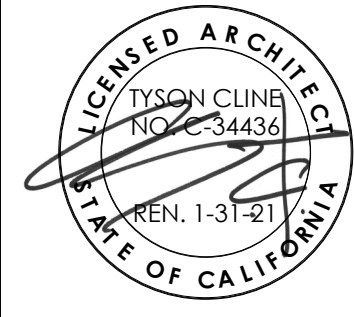


SUMMIT ELEMENATRY SCHOOL
ROOFING PROJECT NO. 2019-1406

OJAI UNIFIED SCHOOL DISTRICT

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OJAI
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SCHOOL
DISTRICT

SUMMIT
ELEMENTARY
SCHOOL
REROOFING
PROJECT

1401 MARICOPA HW
OJAI, CA 93023

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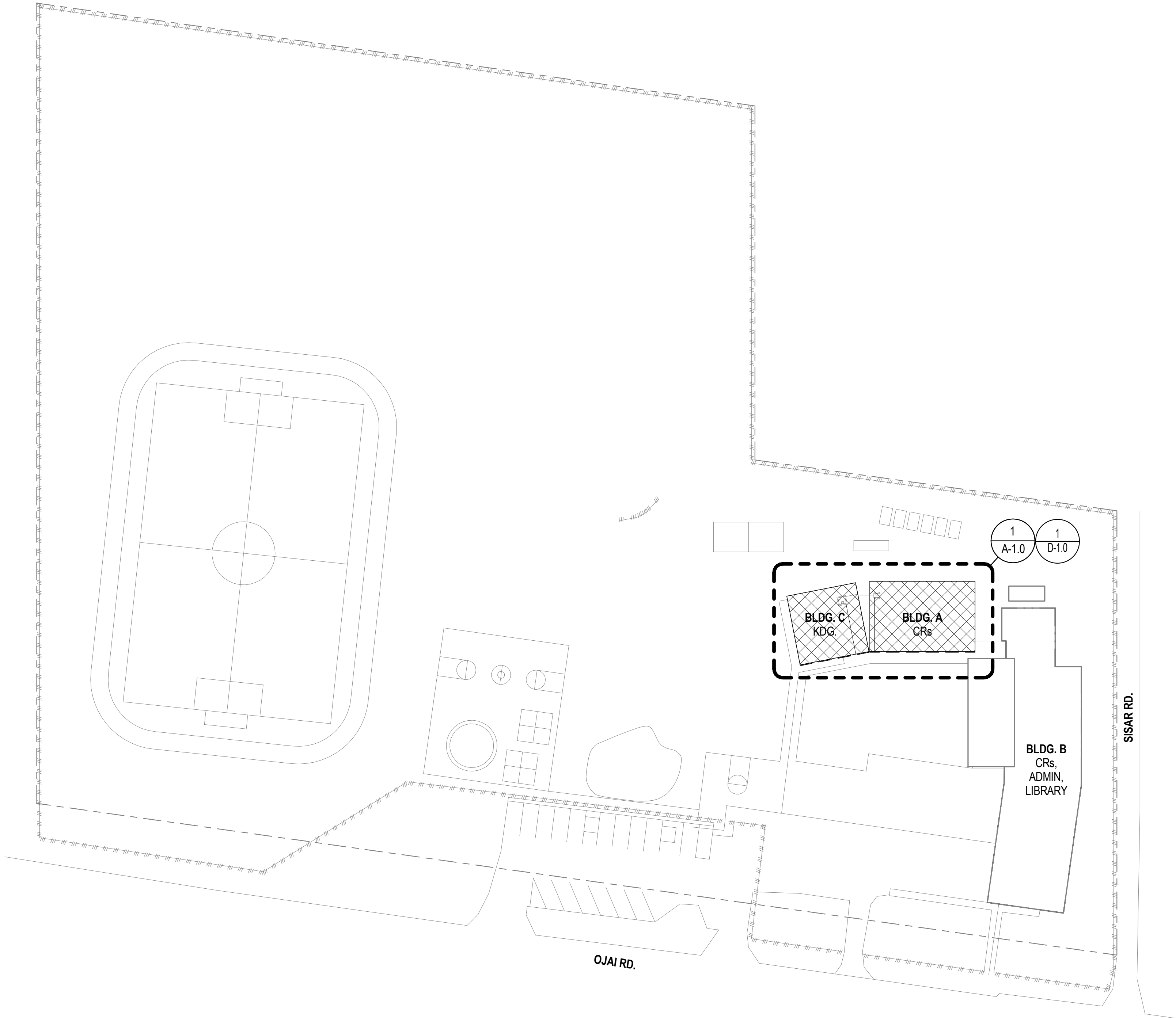
GENERAL PROJECT INFO.

	17761.
Date	08/08/
Drawn by	CL
Checked by	C
Sheet Number	

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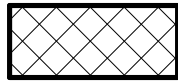
1 OVERALL SITE PLAN
1" = 40'-0"



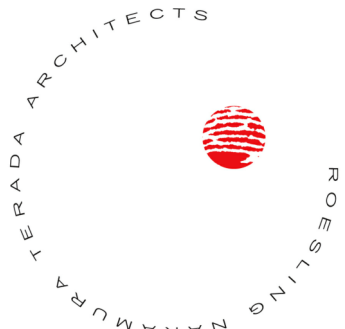
SHEET GENERAL NOTES

1. PROTECT ADJACENT STRUCTURES, EQUIPMENT, VEHICLES ETC. FROM OVERSPRAY

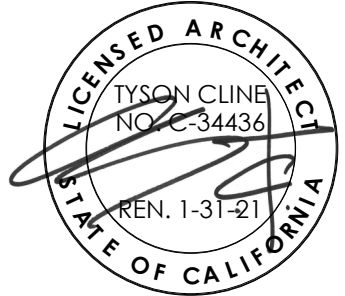
LEGEND

 REMOVE AND REPLACE ROOF

KEYNOTE LEGEND



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100% CDs

No.	Description	Date

Sheet Name

OVERALL
SITE PLAN

	17761.11
Date	08/08/19
Drawn by	CLD
Checked by	CY
Sheet Number	

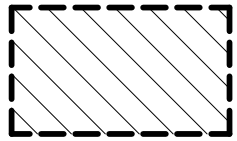
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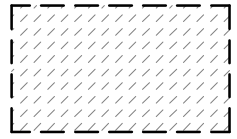
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
SHEET GENERAL NOTES


- EXISTING ROOF DEMOLITION REQUIRES REMOVAL OF ROOF MEMBRANE.
- AFTER REMOVAL OF ROOFING, THE ARCHITECT WILL REVIEW THE EXISTING PLYWOOD SUBSTRATE. IF PORTIONS OF PLYWOOD REQUIRE REPLACEMENT, THE ARCHITECT WILL IDENTIFY AND PROVIDE WRITTEN DIRECTION TO THE CONTRACTOR TO AUTHORIZE THE WORK. SUCH COSTS WILL BE APPLIED **AGAINST ALLOWANCE NO. 1**.
- EXISTING ROOFING MATERIALS SCHEDULED FOR DEMOLITION HAVE BEEN TESTED AND BEEN FOUND NOT TO CONTAIN ASBESTOS. THIS DOES NOT GUARANTEE THAT ALL ROOFING MATERIALS WILL BE FREE OF ASBESTOS. IF ASBESTOS IS FOUND, COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS FOR ASBESTOS ABATEMENT. DO NOT CUT INTO EXISTING PLYWOOD ROOF SHEATHING DURING ROOFING DEMOLITION. ANY PLYWOOD CUT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- DETACH UTILITIES FROM SUPPORTS AND TEMPORARILY SUPPORT AS REQUIRED TO REMOVE AND REPLACE ROOFING.
- REMOVE ALL EXISTING ROOF JACKS AT PIPE OR CONDUIT PENETRATIONS AND PREP TO RECEIVE NEW SEALED PENETRATION PER DETAIL 6/AD-100.
- VERIFY ON FIELD LOCATION OF MECHANICAL EQUIPMENT AND & TYPE OF UTILITY.


LEGEND

- 

REMOVE AND REPLACE ROOF
- 

ASSUMED ROOF SHEATHING REPLACEMENT AT EAVES/ EDGES
- 

(E) VENT PIPE THROUGH ROOF
- 

(E) WALL BELOW
- 

DEMOLISH (E) ITEM

KEYNOTE LEGEND

- 02-015

PROTECT IN PLACE (E) UTILITY LINE
- 02-027

P.I.P. (E) HVAC DUCTS
- 07-004

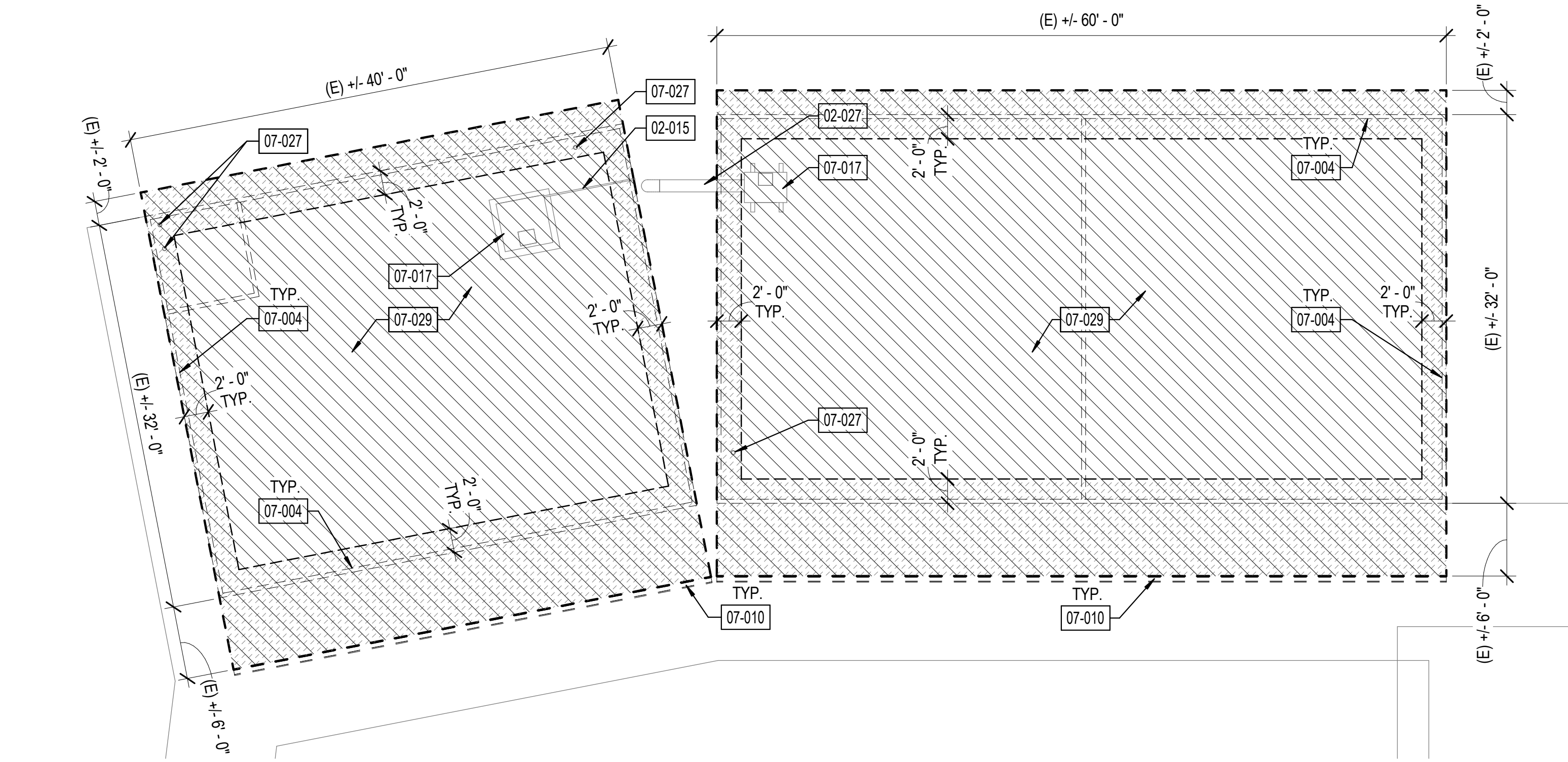
LINE OF (E) WALL BELOW
- 07-010

REMOVE (E) GUTTER AND (E) DOWNSPOUT
- 07-017

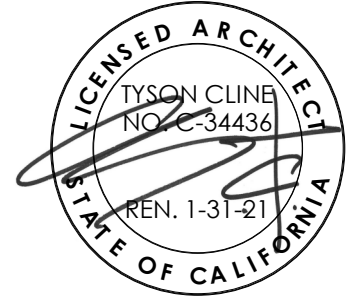
PROTECT IN PLACE (E) HVAC UNIT, DETACH & TEMPORARILY SUPPORT UNIT AS REQUIRED FOR ROOFING WORK
- 07-027

PROTECT IN PLACE (E) ROOF VENT PIPE
- 07-029

DEMOLISH (E) ROOF



1 BLDGS. A & C ROOF DEMOLITION PLAN
1/8" = 1'-0"



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No.	Description	Date

Sheet Name

BLDGS. A & C
ROOF
DEMOLITION
PLAN

17761.11
Date08/08/19
Drawn byCLD
Checked byCY
Sheet Number

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SUMMIT
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REROOFING
PROJECT

401 MARICOPA HWY
OJAI, CA 93023

100% CDs

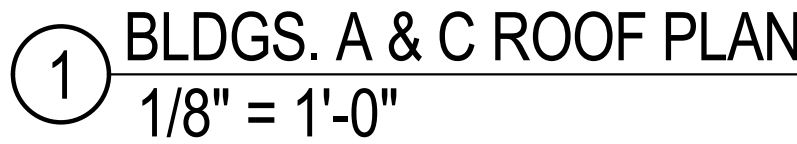
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Sheet Name

BLDGS. A & C
ROOF PLAN

	17761.11
Date	08/08/19
Drawn by	CLD
Checked by	CY
Sheet Number	

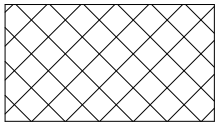
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SHEET GENERAL NOTES

1. ALL ITEMS ARE NEW UNLESS OTHERWISE NOTED.
2. ANY ROOFING MEMBERS OBSERVED TO BE COMPROMISED TO BE REPLACED IN COMPLIANCE WITH DSA-APPROVED EXISTING CONDITION DRAWINGS.
3. VERIFY ON FIELD LOCATION OF MECHANICAL EQUIPMENT AND TYPE OF UTILITY.
4. TAPERED INSULATION TO BE SLOPED 1/4" IN ONE FOOT ON TOP OF EXISTING ROOF SLOPE.

LEGEND



CLASS A MODIFIED BITUMEN ROOFING O/
TAPERED BOARD INSULATION O/ (E) DECKING
REFER TO 7/AD-1.0 FOR ASSEMBLY.

(E) VENT PIPE THROUGH ROOF

(E) WALL BELOW

KEYNOTE LEGEND

02-020	INSTALL CONDENSATE LINE WITH TURN DOWN INTO GUTTER
02-028	TYP. LINE OF 4X4 TAPERED BOARD INSULATION PANEL.
07-004	LINE OF (E) WALL BELOW
07-011	INSTALL GUTTER AND DOWNSPOUT
07-017	PROTECT IN PLACE (E) HVAC UNIT, DETACH & TEMPORARILY SUPPORT UNIT AS REQUIRED FOR ROOFING WORK

