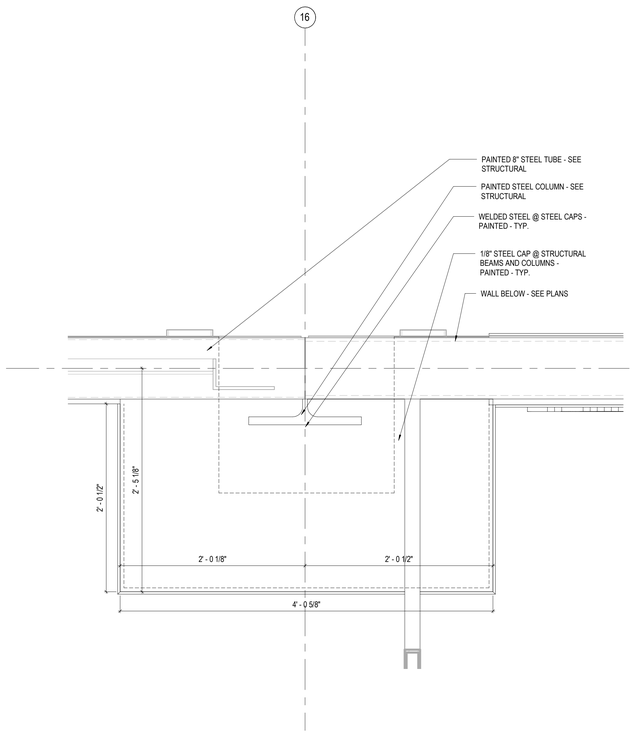
ISSUED BY DAVIS ARCHITECTS PROJECT NO. 3916

SHEET TITLE

PLAN DETAILS - MISCELLANEOUS STEEL

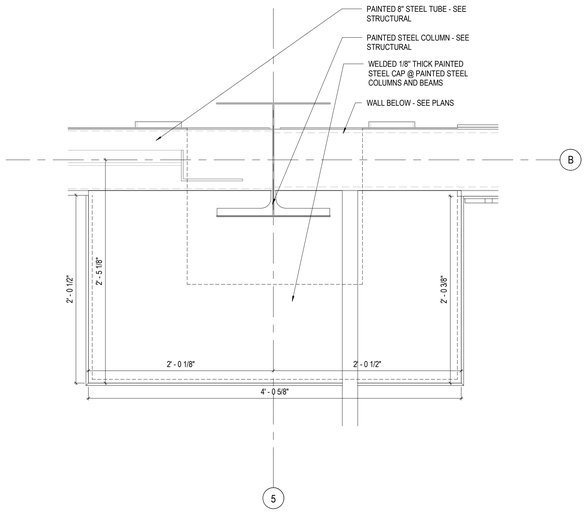
DRAWING NO.

A803



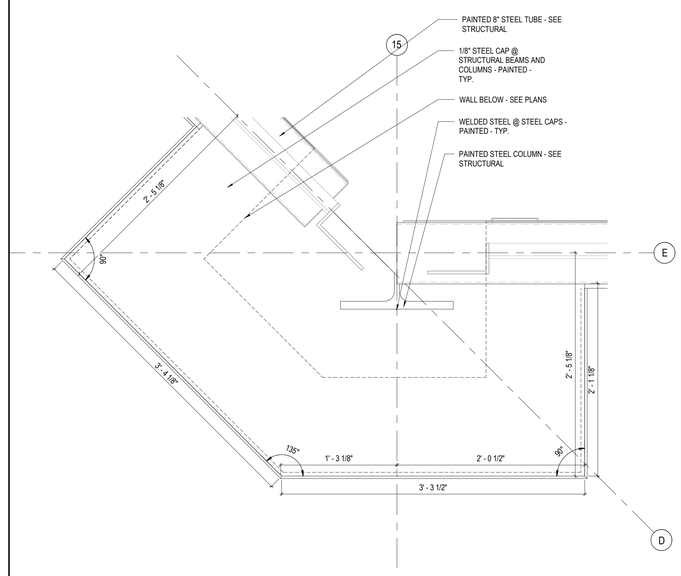
H12 — STEEL CAP @ FIELD 3

G1 /A802 — SCALE: 1 1/2" = 1'-0"



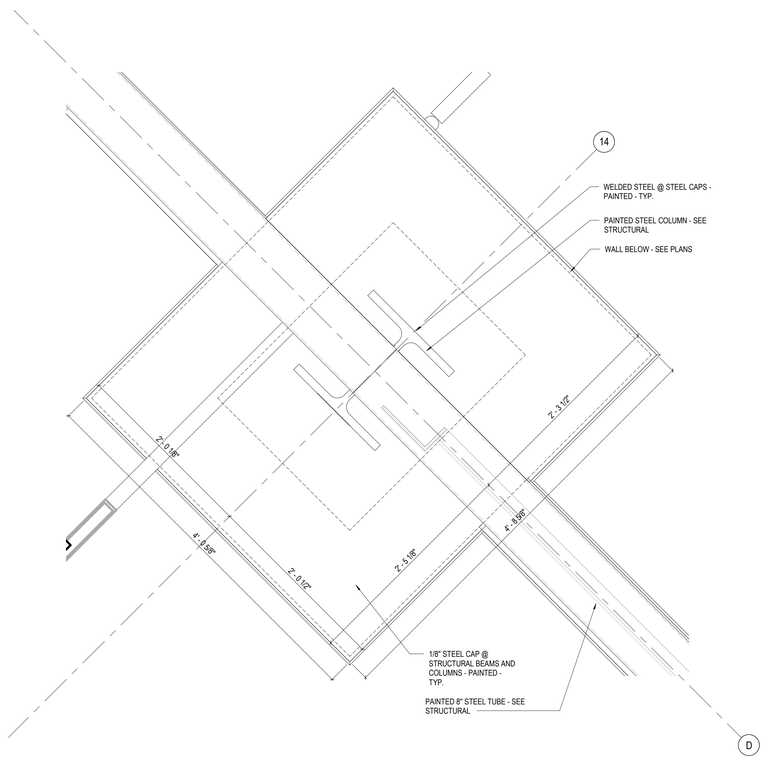
A1 — STEEL CAP @ FIELD 2

A1 /A802 — SCALE: 1 1/2" = 1'-0"



A7 — STEEL CAP @ FIELD 3

G1 /A802 — SCALE: 1 1/2" = 1'-0"



A12 — STEEL CAP @ FIELD 3

G1 /A802 — SCALE: 1 1/2" = 1'-0"

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ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ;
ORANGE BEACH, ALABAMA

DAVIS

OWNER
CITY OF ORANGE BEACH
PO BOX 458
ORANGE BEACH, ALABAMA 36561
251-981-69792
ATTN: KEN GRIMES, JR.

ASSOCIATE ARCHITECT
MCCOLLOUGH ARCHITECTURE
4790 MAIN ST #209,
ORANGE BEACH, AL 36561
251-968-7222
ATTN: STED MCCOLLOUGH

ARCHITECT
DAVIS ARCHITECTS, INC.
120 23RD STREET SOUTH
BIRMINGHAM, AL 35233
205-322-7482
ATTN: JIM HARTSELL / JEFFREY MENASCO

CIVIL ENGINEER
SAWGRASS CONSULTING, LLC
11143 OLD HIGHWAY 31
SPANISH FORT, AL 36527
251-544-7900
ATTN: ERCIL E. GODWIN / DOUG CHAFFIN

STRUCTURAL ENGINEER
MBA ENGINEERS
300 20TH ST. N., SUITE 100
BIRMINGHAM, AL 35203
205-323-6385
ATTN: KEITH OWENS / MARK BOGER

MECHANICAL / PLUMBING ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: CHRIS DEARMON / VAN SIMPSON

ELECTRICAL ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE: 5-04-2020

PHASE: 100% BID DOCUMENTS

ISSUED FOR:

ISSUED BY: DAVIS ARCHITECTS — PROJECT NO: 3916

SHEET TITLE

PLAN DETAILS - MISCELLANEOUS STEEL

DRAWING NO.

A804

	CODE	MATERIAL	BASIS OF DESIGN/MANUFACTURER	STYLE/PATTERN	COLOR	SIZE	FINISH NOTES	CONTACT	PHONE
FLOOR	TF-1	TURF FLOORING	SPORTURF	SPORTURF 36 PL705	VERIDIAN	12'-0" WIDE		DEMOND MOORE	706.913.5033
	TF-2	TURF FLOORING	SPORTURF	SPORTURF 36 PL705	WHITE	12'-0" WIDE		DEMOND MOORE	706.913.5033
	VCT-1	VINYL COMPOSITION TILE	ARMSTRONG	IMPERIAL TEXTURE STANDARD EXCELON	51946 GENTIAN BLUE	12' X 12'		RICH LAWS	205.410.2765
BASE	RB-1	RUBBER BASE							
WALL	P-1	PAINT	SHERWIN WILLIAMS		SW 7015 REPOSE GRAY		EGGSHELL FINISH	DWIGHT LECLAIR	678.361.6108
	P-2	PAINT	SHERWIN WILLIAMS		SW 7007 CEILING BRIGHT WHITE		FLAT FINISH: TYPICAL GYP CEILING COLOR	DWIGHT LECLAIR	678.361.6108
	VGP-1	VINYL-FACED GYPSUM PANEL			CALCUTTA GRAY				
CEILING	A1	ACOUSTICAL LAY-IN CEILING							
	B1	SPRAY TEXTURED GYPSUM BOARD, PAINTED	SEE SPECIFICATIONS		PAINTED P-2				
MILLWORK	PL-1	PLASTIC LAMINATE	NEVAMAR		GRAY MATRIX MR6001T				

STATE OF ALABAMA
DAVIS ARCHITECTS
2413
NEIL E. DAVIS
REGISTERED ARCHITECT

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DATE: 5-04-2020
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ISSUED FOR:
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SHEET TITLE

FINISH LEGEND

DRAWING NO.

A910

GENERAL NOTES

1. CONTRACTOR SHALL COORDINATE BETWEEN ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER DRAWINGS:
   A. ANY DISCREPANCIES OR CONFLICTS BETWEEN DRAWINGS OF DIFFERENT DISCIPLINES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR SHALL NOT PROCEED WITH SHOP DRAWING PREPARATION OR ANY CONSTRUCTION UNTIL THE ARCHITECT HAS GIVEN DIRECTION OF RESOLUTION FOR THE DISCREPANCY OR CONFLICT.
   B. NOT ALL OPENINGS AND OTHER COMPONENTS THAT ARE REQUIRED HAVE BEEN SHOWN ON THE STRUCTURAL DRAWINGS. COORDINATE AND VERIFY THE LOCATIONS AND SIZES OF CHASES, INSERTS, OPENINGS, SLEEVES, FINISHES, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS AT FLOORS, WALLS, AND ROOFS BETWEEN DRAWINGS OF DIFFERENT DISCIPLINES.
2. IN THE CASE OF INCONSISTENCIES BETWEEN DRAWINGS AND SPECIFICATIONS OR WITHIN EITHER DOCUMENT, A BIDDER WILL BE DEEMED TO HAVE INCLUDED IN ITS BID THE BETTER QUALITY OR GREATER QUANTITY OF THE WORK INVOLVED UNLESS THE BIDDER ASKED FOR AND OBTAINED THE ARCHITECT'S WRITTEN CLARIFICATION OF THE REQUIREMENTS BEFORE SUBMISSION OF BID.
3. ALL DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS, AND DETAILS. DO NOT SCALE THE DRAWINGS.
4. THE DETAILS PROVIDED ON SHEETS LABELED AS "TYPICAL DETAILS" APPLY GENERALLY TO THE DRAWINGS IN AREAS WHERE CONDITIONS ARE SIMILAR TO THOSE DESCRIBED IN THE DETAILS, UNLESS NOTED OTHERWISE.
5. ALL OF THE CONTRACTOR'S PROPOSED SUBSTITUTIONS ARE CONSIDERED CHANGE ORDERS AND SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW AND/OR APPROVAL PRIOR TO ANY PERTINENT WORK OR FABRICATION.
6. CONSTRUCTION METHODS, PROCEDURES AND SEQUENCES ARE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL TAKE ALL THE NECESSARY MEANS TO MAINTAIN AND PROTECT THE STRUCTURAL INTEGRITY OF ALL CONSTRUCTION, NEW AND EXISTING, AT ALL STAGES INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
   A. BRACE ALL BASEMENT-TYPE WALLS RETAINING EARTH UNTIL RESTRAINING SLABS/FLOORS HAVE BEEN INSTALLED AND SLABS HAVE REACHED REQUIRED DESIGN STRENGTH.
   B. BRACE/SHORE ALL WALLS AS REQUIRED TO MAINTAIN STABILITY DURING CONSTRUCTION.
   C. SHORE EXISTING FLOORS, WALLS, AND/OR ROOFS AS REQUIRED DURING DEMOLITION OF ANY PORTION OF EXISTING STRUCTURE UNTIL NEW SUPPORT FRAMING HAS BEEN INSTALLED.
7. ALL STRUCTURAL MEMBERS, AS SHOWN, HAVE BEEN DESIGNED TO CARRY IN PLACE DESIGN LOADS ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPORT OF ANY LOADS AND FORCES IMPOSED DURING CONSTRUCTION, TRANSPORTATION, ERECTION, AND HANDLING. THE CONTRACTOR SHALL INSURE THAT CONSTRUCTION LOADS DO NOT EXCEED THE DESIGN LIVE LOADS INDICATED ON THE STRUCTURAL DRAWINGS AND THAT THESE LOADS ARE NOT IMPOSED ON THE STRUCTURAL MEMBERS PRIOR TO THE TIME THAT CONCRETE REACHES THE FULL SPECIFIED DESIGN STRENGTH, STEEL MEMBERS AND THEIR CONNECTIONS ARE FULLY BOLTED AND / OR WELDED AND ALL OTHER FRAMING MEMBERS AND THEIR CONNECTIONS ARE IN PLACE.
8. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO ANY PERTINENT WORK OR FABRICATION. ALL EXISTING CONDITIONS AND DIMENSIONS SHALL BE NOTED ON THE SHOP DRAWINGS.
9. ALL CONSTRUCTION JOINTS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE INCORPORATED INTO THE STRUCTURE. ADDITIONAL CONSTRUCTION JOINTS TO FACILITATE CONSTRUCTION SHALL BE LOCATED AND DETAILED ON THE SHOP DRAWINGS FOR REVIEW.

SHOP DRAWINGS/SUBMITTALS

1. SHOP DRAWING SUBMITTAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE PROJECT CONTRACT DOCUMENTS (DRAWINGS AND SPECIFICATIONS) AND SHALL FOLLOW INDUSTRY GUIDELINES AND STANDARDS.
2. ALL QUESTIONS, CLARIFICATIONS, OR MODIFICATIONS OF THE CONTRACT DOCUMENTS SHALL BE CLEARLY DOCUMENTED AND INDICATED ON THE SHOP DRAWING TRANSMITTAL OR COVER SHEET. ITEMS SHALL NOT BE CONSIDERED APPROVED UNLESS SPECIFICALLY ADDRESSED BY MBA IN THE REVIEW COMMENTS.
3. ALL SHOP DRAWINGS ARE TO BE NEWLY PREPARED. REPRODUCTIONS OF CONTRACT STRUCTURAL DRAWINGS FOR USE AS ERECTION DRAWINGS WILL NOT BE PERMITTED. SHOULD SHOP DRAWING SUBMITTALS CONTAIN ANY REPRODUCTIONS OF CONTRACT STRUCTURAL DRAWINGS, THEY WILL BE REJECTED AND RETURNED WITHOUT ENGINEER REVIEW.
   A. MBA MAY CONSIDER TRANSFERRING COMPUTER FILES, IN THE FORMAT CREATED, OF THE PLAN SHEETS TO PROJECT SUBCONTRACTORS TO ASSIST IN DEVELOPING SHOP DRAWINGS ON A CASE BY CASE BASIS. A SIGNED FILE TRANSFER AGREEMENT WILL BE REQUIRE PRIOR TO RELEASE OF MBA FILES.
4. CONTRACTOR TO REVIEW ALL SHOP DRAWING SUBMITTALS AND STAMP WITH APPROVAL PRIOR TO SUBMISSION TO ARCHITECT/ ENGINEER. SHOP DRAWINGS RECEIVED BY ARCHITECT/ENGINEER THAT HAVE NOT BEEN REVIEWED AND COORDINATED BY THE CONTRACTOR WILL BE RETURNED WITHOUT ARCHITECT/ENGINEER'S REVIEW. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRECTING DIMENSIONS WHICH PERTAIN TO FABRICATION PROCESSES OR CONSTRUCTION TECHNIQUES PRIOR TO SUBMITTAL AND FOR COORDINATION OF WORK OF ALL TRADES.
5. CONTRACTOR MAY PROVIDE REVIEWED AND APPROVED SUBMITTALS IN AN ELECTRONIC .PDF FORMAT FOR ENGINEER REVIEW AND APPROVAL. IN LIEU OF ELECTRONIC SUBMITTALS, CONTRACTOR MAY PROVIDE NO MORE THAN FOUR PAPER COPIES OF EACH STRUCTURAL SHOP DRAWING SUBMITTAL TO THE ENGINEER. THE STRUCTURAL ENGINEER WILL REVIEW AND RETURN TWO OF THE COPIES TO THE ARCHITECT. ADDITIONAL COPIES REQUIRED BY THE CONTRACTOR SHALL BE MADE BY THE CONTRACTOR AFTER THE REVIEW PROCESS.
6. MBA REVIEW OF SHOP DRAWING SUBMITTALS IS FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT AND FOR GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. REVIEW AND/OR APPROVAL OF SHOP DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR DEVIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS OR FOR ERRORS/ OMISSIONS IN THE SHOP DRAWINGS.
7. CONTRACTOR MAY PROVIDE REVIEWED AND APPROVED SUBMITTALS IN AN ELECTRONIC .PDF FORMAT FOR ENGINEER REVIEW AND APPROVAL IN LIEU OF ELECTRONIC SUBMITTALS, CONTRACTOR MAY PROVIDE NO MORE THAN FOUR PAPER COPIES OF EACH STRUCTURAL SHOP DRAWING SUBMITTAL TO THE ENGINEER. THE STRUCTURAL ENGINEER WILL REVIEW AND RETURN TWO OF THE COPIES TO THE ARCHITECT. ADDITIONAL COPIES REQUIRED BY THE CONTRACTOR SHALL BE MADE BY THE CONTRACTOR AFTER THE REVIEW PROCESS.

SITE AND FOUNDATION

1. THE DESIGN OF FOUNDATIONS AND RELATED COMPONENTS IS BASED ON THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY GEOCON, PROJECT NO. DL 2028-20, DATED 01/15/20. THE GENERAL CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS AND RECOMMENDATIONS IN THE REPORT.
2. ALLOWABLE SOIL BEARING PRESSURES (PSF):
   ISOLATED FOOTINGS 1500 PSF
   CONTINUOUS FOOTINGS 1500 PSF
3. EXCAVATE, WHERE REQUIRED, TO BUILDING AND STRUCTURE SUBGRADE.
4. PROOF-ROLL THE AREA UNDER THE BUILDING, PLUS 5'-0" ON ALL SIDES, WITH A LOADED DUMP TRUCK TO LOCATE ANY SOFT AREAS. A GEOTECHNICAL ENGINEER IS TO BE PRESENT DURING THIS OPERATION. ANY SOFT AREAS DETECTED ARE TO BE UNDERCUT AND REPLACED WITH ENGINEERED FILL.
5. ACCEPTABLE FILL MATERIAL SHALL BE FREE OF ORGANICS, AND HAVE A P.I. OF LESS THAN 30, L.L. OF LESS THAN 50 AND A MAXIMUM DRY DENSITY OF GREATER THAN 100 PCF. CRUSHED STONE BACKFILL TO MEET REQUIREMENTS OF A.H.D. No. 57 STONE. DRAINAGE FILL SUPPORTING SLABS SHALL MEET THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
6. FILL, WHERE REQUIRED, IS TO BE PLACED IN 8" LOOSE LIFTS AND COMPACTED TO 98% STANDARD PROCTOR (ASTM D-698), WITHIN ±2% OF OPTIMUM MOISTURE CONTENT.
7. THE GEOTECHNICAL ENGINEER SHALL REVIEW THE FINAL FOUNDATION DESIGN TO VERIFY THAT ALL FOUNDATION SYSTEMS, INCLUDING SLAB ON GRADE DESIGN AND DETAILING, COMPLIES WITH THE GEOTECHNICAL PARAMETERS INCLUDED IN THE GEOTECHNICAL REPORT. WRITTEN VERIFICATION OF THIS REVIEW SHALL BE SUBMITTED TO THE ARCHITECT TWO WEEKS BEFORE FINAL PRICING/BID DATE.

INTERFACE WITH EXISTING BUILDING

1. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING AND MAINTAINING THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING AT THE INTERFACE CONNECTIONS TO THE NEW STRUCTURE.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL SHORING REQUIRED TO PROTECT THE EXISTING STRUCTURE.
3. AFTER DEMOLITION AND GENERAL SURVEY WORK HAS BEEN COMPLETED, AND PRIOR TO FABRICATION OF STRUCTURAL ELEMENTS, THE CONTRACTOR WILL VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, AND CONDITIONS. THE ARCHITECT AND STRUCTURAL ENGINEER SHALL BE NOTIFIED AND ALLOWED TO EXAMINE THE AS-BUILT CONDITIONS OF THE EXISTING STRUCTURE TO DETERMINE IF ASSUMPTIONS REGARDING THE INTERFACE AT THE EXISTING STRUCTURE WERE CORRECT. MODIFICATIONS, IF REQUIRED, WILL BE MADE AT THAT TIME.
4. ORIGINAL STRUCTURAL DRAWINGS FOR THE EXISTING BUILDINGS WERE NOT AVAILABLE FOR REFERENCE IN DESIGN. DESIGN OF CONNECTIONS AND ADDITIONS TO THE EXISTING STRUCTURE ARE BASED UPON AVAILABLE PROVIDED INFORMATION AND/OR ASSUMPTIONS MADE BY THE STRUCTURAL ENGINEER.
5. THE CONTRACTOR SHALL INCLUDE ALLOWANCES FOR FABRICATED AND ERECTED STRUCTURAL STEEL AND FOR FABRICATED AND ERECTED MISCELLANEOUS STEEL ON A UNIT PRICE BASIS PER TON STATED ON THE BID FORM. THIS IS IN ADDITION TO ALL OTHER STEEL SHOWN ON THE DRAWINGS. THIS EXTRA STEEL SHALL BE INSTALLED IN THE BUILDING IN SUCH SIZES AND FORMS AS DIRECTED BY THE ARCHITECT. ANY UNUSED PORTION SHALL BE A CREDIT TO THE OWNER. SEE THE ALLOWANCE SECTION OF THE SPECIFICATION FOR SPECIFIC QUANTITIES.

CONCRETE

1. CONCRETE CONSTRUCTION AND QUALITY ASSURANCE SHALL BE IN ACCORDANCE WITH CURRENT ACI STANDARDS.
2. CONCRETE SCHEDULES

ITEM	28 DAY COMPRESSIVE STRENGTH
A. CONCRETE IN CMU CELLS	3000 PSI GROUT
B. ALL OTHER CONCRETE	3000 PSI NORMAL WEIGHT

3. CONCRETE COVER OVER REINFORCING (UNO)
   A. UNFORMED SURFACE IN CONTACT WITH EARTH: 3 IN.
   B. UNFORMED SURFACE OVER VAPOR BARRIER: 2 IN.
   C. FORMED SURFACES EXPOSED TO EARTH OR WEATHER:
      #6 AND LARGER 2 IN.
      #5 AND SMALLER 1 1/2 IN.
   D. FORMED SURFACES NOT EXPOSED TO EARTH OR WEATHER:
      WALLS, SLABS: 3/4 IN.
      COLUMNS, BEAMS: 1 1/2 IN. TO TIES
4. CONCRETE AT SLABS ON GRADE SHALL HAVE A NOMINAL MAXIMUM COARSE AGGREGATE SIZE OF 3/4 INCH. ADJUST PORTIONS OF COMBINED COARSE, INTERMEDIATE AND FINE AGGREGATES TO PROVIDE A COARSENESS FACTOR OF 60 TO 75%.
5. ALL REINFORCING SHALL CONFORM TO THE LATEST REVISION OF ASTM SPECIFICATION A615, GRADE 60 AND BE DETAILED IN ACCORDANCE WITH THE LATEST REVISION OF ACI STANDARD 315.
6. NO REINFORCING BAR SHALL BE WELDED IN ANY MANNER, UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS.
7. CONTINUOUS FOOTING REINFORCING BARS SHALL BE LAPPED 30 BAR DIAMETERS, BUT NOT LESS THAN 1'-0".
8. GRADE BEAM, ELEVATED BEAM, AND ELEVATED SLAB REINFORCING BARS SHALL BE SPLICED ONLY AS SHOWN ON THE DRAWINGS, EXCEPT THE REINFORCING DESIGNATED AS "CONTINUOUS" SHALL HAVE A CLASS "B" LAP SPLICE (PER ACI 318). LAP SPLICES OF CONTINUOUS REINFORCING SHALL BE MADE OVER SUPPORTS FOR BOTTOM BARS AND FOR INTERMEDIATE BARS AND AT MID-SPAN FOR TOP BARS. AT EXTERIOR SUPPORTS, TOP AND BOTTOM BARS SHALL BE HOOKED AND INTERMEDIATE BARS SHALL EXTEND TO WITHIN 2" OF EXTERIOR FACE.
9. COLUMN AND WALL VERTICAL REINFORCING BARS SHALL BE LAPPED WITH A CLASS "B" SPLICE. WALL HORIZONTAL REINFORCING BARS SHALL BE LAPPED 30 DIAMETERS AT SPLICE POINTS. PROVIDE CORNER BARS FOR WALLS.
10. PROVIDE FULL EMBEDMENT FOR ALL DOWELS. IF NOT OTHERWISE SPECIFIED, DOWEL SIZE AND SPACING SHALL BE THE SAME AS MAIN REINFORCING.
11. CONSTRUCTION JOINTS IN CONCRETE BEAMS AND SLABS SHALL BE AT OR NEAR MIDSPAN. ALL CONSTRUCTION JOINTS TO BE KEYED.
12. HORIZONTAL CONSTRUCTION JOINTS SHALL NOT BE PERMITTED IN WALLS AND BEAMS, UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
13. CONDUIT, PIPES, AND SLEEVES SHALL NOT BE SPACED CLOSER THAN 3 DIAMETERS ON CENTER, NOT HAVE AN OUTSIDE DIAMETER GREATER THAN 1/3 THE OVERALL THICKNESS OF THE SLAB, WALL OR BEAM IN WHICH THEY ARE EMBEDDED, AND SHALL HAVE A MINIMUM COVER OF 1 1/2 INCH FOR CONCRETE EXPOSED TO EARTH OR WEATHER AND 3/4 INCH FOR CONCRETE NOT EXPOSED TO EARTH OR WEATHER.
14. PIPING AND CONDUIT SHALL BE SO FABRICATED AND INSTALLED THAT CUTTING, BENDING, OR DISPLACEMENT OF REINFORCEMENT FROM ITS PROPER LOCATION WILL NOT BE REQUIRED.
15. THE CONTRACTOR SHALL SUBMIT, FOR REVIEW, SHOP DRAWINGS FOR ALL REINFORCING BARS INCLUDING DETAILS AT ALL OPENINGS AND ASSOCIATED ADDED REINFORCEMENT AS SHOWN ON TYPICAL DETAILS.
16. PROVIDE PERMEABILITY-REDUCING ADMIXTURE (XYPEX OR EQUAL) TO CONCRETE AT BATTING CAGE FACILITY.

TENSION LAP SPLICE LENGTH

BAR SIZE	f"c = 3000 PSI				f"c = 4000 PSI				f"c = 5000 PSI				f"c = 6000 PSI			
	TOP BARS		OTHERS BARS		TOP BARS		OTHERS BARS		TOP BARS		OTHERS BARS		TOP BARS		OTHERS BARS	
	A	B	A	B	A	B	A	B	A	B	A	B	A	B	A	B
#3	22	28	17	22	19	24	15	19	17	22	13	17	15	20	12	15
#4	29	37	22	29	25	32	19	25	22	29	17	22	20	26	16	22
#5	36	47	28	36	31	40	24	31	28	36	22	28	25	33	20	25
#6	43	56	33	43	37	48	29	37	33	43	26	33	31	40	24	31
#7	63	81	48	63	54	70	42	54	49	63	37	49	44	58	34	44
#8	72	93	55	72	62	80	48	62	55	72	43	55	51	66	39	51
#9	81	105	62	81	70	91	54	70	63	81	48	63	57	75	44	57
#10	91	118	70	91	79	102	61	79	70	91	54	70	64	83	49	64
#11	101	131	78	101	87	113	67	87	78	101	60	78	71	93	55	71

CONCRETE MASONRY

1. MASONRY CONSTRUCTION SHALL CONFORM TO ACI 530.1 SPECIFICATION OR TMS 402/602.
2. MASONRY COMPRESSIVE STRENGTH (f'm) SHALL BE 2000 PSI BASED ON THE UNIT STRENGTH METHOD OR VERIFIED BY PRISM TESTS IN ACCORDANCE WITH ASTM C 1314.
3. MORTAR SHALL BE TYPE S OR M.
4. ALL REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60.
5. NO REINFORCING BAR SHALL BE WELDED IN ANY MANNER, UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS.
6. BLOCK FILL SHALL BE GROUT WITH AN 8" TO 11" SLUMP, PROPORTIONED PER ASTM C 476 OR ATTAINING 3000 PSI AT 28 DAYS PER ASTM C 1019. DO NOT USE MORTAR AS BLOCK FILL.
7. ALL GROUT SHALL BE CONSOLIDATED AT TIME OF PLACEMENT USING A LOW-VELOCITY MECHANICAL VIBRATOR WITH A 3/4-INCH HEAD. RE-CONSOLIDATE GROUT AFTER INITIAL WATER LOSS AND SETTLEMENT HAS OCCURRED. DO NOT PLACE NEXT LIFT OF GROUT UNTIL LOWER LIFT HAS BEEN RE-CONSOLIDATED.
8. ALL BLOCK CELLS AND CAVITIES BELOW GRADE SHALL BE GROUTED SOLID. ALL LINTELS & BOND BEAMS SHALL BE GROUTED SOLID.
9. ALL BLOCK CELLS WHICH HAVE VERTICAL REINFORCING SHALL BE GROUTED FULL-HEIGHT IN 5'-0" LIFTS (MAXIMUM HEIGHT). PROVIDE 1 1/2" (MINIMUM) GROUT KEY BELOW MORTAR JOINT AT TOP OF EACH LIFT.
10. VERTICAL REINFORCING SHALL BE DOWELED TO FOOTING WITH HOOKED BARS AT THE BASE AND EXTEND FULL-HEIGHT INTO BOND BEAM AT THE TOP. WHERE SPLICES ARE NECESSARY, PROVIDE LAP LENGTH = 48 BAR DIAMETERS.
11. VERTICAL REINFORCING SHALL BE LOCATED IN THE CENTER OF THE BLOCK CELLS, UNLESS NOTED, AND SHALL BE HELD IN PLACE WITH BAR POSITIONERS (HECKMANN #376 OR HOHMANN & BARNARD #RB) PRIOR TO GROUTING. "WET-STICKING" OF REINFORCING SHALL NOT BE ALLOWED.
12. MINIMUM VERTICAL WALL REINFORCING IN ALL WALLS SHALL CONSIST OF 1#5 VERTICAL IN EACH CORNER, AT EACH DOOR & WINDOW JAMB & AT EACH SIDE OF CONTROL AND/OR EXPANSION JOINTS. PROVIDE ADDITIONAL VERTICAL REINFORCING AS SHOWN IN SECTIONS AND AS NOTED ON PLANS.
13. AT CORNERS AND INTERSECTIONS OF BOND BEAMS IN WALLS, PROVIDE CORNER BARS (48 DIAMETERS LONG EA. LEG) TO TIE WALLS TOGETHER. BAR DIAMETER SHALL MATCH BOND BEAM REINFORCING.
14. AT TOP OF ALL MASONRY WALLS (BEARING OR NON-BEARING), PROVIDE 8" DEEP CONTINUOUS BOND BEAM REINFORCED WITH 2#5 CONTINUOUS, UNLESS NOTED OTHERWISE.
15. WHERE CMU IS PLACED IN A STACK BOND PATTERN, HORIZONTAL WALL REINFORCING SHALL CONSIST OF A MINIMUM STANDARD (9 GAGE) LADDER-TYPE JOINT REINFORCING AT EVERY COURSE (8" O.C.) FOR 12" CMU OR AT EVERY OTHER COURSE (16" O.C.) FOR 8" CMU. COORDINATE W/ ARCHITECTURAL DRAWINGS. WHERE CMU IS PLACED IN A RUNNING BOND PATTERN, HORIZONTAL WALL REINFORCING SHALL CONSIST OF A MINIMUM STANDARD (9 GAGE) LADDER-TYPE REINFORCING AT EVERY OTHER COURSE (16" O.C.).
16. COORDINATE WITH ARCHITECTURAL DRAWINGS FOR DETAILS AND LOCATIONS OF MASONRY CONTROL JOINTS. IF NOT OTHERWISE SHOWN, DO NOT EXCEED 30'-0" BETWEEN BLOCK WALL CONTROL JOINTS AND 20'-0" BETWEEN BRICK VENEER CONTROL JOINTS.
17. ANCHOR WALLS TO SUPPORTING STRUCTURES AS SHOWN ON THE STRUCTURAL AND ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BRACING OF ALL MASONRY WALLS DURING CONSTRUCTION.
18. THE CONTRACTOR SHALL SUBMIT, FOR REVIEW, SHOP DRAWINGS FOR ALL REINFORCING BARS INCLUDING DETAILS AT ALL OPENINGS AND ASSOCIATED ADDED REINFORCEMENT AS SHOWN ON TYPICAL DETAILS.

POST-INSTALLED ANCHORS

1. ANCHOR CAPACITY USED IN DESIGN IS BASED UPON THE TECHNICAL DATA PUBLISHED BY THE MANUFACTURER. SUBSTITUTION REQUESTS FOR ALTERNATE PRODUCTS MUST BE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO USE. CONTRACTOR SHALL PROVIDE CALCULATIONS DEMONSTRATING THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE PERFORMANCE VALUES OF THE SPECIFIED PRODUCT. SUBSTITUTIONS WILL BE EVALUATED ON THE FOLLOWING; HAVING AN ICC-ES ESR OR IAPMO UES ER SHOWING COMPLIANCE WITH THE RELEVANT BUILDING CODE FOR SEISMIC USES, LOAD RESISTANCE, INSTALLATION CATEGORY, AND AVAILABILITY OF COMPREHENSIVE INSTALLATION INSTRUCTIONS. ADHESIVE ANCHOR EVALUATION WILL ALSO CONSIDER CREEP, IN-SERVICE TEMPERATURE, AND INSTALLATION TEMPERATURE.
2. ANCHOR CAPACITY IS DEPENDANT UPON SPACING BETWEEN ADJACENT ANCHORS AND PROXIMITY OF ANCHORS TO EDGE OF CONCRETE. INSTALL ANCHORS IN ACCORDANCE WITH SPACING AND EDGE CLEARANCES INDICATED ON THE DRAWINGS.
3. EXISTING REINFORCING BARS IN THE CONCRETE STRUCTURE MAY CONFLICT WITH SPECIFIC ANCHOR LOCATIONS. UNLESS NOTED ON THE DRAWINGS THAT THE BARS CAN BE CUT, THE CONTRACTOR SHALL REVIEW THE EXISTING STRUCTURAL DRAWINGS AND SHALL UNDERTAKE TO LOCATE THE POSITION OF THE REINFORCING BARS AT THE LOCATIONS OF THE CONCRETE ANCHORS, BY USE OF HILTI FERROSCAN, GPR, X-RAY, CHIPPING OR OTHER MEANS APPROVED BY THE ENGINEER OF RECORD. DO NOT CUT PRESTRESSED OR POST TENSIONED TENDONS WITHOUT PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER OF RECORD.
4. INSTALL ANCHORS PER THE MANUFACTURER PRINTED INSTALLATION INSTRUCTIONS.
5. UNLESS NOTED OTHERWISE, ALL ANCHORS TO BE INSTALLED WITH AN EMBEDMENT DEPTH EQUAL TO OR GREATER THAN MANUFACTURER STANDARD EMBEDMENT. OVERHEAD ADHESIVE ANCHORS MUST BE INSTALLED USING A SYSTEM THAT IS APPROVED FOR SUCH INSTALLATIONS IN THE PRODUCT CODE REPORT.
6. THE CONTRACTOR SHOULD ARRANGE AN ANCHOR MANUFACTURER'S REPRESENTATIVE TO PROVIDE ONSITE INSTALLATION TRAINING FOR ALL OF THEIR ANCHORING PRODUCTS SPECIFIED.
7. UNLESS SPECIFICALLY NOTED ON THE DRAWINGS, APPROVED ANCHORS ARE AS FOLLOWS:
   A. ANCHORAGE TO CONCRETE
      1. ADHESIVE ANCHORS FOR CONCRETE USE:
         a. SIMPSON STRONG-TIE AT-XP ADHESIVE ANCHORING SYSTEM WITH THREADED RODS (IAPMO UES ER-263).
         b. SIMPSON STRONG-TIE SET-XP ADHESIVE ANCHORING SYSTEM WITH THREADED RODS (ICC-ES ESR-2508) FOR SLOW CURE APPLICATIONS.
         c. HILTI HIT-HY 200 SAFE SET SYSTEM WITH HILTI HOLLOW DRILL BIT SYSTEM WITH THREADED ROD (ICC-ES ESR-3187).
         d. HILTI HIT-RE 500-SD EPOXY ADHESIVE ANCHORING SYSTEM WITH HAS-E THREADED ROD (ICC-ES ESR-2322) FOR SLOW CURE APPLICATIONS.
      2. MECHANICAL ANCHORS FOR CONCRETE USE:
         a. SIMPSON STRONG-TIE TITEN-HD (ICC-ES ESR-2713).
         b. SIMPSON STRONG-TIE STRONG-BOLT 2 (ICC-ES ESR-3037).
         c. HILTI KWIK HUS-EZ AND KWIK HUS EZ-I SCREW ANCHORS (ICC-ES ESR-3027).
         d. HILTI KWIK BOLT-TZ EXPANSION ANCHORS (ICC-ES ESR-1917).
   B. REBAR DOWELING INTO CONCRETE
      1. ADHESIVE ANCHORS FOR CONCRETE USE:
         a. SIMPSON STRONG-TIE SET-XP ADHESIVE ANCHORING SYSTEM WITH CONTINUOUSLY DEFORMED REBAR (ICC-ES ESR-2508).
         b. HILTI HIT-HY 200 SAFE SET SYSTEM WITH HILTI HOLLOW DRILL BIT SYSTEM WITH CONTINUOUSLY DEFORMED REBAR (ICC-ES ESR-3187).
         c. HILTI HIT-RE 500-SD EPOXY ADHESIVE ANCHORING SYSTEM WITH CONTINUOUSLY DEFORMED REBAR (ICC-ES ESR-2322).
   C. ANCHORAGE TO SOLID GROUTED MASONRY
      1. ADHESIVE ANCHORS USE:
         a. SIMPSON STRONG-TIE AT-XP ADHESIVE ANCHORING SYSTEM WITH THREADED ROD OR REBAR (IAMPMO UES ER-281).
         b. SIMPSON STRONG-TIE SET-XP ADHESIVE ANCHORING SYSTEM WITH THREADED ROD OR REBAR (IAMPMO UES ER-265).
         c. HILTI HIT-HY 70 MASONRY ADHESIVE ANCHORING SYSTEM PER ICC ESR-2682. STEEL ANCHOR ELEMENT SHALL BE HILTI HAS-E CONTINUOUSLY THREADED ROD OR CONTINUOUSLY DEFORMED STEEL REBAR.
      2. MECHANICAL ANCHORS USE:
         a. SIMPSON STRONG-TIE TITEN-HD (ICC-ES ESR-1056).
         b. SIMPSON STRONG-TIE AT (ICC-ES ESR-1958).
         c. HILTI KWIK HUS-EZ SCREW ANCHOR (ICC-ES ESR-3056).
         d. HILTI KWIK BOLT-3 EXPANSION ANCHORS (ICC-ES ESR-1385).

STRUCTURAL STEEL

1. DESIGN, CONSTRUCTION, QUALITY ASSURANCE, AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH CURRENT AISC STANDARDS.
2. ALL STRUCTURAL STEEL WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992.
3. ALL STRUCTURAL STEEL PLATES, ANGLES AND CHANNELS SHALL CONFORM TO ASTM A36.
4. ALL STRUCTURAL STEEL SQUARE, RECTANGULAR AND ROUND HSS SECTIONS SHALL CONFORM TO ASTM A500, GRADE B.
5. ALL STRUCTURAL STEEL PIPE SHALL CONFORM TO ASTM A53, TYPE E OR S, GRADE B.
6. FABRICATION AND ERECTION SHALL CONFORM TO AISC CODE OF STANDARD PRACTICE.
7. ALL WELDING SHALL CONFORM TO AWS STANDARDS. THICKNESS OF WELDS ARE AS SHOWN, SPECIFIED OR REQUIRED.
8. ALL BOLTED CONNECTIONS SHALL BE MINIMUM 3/4" DIAMETER, A325 HIGH STRENGTH BOLTS, UNLESS NOTED OTHERWISE.
9. THE STRUCTURAL STEEL FABRICATOR SHALL PROVIDE CERTIFICATIONS BY A PROFESSIONAL STRUCTURAL ENGINEER (P.E.) REGISTERED IN THE STATE OF ALABAMA THAT THE CONNECTION DESIGN IS IN ACCORDANCE WITH ALL APPLICABLE CODES AND SPECIFICATIONS. CONNECTION DESIGN CALCULATIONS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER OF RECORD FOR REVIEW.
10. ALL BEAM CONNECTIONS SHALL BE "SIMPLE SHEAR CONNECTIONS" UNLESS NOTED OTHERWISE. WHERE BEAM REACTIONS AND/OR DESIGN FORCES ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS, THE CONNECTIONS SHALL BE DESIGNED TO SUPPORT A REACTION EQUAL TO ONE-HALF THE TOTAL UNIFORM LOAD CAPACITY FROM THE MAXIMUM UNIFORM LOAD TABLE (LATEST AISC MANUAL OF STEEL PRACTICE) MULTIPLIED BY A FACTOR OF 1.2 (NON-COMPOSITE BEAMS) OR 1.45 (COMPOSITE BEAMS) FOR GIVEN SHAPE, SPAN, AND GRADE OF STEEL.

STEEL DECK

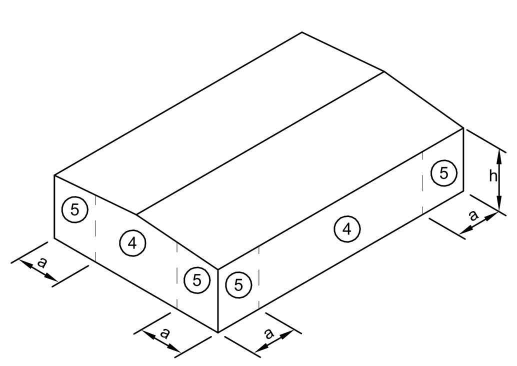
1. STEEL DECK CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF SDI STANDARDS.
2. ATTACH ROOF DECK TO SUPPORTS AT 6" OC. W/ 5/8" PUDDLE WELDS. ATTACH TO PERIMETER SUPPORTS AT 6" OC. PROVIDE #10 TEK SCREW SIDELAP FASTENERS AT 12" OC. (MIN. 3 PER SPAN).
3. DECK SUPPORTS AROUND STEEL COLUMNS AND CLOSURE ANGLES SHALL BE SUPPLIED BY THE DECK MANUFACTURER, IF REQUIRED.

PRE-ENGINEERED METAL BUILDING

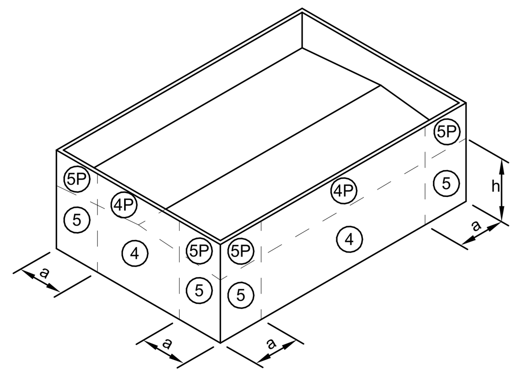
1. THE DESIGN, MANUFACTURE, QUALITY ASSURANCE AND ERECTION OF THE PRE-ENGINEERED METAL BUILDING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MBMA METAL BUILDING SYSTEMS MANUAL.
2. THE PRE-ENGINEERED METAL BUILDING MANUFACTURER IS RESPONSIBLE FOR THE STRUCTURAL DESIGN OF THE PRE-ENGINEERED METAL BUILDING. ALL DESIGN DRAWINGS FOR THE PRE-ENGINEERED METAL BUILDING SHALL BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF ALABAMA.
   A. MBA ENGINEERS, INC. IS NOT RESPONSIBLE OR LIABLE FOR THE PRE-ENGINEERED METAL BUILDING DESIGN.
3. THE FOUNDATIONS AND DETAILS SHOWN ON THESE DRAWINGS ARE BASED UPON PRELIMINARY AND/OR ASSUMED LOADING AND ARE SHOWN FOR BID PURPOSES ONLY. WHEN THE PRE-ENGINEERED METAL BUILDING MANUFACTURER HAS BEEN SELECTED, AND THE FINAL DESIGN FOR THE METAL BUILDING IS COMPLETED, THE PRE-ENGINEERED METAL BUILDING ENGINEER SHALL FURNISH FINAL BUILDING REACTIONS AND NECESSARY DETAILS TO FOUNDATION ENGINEER FOR REVIEW AND MODIFICATION OF THE FOUNDATION DESIGN, IF REQUIRED.
4. THE PRE-ENGINEERED METAL BUILDING MANUFACTURER SHALL DESIGN AND FURNISH ALL ANCHOR BOLTS FOR THE METAL BUILDING COLUMNS. COORDINATE WITH THE STRUCTURAL DRAWINGS FOR CONCRETE STRENGTHS AND EMBEDMENT RESTRICTIONS.
5. THE PRE-ENGINEERED METAL BUILDING AND COMPONENTS SHALL BE DESIGNED IN ACCORDANCE WITH THE GRAVITY AND LATERAL DESIGN LOAD REQUIREMENTS OF THE PROJECT BUILDING CODE. IN ADDITION, THE FOLLOWING DESIGN REQUIREMENTS SHALL ALSO APPLY:
   A. DESIGN METAL BUILDING FRAME FOR 20 PSF LIVE LOAD (WITHOUT REDUCTION) AND 6 PSF COLLATERAL LOAD.
   B. LIMIT LATERAL DEFLECTION OF METAL BUILDING FRAME TO L/240.
   C. DESIGN FOR ALL ARCHITECTURAL DEAD LOADS. COORDINATE WITH ARCHITECTURAL DRAWINGS TO ESTIMATE THESE LOADS.
   D. DESIGN FOR ANY MECHANICAL UNITS OR FANS. COORDINATE WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.

DESIGN CRITERIA

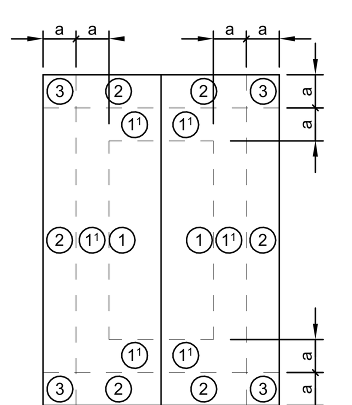
1. GOVERNING CODE:
   A. INTERNATIONAL BUILDING CODE, I.B.C. 2018
2. GRAVITY DESIGN LOADS:
   A. DEAD:
      1. DESIGN DEAD LOADS ARE BASED ON THE SELF WEIGHT OF CONSTRUCTION MATERIALS SHOWN IN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. ANY ALTERNATE MATERIALS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER TO REVIEW
   B. LIVE:
      1. FABRIC CANOPY ROOF..................................5 PSF
      2. CANOPY ROOF..20 PSF
      3. METAL BUILDING ROOF.................................20 PSF
   C. SNOW:
      1. FLAT-ROOF SNOW LOAD (Pf) = 5 PSF
      2. SNOW EXPOSURE FACTOR (Ce) = 1.0
      3. SNOW LOAD IMPORTANCE FACTOR (Is) = 1.0
      4. THERMAL FACTOR (Ct) = 1.0
3. LATERAL DESIGN LOADS:
   A. WIND:
      1. DESIGNED PER ASCE 7-16
      2. BASIC WIND SPEED = 160 MPH
      3. RISK CATEGORY = II
      4. BUILDING CATEGORY = NON-ENCLOSED
      5. EXPOSURE CATEGORY = C
      6. INTERNAL PRESSURE COEFFICIENT (GCpl) = ±0.55
      7. COMPONENTS & CLADDING WIND PRESSURES SEE CHART



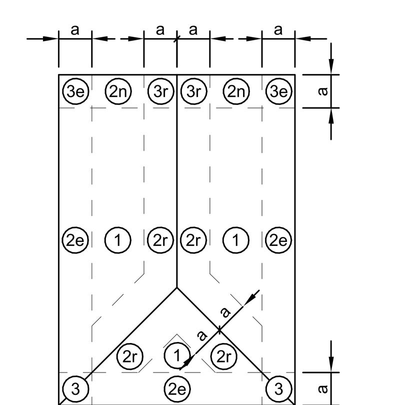
WALL ZONES



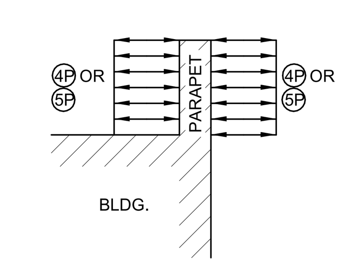
WALL ZONES



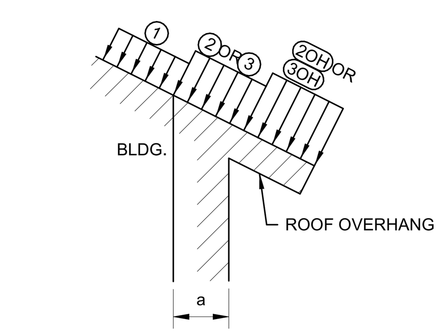
ROOF ZONES
GABLE ROOF 0°>7°



ROOF ZONES
GABLE/HIP ROOF 7°<27°



@ PARAPET



@ ROOF OVERHANG

ZONE LAYOUT DIAGRAMS

COMPONENTS AND CLADDING DESIGN WIND PRESSURES (PSF)

EFFECTIVE WIND AREA	ZONE 1		2e		2n		2r		3e		3r		4		5	
	+XXX	-XXX	+XXX	-XXX	+XXX	-XXX	+XXX	-XXX	+XXX	-XXX	+XXX	-XXX	+XXX	-XXX	+XXX	-XXX
10SF	38	-116	38	-116	38	-169	38	-169	38	-169	38	-201	63	-68	63	-84
20SF	35	-116	35	-116	35	-146	35	-146	35	-146	35	-172	60	-65	60	-79
50SF	30	-71	30	-71	30	-116	30	-116	30	-116	30	-134	57	-62	57	-71
100SF	26	-36	26	-36	26	-93	26	-93	26	-93	26	-106	54	-59	54	-66
200SF	26	-36	26	-36	26	-93	26	-93	26	-93	26	-106	54	-59	54	-66

NOTE:
WIND LOADS SHOWN IN TABLE ARE ULTIMATE LOADS PER ASCE 7-16. FOR USE WITH ASCE 7-16 LOAD COMBINATIONS (MULTIPLY BY 0.6 FOR SERVICE LOADS)

ALABAMA LICENSED No. 25472 PROFESSIONAL ENGINEER PHILLIP BRIAN YOUNG 5/4/20

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

DAVIS

OWNER
CITY OF ORANGE BEACH
PO BOX 458
ORANGE BEACH, ALABAMA 36561
251-981-69792
ATTN: KEN GRIMES, JR.

ASSOCIATE ARCHITECT
MCCOLLOUGH ARCHITECTURE
4790 MAIN ST #209,
ORANGE BEACH, AL 36561
251-968-7222
ATTN: STED MCCOLLOUGH

ARCHITECT
DAVIS ARCHITECTS, INC.
120 23RD STREET SOUTH
BIRMINGHAM, AL 35233
205-322-7482
ATTN: JIM HARTSELL / JEFFREY MENASCO

CIVIL ENGINEER
SAWGRASS CONSULTING, LLC
11143 OLD HIGHWAY 31
SPANISH FORT, AL 36527
251-544-7900
ATTN: ERCIL E. GODWIN / DOUG CHAFFIN

STRUCTURAL ENGINEER
MBA ENGINEERS
300 20TH ST. N., SUITE 100
BIRMINGHAM, AL 35203
205-323-6385
ATTN: KEITH OWENS / MARK BOGER

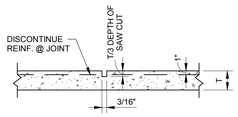
MECHANICAL / PLUMBING ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: CHRIS DEARMON / VAN SIMPSON

ELECTRICAL ENGINEER
GULF STATES ENGINEERING
600 AZALEA ROAD,
MOBILE, AL 36609
251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV DATE DESCRIPTION

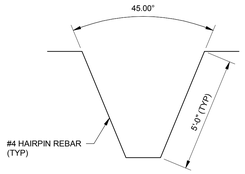
DATE 5-04-2020
PHASE 100% CONSTRUCTION DOCUMENTS
ISSUED FOR
ISSUED BY DAVIS ARCHITECTS PROJECT NO. 3916
SHEET TITLE GENERAL NOTES
DRAWING NO. S001

MBA ENGINEERS, INC.
CIVIL AND STRUCTURAL ENGINEERS
P(205) 323-6385 F(205) 324-0698

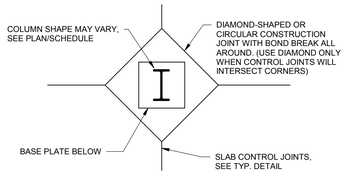


TYPICAL SAWED CONTROL JOINT

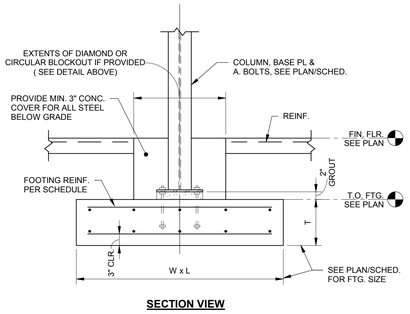
NOTES:
1. USE SAWS, BLADES AND SKID PLATES BY SOFF-CUT INTERNATIONAL OR EQUAL.
2. SEE PLAN FOR JOINT LAYOUT.
3. START CUTTING SAWED JOINTS AS SOON AS CONCRETE HAS HARDENED SUFFICIENTLY TO PREVENT RAVELING OR DISLODGING OF AGGREGATES. THIS WILL TYPICALLY BE FROM 1 HOUR IN HOT WEATHER TO 4 HOURS IN COLD WEATHER AFTER COMPLETING FINISHING OF SLAB IN THAT JOINT LOCATION.
4. EXTEND SAWED JOINT TO THE SLAB BOUNDARIES AND ABUTMENTS, INCLUDING COLUMNS, DRAINS AND OTHER PENETRATIONS IN THE PATH OF A DEFINED JOINT. IMPLEMENT METHODS AND TIMING OF THE SAW CUT BEYOND THE LIMITS OF THE SOFF-CUT SAW REACH TO PROVIDE A CONSISTENT DEPTH OF CUT WITH MINIMAL RAVELING OF JOINT EDGES.
5. T = SLAB THICKNESS (SEE PLAN)



TYPICAL HAIRPIN DETAIL

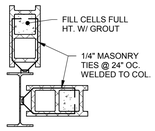


PLAN VIEW



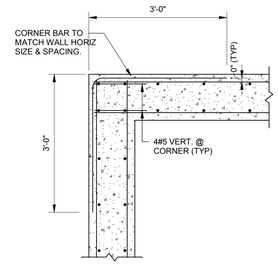
SECTION VIEW

TYPICAL COLUMN FOOTING DETAILS

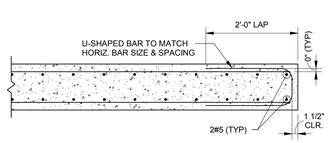


TYPICAL MASONRY TO COLUMN ATTACHMENT

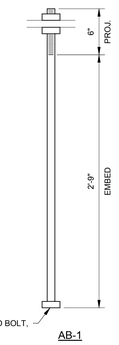
NOTE:
ONLY OCCURS WHERE CMU TERMINATES @ COLUMN



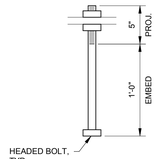
TYPICAL 90° CORNER DETAIL @ CONCRETE WALL



TYPICAL EDGE DETAIL @ CONCRETE WALL



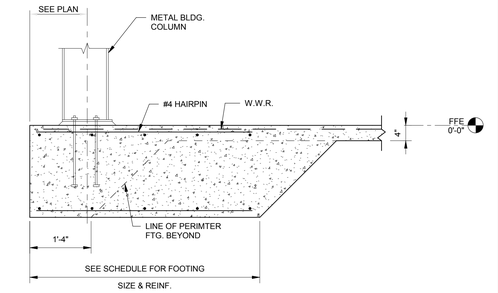
AB-1



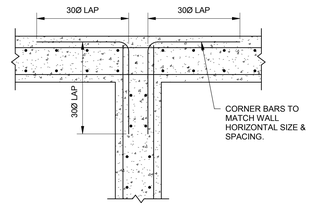
METAL BUILDING ANCHOR BOLT

TYPICAL ANCHOR BOLT DETAILS

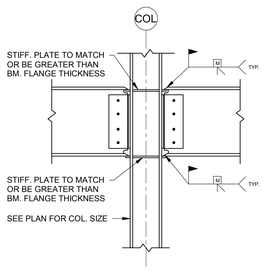
USE ASTM F1554 GRADE 55 WITH WELDABILITY SUPPLEMENT S1 FOR ALL ANCHOR BOLTS UNO.



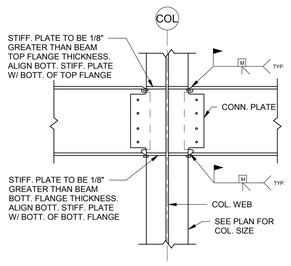
TYPICAL EXTERIOR PRE-ENGINEERED BUILDING COLUMN FOOTING DETAIL



TYPICAL INTERSECTION DETAIL @ CONCRETE WALL



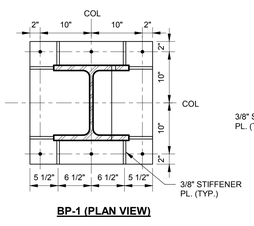
BEAM TO FLANGE CONNECTION



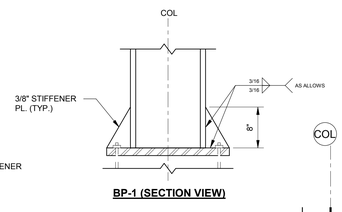
BEAM TO WEB CONNECTION

TYPICAL BEAM TO COLUMN MOMENT CONNECTION DETAILS

SEE PLAN FOR LOCATION.

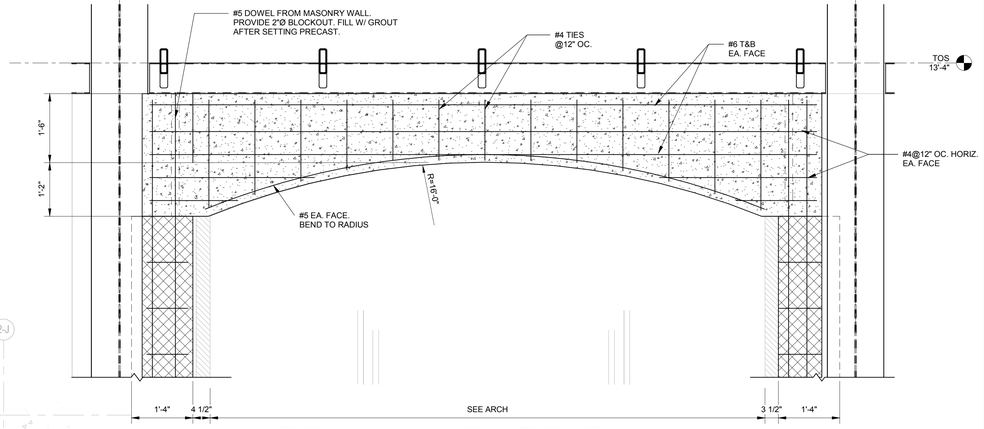


BP-1 (PLAN VIEW)

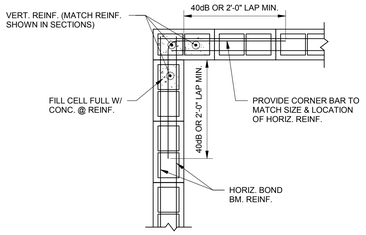


BP-1 (SECTION VIEW)

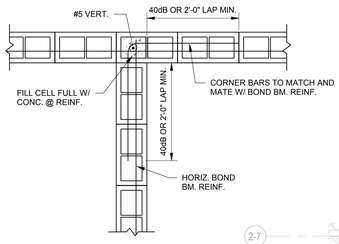
TYPICAL BASE PLATE DETAIL



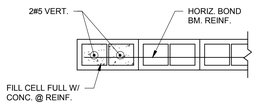
TYPICAL CONC. ARCH ELEVATION



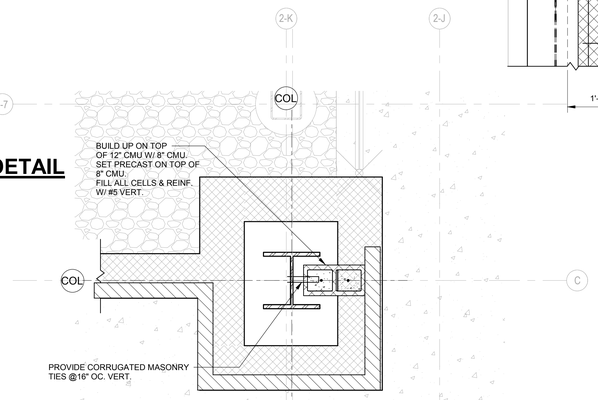
TYPICAL CORNER MASONRY WALL REINF. DETAIL



TYPICAL INTERSECTION MASONRY WALL REINF. DETAIL



TYPICAL JAMB AND END OF MASONRY WALL REINF. DETAIL



TYPICAL BASE DETAIL AND MASONRY TO COLUMN ATTACHMENT @ PRECAST SUPPORT

ALABAMA LICENSED PROFESSIONAL ENGINEER
No. 25472
5/4/20
PHILLIP BRIAN YOUNG

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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REV	DATE	DESCRIPTION

DATE: 5-04-2020
PHASE: 100% CONSTRUCTION DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO.: 3916

SHEET TITLE
TYPICAL DETAILS

DRAWING NO.
S002

MBA ENGINEERS, INC.
CIVIL AND STRUCTURAL ENGINEERS
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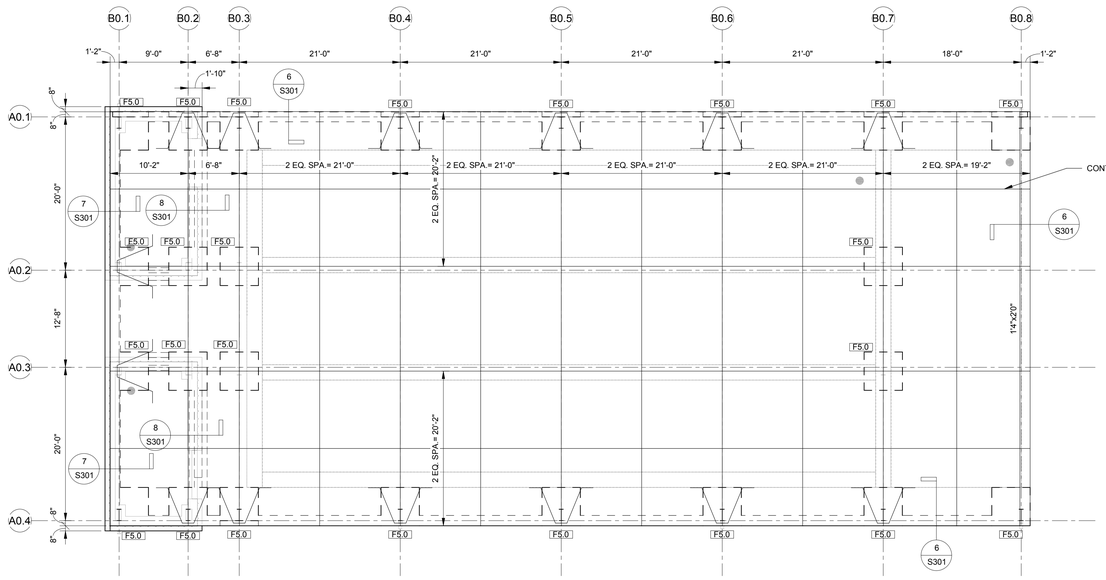


FOUNDATION AND LEVEL 1 PLAN - BATTING CAGE FACILITY (ALTERNATE #2)

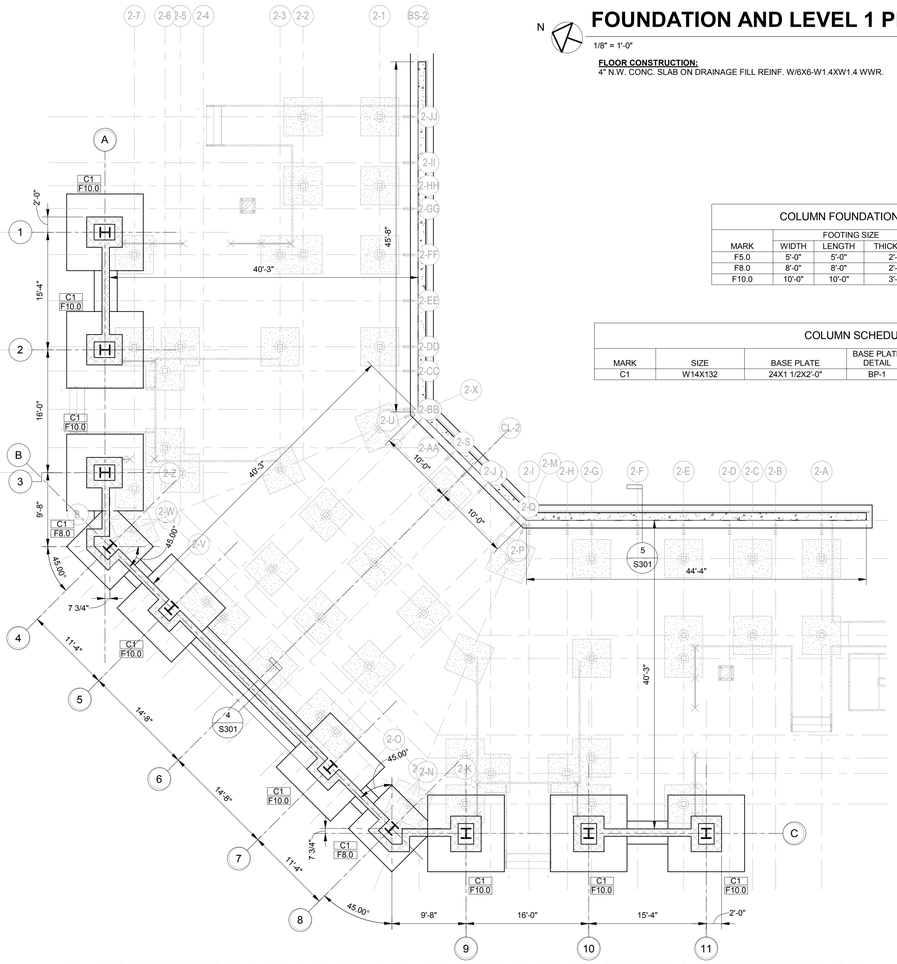
1/8" = 1'-0"

REF. FIN. FLR ELEV. = 0'-0" U.N.O.

FLOOR CONSTRUCTION:
4" N.W. CONC. SLAB ON DRAINAGE FILL REINF. W/6X6-W1.4XW1.4 WWR.

COLUMN FOUNDATION SCHEDULE				
	FOOTING SIZE			
MARK	WIDTH	LENGTH	THICKNESS	REINFORCING
F5.0	5'-0"	5'-0"	2'-0"	6#5 EW. TOP & BOTT.
F8.0	8'-0"	8'-0"	2'-9"	12#7 EW. TOP & BOTT.
F10.0	10'-0"	10'-0"	3'-0"	15#7 EW. TOP & BOTT.

COLUMN SCHEDULE						
MARK	SIZE	BASE PLATE	BASE PLATE DETAIL	ANCHOR BOLTS	ANCHOR BOLT DETAIL	REMARKS
C1	W14X132	24X1 1/2X2'-0"	BP-1	(6) 1 1/2"Ø	AB-1	

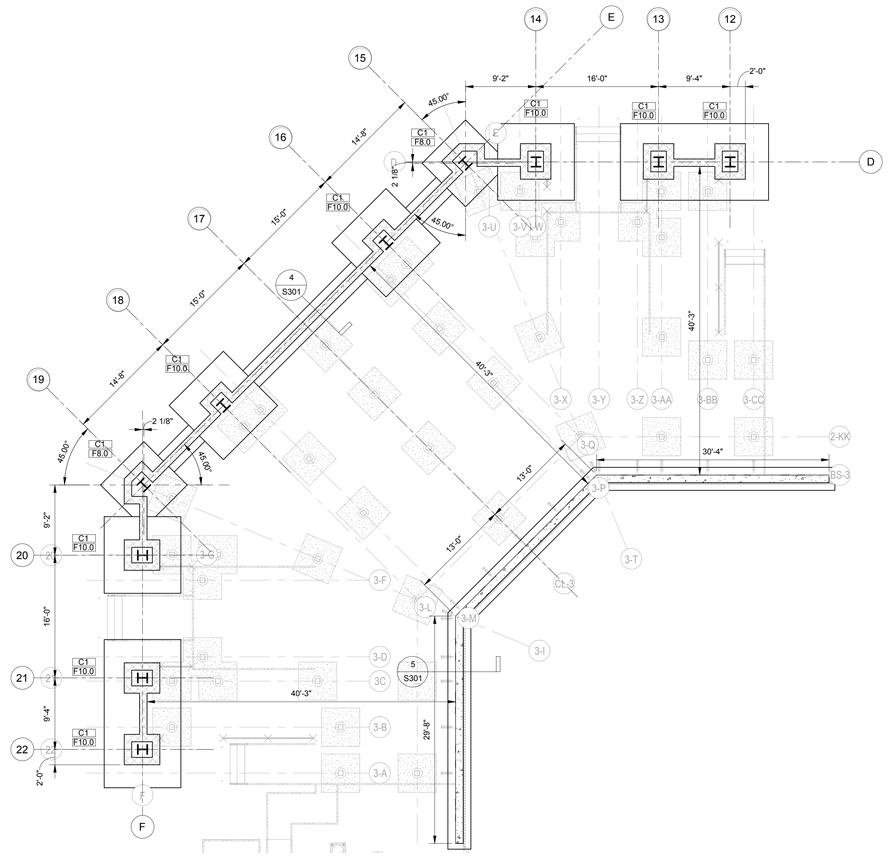


FOUNDATION AND LEVEL 1 PLAN - FIELD #2 (BASE BID & ALTERNATE #1)

1/8" = 1'-0"

FIN. GRADE ELEV. = 0'-0" U.N.O.

NOTES:
1. TOP OF FOOTING ELEV. (-2'-0") U.N.O.
2. FOUNDATION DESIGNS SHOWN ON THESE PLANS DO NOT INCLUDE ANY LOADING FROM GRANDSTAND FRAMING. GRANDSTAND FOUNDATIONS SHALL NOT OVERLAP, UNDERMINE, OR ATTACH TO COLUMN OR WALL FOUNDATIONS SHOWN ON THESE PLANS. WHEN THE GRANDSTAND MANUFACTURER HAS BEEN SELECTED, AND THE FINAL DESIGN FOR THE GRANDSTANDS COMPLETED, THE GRANDSTAND ENGINEER SHALL FURNISH FINAL REACTIONS AND DETAILS TO EOR FOR REVIEW AND MODIFICATION OF COLUMN AND WALL FOOTINGS AS REQUIRED. REACTIONS AND DETAILS SHALL BE SUBMITTED PRIOR TO AND FOUNDATION INSTALLATION. ANY MODIFICATIONS OF COLUMN AND WALL FOOTING DESIGN REQUIRED DUE TO GRANDSTAND REACTION REVIEW SHALL BE INSTALLED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
3. GC MUST SUBMIT SHOP DRAWING SUBMITTALS FOR BOTH FOUNDATION FOOTING FOR BUILDING STRUCTURE AND GRANDSTAND FOUNDATION SHOP DRAWINGS SIMULTANEOUSLY BEFORE ARCHITECT AND EOR WILL REVIEW THE DRAWINGS.



FOUNDATION AND LEVEL 1 PLAN - FIELD #3 (BASE BID & ALTERNATE #1)

1/8" = 1'-0"

FIN. GRADE ELEV. = 0'-0" U.N.O.

NOTES:
1. TOP OF FOOTING ELEV. (-2'-0") U.N.O.
2. FOUNDATION DESIGNS SHOWN ON THESE PLANS DO NOT INCLUDE ANY LOADING FROM GRANDSTAND FRAMING. GRANDSTAND FOUNDATIONS SHALL NOT OVERLAP, UNDERMINE, OR ATTACH TO COLUMN OR WALL FOUNDATIONS SHOWN ON THESE PLANS. WHEN THE GRANDSTAND MANUFACTURER HAS BEEN SELECTED, AND THE FINAL DESIGN FOR THE GRANDSTANDS COMPLETED, THE GRANDSTAND ENGINEER SHALL FURNISH FINAL REACTIONS AND DETAILS TO EOR FOR REVIEW AND MODIFICATION OF COLUMN AND WALL FOOTINGS AS REQUIRED. REACTIONS AND DETAILS SHALL BE SUBMITTED PRIOR TO AND FOUNDATION INSTALLATION. ANY MODIFICATIONS OF COLUMN AND WALL FOOTING DESIGN REQUIRED DUE TO GRANDSTAND REACTION REVIEW SHALL BE INSTALLED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
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MBA ENGINEERS, INC.
CIVIL AND STRUCTURAL ENGINEERS
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ALABAMA LICENSED PROFESSIONAL ENGINEER
No. 25472
PHILLIP BRIAN YOUNG
5/4/20

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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ORANGE BEACH, ALABAMA

DAVIS

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REV	DATE	DESCRIPTION

DATE: 5-04-2020

PHASE: 100% CONSTRUCTION DOCUMENTS

ISSUED FOR:

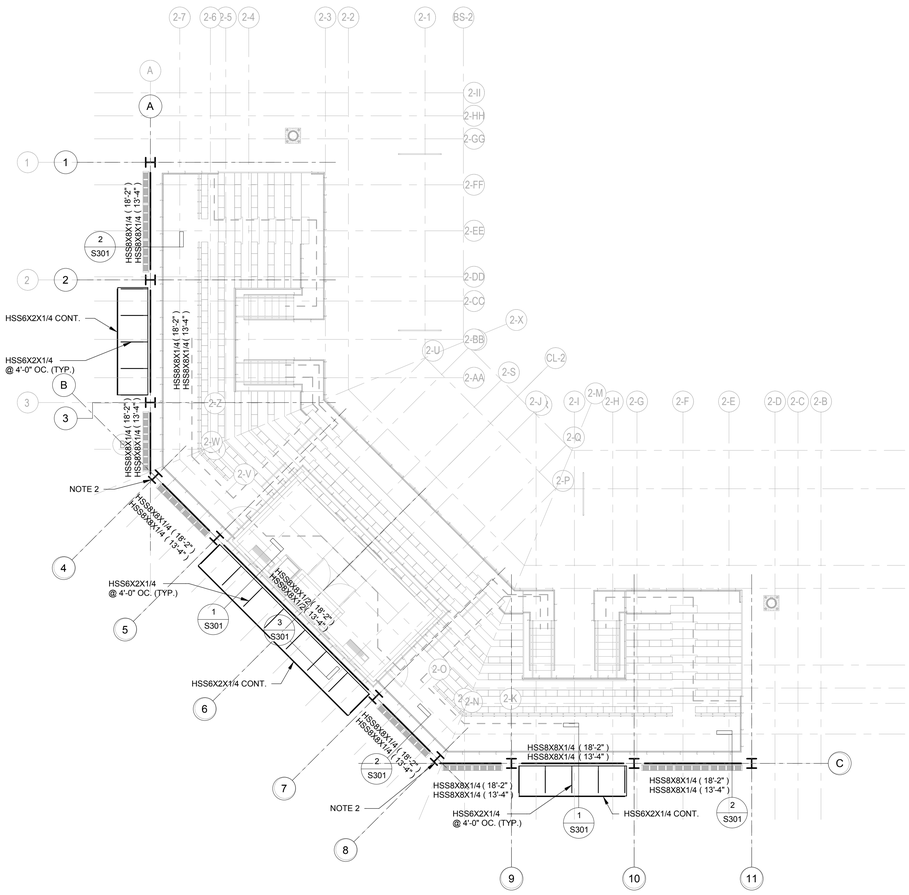
ISSUED BY: DAVIS ARCHITECTS PROJECT NO. 3916

SHEET TITLE

FOUNDATION AND LEVEL 1 PLANS

DRAWING NO.

S101



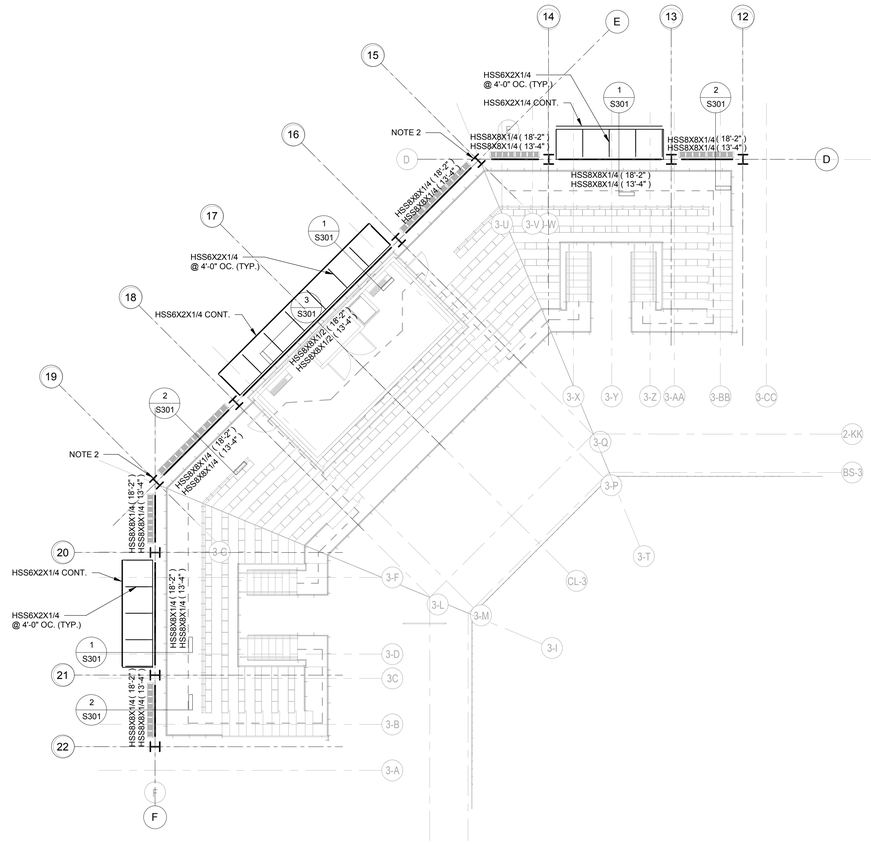
N

ROOF PLAN - FIELD #2 (BASE BID)

1/8" = 1'-0"

AWNING ROOF CONSTRUCTION:
1 1/2" DEEP, 22 GA. GALV. WIDE RIB (TYPE "B") METAL ROOF DECK

NOTES:
1. ▶ - DENOTES MOMENT CONNECTION. SEE CONNECTION DETAIL ON SHEET S002.
2. COLUMN EXTENDS UP TO SUPPORT BACKSTOP NETTING. G.C. COORD. TOP OF COLUMN ELEV. W/ ARCH. & NETTING MANUF.



N

ROOF PLAN - FIELD #3 (BASE BID)

1/8" = 1'-0"

AWNING ROOF CONSTRUCTION:
1 1/2" DEEP, 22 GA. GALV. WIDE RIB (TYPE "B") METAL ROOF DECK

NOTES:
1. ▶ - DENOTES MOMENT CONNECTION. SEE CONNECTION DETAIL ON SHEET S002.
2. COLUMN EXTENDS UP TO SUPPORT BACKSTOP NETTING. G.C. COORD. TOP OF COLUMN ELEV. W/ ARCH. & NETTING MANUF.

ALABAMA LICENSED PROFESSIONAL ENGINEER
No. 25472
5/4/20
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ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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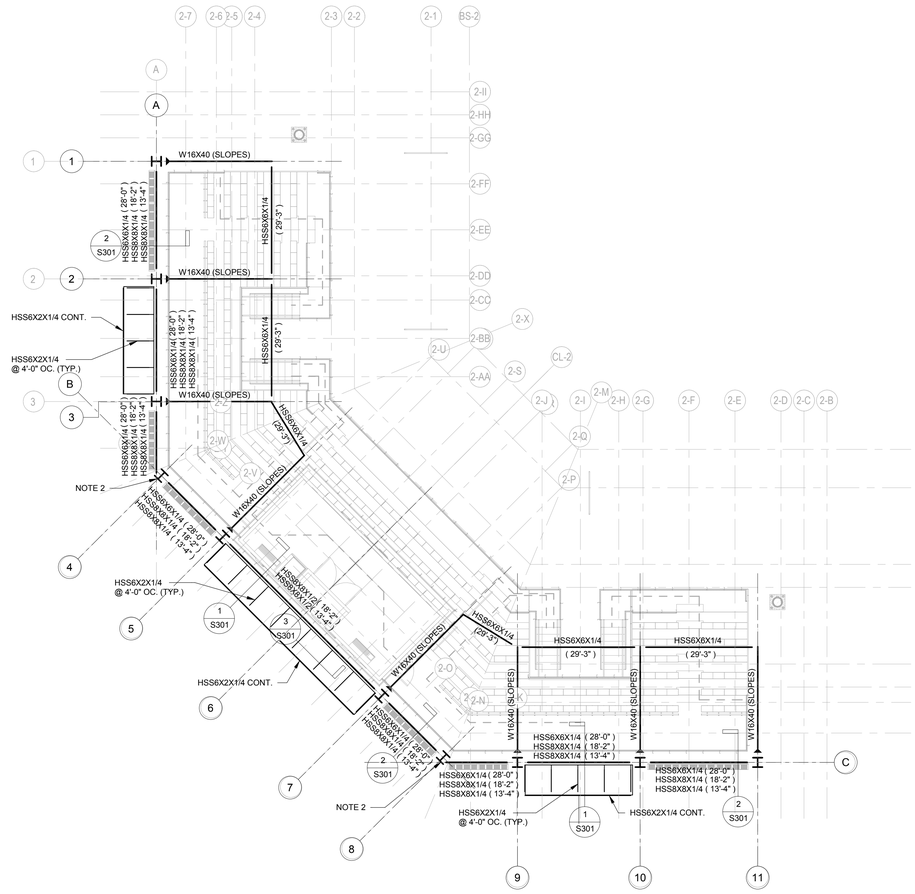
REV	DATE	DESCRIPTION

DATE: 5-04-2020
PHASE: 100% CONSTRUCTION DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO: 3916

SHEET TITLE
ROOF PLANS - BASE BID

DRAWING NO.
S102

MBA ENGINEERS, INC.
CIVIL AND STRUCTURAL ENGINEERS
P:(205) 323-6385 F:(205) 324-0698

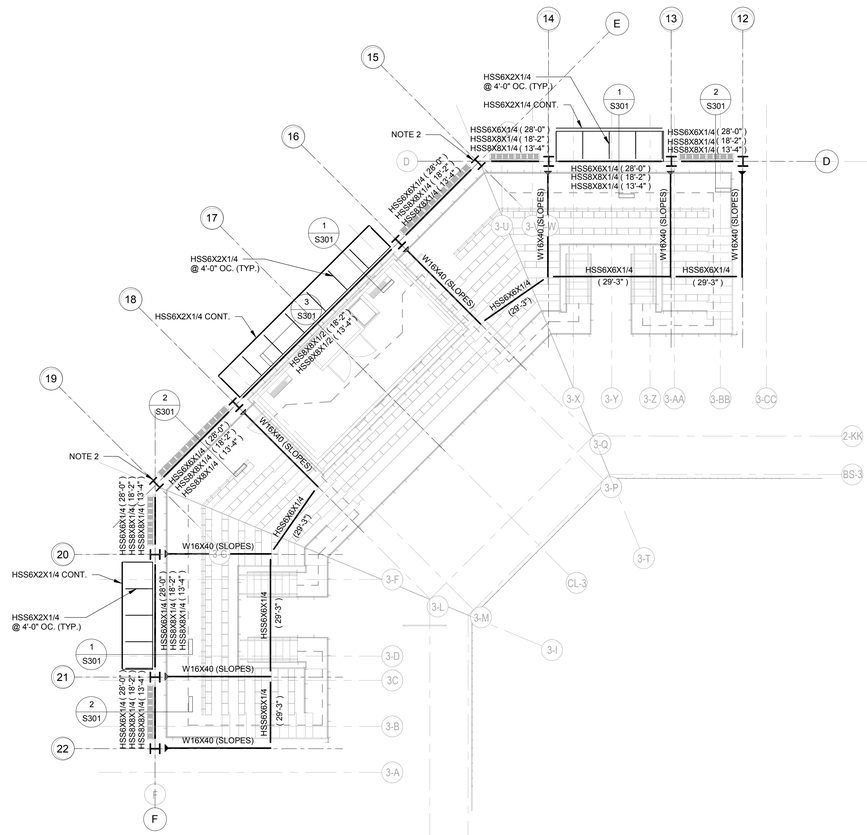


ROOF PLAN - FIELD #2 (ALTERNATE #1)

1/8" = 1'-0"

AWNING ROOF CONSTRUCTION:
1 1/2" DEEP, 22 GA. GALV. WIDE RIB (TYPE "B") METAL ROOF DECK

NOTES:
1. ▶ DENOTES MOMENT CONNECTION. SEE CONNECTION DETAIL ON SHEET S002.
2. COLUMN EXTENDS UP TO SUPPORT BACKSTOP NETTING. G.C. COORD. TOP OF COLUMN ELEV. W/ ARCH. & NETTING MANUF.



ROOF PLAN - FIELD #3 (ALTERNATE #1)

1/8" = 1'-0"

AWNING ROOF CONSTRUCTION:
1 1/2" DEEP, 22 GA. GALV. WIDE RIB (TYPE "B") METAL ROOF DECK

NOTES:
1. ▶ DENOTES MOMENT CONNECTION. SEE CONNECTION DETAIL ON SHEET S002.
2. COLUMN EXTENDS UP TO SUPPORT BACKSTOP NETTING. G.C. COORD. TOP OF COLUMN ELEV. W/ ARCH. & NETTING MANUF.

ALABAMA LICENSED PROFESSIONAL ENGINEER
No. 25472
5/4/20
PHILLIP BRIAN YOUNG

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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PHASE 100% CONSTRUCTION DOCUMENTS
ISSUED FOR
ISSUED BY DAVIS ARCHITECTS PROJECT NO. 3916

SHEET TITLE
ROOF PLANS - ALTERNATE #1

DRAWING NO.
S102A

MBA ENGINEERS, INC.
CIVIL AND STRUCTURAL ENGINEERS
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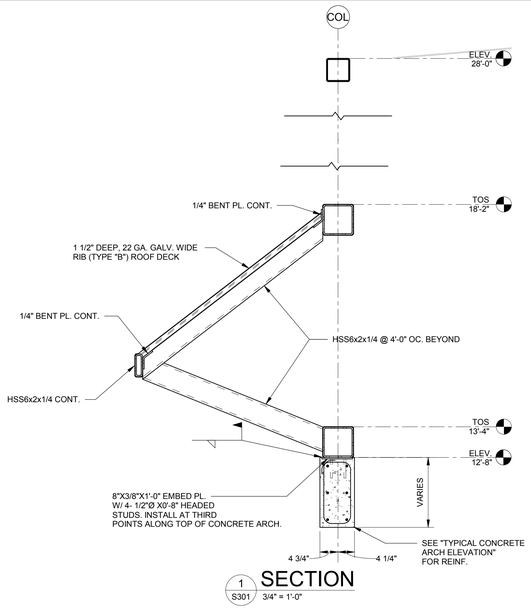
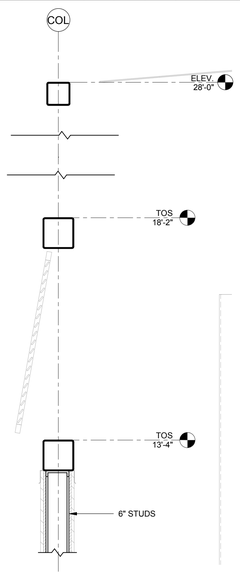
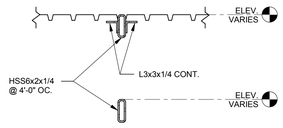


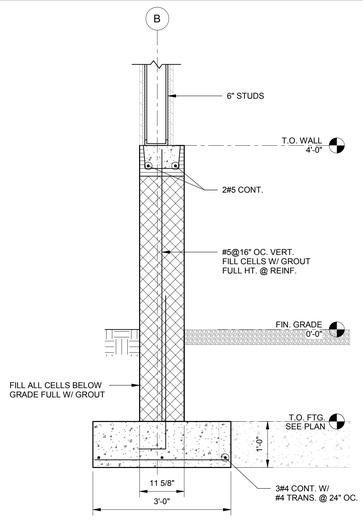
1 SECTION
S301 3/4" = 1'-0"



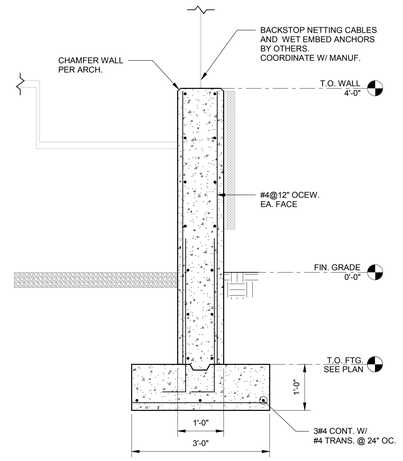
2 SECTION
S301 3/4" = 1'-0"



3 SECTION
S301 3/4" = 1'-0"



4 SECTION
S301 3/4" = 1'-0"



5 SECTION
S301 3/4" = 1'-0"

6 SECTION
S301 3/4" = 1'-0"

7 SECTION
S301 3/4" = 1'-0"

8 SECTION
S301 3/4" = 1'-0"

ALABAMA LICENSED PROFESSIONAL ENGINEER
No. 25472
5/4/20
PHILLIP BRIAN YOUNG

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REV	DATE	DESCRIPTION

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PHASE: 100% CONSTRUCTION DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO.: 3916

SHEET TITLE
SECTIONS

DRAWING NO.
S301

MBA ENGINEERS, INC.
CIVIL AND STRUCTURAL ENGINEERS
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GENERAL HVAC NOTES

1. FURNISH ALL LABOR, MATERIALS, TOOLS, INCIDENTALS AND DETAILS NECESSARY TO PROVIDE A COMPLETE HEATING, VENTILATING, AIR CONDITIONING SYSTEM. ALL WORK SHALL BE INSTALLED IN A PROFESSIONAL MANNER AND SHALL MEET ALL THE REQUIREMENTS OF THE 2015 INTERNATIONAL MECHANICAL CODE, SAFETY AND HEALTH CODES, NFPA CODES AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS. ALL COSTS FOR SAID REQUIREMENTS SHALL BE INCLUDED IN THIS CONTRACTORS BID PRICE.

2. THIS CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS AND PERFORM ALL TESTS CALLED FOR OR REQUIRED AS A PART OF HIS WORK. FURNISHED APPROVED CERTIFICATE OF FINAL INSPECTION, AND TURN OVER TO OWNER AT COMPLETION OF PROJECT.

3. MECHANICAL PLANS ARE DIAGRAMMATIC, NOT SHOWING EVERY ITEM IN EXACT LOCATION OR DETAIL. MEASUREMENTS AND LOCATIONS MUST BE FIELD VERIFIED AND COORDINATED WITH ARCHITECTURAL, HVAC, FIRE PROTECTION, STRUCTURAL, ELECTRICAL AND OTHER BUILDING DRAWINGS.

4. MECHANICAL CONTRACTOR TO PROVIDE GENERAL CONTRACTOR WITH AS-BUILT DRAWINGS, ALL EQUIPMENT SHOP DRAWINGS, INFORMATION ON THERMOSTATS, CONTROL WIRING DIAGRAMS AND OTHER PERTINENT INFORMATION AT COMPLETION OF PROJECT.

5. DUCTS USED TO CONVEY THE CONDITIONED AIR SUPPLY AND VENTILATION AIR SHALL BE MADE OF CONTINUOUS SHEET METAL AND SHALL BE FABRICATED IN ACCORDANCE WITH ASHRAE GUIDE AND SMACNA MANUAL LATEST EDITIONS.

6. DUCT LININGS (THERMAL AND ACOUSTICAL), VIBRATION ISOLATION CONNECTORS, FLEXIBLE DUCT CONNECTORS, AND DUCT TYPE SHALL BE APPROVED BY APPLICABLE CODE AND MECHANICAL ENGINEER.

7. ALL RETURN AND SUPPLY AIR DUCTWORK WITHIN 20'-0" OF AIR HANDLING EQUIPMENT SHALL BE DUCT LINED FOR SOUND ATTENUATION. REMAINING DUCT SHALL INSULATED WITH MINERAL FIBER DUCT WRAP.

8. ALL RETURN AND SUPPLY AIR DUCTWORK, THAT IS NOT LINED, SHALL BE EXTERNALLY INSULATED WITH 2" THICK, 1.5 LBS. DENSITY FOIL FACED FIBERGLASS INSULATION. DUCT DIMENSIONS SHOWN ARE INSIDE NET DIMENSIONS, ADD TO SHEET METAL SIZE FOR INSULATION. IN GENERAL, INSTALL DUCTWORK TIGHT TO UNDERSIDE OF STRUCTURE UNLESS OTHERWISE NOTED OR REQUIRED BY FIELD CONDITIONS. COORDINATE EXACT MOUNTING HEIGHT IN FIELD WITH GENERAL CONTRACTOR. ROUND DUCTWORK IN CONDITIONED SPACE DOES NOT REQUIRE INSULATION UNLESS OTHERWISE NOTED.

9. ALL BRANCH TAKE-OFFS SHALL BE PROVIDED WITH MANUAL BALANCING DAMPERS.

10. FLEXIBLE INSULATED DUCTS SHALL BE MAXIMUM 6'-0" LONG AND SHALL MEET INSTALLATION AND MATERIAL REQUIREMENTS OF LOCAL CODES.

11. ALL TEMPERATURE CONTROLS, FIRE ALARM COMPONENTS, EQUIPMENT NAMEPLATES, LABELS, OR COLOR CODED COMPONENTS SHALL BE MASKED DURING PAINTING TO PREVENT DAMAGE FROM OVER-SPRAY OR OBSCURING INFORMATION.

12. ALL LOW VOLTAGE WIRING REQUIRED FOR MECHANICAL EQUIPMENT SHALL BE FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. MECHANICAL CONTRACTOR SHALL COORDINATE POWER REQUIREMENTS FOR HVAC EQUIPMENT WITH ELECTRICAL CONTRACTOR.

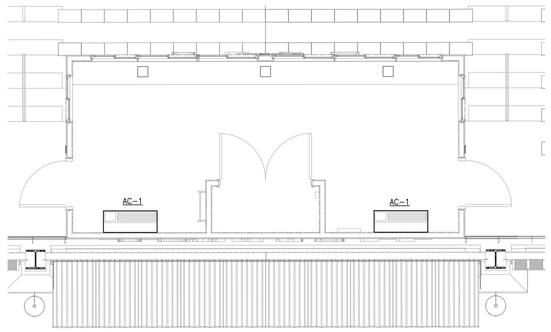
13. SEAL & TAPE ALL OPENINGS IN DUCTWORK AIRTIGHT AFTER TESTING.

14. CHECK & VERIFY ALL FIELD CONDITIONS & ACTUAL DIMENSIONS BEFORE PREPARING SHOP DRAWINGS BEFORE INSTALLATION. NOTIFY ARCHITECT IMMEDIATELY OF ANY AND ALL DISCREPANCIES.

15. TEST & BALANCE ALL SUPPLY, RETURN & EXHAUST SYSTEMS ACCORDING TO CFM INDICATED ON PLANS. SUBMIT REPORT AS PER SPECIFICATIONS.

16. ALL APPLIANCE AND PLUMBING VENTS SHALL BE AT LEAST TEN (10) FEET IN A HORIZONTAL DIRECTION. OR THREE (3) FEET ABOVE THE OUTSIDE AIR INTAKES FOR HVAC AND MAKE-UP AIR UNITS.

17. IN THE EVENT THAT CERTAIN WORK REQUIRES INCIDENTAL DAMAGE TO THE BUILDING, FINISHES OR PROPERTY TO COMPLETE THE WORK, THE CONTRACTOR FURNISH ALL REPAIR NECESSARY TO DELIVER TO THE AFFECTED AREA BACK TO OWNER THAT MEETS OR EXCEEDS THE CONDITION PRIOR TO DAMAGE.



PRESSBOX HVAC PLAN
SCALE: 1/4"=1'-0"

HVAC NOTES:

1. AC-1 TO BE GE 4500 SERIES, 9,000 BTU/H PACKAGED TERMINAL UNIT, 230/60/1, 4.1A, 800W. OPTIONAL 3KW ELECTRIC HEATER.
2. THE PRESSBOX IS PREFABRICATED AND DELIVERED TO SITE.

BID ALTERNATES:

THE FOLLOWING INDICATES ALTERNATES TO BE BID.

ALTERNATE #1: CANOPY AND CANOPY STRUCTURE.

ALTERNATE #2: BATTING CAGE AND SITE WORK MODIFICATIONS.

ALTERNATE #3 PAINTING ALL EXISTING FACILITY BUILDINGS ON SITE TO MATCH NEW PAINT SCHEME FOR PROJECT.

ALABAMA LICENSED No. 38348 PROFESSIONAL ENGINEER VAN A SIMPSON

05/04/2020

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ;
ORANGE BEACH, ALABAMA

DAVIS

OWNER
CITY OF ORANGE BEACH
PO BOX 458
ORANGE BEACH, ALABAMA 36561
251-981-69792
ATTN: KEN GRIMES, JR.

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ELECTRICAL ENGINEER
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251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE: 05-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO: 3916

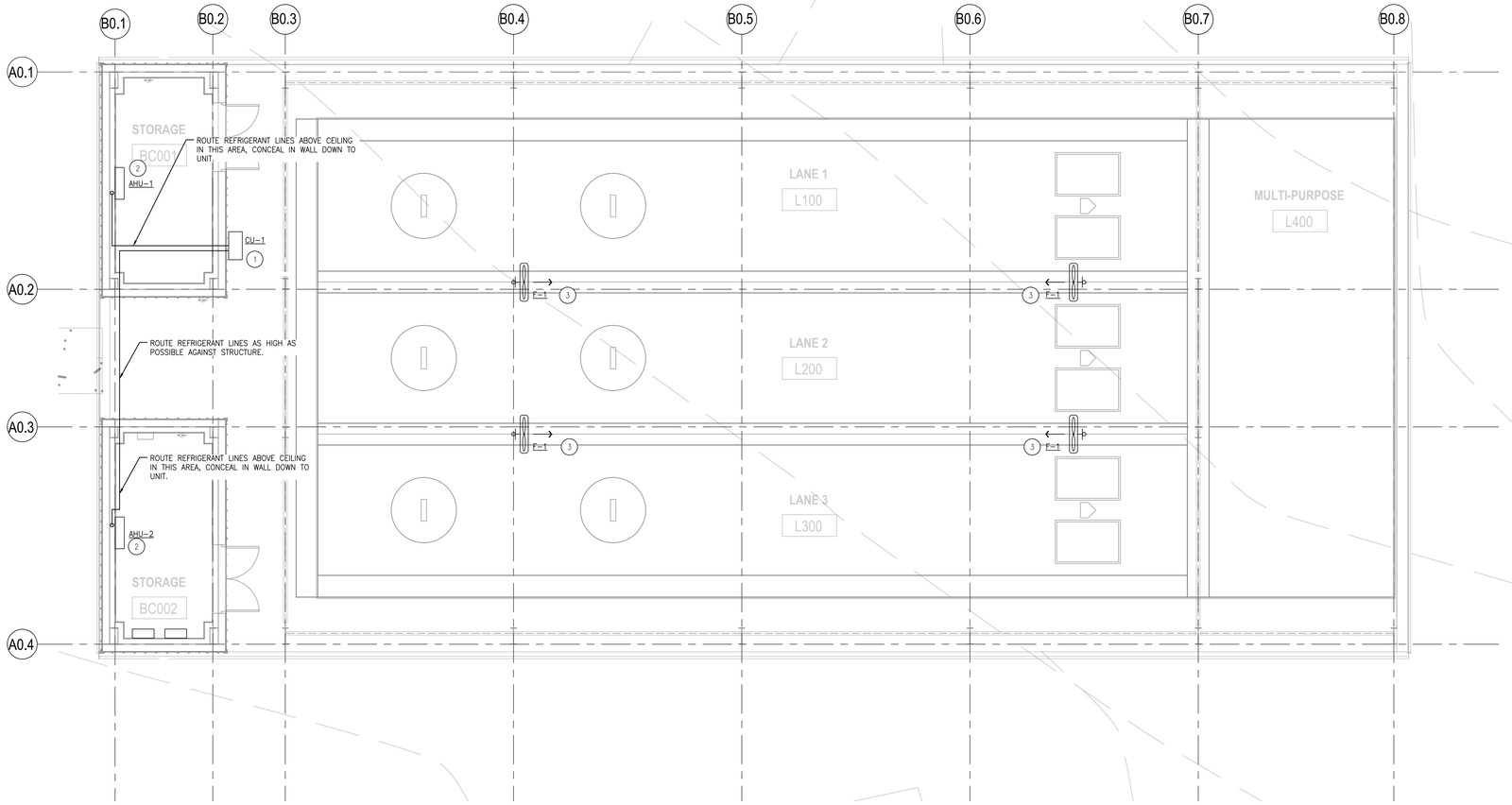
SHEET TITLE
PRESS BOX MECHANICAL PLAN

DRAWING NO.
M100

M100 PRESS BOX MECHANICAL PLAN
M1 /. SCALE: 1/4" = 1'-0"

KEYED NOTES:

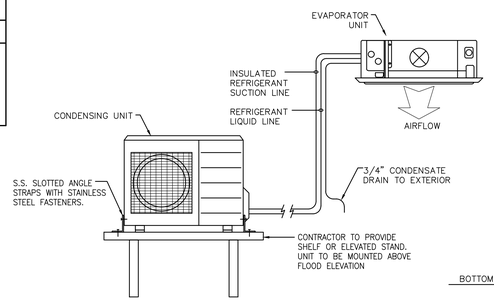
1. MOUNT CONDENSING UNIT ON SHELF WITH BOTTOM OF UNIT AT 7'-0".
2. WALL MOUNTED INDOOR AIR HANDLER UNIT.
3. F-1, VENTILATION FAN, GLOBAL INDUSTRIAL, 30" DIAMETER, OSCILLATING OUTDOOR RATED, 1/3 HP, 120V, 3 SPEED, ITEM NUMBER WG795974. INCLUDE CEILING JOIST MOUNTING POLE. MOUNT TO BUILDING GIRTS, AT 16'-0" AFF TO BOTTOM OF FAN.



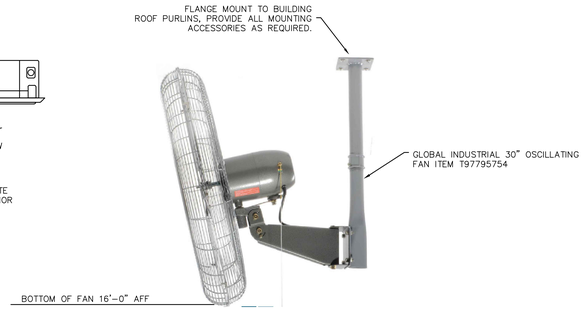
SPLIT SYSTEM SCHEDULE

MARK NO.		AREA SERVED	TONS	TOTAL CFM	O.A. (CFM)	SEER	CLG CAPACITY		HTG CAPACITY	INDOOR UNIT						OUTDOOR UNIT						NOTES
							TOTAL MBH	SENS MBH	CAPACITY MBH	MFGR & MODEL (BASIS OF DESIGN)	VOLT PHASE	HP	E.S.P.	MCA	MOCP	MFGR & MODEL (BASIS OF DESIGN)	VOLT PHASE	FAN FLA (AMPS)	MCA	MOCP	WEIGHT (LBS)	
AHU-1,2	–	STORAGE	1	350	0	–	10	8	10	MITSUBISHI MSZ-FE09NA	208/1	1/2	0.5	1	–	–	–	–	–	–	50	2
–	CU-1	STORAGE	2	–	–	15.2	20	15	20	–	–	–	–	–	–	MITSUBISHI MXZ-2C20NAHZ2	208/1	2.43	30	40	150	1,3-6

NOTES:
1. 410A REFRIGERANT.
2. FURNISH REMOTE THERMOSTAT.
3. FURNISH WITH LOW AMBIENT CONTROLS.
4. FURNISH WITH ANTI-SHORT CYCLE TIMER.
5. FURNISH WITH EVAPORATOR DEFROST CONTROL.
6. FURNISH AND INSTALL VIBRATION ISOLATOR FEET TO OUTDOOR UNITS.



DUCTLESS SPLIT SYSTEM DETAIL
SCALE: N.T.S.



F-1 - OSCILLATING FAN DETAIL
SCALE: N.T.S.

M101 BATTING CAGE BUILDING HVAC PLAN

M1 /. SCALE: 3/16" = 1'-0"

N

ALABAMA LICENSED No. 38348 PROFESSIONAL ENGINEER VAN A SIMPSON

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PHASE 100% BID DOCUMENTS

ISSUED FOR

ISSUED BY DAVIS ARCHITECTS PROJECT NO. 3916

SHEET TITLE

BATTING CAGE BUILDING HVAC PLAN

DRAWING NO.

M101

NOTES

1. ALL LIGHT FIXTURES SHALL BE SUPPORTED INDEPENDENTLY OF THE CEILING SYSTEM. 2x4 TROFFERS SHALL BE SUPPORTED WITH CABLE FROM ALL FOUR CORNERS.

2. FOR HOME RUNS ON 20 AMP CIRCUITS EXCEEDING SEVENTY FIVE (75) FEET FROM THE PANEL BOARD, USE #10 AWG MIN.

3. ALL MOUNTING HEIGHTS ARE GIVEN TO THE BOTTOM OF THE DEVICE UNLESS NOTED OTHERWISE.

4. THE LOCATION OF ALL WALL MOUNTED DEVICES, INCLUDING MOUNTING HEIGHTS, SHALL BE FIELD VERIFIED WITH THE ARCHITECT PRIOR TO INSTALLATION.

5. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY DISCONNECTS, SWITCHES AND RECEPTACLES UNDER THE ELECTRICAL BID AND SHALL INCLUDE ALL NECESSARY CIRCUITS AND FINAL CONNECTIONS TO THE EQUIPMENT PROVIDED BY ALL SUPPLIERS, UNLESS NOTED OTHERWISE BY OTHER DISCIPLINES.

6. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED SO THAT ALL CODE REQUIRED AND MANUFACTURER RECOMMENDED SERVICING CLEARANCES ARE MAINTAINED.

7. BIDDING CONTRACTORS MUST VISIT THE SITE, REVIEW ALL CONSTRUCTION DOCUMENTS, AND OBTAIN WRITTEN COPIES OF ALL REFERENCED CODES AND ORDINANCES PRIOR TO SUBMITTING BIDS. NO ALLOWANCE WILL BE MADE FOR ADVERSE CONDITIONS WHICH WERE ASCERTAINABLE PRIOR TO BID TIME.

8. GROUND TELEPHONE EQUIPMENT TO THE ELECTRICAL SERVICE GROUNDING SYSTEM PER N.E.C.

9. ALL CIRCUIT BREAKERS IN PANEL SHALL BE FULLY RATED

10. THE ELECTRICAL CONTRACTOR SHALL COORDINATE AND VERIFY THE ELECTRICAL SERVICE ARRANGEMENTS WITH THE LOCAL POWER COMPANY AND WITH OWNER SUPPLIED SITE PLAN. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT FOR A COMPLETE INSTALLATION.

11. CIRCUIT BREAKERS SHALL BE RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SITE AS DETERMINED BY THE LOCAL UTILITY. E.C. SHALL COORDINATE WITH LOCAL UTILITY BEFORE STARTING WORK.

12. ALL BUILDING SYSTEM GROUND RODS SHALL BE BONDED TOGETHER TO FORM A SINGLE GROUNDING SYSTEM. GROUNDING SYSTEM SHALL COMPLY WITH N.E.C. ARTICLE 250.

13. THE WORD "PROVIDE" MEANS FURNISH AND INSTALL.

14. MC CABLE IS ALLOWED AS A VE ALTERNATE.

15. THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND REVIEW THE MECHANICAL AND SPECIAL EQUIPMENT SUBMITTALS PRIOR TO SUBMITTING THE ELECTRICAL SUBMITTALS. ANY ELECTRICAL EQUIPMENT, CONDUIT, AND WIRE SIZE CHANGES RESULTING FROM THIS REVIEW SHALL ALSO BE SUBMITTED FOR APPROVAL.

16. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL FITTINGS AND NECESSARY EQUIPMENT FOR LIGHT FIXTURE MOUNTING, AND INSTALLATION.

17. ALL FIRE BARRIER PENETRATIONS SHALL BE SEALED WITH APPROVED FIRE SEALANT. COORDINATE WITH ARCHITECTURAL PLANS FOR ALL RATED WALLS AND CEILINGS PRIOR TO BID SO AN UNDERSTANDING OF NUMBER OF SEALS REQUIRED, AND DETERMINE METHOD FOR MINIMIZING THE SEAL REQUIREMENTS.

18. NO CONDUIT IS ALLOWED TO BE LAID BENEATH ANY STRUCTURAL FOOTING. G.C. MUST COORDINATE ANY PENETRATIONS THROUGH WALLS BENEATH OR ABOVE GRADE WITH THE ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO MODIFICATION

19. WORK REQUIRING UTILITY AND/OR COMMUNICATIONS OUTAGES SHALL BE COORDINATED WITH THE OWNER/OWNER'S REPRESENTATIVE IN ADVANCE AND MUST BE PRE-APPROVED IN WRITING.

20. ALL CABLE AND CONDUIT SHALL BE RUN PARALLEL AND PERPENDICULAR TO BUILDING STRUCTURE.

21. ALL WORK SHOWN IS NEW, UNLESS OTHERWISE NOTED.

22. PAINT ALL EXPOSED CONDUITS, BOXES AND FITTINGS TO MATCH EXISTING SURFACES.

23. CABLING SUBCONTRACTOR SHALL FURNISH AND INSTALL ALL CABLES, TERMINATION AND ACCESSORIES AS REQUIRED FOR COMPLETE INSTALLATION.

24. PROVIDE A WIRELESS SYSTEM (WS) FOR THE ENTIRE AREA OF WORK IN THE FACILITY. DRAWINGS AND SPECIFICATIONS ESTABLISH A PERFORMANCE GUIDE FOR THIS WORK. IT IS NOT THE INTENT OF THIS PERFORMANCE GUIDE TO INDICATE ALL SCOPE NECESSARY TO COMPLETE THIS WORK. RATHER, IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND PROVIDE ALL SCOPE NECESSARY TO DELIVER A COMPLETE AND FULLY OPERATIONAL SYSTEM READY FOR USE.

25. WIRELESS ACCESS POINTS (WAPS) OUTLET LOCATIONS SHOWN ARE APPROXIMATE, AND ARE NOT INTENDED TO INDICATE THE QUANTITY NOR THE FINAL LOCATIONS OF WIRELESS ACCESS POINTS. RATHER, WAP OUTLET LOCATIONS HAVE BEEN DISTRIBUTED TO ENSURE THAT WHEREVER A WIRELESS ACCESS POINT IS TO BE LOCATED, A WAP OUTLET WILL BE WITHIN PATCH CORD REACH OF THE WIRELESS ACCESS POINT. VERIFY FINAL QUANTITIES AND LOCATIONS OF WAPS AND ENCLOSURES WITH THE OWNER/OWNER'S REPRESENTATIVE PRIOR TO ROUGH-IN. (THE CONTRACTOR SHALL PROVIDE ALL WAPS.)

26. CAMERA LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING CAMERAS IN THEIR FINAL POSITION SUCH THAT VIEWING ANGLES ARE OPTIMIZED, AND BLIND SPOTS, OBSTRUCTIONS, AND OTHER LIMITATIONS TO CAMERA EFFECTIVENESS ARE ELIMINATED TO THE GREATEST EXTENT POSSIBLE.

LEGEND

- SPECIFICATION GRADE DUPLEX RECEPTACLE, GRAY COLOR, – 20 AMP, 125V. TAMPER PROOF HEAVY DUTY. MTD. @ 16" A.F.F. UNLESS NOTED, WITH BRUSHED STAINLESS STEEL FACEPLATE.
- U — SPECIFICATION GRADE DUPLEX RECEPTACLE, GRAY COLOR,– 20 AMP, 125V. TAMPER PROOF. WITH USB CHARGING PORTS, MTD. @ 16" A.F.F. UNLESS NOTED, WITH BRUSHED STAINLESS STEEL FACEPLATE.
- WP G — SPECIFICATION GRADE WEATHER RESISTANT, GRAY COLOR, DUPLEX RECEPTACLE – TAMPER PROOF WITH GROUND FAULT INTERRUPT, MTD. @ 16" A.F.F. UNLESS NOTED, WITH WEATHER-PROOF IN USE COVER.
- G — SPECIFICATION GRADE, GRAY COLOR, DUPLEX RECEPTACLE – TAMPER PROOF WITH GROUND FAULT INTERRUPT, MTD. @ 16" A.F.F. UNLESS NOTED, WITH BRUSHED STAINLESS STEEL FACEPLATE.
- C ▲ C — "C" INDICATES DEVICE MOUNTED @ 2" ABOVE BACKSPLASH UNLESS NOTED. COORDINATE IN FIELD.
- $ — SPECIFICATION GRADE 20A-1P TOGGLE SWITCH, HEAVY DUTY, GRAY COLOR, MOUNTED @ 48" A.F.F. W/BRUSHED STAINLESS STEEL FACEPLATE.
- $3 — SPECIFICATION GRADE 20 AMP THREE WAY TOGGLE SWITCH, HEAVY DUTY, GRAY COLOR, MOUNTED @ 48" A.F.F. W/BRUSHED STAINLESS STEEL FACEPLATE.
- $D — SPECIFICATION GRADE 0-10V LED DIMMER SWITCH GRAY COLOR, MOUNTED @ 48" A.F.F. W/BRUSHED STAINLESS STEEL FACEPLATE.
- $OD — SPECIFICATION GRADE 0-10V LED DIMMER/OCCUPANCY SWITCH GRAY COLOR, MOUNTED @ 48" A.F.F. W/BRUSHED STAINLESS STEEL FACEPLATE, LUTRON MAESTRO OR EQUAL.
- $O — SPECIFICATION GRADE WALL MOUNTED OCCUPANCY SWITCH GRAY COLOR, MOUNTED @ 48" A.F.F. W/BRUSHED STAINLESS STEEL FACEPLATE. STEINEL DT WLS 1W U22.
- $M — 120V, 20AMP MOTOR RATED TOGGLE SWITCH, WITH LOCKING DEVICE.
- ▲ — VOICE/DATA OUTLET, GRAY COLOR, MOUNTED @ 16" A.F.F. WITH BRUSHED STAINLESS STEEL FACEPLATE, MTD. @ 16" A.F.F. UNLESS NOTED. RUN (2) CAT 6 CABLES FROM OUTLET TO DATA/TEL RACK.
- △ — COMPUTER DATA OUTLET, GRAY COLOR, BOX MTD @ 16" A.F.F. UNLESS NOTED FLUSH MOUNTED 1 GANG WALL BOX. CONTRACTOR TO RUN (2) CAT 6 CABLES FROM OUTLET TO TO DATA/TEL RACK.
- (J) — JUNCTION BOX LOCATION MOUNTED AS NOTED ON DRAWING, SIZED AS REQUIRED BY EQUIPMENT BEING SERVED.
- DISCONNECT SWITCH, SIZE AND TYPE AS NOTED.
- HOME RUN CONDUIT, CIRCUIT NUMBER AS INDICATED ON DRAWINGS, HASHMARKS INDICATE HOT NEUTRAL AND GROUND.
- CONDUIT RUN IN FLOOR OR SLAB.
- CONDUIT RUN IN WALLS OR CEILING.

- LVD $ — LOW VOLTAGE DIMMER CONTROLLER STEINEL LV1-U22(FINISH).
- LV $ — LOW VOLTAGE CONTROLLER STEINEL LV1-U22 (FINISH).
- OC $ — DUAL TECHNOLOGY WALL OCCUPANCY SWITCH, STEINEL DT-WLSI-U22.
- OS — CEILING MOUNTED OCCUPANCY STEINEL DT QUATTRO-COM-24-U22.
- LOW VOLTAGE WIRING. SEE MANUFACTURER DRAWINGS FOR MORE INFORMATION.
- PP — POWER PACK STEINEL TR-100-U22.
- PP 2 — TWO POLE POWER PACK .
- 20A — 20A, 240V SIMPLEX RECEPTACLE, MOUNTED AS REQUIRED BY EQUIPMENT BEING SERVED, WITH BRUSHED STAINLESS STEEL FACEPLATE.
- 30A — 30A, 240V SIMPLEX RECEPTACLE, MOUNTED AS REQUIRED BY EQUIPMENT BEING SERVED, WITH BRUSHED STAINLESS STEEL FACEPLATE.
- E — SECURITY CAMERA WITH EXPOSED CONDUIT AND JUNCTION BOX SURFACE MOUNTED, POE (POWER OVER ETHERNET) RUN (1) CAT 6 CABLE FROM CAMERA TO TO DATA/TEL RACK.
- C — SECURITY CAMERA WITH CONCEALLED CONDUIT AND JUNCTION BOX SURFACE MOUNTED, POE (POWER OVER ETHERNET) RUN 3/4" C. WITH (1) CAT 6 CABLE FROM CAMERA TO AV/DATA ROOM. MOUNT CAMERA AT 19'-0" AFF, UNLESS NOTED OTHERWISE. ALL CONDUIT TO CONCEALED, NO EXPOSED CONDUIT ALLOWED.
- WAP — WIRELESS ACCESS POINT, WALL MOUNTED SEE PLANS FOR MOUNTING HEIGHT. POE (POWER OVER ETHERNET) RUN (1) CAT 6 CABLE FROM WAP TO DATA/TEL RACK.
- WAP2 — WIRELESS ACCESS POINT, SURFACE MOUNTED AT 8'-6" UNLESS NOTED OTHERWISE. POE (POWER OVER ETHERNET) RUN (1) CAT 6 CABLE FROM WAP DATA/TEL RACK.
- WP WAP — WIRELESS ACCESS POINT, WALL MOUNTED AT 11'-4" UNLESS NOTED OTHERWISE. POE (POWER OVER ETHERNET) RUN (1) CAT 6 CABLE FROM WAP TO DATA/TEL RACK.
- WP WAP2 — WIRELESS ACCESS POINT, SURFACE MOUNTED AT 8'-6" UNLESS NOTED OTHERWISE. POE (POWER OVER ETHERNET) RUN (1) CAT 6 CABLE FROM WAP TO DATA/TEL RACK.
- TV — CABLE TV OUTLET WITH COAX CABLE BACK TO TELEPHONE BACKBOARD.
- CR — ACCESS CONTROL, CARD READER 48" AFF. POE (POWER OVER ETHERNET) RUN (1) CAT 6 CABLE FROM WAP DATA/TEL RACK.
- AM-40 — PUBLIC ADDRESS/MUSIC CAPABLE SYSTEM, BOSE ARENA MATCH SPEAKER AM-40, WITH 1" CONDUIT BACK TO PRESSBOX.
- AMU-108 — PUBLIC ADDRESS/MUSIC CAPABLE SYSTEM, BOSE ARENA MATCH UTILITY SPEAKER AMU-108, WITH 1" CONDUIT BACK TO PRESSBOX.
- AMU-105 — PUBLIC ADDRESS/MUSIC CAPABLE SYSTEM, BOSE ARENA MATCH UTILITY SPEAKER AMU-108, WITH 1" CONDUIT BACK TO AUDIO RACK.
- BXD — BIRD EXPELLER DEVICE, 120VAC. BIRD-X BIRDXPELLER PRO, VERSION 1.

ELECTRICAL DEVICE NOTES:

1. ALL DEVICE COLORS SHALL BE GRAY.
2. ALL FACEPLATES TO BRUSHED STAINLESS STEEL.
3. ALL DEVICES SHALL BE MOUNTED IN BOXES, AND ALL EXTERIOR BOXES SHALL BE WATER TIGHT.
4. ALL EMPTY EXTERIOR BOXES SHALL HAVE WATER TIGHT COVERPLATES.

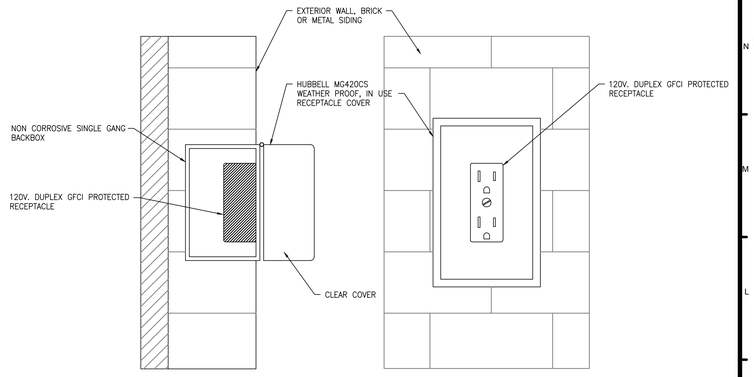
APPLICABLE ELECTRICAL CODE:

NFPA 70 2017 NATIONAL ELECTRIC CODE.

LIGHTING FIXTURE SCHEDULE

MARK	TYPE	VOLT	WATTS	LAMP	BRAND & CATALOG NO.
L1	1x4 FOOT SURFACE MOUNTED EDGELIT LED WITH SURFACE MOUNT KIT . .	120	40	4000 LUMEN 4000K .	LSI SFP14-LED-40-UE-40-650325 .
L2	4 FOOT WALL MOUNTED LENSED LED STRIP . .	120	22	3000 LUMEN 4000K .	LSI SDL4-113768-LED-30L-FL-UNV-DIM1-40-80CRI .
L3	2x4 FOOT SURFACE MOUNTED EDGELIT LED . .	120	75	9375 LUMEN 4000K .	SAYLITE FPELP-7249-24-LED-75-DMV-WH-40 .
L4	8 FOOT SURFACE MOUNTED VAPORTIGHT LED . .	120	95	13060 LUMEN 4000K .	LSI EG3-8-LED-13L-CA-S-UNV-DIM-40-80-EM-SL
EX	EXIT SIGN W/EMERGENCY BATTERY .	120	5	AS SUPPLIED .	EVENLITE TCXCOM-2206-G-U-W-SD
W	WALL MOUNTED SCONCE . .	120	20	6000 LUMEN 4000K .	LSI XWM-113768-3-LED-6L-40-UE-FINISH EINISH BY ARCHITECT
W1	12" WALL MOUNTED RLM DOME . .	120	20	1200 LUMEN 4000K .	BASELITE W516-626-FINISH-E1-FINISH-LWTM-LED12W-40K-120/277-0-10V FINISH BY ARCHITECT

"NL" INDICATES NIGHT LIGHT, UNSWITCHED.



SIDE VIEW
SCALE: NONE

FRONT VIEW
SCALE: NONE

EXTERIOR RECEPTACLE WITH IN USE WEATHER PROOF COVER

SCALE: NONE

NOTE: RECEPTACLE BACKBOX TO ALWAYS BE RECESSED INTO BRICK, METAL SIDING, OR WOOD SIDING.

ALABAMA LICENSED PROFESSIONAL ENGINEER No. 37141 JERRY I. ONWU

05/04/2020

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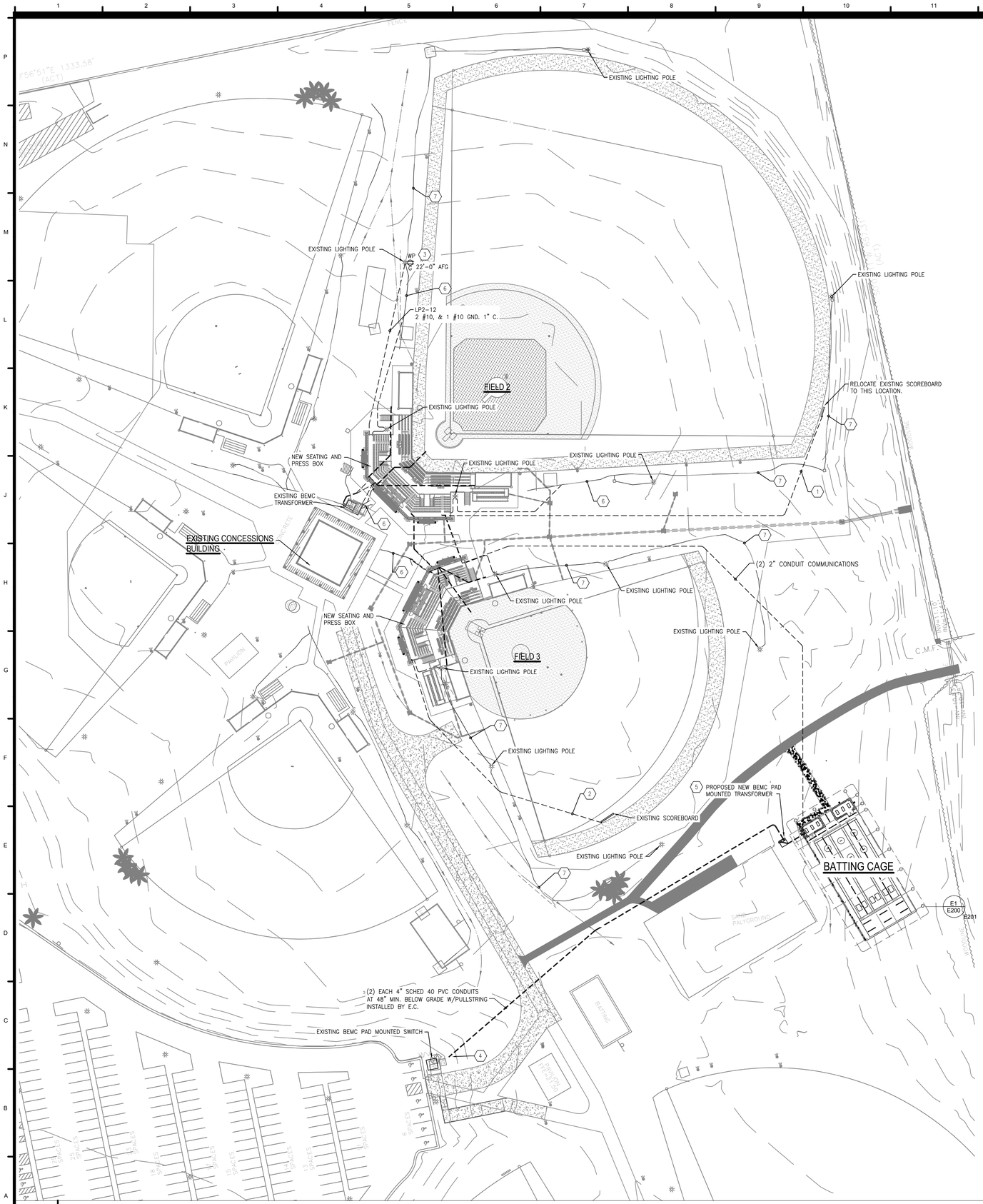
PROJECT NO: 3916

SHEET TITLE
ELECTRICAL LEGENDS, NOTES, SCHEDULES

DRAWING NO.
E100



KEYED NOTES:

1. INSTALL (1) 1 1/4" SCHED. 40 PVC CONDUIT FROM SCOREBOARD TO NEW PRESSBOX FOR CONTROLS, MATCH EXISTING CONTROL CABLE AND PULL NEW FROM SCOREBOARD TO PRESSBOX. TERMINATE PER MANUFACTURERS DIRECTION. INSTALL (1) 1" SCHED. 40 PVC CONDUIT FROM SCOREBOARD TO PANEL LP2 WITH 2 #8, & 1 & 8 GND. CONNECT TO CIRCUIT LP2–11. CONTRACTOR IS RESPONSIBLE ROUTING CONDUIT FROM SCOREBOARD TO PRESSBOX FOR CONTROL CABLE, AND CONDUIT FROM SCOREBOARD TO PANEL LP2 FOR SCOREBOARD POWER.
2. INSTALL (1) 1 1/4" SCHED. 40 PVC CONDUIT FROM SCOREBOARD TO NEW PRESSBOX FOR CONTROLS, MATCH EXISTING CONTROL CABLE AND PULL NEW FROM SCOREBOARD TO PRESSBOX. TERMINATE PER MANUFACTURERS DIRECTION. INSTALL (1) 1" SCHED. 40 PVC CONDUIT FROM SCOREBOARD TO PANEL LP2 WITH 2 #8, & 1 & 8 GND. CONNECT TO CIRCUIT LP3–11. CONTRACTOR IS RESPONSIBLE ROUTING CONDUIT FROM SCOREBOARD TO PRESSBOX FOR CONTROL CABLE, AND CONDUIT FROM SCOREBOARD TO PANEL LP3 FOR SCOREBOARD POWER.
3. RECEPTACLE FOR BIRD CONTROL DEVICE, MOUNT RECEPTACLE TO POLE AT 22'–0" AFG. WITH 1" RGS STEEL CONDUIT FROM RECEPTACLE BOX DOWN POLE. ONCE UNDERGROUND CONVERT CONDUIT TO 1" SCHEDULE 40 PVC AND RUN TO PANEL LP2. BIRD CONTROL DEVICE INSTALLED BY E.C. PER MANUFACTURERS INSTRUCTIONS. BIRD EXPELLER DEVICE INSTALLED BY E.C., SEE OWNERS MANUAL.
4. COORDINATE CONDUIT INSTALLATION WITH BEMC WHEN APPROACHING PAD MOUNTED SWITCH TO INSURE CONDUITS ARE ROUTED TO THE LOCATION REQUIRED BY BEMC.
5. E.C RESPONSIBLE FOR PROVIDING CONCRETE PAD FOR NEW TRANSFORMER. SEE PAD DETAIL ON DRAWING E200.
6. EXISTING FIELD LIGHTING POLE CONDUIT TO REMAIN, WITH NEW CONDUCTORS.
7. EXISTING FIELD LIGHTING POLE CONDUIT AND CONDUCTORS TO REMAIN.

GENERAL NOTES:

1. EFFORT WAS MADE TO PROVIDE LOCATION OF EXISTING UNDERGROUND CONDUITS. EXTREME CARE IS TO BE TAKEN DURING ALL EXCAVATING ON THIS PROJECT, EXPECT EXISTING CONDUITS AND IRRIGATION PIPING. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF DAMAGE TO EXISTING CONDUITS AND IRRIGATION PIPING.
2. ALL CONDUIT ABOVE GROUND SHALL BE GALV. METAL.
3. PROVIDE PULL STRING IN ALL SPARE CONDUITS.

BID ALTERNATES:

THE FOLLOWING INDICATES ALTERNATES TO BE BID.

ALTERNATE #1: CANOPY AND CANOPY STRUCTURE.

ALTERNATE #2: BATTING CAGE AND SITE WORK MODIFICATIONS.

ALTERNATE #3 PAINTING ALL EXISTING FACILITY BUILDINGS ON SITE TO MATCH NEW PAINT SCHEME FOR PROJECT.

E101 PARTIAL ELECTRICAL SITE PLAN

E1 /.

SCALE: 1" = 40'-0"

ALABAMA LICENSED PROFESSIONAL ENGINEER JERRY I. ONWU No. 37141

05/04/2020

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

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REV	DATE	DESCRIPTION

DATE: 05-04-2020

PHASE: 100% BID DOCUMENTS

ISSUED FOR

ISSUED BY: DAVIS ARCHITECTS

PROJECT NO: 3916

SHEET TITLE

PARTIAL ELECTRICAL SITE PLAN

DRAWING NO.

E101

TO BIRD EXPELLER
SEE E101

(2) 2" SPARE CONDUITS

FIELD 2

EXISTING LIGHTING POLE

EXISTING SCOREBOARD
RELOCATED

(2) 2" SPARE CONDUITS

E1
E103
E400

EXISTING LIGHTING POLE

PRESS BOX

(1) EACH 4" CONDUIT POWER
(2) 2" CONDUIT COMMUNICATIONS

(2) 2" SPARE CONDUITS

EXISTING LIGHTING POLE

EXISTING BEMC
TRANSFORMER

TO SCORE BOARD,
SEE E101

(1) 2" CONDUIT SPARE
(2) 2" CONDUIT COMMUNICATIONS

(2) 2" CONDUIT COMMUNICATIONS

EXISTING CONCESSIONS
BUILDING

(1) 2" CONDUIT POWER
(1) 2" CONDUIT COMMUNICATIONS

EXISTING LIGHTING POLE

EXISTING LIGHTING POLE

(2) 2" SPARE CONDUITS

E1
E104
E401

PRESS BOX

(2) 2" SPARE CONDUITS

FIELD 3

(2) 2" SPARE CONDUITS

EXISTING LIGHTING POLE

EXISTING LIGHTING POLE

TO SCORE BOARD,
SEE E101

EXISTING LIGHTING POLE

(2) 2" CONDUIT COMMUNICATIONS
TO BATTING CAGE BUILDING SEE E200

WOODLINE

C.M.F

E102 ENLARGED ELECTRICAL PLAN

E1 /. SCALE: 1/16" = 1'-0"

N

ALABAMA
LICENSED
No. 37141
PROFESSIONAL
ENGINEER
JERRY T. ONWU

05/04/2020

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ;
ORA MA

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OWNE
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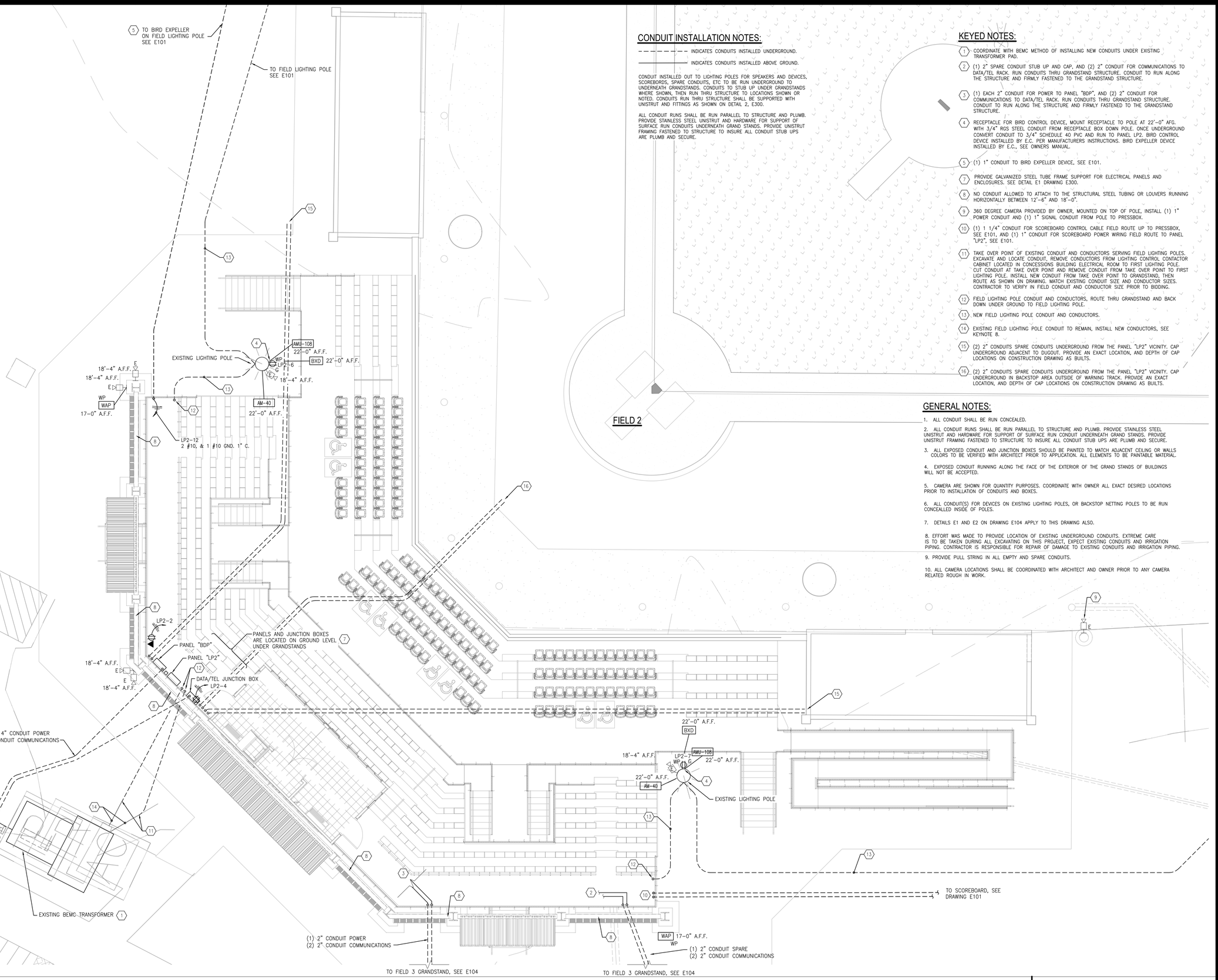
REV	DATE	DESCRIPTION

DATE: 05-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS PROJECT NO. 3916

SHEET TITLE
ENLARGED ELECTRICAL PLAN

DRAWING NO.
E102



CONDUIT INSTALLATION NOTES:

- - - - - - - - INDICATES CONDUITS INSTALLED UNDERGROUND.

———————— INDICATES CONDUITS INSTALLED ABOVE GROUND.

CONDUIT INSTALLED OUT TO LIGHTING POLES FOR SPEAKERS AND DEVICES, SCOREBORDS, SPARE CONDUITS, ETC TO BE RUN UNDERGROUND TO UNDERNEATH GRANDSTANDS. CONDUITS TO STUB UP UNDER GRANDSTANDS WHERE SHOWN, THEN RUN THRU STRUCTURE TO LOCATIONS SHOWN OR NOTED. CONDUITS RUN THRU STRUCTURE SHALL BE SUPPORTED WITH UNISTRUT AND FITTINGS AS SHOWN ON DETAIL 2, E300.

ALL CONDUIT RUNS SHALL BE RUN PARALLEL TO STRUCTURE AND PLUMB. PROVIDE STAINLESS STEEL UNISTRUT AND HARDWARE FOR SUPPORT OF SURFACE RUN CONDUITS UNDERNEATH GRAND STANDS. PROVIDE UNISTRUT FRAMING FASTENED TO STRUCTURE TO INSURE ALL CONDUIT STUB UPS ARE PLUMB AND SECURE.

KEYED NOTES:

1. COORDINATE WITH BEMC METHOD OF INSTALLING NEW CONDUITS UNDER EXISTING TRANSFORMER PAD.
2. (1) 2" SPARE CONDUIT STUB UP AND CAP, AND (2) 2" CONDUIT FOR COMMUNICATIONS TO DATA/TEL RACK. RUN CONDUITS THRU GRANDSTAND STRUCTURE. CONDUIT TO RUN ALONG THE STRUCTURE AND FIRMLY FASTENED TO THE GRANDSTAND STRUCTURE.
3. (1) EACH 2" CONDUIT FOR POWER TO PANEL "BDP", AND (2) 2" CONDUIT FOR COMMUNICATIONS TO DATA/TEL RACK. RUN CONDUITS THRU GRANDSTAND STRUCTURE. CONDUIT TO RUN ALONG THE STRUCTURE AND FIRMLY FASTENED TO THE GRANDSTAND STRUCTURE.
4. RECEPTACLE FOR BIRD CONTROL DEVICE, MOUNT RECEPTACLE TO POLE AT 22'-0" AFG. WITH 3/4" RGS STEEL CONDUIT FROM RECEPTACLE BOX DOWN POLE. ONCE UNDERGROUND CONVERT CONDUIT TO 3/4" SCHEDULE 40 PVC AND RUN TO PANEL LP2. BIRD CONTROL DEVICE INSTALLED BY E.C. PER MANUFACTURERS INSTRUCTIONS. BIRD EXPELLER DEVICE INSTALLED BY E.C., SEE OWNERS MANUAL.
5. (1) 1" CONDUIT TO BIRD EXPELLER DEVICE, SEE E101.
7. PROVIDE GALVANIZED STEEL TUBE FRAME SUPPORT FOR ELECTRICAL PANELS AND ENCLOSURES. SEE DETAIL E1 DRAWING E300.
8. NO CONDUIT ALLOWED TO ATTACH TO THE STRUCTURAL STEEL TUBING OR LOUVERS RUNNING HORIZONTALLY BETWEEN 12'-6" AND 18'-0".
9. 360 DEGREE CAMERA PROVIDED BY OWNER, MOUNTED ON TOP OF POLE, INSTALL (1) 1" POWER CONDUIT AND (1) 1" SIGNAL CONDUIT FROM POLE TO PRESSBOX.
10. (1) 1 1/4" CONDUIT FOR SCOREBOARD CONTROL CABLE FIELD ROUTE UP TO PRESSBOX, SEE E101, AND (1) 1" CONDUIT FOR SCOREBOARD POWER WIRING FIELD ROUTE TO PANEL "LP2", SEE E101.
11. TAKE OVER POINT OF EXISTING CONDUIT AND CONDUCTORS SERVING FIELD LIGHTING POLES. EXCAVATE AND LOCATE CONDUIT, REMOVE CONDUCTORS FROM LIGHTING CONTROL CONTACTOR CABINET LOCATED IN CONCESSIONS BUILDING ELECTRICAL ROOM TO FIRST LIGHTING POLE. CUT CONDUIT AT TAKE OVER POINT AND REMOVE CONDUIT FROM TAKE OVER POINT TO FIRST LIGHTING POLE. INSTALL NEW CONDUIT FROM TAKE OVER POINT TO GRANDSTAND, THEN ROUTE AS SHOWN ON DRAWING. MATCH EXISTING CONDUIT SIZE AND CONDUCTOR SIZES. CONTRACTOR TO VERIFY IN FIELD CONDUIT AND CONDUCTOR SIZE PRIOR TO BIDDING.
12. FIELD LIGHTING POLE CONDUIT AND CONDUCTORS, ROUTE THRU GRANDSTAND AND BACK DOWN UNDER GROUND TO FIELD LIGHTING POLE.
13. NEW FIELD LIGHTING POLE CONDUIT AND CONDUCTORS.
14. EXISTING FIELD LIGHTING POLE CONDUIT TO REMAIN, INSTALL NEW CONDUCTORS, SEE KEYNOTE 8.
15. (2) 2" CONDUITS SPARE CONDUITS UNDERGROUND FROM THE PANEL "LP2" VICINITY. CAP UNDERGROUND ADJACENT TO DUGOUT. PROVIDE AN EXACT LOCATION, AND DEPTH OF CAP LOCATIONS ON CONSTRUCTION DRAWING AS BUILTS.
16. (2) 2" CONDUITS SPARE CONDUITS UNDERGROUND FROM THE PANEL "LP2" VICINITY. CAP UNDERGROUND IN BACKSTOP AREA OUTSIDE OF WARNING TRACK. PROVIDE AN EXACT LOCATION, AND DEPTH OF CAP LOCATIONS ON CONSTRUCTION DRAWING AS BUILTS.

GENERAL NOTES:

1. ALL CONDUIT SHALL BE RUN CONCEALED.
2. ALL CONDUIT RUNS SHALL BE RUN PARALLEL TO STRUCTURE AND PLUMB. PROVIDE STAINLESS STEEL UNISTRUT AND HARDWARE FOR SUPPORT OF SURFACE RUN CONDUIT UNDERNEATH GRAND STANDS. PROVIDE UNISTRUT FRAMING FASTENED TO STRUCTURE TO INSURE ALL CONDUIT STUB UPS ARE PLUMB AND SECURE.
3. ALL EXPOSED CONDUIT AND JUNCTION BOXES SHOULD BE PAINTED TO MATCH ADJACENT CEILING OR WALLS COLORS TO BE VERIFIED WITH ARCHITECT PRIOR TO APPLICATION. ALL ELEMENTS TO BE PAINTABLE MATERIAL.
4. EXPOSED CONDUIT RUNNING ALONG THE FACE OF THE EXTERIOR OF THE GRAND STANDS OF BUILDINGS WILL NOT BE ACCEPTED.
5. CAMERA ARE SHOWN FOR QUANTITY PURPOSES. COORDINATE WITH OWNER ALL EXACT DESIRED LOCATIONS PRIOR TO INSTALLATION OF CONDUITS AND BOXES.
6. ALL CONDUIT(S) FOR DEVICES ON EXISTING LIGHTING POLES, OR BACKSTOP NETTING POLES TO BE RUN CONCEALED INSIDE OF POLES.
7. DETAILS E1 AND E2 ON DRAWING E104 APPLY TO THIS DRAWING ALSO.
8. EFFORT WAS MADE TO PROVIDE LOCATION OF EXISTING UNDERGROUND CONDUITS. EXTREME CARE IS TO BE TAKEN DURING ALL EXCAVATING ON THIS PROJECT, EXPECT EXISTING CONDUITS AND IRRIGATION PIPING. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF DAMAGE TO EXISTING CONDUITS AND IRRIGATION PIPING.
9. PROVIDE PULL STRING IN ALL EMPTY AND SPARE CONDUITS.
10. ALL CAMERA LOCATIONS SHALL BE COORDINATED WITH ARCHITECT AND OWNER PRIOR TO ANY CAMERA RELATED ROUGH IN WORK.

E103 ENLARGED ELECTRICAL PLAN FIELD 2

E1 /. SCALE: 1/16" = 1'-0"

N

ALABAMA LICENSED PROFESSIONAL ENGINEER JERRY I. ONWU No. 37141
05/04/2020

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

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REV	DATE	DESCRIPTION

DATE: 05-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS PROJECT NO: 3916

SHEET TITLE
ENLARGED ELECTRICAL PLAN FIELD 2

DRAWING NO.
E103

CONDUIT INSTALLATION NOTES:

CONDUIT INSTALLED OUT TO LIGHTING POLES FOR SPEAKERS AND DEVICES, SCOREBORDS, SPARE CONDUITS, ETC TO BE RUN UNDERGROUND TO UNDERNEATH GRANDSTANDS. CONDUITS TO STUB UP UNDER GRANDSTANDS WHERE SHOWN, THEN RUN THRU STRUCTURE TO LOCATIONS SHOWN OR NOTED. CONDUITS RUN THRU STRUCTURE SHALL BE SUPPORTED WITH UNISTRUT AND FITTINGS AS SHOWN ON DETAIL 2, E300.

ALL CONDUIT RUNS SHALL BE RUN PARALLEL TO STRUCTURE AND PLUMB. PROVIDE STAINLESS STEEL UNISTRUT AND HARDWARE FOR SUPPORT OF SURFACE RUN CONDUITS UNDERNEATH GRAND STANDS. PROVIDE UNISTRUT FRAMING FASTENED TO STRUCTURE TO INSURE ALL CONDUIT STUB UPS ARE PLUMB AND SECURE.

TO FIELD 2 GRANDSTAND, SEE E103

TO FIELD 2 GRANDSTAND, SEE E103

TO BATTING CAGE BUILDING, SEE E200

(1) 2" CONDUIT SPARE
(2) 2" CONDUIT COMMUNICATIONS

(1) 2" CONDUIT POWER
(2) 2" CONDUIT COMMUNICATIONS

WP WAP 17'-0" A.F.F.
18'-4" A.F.F.
E

(2) 2" CONDUIT COMMUNICATIONS TO BATTING CAGE BUILDING

PANEL "LP3"

DATA/TEL JUNCTION BOX

LP3-4

LP3-2

PANELS AND JUNCTION BOXES ARE LOCATED ON GROUND LEVEL UNDER GRANDSTANDS MOUNTED TO STRUCTURE

EXISTING LIGHTING POLE

22'-0" A.F.F.
AM-40
18'-4" A.F.F.
E
WP
LP3-6
22'-0" A.F.F.
BXD 22'-0" A.F.F.

FIELD 3

EXISTING CONCESSIONS BUILDING

18'-4" A.F.F.
E
18'-4" A.F.F.
E

18'-4" A.F.F.
E
WP WAP 18'-4" A.F.F.
17'-0" A.F.F.
E

22'-0" A.F.F.
AM-40
18'-4" A.F.F.
E
WP
LP3-7
G
BXD 22'-0" A.F.F.

EXISTING LIGHTING POLE

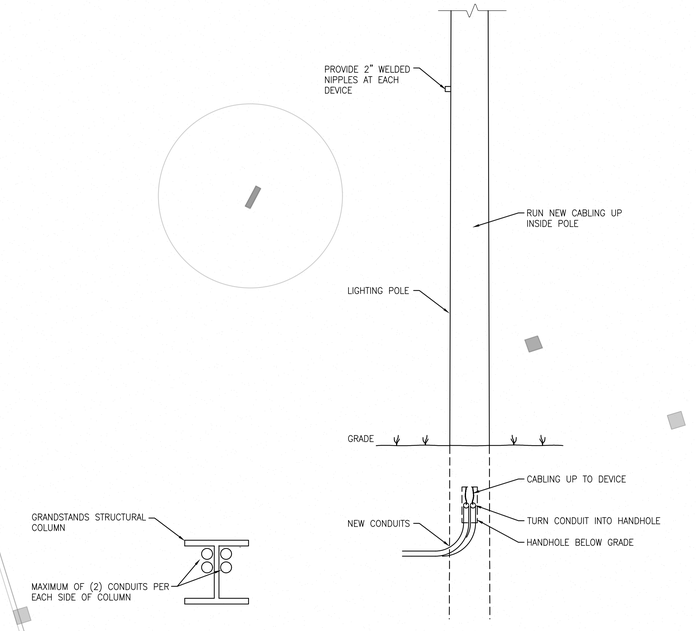
TO SCOREBOARD, SEE DRAWING E101

KEYED NOTES:

1. STUB CONDUITS UP UNDER GRANDSTAND, THEN RUN SURFACE MOUNTED OVER TO NEW UNDERGROUND CONDUITS TO BATTING CAGE BUILDING.
2. PROVIDE STAINLESS STEEL STEEL UNISTRUT TO ATTACH AND SUPPORT ELECTRICAL PANELS AND ENCLOSURES.
3. NO CONDUIT ALLOWED TO ATTACH TO THE STRUCTURAL STEEL TUBING OR LOUVERS RUNNING HORIZONTALLY BETWEEN 12'-6" AND 18'-0".
4. RECEPTACLE FOR BIRD CONTROL DEVICE, MOUNT RECEPTACLE TO POLE AT 22'-0" AFG. WITH 3/4" RGS STEEL CONDUIT FROM RECEPTACLE BOX DOWN POLE. ONCE UNDERGROUND CONVERT CONDUIT TO 3/4" SCHEDULE 40 PVC AND RUN TO PANEL LP2. BIRD CONTROL DEVICE INSTALLED BY E.C. PER MANUFACTURERS INSTRUCTIONS. BIRD EXPELLER DEVICE INSTALLED BY E.C., SEE OWNERS MANUAL.
5. RECEPTACLE FOR BIRD CONTROL DEVICE, MOUNT RECEPTACLE ON ROOF OF PRESS BOX. WITH 3/4" RGS STEEL CONCEALED CONDUIT FROM RECEPTACLE BOX DOWN DOWN THRU GRANDSTAND. AND OVER TO PANEL LP2. BIRD CONTROL DEVICE INSTALLED BY E.C. PER MANUFACTURERS INSTRUCTIONS. BIRD EXPELLER DEVICE INSTALLED BY E.C., SEE OWNERS MANUAL.
6. (1) 1 1/4" CONDUIT FOR SCOREBOARD CONTROL CABLE FIELD ROUTE UP TO PRESSBOX, SEE E101, AND (1) 1" CONDUIT FOR SCOREBOARD POWER WIRING FIELD ROUTE TO PANEL "LP2", SEE E101.
7. PROVIDE GALVANIZED STEEL TUBE FRAME SUPPORT FOR ELECTRICAL PANELS AND ENCLOSURES. SIMILAR TO DETAIL E1 DRAWING E300.
8. TAKE OVER POINT OF EXISTING CONDUIT AND CONDUCTORS SERVING FIELD LIGHTING POLES. EXCAVATE AND LOCATE CONDUIT, REMOVE CONDUCTORS FROM LIGHTING CONTROL CONTACTOR CABINET LOCATED IN CONCESSIONS BUILDING ELECTRICAL ROOM TO FIRST LIGHTING POLE. CUT CONDUIT AT TAKE OVER POINT AND REMOVE CONDUIT FROM TAKE OVER POINT TO FIRST LIGHTING POLE. INSTALL NEW CONDUIT FROM TAKE OVER POINT TO GRANDSTAND, THEN ROUTE AS SHOWN ON DRAWING. MATCH EXISTING CONDUIT SIZE AND CONDUCTOR SIZES. CONTRACTOR TO VERIFY IN FIELD CONDUIT AND CONDUCTOR SIZE PRIOR TO BIDDING.
9. FIELD LIGHTING POLE CONDUIT AND CONDUCTORS, ROUTE THRU GRANDSTAND AND BACK DOWN UNDER GROUND TO FIELD LIGHTING POLE.
10. NEW FIELD LIGHTING POLE CONDUIT AND CONDUCTORS.
11. EXISTING FIELD LIGHTING POLE CONDUIT AND CONDUCTORS TO REMAIN.
12. EXISTING FIELD LIGHTING POLE CONDUIT TO REMAIN, INSTALL NEW CONDUCTORS, SEE KEYNOTE 8.
13. (2) 2" CONDUITS SPARE CONDUITS UNDERGROUND FROM THE PANEL "LP2" VICINITY. CAP UNDERGROUND ADJACENT TO DUGOUT. PROVIDE AN EXACT LOCATION, AND DEPTH OF CAP LOCATIONS ON CONSTRUCTION DRAWING AS BUILTS.
14. (2) 2" CONDUITS SPARE CONDUITS UNDERGROUND FROM THE PANEL "LP2" VICINITY. CAP UNDERGROUND IN BACKSTOP AREA. PROVIDE AN EXACT LOCATION, AND DEPTH OF CAP LOCATIONS ON CONSTRUCTION DRAWING AS BUILTS.

GENERAL NOTES:

1. ALL CONDUIT SHALL BE RUN CONCEALED.
2. ALL CONDUIT RUNS SHALL BE RUN PARALLEL TO STRUCTURE AND PLUMB. PROVIDE STAINLESS STEEL UNISTRUT AND HARDWARE FOR SUPPORT OF SURFACE RUN CONDUIT UNDERNEATH GRAND STANDS. PROVIDE UNISTRUT FRAMING FASTENED TO STRUCTURE TO INSURE ALL CONDUIT STUB UPS ARE PLUMB AND SECURE.
3. ALL EXPOSED CONDUIT AND JUNCTION BOXES SHOULD BE PAINTED TO MATCH ADJACENT CEILING OR WALLS COLORS TO BE VERIFIED WITH ARCHITECT PRIOR TO APPLICATION. ALL ELEMENTS TO BE PAINTABLE MATERIAL.
4. EXPOSED CONDUIT RUNNING ALONG THE FACE OF THE EXTERIOR OF THE GRAND STANDS OF BUILDINGS WILL NOT BE ACCEPTED.
5. CAMERA ARE SHOWN FOR QUANTITY PURPOSES. COORDINATE WITH OWNER ALL EXACT DESIRED LOCATIONS PRIOR TO INSTALLATION OF CONDUITS AND BOXES.
6. ALL CONDUIT(S) FOR DEVICES ON EXISTING LIGHTING POLES, OR BACKSTOP NETTING POLES TO BE RUN CONCEALLED INSIDE OF POLES.
7. EFFORT WAS MADE TO PROVIDE LOCATION OF EXISTING UNDERGROUND CONDUITS. EXTREME CARE IS TO BE TAKEN DURING ALL EXCAVATING ON THIS PROJECT, EXPECT EXISTING CONDUITS AND IRRIGATION PIPING. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF DAMAGE TO EXISTING CONDUITS AND IRRIGATION PIPING.
8. PROVIDE PULL STRING IN ALL EMPTY AND SPARE CONDUITS.
9. ALL CAMERA LOCATIONS SHALL BE COORDINATED WITH ARCHITECT AND OWNER PRIOR TO ANY CAMERA RELATED ROUGH IN WORK.



E1/E104 CONDUIT ROUTING DETAIL

NOTE: ALL CONDUIT RUNS SHALL BE RUN PARALLEL TO STRUCTURE AND PLUMB. PROVIDE STAINLESS STEEL UNISTRUT AND HARDWARE FOR SUPPORT OF SURFACE RUN CONDUIT UNDERNEATH GRAND STANDS. PROVIDE UNISTRUT FRAMING FASTENED TO STRUCTURE TO INSURE ALL CONDUIT STUB UPS ARE PLUMB AND SECURE.

E2/E104 CONDUIT ROUTING TO EXISTING LIGHTING POLE

NOTES:
1. SEAL ALL CONDUIT AND CONDUIT PENETRATIONS IN POLE TO PREVENT WATER ENTERING CONDUIT.
2. SEE DRAWINGS FOR NUMBER OF CONDUITS AND DEVICES.
3. BACK STOP NETTING POLES SIMILAR EXCEPT HANDHOLE TO BE PROVIDED.

ALABAMA LICENSED PROFESSIONAL ENGINEER JERRY I. ONWU No. 37141
05/04/2020

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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ATTN: JERRY ONWU / SID SNYDER

REV	DATE	DESCRIPTION

DATE: 05-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO: 3916

SHEET TITLE
ENLARGED ELECTRICAL PLAN FIELD 3

DRAWING NO.
E104

E104 ENLARGED ELECTRICAL PLAN FIELD 3

E1 /. SCALE: 1/16" = 1'-0"

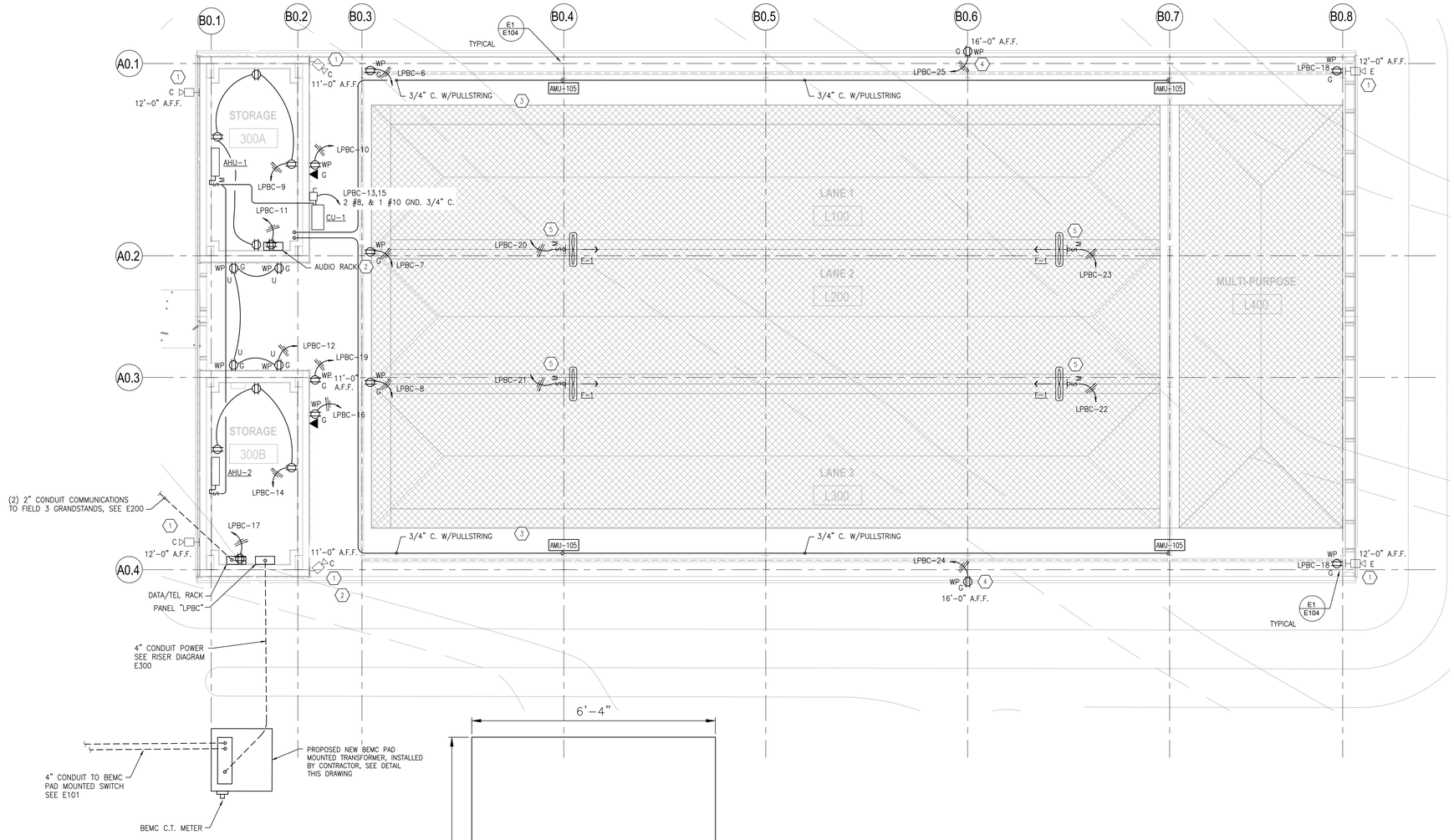
N

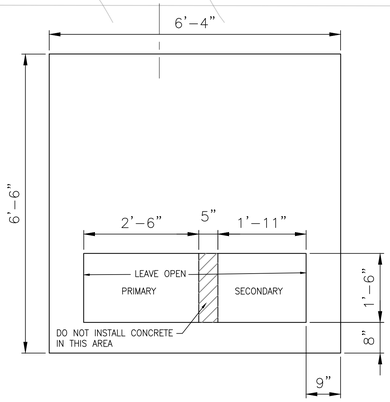
GENERAL NOTES:

1. ALL CONDUIT SHALL BE RUN CONCEALED.
2. ALL CONDUIT RUNS SHALL BE RUN PARALLEL TO STRUCTURE AND PLUMB. PROVIDE STAINLESS STEEL UNISTRUT AND HARDWARE FOR SUPPORT OF SURFACE PROVIDE UNISTRUT FRAMING FASTENED TO STRUCTURE TO INSURE ALL CONDUIT STUB UPS ARE PLUMB AND SECURE.
3. ALL EXPOSED CONDUIT AND JUNCTION BOXES SHOULD BE PAINTED TO MATCH ADJACENT CEILING OR WALLS COLORS TO BE VERIFIED WITH ARCHITECT PRIOR TO APPLICATION. ALL ELEMENTS TO BE PAINTABLE MATERIAL.
4. IT IS NOT ACCEPTABLE FOR ANY EXPOSED CONDUIT TO RUN ALONG THE CONCRETE OR TURF SURFACE. ALL CONDUIT MUST BE FROM WITHIN THE SLAB OR RUN DOWN FROM THE CEILING AGAINST A STEEL COLUMN.
5. CAMERAS ARE SHOWN FOR QUANTITY PURPOSES. COORDINATE WITH OWNER ALL EXACT DESIRED LOCATIONS PRIOR TO INSTALLATION OF CONDUITS AND BOXES.
6. PROVIDE PULL STRING IN ALL EMPTY AND SPARE CONDUITS.
7. ALL CAMERA LOCATIONS SHALL BE COORDINATED WITH ARCHITECT AND OWNER PRIOR TO ANY CAMERA RELATED ROUGH IN WORK.

KEYED NOTES:

1. COORDINATE LOCATION OF CAMERAS WITH OWNER IN THE FIELD PRIOR TO INSTALL OF CONDUIT
2. PROVIDE 1" CONDUIT FROM DATA/TEL RACK TO AUDIO RACK, W/PULLSTRING
3. 3/4" CONDUIT FROM TO AUDIO RACK, W/PULLSTRING.
4. RECEPTACLE FOR BIRD EXPELLER DEVICE, INSTALLED BY E.C. MOUNT RECEPTACLE AT 11'-0" AFF. UNLESS NOTED OTHERWISE.
5. PROVIDE MOTOR STARTER SWITCH FOR F-1 OSCILLATING FAN MOUNT SWITCH AT FAN.





BEMC CONCRETE TRANSFORMER PAD DETAIL

SCALE: NONE

NOTES:

1. BEMC ENGINEER TO INSPECT PAD PRIOR TO THE POURING OF CONCRETE.
2. PAD MUST BE A MINIMUM OF 10' FROM THE BUILDING AND 14' FROM A DOOR OR WINDOW.
3. POUR PAD USING 3000 LB. CONCRETE. 3/8" REBAR TO BE PLACED AND TIED 3" FROM PERIMETER AND WIRE MESHED. PAD TO BE 1 FOOT THICK AND EXTEND 6" ABOVE FINAL GRADE.

E200 BATTING CAGE BUILDING POWER PLAN

E2 /.

SCALE: 3/16" = 1'-0"

N

ALABAMA LICENSED PROFESSIONAL ENGINEER No. 37141 JERRY I. ONWU

05/04/2020

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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REV	DATE	DESCRIPTION

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PHASE: 100% BID DOCUMENTS

ISSUED FOR

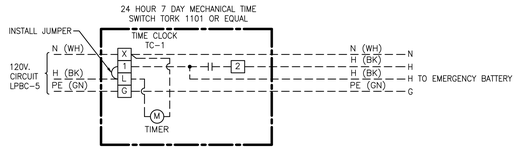
ISSUED BY: DAVIS ARCHITECTS PROJECT NO: 3916

SHEET TITLE

BATTING CAGE BUILDING POWER PLAN

DRAWING NO.

E200



TIME CLOCK WIRING DIAGRAM

SCALE: NONE

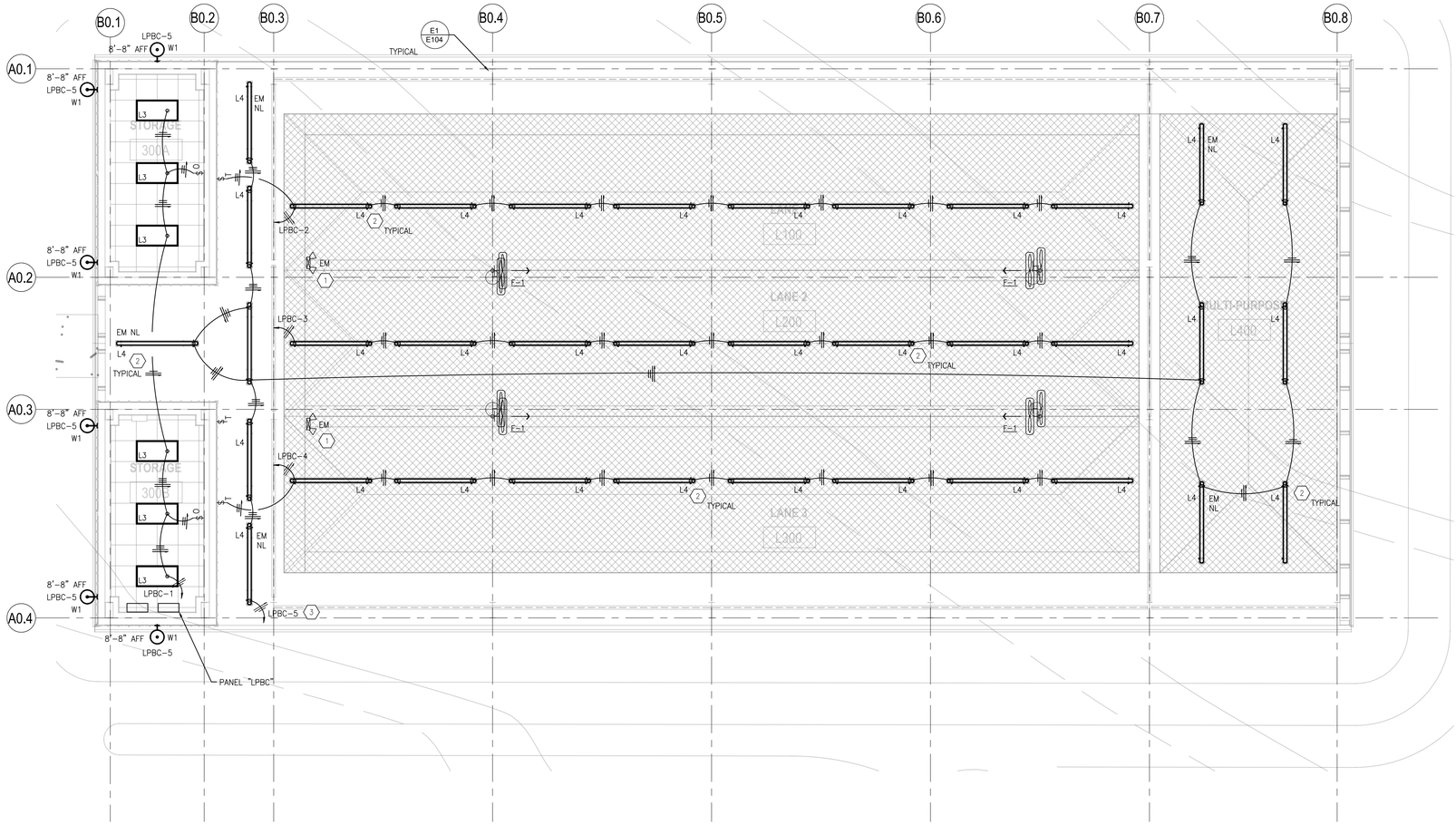
NOTE: TIME CLOCK CONTACTOR WIRING 12 AWG COLOR AS SHOWN. WIRING TO LIGHTS 10 AWG.

GENERAL NOTES:

1. ALL CONDUIT SHALL BE RUN CONCEALED, WHERE POSSIBLE.
2. ALL CONDUIT RUNS SHALL BE RUN PARALLEL TO STRUCTURE AND PLUMB. PROVIDE STAINLESS STEEL UNISTRUT AND HARDWARE FOR SUPPORT OF SURFACE RUN CONDUIT UNDERNEATH GRAND STANDS. PROVIDE UNISTRUT FRAMING FASTENED TO STRUCTURE TO INSURE ALL CONDUIT STUB UPS ARE PLUMB AND SECURE.
3. ALL EXPOSED CONDUIT AND JUNCTION BOXES SHOULD BE PAINTED TO MATCH ADJACENT CEILING OR WALLS COLORS TO BE VERIFIED WITH ARCHITECT PRIOR TO APPLICATION. ALL ELEMENTS TO BE PAINTABLE MATERIAL.
4. EXPOSED CONDUIT RUNNING ALONG THE FACE OF THE EXTERIOR OF THE GRAND STANDS OF BUILDINGS WILL NOT BE ACCEPTED.
5. PROVIDE STAINLESS STEEL STEEL UNISTRUT TO ATTACH AND SUPPORT LIGHTING FIXTURES, SWITCHES AND ENCLOSURES.
6. PROVIDE ADDITIONAL UNSWITCHED (HOT) CONDUCTOR TO FOR ALL FIXTURES LABELED "EM" TO INSURE PROPER OPERATION OF EMERGENCY BACK UP.

KEYED NOTES:

1. CONNECT ALL EXIT SIGNS AND EMERGENCY LIGHTS TO UNSWITCHED LIGHTING CIRCUIT THAT SERVES THE LIGHTING FIXTURES LOCATED IN THE SAME ROOM.
2. MOUNT LIGHTING FIXTURES TO STRUCTURE WITH GALV. UNISTRUT, UNISTRUT BOLTS AND FITTINGS.
3. THIS CIRCUIT CONTROLLED BY TIME CLOCK.



ALABAMA LICENSED PROFESSIONAL ENGINEER No. 37141 JERRY I. ONWU

05/04/2020

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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REV	DATE	DESCRIPTION

DATE: 05-04-2020

PHASE: 100% BID DOCUMENTS

ISSUED FOR

ISSUED BY: DAVIS ARCHITECTS

PROJECT NO: 3916

SHEET TITLE

BATTING CAGE BUILDING LIGHTING PLAN

DRAWING NO.

E201

E201 BATTING CAGE BUILDING LIGHTING PLAN

E2 /. SCALE: 3/16" = 1'-0"

N

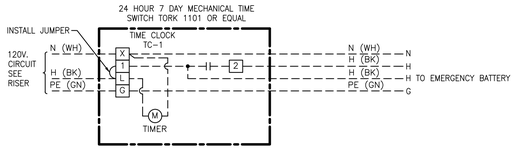
120/208 PANEL BDP

120/208Y VOLT, 3 PHASE, 4 WIRE, 60HZ, 22K AIC — NEMA 3R SURFACE MOUNT

LOCATION	LOAD (VA)	CIRCUIT NUMBER		CIRCUIT NUMBER	LOAD (VA)	LOCATION
			L1 L2 L3 N G 400 AMP MAIN BREAKER N GND			
PANEL LP2	9700	1	200A 100A	2	·	SPARE
↓	8862	3		4	·	·
PANEL LP3	9700	5	200A	6	·	·
↓	8862	7		8	·	SPACE
SPARE	·	9	100A	10	·	SPACE
↓	·	11		12	·	SPACE
SPACE	·	13		14	·	SPACE
SPACE	·	15		16	·	SPACE
SPACE	·	17		18	·	SPACE
SPACE	·	19		20	·	SPACE
SPACE	·	21		22	·	SPACE
SPACE	·	23		24	·	SPACE
SPACE	·	25	30A	26	200	TVSS (240KA RATING)
SPACE	·	27		28	200	
SPACE	·	29		30	200	↓

TOTAL CONNECTED LOAD: 37 KW — ALL BRANCH BREAKERS SIZED AS SHOWN

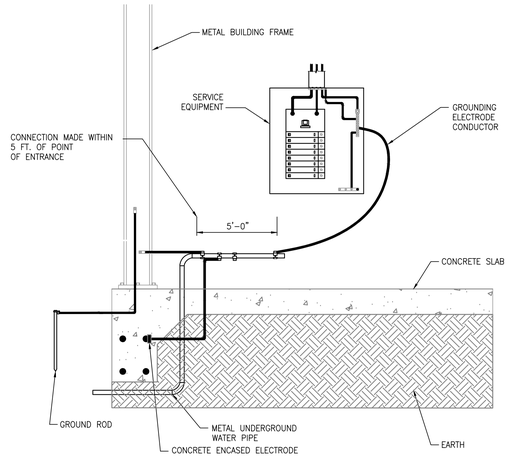
PANEL LOCATION: FIELD 2, UNDER GRAND STANDS, GROUND LEVEL



TIME CLOCK WIRING DIAGRAM

SCALE: NONE

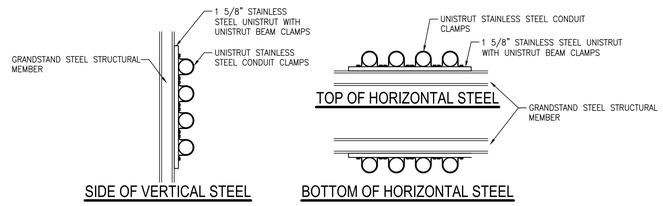
NOTE: TIME CLOCK CONTACTOR WIRING 12 AWG COLOR AS SHOWN. WIRING TO LIGHTS 10 AWG.



LIFE SAFETY GROUNDING DETAIL

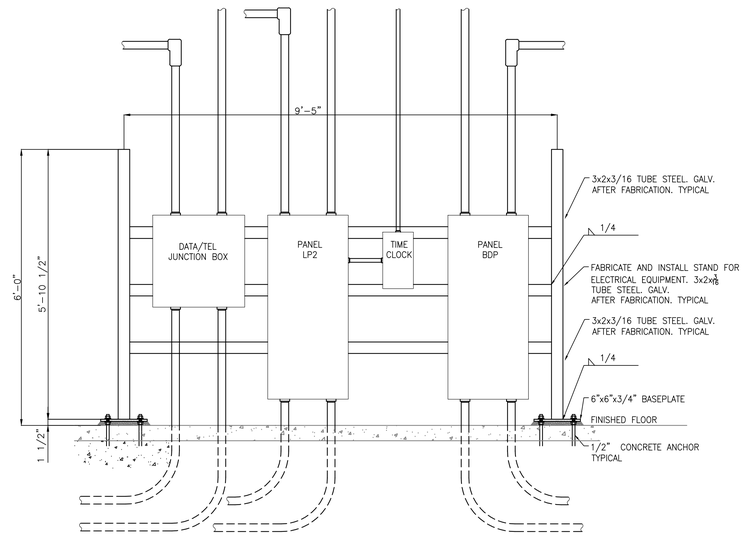
SCALE: NONE

NOTE:
PER NEC ARTICLE 250 SECTION III 250.50 ALL GROUNDING ELECTRODES AS DESCRIBED IN 250.52(A)(1) THROUGH (A)(6) THAT ARE AT EACH BUILDING OR STRUCTURE SERVED SHALL BE BONDED TOGETHER TO FORM THE GROUNDING ELECTRODE SYSTEM. WHERE NONE OF THESE GROUNDING ELECTRODES EXIST, ONE OR MORE OF THE GROUNDING ELECTRODES SPECIFIED IN 250.52(A)(4) THROUGH (A)(7) SHALL BE INSTALLED AND USED.



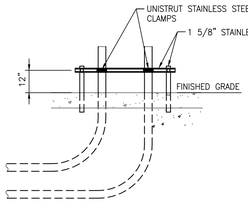
E2 / E300 TYPICAL CONDUIT SUPPORT DETAILS

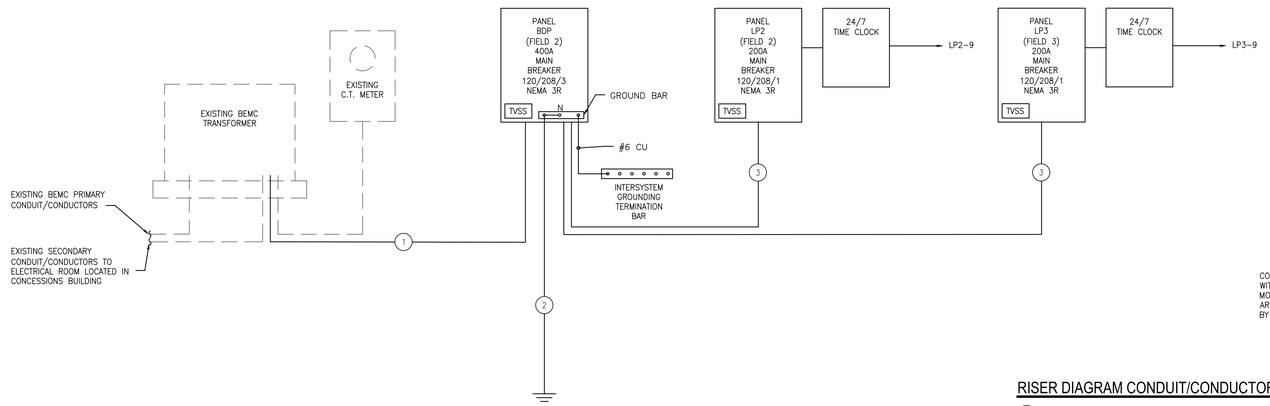
NOTE: ALL CONDUIT RUNS SHALL BE RUN PARALLEL TO STRUCTURE AND PLUMB. PROVIDE STAINLESS STEEL UNISTRUT AND HARDWARE FOR SUPPORT OF SURFACE RUN CONDUIT UNDERNEATH GRAND STANDS. PROVIDE UNISTRUT FRAMING FASTENED TO STRUCTURE TO INSURE ALL CONDUIT STUB UPS ARE PLUMB AND SECURE.



E1 / E300 ELECTRICAL EQUIPMENT MOUNTING STAND

NOTE:
1. MOUNTING STAND FOR FIELD 3 SIMILAR.
2. ALL CONDUIT RUNS SHALL BE RUN PARALLEL TO STRUCTURE AND PLUMB. PROVIDE STAINLESS STEEL UNISTRUT AND HARDWARE FOR SUPPORT OF SURFACE RUN CONDUIT UNDERNEATH GRAND STANDS. PROVIDE UNISTRUT FRAMING FASTENED TO STRUCTURE TO INSURE ALL CONDUIT STUB UPS ARE PLUMB AND SECURE.





BASEBALL/SOFTBALL AREA RISER DIAGRAM

SCALE: NONE

NOTE: COORDINATE ALL WORK WITH THE EXISTING TRANSFORMER WITH BEMC.

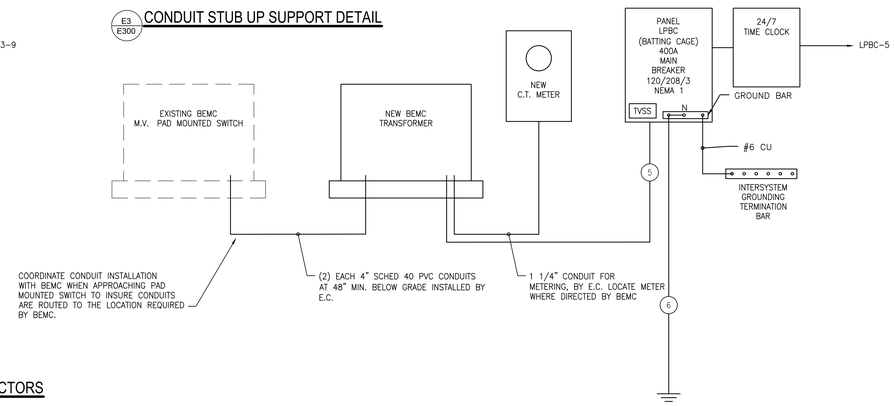
RISER DIAGRAM CONDUIT/CONDUCTORS

1. 4 600MCM, 4" C.
2. #1/0 COPPER GROUNDING ELECTRODE CONDUCTOR
3. 3 #3/0, & 1 #6 GND. 2" C.
4. 4 #600MCM, & 1 #3 GND. 4" C.
5. 4 #600MCM, 4" C.
6. #1/0 COPPER GROUNDING ELECTRODE CONDUCTOR

RISER DIAGRAM LEGEND

- EXISTING CONDUIT OR ELECTRICAL EQUIPMENT
- NEW CONDUIT OR ELECTRICAL EQUIPMENT

E3 / E300 CONDUIT STUB UP SUPPORT DETAIL



BATTING CAGE AREA RISER DIAGRAM

SCALE: NONE

NOTE: COORDINATE ALL WORK WITH BEMC. CONCRETE TRANSFORMER PAD TO BE INSTALLED BY CONTRACTOR

ALABAMA LICENSED PROFESSIONAL ENGINEER No. 37141 JERRY T. ONWU

05/04/2020

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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REV	DATE	DESCRIPTION

DATE: 05-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO: 3916
SHEET TITLE: RISER DIAGRAM AND PANEL SCHEDULES
DRAWING NO.: E300

E300 RISER DIAGRAM AND PANEL SCHEDULES

E2 /. SCALE: NONE

120/240 PANEL LP2

120/240 VOLT, 1 PHASE, 3 WIRE, 60HZ, 22K AIC — NEMA 3R SURFACE MOUNT

LOCATION	LOAD (VA)	CIRCUIT NUMBER		CIRCUIT NUMBER	LOAD (VA)	LOCATION
			200 AMP MAIN CB — L1 L2 N G			
PRESSBOX FIELD 2	8720	1	100A — 20A	2	180	RECEPTACLE: FIELD 2UNDER GRAND STANDS
"	7942	3	20A — 20A	4	360	RECEPTACLE: FIELD 2 DATA/TEL RACK
SPARE	-	5	20A — 20A	6	180	RECEPTACLE: BIRD EXPELLER
RECEPTACLE: BIRD EXPELLER	180	7	20A — 20A	8	-	SPARE
(NOTE 1) LIGHTING: GRANDSTANDS FIELD 2	240	9	20A — 20A	10	180	LIGHTING: FIELD 2 UNDER GRANDSTANDS
SCOREBOARD	1200	11	20A — 20A	12	180	RECEPTACLE: BIRD EXPELLER
SPARE	-	13	20A — 20A	14	-	SPARE
SPARE	-	15	20A — 20A	16	-	SPARE
SPARE	-	17	20A — 20A	18	-	SPARE
SPARE	-	19	20A — 20A	20	-	SPARE
SPARE	-	21	20A — 20A	22	-	SPARE
SPARE	-	23	20A — 20A	24	-	SPARE
SPARE	-	25	20A — 20A	26	-	SPARE
SPARE	-	27	20A — 20A	28	-	SPARE
SPARE	-	29	20A — 20A	30	-	SPARE
SPARE	-	31	20A — 20A	32	-	SPARE
SPARE	-	33	20A — 20A	34	-	SPARE
SPARE	-	35	20A — 20A	36	-	SPARE
SPARE	-	37	20A — 30A	38	200	TVSS (240KA RATING)
SPARE	-	39	20A	40	200	"

TOTAL CONNECTED LOAD: 19.7 KW — ALL BRANCH BREAKERS SIZED AS SHOWN

PANEL LOCATION: FIELD 2, UNDER GRAND STANDS, GROUND LEVEL

NOTE 1. PROVIDE TIME CLOCK CONTROL OF THIS CIRCUIT.

120/240 PANEL LP3

120/240 VOLT, 1 PHASE, 3 WIRE, 60HZ, 22K AIC — NEMA 3R SURFACE MOUNT

LOCATION	LOAD (VA)	CIRCUIT NUMBER		CIRCUIT NUMBER	LOAD (VA)	LOCATION
			200 AMP MAIN CB — L1 L2 N G			
PRESSBOX FIELD 2	8720	1	100A — 20A	2	180	RECEPTACLE: FIELD 3 UNDER GRAND STANDS
"	7942	3	20A — 20A	4	360	RECEPTACLE: FIELD 3 DATA/TEL RACK
SPARE	-	5	20A — 20A	6	180	RECEPTACLE: BIRD EXPELLER
RECEPTACLE: BIRD EXPELLER	180	7	20A — 20A	8	-	SPARE
(NOTE 1) LIGHTING: GRANDSTANDS FIELD 3	240	9	20A — 20A	10	1425	LIGHTING: FIELD 3 UNDER GRAND STANDS
SCOREBOARD	1200	11	20A — 20A	12	-	SPARE
SPARE	-	13	20A — 20A	14	-	SPARE
SPARE	-	15	20A — 20A	16	-	SPARE
SPARE	-	17	20A — 20A	18	-	SPARE
SPARE	-	19	20A — 20A	20	-	SPARE
SPARE	-	21	20A — 20A	22	-	SPARE
SPARE	-	23	20A — 20A	24	-	SPARE
SPARE	-	25	20A — 20A	26	-	SPARE
SPARE	-	27	20A — 20A	28	-	SPARE
SPARE	-	29	20A — 20A	30	-	SPARE
SPARE	-	31	20A — 20A	32	-	SPARE
SPARE	-	33	20A — 20A	34	-	SPARE
SPARE	-	35	20A — 20A	36	-	SPARE
SPARE	-	37	20A — 30A	38	200	TVSS (240KA RATING)
SPARE	-	39	20A	40	200	"

TOTAL CONNECTED LOAD: 20.8 KW — ALL BRANCH BREAKERS SIZED AS SHOWN

PANEL LOCATION: FIELD 3, UNDER GRAND STANDS, GROUND LEVEL

NOTE 1. PROVIDE TIME CLOCK CONTROL OF THIS CIRCUIT.

120/208 PANEL LPBC

120/208Y VOLT, 3 PHASE, 4 WIRE, 60HZ, 22K AIC — NEMA 1 SURFACE MOUNT

LOCATION	LOAD (VA)	CIRCUIT NUMBER		CIRCUIT NUMBER	LOAD (VA)	LOCATION
			400 AMP MAIN BREAKER — L1 L2 L3 N G			
LIGHTING: STORAGE BC001 & BC-002	300	1	20A — 20A	2	760	LIGHTING: LANE 1 L100
LIGHTING: LANE 2 L200	760	3	20A — 20A	4	760	LIGHTING: LANE 3 L300
(NOTE 1) LIGHTING: ENTRY, MULTIPURPOSE, EXTERIOR	1220	5	20A — 20A	6	180	RECEPTACLE: LANE 1 L100
RECEPTACLE: LANE 2 L200	180	7	20A — 20A	8	180	RECEPTACLE: LANE 3 L300
RECEPTACLE: STORAGE BC001	540	9	20A — 20A	10	180	RECEPTACLE: STORAGE BC001 EXTERIOR WALL
RECEPTACLE: BC001, AUDIO RACK	360	11	20A — 20A	12	720	RECEPTACLE: ENTRY
CU-1 (AHU-1 & AHU-2)	3060	13	40A — 20A	14	540	RECEPTACLE: STORAGE BC002
"	3060	15	20A — 20A	16	180	RECEPTACLE: STORAGE BC002 EXTERIOR WALL
RECEPTACLE: BC001, DATA RACK	360	17	20A — 20A	18	360	RECEPTACLE: MULTIPURPOSE L400
RECEPTACLE: BIRD EXPELLER DEVICE	180	19	20A — 20A	20	864	OSCILLATING FAN F-1
OSCILLATING FAN F-1	864	21	20A — 20A	22	864	OSCILLATING FAN F-1
OSCILLATING FAN F-1	864	23	20A — 20A	24	180	RECEPTACLE: BIRD EXPELLER DEVICE
RECEPTACLE: BIRD EXPELLER DEVICE	180	25	20A — 20A	26	-	SPACE
SPACE	-	27	20A — 20A	28	-	SPACE
SPACE	-	29	20A — 20A	30	-	SPACE
SPACE	-	31	20A — 20A	32	-	SPACE
SPACE	-	33	20A — 20A	34	-	SPACE
SPACE	-	35	20A — 20A	36	-	SPACE
SPACE	-	37	20A — 30A	38	200	TVSS (240KA RATING)
SPACE	-	39	20A	40	200	"
SPACE	-	41	20A	42	200	"

TOTAL CONNECTED LOAD: 18.2 KW — ALL BRANCH BREAKERS SIZED AS SHOWN

PANEL LOCATION: BATTING CAGE STORAGE ROOM BC-002

NOTE 1. PROVIDE TIME CLOCK CONTROL OF THIS CIRCUIT.

ALABAMA LICENSED PROFESSIONAL ENGINEER — No. 37141 — JERRY Y. ONWU
05/04/2020

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

DAVIS

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ORANGE BEACH, ALABAMA 36561
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ATTN: KEN GRIMES, JR.

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251-460-4646
ATTN: JERRY ONWU / SID SNYDER

REV DATE DESCRIPTION

DATE: 05-04-2020

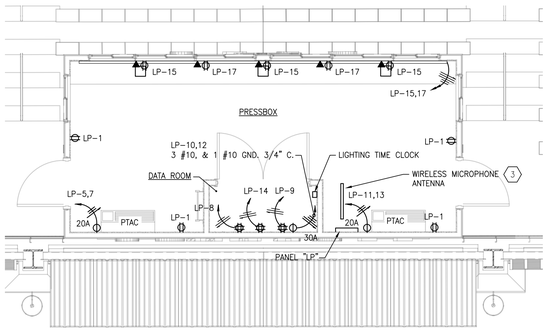
PHASE: 100% BID DOCUMENTS

ISSUED FOR:

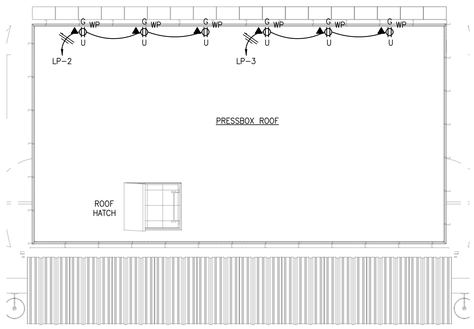
ISSUED BY: DAVIS ARCHITECTS — PROJECT NO.: 3916

SHEET TITLE: PANEL SCHEDULES

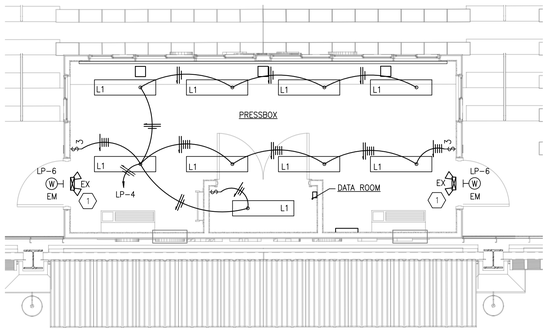
DRAWING NO.: E301



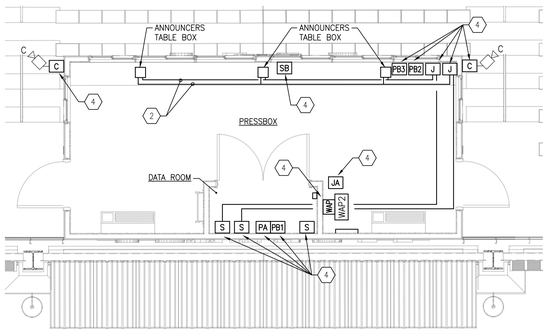
POWER PLAN
SCALE: 1/4"=1'-0"



ROOF POWER PLAN
SCALE: 1/4"=1'-0"



LIGHTING PLAN
SCALE: 1/4"=1'-0"



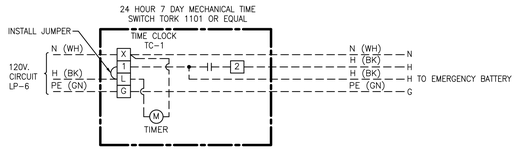
SYSTEMS PLAN
SCALE: 1/4"=1'-0"

KEYED NOTES:

1. CONNECT ALL EXIT SIGNS AND EMERGENCY LIGHTS TO UNSWITCHED LIGHTING CIRCUIT THAT SERVES THE LIGHTING FIXTURES LOCATED IN THE SAME ROOM.
2. 3/4" CONDUIT RUN UNDER CONCEALED COUNTER FROM EACH ANNOUNCERS TABLE BOX TO JUNCTION BOX "J" AS SHOWN W/PULLSTRING.
3. COORDINATE HEIGHT OF ANTENNA WITH ARCHITECT PRIOR TO INSTALLATION.
4. PULL OR JUNCTION BOX PROVIDED WITH PREFABRICATED PRESSBOX FOR ITEMS INSTALLED AFTER PRESSBOX INSTALLATION. SEE PULL/JUNCTION BOX LEGEND THIS DRAWING.

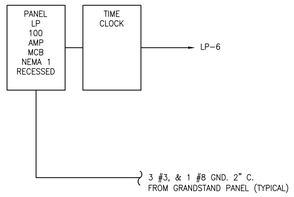
GENERAL NOTES:

1. ANY ROOF PENETRATIONS MUST BE SEALED PER THE PRESSBOX AND ROOF MEMBRANE MANUFACTURERS RECOMMENDATIONS TO MAINTAIN WATER TIGHT CONDITIONS.
2. ALL BRANCH CIRCUIT WIRING IS COPPER MINIMUM #12 THHN ENCASED IN EMT CONDUIT, OR MC CABLE.
3. THE PRESSBOX IS PREFABRICATED AND DELIVERED TO SITE.
4. ALL CAT6 CABLES TO BE INSTALLED FROM PRESSBOX COUNTER TO DATA ROOM.



TIME CLOCK WIRING DIAGRAM
SCALE: NONE

NOTE: TIME CLOCK CONTACTOR WIRING 12 AWG COLOR AS SHOWN. WIRING TO LIGHTS 10 AWG.



RISER DIAGRAM
SCALE: NONE

PULL/JUNCTION BOX LEGEND

PA	P.A. RACK 24"x24"x6" RECESSED PULL BOX, MOUNTED 12" AFF. W/ (1) 3/4" EMT CONDUIT TO EACH CAMERA PULL BOX W/ (1) 1 1/4" EMT CONDUIT TO EACH SCOREBOARD PULL BOX W/ (1) 2" EMT CONDUIT TO PB1 PULL BOX W/ (1) 3/4" EMT CONDUIT TO EACH CAMERA PULL BOX W/ (2) 3/4" EMT CONDUIT TO LOW VOLTAGE SIDE OF WIREMOLD W/ (1) 3/4" EMT CONDUIT TO EACH WAP PULL BOX W/ (1) 3/4" EMT CONDUIT TO EACH SPEAKER PULL BOX
PB1	PULL BOX 8"x8"x8" PARTIALLY RECESSED PULL BOX UNDER FLOOR W/ (1) 2" EMT CONDUIT TO P.A. RACK
PB2	PULL BOX 8"x8"x8" PARTIALLY RECESSED PULL BOX UNDER FLOOR W/ (1) 2" EMT CONDUIT TO P.A. RACK
PB3	PULL BOX 8"x8"x8" PARTIALLY RECESSED PULL BOX UNDER FLOOR W/ (1) 2" EMT CONDUIT TO P.A. RACK
SB	SCOREBOARD PULL BOX 4"x4"x4" SURFACE MOUNTED PULL BOX UNDER WIREMOLD W/ (1) 1" EMT CONDUIT TO P.A. RACK
C	CAMERA JUNCTION BOX 4"x4"x2 1/8" PULL BOX W/SINGLE RAISED COVER, MOUNTED BELOW SOFFIT W/ (1) 3/4" EMT CONDUIT TO P.A. RACK
WAP	WAP JUNCTION BOX 4"x4"x2 1/8" PULL BOX W/ROUND RAISED COVER, MOUNTED IN PRESS BOX CEILING W/ (1) 3/4" EMT CONDUIT TO P.A. RACK PULL BOX
S	SPEAKER JUNCTION BOX 2"x4" WEATHER PROOF PULL BOX UNDER PRESSBOX W/ (4) 1" EMT CONDUIT TO P.A. RACK PULL BOX
J	JUNCTION BOX 4"x4" BOX UNDER COUNTER W/ (2) 1" EMT CONDUIT TO SPEAKER PULL BOX. IN DATA ROOM.
JA	JUNCTION BOX 4"x4" BOX IN CEILING W/ (1) 3/4" EMT CONDUIT TO SPEAKER PULL BOX. IN DATA ROOM. FOR ANTENNA.

NOTE:

1. PREFABRICATED BUILDING MANUFACTURER TO PROVIDE THE FOLLOWING PENETRATIONS FOR INTO PRESSBOX DATA ROOM IN AN ACCESSIBLE LOCATION TO ALLOW CONNECTIONS IN FIELD.
   (1) EACH 2" CONDUIT – POWER.
   (2) EACH 2" CONDUIT – DATA.
   (4) EACH 1" CONDUIT – SOUND.
   (8) EACH 1" CONDUIT – CAMERA.
   (2) EACH 1" CONDUIT – WIRELESS ACCESS POINT.
   (1) EACH 1 1/4" CONDUIT – SCOREBOARD CONTROLS
2. PREFABRICATED BUILDING MANUFACTURER TO PROVIDE (4) EACH SPARE 3/4" CONDUITS FROM DATA ROOM TO PRESS BOX "OFFICIALS COUNTER" WITH PULLSTRING.

120/240 PANEL LP

120/240 VOLT, 1 PHASE, 3 WIRE, 60HZ, 22K AIC — SQUARE D QO112M100

LOCATION	LOAD (VA)	CIRCUIT NUMBER		CIRCUIT NUMBER	LOAD (VA)	LOCATION
			100 AMP MAIN CB L1 L2 N G			
RECEPTACLES: PRESSBOX	720	1	20A 20A	2	540	RECEPTACLES: PRESSBOX ROOF
RECEPTACLES: PRESSBOX ROOF	540	3	20A 20A	4	342	LIGHTING: PRESSBOX
RECEPTACLE: PTAC UNIT	1750	5	20A 20A	6	40	LIGHTING: EXTERIOR
	1750	7	20A 20A	8	360	RECEPTACLES: DATA ROOM
RECEPTACLES: DATA ROOM	360	9	20A 30A	10	2000	RECEPTACLE: DATA ROOM
RECEPTACLE: PTAC UNIT	1750	11	20A	12	2000	
	1750	13	20A 20A	14	360	RECEPTACLES: DATA ROOM
WIREMOLD	1200	15	20A 20A	16	·	SPARE
WIREMOLD	1200	17	20A 20A	18	·	SPARE
SPARE	·	19	20A 20A	20	·	SPARE
SPARE	·	21	20A 20A	22	·	SPARE
SPARE	·	23	20A 20A	24	·	SPARE
SPARE	·	25	20A 20A	26	·	SPARE
SPARE	·	27	20A 20A	28	·	SPARE
SPARE	·	29	20A 20A	30	·	SPARE
SPARE	·	31	20A 20A	32	·	SPARE
SPARE	·	33	20A 20A	34	·	SPARE
SPARE	·	35	20A 20A	36	·	SPARE
SPARE	·	37	20A 20A	38	·	SPARE
SPARE	·	39	20A 20A	40	·	SPARE

TOTAL CONNECTED LOAD: 17 KW — ALL BRANCH BREAKERS SIZED AS SHOWN

PANEL LOCATION: PRESS BOX

LIGHTING FIXTURE SCHEDULE

MARK	TYPE	VOLT	WATTS	LAMP	BRAND & CATALOG NO.
L1	1x4 FOOT SURFACE MOUNTED LED FLAT PANEL	120	45	3700 LUMEN 3000K	SATCO 45/LED/1X4/SURFACE/3K/WH
EX	EXIT SIGN W/EMERGENCY BATTERY	120	5	AS SUPPLIED	LITHONIA ECR-REM-LED AND ERE-SLG-WP
W	EXTERIOR RECESSED LIGHT	120	7	400 LUMEN 4000K	SATCO S9014 4"

"NL" INDICATES NIGHT LIGHT, UNSWITCHED.

NOTES

1. ALL LIGHT FIXTURES SHALL BE SUPPORTED INDEPENDENTLY OF THE CEILING SYSTEM. 2x4 TROFFERS SHALL BE SUPPORTED WITH CABLE FROM ALL FOUR CORNERS.
2. FOR HOME RUNS ON 20 AMP CIRCUITS EXCEEDING SEVENTY FIVE (75) FEET FROM THE PANEL BOARD, USE #10 AWG MIN.
3. ALL MOUNTING HEIGHTS ARE GIVEN TO THE BOTTOM OF THE DEVICE UNLESS NOTED OTHERWISE.
4. THE LOCATION OF ALL WALL MOUNTED DEVICES, INCLUDING MOUNTING HEIGHTS, SHALL BE FIELD VERIFIED WITH THE ARCHITECT PRIOR TO INSTALLATION.
5. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY DISCONNECTS, SWITCHES AND RECEPTACLES UNDER THE ELECTRICAL BID AND SHALL INCLUDE ALL NECESSARY CIRCUITS AND FINAL CONNECTIONS TO THE EQUIPMENT PROVIDED BY ALL SUPPLIERS, UNLESS NOTED OTHERWISE BY OTHER DISCIPLINES.
6. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED SO THAT ALL CODE REQUIRED AND MANUFACTURER RECOMMENDED SERVICING CLEARANCES ARE MAINTAINED.
7. BIDDING CONTRACTORS MUST VISIT THE SITE, REVIEW ALL CONSTRUCTION DOCUMENTS, AND OBTAIN WRITTEN COPIES OF ALL REFERENCED CODES AND ORDINANCES PRIOR TO SUBMITTING BIDS. NO ALLOWANCE WILL BE MADE FOR ADVERSE CONDITIONS WHICH WERE ASCERTAINABLE PRIOR TO BID TIME.
8. GROUND TELEPHONE EQUIPMENT TO THE ELECTRICAL SERVICE GROUNDING SYSTEM PER N.E.C.
9. ALL CIRCUIT BREAKERS IN PANEL SHALL BE FULLY RATED
10. THE ELECTRICAL CONTRACTOR SHALL COORDINATE AND VERIFY THE ELECTRICAL SERVICE ARRANGEMENTS WITH THE LOCAL POWER COMPANY AND WITH OWNER SUPPLIED SITE PLAN. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT FOR A COMPLETE INSTALLATION.
11. CIRCUIT BREAKERS SHALL BE RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SITE AS DETERMINED BY THE LOCAL UTILITY. E.C. SHALL COORDINATE WITH LOCAL UTILITY BEFORE STARTING WORK.
12. ALL BUILDING SYSTEM GROUND RODS SHALL BE BONDED TOGETHER TO FORM A SINGLE GROUNDING SYSTEM. GROUNDING SYSTEM SHALL COMPLY WITH N.E.C. ARTICLE 250.
13. THE WORD "PROVIDE" MEANS FURNISH AND INSTALL.
14. MC CABLE IS ALLOWED AS A VE ALTERNATE.
15. THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND REVIEW THE MECHANICAL AND SPECIAL EQUIPMENT SUBMITTALS PRIOR TO SUBMITTING THE ELECTRICAL SUBMITTALS. ANY ELECTRICAL EQUIPMENT, CONDUIT, AND WIRE SIZE CHANGES RESULTING FROM THIS REVIEW SHALL ALSO BE SUBMITTED FOR APPROVAL.
16. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL FITTINGS AND NECESSARY EQUIPMENT FOR LIGHT FIXTURE MOUNTING, AND INSTALLATION.
17. ALL FIRE BARRIER PENETRATIONS SHALL BE SEALED WITH APPROVED FIRE SEALANT. COORDINATE WITH ARCHITECTURAL PLANS FOR ALL RATED WALLS AND CEILINGS PRIOR TO BID SO AN UNDERSTANDING OF NUMBER OF SEALS REQUIRED, AND DETERMINE METHOD FOR MINIMIZING THE SEAL REQUIREMENTS.

ELECTRICAL DEVICE NOTES:

1. ALL DEVICE COLORS SHALL BE GRAY.
2. ALL FACEPLATES TO BRUSHED STAINLESS STEEL.
3. ALL DEVICES SHALL BE MOUNTED IN BOXES, AND ALL EXTERIOR BOXES SHALL BE WATER TIGHT.
4. ALL EMPTY EXTERIOR BOXES SHALL HAVE WATER TIGHT COVERPLATES.

APPLICABLE ELECTRICAL CODE:

NFPA 70 2017 NATIONAL ELECTRIC CODE.

LEGEND

- PASS AND SEYMOUR DUPLEX RECEPTACLE, GRAY COLOR, – 20 AMP, 125V. TAMPER PROOF HEAVY DUTY. MTD. @ 16" A.F.F. UNLESS NOTED, WITH BRUSHED STAINLESS STEEL FACEPLATE.
- U — PASS AND SEYMOUR DUPLEX RECEPTACLE, GRAY COLOR,– 20 AMP, 125V. TAMPER PROOF. WITH USB CHARGING PORTS, MTD. @ 16" A.F.F. UNLESS NOTED, WITH BRUSHED STAINLESS STEEL FACEPLATE.
- WP, G — PASS AND SEYMOUR WEATHER RESISTANT, GRAY COLOR, DUPLEX RECEPTACLE – TAMPER PROOF WITH GROUND FAULT INTERRUPT, MTD. @ 16" A.F.F. UNLESS NOTED, WITH WEATHER-PROOF IN USE COVER.
- G — PASS AND SEYMOUR , GRAY COLOR, DUPLEX RECEPTACLE – TAMPER PROOF WITH GROUND FAULT INTERRUPT, MTD. @ 16" A.F.F. UNLESS NOTED, WITH BRUSHED STAINLESS STEEL FACEPLATE.
- C, C — "C" INDICATES DEVICE MOUNTED @ 2" ABOVE BACKSPLASH UNLESS NOTED. COORDINATE IN FIELD.
- XXA — 240V SIMPLEX RECEPTACLE, GRAY COLOR, MTD. AS REQUIRED BY EQUIPMENT BEING SERVED, COORDINATE IN FIELD, WITH BRUSHED STAINLESS STEEL FACEPLATE. AMPERAGE AS NOTED.
- $ — SPECIFICATION GRADE 20A–1P TOGGLE SWITCH, HEAVY DUTY, GRAY COLOR, MOUNTED @ 48" A.F.F. W/BRUSHED STAINLESS STEEL FACEPLATE.
- $3 — SPECIFICATION GRADE 20 AMP THREE WAY TOGGLE SWITCH, HEAVY DUTY, GRAY COLOR, MOUNTED @ 48" A.F.F. W/BRUSHED STAINLESS STEEL FACEPLATE.
- $M — 120V, 20AMP MOTOR RATED TOGGLE SWITCH, WITH LOCKING DEVICE.
- $O — SPECIFICATION GRADE WALL MOUNTED OCCUPANCY SWITCH GRAY COLOR, MOUNTED @ 48" A.F.F. W/BRUSHED STAINLESS STEEL FACEPLATE. LUTRON MSOPSS5MLA.
- ▲ — VOICE/DATA OUTLET, GRAY COLOR, MOUNTED @ 16" A.F.F. WITH BRUSHED STAINLESS STEEL FACEPLATE. MTD. @ 16" A.F.F. UNLESS NOTED. RUN (2) CAT 6 CABLES FROM OUTLET TO DATA ROOM.
- △ — COMPUTER DATA OUTLET, GRAY COLOR, BOX MTD @ 16" A.F.F. UNLESS NOTED FLUSH MOUNTED 1 GANG WALL BOX. CONTRACTOR TO RUN (2) CAT 6 CABLES FROM OUTLET TO DATA ROOM.
- EXHAUST FAN
- J — JUNCTION BOX LOCATION MOUNTED AS NOTED ON DRAWING, SIZED AS REQUIRED BY EQUIPMENT BEING SERVED.
- DISCONNECT SWITCH, SIZE AND TYPE AS NOTED.
- HOME RUN CONDUIT, CIRCUIT NUMBER AS INDICATED ON DRAWINGS, HASHMARKS INDICATE HOT NEUTRAL AND GROUND.
- CONDUIT RUN IN FLOOR OR SLAB.
- CONDUIT RUN IN WALLS OR CEILING.
- WAP — WIRELESS ACCESS POINT, WALL MOUNTED AT 11'–4". POE (POWER OVER ETHERNET) RUN (1) CAT 6 CABLE FROM WAP TO DATA ROOM.
- WIREMOLD 5400 SERIES (IVORY) W/RECEPTACLES AND AND DATA OUTLETS 48" O.C. AND 1" CONDUIT THRU FLOOR AT END 14"
- C — SECURITY CAMERA WITH CONCEALLED CONDUIT AND JUNCTION BOX SURFACE MOUNTED, POE (POWER OVER ETHERNET) RUN 3/4" C. WITH (1) CAT 6 CABLE FROM CAMERA TO DATA ROOM. MOUNT CAMERA AT 19'–0" AFF, UNLESS NOTED OTHERWISE. ALL CONDUIT TO CONCEALED, NO EXPOSED CONDUIT ALLOWED.

ALABAMA LICENSED PROFESSIONAL No. 37141 ENGINEER JERRY I. ONWU

05/04/2020

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

CITY OF ORANGE BEACH ; ORANGE BEACH, ALABAMA

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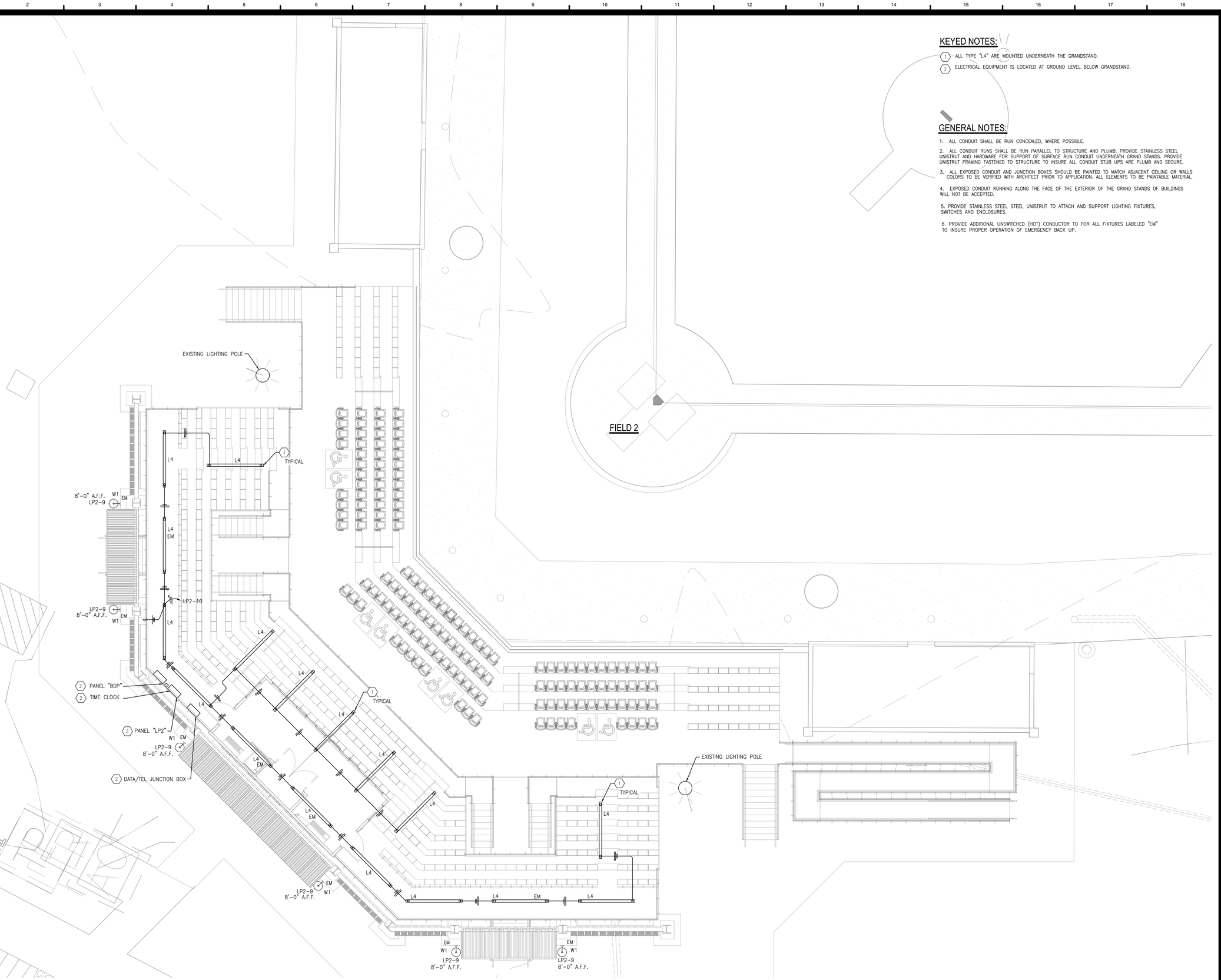
REV	DATE	DESCRIPTION

DATE: 05-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS — PROJECT NO.: 3916

SHEET TITLE
PRESS BOX ELECTRICAL PLANS

DRAWING NO.
E302



KEYED NOTES:

1. ALL TYPE "L4" ARE MOUNTED UNDERNEATH THE GRANDSTAND.
2. ELECTRICAL EQUIPMENT IS LOCATED AT GROUND LEVEL BELOW GRANDSTAND.

GENERAL NOTES:

1. ALL CONDUIT SHALL BE RUN CONCEALED, WHERE POSSIBLE.
2. ALL CONDUIT RUNS SHALL BE RUN PARALLEL TO STRUCTURE AND PLUMB. PROVIDE STAINLESS STEEL UNISTRUT AND HARDWARE FOR SUPPORT OF SURFACE RUN CONDUIT UNDERNEATH GRAND STANDS. PROVIDE UNISTRUT FRAMING FASTENED TO STRUCTURE TO INSURE ALL CONDUIT STUB UPS ARE PLUMB AND SECURE.
3. ALL EXPOSED CONDUIT AND JUNCTION BOXES SHOULD BE PAINTED TO MATCH ADJACENT CEILING OR WALLS COLORS TO BE VERIFIED WITH ARCHITECT PRIOR TO APPLICATION. ALL ELEMENTS TO BE PAINTABLE MATERIAL.
4. EXPOSED CONDUIT RUNNING ALONG THE FACE OF THE EXTERIOR OF THE GRAND STANDS OF BUILDINGS WILL NOT BE ACCEPTED.
5. PROVIDE STAINLESS STEEL STEEL UNISTRUT TO ATTACH AND SUPPORT LIGHTING FIXTURES, SWITCHES AND ENCLOSURES.
6. PROVIDE ADDITIONAL UNSWITCHED (HOT) CONDUCTOR TO FOR ALL FIXTURES LABELED "EM" TO INSURE PROPER OPERATION OF EMERGENCY BACK UP.

ALABAMA LICENSED PROFESSIONAL ENGINEER No. 37141 JERRY I. ONWU

05/04/2020

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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REV	DATE	DESCRIPTION

DATE: 05-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO: 3916

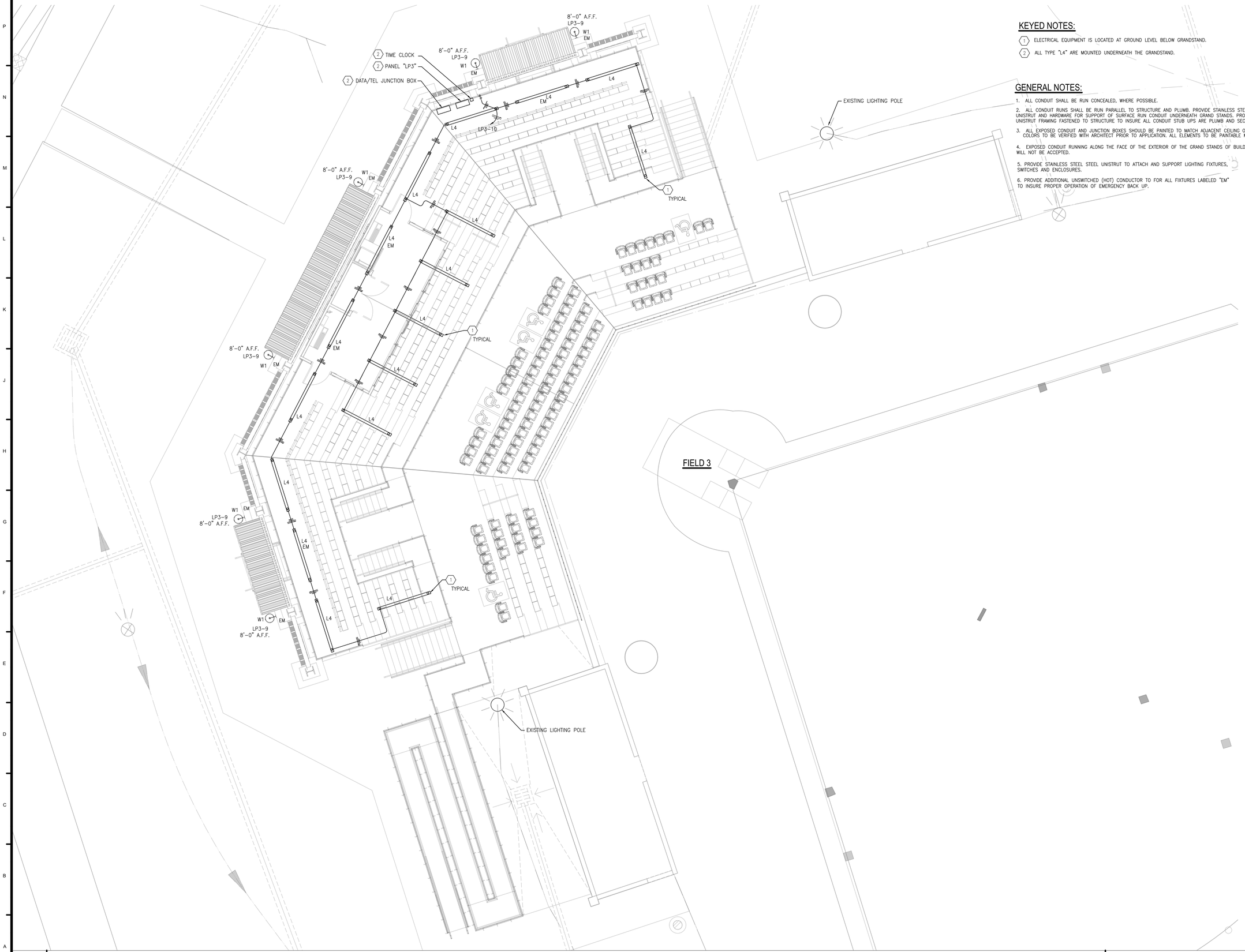
SHEET TITLE
ENLARGED LIGHTING PLAN FIELD 2

DRAWING NO.
E400

E400 ENLARGED LIGHTING PLAN FIELD 2

E1 /. SCALE: 1/16" = 1'-0"

N



KEYED NOTES:

1. ELECTRICAL EQUIPMENT IS LOCATED AT GROUND LEVEL BELOW GRANDSTAND.
2. ALL TYPE "L4" ARE MOUNTED UNDERNEATH THE GRANDSTAND.

GENERAL NOTES:

1. ALL CONDUIT SHALL BE RUN CONCEALED, WHERE POSSIBLE.
2. ALL CONDUIT RUNS SHALL BE RUN PARALLEL TO STRUCTURE AND PLUMB. PROVIDE STAINLESS STEEL UNISTRUT AND HARDWARE FOR SUPPORT OF SURFACE RUN CONDUIT UNDERNEATH GRAND STANDS. PROVIDE UNISTRUT FRAMING FASTENED TO STRUCTURE TO INSURE ALL CONDUIT STUB UPS ARE PLUMB AND SECURE.
3. ALL EXPOSED CONDUIT AND JUNCTION BOXES SHOULD BE PAINTED TO MATCH ADJACENT CEILING OR WALLS COLORS TO BE VERIFIED WITH ARCHITECT PRIOR TO APPLICATION. ALL ELEMENTS TO BE PAINTABLE MATERIAL.
4. EXPOSED CONDUIT RUNNING ALONG THE FACE OF THE EXTERIOR OF THE GRAND STANDS OF BUILDINGS WILL NOT BE ACCEPTED.
5. PROVIDE STAINLESS STEEL STEEL UNISTRUT TO ATTACH AND SUPPORT LIGHTING FIXTURES, SWITCHES AND ENCLOSURES.
6. PROVIDE ADDITIONAL UNSWITCHED (HOT) CONDUCTOR TO FOR ALL FIXTURES LABELED "EM" TO INSURE PROPER OPERATION OF EMERGENCY BACK UP.

ALABAMA LICENSED PROFESSIONAL ENGINEER JERRY I. ONWU No. 37141

05/04/2020

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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REV	DATE	DESCRIPTION

DATE: 05-04-2020
PHASE: 100% BID DOCUMENTS
ISSUED FOR:
ISSUED BY: DAVIS ARCHITECTS
PROJECT NO: 3916

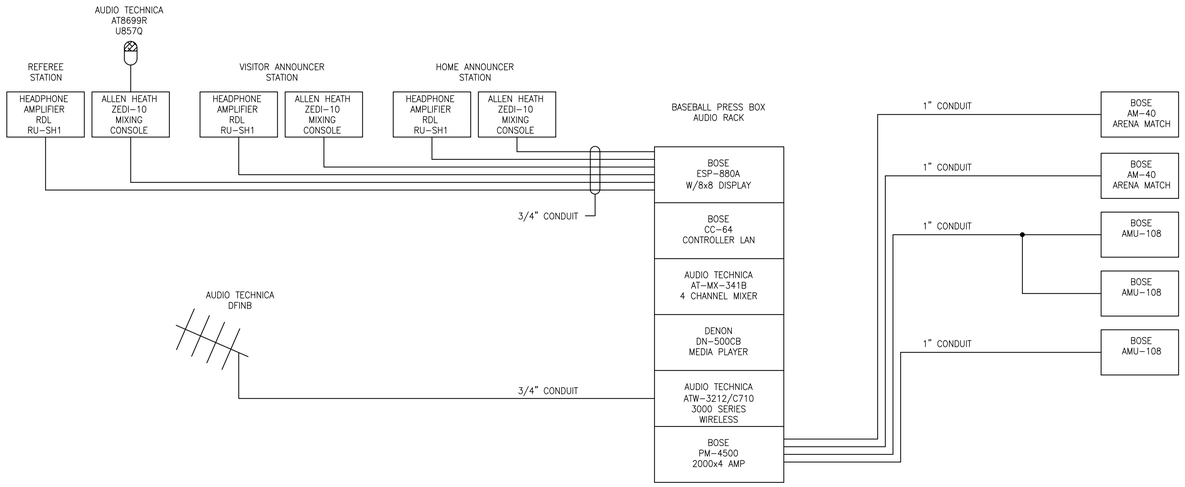
SHEET TITLE
ENLARGED LIGHTING PLAN
FIELD 3

DRAWING NO.
E401

E401 ENLARGED LIGHTING PLAN FIELD 3

E1 /. SCALE: 1/16" = 1'-0"

N



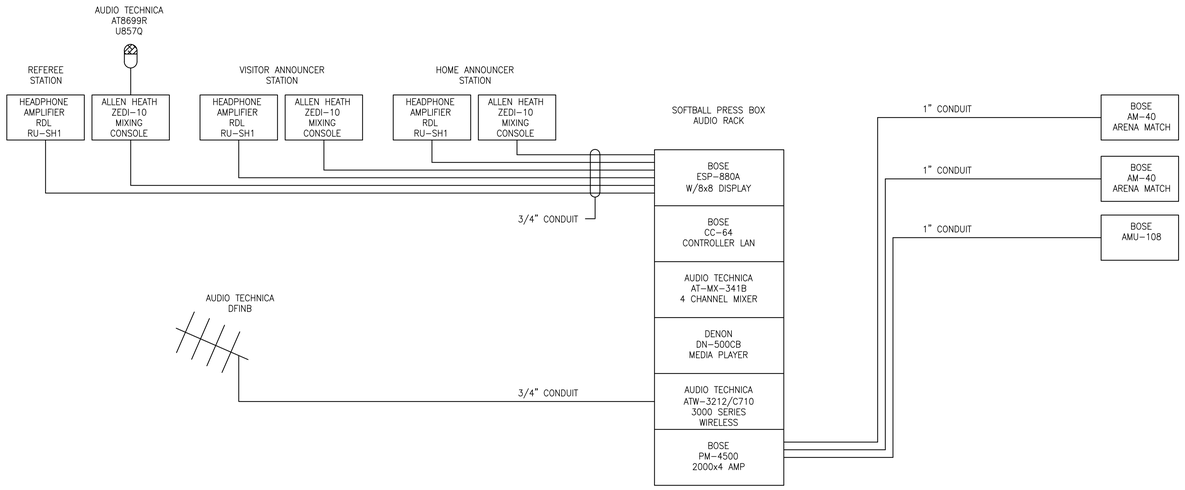
BASEBALL FIELD 2 AUDIO RISER DIAGRAM

BASEBALL FIELD 2 NOTES:

1. CONTRACTOR TO PROVIDE ALL SPEAKER MOUNTING HARDWARE AND BE APPROVED BY ARCHITECT AND ENGINEER PRIOR TO INSTALLATION.
2. MOUNT ALL EQUIPMENT IN LOWELL EQUIPMENT RACK 27" DEEP HEIGHT AS REQUIRED.
3. BOSE CONTROL PANEL TO BE PANEL MOUNTED IN RACK.
4. HEADPHONE MODULES MOUNTED UNDER ANNOUNCERS COUNTER.
5. INPUT JACKS TO BE LOCATED IN COUNTER MOUNTED BOXES, ON COUNTER SURFACE (FSR RT6-R2-ABK) WITH F-XLR AND RJ45 AND BLANK PANELS AS REQUIRED.
6. AUDIO EQUIPMENT POWER DISTRIBUTION TO BE RFPOWER MIW-XT.
7. PROVIDE PANAMAX MR-4300 POWER PROTECTION.
8. PROVIDE HEADPHONE DISTRIBUTION AND CONTROL WITH RDL HEADPHONE AMP WITH VOLUME CONTROL.

AUDIO SYSTEM NOTES:

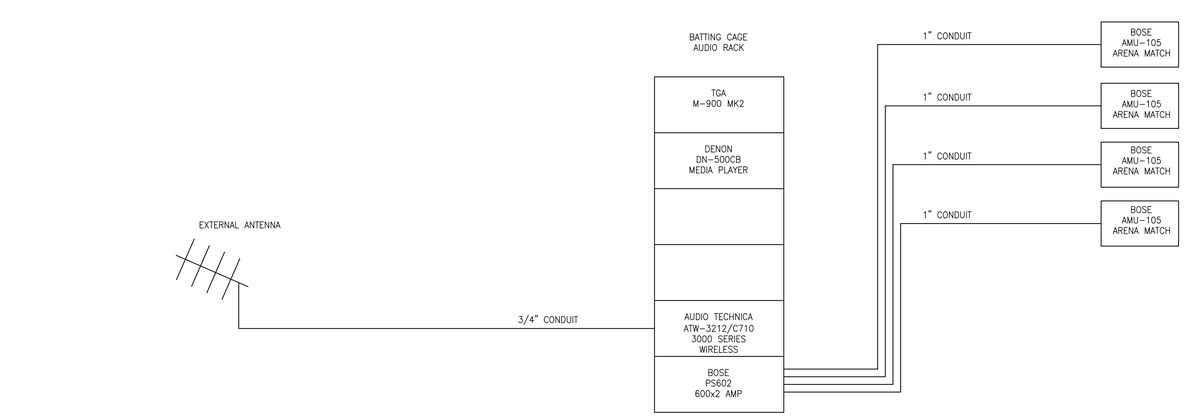
1. ALL CONDUIT TO BE INSTALLED BY E.C. ALL CABLING INSTALLED BY AUDIO CONTRACTOR.
2. ALL EQUIPMENT TO BE AS SPECIFIED.
3. ALL SPEAKER MOUNTING HARDWARE TO BE PROVIDED AND INSTALLED BY THE E.C. AND APPROVED BY ARCHITECT AND ENGINEER.
4. CONTRACTOR SHALL INSTALL EACH LOUDSPEAKER WITH PROPER RESTRAINING SYSTEM AS SPECIFICED BY LOCAL AND STATE MANDATED LAWS.
5. SPEAKER LOCATIONS SHOWN ARE APPROXIMATE. COORDINATE SPEAKER LOCATIONS WITH OTHER CEILING DEVICES. ENSURE THAT FINAL SPEAKER LOCATIONS MEET THE SOUND REINFORCEMENT INTENT FOR THE TARGET AREA.
6. COORDINATE WITH AUDIO VISUAL CONTRACTOR TO FINALIZE ALL STRUCTURAL SUPPORT REQUIREMENTS AND LOCATIONS FOR DISPLAYS, PROJECTORS AND PROJECTION SCREENS PRIOR TO SUPPORT ROUGH-IN.



SOFTBALL FIELD 3 AUDIO RISER DIAGRAM

SOFTBALL FIELD 3 NOTES:

1. CONTRACTOR TO PROVIDE ALL SPEAKER MOUNTING HARDWARE AND BE APPROVED BY ARCHITECT AND ENGINEER PRIOR TO INSTALLATION.
2. MOUNT ALL EQUIPMENT IN LOWELL EQUIPMENT RACK 27" DEEP HEIGHT AS REQUIRED.
3. BOSE CONTROL PANEL TO BE PANEL MOUNTED IN RACK.
4. HEADPHONE MODULES MOUNTED UNDER ANNOUNCERS COUNTER.
5. INPUT JACKS TO BE LOCATED IN COUNTER MOUNTED BOXES, ON COUNTER SURFACE (FSR RT6-R2-ABK) WITH F-XLR AND RJ45 AND BLANK PANELS AS REQUIRED.
6. AUDIO EQUIPMENT POWER DISTRIBUTION TO BE RFPOWER MIW-XT.
7. PROVIDE PANAMAX MR-4300 POWER PROTECTION.
8. PROVIDE HEADPHONE DISTRIBUTION AND CONTROL WITH RDL HEADPHONE AMP WITH VOLUME CONTROL.



BATTING CAGE AUDIO RISER DIAGRAM

BATTING CAGE NOTES:

1. CONTRACTOR TO PROVIDE ALL SPEAKER MOUNTING HARDWARE AND BE APPROVED BY ARCHITECT AND ENGINEER PRIOR TO INSTALLATION.
2. MOUNT ALL EQUIPMENT IN LOWELL EQUIPMENT RACK 27" DEEP HEIGHT AS REQUIRED.
3. AUDIO EQUIPMENT POWER DISTRIBUTION TO BE RFPOWER MIW-XT.
4. PROVIDE PANAMAX MR-4300 POWER PROTECTION.

E500 AUDIO RISER DIAGRAM

E1 /. SCALE: NONE

ALABAMA LICENSED PROFESSIONAL ENGINEER No. 37141 JERRY I. ONWU

05/04/2020

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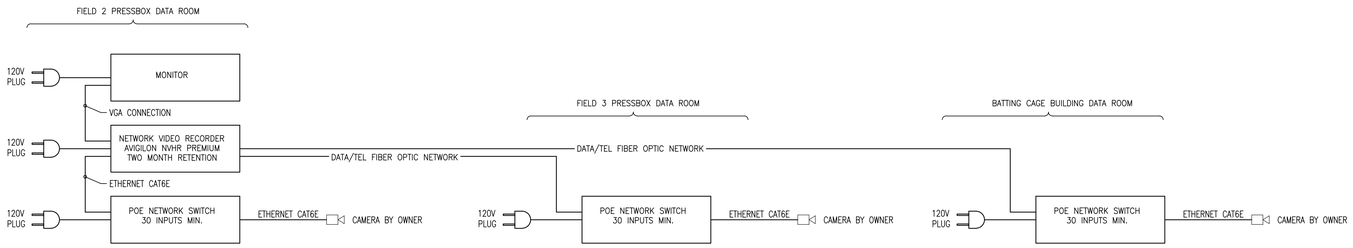
PROJECT NO.: 3916

SHEET TITLE: AUDIO RISER DIAGRAM

DRAWING NO.: E500



SECURITY CAMERA SYSTEM DIAGRAM

NO SCALE

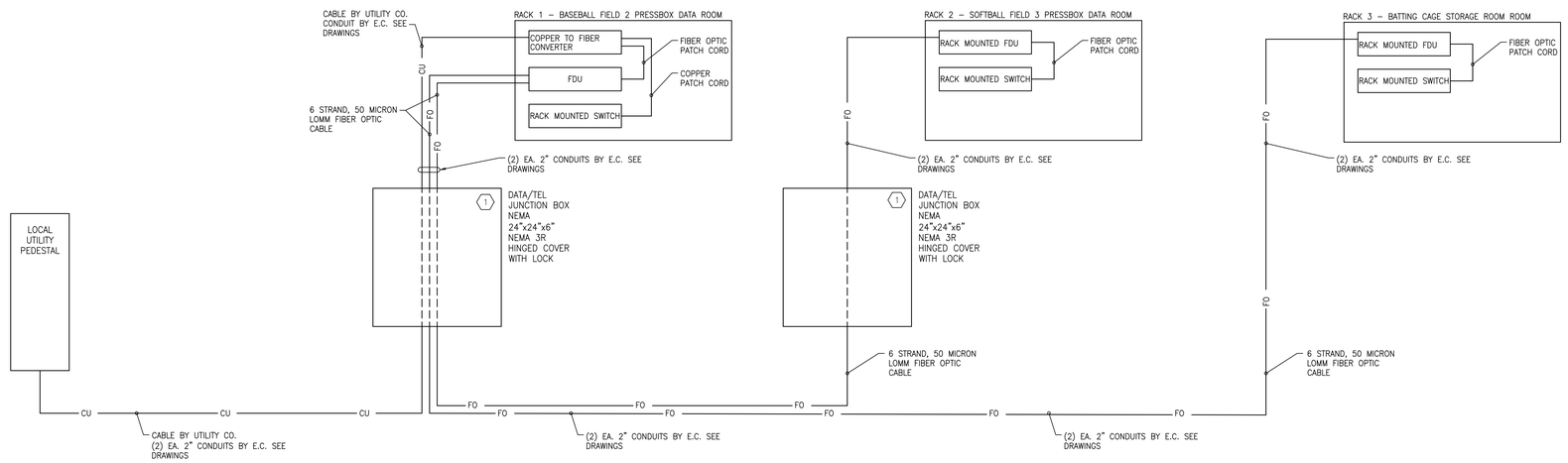
1. PROVIDE 3/4" CONDUIT FOR ALL CAMERA FIELD WIRING.
2. PROVIDE 24 HOUR RECORDING.
3. PROVIDE 18 F.P.S. FRAME RATE RECORDING, WITH H-265 FOREMAT FOR COMPRESSION.

KEYED NOTES:

1. PROVIDE LOOPED SPARE CABLE IN JUNCTION BOX.

GENERAL NOTES:

1. SEE DRAWINGS E101, E102, E103 AND E104 FOR CONDUITS.



DATA/TEL RISER DIAGRAM

NO SCALE

ALABAMA LICENSED PROFESSIONAL ENGINEER JERRY T. ONWU No. 37141
05/04/2020

ORANGE BEACH SPORTSPLEX RENOVATION TO BASEBALL AND SOFTBALL COMPLEX

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PROJECT NO.: 3916

SHEET TITLE
DATA/TEL RISER DIAGRAM

DRAWING NO.
E501

E501 DATA/TEL RISER DIAGRAM
SCALE: NONE
E1 /.