SUMMIT ELEMENATRY SCHOOL ROOFING PROJECT NO. 2019-1406

OJAI UNIFIED SCHOOL DISTRICT

	ABB	REVIATIONS		
	Ø	DIAMETER	HR.	HOUR
	&	AND	HT.	HEIGHT
			INSUL.	INSULATION
	#	POUND OR NUMBER	INT.	INTERIOR
	A.B.	ANCHOR BOLT	JT.	JOINT
	ABV.			LAMINATE
	ACP			LAVATORY
	A.D.	AREA DRAIN	LT.	LIGHT
		ADJUSTABLE ABOVE FINISH FLOOR		MANUFACTURER MATERIAL
	A.F.G.		MAX.	MAXIMUM
	A.I .G. ALUM.		M.B.	MACHINE BOLT
	BLDG.		MECH.	MECHANICAL
	BLKG.		MIN.	MINIMUM
	BM.	BEAM	MISC.	MISCELLANEOUS
	B.O.B.	BOTTOM OF BEAM	M.R.	MOISTURE RESISTANT
	BOT.		MTL.	METAL
	BTWN.	BETWEEN	(N)	NEW
	CAB.	CABINET	N.Í.C.	NOT IN CONTRACT
	CALIF.		NO. OR#	NUMBER
	C.F.O.I	CONTRACTOR FURNISHED	N.T.S.	NOT TO SCALE
		OWNER INSTALLED	0/	OVER
	C.I.P.	CAST IN PLACE	O.C.	ON CENTER
	CJ	CONSTRUCTION JOINT	O.F.C.I.	OWNER FURNISHED
	C.J.	CONTROL JOINT	0.5.0.1	CONTACTOR INSTALLED
	C.L.	CHAIN LINK	O.F.O.I.	OWNER FURNISHED
	CLG. CLR.	CEILING CLEAR	ODD	OWNER INSTALLED OPPOSITE
		CONCRETE MASONRY UNIT	OPP.	
	CMU C.O.			PERFORATED
		CENTER OF COLUMN		PLATE OR PLASTIC
			PLAST.	
		COMPOSITION		PLYWOOD
	CONC	CONCRETE	PR.	
	CONSTR	CONCRETE CONSTRUCTION		PROJECTION
	CONT.	CONTINUOUS		PRESSURE TREATED
	C.T.	CERAMIC TILE		
	DBL.	CERAMIC TILE DOUBLE DOUGLAS FIR	R OR RAD	RADIUS
	DF	DOUGLAS FIR		REFLECTED
	D.F.	DRINKING FOUNTAIN	REFRIG.	REFRIGERATOR
	DFCI	DISTRICT FURNISHED	REINF.	REINFORCED OR
		DISTRICT FURNISHED CONTRACTOR INSTALL DIAMETER		REINFORCEMENT
	DIA.	DIAMETER	REQ.	REQUIRED OR REQUIREMENTS
	DIM.	DIMENSION	RM.	ROOM
	DN	DOWN DOOR	S.C.	
	DR.	DOOR		SCHEDULE
	DWG (C)	DRAWING EXISTING EACH		SHEATHING
	(E) E4	EXISTING	SHT.	
	EA	EXPANSION JOINT	SIM.	
		ELECTRICAL		SHEET METAL SCREWS
	FLEVI.	ELECTRICAL ELEVATION	SQ.	SQUARE
	FO.	ELEVATION EQUAL		STAINLESS STEEL
	EQUIP.	EQUIPMENT		STANDARD
	EXIST.	EQUIPMENT EXISTING	STL.	STEEL
	FXT	FXTFRIOR	STOR	STORAGE
	FD	FLOOR DRAIN	STRUCT.	STRUCTURAL
	FDN.	FLOOR DRAIN FOUNDATION	SUSP.	SUSPENDED
	F.E.	FIRE EXTINGUISHER	T&B	TOP & BOTTOM
	F.E.C.	FIRE EXTINGUISHER CABINET	TEMP.	TEMPERED
	F.F.	FINISH FLOOR	T.O.	TOP OF
	FIN.	FINISH	T.O.B.	TOP OF BEAM
	FLR.	FLOOR	TS	TUBE STEEL
	F.O.C.	FACE OF CONCRETE	T.W.	TOP OF WALL
	F.O.F.	FACE OF FINISH	TYP.	TYPICAL
.	F.O.S.	FACE OF STRUCTURE	U.N.O.	UNLESS NOTED OTHERWISE
J. r	FRAM'G	FRAMING	U.O.N.	UNLESS OTHERWISE NOTED
erol	FRP	FIBERGLASS REINFORCED	V.C.T.	VINYL COMPOSITION TILE
cald	СТ	PANEL FOOT OF FEET	VERT.	VERTICAL VERTICAL GRAIN
ایز	FT. FTG.	FOOT OR FEET FOOTING	V.G.D.F.	DOUGLAS FIR
roje	FIG. F.V.	FIELD VERIFY	V.I.F.	VERIFY IN FIELD
ξ F	GA.	GAUGE	v.i.r. W/	WITH
Julijoc	GALV.	GALVANIZED	WD.	WOOD
nit Reroofing Project_calderon.rvt	GWB	GYPSUM WALL BOARD	W.O.	WHERE OCCURS
nit I		GYPSUM BOARD	W.P.	WATERPROOF

WATERPROOF

WATER RESISTANT

GYP. BD. GYPSUM BOARD

HORIZ.

HEADER

HOT DIP GALV

HORIZONTAL

HOLLOW METAL

1. IDENTIFY ALL DAMAGED ELEMENTS DESIGNATED TO REMAIN OR BE RELOCATED. REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH DEMOLITION WORK.

DEMOLITION NOTES

- 2. GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND VERIFYING DEMOLITION PLANS IN RELATION TO STRUCTURAL AND CONSTRUCTION DRAWINGS. CONTRACTOR SHALL VERIFY AND COORDINATE THE EXTENT OF DEMOLITION WORK WITH NEW WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY AND ALL CONFLICTS, DISCREPANCIES OR PROBLEMS.
- 3. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO DEMOLITION. THE CONTRACTOR SHALL BEWARE OF POTENTIAL HAZARDS FROM DEMOLITION WORK NEAR UTILITIES. PIPES AND CONDUIT ENCOUNTERED IN DEMOLISHED PARTITIONS AND AREAS WHICH ARE TO REMAIN IN USE SHALL BE RE-ROUTED AND CONCEALED. THOSE WHICH ARE TO BE ABANDONED SHALL BE CAPPED AND CONCEALED IN FLOOR, WALL OR CEILING.
- 4. THE GENERAL CONTRACTOR SHALL ERECT ALL NECESSARY TEMPORARY SOLID AND/OR PLASTIC DROP CLOTH PARTITIONS TO PROTECT AREAS TO REMAIN WHILE DEMOLITION AND CONSTRUCTION ARE IN PROGRESS.
- 5. BRACE AND SUPPORT EXISTING WORK PRIOR TO AND DURING DEMOLITION AND NEW WORK. AND UNTIL SAFE TO REMOVE SUCH BRACING AND SUPPORTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL SHORING DESIGN AND CALCULATIONS.
- 6. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK REQUIRED INCLUDING THE REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS, BROKEN CONCRETE, ETC., FROM THE SITE. PROPER SHORING SHALL BE EXECUTED FOR THE SAFETY OF THE STRUCTURE AND WORKMEN.
- 7. THE OWNER SHALL HAVE FIRST RIGHTS OF REFUSAL FOR ALL DEMOLISHED MATERIALS.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM DEMOLITION AT NO ADDITIONAL COST TO THE OWNER. THE GENERAL CONTRACTOR SHALL BE EXTREMELY CAREFUL TO PROTECT AND NOT TO DAMAGE ANY PORTION OF EXISTING INSTALLATION NOT BEING REMOVED. ANY EXISTING FACILITIES INDICATED TO REMAIN WHICH ARE SO DAMAGED SHALL BE REPLACED EQUAL TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER.
- 9. CUT EXISTING PORTIONS OF WALLS, FLOORS, CEILINGS, ETC., WHERE INDICATED AND AS NECESSARY FOR NEW WORK. UNLESS SPECIFICALLY SHOWN ON THESE PLANS. NO STRUCTURAL MEMBER SHALL BE CUT. NEITHER DRILLED NOR NOTCHED, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER. THE ARCHITECT AND THE AUTHORITY HAVING JURISDICTION.
- 10. ALL TRADES CONCERNED SHALL COORDINATE EACH OTHER'S WORKS PRIOR TO AND DURING DEMOLITION.
- 11. ANY PROJECTING OR SURFACE-MOUNTED ITEMS BEING ABANDONED SHALL BE REMOVED, CAPPED AND CONCEALED BEHIND FINISHED SURFACES. UNLESS OTHERWISE NOTED. PATCH AND FINISH TO MATCH EXISTING ADJACENT SURFACE.
- 12. SURFACES WHERE MATERIAL IS REMOVED TO INSTALL NEW WORK OR TO RECEIVE NEW FINISH SHALL BE REPAIRED AND PATCHED TO MATCH ORIGINAL CONDITIONS. RETEXTURE AND REPAINT WALL OR CEILING WHERE PATCHED TO MATCH EXISTING, WITH NO EVIDENCE THAT PATCH HAS OCCURRED.
- 13. ALL EXISTING AREAS TO REMAIN OR NEW CONSTRUCTION WORK THAT ARE DAMAGED SHALL BE PATCHED AS REQUIRED TO MATCH EXISTING ADJACENT AREA IN MATERIAL, FINISH AND COLOR, UNLESS OTHERWISE NOTED.
- 14. ALL EQUIPMENT AND MATERIAL WHICH ARE IN OPERATING CONDITION WHEN REMOVED SHALL BE MAINTAINED AS SUCH AND RETURNED TO THE OWNER OR TO BE REINSTALLED WHERE INDICATED. PROPERLY RECONNECT EQUIPMENT TO RESUME OPERATION.

GENERAL NOTES

- 1. THE PROJECT MANUAL ISSUED AS PART OF THESE CONSTRUCTION DOCUMENTS IS AN INTEGRAL PART OF THE CONTRACT DOCUMENTS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THAT ALL WORKMANSHIP, MATERIALS AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE APPLICABLE CODES AND FEDERAL REQUIREMENTS AND REGULATIONS.
- 3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS PRIOR TO SUBMITTING A BID. THE CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- 4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, GRADES, ELEVATIONS AND DIMENSIONS BEFORE STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY OR INCONSISTENCY
- 5. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL EXISTING UTILITY SERVICES IN THE AREA TO BE EXCAVATED PRIOR TO THE BEGINNING OF EXCAVATION. THE CONTRACTOR SHALL PROTECT ALL UTILITY LINES AND SERVICE LINES TO REMAIN WHICH ARE ENCOUNTERED DURING CONSTRUCTION.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ENFORCEMENT OF FEDERAL AND STATE OF CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REQUIREMENTS AND REGULATIONS.
- 7. DO NOT SCALE ANY DRAWINGS IN THIS SET.
- 8. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- 9. ALL OMISSIONS AND CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK SO INVOLVED. NO CHANGES ARE TO BE MADE UNLESS THE ARCHITECT AND THE OWNER ARE NOTIFIED IN WRITING AND APPROVE SUCH A CHANGE ACCORDING TO THE CONTRACT.
- 10. THE ARCHITECT IS NOT RESPONSIBLE FOR ASBESTOS ABATEMENT.
- 11. TRADE NAMES AND MANUFACTURERS REFERRED TO ARE FOR QUALITY STANDARDS ONLY. SUBSTITUTIONS WILL BE PERMITTED AS APPROVED BY THE OWNER AND THE ARCHITECT ONLY UPON SUBMITTAL, AND FOR A LIMITED PERIOD.
- 12. ITEMS SHOWN AS N.I.C. ON PLANS MAY REQUIRE SEPARATE SUBMITTALS, APPROVALS AND PERMITS. INSTALLING CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR SUCH ITEMS.
- 13. CONTRACTOR SHALL ENSURE ALL FINISH MATERIALS WILL BE FLUSH WHERE NEW FINISH SURFACE MATERIALS JOIN EXISTING TO PROVIDE SMOOTH TRANSITION.
- 14. CONTRACTOR ACKNOWLEDGES THAT DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE TO REPRESENT THE INTENT OF THE WORK TO BE ACCOMPLISHED. CONTRACTOR IS TO INSTALL MATERIALS AND SYSTEMS WITH EXPERIENCED SKILLED CRAFTSMEN WHO WILL BE RESPONSIBLE FOR THE INTEGRITY OF THEIR RESPECTIVE WORK. NOT EVERY DETAIL OF EACH CONDITION IS DRAWN. CONTRACTOR AND SUB-CONTRACTOR ARE RESPONSIBLE FOR COMPLETE WORKMANLIKE INSTALLATION OF ALL MATERIALS AND SYSTEMS AND WILL NEED TO PROVIDE ADDITIONAL DETAILS FOR INSTALLATION BASED ON GENERAL INFORMATION SHOWN. FOR INSTANCE, NOT EVERY WATERPROOFING OR FLASHING DETAIL FOR EVERY CONDITION IS SHOWN. CONTRACTOR IS TO PROVIDE DETAILS AND INSTALLATION FOR A COMPLETE WATERTIGHT INSTALLATION.
- 15. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITION NOT COVERED BY THE CONTRACT DOCUMENTS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED, DETAILS AND SPECIFICATIONS FOR THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE AUTHORITY HAVING JURISDICTION BEFORE PROCEEDING WITH THE WORK.
- DURING CONSTRUCTION PERIOD, CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. THE LOAD SHALL NOT EXCEED THE DESIGN LIVE LOADS FOR EACH PARTICULAR LEVEL.

APPLICABLE CODES

CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING PARTS OF THE TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS (CCR):

2016 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, C.C.R. TITLE 24 PART 1 AND 2

2016 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R. 2016 CALIFORNIA ELECTRICAL CODE (CEC), C.C.R. TITLE 24 PART 3 2016 CALIFORNIA MECHANICAL CODE (CMC), C.C.R. TITLE 24 PART 4 2016 CALIFORNIA PLUMBING CODE (CPC), C.C.R. TITLE 24 PART 5 2016 CALIFORNIA ENERGY CODE, C.C.R. TITLE 24 PART 6 2016 CALIFORNIA HISTORICAL CODE, C.C.R. TITLE 24 PART 8 2016 CALIFORNIA FIRE CODE, C.C.R. TITLE 24 PART 9 2016 CALIFORNIA EXISTING BUILDING CODE, C.C.R. TITLE 24 PART 10 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, C.C.R. TITLE 24 PART 11 2016 CALIFORNIA REFERENCED STANDARDS CODE. C.C.R. TITLE 24 PART 12 TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

APPLICABLE STANDARDS:

2016 CBC (FOR SFM) REFERENCED STANDARDS CHAPTER 35

AUTOMATIC SPRINKLER SYSTEMS (CALIF. AMENDED), 2016 **EDITION**

DRY CHEMICAL EXTINGUISHING SYSTEMS, 2017 EDITION WET CHEMICAL EXTINGUISHING SYSTEMS, 2017 EDITION PRIVATE FIRE SERVICE MAINS (CALIF. AMENDED), 2016 EDITION NATIONAL FIRE ALARM CODE (CALIF. AMENDED), 2016 EDITION CRITICAL RADIANT FLUX OF FLOOR COVERINGS, 2015 EDITION NFPA 2001 CLEAN AGENT FIRE EXTINGUISHING SYSTEMS (CALIF. AMENDED),

2015 EDITION

SHEET INDEX

GENERAL PROJECT INFO. OVERALL SITE PLAN

D-1.0 BLDGS. A & C ROOF DEMOLITION PLAN

A-1.0 BLDGS. A & C ROOF PLAN ROOF DETAILS - TYPICAL

PROJECT DIRECTORY

CLIENT

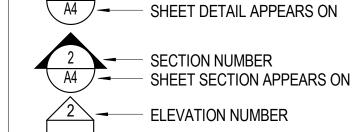
OJAI UNIFIED SCHOOL DISTRICT 414 E. OJAI AVE OJAI, CA 93023 **CONTACT: ADAM DUTTER** P: (805) 640-4300

ARCHITECT

ROESLING NAKAMURA TERADA ARCHITECTS, INC 285 N VENTURA AVE. SUITE 102 VENTURA, CA 93001 **CONTACT: CATHERINE YOUNG** P: (805) 626-5330

LEGEND

PROPERTY LINE SLOPING SURFACE 2 \— DETAIL NUMBER



A4 - SHEET SECTION APPEARS ON CONCRETE 7-4 . 4,4-2

PLYWOOD

STEEL WOOD BLOCKING

WOOD CONTINUOUS MEMBER

CONTROL POINT



WORK POINT, CONNECTION POINT, DATUM POINT OR



KEYNOTE



DOOR NUMBER REFERENCE, REFER TO DOOR SCHEDULE



WALL TYPE REFERENCE, REFER TO AD101-AD106

SIGN TYPE REFERENCE, REFER TO AD701



TICK INDICATES DIMENSIONS TO FACE OF STUD, GRIDLINES OR FACE OF STRUCTURE

ARROW INDICATES DIMENSION TO F.O. FINISH OR CLEAR

WINDOW NUMBER REFERENCE, REFER TO WINDOW TYPES



DOT INDICATES DIMENSION TO CENTERLINE

SPOT ELEVATION

DIMENSION

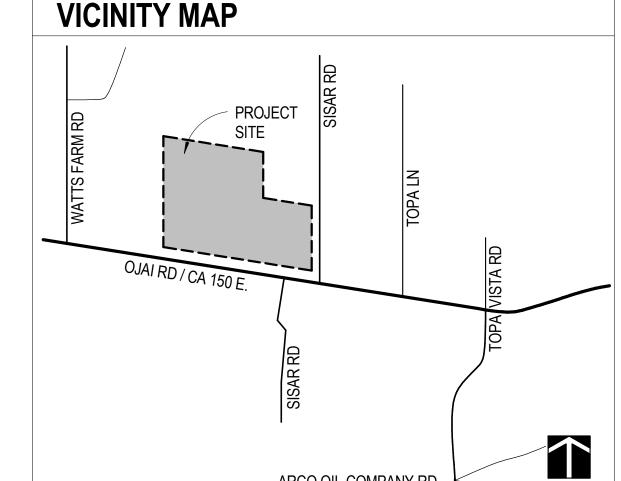
PROJECT DESCRIPTION

REMOVE AND REPLACE ROOF OF:

BUILDING A (BUILT-UP ROOFING) BUILDING C (BUILT-UP ROOFING)

ROOFING TO BE CMAS, MATERIAL PURCHASED BY DISTRICT & INSTALLED BY CONTRACTOR.

ROOF ASSEMBLY INCLUDES TAPERED FOAM BOARD INSULATION. RAPAIR AND REPLACEMENT OF ROOF DECK AND FRAMING ANTICIPATED. REFER TO ALLOWANCE 01 AND UNIT COSTS.



ARCO OIL COMPANY RD



Roesling Nakamura **Terada Architects**

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OJAI UNIFIED SCHOOL DISTRICT

SUMMIT ELEMENTARY SCHOOL REROOFING **PROJECT**

1401 MARICOPA HWY. OJAI, CA 93023

100% CDs

No. Description

Sheet Name

GENERAL PROJECT INFO.

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SHEET GENERAL NOTES

LEGEND

PROTECT ADJACENT STRUCTURES, EQUIPMENT, VEHICLES ETC. FROM OVERSPRAY

REMOVE AND REPLACE ROOF



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No.	Description	Date

OVERALL

Sheet Name

SITE PLAN

 Date
 08/08/19

 Drawn by
 CLD

 Checked by
 CY

 Sheet Number

AS-1.1

KEYNOTE LEGEND

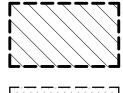




SHEET GENERAL NOTES

- EXISTING ROOF DEMOLITION REQUIRES REMOVAL OF ROOF MEMBRANE.
- AFTER REMOVAL OF ROOFING, THE ARCHITECT WILL REVIEW THE EXISTING PLYWOOD SUBSTRATE. IF PORTIONS OF PLYWOOD REQUIRE REPLACEMENT, THE ARCHITECT WILL IDENTIFY AND PROVIDE WRITTEN DIRECTION TO THE CONTRACTOR TO AUTHORIZE THE WORK. SUCH COSTS WILL BE APPLIED AGAINST ALLOWANCE NO. 1.
- EXISTING ROOFING MATERIALS SCHEDULED FOR DEMOLITION HAVE BEEN TESTED AND BEEN FOUND NOT TO CONTAIN ASBESTOS. THIS DOES NOT GUARANTEE THAT ALL ROOFING MATERIALS WILL BE FREE OF ASBESTOS. IF ASBESTOS IS FOUND, COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS FOR ASBESTOS ABATEMENT.
- DO NOT CUT INTO EXISTING PLYWOOD ROOF SHEATHING DURING ROOFING DEMOLITION. ANY PLYWOOD CUT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- DETACH UTILITIES FROM SUPPORTS AND TEMPORARILY SUPPORT AS REQUIRED TO REMOVE AND REPLACE ROOFING.
- REMOVE ALL EXISTING ROOF JACKS AT PIPE OR CONDUIT PENETRATIONS AND PREP TO RECEIVE NEW SEALED PENETRATION PER DETAIL 6/AD-100.
- VERIFY ON FIELD LOCATION OF MECHANICAL EQUIPMENT AND & TYPE OF UTILITY.

LEGEND



REMOVE AND REPLACE ROOF



ASSUMED ROOF SHEATHING REPLACEMENT AT EAVES/ **EDGES**



(E) VENT PIPE THROUGH ROOF

(E) WALL BELOW

DEMOLISH (E) ITEM

KEYNOTE LEGEND

PROTECT IN PLACE (E) UTILITY LINE 02-027 P.I.P. (E) HVAC DUCTS

07-004 LINE OF (E) WALL BELOW

REMOVE (E) GUTTER AND (E) DOWNSPOUT 07-010

07-017 PROTECT IN PLACE (E) HVAC UNIT, DETACH & TEMPORARILY SUPPORT UNIT AS REQUIRED FOR ROOFING WORK

07-027 PROTECT IN PLACE (E) ROOF VENT PIPE

DEMOLISH (E) ROOF 07-029

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SUMMIT **ELEMENTARY** SCHOOL REROOFING **PROJECT**

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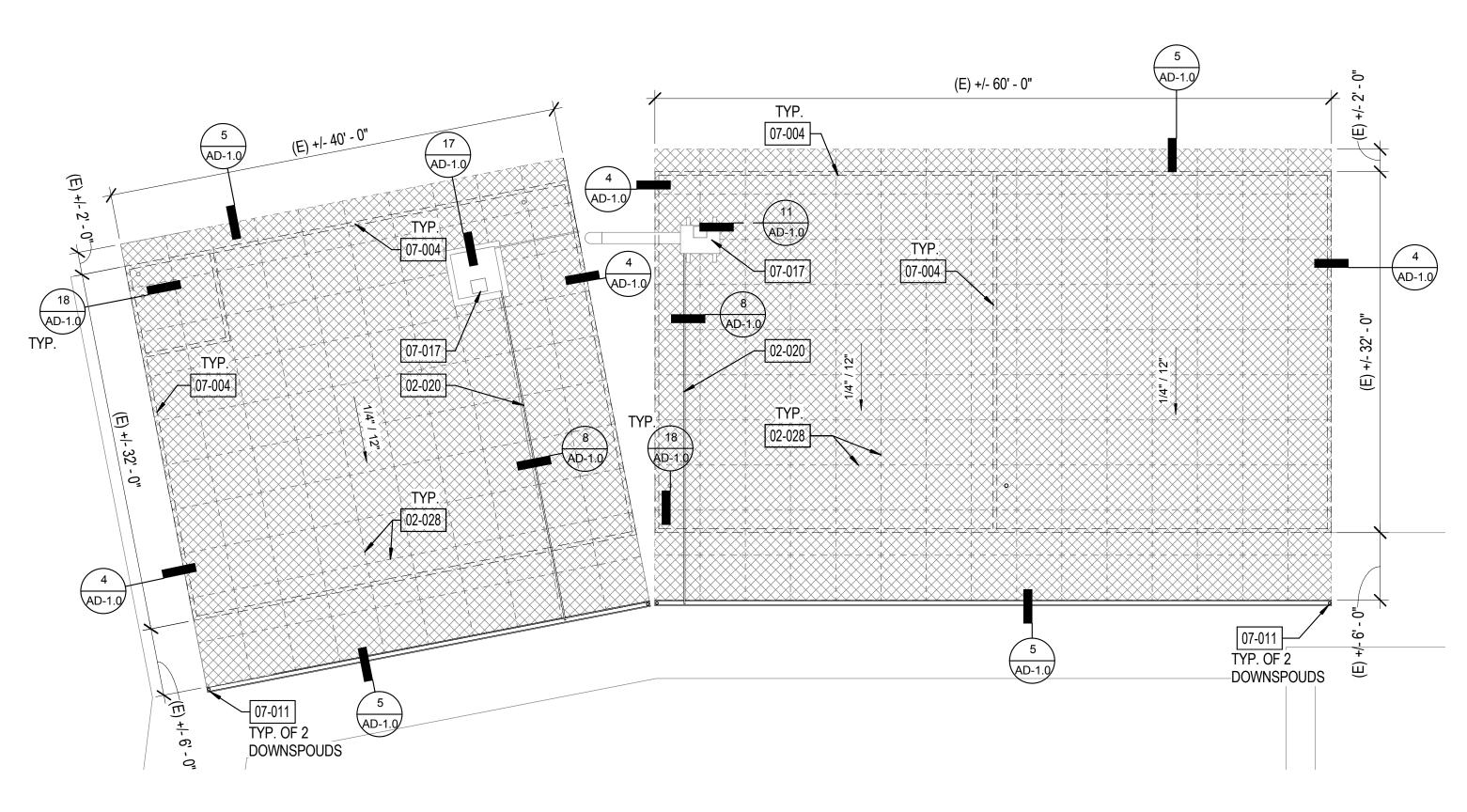
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BLDGS. A & C **ROOF DEMOLITION** PLAN

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D-1.0



1 BLDGS. A & C ROOF PLAN 1/8" = 1'-0"



SHEET GENERAL NOTES

- ALL ITEMS ARE NEW UNLESS OTHERWISE NOTED.
- ANY ROOFING MEMBERS OBSERVED TO BE COMPROMISED TO BE REPLACED IN COMPLIANCE WITH DSA-APPROVED EXISTING CONDITION
- VERIFY ON FIELD LOCATION OF MECHANICAL EQUIPMENT AND & TYPE OF UTILITY.
- TAPERED INSULATION TO BE SLOPED 1/4" IN ONE FOOT ON TOP OF EXISTING ROOF SLOPE.

LEGEND



CLASS A MODIFIED BITUMEN ROOFING O/ TAPERED BOARD INSULATION O/ (E) DECKING. REFER TO 7/AD-1.0 FOR ASSEMBLY.

(E) VENT PIPE THROUGH ROOF

(E) WALL BELOW

KEYNOTE LEGEND

INSTALL CONDENSATE LINE WITH TURN DOWN INTO GUTTER 02-028

TYP. LINE OF 4X4 TAPERED BOARD INSULATION PANEL.

LINE OF (E) WALL BELOW 07-004

07-011 INSTALL GUTTER AND DOWNSPOUT

PROTECT IN PLACE (E) HVAC UNIT, DETACH & TEMPORARILY SUPPORT UNIT AS REQUIRED FOR ROOFING WORK



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BLDGS. A & C **ROOF PLAN**

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A-1.0

