

**STANDARD FORM CONSTRUCTION BID AGREEMENT**

**THIS AGREEMENT** is dated as of the 27<sup>th</sup> day of July in the year 2021 by and between Santa Rosa County, a political subdivision of the state of Florida (hereinafter called Owner) and Wolfe Construction, Inc. (hereinafter-called Contractor).

Owner and Contractor, in consideration of the mutual covenants hereinafter set forth, agree as follows:

**Article 1. WORK.**

Contractor shall complete all Work as specified or indicated in the Contract Documents. The Work is generally described as follows:

**HOUSING RECONSTRUCTION - 8801 BUDDY HARDY ROAD, MILTON, FL AS  
PRESCRIBED IN ITB 21-043**

**Article 2. ENGINEER.**

The Project has been designed by

**IRBY ENGINEERING**

Who is hereinafter called Engineer and who is to act as Owner's representative, assume all duties and responsibilities and have the rights and authority assigned to Engineer in the Contract Documents in connection with completion of the Work in accordance with the Contract Documents.

**Article 3. CONTRACT TIMES.**

3.1 The Work will be substantially completed within 120 calendar days after the date when the Contract Times commence to run, and completed and ready for final payment within 150 calendar days after the date when the Contract Times commence to run.

3.2 Liquidated Damages. Owner and Contractor recognize that time is of the essence of this Agreement and that Owner will suffer financial loss if the Work is not completed within the times specified in paragraph 3.1 above, plus any extensions thereof allowed by the Owner. They also recognize the delays, expense and difficulties involved in proving the actual loss suffered by Owner if the Work is not completed on time. Accordingly, instead of requiring of such proof, Owner and Contractor agree that as liquidated damages for delay (but not as a penalty) Contractor shall pay Owner the amount specified in Paragraph 3.3. for each day that expires after the time specified in paragraph 3.1 for Substantial Completion until the Work is substantially complete. After Substantial Completion, if Contractor shall neglect, refuse, or fail to complete the remaining Work within the time specified in paragraph 3.1 for completion and readiness for final payment or any proper extension thereof granted by Owner, Contractor shall pay Owner the amount specified in Paragraph 3.3. for each day that expires after the time specified in paragraph 3.1 for completion and readiness for final payment. The Contractor hereby expressly waives and relinquishes any right which it may have to seek to characterize the liquidated damages as a penalty, which the parties agree represents a fair and reasonable estimate of the Owner's actual damages at the time of contracting if the Contractor fails to substantially complete the Work in a timely manner.

3.3 Liquidated Damages are based upon the original contract amount, as established by Santa Rosa County. Liquidated damages, based upon the original contract amount of \$112,475.00 will be Two-

Hundred-Fifty Dollars (\$250.00) per calendar day.

***LIQUIDATED DAMAGES SCHEDULE***

Phase	Begin Date	Consecutive Calendar Days to Complete	Liquidated Damages
Entire Project	Notice to Proceed	120	<b>Daily Rate as Referenced on ITB 21-043</b>

**Article 4. CONTRACT PRICE.**

Owner shall pay Contractor for completion of the Work in accordance with the Contract Documents an amount in current funds equal to the sum of the established unit price for each separately identified item of Unit Price Work times the estimated quantity of that item as indicated in the Bid Schedule submitted in the Bid Form. The cost of this project is \$112,475.00 as per the attached Contractor bid.

Estimated quantities are not guaranteed, and determinations of actual quantities and classification are to be made by Engineer.

**Article 5. PAYMENT PROCEDURES**

Contractor shall submit Application for Payment in accordance with Contract. Applications for Payment will be processed by Engineer as provided in the contract.

5.1 *Progress Payments; Retainage.* Owner shall make progress payments on account of the Contract Price on the basis of Contractor's Applications for Payment as recommended by Engineer, on or about the fifteenth (15th) day of each month during construction as provided in paragraphs 5.1.1 and 5.1.2 below. All such payments will be measured based on the number of units completed. Payments to the Contractor shall in no way imply approval or acceptance of Contractor's work

5.1.1 Prior to Substantial completion, payments will be made in an amount equal to the percentage indicated below, but, in each case, less the aggregate of payments previously made and less such amounts as Engineer shall determine, or Owner may withhold.

95 % of Work completed (with the balance being retainage). Once the Contractor completes at least 50% of the Work based on approved pay applications, the retainage will be reduced from 10% to 5% for the remainder of the project. Therefore, following completion of at least 50% of the Work, the Contractor may be paid 95 % of Work completed (with the balance being retainage).

95 % (with the balance being retainage) of materials and equipment not incorporated in the Work (but delivered, suitably stored and accompanied by documentation satisfactory to Owner). Once the Contractor completes at least 50% of the Work based on approved pay applications, the retainage will be reduced from 10% to 5% for the remainder of the project. Therefore, following completion of at least 50% of the Work, the Contractor may be paid 95 % of materials and equipment not incorporated in the Work (but delivered, suitably stored and accompanied by documentation satisfactory to Owner).

5.1.2 Upon Substantial Completion, in an amount sufficient to increase total payments to Contractor to 95 % of the Contract Price (with the balance being retainage), less such amounts as Engineer shall determine, or Owner may withhold..

5.1.3 Retainage requirements may be changed to reflect a proposed change to state regulatory statutes.

5.2 *Final Payment.* Upon final completion and acceptance of the Work, Owner shall pay the remainder of the Contract Price as recommended by Engineer.

5.2.1 Contractor's acceptance of final payment shall constitute a full waiver of any and all claims by Contractor against the County arising out of this Agreement or otherwise relating to the Project, except those previously made in writing and identified by Contractor as unsettled at the time of the final Application for Payment. Neither the acceptance of the Work nor payment by the County shall be deemed to be a waiver of the County's right to enforce any obligations of the Contractor hereunder or to the recovery of damages for defective Work not discovered by the Engineer or the County at the time of final inspection.

### 5.3 Payments Withheld

5.3.1 The Engineer or the County may decline to approve any Applications for Payment, or portions thereof, because of subsequently discovered evidence or subsequent inspections. The Engineer or the County may nullify the whole or any part of any inspections. The Engineer or the County may nullify the whole or any part of any approval for payment previously issued and the County may withhold any payments otherwise due Contractor under this Agreement or any other agreement between the County and the Contractor, to such extent as may be necessary in the County's opinion to protect it from loss because of:

5.3.1.1 Defective Work not remedied;

5.3.1.2 Third party claims filed or reasonable evidence indicating probable filing of such claims;

5.3.1.3 Failure of Contractor to make payment properly to subcontractors or for labor, materials or equipment;

5.3.1.4 Reasonable doubt that the Work can be completed for the unpaid balance of the Contract Amount;

5.3.1.5 Reasonable indication that the Work will not be completed within the Contract Time;

5.3.1.6 Unsatisfactory prosecution of the Work by the Contractor;

5.3.1.7 Failure to provide accurate and current "As-Builts"; or

5.3.1.8 Any other material breach of the Contract Documents.

5.3.2 If these conditions in Subsection 5.3.1 are not remedied or removed, the County may after three (3) days written notice, rectify the same at Contractor's expense. The County also may offset against any sums due Contractor the amount of any liquidated or unliquidated obligations of Contractor to the County, whether relating to or arising out of his Agreement or any other agreement between Contractor and the County.

## Article 6. CONTRACTOR'S REPRESENTATIONS.

In order to induce Owner to enter into this Agreement Contractor makes the following representations:

6.1 Contractor has examined and carefully studied the Contract Documents (including the Addenda listed in Article 7) and the other related data identified in the Project Documents including "technical data."

6.2 Contractor has visited the site and become familiar with and is satisfied as to the general, local, and site conditions that may affect cost, progress, performance or furnishing of the Work.

6.3 Contractor is familiar with and is satisfied as to all federal, state, and local Laws and Regulations that may affect cost, progress, performance and furnishing of the Work.

6.4 Contractor has carefully studied all reports of explorations and tests of subsurface conditions at or contiguous to site and all drawings of physical conditions in or relating to existing surface or subsurface structures at or contiguous to the site (except Underground Facilities) which have been identified in the Bid documents. Contractor acknowledges that such reports and drawings are not Contract Documents and may not be complete for Contractor's purposes. Contractor acknowledges that Owner and Engineer do not assume responsibility for the accuracy or completeness of information and data shown, indicated in the Contract Documents with respect to Underground Facilities at, or contiguous to the site. Contractor has obtained and carefully studied (or assumes responsibility for having done so) all such additional supplementary examinations, investigations, explorations, tests, studies, and data concerning conditions (surface, subsurface, and Underground Facilities) at or contiguous to the site or otherwise which may affect cost, progress, performance, or furnishing of the Work or which relate to any aspect of the means, methods, techniques, sequences, and procedures of construction to be employed by Contractor and safety precautions, and programs incident thereto. Contractor does not consider that any additional examinations, investigations, explorations, tests, studies, or data are necessary for the performance and furnishing of the Work at the Contract Price, within the Contract Times and in accordance with the other terms and conditions of the Contract Documents.

6.5 Contractor is aware of the general nature of work to be performed by Owner and others at the site that relates to the Work as indicated in the Contract Documents.

6.6. Contractor has correlated the information known to Contractor, information and observation obtained from visits to the site, reports, and drawings identified in the Contract Documents and all additional examinations, investigations, explorations, tests, studies, and data with the Contract Documents.

6.7. Contractor has given Engineer written notice of all conflicts, errors, ambiguities or discrepancies that Contractor has discovered in the Contract Documents and the written resolution thereof by Engineer is acceptable to Contractor, and the Contract Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishing of the Work.

## **Article 7. CONTRACT DOCUMENTS**

The Contract Documents that comprise the entire agreement between Owner and Contractor concerning the Work consist of the following:

7.1 This Agreement

7.2 Exhibit A - Contractor's Bid

7.3 Exhibit B- Civil Rights Requirements

7.4 Exhibit C – Vendors on Scrutinized Companies List

7.5 Any other documents necessary to clarify and memorialize the agreement between Contractor and Owner.

**Article 8. PUBLIC RECORDS**

Any record created by either party in accordance with this Contract shall be retained and maintained in accordance with the public records law, Florida Statutes, Chapter 119.

**IF THE CONTRACTOR HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO THE CONTRACTOR'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS CONTRACT, CONTACT THE CUSTODIAN OF PUBLIC RECORDS AT (850) 983-1925 or wandap@santarosa.fl.gov.**

Contractor must comply with the public records laws, Florida Statute chapter 119, specifically Contractor must:

- 8.1 Keep and maintain public records required by the County to perform the service.
- 8.2 Upon request from the County's custodian of public records, provide the County with a copy of the requested records or allow the records to be inspected or copied within a reasonable time at a cost that does not exceed the cost provided in chapter 119 Florida Statutes or as otherwise provided by law.
- 8.3 Ensure that public records that are exempt or confidential and exempt from public records disclosure requirements are not disclosed except as authorized by law for the duration of the contract term and following completion of the contract if the consultant does not transfer the records to the County.
- 8.4 Upon completion of the contract, transfer, at no cost, to the County all public records in possession of the contractor or keep and maintain public records required by the County to perform the service. If the contractor transfers all public records to the public agency upon completion of the contract, the consultant shall destroy any duplicate public records that are exempt or confidential and exempt from public records disclosure requirements. If the consultant keeps and maintains public records upon completion of the contract, the contractor shall meet all applicable requirements for retaining the public records. All records stored electronically must be provided to the public agency, upon the request from the public agency's custodian of public records, in a format that is compatible with the information technology systems of the public agency.

**Article 9. AUDIT**

The County and/or its designee shall have the right from time to time at its sole expense to audit the compliance by the Contractor with the terms, conditions, obligations, limitations, restrictions, and requirements of this Contract and such right shall extend for a period of three (3) years after termination of this Contract.

**Article 10. TERMINATION FOR CONVENIENCE**

Owner may at any time and for any reason terminate Contractor's services and work at Owner's convenience. Upon receipt of such notice, Contractor shall, unless the notice directs otherwise, immediately

discontinue the work and placing of orders for materials, facilities and supplies in connection with the performance of this Agreement.

Upon such termination, Contractor shall be entitled to payment only as follows: (1) the actual cost of the work completed in conformity with this Agreement; plus, (2) such other costs actually incurred by Contractor as are permitted by the prime contract and approved by Owner; (3) plus ten percent (10%) of the cost of the work referred to in subparagraph (1) above for overhead and profit. There shall be deducted from such sums as provided in this subparagraph the amount of any payments made to Contractor prior to the date of the termination of this Agreement. Contractor shall not be entitled to any claim or claim of lien against Owner for any additional compensation or damages in the event of such termination and payment. Further, Owner may terminate this contract immediately for failure of contractor to comply with Chapter 119, Florida Statutes.

#### **Article 11. VIOLATIONS OF CHAPTER 119 FLORIDA STATUTES**

The County reserves the right to terminate this agreement immediately for failure of Contractor to adhere to the requirements of Florida Statutes Chapter 119.

#### **Article 12. MISCELLANEOUS.**

12.1 Terms used in this Agreement which are defined in the Bid documents.

12.2 No assignment by a party hereto of any rights under or interests in the Contract Documents will be binding on another party hereto without the written consent of the party sought to be bound; and, specifically but without limitation, moneys that may become due and moneys that are due may not be assigned without such consent (except to the extent that the effect of this restriction may be limited by law), and unless specifically stated to the contrary in any written consent to an assignment no assignment will release or discharge the assignor from any duty or responsibility under the Contract Documents.

12.3 Owner and Contractor each binds itself, its partners, successors, assigns and legal representatives to the other party hereto, its partners, successors, assigns and legal representatives in respect to all covenants, agreements, and obligations contained in the Contract Documents.

12.4 Any provisions or part of the Contract Documents held to be void or unenforceable under any Law or Regulation shall be deemed stricken, and all remaining provisions shall continue to be valid and binding upon Owner and Contractor, who agree that the Contract Documents shall be reformed to replace such stricken provision or part thereof with a valid and enforceable provision that comes as close as possible to expressing the intention of the stricken provision

12.5 All documents prepared by the Contractor pursuant to this Agreement and related Services to this Agreement are intended and represented for the ownership of the County only. Any other use by Contractor or other parties shall be approved in writing by the County. If requested, Contractor shall deliver the documents to the County within fifteen (15) calendar days.

#### **Article 13. GOVERNING LAW, VENUE AND WAIVER OF JURY TRIAL.**

This Agreement shall be interpreted and construed in accordance with and governed by the laws of the State of Florida. All parties agree and accept that jurisdiction of any dispute or controversy arising out of this Agreement, and any action involving the enforcement or interpretation of any rights hereunder shall be

brought exclusively in the First Judicial Circuit in and for Santa Rosa County, Florida, and venue for litigation arising out of this Agreement shall be exclusively in such state courts, forsaking any other jurisdiction which either party may claim by virtue of its residency or other jurisdictional device. In the event it becomes necessary for the County to file a lawsuit to enforce any term or provision under this Agreement, then the County shall be entitled to its costs and attorney's fees at the pretrial, trial and appellate levels. BY ENTERING INTO THIS AGREEMENT, CONTRACTOR AND COUNTY HEREBY EXPRESSLY WAIVE ANY RIGHTS EITHER PARTY MAY HAVE TO A TRIAL BY JURY OF ANY CIVIL LITIGATION RELATED TO THIS AGREEMENT. Nothing in this Agreement is intended to serve as a waiver of sovereign immunity, or of any other immunity, defense, or privilege enjoyed by the County pursuant to Section 768.28, Florida Statutes.

#### **Article 14. CIVIL RIGHTS.**

The Contractor agrees to comply with pertinent statutes, Executive Orders and such rules as are promulgated to ensure that no person shall, on the grounds of race, creed, color, national origin, sex, age, or disability be excluded from participating in any activity conducted with or benefiting from Federal assistance. This provision binds the Contractor and subcontractors from the bid solicitation period through the completion of the contract. This provision is in addition to that required by Title VI of the Civil Rights Act of 1964.

#### **ARTICLE 15. COMPLIANCE WITH NONDISCRIMINATION REQUIREMENTS.**

During the performance of this Agreement, the Contractor, for itself, its assignees, and successors in interest, agrees as follows:

- a. Compliance with Regulations: The Contractor will comply with the Title VI List of Pertinent Nondiscrimination Acts and Authorities, as they may be amended from time to time, which are herein incorporated and attached hereto as Attachment "C".
- b. Nondiscrimination: The Contractor, with regard to the work performed by it during the Agreement, will not discriminate on the grounds of race, color, or national origin in the selection and retention of subcontractors, including procurements of materials and leases of equipment. The Contractor will not participate directly or indirectly in the discrimination prohibited by the Nondiscrimination Acts and Authorities, including employment practices when the contract covers any activity, project, or program set forth in Appendix B of 49 CFR part 21.
- c. Solicitations for Subcontracts, including Procurements of Materials and Equipment: In all solicitations, either by competitive bidding or negotiation made by the Contractor for work to be performed under a subcontract, including procurements of materials, or leases of equipment, each potential subcontractor or supplier will be notified by the Contractor of the contractor's obligations under this contract and the Nondiscrimination Acts and Authorities on the grounds of race, color, or national origin.
- d. Information and Reports: The Contractor will provide all information and reports required by the Acts, the Regulations, and directives issued pursuant thereto and will permit access to its books, records, accounts, other sources of information, and its facilities as may be determined by the County or other governmental entity to be pertinent to ascertain compliance with such Nondiscrimination Acts and Authorities and instructions. Where any information required of a contractor is in the exclusive possession of another who fails or refuses to furnish the information, the Contractor will so certify to the County or the other governmental entity, as appropriate, and will set forth what efforts it has made to obtain the information.

e. Sanctions for Noncompliance: In the event of a Contractor's noncompliance with the non-discrimination provisions of this contract, the County will impose such contract sanctions as it or another applicable state or federal governmental entity may determine to be appropriate, including, but not limited to:

a. Withholding payments to the Contractor under the Agreement until the Contractor complies; and/or

b. Cancelling, terminating, or suspending the Agreement, in whole or in part.

f. Incorporation of Provisions: The Contractor will include the provisions of paragraphs one through six in every subcontract, including procurements of materials and leases of equipment, unless exempt by the Acts, the Regulations, and directives issued pursuant thereto. The Contractor will take action with respect to any subcontract or procurement as the County may direct as a means of enforcing such provisions including sanctions for noncompliance. Provided, that if the Contractor becomes involved in, or is threatened with litigation by a subcontractor, or supplier because of such direction, the Contractor may request the County to enter into any litigation to protect the interests of the County. In addition, the Contractor may request the United States to enter into the litigation to protect the interests of the United States.

#### **ARTICLE 16. COMPLIANCE WITH LAWS.**

Contractor shall secure any and all permits, licenses and approvals that may be required in order to perform the Services, shall exercise full and complete authority over Contractor's personnel, shall comply with all workers' compensation, employer's liability and all other federal, state, county, and municipal laws, ordinances, rules and regulations required of an employer performing services such as the Services, and shall make all reports and remit all withholdings or other deductions from the compensation paid to Contractor's personnel as may be required by any federal, state, county, or municipal law, ordinance, rule, or regulation.

#### **ARTICLE 17. CONFLICT OF INTEREST.**

The Contractor covenants that it presently has no interest and shall not acquire any interest, directly or indirectly which could conflict in any manner or degree with the performance of the Services. The Contractor further covenants that in the performance of this Agreement, no person having any such interest shall knowingly be employed by the Contractor. The Contractor guarantees that he/she has not offered or given to any member of, delegate to the Congress of the United States, any or part of this contract or to any benefit arising therefrom.

#### **ARTICLE 18. INDEPENDENT CONTRACTOR.**

Contractor enters into this Agreement as, and shall continue to be, an independent contractor. All services shall be performed only by Contractor and Contractor's employees. Under no circumstances shall Contractor or any of Contractor's employees look to the County as his/her employer, or as partner, agent or principal. Neither Contractor, nor any of Contractor's employees, shall be entitled to any benefits accorded to the County's employees, including without limitation worker's compensation, disability insurance, vacation or sick pay. Contractor shall be responsible for providing, at Contractor's expense, and in Contractor's name, unemployment, disability, worker's compensation and other insurance as well as licenses and permits usual and necessary for conducting the services to be provided under this Agreement.



**ARTICLE 19. THIRD PARTY BENEFICIARIES.**

It is specifically agreed between the parties executing this Agreement that it is not intended by any of the provisions of any part of the Agreement to create in the public or any member thereof, a third party beneficiary under this Agreement, or to authorize anyone not a party to this Agreement to maintain a suit for personal injuries or property damage pursuant to the terms or provisions of this Agreement.

**ARTICLE 20. INDEMNIFICATION AND WAIVER OF LIABILITY.**

The Contractor agrees, to the fullest extent permitted by law, to defend, indemnify and hold harmless the County, its agents, representatives, officers, directors, officials and employees from and against claims, damages, losses and expenses (including but not limited to attorney's fees, court costs and costs of appellate proceedings) relating to, arising out of or resulting from the Contractor's negligent acts, errors, mistakes or omissions relating to professional Services performed under this Agreement. The Contractor's duty to defend, hold harmless and indemnify the County its agents, representatives, officers, directors, officials and employees shall arise in connection with any claim, damage, loss or expense that is attributable to bodily injury; sickness; disease; death; or injury to impairment, or destruction of tangible property including loss of use resulting therefrom, caused by any negligent acts, errors, mistakes or omissions related to Services in the performance of this Agreement including any person for whose acts, errors, mistakes or omissions the Contractor may be legally liable. The parties agree that TEN DOLLARS (\$10.00) represents specific consideration to the Contractor for the indemnification set forth herein.

The waiver by a party of any breach or default in performance shall not be deemed to constitute a waiver of any other or succeeding breach or default. The failure of the County to enforce any of the provisions hereof shall not be construed to be a waiver of the right of the County thereafter to enforce such provisions.

**ARTICLE 21. TAXES AND ASSESSMENTS.**

Contractor agrees to pay all sales, use, or other taxes, assessments and other similar charges when due now or in the future, required by any local, state or federal law, including but not limited to such taxes and assessments as may from time to time be imposed by the County in accordance with this Agreement. Contractor further agrees that it shall protect, reimburse and indemnify County from and assume all liability for its tax and assessment obligations under the terms of the Agreement.

The County is exempt from payment of Florida state sales and use taxes. The Contractor shall not be exempted from paying sales tax to its suppliers for materials used to fulfill contractual obligations with the County, nor is the Contractor authorized to use the County's tax exemption number in securing such materials.

The Contractor shall be responsible for payment of its own and its share of its employees' payroll, payroll taxes, and benefits with respect to this Agreement.

**ARTICLE 22. PROHIBITION AGAINST CONTRACTING WITH SCRUTINIZED COMPANIES.**

Pursuant to Florida Statutes Section 215.4725, contracting with any entity that is listed on the Scrutinized Companies that Boycott Israel List or that is engaged in the boycott of Israel is prohibited. Contractors must certify that the company is not participating in a boycott of Israel. Any contract for goods or services of One Million Dollars (\$1,000,000) or more shall be terminated at the County's option if it is discovered that the entity submitted false documents of certification, is listed on the Scrutinized Companies with Activities

in Sudan List, the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List, or has been engaged in business operations in Cuba or Syria after July 1, 2018.

Any contract entered into or renewed after July 1, 2018 shall be terminated at the County's option if the company is listed on the Scrutinized Companies that Boycott Israel List or engaged in the boycott of Israel. Contractors must submit the certification that is attached to this agreement as Attachment "D". Submitting a false certification shall be deemed a material breach of contract. The County shall provide notice, in writing, to the Contractor of the County's determination concerning the false certification. The Contractor shall have ninety (90) days following receipt of the notice to respond in writing and demonstrate that the determination was in error. If the Contractor does not demonstrate that the County's determination of false certification was made in error, then the County shall have the right to terminate the contract and seek civil remedies pursuant to Florida Statute Section 215.4725.

#### **ARTICLE 23. PROCUREMENT OF RECOVERED MATERIALS.**

Contractor and any subcontractors agree to comply with Section 6002 of the Solid Waste Disposal Act, as amended by the Resource Conservation and Recovery Act, and the regulatory provisions of 40 CFR Part 247. In the performance of this contract and to the extent practicable, the Contractor and subcontractors are to use products containing the highest percentage of recovered materials for items designated by the Environmental Protection Agency (EPA) under 40 CFR Part 247 whenever:

- 1) The contract requires procurement of \$10,000 or more of a designated item during the fiscal year; or
- 2) The contractor has procured \$10,000 or more of a designated item using Federal funding during the previous fiscal year.

The list of EPA-designated items is available at [www.epa.gov/smm/comprehensive-procurement-guidelines-construction-products](http://www.epa.gov/smm/comprehensive-procurement-guidelines-construction-products).

Section 6002(c) establishes exceptions to the preference for recovery of EPA-designated products if the contractor can demonstrate the item is:

- a) Not reasonably available within a timeframe providing for compliance with the contract performance schedule;
- b) Fails to meet reasonable contract performance requirements; or
- c) Is only available at an unreasonable price.

#### **ARTICLE 24. DEBARMENT AND SUSPENSION.**

Contractor as part of the procurement response has submitted to the County a certification that Contractor and its principals, if applicable, are not presently debarred or suspended by any Federal department or agency from participating in this transaction. Contractor now agrees to verify, to the extent applicable, that for each lower tier subcontractor that exceeds \$25,000 as a "covered

transaction” under the Services to be provided is not presently disbarred or otherwise disqualified from participating in the federally assisted services. The Contractor agrees to accomplish this verification by:

1. Checking the System for Award Management at website: <http://www.sam.gov>.
2. Collecting a certification statement similar to the Certification of Offerer /Bidder Regarding Debarment, above.
3. Inserting a clause or condition in the covered transaction with the lower tier contract.

**ARTICLE 25. MINORITY/WOMEN’S BUSINESS ENTERPRISES.**

Contractor must take all necessary affirmative steps to assure that minority businesses, women’s business enterprises, and labor surplus area firms are used when possible, in accordance with 2 CFR 200.321. If subcontracts are to be let, prime contractor will require compliance by all sub-contractors. Information regarding certified M/WBE firms can be obtained from (the following list is not exhaustive):

- Florida Department of Management Services (Office of Supplier Diversity);
- Florida Department of Transportation;
- Minority Business Development Center in most large cities; and
- Local Government M/DBE programs in many large counties and cities.

**ARTICLE 26. SPECIAL CONDITIONS – ADDITIONAL FEDERAL REQUIREMENTS.**

As some or all of the Services to be provided under this Agreement may be funded with federal funds. Contractor agrees to adhere to the required additional federal requirements set forth in Attachment “E” and incorporated herein by reference.

**ARTICLE 27. GRANT OR AGREEMENT REQUIREMENTS.**

The County is in receipt of a grant or agreement identified as Local Housing Assistance Plan (LHAP) which shall be funding some or all of the Services to be provided under this Agreement. Contractor agrees to adhere to all of the requirements of the Grant or Agreement.

**ARTICLE 28. INCONSISTENCIES AND ENTIRE AGREEMENT.**

If there is a conflict or inconsistency between any term, statement, requirement, or provision of any attachment attached hereto, any document or events referred to herein, or any document incorporated into this Agreement, the term, statement, requirement, or provision contained in this Agreement shall prevail and be given superior effect and priority over any conflicting or inconsistent term, statement, requirement

or provision contained in any other document or attachment, including but not limited to Attachments listed in Section 1.

**ARTICLE 29. SEVERABILITY.**

If any term or condition of this Contract shall be deemed, by a court having appropriate jurisdiction, invalid or unenforceable, the remainder of the terms and conditions of this Contract shall remain in full force and effect. This Contract shall not be more strictly construed against either party hereto by reason of the fact that one party may have drafted or prepared any or all the terms and provisions hereof.

**ARTICLE 30. ENTIRE AGREEMENT.**

This Agreement and Exhibits A-C contains the entire agreement of the parties, and may be amended, waived, changed, modified, extended or rescinded only by in writing signed by the party against whom any such amendment, waiver, change, modification, extension and/or rescission is sought.

**ARTICLE 31. REPRESENTATION OF AUTHORITY TO CONTRACTOR/SIGNATORY.**

The individual signing this Agreement on behalf of Contractor represents and warrants that he or she is duly authorized and has legal capacity to execute and deliver this Agreement. The signatory represents and warrants to the County that the execution and delivery of this Agreement and the performance of the Services and obligations hereunder have been duly authorized and that the Agreement is a valid and legal agreement binding on the Contractor and enforceable in accordance with its terms.

(Remainder of Page Intentionally Left Blank)

**IN WITNESS WHEREOF**, Owner, and Contractor have signed this Agreement in triplicate. One counterpart each has been delivered to Owner, Contractor, and Engineer. All portions of the Contract Documents have been signed, initialed or identified by Owner, and Contractor, or identified by Engineer on their behalf.

This Agreement will be effective on July 27, 2021 (which is the Effective Date of the Agreement).

**WITNESS:**

L Dianne Wolfe  
Signature

L. Dianne Wolfe  
Print Name

BY: Phil Wolfe  
Phil Wolfe, President

**ATTEST:**



**SANTA ROSA COUNTY, FLORIDA**

Donald C. Spencer  
Donald C. Spencer, Clerk of Court

BY: David C. Piech  
David C. Piech, Chairman



# Exhibit A

## SANTA ROSA COUNTY PROCUREMENT DEPARTMENT

6495 Caroline Street, Suite L | Milton, Florida 32570 850-983-1870 [procurement@santarosa.fl.gov](mailto:procurement@santarosa.fl.gov)

### BID SUBMISSION CHECKLIST

**ITB 21-043 Housing Reconstruction - 8801 Buddy Hardy Road, Milton, FL**

**Contractor:** Wolfe Construction Inc.

Sealed Bid Package with Bid Name and Number, Firm name and Address with Contact information clearly marked on the outside of envelope/box.

1 Original Bid Package with 1 Electronic Copy in .pdf on a CD or USB Drive

Bid Submittal Checklist attached to top of Original Bid Package

Addendum (s) if any

Bid Bond

Bid Form

Schedule of Values, Unit Pricing

Cone of Silence

Sworn Statement Public Entity Crimes

Debarment Form

References Form

Conflict of Interest Form

State of Florida, Dept. of Professional Regulation Registration

County Contractors Certificate

Contractor's Liability Insurance Certificate

Workman's Compensation Insurance Certificate or Waiver issued by the State of Florida

W-9 Form

All required documentation submitted must be updated with most current and complete information from date of bid opening) including notarizations where required. Failure to submit all required forms may result in your submittal being deemed non-responsive. **ATTACH THIS PAGE TO THE TOP OF YOUR BID SUBMISSION**

Firm: Wolfe Construction Inc.

By: Phil Wolfe

Signature: <sup>(Print)</sup> Phil Wolfe

Title: President

Date: \_\_\_\_\_



# SANTA ROSA COUNTY PROCUREMENT DEPARTMENT

6495 Caroline Street, Suite L | Milton, Florida 32570 850-983-1870 [procurement@santarosa.fl.gov](mailto:procurement@santarosa.fl.gov)

## CONE OF SILENCE FORM

*SRC Procurement Form COS 013\_01\_091619*

The Board of County Commissioners have established a solicitation silence policy (Cone of Silence) that prohibits oral and written communication regarding all formal solicitations for goods and services (ITB, RFP, ITQ, ITN, and RFQ) or other competitive solicitation between the bidder (or its agents or representatives) or other entity with the potential for a financial interest in the award (or their respective agents or representatives) regarding such competitive solicitation, and any County Commissioner or County employee, selection committee member or other persons authorized to act on behalf of the Board including the County's Architect, Engineer or their sub-consultants, or anyone designated to provide a recommendation to award a particular contract, other than the Procurement Department Staff.

The period commences from the time of advertisement until contract award.

Any information thought to affect the committee or staff recommendation submitted after bids are due, should be directed to the Procurement Officer or an appointed representative. It shall be the Procurement Officers decision whether to consider this information in the decision process.

**Any violation of this policy shall be grounds to disqualify the respondent from consideration during the selection process.**

All respondents must agree to comply with this policy by signing the following statement and including it with their submittal.

I, Phil Wolfe representing Wolfe Construction Inc.

(Print)

(Company)

On this 16th day of June 2021 hereby agree to abide by the County's "Cone of Silence" clause and understand violation of this policy shall result in disqualification of my proposal/submittal.

Phil Wolfe

(Signature)



# SANTA ROSA COUNTY PROCUREMENT DEPARTMENT

6495 Caroline Street, Suite L | Milton, Florida 32570 850-983-1870 procurement@santarosa.fl.gov

## SWORN STATEMENT UNDER SETION 287.133 (3) (A) FLORIDA STATUTE ON PUBLIC ENTITY CRIMES

*SRC Procurement Form SSPEC 016 01 091619*

*THIS FORM MUST BE SIGNED IN THE PRESENCE OF A NOTARY PUBLIC OR OTHER OFFICER AUTHORIZED TO ADMINISTER OATHS.*

1. This sworn statement is submitted with Bid, Proposal or Contract for: \_\_\_\_\_  
8801 Buddy Hardy Rd Milton, Fl 32570
2. This sworn statement is submitted by, Phil Wolfe, whose business address is, 6816 Old Bagdad Hwy Milton Fla. 32583, and (if applicable) Federal Employer Identification Number (FEIN) is 59-3615633 (if the entity has no FEIN, include the Social Security Number of the individual signing this sworn statement).
3. My name is Phil Wolfe and my relationship to the entity named above is President (title).
4. I understand that a "public entity crime" as defined in paragraph 287.133 (1) (g) Florida Statute, means a violation of any state or federal law by a person with respect to and directly related to the transaction of business with any public entity or with an agency or political subdivision of any other state or with the United States including, but not limited to , any bid or contract for goods or services to be provided to any public entity or any agency or public subdivision of any other state or of the United States and involved antitrust, fraud, theft, bribery, collusion, racketeering, conspiracy or material misrepresentation.
5. I understand that "convicted" or "convicted" as defined in paragraph 287.133 (1) (b), Florida Statutes, means a finding of guilt or a conviction of a public entity crime with or without an adjudication of guilt, in any federal or state trial court of records relating to charges brought by indictment or information after July 1, 1989, as a result of a jury verdict, non-jury trial, or entry of a plea of guilty or nolo contendere.
6. I understand that an "affiliate" as defined in Paragraph 287 .133 (1) (a), Florida Statutes, means:
  - a. A predecessor or successor of a person convicted of a public entity crime; or
  - b. An entity under the control of any natural person who is active in the management of the entity and who has been convicted of a public entity crime. The term "affiliate" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in the management of an affiliate. The ownership by one of shares constituting a controlling income among persons when not for fair interest in another person, or a pooling of equipment or income among persons when not for fair market value under an length agreement, shall be a prima facie case that one person controls another person. A person who knowingly convicted of a public entity crime, in Florida during the preceding 36 months shall be considered an affiliate.
7. I understand that a "person" as defined in paragraph 287 .133 (1) (e), Florida Statutes, means any natural person or entity organized under the laws of the state or of the United States with the legal power to enter into a binding contract provision of goods or services let by a public entity, or which otherwise transacts or applies to transact business with a public entity. The term "person" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in management of an entity.





# SANTA ROSA COUNTY PROCUREMENT DEPARTMENT

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8. Based on information and belief, the statement which I have marked below is true in relation to the entity submitting this sworn statement. (Please indicate which statement applies)

- Neither the entity submitting this sworn statement, nor any officers, directors, executive, partners, shareholders, employees, member, or agents who are active in management of the entity, nor affiliate of the entity have been charged with and convicted of a public entity crime subsequent to July 1, 1989.
- The entity submitting this sworn statement, or one or more of the officers, directors, executives, partners, shareholders, employees, members, or agents who are active in management of the entity, or an affiliate of the entity has been charged with and convicted of a public entity crime subsequent to July 1, 1989 And (please attach a copy of the final order)
- The person or affiliate was placed on the convicted vendor list. There has been a subsequent proceeding before a hearing officer of the State of Florida, Division of Administrative Hearings. The final order entered by the hearing officer determined that it was in public interest to remove the person or affiliate from the convicted vendor list. (Please attach a copy of the final order)
- The person or affiliate has not been placed on the convicted vendor list. (Please describe any action taken by, or pending with, the department of General Services)

I UNDERSTAND THAT THE SUBMISSION OF THIS FORM TO THE CONTRACTING OFFICER FOR THE PUBLIC ENTITY IDENTIFIED IN PARAGRAPH 1 (ONE) ABOVE IS FOR THAT PUBLIC ENTITY ONLY AND THAT THIS FORM IS VALID THROUGH DECEMBER 31 OF THE CALENDAR YEAR IN WHICH IT IS FILED. I ALSO UNDERSTAND THAT I AM REQUIRED TO INFORM THE PUBLIC ENTITY PRIOR TO ENTERING INTO A CONTRACT IN EXCESS OF THE THRESHOLD AMOUNT PROVIDED IN SECTION 287.017, FLORIDA STATUTES FOR CATEGORY TWO OF ANY CHANGE IN THE INFORMATION CONTAINED IN THIS FORM

Phil Wolfe

Name

Phil Wolfe  
Signature

03/06/2021

Date

PERSONALLY APPEARED BEFORE ME, the undersigned authority, who, after first being sworn by me, affixed his/her signature at the space provided above on this day of 03/06/21, 2021 and is personally known to me, or has provided \_\_\_\_\_ as identification.

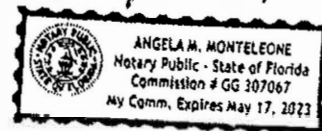
STATE OF FLORIDA

COUNTY OF: Santa Rosa

My Commission expires: May 14

Notary Public

Angela Monteleone





**SANTA ROSA COUNTY  
PROCUREMENT DEPARTMENT**

6495 Caroline Street, Suite L | Milton, Florida 32570 850-983-1870 procurement@santarosa.fl.gov

**DEBARMENT FORM**

*SRC Procurement Form Debar 022\_00\_082719*

**Certification Regarding Debarment, Suspension, And Other Responsibility Matters**

1. The prospective primary participant certifies to the best of its knowledge and belief, that it and its principals:
  - a. Are not presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from covered transactions by any Federal department or agency;
  - b. Have not within a three-year period preceding this proposal been convicted of or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public (Federal, State or Local) transaction or contract under a public transaction; violation of Federal or State antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements, or receiving stolen property;
  - c. Are not presently indicted for or otherwise criminally or civilly charged by a governmental entity (Federal, State, or Local) with commission of any of the offenses enumerated in paragraph (1)(b) of this certification; and
  - d. Have not within a three-year period preceding this application/proposal had one or more public transactions (Federal, State, or Local) terminated for cause or default.
2. Where the prospective primary participant is unable to certify to any of the statements in this certification, such prospective participant shall attach an explanation to this proposal.

Name: Phil Wolfe Title: President

Signature: *Phil Wolfe*

Firm: Wolfe Construction Inc.

Street Address: 6816 Old Bagdad Hwy

City: Milton

State: Florida Zip Code: 32583

Solicitation Name ITB-21-043 # XX-XXX



# SANTA ROSA COUNTY PROCUREMENT DEPARTMENT

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## REFERNCES FORM

*SRC Procurement Form Memo 024\_00\_082719*

List work which best illustrates current qualifications relevant to this solicitation accomplished by personnel that will be assigned to the County's project. List at least three but no more than five (5) projects. (This form may be reproduced.)

YOUR FIRMS NAME Wolfe Construction Inc.  
PROPOSAL POINT OF CONTACT Phil Wolfe PHONE 8505540648  
EMAIL wciphil@gmail.com

### REFERENCE I.

PROJECT NAME: Brown new home  
AGENCY: Wolfe Construction Inc.  
ADDRESS: 2472 NY Street  
CITY, STATE, ZIP CODE: Jay, Fla 32565  
CONTACT PERSON: Joe Brown  
TITLE: Owner  
EMAIL: joebrown33@live.com  
TELEPHONE: 8503242076  
PROJECT COST: 279K  
COMPLETION DATE: 12/2020

SCOPE of Project (list tasks, attach samples of deliverables, outlines or descriptions of items:  
(You may attach information to this form)

New residential construction

List key personnel assigned to this project that will work on the County project (include assignments. You may attach information to this form):

Crews Plumbing Sessions Construction  
Tim Dillard Construction



# SANTA ROSA COUNTY PROCUREMENT DEPARTMENT

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## REFERENCE II.

PROJECT NAME: Bohner home  
AGENCY: Wolfe Construction Inc.  
ADDRESS: 2094 Sid Hayes Rd  
CITY, STATE, ZIP CODE: Jay, Fla. 32565  
CONTACT PERSON: Kyler Bohner  
TITLE: Owner  
EMAIL: ksbohner@gmail.com  
TELEPHONE: 8507912644  
PROJECT COST: 229K  
COMPLETION DATE: 12/2020

SCOPE of Project (list tasks, attach samples of deliverables, outlines or descriptions of items:  
(You may attach information to this form)

New residential construction

List key personnel assigned to this project that will work on the County project (include assignments. You may attach information to this form):

Sessions Construction Tim Dillard Construction  
Crews Plumbing

## REFERENCE III.

PROJECT NAME: Emerald Coast Growers  
AGENCY: Wolfe Construction Inc.  
ADDRESS: 5950 Southridge Dr  
CITY, STATE, ZIP CODE: Milton, FL 32583  
CONTACT PERSON: Jake Verlinde  
TITLE: Project super  
EMAIL: jakeverlinde@ecgrowers.com  
TELEPHONE: 8505721914  
PROJECT COST: 125K  
COMPLETION DATE: 11/2020

SCOPE of Project (list tasks, attach samples of deliverables, outlines or descriptions of items:  
(You may attach information to this form)

New breakroom

List key personnel assigned to this project that will work on the County project (include assignments. You may attach information to this form):

Sessions Construction Moore HVAC  
Tim Dillard Construction



**SANTA ROSA COUNTY  
PROCUREMENT DEPARTMENT**

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**REFERENCE IV.**

PROJECT NAME: Cutchins renovation

AGENCY: Wolfe Construction Inc.

ADDRESS: 4775 Bayside Dr

CITY, STATE, ZIP CODE: Milton, FL 32570

CONTACT PERSON: Shawn Cutchins

TITLE: Owner

EMAIL: webcutch@gmail.com

TELEPHONE: 8507580501

PROJECT COST: 54K

COMPLETION DATE: 03/2021

SCOPE of Project (list tasks, attach samples of deliverables, outlines or descriptions of items:  
(You may attach information to this form)

Exterior house renovation due to hurricane

List key personnel assigned to this project that will work on the County project (include assignments. You may attach information to this form):

Tim Dillard Construction

**REFERENCE V.**

PROJECT NAME: Gill renovation

AGENCY: Wolfe Construction Inc.

ADDRESS: 4689 Bayside Dr

CITY, STATE, ZIP CODE: Milton, FL 32570

CONTACT PERSON: John Gill

TITLE: Owner

EMAIL: gilljc@hotmail.com

TELEPHONE: 2513632222

PROJECT COST: 29K

COMPLETION DATE: 03/2021

SCOPE of Project (list tasks, attach samples of deliverables, outlines or descriptions of items:  
(You may attach information to this form)

Exterior house renovation due to hurricane

List key personnel assigned to this project that will work on the County project (include assignments. You may attach information to this form):

Tim Dillard Construction

Crews Plumbing



**SANTA ROSA COUNTY  
PROCUREMENT DEPARTMENT**

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**CONFLICT OF INTEREST DISCLOSURE FORM**

*SRC Procurement Form COS 027\_00\_091319*

For purposes of determining any possible conflict of interest, all respondents, must disclose if any Santa Rosa Board of County Commissioner, employee(s), elected officials(s), or if any of its agencies is also an owner, corporate officer, agency, employee, etc., of their business.

Indicate either "yes" (a county employee, elected official, or agency is also associated with your business), or "no". If yes, give person(s) name(s) and position(s) with your business.

Yes: \_\_\_\_\_ No: X \_\_\_\_\_

Name(s)

Position(s)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

All respondents must agree to comply with this policy by signing the following statement and including it with their submittal.

FIRM NAME: Wolfe Construction Inc.

BY (PRINTED): Phi Wol fe

BY (SIGNATURE): *Phil Wolfe*

TITLE: President

ADDRESS: 6816 Old Bagdad Hwy State Fl Zip Code 32583

PHONE NO: 850 554 0648

E-MAIL: wciphil@gmail.com

Date: 06/16/2021

**Santa Rosa County**  
**Insurance Requirements**  
**March 2021**

**Workers' Compensation** – meet statutory limits in compliance with the Workers Compensation Laws of Florida. This policy must include Employer Liability with a limit of \$100,000 for each accident, \$500,000 disease policy limit and \$100,000 disease each employee limit.

**Commercial General Liability** – coverage shall provide minimum limits of liability of \$1,000,000 per occurrence, \$2,000,000 Aggregate, for bodily injury and property damage. This shall include coverage for:

- a. Premises/operations
- b. Products/complete operations
- c. Contractual liability
- d. Independent contractors

**Business Auto Liability** – coverage shall provide minimum limits \$500,000. Combined Single Limit for bodily injury and property damage. If Split limit coverage is provided Limits of 500,000 per person/500,000 per accident and 500,000 for property damage are required.

This shall include coverage for:

- a. Owned autos
- b. Hired autos
- c. Non-owned autos

Special Requirements:

- 1) Prior to execution of a contract or agreement, certificates of insurance will be produced that shall provide for the following:
  - a. Santa Rosa County shall be named as an additional insured on all coverages except workers' compensation.

b. Santa Rosa County will be given thirty (30) days' notice prior to cancellation or modification of any stipulated insurance.

2) It is the responsibility of the contractor to ensure that all subcontractors comply with all insurance requirements.

**3) *It should be noted that these are minimum requirements which are subject to modification in response to specialized or high hazard operations.***

In the event of unusual circumstances, the County Administrator, or his designee, may adjust these insurance requirements.



## Insurance Checklist

Proposal/Project Reference 8801 Buddy Hardy Rd Milton, Fl 32570

Required Coverage (Marked by "X")	Minimum Limits
1. <input type="checkbox"/> Workers Compensation Proprietor/Executive Officers Exclusion not allowed	\$100,000. Employers Liab. \$100,000. Accident –Disease \$500,000. Disease policy Limit
2. <input checked="" type="checkbox"/> Commercial General Liability Including Premises operations-Products completed ops Contractual Liability and Personal and advertising Liability	\$1,000,000. CSL \$2,000,000. Annual Aggregate
3. <input checked="" type="checkbox"/> Automobile Liability – including Hired and Non-Owned	\$1,000,000. CSL
4. <input type="checkbox"/> Professional Liability coverage	\$1,000,000. Per Occurrence
5. <input type="checkbox"/> Asbestos Removal Liability	\$2,000,000. Per Occurrence
6. <input type="checkbox"/> Medical Malpractice	\$1,000,000 Per Occurrence
7. <input type="checkbox"/> Garage Liability	\$1,000,000. BI/PD- Occurrence
8. <input type="checkbox"/> Garage Keepers Liability	\$500,000. Comprehensive \$500,000. Collision
9. <input type="checkbox"/> Inland Marine- Bailee's Insurance	\$ _____
10. <input type="checkbox"/> Moving and Rigging Floater	Endorsement to CGL
11. <input type="checkbox"/> Crime/Dishonesty Bond	\$ _____
12. <input type="checkbox"/> Builders Risk/Installation Floater – Provide coverage in Full amount of Contract.	
13. <input type="checkbox"/> Owner's Protective Liability	\$ _____
14. <input type="checkbox"/> Excess/Umbrella Liability	\$ _____

### General Requirements

- A. Carrier rating shall be A.M. Best rating of B++V or Better.
- B. Notice of Cancellation or Non-renewal or material change in coverage shall be provided to Santa Rosa County at least 30 days prior to action.
- C. Santa Rosa County shall be named as Additional Insured on all policies except Workers' Compensation.

Approved by the BOCC March 23, 2021

# **SANTA ROSA COUNTY**

## **SHIP PROGRAM**

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### **RECONSTRUCTION PROJECT MANUAL**

**PROPERTY ADDRESS:** 8801 Buddy Hardy Road  
Milton, FL 32570

**OWNER:** Shelia D. Hardy

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# Introduction

*This manual contains both general requirements and specifications describing different areas of work, extent and quality of materials and labor. When reconstruction work is being done in any area contained in the manual, these general specifications shall be binding and strictly adhered to.*

## Instructions to Bidders

- ❖ A mandatory Pre-Bid Conference will be held prior to the submission of bids. The conference will give the bidding contractors an opportunity to have all questions answered regarding the required work. **Attendance at the pre-bid conference is mandatory.**
- ❖ Each bid shall be accompanied by a Certified Check or bid Bond in the amount of five percent (5%) of the Base Bid, and copies of appropriate licenses. Such Bid Bond or Check is given with the understanding and agreement that it guarantees: (1) that the bidder will not withdraw his bid for a period of 60 days after the bids have been opened; and, (2) that if his bid is accepted, the Bidder will enter into the written Contract with Santa Rosa County within 10 days after receipt of Notice of Award of his bid. In the event the bidder fails to comply with any of these conditions and requirements in whole or in part, the full amount of the bond or check shall be automatically forfeited to Santa Rosa County as damages on account of the default of the bidder.
- ❖ Submit all pages of the reconstruction specifications with itemized prices and signature of Contractor in ink. Specifications submitted in pencil will be rejected by the bid committee.
- ❖ Labor, overhead, permits, insurance and profit must be included into each itemized price and not listed as a separate itemized price or listed under miscellaneous. Non-compliance will result in rejection of the bid.
- ❖ Itemized pricing may be used for negotiation, in the event of a change in the extent or scope of work, as described in the Specifications.
- ❖ All reconstruction work performed must be inspected (rough-in and final) and conform to County Ordinances, State Laws, and Southern Building Code.

# Bid Form

## CONTRACTOR'S RECONSTRUCTION BID SUBMISSION SHEET

Owner:	Sheila D. Hardy	File No.	S-RC2021-01
Address:	8801 Buddy Hardy Road	Date Prepared:	6/11/2021
	Milton, FL 32570	Bid Opening Date:	7/20/2021
Phone:	850-463-7528		

I (we) certify that I (we) have carefully examined the **Santa Rosa County HOME Project Information including Demolition Requirements and Reconstruction Specifications, Survey, and House Plans and the Disaster Mitigation Requirements**, for the above referenced job, and submit the following **TOTAL** bid to complete the project to construction industry standards for new construction, and that there will be **NO CHANGE ORDERS OR ADDITIONAL FUNDING** on this project.

### Pre-bid conference mandatory:

**Location:** 8801 Buddy Hardy Road – Milton, Florida 32570  
**Date/Time:** Tuesday, June 29, 2021 @ 9:30 a.m.

Bids submitted by contractors who do not attend the mandatory meeting will be disqualified.

Itemized bid required. Complete the Contractor's Reconstruction Bid Submission Sheet and enter total bid price below. Submission sheet must be prepared in ink and signed by the Contractor or authorized employee. Submission sheets are to be delivered to the Santa Rosa County Office of Procurement in a sealed envelope that designates the job name.

TOTAL BID PRICE: \$ 112,475.00

CONTRACTING FIRM: Wolfe Construction Inc.  
SIGNATURE: *Phil Wolfe*  
TITLE: President  
PHONE NUMBER: 850 554 0648  
NUMBER OF ADDENDUMS RECEIVED 2

**CONTRACTOR'S RECONSTRUCTION BID SUBMISSION SHEET**

Owner: Sheila Hardy	File No. S-RC2021-01
Address: 8801 Buddy Hardy Rd Milton, FL 32583	Date Prepared: 6/11/2021
	Contractor: <b>Wolfe Construction Inc.</b>
Demolition	\$ 7500
Tennite Treatment	\$ 400
Foundation Formwork	\$ 3200
Concrete	\$ 4200
Framing Material	\$ 19000
Framing Labor	\$ 5500
Crane Rental	\$
Truss Costs	\$ 5500
Hardie/Vinyl	\$ 4200
Shingle Installation Cost	\$ 1000
Shingle Cost	\$ 2000
Interior Drywall	\$ 4900
Interior Trim	\$ 1500
Interior Paint	\$ 3200
Carpet	\$ 2700
Vinyl Flooring	\$ 900
Insulation	\$ 2400
Ceiling Insulation	\$
HVAC Unit	\$ 6300
Electrical	\$ 7100
Plumbing	\$ 8200
Cabinets	\$ 5200
Appliances	\$ 2000
Lighting Fixtures	\$ 1000
Water/Sewer Line	\$
Septic Repair/Installation	\$ 5500
Hurricane Protection (minimum to meet code requirements)	\$ 1100
Site Improvement	\$ 1800
Landscaping/Sod	\$ 700
Exterior Doors	\$ 800
Windows	\$ 2800
Bathroom Fixtures	\$ 400
Kitchen Fixtures <b>Ramp</b>	\$ 1375
Final House Location Survey	\$
Disaster Mitigation	\$
If Addendums were received, provide cost estimate	\$
<b>TOTAL</b>	<b>\$ 112,475.00</b>

ROOFER: DAC Roofing	PHONE NUMBER: 850 983 2593
ADDRESS: 4809 Williams Rd Milton, Florida 32570	
CARPENTER: Remodel Santa Rosa	PHONE NUMBER: 850 232 2235
ADDRESS: 5923 English Oak Dr Pace, Florida 32571	
SEPTIC TANK: Crews Plumbing	PHONE NUMBER: 850 983 2593
ADDRESS: 3061 Oglesby Rd Milton, Florida 32570	
LIST YOUR USUAL MATERIAL SUPPLIERS AND ACCOUNTS:	
Pittman Lumber	CMC Cabinets
American Concrete	Home Depot
Coastal Insulation	WR Taylor Brick

**ATTACH CURRENT COPIES OF THE FOLLOWING:**

- \* State of Florida, Dept. of Professional Regulation Registration
- \* County Contractors Certificate
- \* Contractor's Liability Insurance Certificate
- \* W-9 Form
- \* Workman's Compensation Insurance Certificate or Waiver issued by the State of Florida
- \* Certified Renovator/Painter Certification

TYPED OR PRINTED NAME AND TITLE OF CONTRACTOR:	Phil Wolfe president Wolfe Construction Inc.
SIGNATURE:	<i>Phil Wolfe</i>
STATE OF FLORIDA COUNTY OF <u>Santa Rosa</u>	
Subscribed and sworn to before me this <u>23rd</u> Day of <u>July</u> , <del>20</del> 2019	
<i>Cynthia Hackson</i> (Signature of Notary Public - State of Florida)	
Personally Known _____ or produced the following as Identification: <u>Florida DLIC W 418671183800</u>	





## CONTRACTOR'S STATEMENT OF QUALIFICATIONS

(Contents of this statement will be confidential.)

NAME OF CONTRACTING FIRM: <b>Wolfe Construction Inc.</b>	
ADDRESS OF FIRM: <b>6816 Old Bagdad Hwy Milton, Fla. 32583</b>	
SOCIAL SECURITY NUMBER: <b>265-39-3147</b>	PHONE: <b>850 554 0648</b> CELL: <b>850 554 0648</b> FAX:
DATE FIRM ORGANIZED/HOW LONG IN BUSINESS: <b>23 yrs</b>	WHERE INCORPORATED AND WHEN: <b>Florida 1999</b>
HOW LONG IN CONTRACTING BUSINESS UNDER PRESENT FIRM NAME: <b>22 Yrs</b>	HAVE YOU ENGAGED IN BUSINESS UNDER ANY OTHER NAME? <b>Yes Phil Wolfe Construction 1 yr 1998</b>
GENERAL NATURE OF WORK PERFORMED BY YOUR FIRM: <b>Single Family Residential Dwelling Residential renovations/remodeling Construction Consulting</b>	HAVE YOU EVER FAILED TO COMPLETE ANY WORK AWARDED TO YOU OR YOUR FIRM? (Yes or No) (If Yes, attach statement explaining where and why.)  <b>No</b>
HAVE YOU EVER DEFAULTED ON A CONTRACT? (Yes or No) (If Yes, attach statement explaining where and why.)	CAN YOUR FIRM FURNISH A LETTER OF CREDIT FROM YOUR SOURCE OF FINANCING?

### LIST OF SUBCONTRACTORS

PLUMBER: <b>Crews Plumbing</b>	PHONE NUMBER: <b>8502867040</b>
ADDRESS: <b>3061 Oglesby Rd Milton, Fla 32570</b>	
ELECTRICIAN: <b>Get Wired Electric</b>	PHONE NUMBER: <b>8509822448</b>
ADDRESS: <b>6643 Rocky Shores Milton, Fl 32583</b>	
ROOFER: <b>DAC Roofing</b>	PHONE NUMBER: <b>8509104707</b>
ADDRESS: <b>5421 Stokes Rd Milton, Fl. 32570</b>	
CARPENTER: <b>Remodel Santa Rosa</b>	PHONE NUMBER: <b>8502322235</b>
ADDRESS: <b>5923 English Oak Dr. Pace, Fl 32571</b>	
SEPTIC TANK: <b>Crews Plumbing</b>	PHONE NUMBER: <b>8502867040</b>
ADDRESS: <b>3061 Oglesby Rd Milton, Fla 32570</b>	

## Directions to Reconstruction Location

These directions start from 6051 Old Bagdad Hwy



1: Start by turning right onto Munson Highway/FL191  
13.86 Miles



2: Turn left on Buddy Hardy Road  
0.48 mile



3. **8801 Buddy Hardy Road is on the Left**

# General Requirements

## 1. Workmanship: Industry Standard

Workmanship will be judged as to industry standard.

## 2. Testing/Grading Criteria: ASTM

If necessary, any testing or grading criteria will be in accordance with the appropriate ASTM.

## 3. Qualifications of Persons/Firms on the Job

Persons or firms on the project shall be actively engaged in the line of work required by the specifications and shall be able to refer to work of similar character performed by them. They shall be fully conversant with the general technical phraseology of the line of work covered by the drawings and specifications.

## 4. Bid Only on Items Indicated

Contractors are cautioned to bid only on indicated items. Neglect to do so will result in a bid rejection.

## 5. Work Deviating from Specifications

When reconstruction work is in progress, contractors will not be paid for any work deviating from specifications unless the change is approved in writing by the property owner and Santa Rosa County housing program administrator. Change requests must be submitted within 3-days from contractor request and homeowner approval.

## 6. Substitutions

No substitutions for any item listed in the specifications will be accepted unless approved in writing by Santa Rosa County.

## 7. Omissions/Discrepancies in Project Bid

The contractor shall bring to the attention of Santa Rosa County omissions and discrepancies in the project bid items. Failure to do so is an indication of the contractor's willingness to accept the original intent within the scope of standard practice to complete the renovation/reconstruction not leaving any unfinished or incomplete work in part or whole. No qualification of a bid item is acceptable. Including a bid qualification is grounds for rejection.

## 8. Equal Substitutions

The phrase equal means equal in quality and integral properties and similar in design. All materials and workmanship shall comply with applicable codes.

## 9. Inspection of Work

The contractor shall permit Santa Rosa County to inspect the work at any time.

## 10. Work Performance

**All work performed must comply with the current Florida Building Code and the Project Bid Specifications Handbook.** Work must conform to project bid specifications. Materials, procedures and workmanship must also comply. All work shall be completed in an acceptable workmanlike manner. Items omitted in the specification that are discovered during a site investigation by the contractor should be brought to the attention of Santa Rosa County before the bid opening date.

#### **11. Dimensions and Measurements**

Dimensions and measurements stated in the specifications are for guidance only. The bidder is responsible to investigate the site and to verify dimensions and measurements. Santa Rosa County will not adjust the contract amount in the event stated specification measurements or dimensions are found to be inaccurate. Measurements noted in the specifications are rounded up to the closest foot.

#### **12. Addenda or Corrections**

Addenda or corrections issued during the time of tendering are to be covered in the proposal and shall become part of the contract documents. **A copy of each addendum received for the project must be attached to the bid you submit. A total cost for these addendums must be listed on each addendum page.**

#### **13. Detailed Cost Breakdown**

The contractor selected for the project must provide a detailed breakdown relative to cost. The cost breakdown establishes a basis to work from if any changes or deletions are made to the scope of work during the construction. In the absence of a detailed cost breakdown, the County estimate figures will become binding in the event of any changes.

#### **14. Orderly Work Site and Debris Removal**

The contractor is responsible for maintaining an orderly work site and will not allow debris to accumulate. All hazardous conditions will be corrected and debris removed prior to final payment.

#### **15. Work Left Open Until Inspected**

No framing, mechanical or electrical work is to be closed-in until inspected by the County Inspections Officer.

#### **16. OSHA Guidelines/Standards Enforced**

OSHA guidelines and standards shall be strictly enforced.

#### **17. Safety/Security of Dwelling**

If a resident relocates, the safety and security of the dwelling becomes the sole responsibility of the contractor. Utilities that are removed or relocated will be replaced prior to final inspection.

#### **18. Lead-Based Paint Prohibited**

Use of all lead-based paint (any paint containing more than .06% lead by weight in the total non-volatile contents of liquid paint or in the dried film of paint already applied) is strictly prohibited.

#### **19. Building Permits**

Work requiring a building permit shall not commence until the Building Permit Card has been posted in a conspicuous place on the front of the premises. It is the responsibility of the contractor to request the appropriate inspection from the County Inspections Office at each inspection level required under the scope of the

rehabilitation/reconstruction work. If a permit is not required by the county, a letter documenting the determination, including the name and contact information for the person making the determination, is required.

#### **20. Replacement of Materials**

Unless otherwise indicated, any material being replaced shall be replaced with material of the same type, dimension and initial quality.

#### **21. Installation and Associated Items**

Installation or repair of items includes all accessory items associated with that installation.

#### **22. Repair of Non-Specified Areas**

While repairing specified items, any damage done to other adjoining areas shall be repaired or replaced.

#### **23. Definition of Replace**

Replace is defined as removing existing materials and installing new. All work associated is included. The finished area is to be in a new rehabbed state.

#### **24. Removal of Material from Job Site**

Unless otherwise authorized, all material removed from the job becomes the responsibility of the contractor. Any material removed from the dwelling may remain in the custody of the homeowner at their request.

#### **25. New Items Installed to Finished State**

New items must be installed to a finished state (i.e. doors to be hinged, locked, trimmed, painted and threshold installed.)

#### **26. Roof Inspections**

24 hours prior to roof removal, the contractor shall notify Santa Rosa County Housing Office. Unless otherwise advised, the contractor should not cover the roof until an inspection is complete.

#### **27. Handicap Accessibility**

Handicap accessibility requirements will be addressed on an individual case basis. Requirements for a specific project will be detailed per the Americans with Disabilities Act (A.D.A.) and all other applicable federal and state laws.

#### **28. Code Compliance**

All work performed on a rehabilitation/reconstruction project must comply with **current** local, state and federal codes and guidelines.

#### **29. Change Orders**

Any change request to the general specifications or job specification must be submitted in writing. No work is authorized until a change order is approved. A change order request must be submitted to the County within three days of the issuance by the contractor and approval by the homeowner.

### **30. Personal Items**

Removal and relocating of all personal items in the dwelling is the sole responsibility of the homeowner unless otherwise noted within the bid manual or any addendums received.

# Specifications

## MATERIALS:

All materials, as specified within the HOME Specifications and on the drawings attached to each bid packet, are considered to be minimums. All lumber and sheathing must be graded and stamped by the appropriate inspection bureau. All materials must be new, unused materials with no visible defects.

## WORKMANSHIP:

All work shall be completed in accordance with Industry Standards for new construction, which will require the following:

- Floors must be level and free from defects.
- Walls must be plumb, warped studs straightened or removed.
- Windows: Rough openings must be plumb and level, units must open, close, and lock properly.
- Exterior Doors: Thresholds must be flashed with valley flashing then caulked prior to installing unit. Units must be blocked in opening with shims at top hinge, bottom hinge and at keeper. Screws are to be installed through hinges into frame work. Thresholds will be supported by a soldier course of brick or concrete pad.
- Roofing must be installed per code, to include proper valley flashings; eave metal to be factory baked on enamel finish and must be installed under felt under-layment; first course of shingles must be spot fastened to starter course with plastic roofing cement.
- Vinyl Siding must be installed over an approved vapor barrier; must be nailed per manufacturers specifications; and must include all vinyl accessories.
- Sheetrock must be free of all defects including nail-pops, tape blisters, joint shadows, cracks, uneven/unfinished angles, and uneven/inconsistent wall/ceiling textures.
- Interior Trim: all doors must have wood jambs and casings; all moldings must match; all joints must fit with minimum gaps (less than 1/8"); all nails must be set; shoe mold must be installed over all vinyl.
- Painting must be free of all "holidays," roller and brush marks, runs, drips, sags, dust and dirt, and caulk build-up.
- Mechanical: Supply ducts must be installed 6' to 8' from exterior walls with air directed at or toward exterior doors and windows.
- Electrical: All boxes must be fastened to framing members and installed so as to properly accommodate device. Receptacles, switches, and covers must be installed straight and level with wall. Breakers must be identified within new breaker box.
- Plumbing: Lines must be fastened to framing members; escutcheons installed; shut-off between meter and house must be sleeved with a minimum of a 4" diameter PVC pipe.

The Homeowner will have the following sample choices, where applicable:

Shingle Color	1 choice
Exterior Paint	1 choices wall & 1 choice trim
Interior Wall Color	1 choices wall & 1 choice trim
Interior Door Finish	1 choice
Sheet Vinyl or Composite Tile	1 choice
Carpet Color	1 choice
Cabinet Finish	1 choice (natural, stained and varnished or pickled and varnished)
Counter Top Color	1 choice
Stove	per specifications
Refrigerator	per specifications
Bath fixtures	White

### DEMOLITION REQUIREMENTS

Remove the entire existing structure including: foundation, footings, porches, steps, and all concrete masonry units.

Remove all remaining shrubs and trees within 6 feet of the new foundation.

Building site must be cleaned of all debris including roots and building materials. Site must be left in a uniform/ready for reconstruction state. Fill may be necessary to level site after demo.

Adequate fill around perimeter of house will be added to within 8" of finished floor and tapered to 1:12 to existing grade.

Abandon any septic tank systems as per Health Dept. requirements. Abandon and remove any buried propane tanks in accordance with EPA regulations.

### DEMOLITION OF A HOUSING UNIT CONTAINING ASBESTOS

1. Demolition of all units under the HOME program that contain asbestos must be done under the specifications required by the State of Florida, Department of Environmental Protection, and Air Quality Standards.
2. Demolition of all units under the HOME program that contain asbestos must be performed by a licensed and insured Demolition Contractor who is knowledgeable of asbestos removal and who is approved by the Department of Environmental Protection for the demolition of units which contain the following types of asbestos materials:
  - A. Exterior Shingle Sidings
  - B. Floor Tile and Linoleum
  - C. Ceiling Tiles
3. All awarded contractors will be responsible for notification to the Department of Environmental Protection prior to the actual demolition activity.
4. All demolition work is to be permitted/inspected/approved through the appropriate authority.

### RECONSTRUCTION SPECIFICATIONS

All reconstruction work shall be completed in accordance with the following Southern Building Code Congress International (SBCCI) Codes: Building, Electrical, Mechanical, Plumbing, and Gas. Further, work shall comply with the State of Florida, Energy Efficiency Code, and Standards for Onsite Sewage Disposal Systems. In addition, construction shall be completed in compliance with all County ordinances and as specified as follows:

Foundations: Foundations are designed for stick-framed roof system. Wind load based on monolithic slab. Off-grade foundations are acceptable when contractor submits certified wind load calculations.

#### A. Monolithic Slab-on-grade Foundations:

- Slab and footing to be poured as a monolithic unit over termite treated compacted fill and 6 mil vapor barrier or approved fibercrete. Minimum slab thickness to be 3 2".
- Footing: continuous (minimum 12" wide by 20" deep as measured from top of slab) with 2 @ #5 rebar with 25" lap.
- 2" x 10", "j" bolts to be installed per drawing with 2x2x1/8" washers.
- Monolithic pour to be minimum 2500 psi fibercrete or approved WWM with chairs.

#### B. Slab on-grade:

- Exterior load bearing wall framing: 8'1" wall height (from sole to DBL top) studs to be 2 x 4 YP (stud grade) at 16", strapped as per plans.
- Exterior Sheathing: wind shear resistance in shear wall segments  
all exterior walls (except shear wall segments) to be sheathed with 2" OSB or CDX installed vertically and nailed with 8d commons at 6"/12"
- Shear Wall Segments: indicated on drawing as (SWS)  
all panels in SWS to be installed horizontally and blocked at joint with 2 x 4 and nailed as per plans.

### Septic Systems

Septic systems shall be installed in accordance with State and local ordinances. Inspection, survey by Health Dept. and tie in is responsibility of contractor.

### WELL

Deep well to be figured at 160' min. to 200' max.

### Roof System and Shingles:



Foundations are designed for stick framed roof systems, 5:12 pitch.  
Roof systems shall be constructed per drawing and as follows:

- Engineered trusses will be utilized.
- Attic access opening shall be framed per location on drawing or as directed, with the opening extended upward 6" for insulation purposes
- All roofs are to have a 2 x 6 band installed on the rafter tails (which is the sub-fascia); roof sheathing shall be a minimum 7/16" CDX or OSB sheathing, installed with face grain perpendicular to rafters and rated for rafter spacing. Ply-clips are required between courses.
- Roof sheathing is to extend 1/2" beyond 2 x 4 band and nailed to band
- Roof sheathing is to be covered with 15# felt, install 6" double break aluminum eave metal with a factory baked on finish, color to match fascia. Install approved shingles as per county requirements. Roofing will carry a 25 year warranty. Open ridges and install continuous roof ventilation with all accessories, ridge vent is to be nailed to rafters.

#### Exterior Doors:

Size and style of doors are indicated on drawing:

All door units are to be steel, insulated units with adjustable threshold and weather-stripping. Units are to be installed with brick mold casing and be tested for 140 mph wind-load. Exterior doors are to be equipped with "Kwik-set" lock sets or equal and matching dead bolt locks, keyed alike.

When required:

##### A. Handicap ramps

- Extend size of front entry slab to be 6'x6'x 3-1/2" concrete slab with 6x6 WWM or fibercrete. Finished elevation shall be (-)1" at door sloped 1:12 away from dwelling.
- Construct concrete 3'0" ramp at 1:12 slope to grade. Include light broom finish.
- Handrails and guard rails to be built to code. Handrails shall be splinter free and to code as to size and weight bearing. Material can be Pressure Treated or approved equal.

Thresholds to be supported by a soldier course of brick or concrete apron.

#### Windows:

Sizes are indicated on drawing:

All units are to be aluminum frame, insulated (double-glazed) units complete with screens. Units are to be single hung, unless indicated by an HZ designation. Windows are to be installed as per manufacture's requirements for 140 mph windload. Units are to be installed as per county requirements.

The color of the window frame (bronze or white) is to be determined by the Homeowner.

#### Siding, Soffit, and Fascia:

All units are to be wrapped with vinyl siding as follows:

Vinyl to be a .042" thickness (plus or minus .003")

All siding to be installed over a vapor barrier of 15# felt or "Builders Foil"

Vinyl to be installed per manufacturer's specifications and county requirements.

"J" channel is to be installed around windows and placed at exterior door brick mold (no wood window casing required).

All accessories are to match vinyl.

Fascia, wrap fascia with minimum .019" aluminum

Soffit to be ventilated vinyl soffit

Soffit is to be installed in the eaves and all porch ceilings with maximum 18" span between supports.

Each unit to include three (3) sets of vinyl shutters

Contractor is to provide a minimum of four color samples of the siding, soffit, and fascia for the Homeowner to choose.

#### Electrical and Wiring:

All electrical shall be installed per code for new residential construction, and as follows:

All equipment shall be new and UL approved.

Mast will be required on each unit, with no POA to fascia.

All wiring shall be copper with the exception of circuits for the dryer, electric ranges, and cook tops (when indicated).

All breakers shall be new and the breaker box installed per drawing.

Lighting fixtures shall be installed as follows:

Bedrooms: Install bent glass, ceiling-mounted fixtures, with a minimum of one 60-watt bulb installed. Pre-wire and block for ceiling fan with a switch for fan and switch for light.

Front Room and Dining: Install a minimum 2-bulb, globe-type ceiling mounted fixture with a minimum of one 60-watt bulb installed. Pre-wire and block for ceiling fan with a switch for fan and switch for light.

Kitchen: Install a 4', 2-bulb fluorescent light fixture with globe and single bulb fixture over sink.

Bathroom: Install a globe type ceiling mounted light fixture with a minimum of one 60-watt bulb.

Utility Room/Area: Install a globe type ceiling mounted fixture with a minimum of one 60-watt bulb.

Hallways: Install a globe type ceiling mounted fixture with a minimum of one 60-watt bulb.

Exterior Doors: Install a globe type, wall mounted fixture at each exterior door. Install a minimum of one 60-watt bulb.

In addition, the following are to be installed:

1. Smoke detector(s); will be installed per code.
2. Carbon monoxide detectors are to be installed where required by code.
3. Dryer plug installed.
4. Two (2) telephone outlets installed (per Homeowner).
5. Two-speed (high & low) vented range hood installed above stove. Range hood to be the same size as range but a minimum of 30". In addition, range Hood shall have a light with a 20-watt appliance bulb installed.
6. Range hood shall be vent type and vented through roof.
7. Door bell assembly to be installed with button installed at front entry.
8. Ceiling-mounted ventilation fan installed in all bathrooms without a window. Fans shall be operated on a separate switch from the light fixture.
9. Should a Homeowner have cable existing, the contractor is required to pre-wire two boxes.
10. Wiring for light and fan combinations are to be installed in all bedrooms, living room and dining room.

#### Plumbing:

All plumbing shall be installed per code for new residential construction and as follows:

- Water lines shall be copper.
- Exposed copper pipe under the floor shall be wrapped with pipe insulation designed as pipe insulation.
- Main Supply to house shall be a minimum 3/4", 160 psi PVC, with shut-off valve between the house and the meter.
- Exterior hose bibs will have vacuum blocks installed.

Fixtures (domestic brands only) shall be UL approved and as follows:

Kitchen: Sink shall be a standard 6 1/2" deep, dual compartment, stainless steel sink without spray attachment. Fixture shall be a single lever, brass body (Price Pfister, or equal).

Lavatory: 19" round, steel sink (to be set in post-form top). Fixture to be single lever, brass body (Price Pfister, or equal).

Tub: Unless otherwise indicated on the drawing, all units are to have a one-piece, 5-foot tub/shower unit. Fixture to be single lever, brass body (Price Pfister, or equal). Install access panel.

Water Closet: Vitreous china, reverse trap, closed couple combination, with lid and seat and metal flushing handle.

Water Heater: 40-gallon (gas or electric. Must meet State of Florida Energy Efficiency Code. Drain pan required.

Exterior Sill Cocks: Install two (2), brass body Shut-off Valves:  
Brass only and installed per Code.

Stack and drain lines shall be new PVC pipe installed per Code.

Install supply from supply to REF location for ice maker. If installed, tubing from supply to hook-up will be copper with brass fittings.

Washer box to be installed in laundry room.

#### Mechanical:

All new units installed per Code for new residential construction and as follows:

All electric units will be heat pump heat and air systems; or  
All gas units with conventional air.  
All units must be installed in a fire-rated closet as per county requirements with minimum 24" x 60" door. Floor to be 1" thick.  
Return-air grill to be removable filter type with filter installed.  
All gas units to have electronic pilot, combustion air vents, and exhaust vent.  
All heating systems must include:  
Thermostatic control  
Insulated duct work, minimum R-6  
Adjustable ceiling mounted grills

Seal return-air plenum (air tight) with plywood bottom.

Platform cleats to be nailed following the installation of sheetrock

All interior doors of heated rooms must have 1/2" clearance from top of carpet or vinyl to bottom of door for return-air

Ceiling-Mounted Bathroom Ventilator:

Install only in bathroom without window ventilation.

Unit must be rated to exhaust a minimum of one (1) cubic foot of air per square foot of bathroom floor area.

Unit must be capable of operating independent of light fixture, and switched on wall.

Range Hood:

Install a vented range hood with rigid vent pipe through roof.

Clearance from top of cooking surface to bottom of wall cabinet to be 30".

All units to have 2-speed fans with built-in light (bulb to be installed).

Interior Walls Sheathing:

Location:	Material:	Finish:
Bedrooms Kitchen Utility Rooms Front Rooms Living Rooms Dining Rooms Halls	1/2 " Sheetrock, Regular	Orange Peel Texture
Bathrooms	1/2" Green Board	Orange Peel Texture

Interior Ceiling Sheathing: Note-As per SBCCI, Section 2308, all gypsum wallboard ceilings will be 5/8": or 2 rated gypsum ceiling board.\*

Location:	Material:	Finish:
Bedrooms Kitchen Utility Rooms Front Rooms Living Rooms Dining Rooms Halls	5/8 " Sheetrock, Regular	Spray Texture
Bathrooms	5/8" Green Board	Spray Texture

Cabinets and Counter Tops:

Cabinets to be custom built, solid wood and plywood construction only.

Valance above sink is not mandatory. However, if installed it is not considered in overall cabinet footage.

All units must have basswood rails and stiles.

All units must have 3/4" Birch plywood doors, drawer fronts, and exposed sides (sides for stove opening may be 3/4" pine).

All base units must have 1/2" pine BC bottoms or better.

All base units to have minimum 3/4" x 12" shelf (plywood or solid wood), except under kitchen sink.

All overhead (wall) units must be 30" in overall height with three (3) 3/4" storage surfaces. Plywood shelves will have a 1/4" nosing.

All units to have minimum 1/8" masonite backs.

Hardware: Side mounted drawer guides, flush mounted hinges, and metal handles or pulls.

Counter tops to be post-form P/L or custom tops. Custom tops are to be built using 3/4" plywood with

3/4" x 4" backsplashes finished with matching laminate. All mitered joints seam-filled and sealed.

All plywood shelves are required to have a 1/4" hardwood nosing.

Exhaust air duct for stove shall be boxed both inside and above cabinets.

Cabinets which are not enclosed above the wall cabinets: a birch plywood box shall be installed around the range hood vent pipe.

Base cabinets shall be designed with one drawer a minimum of 14" (inside dimension) for silverware. Cabinets may be natural finished, stained with 2 coats of varnish or pickled with 2 coats of varnish. Cabinet finish can be natural, stained or pickled and varnished.

Interior Trim:

All nails to be set and filled with putty.  
Baseboards and casings: colonial or tear drop (wood only). Use one or the other, not both.  
All casing and baseboard to be painted. Doors to be clear or stained or painted.  
Bedroom, bathroom, and closet doors to be hollow core Luan door units, compete with wood jambs and casings.  
Locksets: bathroom and bedroom to be privacy locksets.  
Heater closet to have dummy knob with magnetic or pressure latch.  
Bi-fold doors to have pull knobs.  
Install door stop/bumpers for all swinging doors.  
Trim windows with sheetrock returns and wood stool and skirt.  
All edges to be factory molded, job routed, or sanded to smooth finish.  
All cabinets to have shoe mold installed at floor.  
Shoe mold to be installed when baseboard is not flush with floor.

Bathroom Trim:

All tubs/showers to have shower curtain rod.  
All bathrooms to have metal or plastic recess/mirrored medicine cabinet.  
All bathrooms to have soap dish, toilet paper holder, toothbrush holder, and 24" towel bar.

Handicap requirements on housing without complete ADA requirements:

When required, contractor will install 2-36" grab bars, Model CS-1; stainless steel, "H" series or equal. Blocking will be installed prior to installation from wall to wall and be sufficient to support appropriate weight.  
Contractor will also install 1 handicap toilet, supply and wax seal.

Insulation:

Exterior Walls: 3 2" R-13 kraft backed batts.  
Ceilings: Minimum R-30 batts or blown fiberglass. Cardboard baffles must be installed when ceilings blown.  
Floors: All off-grade floors, minimum 6" batts with mesh protection or metal strap supports.  
Floors are to be insulated (between floor joists) to a minimum R-30, kraft-backed insulation with the paper turned toward the floor. The insulation must be supported using wire-type strapping or wire/plastic mesh.

Painting:

Exterior Surfaces -

Caulk between changes in materials (i.e., aluminum and vinyl, vinyl and wood). Caulk all mitered/butt joint same material.  
Steel Doors: paint with two (2) coats semi-gloss, latex base only.

Interior Surfaces -

Caulk all intersections of dissimilar materials (i.e., aluminum and sheetrock, sheetrock and wood, aluminum and wood, etc.).  
Set all nails in trim and putty.

Sheetrock Walls: prime all walls with latex primer, then paint with latex flat or satin finish only.

New Wood Painted: prime, sand, putty nail holes, caulk edges, and then paint with semi-gloss latex, repeat until smooth surface is obtained.

New Stained or Natural: stain or leave natural (per homeowner). Apply first coat of sanding sealer and allow to dry per manufacturer's specifications. Sand dry sealer, set and putty nail heads, then apply second coat of sanding sealer. Repeat process as necessary (with sanding between coats) until a smooth finish is obtained.

Note: cabinets are to be finished in the following areas: rails, stiles, scribe molding, valance exposed sides, drawer fronts, both sides of doors, inside door and drawer rails and stiles, and a minimum of 24" x 36" under kitchen sink and entire vanity bottom.

Finished Flooring:

Bathroom, Kitchen, Utility Room: install "Cambray," or equal (.065) sheet vinyl (\$16.00/yard installed).  
Front Room, Bedrooms, Hall, Dining: install carpet over 1/2" rebound pad (\$16.00/yd. installed).  
All finished flooring must be VA/FHA approved.  
Carpet is to be plush or sculptured. Homeowner is to pick color and design from Contractor's samples.  
Flooring material is to be a minimum of \$16.00/yd. installed.

House Numbers: Where applicable, three inch (3") metal nail-up type. Numbers must be installed over contrasting color.

Termite Pre-treatment: Each housing unit must be treated for termites with a one-time, one-year guarantee treatment; certification required.

Miscellaneous: Dryer vent - install to outside.

Carbon Monoxide Detectors will be included in all units with natural gas hook-ups.

Bedroom Closets - to receive rod & shelf or metal combo.

Laundry Closet - to receive rod & shelf or metal combo.

Appliances: Stove, when required, will be 30" free standing (gas or electric) with oven, model comparable to Lowe's Frigidaire FFEF3015LW. Refrigerator, Energy Star Rating. Model comparable to Lowe's Frigidaire 20.6 cubic feet. Top mount refrigerator Model: FRT211L6JW. Cost of appliances include cost of unit, delivery, tax and installation. **All appliances are to be rated energy star efficient.**

Exterior: Finish grade will be a minimum of 8" below finished floor, sloped 1:12 away from house. Adequate fill should be estimated no matter what the existing terrain. **Add centipede sod to exterior of new dwelling to a distance of 6 feet and spread winter rye around to a distance of 12 feet beyond the initial 6 feet of sod.** No other grade or landscaping work is to be included.

Nailing:

In addition to the nailing schedule listed in the general specs, the nailing schedule listed in SBCCI, Section 2308, will be required.\*

Where a common nail is required, a common nail will be used. Sinkers and air-driven nails do not meet dimensions or pull-out tests for common nails.\*

Changes to Specifications: Changes to specifications will be done in writing and where required, will include engineering and/or test data.

NOTE: Contractor will be responsible to include the following submittal with building permit requests:

1. Site plan.
2. Energy calculations.
3. Roof data sheet.
4. Concrete pour.
5. Exterior doors data sheet.
6. Windows data sheet.
7. Termite treatment type and application.
8. Engineered truss sheets with engineers stamp.

Data sheets for all county required items must be attached to building permit request. The above list may vary as per county requirements.

# Homeowner Responsibilities and Obligations

The Homeowner is responsible for the following prior to demolition:

- a. Contacting gas service company and requesting removal of meter and disconnection of gas line from main. When the job is completed, the homeowner is responsible for arranging to have the meter reconnected and service reattached to the main and service resumed. Homeowner is responsible for any disconnect and reconnect fees.
- b. Contacting electric company to request disconnection of power from house. The Homeowner would also need to request that the account stay open and pay the monthly fee to keep account open if required by the electric company. When the job is completed and the Final Inspection turned into the electric company, the homeowner is responsible for arranging for the reattachment and reconnection of power. Homeowner is responsible for any disconnect and reconnect fees.
- c. Removal of any shrubs, plants, and bushes from and around the building site which the Homeowner wishes to save and replant.
- d. The Homeowner is responsible for maintaining existing water for the Contractors use during the rehabilitation period.
- e. The Homeowner is responsible for the removal of all belongings/furnishings from the unit prior to the start date. This includes clothes, furniture, furnishings, drapes and curtains and other items which the Homeowner may want to save. The Homeowner may make arrangements with the Contractor to remove unwanted belongings, etc. at the Homeowner's expense. The Contractor is not responsible for removal of Homeowner's trash and or discarded belongings/furnishings.
- f. Items which are left within the unit, which are to be removed/replaced by the Contractor, become the property of the Contractor and must be removed from the site by the Contractor.
- g. Cooperate with the County, Housing Program Staff and the Contractor to facilitate the performance of the reconstruction work. The contract consists of the contract document, bid and proposal, general conditions and the specifications incorporated therein by reference, including this manual, and drawings, if applicable.

# Payment Schedule

Payments for work completed under the SHIP/HOME Program will be made in accordance with the following:

1. Twenty percent (20%) percent will be paid upon completion of the slab.
2. Thirty percent (30%) will be paid upon completion of framing and framing inspection by Santa Rosa County Building Inspections and Housing Staff.
3. The remaining fifty (50%) percent will be paid upon completion of all contract requirements as stipulated below.
  - a) Completion of inspection report by Housing Inspector
  - b) Inspection/Sign-off by Building Inspections
  - c) All warranty papers turned over to the homeowner
  - d) Acceptance by the Homeowner
  - e) Premises free from all construction debris
  - f) Certificate of Occupancy issued by the County
  - g) List of all sub-contractors with their appropriate permit number supplied.

## **Contractor Section**

This section sets forth requirements and procedures with respect to the construction project for reconstruction and related activities. Construction will be undertaken only after a written contract between the Contractor and the homeowner/recipient of the individual loan or grant has been executed.

### **Form of Contract**

The construction contract will consist of a single agreement signed by the Contractor and the recipient following approval of the loan/grant by Santa Rosa County. It shall include the Contractor's bid, general conditions, and the specifications for the work to be performed. The Contract form shall be provided by Santa Rosa County Attorney.

### **Contract Procedure**

The following major provisions must be observed in contracting for and completion of all reconstruction work performed under the Santa Rosa County SHIP/HOME Program.

1. Bid proposals must specify the name of the owner and the address to which the Contractor's bid pertains. Proposals must be submitted on behalf of the homeowner to the appropriate County office identified in the public notice before the closing time and date.
2. Appropriate notice will be given as to the date and time by which a bid will be received or accepted.
3. A pre-bid conference will be held prior to each bid opening. The purpose of this meeting is for contractors to bring any omission, alterations, and recommendations concerning the work write-up to the attention of County staff. This is an opportunity to make suggestions prior to bidding and failure to do so will demonstrate the contractor's acceptance of the work as defined, and therefore any obvious omissions will become the responsibility of the contractor. No obvious omissions type of change order, resulting in additional cost, will be considered after the subject pre-bid conference. The contractor or appropriate representative is required to attend the pre-bid conference.
4. When identical dollar amounts are bid on a specific project, the County reserves the right to make a determination as to award of the contract. The basis of this decision will be the work schedule and work capacity of the contractors involved.
5. Contractors' bid for work shall be accepted or rejected within thirty (30) days from the established receipt date.
6. County staff will notify the successful bidder of the award of the contract immediately upon approval of the required documents, or within 45 days of acceptance of bid, whichever occurs first.



7. Following an award, the appropriate binding contract documents will be approved and signed by all parties. No work is to be undertaken without such contract or prior to issuance of a written notice to proceed. Contractor shall commence with active field construction of the project within seven (7) days of receipt of the notice to proceed. After 30 days the job will be passed to the next eligible bidder.
8. The contractor to whom any bid is awarded shall provide the County with a cost breakout of each aspect of the job prior to commencement of the work. If this is not followed, the County estimate will be used to evaluate the cost of any deletion in the scope of work.
9. A notice of commencement will be filed on each job in conjunction with the issuance of the notice to proceed.
10. **The contractor must satisfactorily complete all the work within 120 days from the date of "notice to proceed."** No allowance or extension will be given for inclement weather or other events. The only exception to this policy would be in the event of a natural disaster such as a hurricane or major flood. For each day in excess of the 120 day time frame, the contractor may be assessed liquid damages in the amount of \$250 per day. Should a contractor's completion date fall on a weekend or holiday, the job must be 100% complete and ready for inspection on the morning of the next working day in order to avoid the assessment of a damage charge.
11. In order to qualify for payments beyond the contract amount, all work must be substantiated by a written change order approved by the County, the contractor and the homeowner.
12. All invoices will be approved and signed by the homeowner. The following must be complete in order for the contractor to qualify for the final draw.
  - County Building Inspection Certificate of Occupancy and final approval of electrical, plumbing, gas and building and State Health Department inspection of septic system. If a permit is not required written verification must be provided.
  - Final walk through and acceptance of homeowner and approval by Housing Program Inspector.
  - List of all sub-contractors, permit numbers and phone numbers.
  - Keys and warranty papers (stove, refrigerator, roof, siding, flooring, vent hood, central heating and air conditioner, tubs, sinks, faucets and any other warranted item) provided to the homeowner.
  - Final invoice from contractor for work completed.
  - Contractor's affidavit (release of liens).
  - Punch list items must be complete.
  - Color selection sheet signed by homeowner and contractor.

13. The contractor must not assign the contract or any part thereof without the written permission and sanction of the Santa Rosa County.

14. The contractor is required to:

- Obtain and pay for all permits and licenses necessary for the completion and execution of the work and labor to be performed.
- Perform all work in conformance with applicable state and/or local codes, whether or not specifically referred to by the specification and drawings for the work.
- Keep the premises clean and orderly during the course of the work and remove all debris upon completion of the work. Materials and equipment that have been removed and replaced as part of the work shall belong to the contractor.
- Guarantee the work performed for a period of one year from the date of final acceptance of all work required under the contract. Furnish completed manufacturers and suppliers guarantees and warranties covering materials and equipment replaced under the contract. This information must be furnished to the homeowner.
- Allow representatives of the state or county government to inspect the rehabilitation/reconstruction work at reasonable times during the progress of the work.
- Complete all warranty items and subsequently return the required form signed by the homeowner within ten (10) days of final. In the event a contractor fails to complete warranty work within the time frame

15. The Contractor is responsible for the following prior to Demolition:

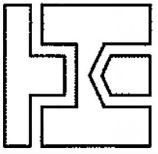
- a. Obtaining Demolition Permit, if required by the County.
- b. Setting temporary power pole, paying deposit, and arranging for inspection of temporary pole.
- c. NOTE: The Contractor will be responsible for all charges, fees, and monthly bills in conjunction with the temporary electric service.
- d. Disconnection of water lines from meter and the installation of a temporary water cock, stubbed up from meter.
- e. Removal of any fences.
- f. Install portable toilet on site.

## Miscellaneous Provisions

1. The County may add other provisions to the contract and/or general conditions as required to meet various federal, state and local laws and regulations governing equal employment opportunity, wage rates, contracting procedures, etc.
2. Upon entering the program, each qualified contractor will be provided a copy of the *Operations Manual and General Specifications and Reconstruction Standards*. Each contractor will sign a statement indicating receipt of the information.
3. Repair items not allowed under the program:
  - a) Gutters
  - b) Under-skirting
  - c) Driveways
  - d) Exterior sight work of any kind, including tree trimming
  - e) Detached buildings of any kind
  - f) Home or porch additions
  - g) Roofing different than the existing
  - h) Interior completion of garage areas
4. Job specifications detailed in the work write-up and illustrative sketches (if any), will be completed by the County Property Inspector for each property to be reconstructed. Drawings shall be prepared only when essential to show the scope and detail of the work involved so that a fair bid for the work can be obtained and to avoid misunderstandings. The specifications and drawings shall result from an inspection of the property and interviews with the homeowner/applicant. The specifications shall clearly establish the nature of the work to be done and the materials and equipment to be installed. Known acceptable brands shall be identified by reference to manufacturers or associations specifications and provision shall be made for acceptance of equal substitutions. Each page of the specifications and drawings shall be numbered and shall contain proper identification and the date.
5. Contractors shall be of good reputation, financially sound, have adequate financial resources and be qualified to carry out the work.
6. The procedure for inviting and obtaining bids is dependent upon the estimated cost of the work to be performed.
  - a. Less than \$10,000. The construction contract may be negotiated with one or more prospective bidders.

- b. \$10,000 or more. Invitation for bids shall be publicly advertised. The period of time between the request for bids and the bid opening shall not be less than seven (7) days.
- 7. If a bid other than the low bid is selected, a statement of the reasons for the selection will be provided. The homeowner/applicant's preference alone is not an acceptable reason for selecting a higher bid.
- 8. If two bids are not submitted and the bid received is acceptable, the bid may be awarded to the single bidder.
- 9. A standard specification and bid form shall be used for submission of all bids.
- 10. No member, officer or employee of the County or members of the governing body or other public official of the County who exercises any function or responsibility with respect to the Reconstruction Program during their tenure or for one year thereafter shall have any interest, direct or indirect in any contract or sub-contract or proceeds thereof for work to be performed in connection with the County SHIP/HOME Program.
- 11. In carrying out the contract, the Contractor shall not discriminate against any employee or applicant for employment because of race, creed, religion, color, age, sex, familial status, national origin or handicap.





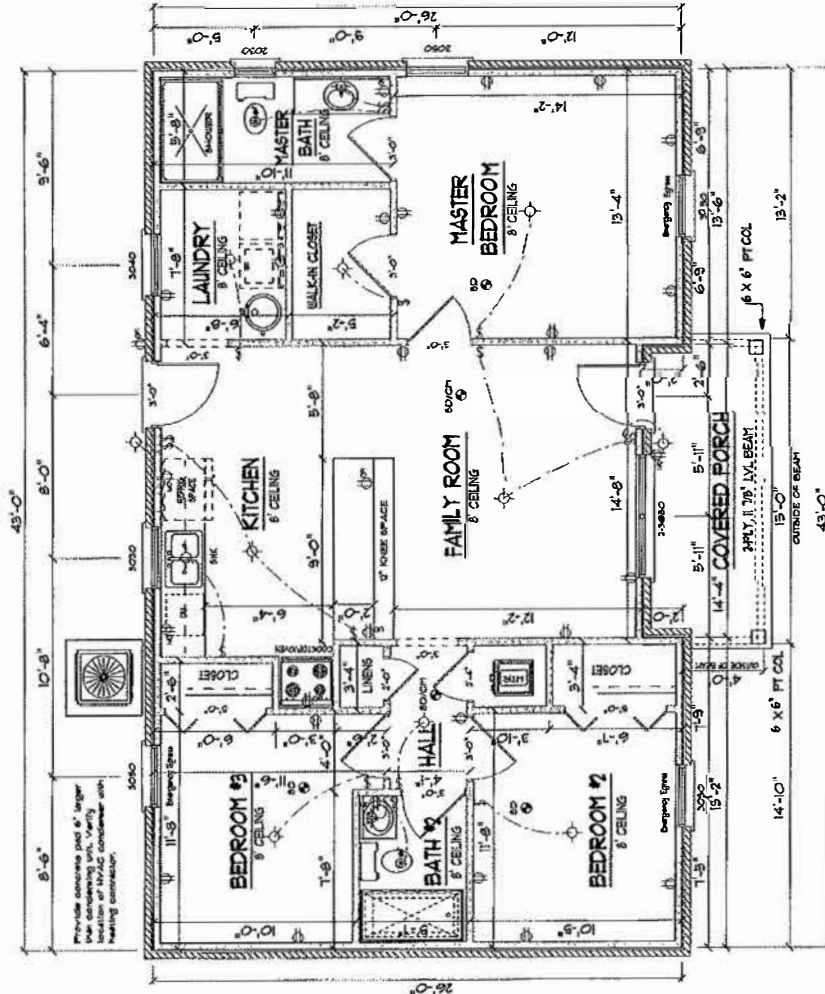
TOM HUNT RESIDENTIAL DESIGN, INC.  
 140 W. HUNTSVILLE AVENUE, SUITE 201  
 HUNTSVILLE, ALABAMA 35894  
 256-833-2001 | tomhuntresidential.com

# FLOOR PLAN

**CUSTOMER /** Santa Rosa County  
**BUILDER:** Santa Rosa County  
**LOCATION:** 8801 Buddy Hardy Road  
 Milton, FL 32570

SHEET NUMBER	A2
DATE	10/13/2021
PROJECT	186-42004 VARIATION
SCALE	1/4" = 1'-0"
DESIGN BY	J.E. Hunt
REVISION	206-21
DATE	10/13/2021
TIME	3:04 AM

**A2**  
 SHEET NO. 2 OF 3



## FOOTAGES

Living Area	1086 sq. ft.
Front Covered Porch	100 sq. ft.
Total (Under Roof)	1186 sq. ft.

### SCOPE OF PLANS:

These Plans are drafted to enable an individual with general construction knowledge, "The Builder" to order materials, acquire required permits, and build the structure. During construction, building conditions may cause variations in the actual plan dimensions. The Builder is responsible for these variations. It is the responsibility of the individual building the structure to verify the accuracy of the plans. The responsibility of the individual building the structure is to verify the accuracy of the plans. The responsibility of the individual building the structure is to verify the accuracy of the plans.

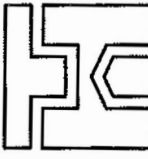
After the building permit has been stamped by the plan review office, Tom E. Hunt Residential Design Inc. has no more responsibility tied to building this house.

### ELECTRICAL NOTES:

- Electrical diagram is suggestive only. Conduit owner for further information on type, number and location of all fixtures.
- All electrical in these plans are in compliance with the 2014 National Electrical Code (NEC).
- Smoke detectors to be hardwired interconnected & have mentioned battery backup in all bedrooms and hall to bedrooms.
- Carbon monoxide detectors in halls 10' away from bedrooms.

### PROVISIONS FOR BALANCED AIR:

- Pressure differentials across closed doors where returns are centrally located shall be limited to 0.01 inch w.c. (2.5 Pa) or less. Where differential across walls in ceiling space shall be limited to 0.03 Pa (0.3 Pa) providing air exit paths of air transfer paths from the high pressure zone to the low zone.
- Habitable room only shall be required to meet these requirements for proper balanced return air.



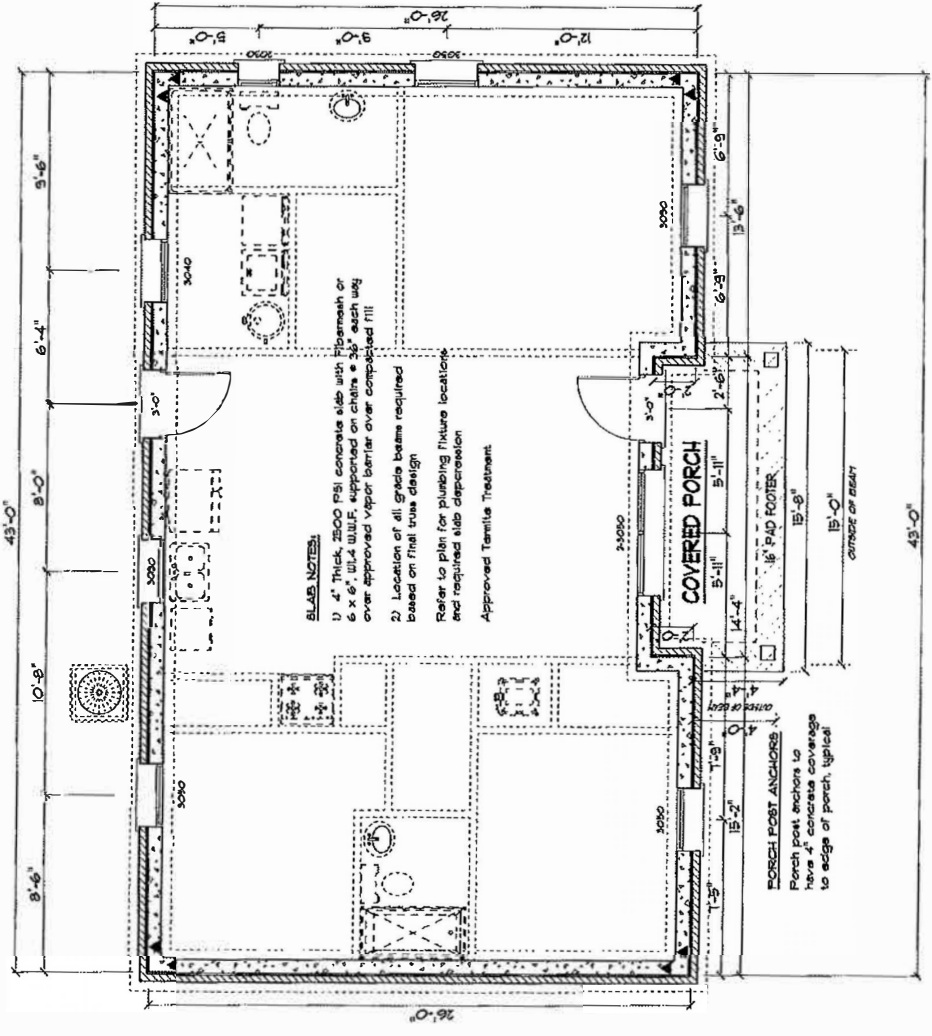
TOM E. HUNT RESIDENTIAL DESIGN, INC.  
 141 WEST WASHINGTON AVENUE, SUITE 102  
 MILTON, FL 32571  
 904-222-1171 | info@tedesign.com

# FOUNDATION

**CUSTOMER / BUILDER:** Santa Rosa County Housing Program  
 8801 Buddy Hardy Road  
 Milton, FL 32570

SCALE:	1/4" = 1'-0"
DESIGNED BY:	T.E. Hunt
CHECKED BY:	2023
DATE:	10/23/23
PROJECT:	024-21
DRAWING:	FOUNDATION VARIATION

**SHEET NUMBER:** A3  
**SHEET NO. 3 OF 3**



**SCOPE OF PLANS:**  
 These plans are created to enable an individual with general construction knowledge, "The Builder," to obtain all necessary permits, acquire required permits, and build the structure. During construction, building shall conform to the dimensions and details shown on the plans. The builder shall be responsible for obtaining all necessary permits and for ensuring that the building complies with all applicable codes. Any structural questions or questions arising from building inspections will be the responsibility of the builder or "The Professional Engineer On Record."  
 After the building permit has been stamped by the plan review office, Tom E. Hunt Residential Design, Inc. has no more responsibility tied to building this house.

- WALL ANCHORS: (SEE DETAIL SHEETS)**  
 See Foundation Plan For Tie-Rod & Plate Placement Where Applicable
1. ALL INTERIOR AND EXTERIOR LOAD-BEARING SHEARWALLS SHALL BE TIED TO FOUNDATION WITH 1/2" W/2" WASHER REQUIRED AT WITHIN 8" EACH SIDE OF CORNER AND AT 24" O.C.
  2. 5/8" THREADED TIE-ROD COUPLED TO 5/8" ANCHOR BOLT EXTENDED ROD THROUGH TOP PLATE AND FASTENED WITH 3/4" x 3/4" W/2" WASHER AND HEX NUT. 1/2" THREADED ROD MAY BE USED IN LIEU OF 5/8" THREADED ROD USE REDUCING COUPLER AT 5/8" ANCHOR BOLT. THREADED RODS MAY BE EPOXY-TIE INTO CONCRETE w/ SIMPSON SET EPOXY-TIE SYSTEM, PROVIDE 8" MIN. EMBEDMENT. (EACH SIDE OF GARAGE DOOR & OTHER OPENINGS OVER 8 FT)






# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Business and Professional Regulation - Residential Performance Method

Project Name: 8801 Buddy Hardy Road Street: 8801 Buddy Hardy Road City, State, Zip: Milton, FL, 32583 Owner: Williams Design Location: FL, Pensacola	Builder Name: Permit Office: Permit Number: Jurisdiction: County: Santa Rosa (Florida Climate Zone 2)
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Glass/Floor Area: 0.107	Total Proposed Modified Loads: 29.96	PASS
	Total Baseline Loads: 32.76	

<p>I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.</p> <p>PREPARED BY: <u>King Energy Consulting LLC</u>                  DATE: <u>10 May - 2021</u></p> <p>I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.</p> <p>OWNER/AGENT: _____                  DATE: _____</p>	<p>Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.</p> <div style="text-align: center;">  </div> <p>BUILDING OFFICIAL: _____                  DATE: _____</p>
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- Compliance requires certification by the air handler unit manufacturer that the air handler enclosure qualifies as certified factory-sealed in accordance with R403.3.2.1.
- Compliance requires an Air Barrier and Insulation Inspection Checklist in accordance with R402.4.1.1 and this project requires an envelope leakage test report with envelope leakage no greater than 7.00 ACH50 (R402.4.1.2).

**INPUT SUMMARY CHECKLIST REPORT**

PROJECT													
Title:	8801 Buddy Hardy Road			Bedrooms:	3		Address Type:	Street Address					
Building Type:	User			Conditioned Area:	1088		Lot #						
Owner Name:	Williams			Total Stories:	1		Block/Subdivision:						
# of Units:	1			Worst Case:	No		PlatBook:						
Builder Name:				Rotate Angle:	0		Street:	8801 Buddy Hardy Roa					
Permit Office:				Cross Ventilation:	Yes		County:	Santa Rosa					
Jurisdiction:				Whole House Fan:	No		City, State, Zip:	Milton , FL , 32583					
Family Type:	Detached												
New/Existing:	New (From Plans)												
Comment:													
CLIMATE													
✓	Design Location	TMY Site		Design Temp		Int Design Temp		Heating	Design	Daily Temp			
	FL, Pensacola	FL_PENSACOLA_REGIO		97.5 %	2.5 %	Winter	Summer	Degree Days	Moisture	Range			
				34	91	70	75	1174	51	Low			
BLOCKS													
	Number	Name	Area	Volume									
	1	Entire House	1088	8704									
SPACES													
	Number	Name	Area	Volume	Kitchen	Occupants	Bedrooms	Infil ID	Finished	Cooled	Heated		
	1	Room1	1088	8704	No	4	3	1	Yes	Yes	Yes		
FLOORS													
✓	#	Floor Type	Space	Perimeter	R-Value	Area			Tile	Wood	Carpet		
	1	Slab-On-Grade Edge Insulatio	Room1	144 ft	0	1087.9 ft²	----		0.5	0.5	0		
ROOF													
✓	#	Type	Materials	Roof Area	Gable Area	Roof Color	Rad Barr	Solar Absor.	SA Tested	Emitt Tested	Emitt Insul.	Pitch (deg)	
	1	Gable or Shed	Composition shingles	1147 ft²	182 ft²	Medium	N	0.5	No	0.5	No	0	18.43
ATTIC													
✓	#	Type	Ventilation	Vent Ratio (1 in)		Area	RBS	IRCC					
	1	Full attic	Vented	150		1088 ft²	N	N					
CEILING													
✓	#	Ceiling Type	Space	R-Value	Ins Type	Area	Framing Frac	Truss Type					
	1	Under Attic (Vented)	Room1	30	Blown	1088 ft²	0.1	Wood					

**INPUT SUMMARY CHECKLIST REPORT**

**WALLS**

✓ #	Ornt	Adjacent To	Wall Type	Space	Cavity R-Value	Width Ft	In	Height Ft	In	Area	Sheathing R-Value	Framing Fraction	Solar Absor.	Below Grade%
1	N	Exterior	Frame - Wood	Room1	13	43	0	8	0	344.0 ft²	0	0.1	0.1	0
2	E	Exterior	Frame - Wood	Room1	13	29	0	8	0	232.0 ft²	0	0.1	0.1	0
3	S	Exterior	Frame - Wood	Room1	13	43	0	8	0	344.0 ft²	0	0.1	0.1	0
4	W	Exterior	Frame - Wood	Room1	13	29	0	8	0	232.0 ft²	0	0.1	0.1	0

**DOORS**

✓ #	Ornt	Door Type	Space	Storms	U-Value	Width Ft	In	Height Ft	In	Area
1	N	Wood	Room1	None	.39	2	10	7		19.8 ft²
2	S	Wood	Room1	None	.39	3		7		21 ft²

**WINDOWS**

Orientation shown is the entered, Proposed orientation.

✓ #	Ornt	Wall ID	Frame	Panels	NFRC	U-Factor	SHGC	Imp	Area	Overhang Depth	Separation	Int Shade	Screening
1	N	1	Vinyl	Low-E Double	Yes	0.36	0.36	N	14.6 ft²	1 ft 5 in	1 ft 2 in	Drapes/blinds	None
2	N	1	Vinyl	Low-E Double	Yes	0.36	0.36	N	15.0 ft²	1 ft 5 in	1 ft 2 in	Drapes/blinds	None
3	N	1	Vinyl	Low-E Double	Yes	0.36	0.36	N	30.0 ft²	6 ft 0 in	1 ft 2 in	Drapes/blinds	None
4	S	3	Vinyl	Low-E Double	Yes	0.36	0.36	N	9.0 ft²	1 ft 5 in	1 ft 2 in	Drapes/blinds	None
5	S	3	Vinyl	Low-E Double	Yes	0.36	0.36	N	12.0 ft²	1 ft 5 in	1 ft 2 in	Drapes/blinds	None
6	S	3	Vinyl	Low-E Double	Yes	0.36	0.36	N	15.0 ft²	1 ft 5 in	1 ft 2 in	Drapes/blinds	None
7	W	4	Vinyl	Low-E Double	Yes	0.36	0.36	N	6.0 ft²	1 ft 5 in	1 ft 2 in	Drapes/blinds	None
8	W	4	Vinyl	Low-E Double	Yes	0.36	0.36	N	15.0 ft²	1 ft 5 in	1 ft 2 in	Drapes/blinds	None

**INFILTRATION**

#	Scope	Method	SLA	CFM 50	ELA	EqLA	ACH	ACH 50
1	Wholehouse	Proposed ACH(50)	.000356	1015.5	55.71	104.59	.148	7

**HEATING SYSTEM**

✓ #	System Type	Subtype	Speed	Efficiency	Capacity	Block	Ducts
1	Electric Heat Pump/	Split	Singl	HSPF:8.3	15.56 kBtu/hr	1	sys#1

**COOLING SYSTEM**

✓ #	System Type	Subtype	Subtype	Efficiency	Capacity	Air Flow	SHR	Block	Ducts
1	Central Unit/	Split	Singl	SEER: 14	15.56 kBtu/hr	cfm	0.75	1	sys#1

**INPUT SUMMARY CHECKLIST REPORT**

<b>HOT WATER SYSTEM</b>																								
✓	#	System Type	SubType	Location	EF	Cap	Use	SetPnt	Conservation															
✓	1	Electric	None	Room1	0.95	50 gal	62.3 gal	120 deg	None															
<b>SOLAR HOT WATER SYSTEM</b>																								
✓	FSEC Cert #	Company Name	System Model #		Collector Model #		Collector Area	Storage Volume	FEF															
✓	None	None					ft <sup>2</sup>																	
<b>DUCTS</b>																								
✓	#	---- Supply ----		---- Return ----		Leakage Type	Alr Handler	CFM 25 TOT	CFM25 OUT	QN	RLF	HVAC #												
✓	1	Attic	6	108 ft <sup>2</sup>	Room1	0 ft <sup>2</sup>	Default Leakage	Room1	(Default)	(Default)			1	1										
<b>TEMPERATURES</b>																								
Programable Thermostat: Y						Ceiling Fans:																		
Cooling	<input checked="" type="checkbox"/>	Jan	<input checked="" type="checkbox"/>	Feb	<input checked="" type="checkbox"/>	Mar	<input type="checkbox"/>	Apr	<input type="checkbox"/>	May	<input checked="" type="checkbox"/>	Jun	<input checked="" type="checkbox"/>	Jul	<input checked="" type="checkbox"/>	Aug	<input checked="" type="checkbox"/>	Sep	<input type="checkbox"/>	Oct	<input checked="" type="checkbox"/>	Nov	<input checked="" type="checkbox"/>	Dec
Heating	<input checked="" type="checkbox"/>	Jan	<input checked="" type="checkbox"/>	Feb	<input checked="" type="checkbox"/>	Mar	<input type="checkbox"/>	Apr	<input type="checkbox"/>	May	<input checked="" type="checkbox"/>	Jun	<input checked="" type="checkbox"/>	Jul	<input checked="" type="checkbox"/>	Aug	<input checked="" type="checkbox"/>	Sep	<input type="checkbox"/>	Oct	<input checked="" type="checkbox"/>	Nov	<input checked="" type="checkbox"/>	Dec
Venting	<input checked="" type="checkbox"/>	Jan	<input checked="" type="checkbox"/>	Feb	<input checked="" type="checkbox"/>	Mar	<input type="checkbox"/>	Apr	<input type="checkbox"/>	May	<input checked="" type="checkbox"/>	Jun	<input checked="" type="checkbox"/>	Jul	<input checked="" type="checkbox"/>	Aug	<input checked="" type="checkbox"/>	Sep	<input type="checkbox"/>	Oct	<input checked="" type="checkbox"/>	Nov	<input checked="" type="checkbox"/>	Dec
Thermostat Schedule: HERS 2006 Reference														Hours										
Schedule Type			1	2	3	4	5	6	7	8	9	10	11	12										
Cooling (WD)		AM	78	78	78	78	78	78	78	78	78	80	80	80	80									
		PM	80	80	78	78	78	78	78	78	78	78	78	78	78									
Cooling (WEH)		AM	78	78	78	78	78	78	78	78	78	78	78	78	78									
		PM	78	78	78	78	78	78	78	78	78	78	78	78	78									
Heating (WD)		AM	66	66	66	66	66	68	68	68	68	68	68	68	68									
		PM	68	68	68	68	68	68	68	68	68	68	68	66	66									
Heating (WEH)		AM	66	66	66	66	66	68	68	68	68	68	68	68	68									
		PM	68	68	68	68	68	68	68	68	68	68	68	66	66									
<b>MASS</b>																								
Mass Type				Area		Thickness		Furniture Fraction		Space														
Default(8 lbs/sq.ft.)				0 ft <sup>2</sup>		0 ft		0.3		Room1														

# ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX\* = 91

The lower the EnergyPerformance Index, the more efficient the home.

8801 Buddy Hardy Road, Milton, FL, 32583

1. New construction or existing		New (From Plans)	10. Wall Type and Insulation	Insulation	Area
2. Single family or multiple family		Detached	a. Frame - Wood, Exterior	R=13.0	1152.00 ft <sup>2</sup>
3. Number of units, if multiple family		1	b. N/A	R=	ft <sup>2</sup>
4. Number of Bedrooms		3	c. N/A	R=	ft <sup>2</sup>
5. Is this a worst case?		No	d. N/A	R=	ft <sup>2</sup>
6. Conditioned floor area (ft <sup>2</sup> )		1088	11. Ceiling Type and insulation level	Insulation	Area
7. Windows**	Description	Area	a. Under Attic (Vented)	R=30.0	1088.00 ft <sup>2</sup>
a. U-Factor:	DbI, U=0.36	116.58 ft <sup>2</sup>	b. N/A	R=	ft <sup>2</sup>
SHGC:	SHGC=0.36		c. N/A	R=	ft <sup>2</sup>
b. U-Factor:	N/A	ft <sup>2</sup>	12. Ducts, location & insulation level	R	ft <sup>2</sup>
SHGC:			a. Sup: Attic, Ret: Room1, AH: Room1	6	108
c. U-Factor:	N/A	ft <sup>2</sup>	13. Cooling systems	kBtu/hr	Efficiency
SHGC:			a. Central Unit	15.6	SEER:14.00
d. U-Factor:	N/A	ft <sup>2</sup>	14. Heating systems	kBtu/hr	Efficiency
SHGC:			a. Electric Heat Pump	15.6	HSPF:8.30
Area Weighted Average Overhang Depth:		2.596 ft.	15. Hot water systems		Cap: 50 gallons
Area Weighted Average SHGC:		0.360	a. Electric		EF: 0.95
8. Skylights	Description	Area	b. Conservation features		None
a. U-Factor(AVG):	N/A	ft <sup>2</sup>			
SHGC(AVG):	N/A		Credits (Performance method)		CV, Pstat
9. Floor Types		Insulation	Area		
a. Slab-On-Grade Edge Insulation		R=0.0	1087.90 ft <sup>2</sup>		
b. N/A		R=	ft <sup>2</sup>		
c. N/A		R=	ft <sup>2</sup>		

I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

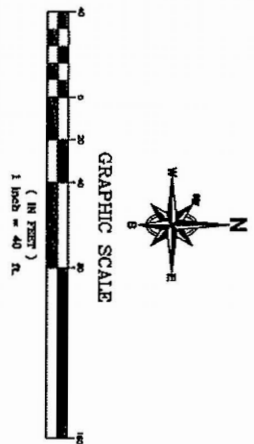
Builder Signature: Phil Wolfe Date: 06/16/2021  
 Address of New Home: 8801 Buddy Hardy Rd City/FL Zip: Milton, FL 32570



\*Note: This is not a Building Energy Rating. If your Index is below 70, your home may qualify for energy efficient mortgage (EEM) incentives if you obtain a Florida Energy Rating. For information about the Florida Building Code, Energy Conservation, contact the Florida Building Commission's support staff.

\*\*Label required by Section R303.1.3 of the Florida Building Code, Energy Conservation, if not DEFAULT.

# BOUNDARY SURVEY WITH IMPROVEMENTS OF A PORTION OF SECTION 4, TOWNSHIP 3 NORTH, RANGE 27 WEST, SANTA ROSA COUNTY, FLORIDA



DESCRIPTION AS PREPARED BY NORTHWEST FLORIDA LAND SURVEYING, INC.  
DETAILED AS FOLLOWS:

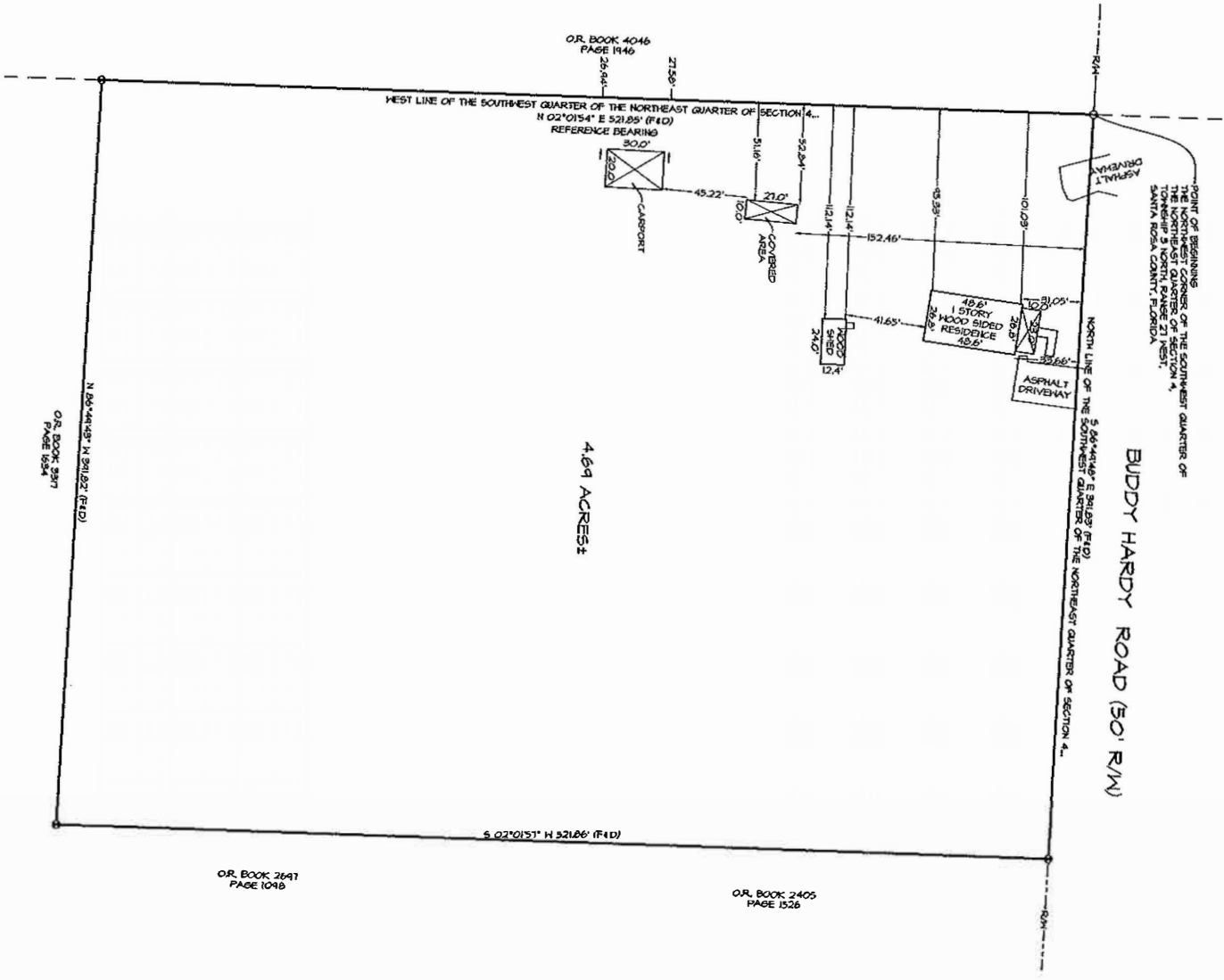
BEGIN AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 NORTH, RANGE 27 WEST, SANTA ROSA COUNTY, FLORIDA; THENCE S89°44'46" E 512.86' (F1D) TO THE POINT OF BEGINNING; THENCE S10°09'09" W 121.4' TO THE WEST LINE OF BUDDY HARDY ROAD (50' R/W); THENCE S89°44'46" E 512.86' (F1D) TO THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 NORTH, RANGE 27 WEST, SANTA ROSA COUNTY, FLORIDA; THENCE S89°44'46" E 512.86' (F1D) TO THE POINT OF BEGINNING.

### GENERAL NOTES:

1. THE DEGREES AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN DATUM 1983 STATE PLANE COORDINATE SYSTEM.
2. THE SURETY DATA AS SHOWN HEREON IS REFERENCED TO THE DESCRIPTION AS FURNISHED AND TO BEING IN THE PUBLIC RECORDS.
3. NO TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY NORTHWEST FLORIDA LAND SURVEYING, INC. THE SURVEYOR HAS BEEN ADVISED THAT THERE MAY BE OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
4. THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X2, OUTSIDE OF ANNUAL CHANCE OF FLOOD, AS DETERMINED FROM FEDERAL BUREAU OF MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF SANTA ROSA COUNTY, FLORIDA (UNINCORPORATED AREAS), MAP NUMBER 1218C 0215 6, REVISED DECEMBER 14, 2006.
5. THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
6. THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 54F-05 - 54F-05.9 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.271, FLORIDA STATUTES, TO THE BEST OF HIS KNOWLEDGE AND BELIEF.
7. THE REQUIREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
8. THE REQUIREMENTS OF THE BUILDINGS AND/OR FOUNDATIONS SHOWN HEREON DO NOT INCLUDE CONCRETE FOOTINGS OR BAYE OVERPASSES.
9. FINICE LOCATIONS SHOWN HEREON MAY BE EXAGGERATED AND NOT TO SCALE FOR CLARITY PURPOSES.
10. FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR IN PART AND IS NOT TO BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM, WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER, FRED R. HERRON, AND IS TO BE RETURNED TO HIM UPON REQUEST.
11. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL LAND CONVEY DOCUMENT ON THE SURVEY DATE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO REVISIONS SHALL BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL, SIGNED AND SEALED DOCUMENT.
12. THIS SURVEY MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS BY COUNTY, STATE OR OTHER AGENCIES.
13. ENCLOSUREMENTS ARE AS SHOWN.
14. THE PURPOSE OF THIS SURVEY IS TO RETRACE AND MONUMENT THE DEED OF RECORD ON THE GROUND AS SHOWN ON THE SURVEY TO SCALE AND THEN RECONSTRUCT TO ITS ORIGINAL.

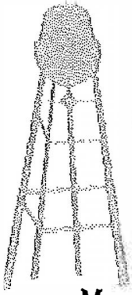
- NOTES:
- ① - 1/2" CAPPED IRON ROD, NUMBERED 7211 (PLACED)
  - ② - 1/2" CAPPED IRON ROD, UNNUMBERED (FOUND)
  - ③ - DEED INFORMATION
  - ④ - DEED INFORMATION
  - ⑤ - RIGHT OF WAY
  - ⑥ - OFFICIAL RECORD
  - ⑦ - PAVED

NORTHWEST FLORIDA LAND SURVEYING, INC.  
1100 W. BURGESS STREET, SANTA ROSA, FLORIDA 32580  
P.O. BOX 1777, SANTA ROSA, FLORIDA 32580  
TEL: 904.329.1100  
FAX: 904.329.1101  
REGISTRATION NUMBER 3287, CLASS NUMBER 1271  
STATE OF FLORIDA



8801 BUDDY HARDY ROAD

24511 PAGE 20	BOUNDARY SURVEY WITH IMPROVEMENTS OF A PORTION OF SECTION 4, TOWNSHIP 3 NORTH, RANGE 27 WEST, SANTA ROSA COUNTY, FLORIDA PREPARED FOR AND REQUESTED BY: DONNA WILLIAMS	NORTHWEST FLORIDA LAND SURVEYING, INC. A PROFESSIONAL SERVICE ORGANIZATION FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS REG. NO. 3287 CLASS NO. 1271	NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR	REVISIONS		
				NO.	DATE	APPROVAL
		SCALE 1" = 40' DRAWN: JAS CHECKED: PRT DATE: 4/28/21				



# Berrydale Water System, Inc.

---

12400 Highway 87 North • Milton, Florida 32570

Phone (850) 675-6086 • Fax (850) 675-5125

Email: berrydalwatersy@bellsouth.net

March 11, 2021

Donna Williams  
6051 Old Bagdad Hwy, Suite 201  
Milton, FL 32583

Re: Application for Water Service (Fees Paid)

Name: Shelia Hardy  
Address: 8801 Buddy Hardy Rd.  
Milton, FL 32570  
Email: \_\_\_\_\_

Phone Number \_\_\_\_\_

Fax: \_\_\_\_\_

Parcel Number: \_\_\_\_\_

Service Address 8801 Buddy Hardy Rd.  
Milton, FL 32570

To Whom It May Concern:

This is to inform all concerned parties that water service is available at the above water service address by Berrydale Water System, Inc. The above named customer has paid all necessary fees for water service at the above water service address.

KL  
\_\_\_\_\_  
Berrydale Water System, Inc.



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM

PERMIT #: 57-SG-2275068  
APPLICATION #: AP1658189  
DATE PAID: \_\_\_\_\_  
FEE PAID: \_\_\_\_\_  
RECEIPT #: \_\_\_\_\_  
DOCUMENT #: PR1563823

CONSTRUCTION PERMIT FOR: OSTDS Repair

APPLICANT: Sheila Hardy

PROPERTY ADDRESS: 8801 Buddy Hardy Rd Milton, FL 32570

LOT: na BLOCK: na SUBDIVISION: M&B

PROPERTY ID #: 04-3N-27-0000-01100-0000 [SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]  
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [ 1,050 ] GALLONS / GPD Septic CAPACITY  
A [ 0 ] GALLONS / GPD \_\_\_\_\_ CAPACITY  
N [ 0 ] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK:1250 GALLONS]  
K [ ] GALLONS DOSING TANK CAPACITY [ ] GALLONS @ [ ] DOSES PER 24 HRS #Pumps [ ]

D [ 210 ] SQUARE FEET Drainfield SYSTEM  
R [ 0 ] SQUARE FEET \_\_\_\_\_ SYSTEM  
A TYPE SYSTEM: [x] STANDARD [ ] FILLED [ ] MOUND [ ]  
I CONFIGURATION: [x] TRENCH [ ] BED [ ]

F LOCATION OF BENCHMARK: Benchmark with ribbon in tree.

I ELEVATION OF PROPOSED SYSTEM SITE [ 24.00 ] [ INCHES ] FT [ ] ABOVE / [ ] BELOW BENCHMARK/REFERENCE POINT  
E BOTTOM OF DRAINFIELD TO BE [ 41.00 ] [ INCHES ] FT [ ] ABOVE / [ ] BELOW BENCHMARK/REFERENCE POINT

L  
D FILL REQUIRED: [ 1.00 ] INCHES EXCAVATION REQUIRED: [ 0.00 ] INCHES

O  
T  
H  
E  
R  
Abandon existing septic tank to code. Install a 900 gal septic tank with 210 sq ft drainfield. Maintain all setbacks in accordance with FAC 64E-6. Above must be completed prior to Final Inspection & Approval. A re-inspection fee will be charged for additional inspections. If benchmark is removed a re-inspection fee will be charged to reset benchmark. This Health Department recommends but does not require the installation of 375 sq ft of drainfield to meet current code. If gravity flow cannot be achieved, install pump. Kitchen effluent line must be connected to septic system plumbing during repair.  
(Comments Continued on Page 2.)

SPECIFICATIONS BY: Joseph P Magee *Joseph P Magee* TITLE: Environmental Specialist I

APPROVED BY: Herman M Davies *Herman M Davies* TITLE: ENVIRONMENTAL MANAGER Santa Rosa CHD

DATE ISSUED: 05/11/2021 EXPIRATION DATE: 08/09/2021

DH 4016, 08/09 (Obsoletes all previous editions which may not be used)  
Incorporated: 64E-6.003, FAC



DOCUMENT #: PR1563823

The system is sized for 3 bedrooms with a maximum occupancy of 6 persons (2 per bedroom), for a total estimated flow of 300 gpd. Required drainfield area based on rule 64E-6.015(8)(c)2. Install a new drainfield to achieve Drainfield size requirement.

*Heather M. Davis*

09:1

391.82

Proposed New Build

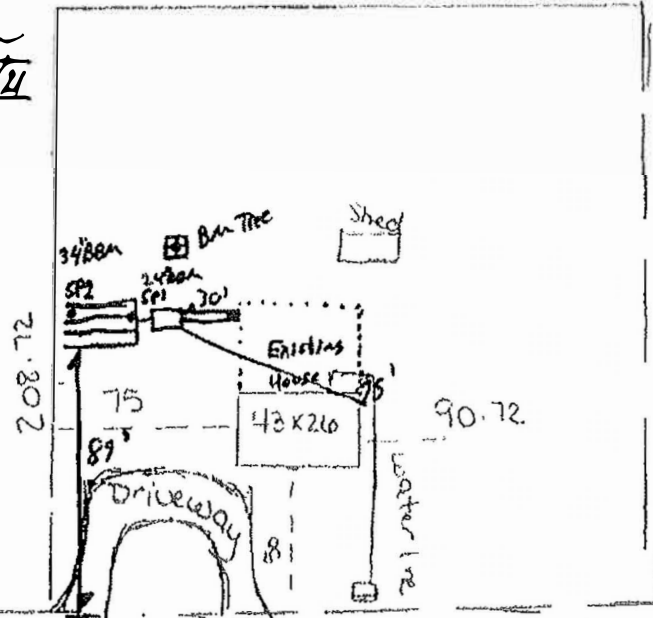
318.14

-parcel B' 3.69 acres

521.86

APPROVED BY: *Jim Papp*  
DOH SANTA ROSA DATE: *5/11/24*

208.72



Parcel A  
1 acre

208.72

8801 Buddy Hardy Rd M ton 32510



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM  
EXISTING SYSTEM AND SYSTEM REPAIR  
EVALUATION

APPLICATION # AP1658189  
PERMIT # 57-SG-2275088  
DOC # RE643708

57-SG-2275068

APPLICANT: Shella Hardy  
CONTRACTOR / AGENT: Donna Williams (SRC Housing Program)  
LOT: na BLOCK: na SUBDIVISION: \_\_\_\_\_ M&B \_\_\_\_\_ ID#: 04-3N-27-0000-61100-000

TO BE COMPLETED BY A FLORIDA REGISTERED ENGINEER, DEPARTMENT EMPLOYEE, SEPTIC TANK CONTRACTOR OR OTHER CERTIFIED PERSON. SIGN AND SEAL ALL SUBMITTED DOCUMENTS. COMPLETE ALL APPLICABLE ITEMS. COMPLETE TANK CERTIFICATION BELOW OR NOTE IN REMARKS WHY THE TANKS CANNOT BE CERTIFIED.

EXISTING TANK INFORMATION

[ 1050 ] GALLONS Septic Tank LEGEND: Unknown MATERIAL: Concrete BAFFLED: [ Y /  N ]  
[ ] GALLONS LEGEND: \_\_\_\_\_ MATERIAL: \_\_\_\_\_ BAFFLED: [ Y / N ]  
[ ] GALLONS GREASE INTERCEPTOR LEGEND: \_\_\_\_\_ MATERIAL: \_\_\_\_\_  
[ ] GALLONS DOSING TANK LEGEND: \_\_\_\_\_ MATERIAL: \_\_\_\_\_ # PUMPS: [ ]

I CERTIFY THAT THE ABOVE NOTED TANKS WERE PUMPED ON 04/06/2021 BY Carter & Sons Septic Tank Service Inc.  
THE VOLUMES SPECIFIED AS DETERMINED BY [ DIMENSIONS /  FILLING / LEGEND ], ARE FREE OF OBSERVABLE DEFECTS OR LEAKS AND HAVE A [  SOLIDS DEFLECTION DEVICE / OUTLET FILTER DEVICE ] INSTALLED.

\_\_\_\_\_  
SIGNATURE OF LICENSED CONTRACTOR BUSINESS NAME David Carter (Carter & Sons) DATE 04/07/2021

EXISTING DRAINFIELD INFORMATION

[ 210 ] SQUARE FEET PRIMARY DRAINFIELD SYSTEM NO. OF TRENCHES [ 2 ] DIMENSIONS: 3.00 x 35.00  
[ ] SQUARE FEET \_\_\_\_\_ SYSTEM NO. OF TRENCHES [ ] DIMENSIONS: \_\_\_\_\_ x \_\_\_\_\_

TYPE OF SYSTEM: [ X ] STANDARD [ ] FILLED [ ] MOUND [ ] \_\_\_\_\_  
CONFIGURATION: [ X ] TRENCH [ ] BED [ ] \_\_\_\_\_  
DESIGN: [ ] HEADER [ X ] D-BOX [ X ] GRAVITY SYSTEM [ ] DOSED SYSTEM  
ELEVATION OF BOTTOM OF DRAINFIELD IN RELATION TO EXISTING GRADE 27.00 INCHES [ ABOVE /  BELOW ]

SYSTEM FAILURE AND REPAIR INFORMATION

[ 01/01/1930 ] SYSTEM INSTALLATION DATE TYPE OF WASTE [ X ] DOMESTIC [ ] COMMERCIAL  
[ 300 ] GPD ESTIMATED SEWAGE FLOW BASED ON [ ] METERED WATER [ X ] TABLE 1, 64E-6, FAC  
SITE [ ] DRAINAGE STRUCTURES [ ] POOL [ ] PATIO / DECK [ X ] PARKING  
CONDITIONS: [ ] SLOPING PROPERTY [ ] \_\_\_\_\_  
NATURE OF [ ] HYDRAULIC OVERLOAD [ ] SOILS [ X ] MAINTENANCE [ X ] SYSTEM DAMAGE  
FAILURE: [ ] DRAINAGE / RUN OFF [ ] ROOTS [ ] WATER TABLE [ X ] Age \_\_\_\_\_  
FAILURE [ ] SEWAGE ON GROUND [ X ] TANK [ ] D-BOX / HEADER [ X ] DRAINFIELD  
SYMPTOM: [ ] PLUMBING BACKUP [ ] \_\_\_\_\_

SUBMITTED BY: Joseph P Magee TITLE/LICENSE Environmental Specialist I DATE: 05/11/2021



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM  
EXISTING SYSTEM AND SYSTEM REPAIR  
EVALUATION

APPLICATION # AP1658189  
PERMIT # 57-SG-2275068  
DCC # RE643708

57-SG-2275068

REMARKS/ADDITIONAL CRITERIA

Existing drain field is gravel.

Empty rectangular box for additional remarks or criteria.

SUBMITTED BY: \_\_\_\_\_ TITLE/LICENSE Environmental Specialist I DATE: 05/11/2021

Joseph P Magee (Florida Department o

DB 4015, 08/09 (Obsoletes previous editions which may not be used)  
Incorporated 64E-6.001, FAC



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM  
SITE EVALUATION AND SYSTEM SPECIFICATION

APPLICATION # AP1658189  
PERMIT # 57-SG-2275068  
DOCUMENT # SE1520820

APPLICANT: Sheila Hardy  
CONTRACTOR / AGENT: SRG Housing Program  
LOT: na BLOCK: na  
SUBDIVISION: M&B ID#: 04-3N-27-0000-01100-0000

TO BE COMPLETED BY ENGINEER, HEALTH DEPARTMENT EMPLOYEE, OR OTHER QUALIFIED PERSON. ENGINEERS MUST PROVIDE REGISTRATION NUMBER AND SIGN AND SEAL EACH PAGE OF SUBMITTAL. COMPLETE ALL ITEMS.

PROPERTY SIZE CONFORMS TO SITE PLAN:  YES  NO NET USABLE AREA AVAILABLE: 4.69 ACRES  
TOTAL ESTIMATED SEWAGE FLOW: 300 GALLONS PER DAY [ RESIDENCES-TABLE1 / OTHER-TABLE 2 ]  
AUTHORIZED SEWAGE FLOW: 11724.98 GALLONS PER DAY [ 1500 GPD/ACRE OR 2500 GPD/ACRE ]  
UNOBSTRUCTED AREA AVAILABLE: 2000.00 SQFT UNOBSTRUCTED AREA REQUIRED: 563.00 SQFT

BENCHMARK/REFERENCE POINT LOCATION: Benchmark with ribbon in tree.  
ELEVATION OF PROPOSED SYSTEM SITE 24.00 [ INCHES / FT ] [ ABOVE / BELOW ] BENCHMARK/REFERENCE POINT

THE MINIMUM SETBACK WHICH CAN BE MAINTAINED FROM THE PROPOSED SYSTEM TO THE FOLLOWING FEATURES  
SURFACE WATER: na FT DITCHES/SWALES: na FT NORMALLY WET: [ ] YES [  ] NO  
WELLS: PUBLIC: na FT LIMITED USE: na FT PRIVATE: na FT NON-POTABLE: na FT  
BUILDING FOUNDATIONS: 30 FT PROPERTY LINES: 89 FT POTABLE WATER LINES: 75 FT

SITE SUBJECT TO FREQUENT FLOODING? [ ] YES [  ] NO 10 YEAR FLOODING? [ ] YES [  ] NO  
10 YEAR FLOOD ELEVATION FOR SITE: \_\_\_\_\_ FT [ MSL / NGVD ] SITE ELEVATION: \_\_\_\_\_ FT [ MSL / NGVD ]

SOIL PROFILE INFORMATION SITE 1

Munsell #/Color	Texture	Depth
USDA SOIL SERIES: Bonifay loamy sand, 0 to 5 percent		
10YR 4/3	Loamy Sand	0 To 10
10YR 5/6	Loamy Sand	10 To 35
7.5YR 5/8	CMN/PRM RF	23 To 65
10YR 6/6	Loamy Sand	35 To 49
10YR 6/8	Loamy Sand	49 To 55
7.5YR 6/8	Sandy Clay Loam	55 To 65
REFUSAL	Refusal	65 To 65

SOIL PROFILE INFORMATION SITE 2

Munsell #/Color	Texture	Depth
USDA SOIL SERIES: Bonifay loamy sand, 0 to 5 percent		
10YR 3/2	Loamy Sand	0 To 12
10YR 6/6	Loamy Sand	12 To 34
7.5YR 5/8	CMN/PRM RF	28 To 72
10YR 6/8	Loamy Sand	34 To 46
7.5YR 5/8	Silty Clay Loam	46 To 58
7.5YR 5/8	Silty Clay Loam	58 To 72

OBSERVED WATER TABLE: 40.00 INCHES [ ABOVE / BELOW ] EXISTING GRADE TYPE: [ ] PERCHED / [ APPARENT ]  
ESTIMATED NET SEASON WATER TABLE ELEVATION: 23 INCHES [ ABOVE / BELOW ] EXISTING GRADE  
HIGH WATER TABLE VEGETATION: [ ] YES [  ] NO MOTTLING: [  ] YES [ ] NO DEPTH: 23.00 INCHES  
SOIL TEXTURE/LOADING RATE FOR SYSTEM SIZING: Loamy Sand/0.80 DEPTH OF EXCAVATION: 0 INCHES  
DRAINFIELD CONFIGURATION: [  ] TRENCH [ ] BED [ ] OTHER (SPECIFY) \_\_\_\_\_

REMARKS/ADDITIONAL CRITERIA  
SP1: 24" BBM; SP2: 34" BBM

SITE EVALUATED BY: George G... DATE: 05/11/2021



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM  
EXISTING SYSTEM AND SYSTEM REPAIR EVALUATION

PERMIT # \_\_\_\_\_

APPLICANT: 8801 Buddy hardy RD Milton, FL

CONTRACTOR / AGENT: \_\_\_\_\_

LOF: \_\_\_\_\_ BLOCK: \_\_\_\_\_ SUBDIV: \_\_\_\_\_ ID#: \_\_\_\_\_

TO BE COMPLETED BY FLORIDA REGISTERED ENGINEER, DEPARTMENT EMPLOYEE, SEPTIC TANK CONTRACTOR OR OTHER CERTIFIED PERSON. SIGN AND SEAL ALL SUBMITTED DOCUMENTS. COMPLETE ALL APPLICABLE ITEMS. COMPLETE TANK CERTIFICATION BELOW OR NOTE IN REMARKS WHY THE TANKS CANNOT BE CERTIFIED.

EXISTING TANK INFORMATION

<input checked="" type="checkbox"/> 1050	GALLONS SEPTIC TANK / GPD ATU	LEGEND: _____	MATERIAL: <u>concrete</u>	BAFFLED: <input checked="" type="checkbox"/> (N)
<input type="checkbox"/>	GALLONS SEPTIC TANK / GPD ATU	LEGEND: _____	MATERIAL: _____	BAFFLED: <input type="checkbox"/>
<input type="checkbox"/>	GALLONS GREASE INTERCEPTOR	LEGEND: _____	MATERIAL: _____	
<input type="checkbox"/>	GALLONS DOSING TANK	LEGEND: _____	MATERIAL: _____	# PUMPS: <input type="checkbox"/> 1

I CERTIFY THAT THE LISTED TANKS WERE PUMPED ON 4/10/21 BY Calb Drennon, HAVE THE VOLUMES SPECIFIED AS DETERMINED BY  DIMENSIONS / FILLING / LEGEND , ARE FREE OF OBSERVABLE DEFECTS OR LEAKS AND HAVE A  SOLIDS DEFLECTION DEVICE / OUTLET FILTER DEVICE  INSTALLED.

[Signature] Cartor and Sons Septic tank Service 2/10/21  
SIGNATURE OF LICENSED CONTRACTOR BUSINESS NAME DATE

EXISTING DRAINFIELD INFORMATION

SQUARE FEET PRIMARY DRAINFIELD SYSTEM NO. OF TRENCHES  DIMENSIONS: \_\_\_\_\_ Y

SQUARE FEET \_\_\_\_\_ SYSTEM NO. OF TRENCHES  DIMENSIONS: \_\_\_\_\_ Y

TYPE OF SYSTEM:  STANDARD  FILLED  SOUND

CONFIGURATION:  TRENCH  BED

DESIGN:  HEADER  D-BOX  GRAVITY SYSTEM  DOSED SYSTEM

ELEVATION OF BOTTOM OF DRAINFIELD IN RELATION TO EXISTING GRADE \_\_\_\_\_ INCHES [ ABOVE / BELOW ]

SYSTEM FAILURE AND REPAIR INFORMATION

SYSTEM INSTALLATION DATE \_\_\_\_\_ TYPE OF WASTE  DOMESTIC  COMMERCIAL

GPD ESTIMATED SEWAGE FLOW BASED ON \_\_\_\_\_  METERED WATER  TABLE 1, 64E-6, FAC

SITE CONDITIONS:  DRAINAGE STRUCTURES  POOL  PATIO / DECK  PARKING

SLOPING PROPERLY

NATURE OF FAILURE:  HYDRAULIC OVERLOAD  SOILS  MAINTENANCE  SYSTEM DAMAGE

DRAINAGE / RUN OFF  ROOTS  WATER TABLE

FAILURE SYMPTOM:  SEWAGE ON GROUND  TANK  D BOX/HEADER  DRAINFIELD

PLUMBING BACKUP

REMARKS/ADDITIONAL CRITERIA tank is not certifiable it is falling apart and is full of dirt & debris.

SUBMITTED BY: \_\_\_\_\_ TITLE/LICENSED Cartor and sons Septic Tank DATE:  
DH 4015, 08/09 (obsoletes previous editions which may not be used)



JIMMY PATRONIS  
CHIEF FINANCIAL OFFICER

**STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION**

**\*\* CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW \*\***

**CONSTRUCTION INDUSTRY EXEMPTION**

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation law.

**EFFECTIVE DATE:** 7/7/2020

**EXPIRATION DATE:** 7/7/2022

**PERSON:** PHILIP K WOLFE

**EMAIL:** WCIPHIL@GMAIL.COM

**FEIN:** 593615633

**BUSINESS NAME AND ADDRESS:**

WOLFE CONSTRUCTION, INC.

6816 OLD BAGDAD HWY

MILTON, FL 32583

**SCOPE OF BUSINESS OR TRADE:**

Door and Window Installation All Types Residential and Commercial	Contractor-Project Manager, Construction Executive, Construction Manager or Construction Superintendent	Cleaner-Debris Removal - Construction	Carpentry Dwellings Three Stories or Less
---	--	--	--

IMPORTANT: Pursuant to subsection 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter. Pursuant to subsection 440.05(12), F.S., Certificates of election to be exempt issued under subsection (3) shall apply only to the corporate officer named on the notice of election to be exempt and apply only within the scope of the business or trade listed on the notice of election to be exempt. Pursuant to subsection 440.05(13), F.S., notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice or certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.



**SANTA ROSA COUNTY  
PROCUREMENT DEPARTMENT**

6495 Caroline Street, Suite L | Milton, Florida 32570 850-983-1870 [procurement@santarosa.fl.gov](mailto:procurement@santarosa.fl.gov)

**ADDENDUM FORM**

To: Planholders  
From: Procurement Office  
Date: July 15, 2021  
Ref: Addendum #2 for ITB 21-043 Housing Reconstruction – 8801 Buddy Hardy Road

The following clarifications, amendments, additions, deletions, revisions and modifications form a part of the contract documents and change the original documents in the manner and to the extent stated.

- 1. Survey Clarification: Contractor is NOT required to provide a final survey, please remove this from your bid submission.

This Addendum is furnished to all known prospective Proposers. **Please sign and include one copy of this Addendum, with original signature, with your proposal as an acknowledgement of your having received same.**

NAME/TITLE: Phil Wolfe SIGNATURE: [Signature]  
COMPANY: Wolfe Construction DATE: 7/18/21

End of Addendum #2





**SANTA ROSA COUNTY  
PROCUREMENT DEPARTMENT**

6495 Caroline Street, Suite L | Milton, Florida 32570 850-983-1870 procurement@santarosa.fl.gov

**ADDENDUM FORM**

To: Planholders  
From: Procurement Office  
Date: July 13, 2021  
Ref: Addendum #1 for **ITB 21-043 Housing Reconstruction – 8801 Buddy Hardy Road**

The following clarifications, amendments, additions, deletions, revisions and modifications form a part of the contract documents and change the original documents in the manner and to the extent stated.

1. Exterior finish to be vinyl, NOT brick as shown on the plans.
2. Foundation is to be monolithic.
3. Add a wheelchair/walker ramp to the front exterior of the proposed new building.
4. Clarification on master bathroom: this is a standard shower stall; the homeowner will provide their own shower seat. Contractor to install a grab bar along back wall of shower unit.
5. Contractor is to include in his bid the cost of a final survey. Survey is to be ordered once the slab has been poured and finished. The previous surveyor was North West Florida Land Surveying, Inc.

**This Addendum is furnished to all known prospective Proposers. Please sign and include one copy of this Addendum, with original signature, with your proposal as an acknowledgement of your having received same.**

NAME/TITLE: Phil Wolfe Pres SIGNATURE: *Phil Wolfe*  
COMPANY: Wolfe Construction DATE: 7/18/21

# Mandatory Pre-bid Meeting

## SIGN IN SHEET

ITB 21-043 Housing Reconstruction - 8801 Buddy Hardy Road, Milton

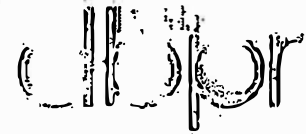
June 29, 2021 @ 9:30 a.m.

NAME	ORGANIZATION	MAILING ADDRESS	PHONE	EMAIL ADDRESS
Bill WATHERS	Bill Wathers Const.	P.O. Box 3793 Milton	850-435-5029	BillWATHERS@GMAIL.COM
Alan Moter	Alan Moter Const	5922 Twin Oaks Place	850-503-4720	moterad@jgmail.com
Phil Wolfe	Wolfe Const Inc	6816 Old Bagdad Hwy Milton, FL	850-554-0648	wolfe.phil@gmail.com
Andrew Herbert	Irby & Vorkel Eng	andrew.herb@irbyeng.com	850-266-3575	
RON MANGUM	RESIDENTIAL RENOVATION COMPANY		850-449-7257	RCCINC@COX.NET

Please Print Clearly

RICK SCOTT, GOVERNOR

JONATHAN ZACHEM, SECRETARY



STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION

CONSTRUCTION INDUSTRY LICENSING BOARD

THE RESIDENTIAL CONTRACTOR HEREIN IS CERTIFIED UNDER THE  
PROVISIONS OF CHAPTER 489, FLORIDA STATUTES

**WOLFE, PHIL**

WOLFE CONSTRUCTION, INC.  
6816 OLD BAGDAD HWY  
MILTON FL 32583

**LICENSE NUMBER: CRC1330788**

**EXPIRATION DATE: AUGUST 31, 2020**

Always verify licenses online at [MyFloridaLicense.com](http://MyFloridaLicense.com)

Do not alter this document in any form.

This is your license. It is unlawful for anyone other than the licensee to use this document.



## Request for Taxpayer Identification Number and Certification

Give Form to the requester. Do not send to the IRS.

Go to [www.irs.gov/FormW9](http://www.irs.gov/FormW9) for instructions and the latest information.

1 Name (as shown on your income tax return). Name is required on this line; do not leave this line blank.

**Phil Wolfe**

2 Business name (if disregarded entity name, if different from above)

**Wolfe Construction Inc.**

3 Check appropriate box for federal tax classification of the person whose name is entered on line 1. Check only one of the following seven boxes.

- Individual/sole proprietor or single-member LLC
- C Corporation
- S Corporation
- Partnership
- Trust/estate
- Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=Partnership) ▶ \_\_\_\_\_
- Other (see instructions) ▶ \_\_\_\_\_

Note: Check the appropriate box in the line above for the tax classification of the single-member owner. Do not check LLC if the LLC is classified as a single-member LLC that is disregarded from the owner unless the owner of the LLC is another LLC that is not disregarded from the owner for U.S. federal tax purposes. Otherwise, a single-member LLC that is disregarded from the owner should check the appropriate box for the tax classification of its owner.

4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3):

Exempt payee code (if any) \_\_\_\_\_

Exemption from FATCA reporting code (if any) \_\_\_\_\_

Applied to accounts in which assets are held in the U.S.

5 Address (number, street, and apt. or suite no.). See instructions.

**6816 Old Baddad Hwy**

6 City, state, and ZIP code:

**Milton, Fla. 32583**

7 List account number(s) here (optional).

Requester's name and address (optional)

Print or type. See Specific Instructions on page 3.

### Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

Note: If the account is in more than one name, see the instructions for line 1. Also see *What Name and Number to Give the Requester* for guidelines on whose number to enter.

Social security number								
			-					

OR

Employer identification number								
5	9	-	3	6	7	5	6	3

### Part II Certification

Under penalties of perjury, I certify that:

- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
- I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
- I am a U.S. citizen or other U.S. person (defined below); and
- The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

**Certification instructions.** You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign this certification, but you must provide your correct TIN. See the instructions for Part II, later.

Sign Here:

Signature of U.S. person ▶ *Phil Wolfe*

Date ▶ *4/10/19*

### General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

**Future developments.** For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to [www.irs.gov/FormW9](http://www.irs.gov/FormW9).

### Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following:

- Form 1099-DIV (dividends, including those from stocks or mutual funds)
  - Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
  - Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
  - Form 1099-S (proceeds from real estate transactions)
  - Form 1099-K (merchant card and third party network transactions)
  - Form 1098 (home mortgage interest); 1098-E (student loan interest); 1098-T (tuition)
  - Form 1099-C (canceled debt)
  - Form 1099-A (acquisition or abandonment of secured property)
- Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.
- If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See *What Is Backup Withholding*, later.

# Seagull Environmental Management Company

900 N.W. 5TH Avenue, Fort Lauderdale, Florida 33311 (954) 524-7108

*This is to Certify that*

**Phil Wolfe**

6816 Old Bagdad Hwy, Milton, FL 32583

*has successfully completed an English*

**8 Hr. Lead-Safe Renovator Course**

**12-Apr-17 TO 12-Apr-17**

Accepted as Individual Certification in EPA administered states.

Alabama Accreditation: Jan. 27, 2011

Georgia Accredited: Chapter 391-3-24

Approved in Mississippi, Utah, and accepted in most authorized states.

Trainer(s): Barbara Turk

Training Address: 5030 Commerce Park Circle, Pensacola, FL 32505

Passed an examination & hands-on skills assessment on: 12-Apr-17

## ***This Certificate Expires:***

Federally Administered States	<b>11-Apr-22</b>
Most authorized states	<b>11-Apr-20</b>
Georgia	<b>11-Apr-20</b>

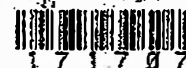
Processed By:

**Seagull**

To Authenticate Certificate  
[www.seagulltraining.com](http://www.seagulltraining.com)  
1-800-966-9933



Certificate Number:



**R-1-Subpart Q-17-71707**

Course Number: **BT1715**

This certificate is only valid in conjunction with the appropriate firm certification. In addition, in some EPA authorized states, one must surrender this certificate to obtain a state certification for the individual. For additional certificates, contact Seagull at 1-800-966-9933.

## Licensee Details

### Licensee Information

Name:	<b>WOLFE, PHIL (Primary Name)</b> <b>WOLFE CONSTRUCTION, INC. (DBA Name)</b>
Main Address:	<b>6816 OLD BAGDAD HWY</b> <b>MILTON Florida 32583</b>
County:	<b>SANTA ROSA</b>
License Mailing:	
License Location:	

### License Information

License Type:	<b>Certified Residential Contractor</b>
Rank:	<b>Cert Residential</b>
License Number:	<b>CRC1330788</b>
Status:	<b>Current,Active</b>
Licensure Date:	<b>05/07/2013</b>
Expires:	<b>08/31/2022</b>

### Special Qualifications

Special Qualifications	Qualification Effective
<b>Construction Business</b>	<b>05/07/2013</b>

### Alternate Names


# SANTA ROSA COUNTY BUSINESS TAX RECEIPT

2020 2021

RECEIPT NUMBER 148-20-00179895

ACCOUNT NO.

7324

MACHINES	ROOMS	SEATS	EMPLOYEES	EXPIRES
BUSINESS TYPE	9007	CONTRACTOR		SEPTEMBER 30, 2021
BUSINESS ADDRESS	6816 OLD BAGDAD HWY MILTON, FL 32583			RENEWAL
	WOLFE CONSTRUCTION INC WOLFE PHIL			AMOUNT 11.25
	WOLFE CONSTRUCTION INC 6816 OLD BAGDAD HWY MILTON, FL 32583			PENALTY 0.00
				TOTAL DUE 11.25
				TOTAL PAID 11.25
				
				STAN COLIE NICHOLS, TAX COLLECTOR SANTA ROSA COUNTY, FLORIDA

ORIGINAL CHECK HAS AN ARTIFICIAL WATERMARK ON REVERSE SIDE - HOLD AT AN ANGLE TO VIEW

FOLD INFORMATION BELOW BEHIND RECEIPT OR DETACH AND KEEP FOR YOUR RECORDS.



**Stan Colie Nichols, Tax Collector**  
6495 Caroline Street, Suite E  
Milton, Florida 32570  
(850) 983-1800

**BEFORE POSTING YOUR BUSINESS TAX RECEIPT READ ALL INFORMATION CAREFULLY.  
IT IS THE OWNERS RESPONSIBILITY TO ENSURE COMPLIANCE.**

**THIS B.T.R. IS FURNISHED PURSUANT TO FLORIDA STATUTES, SANTA ROSA COUNTY ORDINANCE AND AMENDMENTS**

The law requires this business tax receipt to be displayed conspicuously at the place of business in such a manner that it can be open to the view of the public and subject to inspection by all duly authorized officers of the county.

Pursuant to state law, all business tax receipts shall expire on September 30th of the succeeding year. Those business tax receipts renewed beginning October 1st shall be delinquent and subject to a delinquency penalty of 10% for the month of October, plus an additional 5% penalty for each month of delinquency thereafter until paid; provided that the total delinquency penalty shall not exceed 25% of the business tax for the delinquent establishment.

## Request for Taxpayer Identification Number and Certification

Give Form to the requester. Do not send to the IRS.

▶ Go to [www.irs.gov/FormW9](http://www.irs.gov/FormW9) for instructions and the latest information.

1 Name (as shown on your income tax return). Name is required on this line; do not leave this line blank.

**Phil Wolfe**

2 Business name/disregarded entity name, if different from above

**Wolfe Construction Inc.**

3 Check appropriate box for federal tax classification of the person whose name is entered on line 1. Check only one of the following seven boxes.

- Individual/sole proprietor or single-member LLC  
 Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=Partnership) ▶ \_\_\_\_\_  
Note: Check the appropriate box in the line above for the tax classification of the single-member owner. Do not check LLC if the LLC is classified as a single-member LLC that is disregarded from the owner unless the owner of the LLC is another LLC that is not disregarded from the owner for U.S. federal tax purposes. Otherwise, a single-member LLC that is disregarded from the owner should check the appropriate box for the tax classification of its owner.  
 Other (see instructions) ▶ \_\_\_\_\_  
 C Corporation  
 S Corporation  
 Partnership  
 Trust/estate

4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3):

Exempt payee code (if any) \_\_\_\_\_

Exemption from FATCA reporting code (if any) \_\_\_\_\_

Applies to accounts maintained outside the U.S.

5 Address (number, street, and apt. or suite no.) See instructions.

**6816 Old Bagdad Hwy**

6 City, state, and ZIP code:

**Milton, Fla. 32583**

Requester's name and address (optional)

7 List account number(s) here (optional)

Print or type. See specific instructions on page 3.

### Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

Note: If the account is in more than one name, see the instructions for line 1. Also see *What Name and Number To Give the Requester* for guidelines on whose number to enter.

Social security number

--	--	--	--	--	--	--	--	--	--

or

Employer identification number

5	9	-	3	6	1	5	6	3	3
---	---	---	---	---	---	---	---	---	---

### Part II Certification

Under penalties of perjury, I certify that:

- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
- I am not subject to backup withholding because: (a) I am exempt from backup withholding; or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
- I am a U.S. citizen or other U.S. person (defined below); and
- The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

**Certification instructions.** You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification; but you must provide your correct TIN. See the instructions for Part II, later.

Sign Here:

Signature of U.S. person ▶

*Phil Wolfe*

Date ▶

4/10/19

### General Instructions

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- Form 1099-INT (interest earned or paid)

- Form 1099-DIV (dividends, including those from stocks or mutual funds)
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
- Form 1099-S (proceeds from real estate transactions)
- Form 1099-K (merchant card and third party network transactions)
- Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
- Form 1098-C (canceled debt)
- Form 1099-A (acquisition or abandonment of secured property)

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See *What is backup withholding*, later.





# CERTIFICATE OF LIABILITY INSURANCE

WOLFE-1

OP ID: KL

DATE (MM/DD/YYYY)

03/15/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Logan Insurance Agency, Inc. 3801 North 9th Avenue Pensacola, FL 32503 Kelly M Pierce	<b>CONTACT NAME:</b> Kelly M Pierce	
	<b>PHONE (A/C, No, Ext):</b> 850-438-1448	<b>FAX (A/C, No):</b> 850-438-0085
<b>E-MAIL ADDRESS:</b> kelly@loganins.net		
<b>INSURER(S) AFFORDING COVERAGE</b>		<b>NAIC #</b>
<b>INSURER A:</b> United Specialty Insurance Co		12537
<b>INSURER B:</b>		
<b>INSURER C:</b>		
<b>INSURER D:</b>		
<b>INSURER E:</b>		
<b>INSURER F:</b>		


**INSURED** Wolfe Construction Inc  
6816 Old Bagdad Hwy  
Milton, FL 32583

**COVERAGES**                      **CERTIFICATE NUMBER:**                      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			DCG0534303	06/21/2020	06/21/2021	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COM/OP AGG \$ 2,000,000 \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If yes, describe under DESCRIPTION OF OPERATIONS below		N/A				<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

<b>CERTIFICATE HOLDER</b>  <p style="text-align: center;"><b>SANTARO</b></p> <p>Santa Rosa County Building          Inspections Dept          srcpermits@santarosa.fl.gov          6051 Old Bagdad Hwy Ste 202          Milton, FL 32583</p>	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  AUTHORIZED REPRESENTATIVE 
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**IDENTIFICATION CARD**

**GEICO**  
GOVERNMENT EMPLOYEES INSURANCE COMPANY

Policy Number/Florida Code No. Effective Date:  
88-42-03-90/09245 03-13-19

PERSONAL INJURY PROTECTION BENEFITS/PROPERTY DAMAGE LIABILITY,  
BODILY INJURY LIABILITY

Named Insured: Philip Kevin Wolfe,  
Linda Diane Wolfe

Year Make Model Vehicle ID No.  
17 GMC SIERRA 3GTU2NEC7HG211764

Phone Number: 1-800-841-3000

Not valid more than one year from effective date.

**GEICO** FLORIDA AUTOMOBILE INSURANCE  
IDENTIFICATION CARD  
GOVERNMENT EMPLOYEES INSURANCE COMPANY

Policy Number/Florida Code No. Effective Date:  
88-42-03-90/09245 03-13-19

PERSONAL INJURY PROTECTION BENEFITS/PROPERTY DAMAGE LIABILITY,  
BODILY INJURY LIABILITY

Named Insured: Philip Kevin Wolfe,  
Linda Diane Wolfe

Year Make Model Vehicle ID No.  
17 GMC SIERRA 3GTU2NEC7HG211764

Phone Number: 1-800-841-3000

Not valid more than one year from effective date.

Here are your Policy Identification Cards. Two cards have been provided for each vehicle insured. Please destroy your old cards when the new cards become effective.

Due to space limitations on the ID card, only the Named Insured and the Co-Insured are listed. For a full list of drivers covered under this policy, please log onto [geico.com](http://geico.com) or reference the Drivers section of your Declarations Page, which is included with your insurance packet.

Please notify us promptly of any change in your address to be sure you receive all important policy documents. Prompt notification will enable us to service you better.

Your policy is recorded under the name and policy number shown on the card.

If you would like additional ID cards, you can go online to [geico.com](http://geico.com) or call us at 1-800-841-3000.

PHILIP K WOLFE AND LINDA D  
WOLFE  
6816 OLD BAGDAD HWY  
MILTON FL 32583-7682

VOID

VOID

VOID

VOID



JIMMY PATRONIS  
CHIEF FINANCIAL OFFICER

STATE OF FLORIDA  
DEPARTMENT OF FINANCIAL SERVICES  
DIVISION OF WORKERS' COMPENSATION

**\*\* CERTIFICATE OF ELECTION TO BE EXEMPT FROM FLORIDA WORKERS' COMPENSATION LAW \*\***  
**CONSTRUCTION INDUSTRY EXEMPTION**

This certifies that the individual listed below has elected to be exempt from Florida Workers' Compensation law.

EFFECTIVE DATE: 7/8/2018

EXPIRATION DATE: 7/7/2020

PERSON: PHILIP KWOLFE

EMAIL: WCIPHIL@GMAIL.COM

FEIN: 593616633

BUSINESS NAME AND ADDRESS:

WOLFE CONSTRUCTION INC

6816 OLD BAGDAD HWY

MILTON, FL 32583

SCOPE OF BUSINESS OR TRADE:

Licensed Residential  
Contractor

Door and Window Installation  
All Types (Residential and  
Commercial)

Contractor-Project Manager,  
Construction Executive,  
Construction Manager or  
Construction Superintendent

Fence Installation and Repair  
Metal, Vinyl, Wood or  
Prefabricated Concrete Panel  
Fences Installed By Hand.

**IMPORTANT:** Pursuant to Chapter 440.05(14), F.S., an officer of a corporation who elects exemption from this chapter by filing a certificate of election under this section may not recover benefits or compensation under this chapter. Pursuant to Chapter 440.05(12), F.S., Certificates of election to be exempt apply only within the scope of the business or trade listed on the notice of election to be exempt. Pursuant to Chapter 440.05(16), F.S., Notices of election to be exempt and certificates of election to be exempt shall be subject to revocation if, at any time after the filing of the notice or the issuance of the certificate, the person named on the notice of certificate no longer meets the requirements of this section for issuance of a certificate. The department shall revoke a certificate at any time for failure of the person named on the certificate to meet the requirements of this section.


# SANTA ROSA COUNTY BUSINESS TAX RECEIPT

2019 2020

RECEIPT NUMBER 128-19-00196503

ACCOUNT NO.

7324

MACHINES	ROOMS	SEATS	EMPLOYEES	EXPIRES
BUSINESS TYPE	9007 CONTRACTOR			SEPTEMBER 30, 2020
BUSINESS ADDRESS	6816 OLD BAGDAD HWY MILTON, FL 32583			
	WOLFE CONSTRUCTION INC WOLFE PHIL			
	WOLFE CONSTRUCTION INC 6816 OLD BAGDAD HWY MILTON, FL 32583			
				RENEWAL
				AMOUNT 11.25
				PENALTY 0.00
				TOTAL DUE 11.25
				TOTAL PAID 11.25
				
				STAN COLIE NICHOLS, TAX COLLECTOR SANTA ROSA COUNTY, FLORIDA

ORIGINAL CHECK HAS AN ARTIFICIAL WATERMARK ON REVERSE SIDE - HOLD AT AN ANGLE TO VIEW

FOLD INFORMATION BELOW BEHIND RECEIPT OR DETACH AND KEEP FOR YOUR RECORDS.



**Stan Colie Nichols, Tax Collector**  
6495 Caroline Street, Suite E  
Milton, Florida 32570  
(850) 983-1800

**BEFORE POSTING YOUR BUSINESS TAX RECEIPT READ ALL INFORMATION CAREFULLY.  
IT IS THE OWNERS RESPONSIBILITY TO ENSURE COMPLIANCE.**

**THIS B.T.R. IS FURNISHED PURSUANT TO FLORIDA STATUTES, SANTA ROSA COUNTY ORDINANCE AND AMENDMENTS**

The law requires this business tax receipt to be displayed conspicuously at the place of business in such a manner that it can be open to the view of the public and subject to inspection by all duly authorized officers of the county.

Pursuant to state law, all business tax receipts shall expire on September 30th of the succeeding year. Those business tax receipts renewed beginning October 1st shall be delinquent and subject to a delinquency penalty of 10% for the month of October, plus an additional 5% penalty for each month of delinquency thereafter until paid; provided that the total delinquency penalty shall not exceed 25% of the business tax for the delinquent establishment.

This business tax receipt is an occupational tax only. It does not permit the B.T.R. holder to violate any existing regulatory or zoning laws of the state, county, or cities, nor does it exempt the B.T.R. holder from any other business tax receipts or permits that may be required by law or municipal ordinance. **IT IS YOUR RESPONSIBILITY TO NOTIFY THE TAX COLLECTOR'S OFFICE IF YOUR BUSINESS HAS CLOSED.**

**THIS BUSINESS TAX RECEIPT IS IN ADDITION AND NOT IN LIEU OF ANY OTHER LICENSE REQUIRED BY LAW OR MUNICIPAL ORDINANCE AND IS SUBJECT TO REGULATIONS OF ZONING, HEALTH, AND ALL OTHER LAWFUL AUTHORITY.**

If you intend to do any business in Santa Rosa County that is regulated by the state of Florida such as construction, roofing, plumbing, electrical, demolition, etc. it is your responsibility to contact the Building Inspection Department as to the necessary licensing requirements of both Santa Rosa County and the state of Florida. You can receive a citation and/or be arrested for performing a job for which additional qualifications are required. All B.T.R. holders are held to be responsible for complying with all applicable Worker's Compensation laws. All licensees are also held responsible for understanding and complying with all "price gouging" laws and understanding the severe penalties. Other areas which you need to investigate include zoning laws, city licenses when applicable, Department of Revenue and sales tax requirements, IRS and federal I.D. numbers, the Property Appraiser and personal property tax, County Building Inspector for information on construction permits, competency testing, contractors, etc., and filing for a Fictitious Name if applicable.

## Exhibit B - Civil Rights Clauses

### Title VI List of Pertinent Nondiscrimination Acts and Authorities

During the performance of this Agreement, the Contractor, for itself, its assignees, and successors in interest (hereinafter referred to as the “Contractor”), as applicable, agrees to comply with the following non-discrimination statutes and authorities; including but not limited to:

- Title VI of the Civil Rights Act of 1964 (42 USC § 2000d *et seq.*, 78 stat. 252) (prohibits discrimination on the basis of race, color, national origin);
- 49 CFR part 21 (Non-discrimination in Federally-assisted programs of the Department of Transportation—Effectuation of Title VI of the Civil Rights Act of 1964);
- The Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, (42 USC § 4601) (prohibits unfair treatment of persons displaced or whose property has been acquired because of Federal or Federal-aid programs and projects);
- Section 504 of the Rehabilitation Act of 1973 (29 USC § 794 *et seq.*), as amended (prohibits discrimination on the basis of disability); and 49 CFR part 27;
- The Age Discrimination Act of 1975, as amended (42 USC § 6101 *et seq.*) (prohibits discrimination on the basis of age);
- Airport and Airway Improvement Act of 1982 (49 USC § 471, Section 47123), as amended (prohibits discrimination based on race, creed, color, national origin, or sex);
- The Civil Rights Restoration Act of 1987 (PL 100-209) (broadened the scope, coverage and applicability of Title VI of the Civil Rights Act of 1964, the Age Discrimination Act of 1975 and Section 504 of the Rehabilitation Act of 1973, by expanding the definition of the terms “programs or activities” to include all of the programs or activities of the Federal-aid recipients, sub-recipients and contractors, whether such programs or activities are Federally funded or not);
- Titles II and III of the Americans with Disabilities Act of 1990, which prohibit discrimination on the basis of disability in the operation of public entities, public and private transportation systems, places of public accommodation, and certain testing entities (42 USC §§ 12131 – 12189) as implemented by U.S. Department of Transportation regulations at 49 CFR parts 37 and 38;
- The Federal Aviation Administration’s Nondiscrimination statute (49 USC § 47123) (prohibits discrimination on the basis of race, color, national origin, and sex);
- Executive Order 12898, Federal Actions to Address Environmental Justice in Minority Populations and Low-Income Populations, which ensures nondiscrimination against minority populations by discouraging programs, policies, and activities with disproportionately high and adverse human health or environmental effects on minority and low-income populations;
- Executive Order 13166, Improving Access to Services for Persons with Limited English Proficiency, and resulting agency guidance, national origin discrimination includes discrimination because of limited English proficiency (LEP). To ensure compliance with Title VI, you must take reasonable steps to ensure that LEP persons have meaningful access to your programs (70 Fed. Reg. at 74087 to 74100);
- Title IX of the Education Amendments of 1972, as amended, which prohibits you from discriminating because of sex in education programs or activities (20 USC 1681 *et seq.*).

**Exhibit C**

**VENDORS ON SCRUTINIZED COMPANIES LISTS**

By executing this Certificate, the bid proposer, certifies that it is not: (1) listed on the Scrutinized Companies that Boycott Israel List, created pursuant to section 215.4725, Florida Statutes, (2) engaged in a boycott of Israel, (3) listed on the Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List, created pursuant to section 215.473, Florida Statutes, or (4) engaged in business operations in Cuba or Syria. Pursuant to section 287.135(5), Florida Statutes, the County may disqualify the bid proper immediately or immediately terminate any agreement entered into for cause if the bid proposer is found to have submitted a false certification as to the above or if the Contractor is placed on the Scrutinized Companies that Boycott Israel List, is engaged in a boycott of Israel, has been placed on the Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List, or has been engaged in business operations in Cuba or Syria, during the term of the Agreement. If the County determines that the bid proposer has submitted a false certification, the County will provide written notice to the bid proposer. Unless the bid proposer demonstrates in writing, within 90 calendar days of receipt of the notice, that the County's determination of false certification was made in error, the County shall bring a civil action against the bid proposer. If the County's determination is upheld, a civil penalty shall apply, and the bid proposer will be ineligible to bid on any Agreement with a Florida agency or local governmental entity for three years after the date of County's determination of false certification by bid proposer.

As the person authorized to sign this statement, I certify that this firm complies fully with the above requirements.

DATE: 07/22/2021

SIGNATURE: *Phil Wolfe*

COMPANY: Wolfe Construction Inc.

NAME: Phil Wolfe  
(Typed or Printed)

ADDRESS: 6816 Old Bagdad Hwy  
Milton, FL 32583

TITLE: President

E-MAIL: wciphil@gmail.com

PHONE NO.: 850 554 0648